



CITY OF CARMEL-BY-THE-SEA PLANNING COMMISSION

Mel Ahlborn, Erin Allen, Stefan Karapetkov, Michael
LePage, Stephanie Locke

All meetings are held in the City Council Chambers
East Side of Monte Verde Street
Between Ocean and 7th Avenues

REGULAR MEETING Wednesday, June 11, 2025

TOUR 3:00 PM

MEETING 4:00 PM

THIS MEETING WILL BE HELD VIA TELECONFERENCE AND IN PERSON AT CITY HALL. The public is welcome to attend the meeting in person or remotely via Zoom; however, the meeting will proceed as normal even if there are technical difficulties accessing Zoom. The City will do its best to resolve any technical issues as quickly as possible.

To attend in person, visit the City Council Chambers at City Hall located on Monte Verde Street between Ocean and Seventh Avenues. To view or listen to the meeting remotely, you may access the YouTube Live Stream at:

<https://www.youtube.com/@CityofCarmelbytheSea/streams>, or use the link below to view or listen to the meeting via Zoom teleconference:

[https://ci-carmel-ca-us.zoom.us/j/85075274055?](https://ci-carmel-ca-us.zoom.us/j/85075274055?pwd=xjGuf1VHPManTYPLVc94aalwt24Tld.1)

[pwd=xjGuf1VHPManTYPLVc94aalwt24Tld.1](https://ci-carmel-ca-us.zoom.us/j/85075274055?pwd=xjGuf1VHPManTYPLVc94aalwt24Tld.1). To attend Zoom webinar via telephone, dial +1 (669) 444-9171. Webinar ID: 850 7527 4055. Passcode: 001916.

HOW TO OFFER PUBLIC COMMENT: Public comments may be given in person at the meeting, or using the Zoom teleconference module, provided that there is access to Zoom during the meeting. Zoom comments will be taken after the in-person comments. The public can also email comments to agINETTE@ci.carmel.ca.us. Comments must be received at least 2 hours before the meeting in order to be provided to the legislative body. Comments received after that time and up to the beginning of the meeting will be made part of the record.

CALL TO ORDER AND ROLL CALL - TOUR

TOUR OF INSPECTION

The Planning Commission will meet and convene the public hearing at the first location listed below on the Tour of Inspection. The public is welcome to join the Commission on its tour. The tour is intended only to give the Commission an opportunity to view project sites scheduled for a public hearing later that day. No deliberations on the merits of projects will take place during the Tour of Inspection. Following completion of the tour, the

Commission will recess and return to the Council Chambers to reconvene the public hearing at 4:00 p.m., or as soon thereafter as possible.

- A. **DS 24298 (Gonzales):** Southeast Corner Santa Fe Street & 5th Avenue
- B. **DS 24083 (Dyas):** Southwest corner of Santa Fe Street & 5th Avenue
- C. **DS 25071 (Morsello):** Northeast corner of Santa Fe Street and 8th Avenue

CALL TO ORDER AND ROLL CALL - CHAMBERS

PUBLIC APPEARANCES - Under the Brown Act, public comments for matters on the agenda must relate to that agenda item, and public comments for matters not on the agenda must relate to the subject matter jurisdiction of this legislative body. Hateful, violent, and threatening speech is impermissible public comment, as it disrupts the conduct of the public meeting. This is a warning that if a member of the public attending this meeting remotely violates the Brown Act by failing to comply with these requirements of the Brown Act meeting, that speaker will then be muted.

Members of the public are entitled to speak on matters of municipal concern not on the agenda during Public Appearances. Each person's comments shall be limited to 3 minutes, or as otherwise established by the Chair. Matters not appearing on the agenda will not receive action at this meeting and may be referred to staff. Persons are not required to provide their names, and it is helpful for speakers to state their names so they may be identified in the minutes of the meeting.

ANNOUNCEMENTS

CONSENT AGENDA

Items on the consent agenda are routine in nature and do not require discussion or independent action. Members of the Commission or the public may ask that any items be considered individually for purposes of Commission discussion and/ or for public comment. Unless that is done, one motion may be used to adopt all recommended actions.

- 1. Monthly Activity Report: May 2025
- 2. May 14, 2025 Regular Meeting Minutes
- 3. **DS 24289 (Your Golden Key No 1 LLC):** Consideration of a Final Design Study (DS 24289) and associated Coastal Development Permit for the demolition of an existing approximately 1800-square-foot, one-story single-family residence, inclusive of a 200-square-foot garage, and the construction of a 2435-square-foot, two-story single-family residence, inclusive of a 200-square-foot attached garage, located on 13th Avenue 2 southeast of Mission Street in the Single-Family Residential (R-1) District. APN: 010-161-018-000

Proposed CEQA Action: Find the project categorically exempt from environmental review pursuant to CEQA Guidelines Section 15302 and that none of the exceptions pursuant to Section 15300.2 can be made in this case

ORDERS OF BUSINESS

- 4. Capital Improvement Program (CIP) General Plan Consistency
- 5. Discussion and direction from the Planning Commission to staff on roofing materials, including but not limited to metal roofs

PUBLIC HEARINGS

6. **DS 25017 (Hobbs):** Consideration of a Concept Design Study (DS 25017) for the demolition of an existing 1,111-square-foot one-story single-family residence, and construction of a new 1,795-square-foot one-story single-family residence inclusive of a 224-square-foot detached garage located at Santa Rita Street 3 northeast of 1st Avenue in the Single-Family Residential (R-1) District. APN: 009-146-029-000. **RECOMMENDED FOR CONTINUANCE.**

Proposed CEQA Action: Consideration and/or continuance of a Concept Design Study is “not a project” pursuant to section 15378 of the CEQA Guidelines.

7. **DS 24298 (Gonzales):** Consideration of a Concept Design Study (DS 24298) for a 134-square-foot addition to an existing 1,244-square-foot one-story single-family residence, as well as a 457-square-foot second story Accessory Dwelling Unit addition located at the southeast corner of 5th Avenue and Santa Fe Street in the Single-Family Residential (R-1) District. APN: 010-038-017-000

Proposed CEQA Action: Consideration and/or continuance of a Concept Design Study is “not a project” pursuant to section 15378 of the CEQA Guidelines.

8. **DS 24083 (Dyas):** Consideration of a Track 1 Design Study (DS 24083) referral for the after-the-fact replacement of the existing wood windows with 100 Series Fiberex windows on a single-family residence located at the southwest corner of 5th Avenue and Santa Fe Street in the Single-Family Residential (R-1) District. APN: 010-092-001-000

Proposed CEQA Action: Find the project statutorily exempt from environmental review pursuant to CEQA Guidelines Section 15270

9. **DS 25071 (Morsello):** Consideration of a Track 1 Design Study (DS 25071) referral for the replacement of the existing wood windows with 100 Series Fiberex windows on a single-family residence located at the northeast corner of Santa Fe Street and 8th Avenue in the Single-Family Residential (R-1) District. APN: 010-044-007-000

Proposed CEQA Action: Find the project statutorily exempt from environmental review pursuant to CEQA Guidelines Section 15270

DIRECTORS REPORT

FUTURE AGENDA ITEMS

ADJOURNMENT

CORRESPONDENCE

10. **PUBLIC CORRESPONDENCE:** Public Hearings and/or other items appearing on the Agenda
11. **PUBLIC CORRESPONDENCE:** Additional items not associated with Public Hearings and/or other items appearing on the Agenda

This agenda was posted at City Hall, Monte Verde Street between Ocean Avenue and 7th Avenue, Harrison Memorial Library, located on the NE corner of Ocean Avenue and Lincoln Street, the Carmel-by-the-Sea Post Office, 5th Avenue between Dolores Street and San Carlos Street, and the City's webpage

<http://www.ci.carmel.ca.us> in accordance with applicable legal requirements.

SUPPLEMENTAL MATERIAL RECEIVED AFTER THE POSTING OF THE AGENDA

Any supplemental writings or documents distributed to a majority of the Planning Commission regarding any item on this agenda, received after the posting of the agenda will be available at City Hall located on Monte Verde Street between Ocean and Seventh Avenues during regular business hours.

SPECIAL NOTICES TO PUBLIC

In compliance with the Americans with Disabilities Act, if you need special assistance to participate in this meeting, please contact the City Clerk's Office at 831-620-2000 at least 48 hours prior to the meeting to ensure that reasonable arrangements can be made to provide accessibility to the meeting (28CFR 35.102-35.104 ADA Title II).



CITY OF CARMEL-BY-THE-SEA PLANNING COMMISSION Staff Report

June 11, 2025
CONSENT AGENDA

TO: Chair LePage and Planning Commissioners

SUBMITTED BY: Shelby Gorman, Administrative Coordinator

APPROVED BY: Anna Ginette, AICP, Director of Community Planning and Building

SUBJECT: Monthly Activity Report: May 2025

Application:

APN:

Block:

Lot:

Location:

Applicant:

Property Owner:

Executive Summary:

Recommendation:

Background and Project Description:

Staff Analysis:

Other Project Components:

Attachment 1 - Monthly Activity Report: May 2025



CITY OF CARMEL-BY-THE-SEA Monthly Report

Community Planning and Building Department

TO:	Planning Commissioners
SUBMITTED BY:	Shelby Gorman, Administrative Coordinator
SUBMITTED ON:	June 1, 2025
APPROVED BY:	Anna Ginette, Director of Community Planning and Building

MAY 2025 – DEPARTMENT ACTIVITY REPORT

I. PLANNING PERMIT APPLICATIONS:

In May 2025, **33** planning permit applications were received.

II. BUSINESS LICENSE APPLICATIONS:

In May 2025, **4** business license applications were received.

III. BUILDING PERMIT APPLICATIONS:

In May 2025, **60** building permit applications were received.

IV. CODE COMPLIANCE CASES:

In May 2025, **4** new code compliance cases were created.

V. TRANSIENT RENTAL COMPLIANCE CASES:

In May 2025, **0** new transient rental compliance case was created.

VI. ENCROACHMENT PERMIT APPLICATIONS:

In May 2025, **33** encroachment permit applications were received.

VII. TREE PERMIT APPLICATIONS:

In May 2025, **35** tree permit applications were received.

Table 1 includes the following May 2025 totals:

- Planning Permit Applications
- Business License Applications
- Building Permit Applications
- Code Compliance Cases
- Transient Rental Cases
- Encroachment Permit Applications
- Tree Permit Applications

May 2025 totals are provided alongside May 2024 totals for comparison. Compared to the same time period in the year 2024, Table 1 denotes percentage changes in the year 2025.

Table 1
Permit Application Totals and YTD Percentage Changes

	PLANNING	BUSINESS LICENSES	BUILDING	CODE COMPLIANCE	TRANSIENT RENTAL COMPLIANCE	ENCROACH- MENTS	TREE REMOVAL & PRUNING
2024 YTD Totals	152	30	263	63	11	110	152
2025 YTD Totals	159	21	249	78	7	134	159
YTD % Difference	+4.61%	- 30.00%	-5.32%	+23.81%	-36.36%	+21.82%	+4.61%



Planning Permit Report

05/01/2025 - 05/31/2025

Permit #	Permit Type	Permit Identifier	Track	Project Description	Address/Location	Date Received	Date Approved	Status
25159	Design Study	DS 25159 (Irissou)	One	Tear off existing tar & gravel roof and install new underlayment. Install 17 squares of new Class A Sheffield metal 16" standing seam roof in the color "Solar White". Additionally, if the color "Solar White" is not acceptable, we have these two color options: "Stone White" & "Regal White". If none of these colors are acceptable, we are willing to explore colors that the city finds appropriate.	Santa Rita 2 NE of 4th	5/30/2025		In Review
25158	Design Study	DS 25158 (McCallister)		Addition of Detached One Car Garage	Scenic 3 NW of 8th			Pending Assignment
25157	Design Study	DS 25157 (Petker)		Replace existing deck	Trail View 3 SW of Flanders			In Review
25156	Authorized Work			Replace 3 broken windows - match existing	8 Riley Ranch Road			Closed
25155	Historic Evaluation	HE 25155 (Pike Brothers LLC)		Interior remodel, ext siding to be sanded & painted	Guadalupe 5 SE of 4th Ave			Pending Assignment
25154	Design Study	DS 25154 (Stromatt)		Remove, Hail and Dispose of existing plant material and concrete for driveway. Redo 24' x 10' driveway out of poured concrete reinforced with rebar. Install 8' long 3/4" channel drain where driveway meets residence. Install landscape material and low water use irrigation system in front and back of residence	Santa Rita 3NW of 1st			Pending Assignment
25153	Design Study	DS 25153 (Van Selow)	Two	1. Remodel of a two story single family dwelling with an expansion of the north side of the structure and second floor. 2. New balcony and tower	Lincoln 3 N/E of 4th, Carmel			In Review
25152	Sign	SI 25152 (Somewhere on Ocean)		20.5" x 20.5" Hand-painted wood sign. Sign will be the same on both sides. cream paint - Pantone #f4e4c2, brown paint - Pantone #843100, pink paint - Pantone #ed78c2	NE Corner of Monte Verde & Ocean			In Review
25151	Design Review	DR 25151 (Clark-Fairley)	One	Color changing for retractable awning, would like to change it to black and white	San Carlos 3NW of 7th	5/22/2025		In Review

25150	Use Permit	UP 25150 (Gelato by the Sea)		400 square-foot Ice Cream Shop	San Carlos 2NE of 7th, Unit 6 (Carmel Square)	5/23/2025		In Review
25149	Design Study	DS 25149 (Pepper)	One	Construct 3 foot garden wall	Junipero 2NE of 3rd			Pending Assignment
25148	Sign	SI 25148 (Brunello Cucinelli)		See DR 25064 (Brunello Cucinelli)	SW Corner of Ocean & Junipero, Carmel Plaza, Suite 204	5/19/2025		In Review
25147	Sign	SI 25147 (Malbon)		New signage for the entrance of the store.	San Carlos 2 NE of 6th	5/23/2025		In Review
25146	Design Study	DS 25146 (Gomez)	One	Replace a single door in upstairs bedroom that has right hand out swing opening to balcony deck on second floor of residence. There is bullnose on interior and exterior of the opening for door frame. Size of opening will not be modified. I believe the door is made of wood. Door's located on the second floor of residence is shown in 4 attached photos.	San Carlos 4 NW of 3rd			Closed
25145	Design Review	DR 25145 (OWRF Carmel LLC)	One	Replace existing rotted fascia boards around top perimeter of Building #4 with new wood fascia boards. Replace roofing materials 24" from roof edge inwards with new Bel Aire concrete roof tile to match the surrounding rooftops of the Plaza	Ocean & Mission	5/21/2025		In Review
25144	Design Study	DS 25144 (Vannucci)	One	Repair existing 312 square foot roof deck above existing garage, replace guardrail system in-kind, and repair/replace brick deck flooring.	San Carlos 2 SW of 11th		5/30/2025	Approved
25143	Historic Evaluation	HE 25143 (Irissou)	One	Tear off existing tar & gravel roof and install new underlayment. Install 17 squares of new Class A Sheffield metal 16" standing seam roof in the color "Solar White". Additionally, if the color "Solar White" is not acceptable, we have these two color options: "Stone White" & "Regal White". If none of these colors are acceptable, we are willing to explore colors that the city finds appropriate.	Santa Rita 2 NE of 4th	5/19/2025	5/27/2025	Approved

25142	Use Permit	UP 25142 (La Bicyclette)		Expansion of La Bicyclette Restaurant into adjacent newly leased space. We would like to expand La Bicyclette to include the patio area in our newly leased adjacent space. In addition we would like to set up the interior of the new space as a combination of attractive wine cellar, waiter service station, and waiting area for guests, as well as providing an additional restroom	NWC of 7th & Dolores			Pending Assignment
25141	Historic Evaluation	HE 25141 (Ahmed)		New house entryway at street level, expand car bridge to entryway, front windows replacement, entryway roof extension, exterior stucco building.	Santa Fe 3 SW of 4th Avenue	5/15/2025		In Review
25140	Design Study	DS 25140 (Cruz)	One	Revise site coverage (Cover sheet) to match the deck coverage. Site coverage is under allowed coverage. Revise plans to show electrical panel on correct side, revise materials sheet to show correct house colors, revise front elevation to show gable end vent.	Monte Verde 3 NW of 11th Carmel-By-The-Sea CA 93921	5/19/2025		In Review
25139	Design Study	DS 25139 (Kshire Property Investments, LLC)	Two	Demolition of existing single story residence, shed, and site features. Proposed construction of a 3 bedroom, 1.5 bath residence with a 2 car garage and covered patio. Site improvements to include grading, retaining and site walls, entry steps, paving, and fencing. Proposed removal of 5 trees (1 eucalyptus, 3 ornamental, and 1 oak). Proposed construction of detached 2 bedroom, 1 bath ADU. Site improvements for the ADU include new entry steps and exterior door landings	Monte Verde St. 4SW of 3rd Avenue			Pending Assignment
25138	Design Study	DS 25138 (Melani)	One	Landscape planting and fencing associated with previously approved design study permit and building permit	Carmelo Street 4 SW of 2nd Avenue	5/19/2025		In Review
25137	Design Study	DS 25137 (Susko)	One	Addition of new outdoor spa, new fire suppressant equipment room, revised driveway material, revised site coverage calculations	Dolores Street, 2 SE of 9th	5/9/2025		In Review
25136	Banners	BA 25136 (PacRep - Gypsy)		Installation of 5 double-sided banner poles for 44 days from November 7 2025 - December 22, 2025 for PacRep Theatre Presents Gypsy at the Founders Theatre.	Ocean from Junipero to Monte Verde	5/8/2025		In Review
25135	Banners	BA 25135 (PacRep - Waitress)		Installation of 5 double-sided banner poles for 38 days from June 13, 2025 - July 12, 2025 for PacRep Theatre Presents Waitress at the Founders Theatre.	Ocean from Junipero to Monte Verde	5/7/2025		In Review

25134	Preliminary Site Assessment	PSA 25134 (Munoz)		Residential Remodel	4th Ave 3 NE of Monte Verde			Closed
25133	Design Study	DS 25133 (Comeau & Meyrose)	One	Revision to DS 24096 (Comeau & Meyrose): Relocate gas meter, remove one window at master closet and relocate the other window to center of the room, replace glass railings with steel rod railings.	Santa Fe 3 NE of 5th Ave	5/7/2025		In Review
25132	Temporary Use Permit	TUP 25132 (Cypress Grove Winery)		Saturday, May 24, 2025 -12PM-8PM	SW Corner of 7th & San Carlos, Suite 4			In Review
25131	Design Study	DS 25131 (Munoz)	Two	Residential Remodel	4th Ave 3 NE Monte Verde, Carmel-by-the-Sea, CA 93921			Closed
25130	Historic Evaluation	HE 25130 (Virnig)		Historic Evaluation	Palou 9 NW of Casanova	5/27/2025		In Review
25129	Design Study	DS 25129 (Yang-Bauer)	One	We would like to change the style of the fence. The plans showed a 1"x1" vertical picket fence. We would like to switch to a 1x6 horizontal board fence with 1/4" gaps. We would like to add 2' of lattice on a section of the south fence. Front fence will be the same but 4' tall and double sided with no lattice	San Carlos 2 SW of 1st	5/2/2025		In Review
25128	Sign	SI 25128 (Compass)		We are requesting guidance on the next steps needed to secure approval for installing a new awning to replace the existing sign, which currently features a banner over the old awning.	San Carlos 2 NE of Ocean	5/9/2025		In Review
25127	Preliminary Site Assessment	PSA 25127 (Devine)		Preliminary Design Study & Site Assessment	Camino Real 2 SW of 9th	5/1/2025		In Review

Total Records: 33

6/3/2025



Business License Report

05/01/2025 - 05/31/2025

Entity #	Application Type	Business Name	Business Description	Location	Date Received	Date Approved	Status
25021	New Business	Lenox Hill Interiors, Inc.	Furniture Sales	Lincoln 4 SE of Ocean	5/27/2025		In Review
25020	New Business	Somewhere on Ocean	Clothing & accessories	NE Corner of Monte Verde & Ocean	5/23/2025		In Review
25019	New Business	Nora's	Full Service Restaurant	San Carlos 3NW of 7th	5/20/2025		In Review
25018	New Business	Austern Cohen Gallery	Art Gallery to display and sell artist's own work	Lincoln 2 SW of Ocean	5/12/2025	5/28/2025	Approved

Total Records: 4

6/3/2025



Building Permit Report

05/01/2025 - 05/31/2025

Permit #	Date Submitted	Date Approved	Project Description	Valuation	Permit Type	Property Location
250249	5/30/2025		Remodel a single family residence with attached garage. Remodel kitchen, laundry room, and two bathrooms. Convert interior space for new powder room. New interior lighting and electrical installation.	215,000	Building	Dolores 4 SE of 13th
250248	5/30/2025	5/30/2025	Installation of overhead electrical connection in conjunction with previously issued building permit BP 23-494.	2,500	Electrical	Mission 3 NE of 8th
250247	5/30/2025		Install new KG60 Kohler generator and (2) 200-amp ATS	43,500	Electrical	3080 Rio Road
250246	5/30/2025	5/30/2025	Remove existing presidential shingles and install new CertainTeed Presidential TL shingles in color "Autumn Blend".	19,000	Roofing	2915 Franciscan Way
250245	5/30/2025		Remove carpet and hardwood and replace with new hardwood flooring. Remove and replace wall paneling and baseboard and replace with new. Remove existing kitchen cabinet and replace with like cabinets. Replace kitchen sink and faucet and replace with like product. Replace kitchen refrigerator, microwave, and dishwasher with like product. Replace front door with like product. Add four 36" wide cabinets to garage. Replace powder vanity, sink & faucet with like product. Add countertop over front load washer and dryer. Paint interior and exterior throughout. Paint staircase and railing.	0	Exempt Work	Camino Real 3 SW of 10th
250244	5/30/2025	5/30/2025	Replace wood fence along 6th and Junipero in-kind.	30,000	Building	NW Corner of Junipero & Ocean

250243	5/29/2025	5/30/2025	Remove current wood shake roof system. Install new sheathing, install waterproof underlayment, install proper venting, and install a CertainTeed Presidential TL composition shingles in color "Country Gray". Flat roof area to be a silicone application with Weathered Wood colored granules.	112,440	Building	SE Corner of Casanova & Ocean
250242	5/29/2025		37 S.F. ADDITION AND 715 S.F. REMODEL, REPLACE WINDOWS & DOORS	250,000	Building	Junipero 4 SE of 8th
250241	5/28/2025	5/28/2025	Replacement of fireplace hearth. No insert/plumbing/electrical work to be performed.	0	Exempt Work	3rd 2 NW of Dolores
250240	5/28/2025	5/28/2025	Rerout main water line from meter to house.	5,000	Plumbing	2928 Franciscan Way
250239	5/28/2025		Install 2.40 Kw PV system (6) Solaria Power XT-400R-PM 400 watt modules. Enphase IQ8Plus-72-2-US Microinverters, IronRidge racking.	14,560	Electrical	Casanova 9 NW of Ocean
250238	5/28/2025	5/28/2025	Remove and replace boiler.	10,184	Mechanical	Guadalupe 4 NE of 6th
250237	5/27/2025	5/28/2025	Widen gate opening of front fence on Santa Rita from 10' to 14'. Update fence design from legacy lattice top solid fence to grape stake with filtered view, no taller than 4'. Rotten posts and frame to be replaced, utilizing existing fence frame when possible.	0	Exempt Work	
250236			Revision to include structural updates, drainage, and utility changes	250,000	BP Revision	Guadalupe 3 NW of 7th, Carmel
250235	5/28/2025		Replace existing deck	20,000	Building	Trail View 3 SW of Flanders
250234	5/28/2025	5/28/2025	REDUCT 19 REGISTERS	31,143	Mechanical	San Antonio 3 SW of Ocean
250233	5/22/2025	5/22/2025	Re-roof: Tear off existing synthetic shake roof and Replace with Class A, CertainTeed Presidential TL. Color: Autumn Blend	35,250	Roofing	Carmelo 3 SW of 10th
250232	5/22/2025	5/28/2025	Repair of existing fence with new 4x4 posts, base board, vertifcal fence boards, leveling of the gate, and paint.	0	Exempt Work	SW Corner of Lincoln & 9th

250231	5/22/2025		Junior ADU- Convert existing lower level storage space into a Junior ADU. Requires removal of existing concrete slab. Additional excavation & under-pinning of the foundation to increase ceiling height. All proposed work contains within the existing building footprint	175,000	Building	Dolores 2 NW of 10th
250230	5/22/2025	5/22/2025	Replace water heater - install Bradford White 40 gallon.	3,200	Plumbing	Monte Verde 4 SW of Ocean
250229	5/22/2025		New Detached Garage to an Existing 3,122 SF Single Family Residence on the Historic Inventory with an Existing Detached 116 SF Guesthouse with Wood Trellises at Pedestrian and Car Doors; This Project Includes: - New 323 SF Garage (9.9% Of Existing Floor Area - Less Than 10%) and a Single Carlift; - No Changes Are Proposed to Main Residence and Guest House; - Proposed Exterior Site Changes Include: A. Removal of 970 SF of Existing Site Coverage; B. New Natural Turf Area in Courtyard; C. New Carmel Stone Clad Garden Wall and Curbing in Courtyard; D. New Carmel Stone Clad Firepit with Gas Insert Burner; E. New Planter Areas; F. No Trees to Be Removed.	65,000	Building	NW Corner of San Carlos and Santa Lucia
250228	5/22/2025	5/28/2025	Replace existing roof and install new Presidential TL roof in color Country Gray.	21,200	Roofing	Casanova 5 NW of Ocean
250227	5/22/2025		Replace a single door in upstairs bedroom that has right hand out swinging opening to balcony on second floor of residence. There is a bullnose on interior and exterior of the opening for door frame. Size of the opening will not be modified. I believe the current door is made of wood. The replacement door is made of Jeld-wen material (see attached agreement). Door's location on the second floor of the residence is shown on attached photos.	0	Exempt Work	San Carlos 4NW of 3rd
250226	5/22/2025	5/22/2025	Reroof 800sf with new Malarkey Legacy Weather Wood shingles.	14,000	Roofing	San Carlos 4 SW of 12th

250225	5/22/2025	5/30/2025	Asphalt patching within driveway.	0	Exempt Work	Scenic 7 SE of 8th
250224	5/21/2025	5/21/2025	Replace three main Zinsco panels with new 100 amp panels.	5,000	Electrical	NWC of Junipero & 5th
250223	5/21/2025		Condominium kitchen and bathroom renovations.	36,500	Building	Mission 4 NE of 5th, Unit 2
250222	5/20/2025	5/20/2025	Apartment above New Masters Gallery - Replace existing water heater with new 30 gallon Bradford White.	2,500	Plumbing	Dolores 2 NE of 7th
250221	5/20/2025	5/20/2025	Replace existing water heater with tankless water heater.	2,300	Plumbing	Monte Verde 5 SW of 5th
250220	5/19/2025	5/19/2025	Installation of underground electrical service and new electrical panel.	25,000	Electrical	Camino Real 3 SW of 4th
250219	5/30/2025		Convert existing commercial space to residential.	120,000	Building	SW Corner of Mission & 4th
250218	5/19/2025	5/19/2025	Replacement of existing exterior electric water heater.	5,000	Plumbing	26336 Scenic Road
250217	5/16/2025		Prep and repaint all exterior trim, windows, doors, fascia, outriggers, garage doors, etc. All white trim will now be brown - color is Benjamin Moore 2108-10 Ferret Brown. All exterior doors that are currently wooden will be sanded and restained only.	0	Exempt Work	Lopez 2 NW of 4th
250216	5/16/2025	5/19/2025	Remove and replace a 70k BTU furnace.	8,004	Mechanical	Dolores 2 NE of 3rd
250215	5/14/2025	6/2/2025	Replace existing wood shake roof with clary tile, new fixed window to living room on west elevation, replace entry door, and replace two pairs of french doors and one window at the interior courtyard. Add interior wall to convert den to third bedroom, remodel kitchen and bathrooms. Installation of two new Velux skylights.	180,000	Building	Lincoln 5 NE of 13th
250214			Installation of a temporary power pole	3,475	Electrical	Santa Fe 4 SE of 2nd
250213	5/13/2025		Installation of new transfer switch and battery backup system.	25,000	Electrical	San Antonio 3 NW of Santa Lucia

250212	5/12/2025	5/12/2025	Remove and replace main service panel. Increasing amperage from 100 to 200.	3,000	Electrical	Lincoln 3 NE of 4th
250211	5/12/2025	5/12/2025	Replace main meter panel in same location. Upgrade amperage from 100 amp to 200 amp.	3,500	Electrical	Mission 4 SW of 1st
250210	5/12/2025	5/12/2025	Remove and replace existing tankless water heater with exact same unit. Direct Swap.	8,521	Plumbing	Casanova 5 NW of Ocean
250209	5/12/2025	5/14/2025	Remove existing stand seam metal roof. Install new underlayment. Re-install existing standing seam panels.	45,000	Roofing	NW Corner of Scenic & 9th
250208	5/9/2025	5/9/2025	Tear off existing wood shake roof and install new underlayment. Install new CertainTeed Landmark TL Class A composition shingles in color "Shenandoah". CONDITION: If gutters are to be replaced, copper gutters are not allowed to be installed.	45,553	Roofing	Casanova 3 NE of 8th
250207	5/8/2025	5/12/2025	Repaint exterior home & Garage - same as existing - Exterior body: Behr 4854 ultra flat tan custom; External trim: Sherwin Williams 041615 trim brown; Exterior door/window trim: Benjamin Moore 632-3x semi gloss dark taupe	0	Exempt Work	Dolores 4 NE of 11th
250206	5/8/2025	5/8/2025	Replace water line on Mission St side of business, roughly 100' of PVC for emergency repair.	6,500	Plumbing	Mission 2 NW of 6th
250205	5/9/2025		Repair (E) 312 s.f. roof deck above (E) garage, replace guardrail sys, R&R brick tile over deck	11,500	Building	San Carlos 2 SW of 11th
250204	5/8/2025	5/8/2025	Installation of new engineered wood floors, plastering and painting of walls and ceilings.	0	Exempt Work	Lincoln 3 NE of 7th
250203	5/8/2025	5/8/2025	Repair existing 1"x12"x6' dogeared redwood fence. 100' long along property line.	0	Exempt Work	SW Corner of Flanders & Acacia Way
250202	5/8/2025	5/8/2025	Retile and paint walls of an existing bathroom. Replace toilet and sink with no plumbing modifications.	0	Exempt Work	San Carlos 3 SW of Ocean

250201	5/8/2025	5/12/2025	Replace interior doors at the bedroom and den. Addition of wardrobe cabinetry to bedroom and wine shelving to den.	0	Exempt Work	Mission 3 NW of Santa Lucia
250200	5/7/2025	6/2/2025	Exploratory demolition to located building structural elements and in-wall utilities.	5,000	Demolition	SW Corner of Junipero & 5th
250199	5/7/2025	5/7/2025	Exploratory demolition permit to determine structural details for apartment conversion. CONDITION: Applicant shall request a building inspection prior to permit submission for the entire scope of new construction.	5,000	Demolition	San Carlos 2 NW of 8th, Carmel CA 93921
250198	5/7/2025	5/7/2025	In-kind repairs to drain waste and vent system.	5,200	Plumbing	SW Corner of Perry Newberry & 5th
250197	5/7/2025	5/29/2025	Installation of new PV system and backup energy storage system.	25,000	Electrical	SW Corner of Lincoln & 5th
250196	5/7/2025		ReRoof	12,800	Roofing	Santa Fe 2 NW of 4th
250195	5/6/2025	5/6/2025	Remove and replace 60k BTU furnace in-kind.	10,248	Mechanical	NW Corner of Santa Fe & 8th
250194	5/6/2025	5/6/2025	Restore SE upper corner vertical recessed 1" groove (at previous repaired woodpecker damage) with 2 part wood epoxy – aesthetically similar grain and color as existing cedar at 1" in. x 6' ft. section	0	Exempt Work	Lopez 3 NW of 4th
250193	5/6/2025	5/6/2025	Replace existing 100 Amp Federal Pacific service panel with a 200 Amp Square D service panel, relocate approxiamatley 6 feet to the left	3,000	Electrical	4th 2 SE of Monte Verde
250192	5/6/2025		Installation of new foundation drainage system.	20,000	Building	SW Corner of Mission & 1st
250191	5/6/2025		Remodel including re-roof, new windows and doors, interior reconfiguration and deck repair.	952,259	Building	Monte Verde 8 SW of 12th
250190	5/1/2025		Replacement and enlargement of existing west deck; Paint exterior of residence; Install a new Certainteed Presidential Triple Layer composite shingle roof; and Install a new exterior light fixture at deck access doors.	28,000	Building	SE Corner of Santa Fe & 3rd

Total Records: 60

6/3/2025



Code Compliance Report

05/01/2025 - 05/31/2025

Case #	Case Date	Status	Location	Problem Description	Date Received	Date Closed
25107	5/7/2025	Open	Crespi 5 SE of Mountain View	Illegal dumping of tree debris.	3/5/2025	
25105	5/2/2025	Closed	Mission 2 SW of Ocean	Propane space heater in a prohibited outdoor location.	4/23/2025	
25104	5/1/2025	Open	Mission 2 SW of Ocean	Propane space heaters in a prohibited outdoor location.	4/23/2025	
25103	5/1/2025	Closed	SW Corner of Vizcaino & Mountain View	Tree work without permits. See PSA 25013 for property history.	5/1/2025	5/6/2025

Total Records: 4

6/3/2025



Transient Rental Report

01/01/2025 - 05/31/2025

Case #	Street	Status	Date Received	Last Status Date	Date Closed
25094	Forest	Closed	4/9/2025	4/15/2025	4/15/2025
25067	Junipero	Closed	3/28/2025	4/9/2025	4/9/2025
25065	Torres	1st NOV sent	3/26/2025	5/26/2025	
25063	Torres	Closed	3/24/2025	4/7/2025	4/7/2025
25016	Casanova	Closed	1/21/2025	3/3/2025	3/3/2025
25014	Lobos	Closed	1/16/2025	2/17/2025	2/17/2025
25006	San Antonio	Closed	1/6/2025	4/11/2025	4/11/2025

Total Records: 7

6/5/2025



Encroachment Permit Report

05/01/2025 - 05/31/2025

Permit #	Permit Type	Date Submitted	Project Description	Property Location	Date Issued	Status
250134	Temp Ench	5/30/2025	Closure and impact to sidewalks to facilitate installation of the new fence.	NW Corner of Junipero & Ocean	5/30/2025	Issued
250133	Temp Ench	5/30/2025	8'x14' asphalt apron repair.	Scenic 7 SE of 8th	5/30/2025	Issued
250132	Temp Ench	5/30/2025	PG&E to trim vegetation around pole within rear of 25930 Junipero St. Crew parking in front of property.	25930 Junipero	5/30/2025	Issued
250131	Temp Ench	5/30/2025	3'x4' asphalt patch for CalAm job #0942.	San Carlos 4 SW of 10th	5/30/2025	Issued
250130	Temp Ench	5/30/2025	Close road to run new electrical and gas service.	Casanova 4 SW of 4th	5/30/2025	Issued
250129	Temp Ench	5/28/2025	Replace sewer lateral using pipe bursting.	SW Corner of Santa Rita & 1st	5/29/2025	Issued
250128	Temp Ench	5/28/2025	Placement of dumpster for demolition work in public right of way.	SW Corner of Torres & 8th		In Review
250127	Temp Ench	5/28/2025	PGE to trench and backfill a 5'x5' bellhole to abandon existing gas service.	San Antonio 2 NE of 13th	5/28/2025	Issued
250126	Temp Ench	5/23/2025	Closure of sidewalk to accommodate for roofing work. CONDITION: "Sidewalk Closed Ahead" signs shall be posted at the nearest street corners to notify public of sidewalk closure.	SE Corner of Casanova & Ocean	5/30/2025	Issued
250125	Temp Ench	5/22/2025	PG&E to repair lid. PM# 31735673.	Intersection of Lincoln & 7th	5/22/2025	Issued
250124	Temp Ench	5/22/2025	PG&E to replace underground service, replace overhead service and overhead transformer. PM# 35625793.	Lincoln 5 NE of 2nd	5/22/2025	Issued
250123	Temp Ench	5/21/2025	Placement of moving truck blocking one lane.	SW Corner of Lincoln & 4th		In Review
250122	Temp Ench	5/21/2025	5'x6' & 5'x5' for CalAm job #3118.	NE Corner of Lincoln & 5th	5/22/2025	Issued
250121	Temp Ench	5/21/2025	Install scaffolding in the public right of way and closure of sidewalk to facilitate painting of Cypress Inn tower.	NE Corner of Lincoln & 7th		In Review

250120	Temp Ench	5/21/2025	Bore/trench and place 77' of 1-4" CPC under 126sf of sidewalk. Repair and replace sidewalk.	Ocean 3 SW of Lincoln		In Review
250119	Temp Ench	5/20/2025	PG&E to remove heavy concrete and steel pads over transformer to inspect underground facility. PM# 46522665	NE Corner of Lincoln & 7th	5/20/2025	Issued
250118	Temp Ench	5/20/2025	Replace sewer lateral using pipe bursting.	Dolores 2 SW of 10th	5/20/2025	Issued
250117	Temp Ench	5/19/2025	Replace sewer lateral using pipe bursting.	Lincoln 3 NW of 11th	5/19/2025	Issued
250116	Temp Ench	5/19/2025	PG&E to trench and backfill a 5'x5' bellhole to abandon existing gas service. PM# 35638434.	SW Corner of Mission & 12th	5/19/2025	Issued
250115	Temp Ench	5/19/2025	Sewer lateral replacement from property to city main in street, approximately 25'.	Lincoln 3 NW of 8th	5/19/2025	Issued
250114	Temp Ench	5/19/2025	Temporary toilet in ROW while remodel and landscape are completed.	Camino Real 4 SE of Ocean	5/19/2025	Issued
250113	Temp Ench	5/15/2025	Replace full sewer lateral and add backwater valve and sewer relief valve.	Mission 4 SW of 1st	5/19/2025	Issued
250112	Temp Ench	5/13/2025	Run new sewer lateral from new ADU along 11th about 170' and connect to Camino Real sewer main.	SW Corner of Casanova & 11th	5/19/2025	Issued
250111	Temp Ench	5/13/2025	PG&E to trench and backfill a 5'x5' bellhole to abandon existing gas service. PM # 35637851	Santa Fe 4 SE of 2nd	5/19/2025	Issued
250110	Temp Ench	5/13/2025	PG&E to replace pole, install underground service, and install overhead transformer. PM# 35597887	Lincoln 3 NE of 5th	5/19/2025	Issued
250109	Temp Ench	5/12/2025	PG&E to complete gas maintenance, excavate a 4'x4' bellhole and restore.	San Carlos 4 NW of 11th	5/19/2025	Issued
250108	Temp Ench	5/9/2025	Full sewer lateral replacement using pipe bursting.	Santa Fe 2 SW of Ocean	5/12/2025	Issued
250107	Temp Ench	5/9/2025	Replace sewer lateral using pipe bursting.	4th 4 SE of Perry Newberry	5/12/2025	Issued
250106	Temp Ench	5/8/2025	Closure of sidewalk to facilitate repair of broken water line.	Mission 2 NW of 6th		In Review
250105	Temp Ench	5/6/2025	PG&E to replace pole, replace underground service, and install overhead transformer.	Carmelo 2 SW of 11th	5/8/2025	Issued
250104	Temp Ench	5/6/2025	PG&E to trench and backfill a 5'x5' bellhole to abandon existing gas service.	Carmelo 4 NW of 8th	5/6/2025	Issued

250103	Temp Ench	5/6/2025	Applicant to trench, backfill, and install electric substructures. PG&E to remove overhead service and install new underground service.	Mission 3 NW of Santa Lucia	5/7/2025	Issued
250102	Temp Ench	5/2/2025	Replace Water PRV work is done on property but we will have to stand on sidewalk to do the work.	SW Corner of Lincoln & 6th	5/6/2025	Issued

Total Records: 33

6/3/2025



Tree Permit Report

05/01/2025 - 05/31/2025

Permit #	Permit Date	Permit Type	Location of Property	Description	Status	Approved Date
25125	5/3/2025	1. Tree Evaluation	Crespi Ave 1 SE Mt. View Ave.	Evaluate Monterey Pine	Approved	5/29/2025
25126	5/9/2025	2. Tree Removal/Pruning	Santa Fe 5 NE of 5th- In front of vacant lot	Remove 1 large pine tree - almost dead	In Review	
25127	5/9/2025	2. Tree Removal/Pruning	Santa Rita 3 SW of 4th- In front of house	Prune branches overhanging roof	In Review	
25128	5/11/2025	2. Tree Removal/Pruning	Mission Street between 5th & 6th, Carmel CA 93921	Removal of two dead oak trees located on a residential rental property for safety and liability reasons.	Approved	5/19/2025
25129	5/12/2025	1. Tree Evaluation	Guadalupe 4 NE of 5th	EVALUATION: Oak (1) for possible removal	In Review	
25130	5/12/2025	1. Tree Evaluation	Northeast corner of Mission St and Fourth Ave, Carmel	Evaluate large Monterey Cypress tree for removal or pruning	Approved	5/19/2025
25131	5/12/2025	1. Tree Evaluation	Mission 4 SW of 1st	1 Tree, 85+ feet tall (very big, wide, & tall), Pine Tree	Approved	5/23/2025
25132	5/12/2025	1. Tree Evaluation	2969 Franciscan Way	30 feet tall?, Redwood that Andrew Tope says is a trunk shoot	Approved	5/14/2025
25133	5/13/2025	2. Tree Removal/Pruning	NE Corner of 4th and Mission	PRUNING: Cypress tree estimated over 50 feet high, branches of 8 inches REMOVAL: Juniper obscures stop sign	Approved	5/19/2025
25134	5/13/2025	1. Tree Evaluation	San Carlos 2 SW of 12th	Oak - 50-60' (?) FT High - There is a crack running thru the bark for 6-8 FT. I require an evaluation of the significance of this defect. Thank you!	Approved	5/13/2025

25135	5/13/2025	1. Tree Evaluation	Monte Verde 2 SE of Ocean	Roots from Cypress tree have lifted parking pavers and has become a tripping hazard for pedestrians. Roots are 10 feet away from base of tree. Need permission to remove/shave roots lifting pavers.	In Review	
25136	5/13/2025	2. Tree Removal/Pruning	SW Corner of Torres and 9th	1 80 foot pine	In Review	
25137	5/13/2025	2. Tree Removal/Pruning	NW Corner of Lincoln and 4th	3 Coast Live Oak	Approved	5/28/2025
25138	5/13/2025	2. Tree Removal/Pruning	NE Corner of Ocean and San Antonio	Prune 2 Cypress + 2 oak tree overhanging branches into property, Ocean Ave. side	Approved	5/19/2025
25139	5/13/2025	2. Tree Removal/Pruning	SW Corner of Mission and 12th Avenue	Remove one 29' Monterey pine	Approved	5/29/2025
25140	5/13/2025	1. Tree Evaluation	Mission 0/1 SE of 10th and 10th 2 SE of Mission	Redwood tree on property line	In Review	
25141	5/14/2025	2. Tree Removal/Pruning	2nw 12th on mission street	Tree Pruning for Defensible Space	In Review	
25142	5/14/2025	1. Tree Evaluation	Carmelo 5 NE of Santa Lucia	2 oak trees (one dying in back 16") (one in front alive for addition 13")	In Review	
25143	5/15/2025	2. Tree Removal/Pruning	SE Corner of Torres & 5th	REMOVAL: 1, 34" DBH Monterey Pine, Dying	In Review	
25144	5/15/2025	2. Tree Removal/Pruning	Monte Verde 5SW of 5th, Carmel By The Sea	Remove one eucalyptus tree on the left in the backyard	Approved	5/16/2025
25145	5/16/2025	2. Tree Removal/Pruning	Santa Fe 4 SE of 2nd	New home construction	Denied	
25146	5/20/2025	1. Tree Evaluation	APN: 010-045-020-000 2 Santa Fe Street SE of Ocean Carmel-by-the-sea	Oak Tree in front yard to the left of the driveway	Approved	5/22/2025
25147	5/20/2025	1. Tree Evaluation	Median Santa Rita between 2nd and 3rd	Evaluate leaning tree	In Review	
25148	5/20/2025	2. Tree Removal/Pruning	SW Corner of Guadalupe and Third Carmel CA	Get Home Insurance Non-Renewal Rescinded	Approved	5/20/2025

25149	5/21/2025	2. Tree Removal/Pruning	Corner of Viscaino and Mountain View	Removal of 12 oak trees ranging from 4" in diameter to 18", includes cluster of small oak trees	In Review	
25150	5/23/2025	2. Tree Removal/Pruning	Monte Verde 6 SW of 13th	One Oak tree- multiple branches-large (over 6 inches in diameter)	In Review	
25151	5/23/2025	2. Tree Removal/Pruning	Mission 4 SW of 1st	1 Tree, 85+ feet tall (very big, wide, & tall), Pine Tree	In Review	
25152	5/27/2025	1. Tree Evaluation	Santa Rita 3SE of Third. Pine in backyard. Bamboos on sides of home.	Trees and branches too close to home and over roof next to chimney.	In Review	
25153	5/28/2025	2. Tree Removal/Pruning	2969 Franciscan Way	30 feet tall?, Redwood that Andrew Tope says is a trunk shoot	Approved	5/30/2025
25154	5/29/2025	2. Tree Removal/Pruning	Oak Knoll Way 4 SE of Forest Rd.	See details attached	Approved	5/30/2025
25155	5/29/2025	2. Tree Removal/Pruning	Crespi Ave 1 SE Mt. View Ave.	Evaluate Monterey Pine	Approved	5/29/2025
25156	5/29/2025	2. Tree Removal/Pruning	NW CORNER OF 6TH AND MISSION STREET, CARMEL, CA 93921	TREE PRUNING	In Review	
25157	5/29/2025	2. Tree Removal/Pruning	Torres 3 SW of 1st	One dead pine behind garage/one very large pine on property line North side	In Review	
25158	5/30/2025	1. Tree Evaluation			In Review	
25159	5/30/2025	1. Tree Evaluation	Carmelo St	Tree Evaluation	In Review	

Total Records: 35

6/3/2025



CITY OF CARMEL-BY-THE-SEA PLANNING COMMISSION Staff Report

June 11, 2025
CONSENT AGENDA

TO: Chair LePage and Planning Commissioners

SUBMITTED BY: Shelby Gorman, Administrative Coordinator

APPROVED BY: Anna Ginette, AICP, Director of Community Planning and Building

SUBJECT: May 14, 2025 Regular Meeting Minutes

Application:

APN:

Block:

Lot:

Location:

Applicant:

Property Owner:

Executive Summary:

The Planning Commission routinely approves minutes of its meetings.

Recommendation:

Approve draft minutes

Background and Project Description:

None.

Staff Analysis:

None.

Other Project Components:

None.

Attachment 1 - May 14, 2025 Regular Meeting Minutes

**REGULAR MEETING
Wednesday, May 14, 2025**

TOUR 3:00 PM

MEETING 4:00 PM

CALL TO ORDER AND ROLL CALL - TOUR

The following Commission members were present for the tour: Mel Ahlborn, Erin Allen, Stefan Karapetkov, Michael LePage, and Stephanie Locke

The following Commission members were absent: None

TOUR OF INSPECTION

Item A: UP 25090 (The Sea Shack): San Carlos between Ocean and 7th Avenue (Carmel Square, Unit #2)

Item B: DS 24207 (Hermle-Collins): Mission Street 4 northeast of 1st Avenue

Item C: DS 24208 (Hermle-Collins): Mission Street 3 northeast of 1st Avenue

Item D: DS 24209 (Hermle-Collins): Mission Street 2 northeast of 1st Avenue

CALL TO ORDER AND ROLL CALL – CHAMBERS

The following Commission members were present: Mel Ahlborn, Erin Allen, Stefan Karapetkov, Michael LePage, and Stephanie Locke

The following Commission members were absent: None

PUBLIC APPEARANCES

The following members of the public appeared before the Commission: Will Rei

ANNOUNCEMENTS

None

CONSENT AGENDA

Item 1: Monthly Activity Report: April 2025

Item 2: April 9, 2025 Regular Meeting Minutes

Item 3: DS 22-331 (Collins): Consideration of a Final Design Study and Coastal Development Permit for the demolition of an existing 866-square foot single-family residence and 213-square-foot shed, and construction of a new 1,800-square-foot two-story single-family residence inclusive of a 200-square-foot

attached garage located at San Carlos Street 3 southeast of 1st Avenue in the Single-Family Residential (R-1) District and Archaeological Significance (AS) Overlay District. APN: 010-121-013-000.

Proposed CEQA Action: Find the project categorically exempt from environmental review pursuant to CEQA Guidelines Section 15303 and that none of the exceptions can be made in this case

Item 3: DS 22-331 (Collins) was pulled from the Consent Calendar for discussion.

Item 3: DS 22-331 (Collins): Consideration of a Final Design Study and Coastal Development Permit for the demolition of an existing 866-square foot single-family residence and 213-square-foot shed, and construction of a new 1,800-square-foot two-story single-family residence inclusive of a 200-square-foot attached garage located at San Carlos Street 3 southeast of 1st Avenue in the Single-Family Residential (R-1) District and Archaeological Significance (AS) Overlay District. APN: 010-121-013-000.

Proposed CEQA Action: Find the project categorically exempt from environmental review pursuant to CEQA Guidelines Section 15303 and that none of the exceptions can be made in this case

Commissioner Ahlborn inquired about proposed exterior materials mentioned in the staff report under finish details, specifically a swap made related to fire safety concerns.

Evan Kort, Senior Planner, explained that the project site is in the very high fire hazard severity zone and that projects in this zone must adhere to specific building requirements regarding construction materials and methods. He explained the Building Code requirement for fire resistant siding to meet State Fire Marshall requirements. He spoke to the identical assembly, look, and composition of the siding options. He noted that the Building Department typically reviews fire-related requirements, but Planning has been paying closer attention to these requirements.

Chair LePage opened the meeting for public comment. The following members of the public appeared before the Commission: None

Chair LePage closed the meeting for public comment.

It was moved by Chair LePage and seconded by Commissioner Allen to approve the consent agenda.

The motion passed by the following roll call vote:

AYES:	Commission Member(s): Ahlborn, Allen, Karapetkov, Locke, LePage
NOES:	Commission Member(s): None
ABSTAINED:	Commission Member(s): None
ABSENT:	Commission Member(s): None

ORDERS OF BUSINESS

Item 4: Review of Draft Housing Element Amendment: Revised Chapter 2, New Appendix C

Brandon Swanson, Assistant City Administrator, introduced the presentation. He stated this represents a large milestone for the Housing Element Amendment effort, which started with the goal of better spreading housing units across the City rather than using two City-owned sites. He thanked staff and the community, including the AHA resident group, noting the thousands of volunteer hours that went into this effort. He described it as a "true representation of what City and resident collaboration can do".

Marnie Waffle, Principal Planner, presented on the Housing Element with a focus on reviewing the draft revisions to Chapter 2 (programs) and Appendix C (analysis, including sites inventory), and providing feedback.

The State has estimated the need for 2.5 million new homes statewide, with the City's Regional Housing Needs Allocation (RENA) being 349 units, of which 231 must be affordable. The City's responsibility is to identify potential sites to accommodate these units. Carmel adopted its 6th Cycle Housing Element in April 2024, meeting the deadline and protecting the village from Builder's Remedy. Part of the adopted strategy relied on putting 65% of affordable housing (149 units) on two City-owned sites. The City Council adopted a resolution in July 2024 directing staff to work with the Affordable Housing Alternatives (AHA) group to find other strategies to disperse affordable housing instead of concentrating on those two sites.

The idea was to "supercharge" existing Housing Element programs, focusing on hotels, downtown, Accessory Dwelling Units (ADUs), and church sites. The AHA group took the lead, investing significant hours over the last 10 months, creating subcommittees, conducting research, collecting data, reviewing State law, holding community workshops, and meeting with stakeholders. They retained a consultant, Veronica Tam, for technical assistance and had regular meetings with the State Department of Housing and Community Development (HCD) to review proposed strategies.

Principle Planner Waffle emphasized that this is an early draft and subject to change, especially through the State review process. The upcoming Special Joint City Council/Planning Commission Meeting on May 20, 2025, will be a second review for feedback from the public, Commission, and City Council. Staff and the AHA group will then polish the drafts and submit them to the State for an informal friendly review by May 30, 2025. They estimate a 3-week review time, hoping to hear back by the end of June 2025.

Principle Planner Waffle introduced the five strategies that developed from the initial four program areas by splitting the downtown into two strategies:

1. Hotel to Residential Conversion Program (Hotel Key Transfer Program): Tim Twomey explained this strategy was in previous Housing Elements but lacked substance. He explained the program requires three parties: a hotel owner (selling an underperforming hotel), an affordable housing developer (buying and converting the hotel to mixed-income housing), and a hotel developer (buying the hotel keys). The value of the hotel keys (estimated at \$300,000 apiece) makes the conversion project viable for the affordable housing developer, helping them recoup costs. Potential incentives include reduced/waived permitting fees and expedited application processing for both the affordable housing component and the new hotel. Based on a review of Carmel's underperforming hotels (15 identified, representing 379 rooms), they used an 85% conversion rate (322 units). Being conservative, they projected a 50% interest rate from developers/owners, resulting in 161 total potential units. With a target of 75% affordable and 25% market rate (split 25/25/25 for very low, low, moderate income), this strategy could yield 120 affordable units and 41 market rate units.

Chair LePage questioned the process, particularly who sells the hotel keys. Tim Twomey clarified that the affordable housing developer sells the right for the hotel room keys to the hotel developer. Hans Buder added that talking with developers is crucial to understanding their needs for partaking in the program. Principle Planner Waffle confirmed that HCD has seen each individual strategy previously and provided feedback; this will be the first time they see the combined draft.

2. **Downtown Mixed Income Incentive Program (MIP):** Hans Buder presented the strategy specifying that the goal is a program with broader applicability for any interested downtown property owner to potentially add affordable housing. It aims to incentivize mixed-income housing, even at the property level. The concept was inspired by Trevvett Court, a 100% affordable senior development on an 8,000 sq ft lot with 14 units (76 dwelling units/acre) that "feels like a Carmel building" in scale. Space planning showed that 88 dwelling units/acre is possible on an 8,000 sq ft lot while incorporating ground floor commercial and keeping a two-story, Carmel-type building.
3. **Downtown Live-Work Program:** Hans Buder presented the strategy, stating that it would not add net new square footage and therefore not change the character of the town. It provides housing opportunities, helping artists, shopkeepers, and small entrepreneurs live in Carmel again, potentially making them more locally serving. It activates under-activated downtown areas. He called it a "win-win" for the community, property owner, and tenant. He explained that tenants could potentially combine two rents (commercial space and rental) into a single, deed-restricted affordable rent. They identified 250 potential live-work spaces downtown on 20 properties considered potential sites. They hope to claim 14 of these for RHNA credit, representing about 116 potential live-work units. Based on owner interest, they applied 100% credit where interest existed and 50% credit where it did not, resulting in 85 potential units for RHNA credit. Hans Buder addressed the minimum square footage for a live-work situation, saying State minimums start around 350 square feet, noting they are "surprisingly low". Assistant City Administrator Swanson added that for a family of four, very low income is \$66,000, low income is \$106,000, and moderate income is \$124,000 annually. For an individual, very low income is \$46,000, low income is \$74,000, and moderate income is \$87,000 annually.
4. **Accessory Dwelling Units (ADUs):** This strategy was led and presented by Nancy Twomey. She specified the strategy's emphasis on leveraging existing State legislation that encourages ministerial approvals for ADUs. State objectives aim for a "one stop one shoe fits all" model with approvals throughout California communities. She noted significant momentum with 45 units either permitted or already licensed to occupy in the current 6th Cycle, which count towards the RHNA numbers. Proposed action includes working on a renter match program to help low-income individuals find ADU units by leveraging the Carmel Foundation's work. They are also considering rolling out a pre-sales inspection program when homes are sold to potentially uncover unpermitted cottages that could be candidates for the ADU program, helping to "uncover ones that don't come via a voluntary path". An ADU guide is already published on the City's website to help property owners understand options, State law variations, processes, and steps, including amnesty and JADU/ADU parameters.

Commissioner Karapetkov asked if ADUs are considered affordable for the RHNA count. Principle Planner Waffle explained the State allows the projection of a certain number as affordable, but they must be able to verify the unit as affordable at the construction stage (e.g., deed restricted or proved affordable based on market conditions) to count towards the RHNA. Commissioner Karapetkov confirmed there's no requirement for a deed-restricted ADU to meet the upfront projection goal. He then asked if any existing permitted ADUs have had deed

restrictions and Principal Planner Waffle confirmed that there has not. Commissioner Locke suggested including a program to verify affordable rentals without deed restrictions in the housing element, as "nobody wants a deed restriction".

5. Housing on Religious Facility Owned Property (Church Property): Principal Planner Waffle presented on this strategy in Victoria Beach's absence. This is a revamped program following Senate Bill 4 (SB 4), the Affordable Housing on Faith and Higher Education Lands Act of 2023. SB 4, passed during the Housing Element amendment process, allows projects on church-owned property to build up to 20 dwelling units per acre by right if 100% affordable. The current Housing Element doesn't address SB 419. Principle Planner Waffle stated that they looked at the five church sites in town and did outreach, holding a community meeting where representatives from all five churches attended and expressed interest. Three churches showed the most interest and are included in the proposed amendment. The benefits include encouraging synergy between faith communities and those in need, leveraging some of the largest properties in the City and providing a vehicle for translating interest into action. Incentives largely come from State law (exemptions from environmental review, reduction in parking, increased density, by right approvals). City incentives include water, expedited application processing, and reduced permitting fees. A future housing trust fund could provide additional support. Looking at the three interested church properties and allowed density, they project approximately 65 units across the three sites, all of which would have to be affordable under SB 4 and thus would be included towards the RHNA count for this strategy.

Principle Planner Waffle summarized that these five strategies represent the "meat" of the programs being presented to HCD, showing projected units and planned actions. She then discussed the Sites Inventory located in Appendix C. In the adopted Housing Element, the RHNA was achieved by identifying 25 sites, including city-owned properties, hospitality employee housing, ADUs, and pipeline projects, totaling 410 units. The proposed sites inventory suggests the RHNA can be achieved with only 12 sites, which do not include the City-owned sites. This proposed inventory relies on more ADUs, the same pipeline projects, the Hotel Key program, the MIP, the Live-Work program, and the Church program, totaling about 469 units. These are estimates subject to change during the State review. Principle Planner Waffle noted the value of having a buffer (the 469 projected units as opposed to the 349 RHNA) in case identified sites don't redevelop as projected. The breakdown ensures affordable housing is dispersed, not concentrated.

Other proposed minor revisions include:

- The accidentally deleted Local Universal Design Standards program will be put back in.
- Overnight Visitor Accommodation (hotel employee housing) program was retained but removed from RHNA credit because the State requires it to produce by midcycle or become mandatory. The City decided against making it mandatory but wants to keep the program to encourage hotels to pursue it.
- Programs proposed for deletion are the City-owned sites (Sunset Center and Vista Lobos) and amending the A2 zoning district related to Sunset Center, as they are no longer in the sites inventory.
- The SB10 program is also proposed for deletion because those sites are no longer used in the sites inventory.

Formatting changes include shifting program objectives/time frames upfront and removing scattered quotes. Quantified objectives are not yet filled out. Time frames have been updated to reflect a more realistic schedule after the past December 2024 deadlines.

In conclusion, Principal Planner Waffle reiterated that this is an early draft, not final. The substance focuses on the five strategies and sites inventory, though feedback on other revisions is also desired. Program numbers and estimated units per program are subject to change based on HCD review but currently project enough units to remove the City-owned sites.

Commissioner Locke returned to the question of whether an ADU consistently rented below market to low-income applicants, without a deed restriction, counts towards RHNA. Principle Planner Waffle confirmed that if they created a program to verify the low-income status, it could count; such a program needs to be established and shown to the State. She stated this could be pursued under the ADU program but isn't explicitly in the Housing Element yet. Commissioner Locke suggested including it in the Housing Element for the State to see, as getting low-income credit without deed restrictions is preferable for owners.

Chair LePage opened the meeting for public comment. The following members of the public appeared before the Commission: Julie Christopher

Chair LePage closed the meeting for public comment.

Commissioner Ahlborn thanked Principal Planner Waffle and the committee members. She praised the AHA committee's dedication, persistence, and innovation. She believed the vetted program would be successful for the town.

Commissioner Locke commented on water permits and using water credits, suggesting the City should move forward with releasing water for projects now rather than making it available only for specific projects, noting that water restriction and the hotel cap are "artificial controls".

Commissioner Karapetkov commented that the discussion was now much more "real" and "personal" with specific examples, feedback, numbers, and conversations with stakeholders. He said he liked the idea of using less expensive commercial areas for live-work spaces to bring life to those corners. The hotel conversion program requires more discussion and understanding of its business component, but the idea is intuitively sensible.

Chair LePage said he found the AHA committee's work "amazing," diversified, and specific. He was impressed with the potential for the live-work program to create a more diverse community, helping counter the stratification caused by real estate escalation. He expressed concern about removing public properties from the sites inventory because they offer control and opportunities for mixed uses. Assistant City Administrator Swanson responded, clarifying that removing City-owned sites from the Housing Element doesn't preclude future development, but removes the specific commitment to the State to issue an RFP by December 2025, allowing the City to be "more in control of our own destiny" He suggested the Commission could recommend the City Council keep the City sites in mind. Chair LePage said he understood the risk of penalties for missed commitments but felt active exploration was still needed.

Commissioner Allen asked Principal Planner Waffle about the expectations for the May 20th joint meeting. Principle Planner Waffle replied that it's another opportunity for both bodies (the Planning Commission and the City Council) to receive the presentation, get public input, and provide feedback to staff for revisions before submitting to the State.

RECESS 5:56-6:20 PM

CALL TO ORDER AND ROLL CALL – CHAMBERS

The following Commission members were present: Mel Ahlborn, Erin Allen, Stefan Karapetkov, Michael LePage, and Stephanie Locke

The following Commission members were absent: None

Item 5: Receive a presentation on findings, evidence and conditions of approval in the decision-making process.

Anna Ginette, Director of Community Planning and Building, provided background on the purpose of Findings, stating the training was a refresher focusing on the Planning Commission's role as a quasi-judicial body making decisions on discretionary permits. She defined "Findings" as the written documentation explaining the reasons and justifications for the hearing body's action, emphasizing they cannot be conclusionary statements and must be supported by actual factual evidence. "Conditions of Approval" become part of a permit once adopted. She walked through typical findings made on discretionary permits. Staff is working on a draft resolution template to better outline findings and evidence for clarity.

Typical findings include:

- Process: Generally found in the resolution, showing the proper process occurred;
- Consistency: Is the project consistent with the General Plan, Local Coastal Program, and Municipal Code; and
- Specific Code Findings: Findings required by the municipal code based on the permit or use type.

Director Ginette discussed types of evidence that support findings. This can include project plans, technical reports, site visits, modifications made during the review process, and code requirements. She discussed Conditions of Approval, classifying them into three main categories: standard conditions, special conditions, and mitigation measures.

Director Ginette explained that there must be an essential nexus between the condition required and the project's impact, such as requiring an access easement because a new development impacts access where none existed. There must also be rough proportionality, meaning the required action is proportional to the impact of the development, such as requiring paved access only related to the specific project's impact, and not larger area improvements. She described the Nollan case (lateral access vs. perceived visual blockage) and the Dolan case (floodplain dedication and bike/pedestrian path dedication vs. increased impervious surface and traffic) as examples where the conditions failed the test.

Key takeaways for the Planning Commission were to uphold and defend City land use laws, maintain a good administrative record, make decisions within their allotted power, and avoid overreaching.

Commissioner Allen spoke to the change in staff report format and how it provided clarity. She requested staff recommendations be removed to allow the Commission and applicant to be more informed on the requirements and guidelines for their project. Director Ginette responded that recommendations are typical and common since the staff are most familiar with the project and the code and their recommendations come from a place of facts. The layout of the resolution should provide information to the voting body. If the Commission were to disagree or wanted specific language within the evidence, it should always be included as part of the motion. Director Ginette further explained that if a draft resolution was not provided, the Commission would be required to adopt a resolution of intent to approve or deny a project, specify the required findings, evidence and incorporated conditions of approval, and direct staff

to return with a draft resolution for adoption. This would result in projects requiring additional public hearings and an increase to permit processing time.

Chair LePage commented on a previous discussion about starting public hearing items with a motion, which was decided against to avoid the appearance of a perceived position, though it is done by the Coastal Commission and other bodies to focus discussion.

Commissioner Locke supported the current process saying it streamlines the process and allows Commissioners to disagree with staff. Debate occurred regarding whether staff's position could be termed "evidence" or "findings" rather than a "recommendation". Director Ginette suggested "staff conclusion" as an alternative to "staff recommendation".

No action was required by the Planning Commission.

PUBLIC HEARINGS

Item 6: UP 25090 (Sea Shack Candy Co.): Consideration of a Use Permit, UP 25090 (The Sea Shack), for the establishment of a new Specialty Food Store selling Scandinavian sweets at San Carlos between Ocean and 7th Avenue (Carmel Square, Unit #2) in the Central Commercial (CC) District. APN: 010-141-005-000

Proposed CEQA Action: Find the Project categorically exempt from environmental review pursuant to CEQA Guidelines Sections 15301 and that none of the exceptions to the exemptions can be made in this case.

Katherine Wallace, Associate Planner, presented the staff report. The application is for a new Specialty Food Store selling Scandinavian sweets at San Carlos between Ocean and 7th Avenue (Carmel Square, Unit #2) in the Central Commercial (CC) District. Proposed hours are 11:00 AM to 7:00 PM on weekdays and 11:00 AM to 9:00 PM on weekends. The floor plan shows a small commercial space with smaller storage in the back. The proposed colors were shown. On-site garbage and on-site restrooms in the shared Carmel Square courtyard are provided. Staff made all necessary affirmative findings and did not place any special conditions on this project.

Chair LePage opened the meeting for public comment. The following members of the public appeared before the Commission: None

Chair LePage closed the meeting for public comment.

It was moved by Chair LePage and seconded by Commissioner Locke to approve a resolution finding that the establishment of a retail candy store within an existing commercial space is categorically exempt from environmental review pursuant to CEQA Guidelines Section 15301 – Existing facilities and that no exceptions to the exemptions found in Section 15300.2 apply in this case and approving a Conditional Use Permit (UP 25090, Sea Shack Candy Co.) for the establishment of a Specialty Food Store specializing in the sale of Scandinavian sweets. The property is located at Carmel Square, Unit #2, on San Carlos Street between Ocean and 7th Avenues in the Central Commercial (CC) Zoning District; APN: 010-141-005-000.

The motion passed by the following roll call vote:

AYES:	Commission Member(s): Ahlborn, Allen, Karapetkov, Locke, LePage
NOES:	Commission Member(s): None
ABSTAINED:	Commission Member(s): None

ABSENT: **Commission Member(s): None**

Item 7: **DS 24207 (Hermle-Collins):** Consideration of a Final Design Study, DS 24207 (Hermle-Collins), associated Coastal Development Permit, and associated Lot Line Adjustment for the demolition of an existing 1,321-square-foot, one-story single-family residence and the construction of a 1,818-square-foot, two-story single-family residence, inclusive of a 246-square-foot attached garage at Mission Street 4 northeast of 1st Avenue in the Single-Family Residential (R-1) District, Archaeological Significance (AS) Overlay, and Very High Fire Severity Zone. APN: 010-112-012-000.

Proposed CEQA Action: Find the Project categorically exempt from environmental review pursuant to CEQA Guidelines Sections 15302 and 15303 and that none of the exceptions to the exemptions can be made in this case

Item 8: **DS 24208 (Hermle-Collins):** Consideration of a Final Design Study, DS 24208 (Hermle-Collins), associated Coastal Development Permit, and associated Lot Line Adjustment for the demolition of an existing 1,595-square-foot, one-story single-family residence and the construction of a 2,102-square-foot, two-story single-family residence, inclusive of a 250-square-foot detached garage at Mission Street 3 northeast of 1st Avenue in the Single-Family Residential (R-1) District, Archaeological Significance (AS) Overlay, and Very High Fire Severity Zone. APN: 010-112-013-000.

Proposed CEQA Action: Find the Project categorically exempt from environmental review pursuant to CEQA Guidelines Sections 15302 and 15303 and that none of the exceptions to the exemptions can be made in this case

Item 9: **DS 24209 (Hermle-Collins):** Consideration of a Final Design Study, DS 24209 (Hermle-Collins), associated Coastal Development Permit, associated Lot Line Adjustment and Coastal Development Permit for the demolition of an existing 1,362-square-foot, one-story single-family residence and the construction of a 2,116-square-foot, two-story single-family residence, inclusive of a 264-square-foot attached garage Mission Street 2 northeast of 1st Avenue in the Single-Family Residential (R-1) District, Archaeological Significance (AS) Overlay, and Very High Fire Severity Zone. APN: 010-112-007-000.

Proposed CEQA Action: Find the Project categorically exempt from environmental review pursuant to CEQA Guidelines Sections 15302 and 15303 and that none of the exceptions to the exemptions can be made in this case

Jacob Olander, Associate Planner, presented the staff report covering all three projects located on Mission Street northeast of 1st Avenue. The review includes Final Design Studies, Coastal Development Permits, and a Lot Line Adjustment. The Preliminary Site Assessment for all three projects was completed on June 14, 2024. The Design Concept approval for Kailea (DS 24208) and Ahana (DS 24209) was granted October 9, 2024. The Design Concept approval for Hapuna (DS 24207) was granted March 12, 2025.

Hapuna (DS 24207) is located on an existing 4,000 sq ft lot proposed to expand to 4,150 sq ft via lot line adjustment. Kailea (DS 24208) is located on an existing 4,000 sq ft lot proposed to expand to 4,950 sq ft.. Ahana (DS 24209) is located on an existing 6,000 sq ft lot proposed to reduce to 4,900 sq ft, giving area to the other two lots. All three lots are within maximum allowed floor area and site coverage. The proposal involves the demolition of existing residences and

construction of new residences. All three projects passed volume requirements. Hapuna (DS 24207) is significantly below maximum volume; Kailea (DS 24208), and Ahana (DS24209) are closer to the maximum.

At the March meeting, the Commission requested the entry for Hapuna (DS 24207) be reduced. The applicant made adjustments, reducing the front door height from 8 feet to 6 feet 8 inches, reducing window size by about 6 inches, incorporating a bay window, and adjusting garage height.

Staff recommended finding that the lot line adjustment is categorically exempt under Section 15305(a), and the Design Studies are categorically exempt under Sections 15302 and 15303 (Demolition and Rebuild of Single-Family Residences). An analysis was also done as if the three were one project.

Commissioner Ahlborn asked about roofing maintenance for a living roof and the potential runoff/leeching effects of steel used in garden structures compared to copper which is regulated due to toxicity to marine life.

Eric Dyar, Architect for the projects, presented on behalf of the property owners. He spoke about the projects' inspiration and use of materials. He confirmed addressing Commission concerns for Hapuna (DS 24207) by reducing window and door sizes and garage height. He noted construction is planned in one year with one contractor, working cooperatively with neighbors.

Marie Goulet, Landscape Architect for the projects, presented the landscape design. She described treating the three lots as one big site, enhancing the forest character, creating indoor-outdoor connections, and using layered landscape instead of walls and fences for privacy. She discussed the use of green roofs where they would be most visible, designed with low-maintenance native grasses and perennials. Addressing Commissioner Ahlborn's question about steel, she explained they are using Corten steel, an alloy that rusts to a certain point and stops, resulting in minimal runoff. She noted that iron is naturally occurring in soil and stone here, unlike copper which is a known pesticide.

Chair LePage opened the meeting for public comment. The following members of the public appeared before the Commission: Kent Seavy, Thomas Hood, Elaine Cummings, Burton Cummings, Gail Lehman, Cindy Lloyd, Ian Martin, and Donald Goodhue.

Chair LePage closed the meeting for public comment.

It was moved by Chair LePage and seconded by Commissioner Locke to approve a resolution finding the project qualifies as a Class 5 Categorical Exemption pursuant to CEQA Guidelines Section 15303(a) and that none of the exceptions to the exemptions contained in Section 15300.2 apply in this case and approving an associated Lot Line Adjustment between three legal lots of record consisting of: one 4,000 square foot parcel (APN: 010-112-012- 000), one 4,000 square foot parcel (APN: 010-112-013-000), and one 6,000 square foot parcel (010-112-007-000) resulting in one 4,150 square foot parcel (Hapuna), one 4,950 square foot parcel (Kailea), and one 4,900 square foot parcel (Ahana), respectively. The properties are located at Mission Street 2, 3, and 4 northeast of 1st Avenue in the Single-Family Residential (R-1) District, APNs 010-112-012-000, 010-112-013-000, AND 010-112-007-000.

The motion passed by the following roll call vote:

AYES: Commission Member(s): Ahlborn, Allen, Karapetkov, Locke, LePage

NOES: Commission Member(s): None
ABSTAINED: Commission Member(s): None
ABSENT: Commission Member(s): None

It was moved by Chair LePage and seconded by Commissioner Allen to approve a resolution finding the project qualifies as a Class 2 Categorical Exemption pursuant to CEQA Guidelines Section 15302 and a Class 3 Categorical Exemption pursuant to CEQA Guidelines Section 15303 and that the exceptions to the exemptions contained in Section 15300.2 do not apply in this case, and approving a Coastal Development Permit and Final Design Study allowing the demolition of an existing 1,321-square-foot one-story single-family residence and the construction of a new 1,818-square-foot two-story single-family residence, inclusive of a 246-square-foot attached garage. The property is located at Mission Street 4 northeast of 1st Avenue in the Single-Family Residential (R-1) District, APN 010-112-012-000.

The motion passed by the following roll call vote:

AYES: Commission Member(s): Ahlborn, Allen, Karapetkov, Locke, LePage
NOES: Commission Member(s): None
ABSTAINED: Commission Member(s): None
ABSENT: Commission Member(s): None

It was moved by Chair LePage and seconded by Commissioner Karapetkov to approve a resolution finding the project qualifies as a Class 2 Categorical Exemption pursuant to CEQA Guidelines Section 15302 and a Class 3 Categorical Exemption pursuant to CEQA Guidelines Section 15303 and that none of the exceptions to the exemption contained in Section 15300.2 apply in this case, and approving a Coastal Development Permit and Final Design Study allowing the demolition of an existing 1595-square foot one-story single-family residence and the construction of a new 2102-square foot two-story single-family residence, inclusive of a 250-square foot detached garage. The property is located at Mission Street 3 northeast of 1st Avenue in the Single-Family Residential (R-1) Zoning District, APN 010-112-013-000.

The motion passed by the following roll call vote:

AYES: Commission Member(s): Ahlborn, Allen, Karapetkov, Locke, LePage
NOES: Commission Member(s): None
ABSTAINED: Commission Member(s): None
ABSENT: Commission Member(s): None

It was moved by Chair LePage and seconded by Commissioner Ahlborn to approve a resolution finding the project qualifies as a Class 2 Categorical Exemption pursuant to CEQA Guidelines Section 15302 and a Class 3 Categorical Exemption pursuant to CEQA Guidelines Section 15303 and that none of the exceptions to the exemption contained in Section 15300.2 apply in this case and approving a Coastal Development Permit and Final Design Study allowing the demolition of an existing 1362-square foot one-story single-family residence and the construction of a new 2116-square foot two-story single-family residence, inclusive of a 264-square foot attached garage. The property is located at Mission Street 2 northeast of 1st Avenue in the Single-Family Residential (R-1) Zoning District, APN 010-112-007-000.

The motion passed by the following roll call vote:

AYES: Commission Member(s): Ahlborn, Allen, Karapetkov, Locke, LePage
NOES: Commission Member(s): None
ABSTAINED: Commission Member(s): None

DIRECTORS REPORT

Anna Ginette, Director of Community Planning and Building, gave a report and answered questions of the Commission.

- **Fire Severity Zones Update:** The ordinance to adopt the Fire Hazard Severity Zone Maps provided by the State Fire Marshal is scheduled for the June 2025 Regular City Council Meeting for its first reading. A second reading will occur prior to the July 8, 2025 deadline. The maps have new areas designated as very high, high, and moderate fire hazard. The City is adopting the minimum legally required map from the State and not expanding boundaries further. The City Council is not considering an urgency ordinance and has directed staff to create a working group to make more restrictive recommendations.
- **Staff Update:** The Commission congratulated Associate Planner, Jacob Olander, on his first anniversary with the City.

FUTURE AGENDA ITEMS

Item 10: Upcoming Special Joint City Council/ Planning Commission Meeting: May 20, 2025

Item 11: Next Regular Meeting: June 11, 2025

ADJOURNMENT

7:53 PM

APPROVED:

ATTEST:

Michael LePage, Chair

Shelby Gorman, Recording Secretary



CITY OF CARMEL-BY-THE-SEA PLANNING COMMISSION Staff Report

June 11, 2025
CONSENT AGENDA

TO: Chair LePage and Planning Commissioners

SUBMITTED BY: Jacob Olander, Associate Planner

APPROVED BY: Anna Ginette, AICP, Community Planning And Building Director

SUBJECT: **DS 24289 (Your Golden Key No 1 LLC):** Consideration of a Final Design Study (DS 24289) and associated Coastal Development Permit for the demolition of an existing approximately 1800-square-foot, one-story single-family residence, inclusive of a 200-square-foot garage, and the construction of a 2435-square-foot, two-story single-family residence, inclusive of a 200-square-foot attached garage, located on 13th Avenue 2 southeast of Mission Street in the Single-Family Residential (R-1) District. APN: 010-161-018-000

Proposed CEQA Action: Find the project categorically exempt from environmental review pursuant to CEQA Guidelines Section 15302 and that none of the exceptions pursuant to Section 15300.2 can be made in this case

Application: DS 24289 (Your Golden Key No 1 LLC)

APN: 010-161-018-000

Block: 141

Lot: 1, 3, 6 & 8

Location: 13th St 2 SE of Mission

Applicant: Claudio Ortiz Design Group, Inc.

Property Owner: Jin Construction, Inc.

Executive Summary:

The applicant is proposing to demolish an existing single-family residence, construct a new two-story single-family residence, and make associated site improvements on a 5,937-square-foot lot.

Recommendation:

Staff recommends the Planning Commission adopt a Resolution (Attachment 1):

A. Finding that the demolition and rebuild of the single-family dwelling is a replacement or reconstruction of an existing structure located on the same site and for the same purpose and capacity which qualifies as Categorically Exempt pursuant to CEQA Guidelines Sections 15302 and none of the exceptions pursuant

to Section 15300.2 can be made;

B. Approving a Coastal Development permit for the demolition and rebuild of a single-family residence; and

C. Approving a Final Design Study allowing the demolition of a one-story single-family residence and detached garage and the construction of a 2,435-square-foot two-story residence inclusive of a 200-square-foot attached garage and associated site improvements located on 13th Avenue 2 Southeast of Mission in the Single-Family Residential (R-1) District. APN: 010-161-018-000.

Background and Project Description:

The 1498-square-foot single-story home was constructed in 1929 and has undergone multiple additions over the years and an extensive remodel in 1965. The house is located on an irregularly shaped 5,937-square-foot lot that is narrower at the street than the rear of the lot. The home has horizontal wood siding and a low pitched composite shingle roof. The property was reviewed for historical significance in 2022 and found ineligible for the Carmel Historical Inventory. This determination remains in effect for five years and will expire in 2027.

The applicant is proposing to demolish the existing home and detached garage to construct a new two-story single-family residence. The new home is proposed to be two stories at the front of the house with a single story at the rear of the property. The applicant is proposing to include an ADU on the west side of the parcel that will be reviewed as part of a separate permit. New windows and doors will be aluminum-clad wood with muntins. The proposed siding will be wood, board and batten painted a beige color, Chopstick. The bottom portion of the east side of the property will have a stone veneer of squared, random patterns. The roofing will be treated wood shake. There are nine trees on the property or immediately adjacent to the property that were evaluated as part of the Preliminary Site Assessment. Seven were determined to be significant, one was determined to be moderately significant, and one was determined to be not significant. No trees are currently being proposed to be removed.

Staff Analysis:

The following is an analysis of the project's consistency with the Residential Design Guidelines.

Volume Study. *The required Volumetric Study shall be successfully completed prior to scheduling for Final Details Review.*

Staff Analysis:

The required volume study was completed and the project has successfully passed. The development is allowed 26,739.18 cubic feet of volume and as designed, is proposed at 23,987.91 cubic feet.

Finish Details:

Staff Analysis: The applicant is proposing board and batten siding painted beige ([Sherwin-Williams Chopstick](#)). Sherwin-Williams Chopstick is part of the white collection, but it more of a beige, off-white color. The exposed portions of the foundations will feature natural stone cladding. The doors and windows will be wood painted white ([Sherwin-Williams Pure White](#)). The proposed roofing will be wood shingles manufactured by Shelton Roofing Co. The decking for the second story will be wood with a black metal railing. The applicant is proposing a 6-foot-tall redwood fence at the rear and side property lines. The applicant is proposing 4-foot-tall redwood grape stake fencing at the front property line. The property will have natural flagstone pavers set in sand for the pathway to the front door. The driveway will be natural

stone driveway pavers. The proposed materials for finishing details meet all applicable design guidelines and zoning standards.

Site Coverage: Land Use Plan (LUP) Policy P1-49 states that site coverage shall not exceed 45% and Carmel-by-the-Sea Municipal Code (CMC) Section 17.10.030.C (Site Coverage) limits impermeable site coverage to 22% of the base floor area allowed for the site. On a 4,000-square-foot lot, the allowed base floor area is 1,800 square feet, and the amount of site coverage permitted is 396 square feet. Impermeable materials include asphalt, concrete, mortared brick and stone, decomposed granite, unspaced decking and balconies at any level, garden walls, solariums, bridges, sheds not counted as floor areas, ponds, hot tubs, and swimming pools.

If at least 50% of the property's site coverage is made of permeable or semi-permeable materials, an additional amount of site coverage of up to four percent of the site area, 160 square feet, may be allowed for use in a single driveway of up to nine feet in width. Permeable and semi-permeable materials include gravel, spaced decking and exterior stairs, sand-set bricks or pavers, garden walkways of small paving stones, and arbors.

Staff Analysis:

The 5,937 square foot lot is allowed 774 square feet of site coverage if at least half of the coverage is semi- or fully permeable. The applicant proposes a total of 764 square feet of site coverage with over half being semi-permeable. Semi-permeable materials proposed include the stone paver driveway and walkway, and the wood deck. The project meets the requirements for site coverage.

Right-of-Way Character: Both LUP Policy P1-43 and Section 1.5-1.7 of the Residential Design Guidelines encourages maintaining the forest character of the right-of-way by using natural materials for street parking, maintaining informal, natural vegetation, and maintaining trees. Section 2.0 of the Residential Design Guideline's objectives further encourage properties and development to maintain the meandering character of streets, the rustic street drainage, and to maintain the existing street widths. Section 10.2-10.4 of the Residential Design Guidelines encourages the use of green, native plant species that continue the feel of the forest character of Carmel.

Staff Analysis:

The applicant is proposing to extend the stone paver tire paths driveway to the street edge with an asphalt apron in the right-of-way. There is no landscaping proposed within the right-of-way. The landscaping closest to the street will be Carolina Cherry Laurels that will be used for natural screening of the home from the right-of-way. Special Condition #36 requires the applicant to update their landscape plan and site plan to remove notes regarding trimming landscaping in the front yard to be formal hedges. To maintain the forest character of the right-of-way, landscaping shall be informal and appear natural. The project as proposed and conditioned will meeting all guidelines and standards for right-of-way character.

Skylights: There is one skylight proposed at the rear of the property, which meets all guidelines as it is at the rear of the property and is not visible from the right-of-way or neighboring properties.

Chimney: Section 9.15 of the Residential Design Guidelines encourages chimneys that integrate into the building, are an appropriate size, and avoid blocking views.

Staff Analysis: The proposed chimney at the property will have board and batten siding that will match the siding of the property with a galvanized steel chimney cap. The chimney meets the applicable design guidelines regarding chimneys on residential properties.

Landscaping: Section 10.2-10.4 of the Residential Design Guidelines encourages the use of green, native plant species that continue the feel of the forest character of Carmel.

Staff Analysis: The applicant is proposing a variety of bushes, shrubs, and hedges on the property. At the side and rear of the property the applicant is proposing to plant *podocarpus elongatus* “monmal” icee blue privacy hedges. The rest of the landscaping will be low shrubs, bushes, and hedges. As stated earlier in this staff report, Special Condition #36 requires the applicant to update their landscape plan and site plan to remove notes regarding trimming landscaping in the front yard to be formal hedges. Special Condition of Approval #35 states, prior to building permit submittal, the applicant shall update their landscape plan and site plan to include the planting of two upper canopy trees to accommodate the recommended tree density. With these two special conditions of approval, the project will comply with the design guidelines.

Other Project Components:

The project qualifies for a categorical exemption under CEQA Guidelines Section 15302 – Replacement or Reconstruction. This Class 2 exemption consists of replacement or reconstruction of existing structures and facilities where the new structure will be located on the same site as the structure replaced and will have substantially the same purpose and capacity as the structure replaced. The project consists of the demolition of an existing single-family residence and construction of a new single-family residence which meets this exemption. None of the exceptions to exemptions listed in CEQA Guidelines Section 15300.2 apply in this case. There is no potential for the project to result in a cumulative impact and there are no unusual circumstances or historical resources present. The project is a permitted use for the site’s designated residential zoning district and due to the size of the city, it is not usual for construction projects to occur in proximity to other active projects or historic resources.

Attachment 1 – Resolution
Attachment 2 - Project Plans
Attachment 3 - Data Tables

**CITY OF CARMEL-BY-THE-SEA
PLANNING COMMISSION**

PLANNING COMMISSION RESOLUTION NO. 2025-XXX-PC

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF CARMEL-BY-THE-SEA FINDING THE PROJECT IS CATAGORICALLY EXEMPT FROM ENVIRONMENTAL REVIEW PURSUANT TO CEQA GUIDELINES SECTION 15302 AND NONE OF THE EXCEPTIONS TO THE EXEMPTIONS IN SECTOIN 15300.2 CAN BE MADE, APPROVING A COASTAL DEVELOPMENT PERMIT ALLOWING THE DEMOLITION AND REBUILD OF A SINGLE FAMILY RESIDENCE, AND APPROVING A FINAL DESIGN STUDY ALLOWING THE DEMOLITION OF A ONE-STORY SINGLE-FAMILY RESIDENCE AND DETACHED GARAGE AND THE CONSTRUCTION OF A 2,435-SQUARE-FOOT TWO-STORY RESIDNCE INCLUSIVE OF A 200 SQAURE FOOT ATTACHED GARAGE AND ASSOCIATED SITE IMPROVEMENTS. THE SUBJECT PROPERTY IS LOCATED ON 13TH AVENUE 2 SOUTEAST OF MISSION IN THE SINGLE-FAMILY RESIDENTIAL (R-1) ZONING DISTRICT, APN 010-161-018-000.

WHEREAS, on September 24, 2024, Franshisca Delgado (“Applicant”) submitted an application on behalf of Your Golden Key No 1 LLC (“Owners”) requesting approval of Track 2 Design Study application DS 24289 (Your Golden Keys No 1, LLC) described herein as (“Application”); and

WHEREAS, the Application has been submitted for a 5,937-square-foot 13th Avenue 2 Southeast of Mission in the Single-Family Residential (R-1) Zoning District; and

WHEREAS, the Applicant is requesting approval of the Design Study to demolish an existing single-family residence, construct a new two-story single-family residence, and make associated site improvements; and

WHEREAS, in accordance with Carmel Municipal Code (CMC) Section 17.58.040 (Residential Design Review), construction of new dwellings is subject to a Track Two Design Review and may be approved by the Planning Commission if the project complies with the Zoning Ordinance and all applicable residential design guidelines; and

WHEREAS, in accordance with CMC Section 17.58.040.B (Residential Track Two Design Study), the construction of new dwellings, rebuilds, and substantial alterations requires approval of a Residential Track Two Design Study by the Planning Commission; and

WHEREAS, CMC Section 17.58.040.B, Step Two: Design Concept Review, requires the Planning Commission to review the design concept plans at a public hearing prior to consideration of the final details review for project approval; and

WHEREAS, on February 11, 2025, the Planning Commission held a duly noticed public hearing and adopted Resolution No. 2025-011-PC approving the Concept Design Study for the project; and

WHEREAS, on May 30, 2025, a notice of the public hearing scheduled for June 11, 2025, was published in the Carmel Pine Cone in compliance with State law (California Government Code 65091) and mailed to owners of real property within a 300-foot radius of the project indicating the date and time of the public hearing; and

WHEREAS, on or before June 1, 2025, the Applicant posted the public notice on the project site and hand-delivered a copy of the public notice to each property within a 100-foot radius of the project site indicating the date and time of the public hearing; and

WHEREAS, on or before June 6, 2025, the meeting agenda was posted in three locations in compliance with State law indicating the date and time of the public hearing; and

WHEREAS, on June 11, 2025, the Planning Commission held a duly noticed public hearing to receive public testimony regarding the application, including, without limitation, the information provided to the Planning Commission by City staff and through public testimony; and

WHEREAS, this Resolution and its findings are made based upon the evidence presented to the Commission at the hearing date, including, without limitation, the staff report and attachments submitted by the Community Planning and Building Department; and

WHEREAS, the Planning Commission did hear and consider all said reports, attachments, recommendations, and testimony herein above set forth and used their independent judgment to evaluate the project; and

WHEREAS, the California Environmental Quality Act (California Public Resources Code §§ 21000, *et seq.*, "CEQA"), together with State Guidelines (14 California Code Regulations §§ 15000, *et seq.*, the "CEQA Guidelines") and City Environmental Regulations (CMC 17.60) require that certain projects be reviewed for environmental impacts and that environmental documents be prepared; and

WHEREAS, the Planning Commission found that pursuant to CEQA regulations, the Application is categorically exempt under Section 15302 (Class 2) – Replacement or reconstruction and no exceptions to the exemption exist pursuant to section 15300.2 of the CEQA Guidelines. There is no potential for the project to result in a cumulative impact and there are no unusual circumstances or historical resources present. The project is a permitted use for the site's designated residential zoning district and due to the size of the city, it is not usual for construction projects to occur in proximity to other active projects or historic resources; and

WHEREAS, the facts set forth in the recitals are true and correct and are incorporated herein by reference.

NOW, THEREFORE, BE IT RESOLVED that the Planning Commission of the City of Carmel-By-The-Sea does hereby make the following findings and determinations regarding the **Final Design Study**:

FINDINGS REQUIRED FOR DESIGN STUDY APPROVAL (CMC 17.64.80 and LUP Policy P1-45)		
For each of the required design study findings listed below, staff has indicated whether the plans submitted, and/or as conditioned, support adoption of the findings. For all findings checked "no" the staff report discusses the issues to facilitate decision-making by the Planning Commission. Findings checked "yes" may or may not be discussed in the staff report depending on the issues.		
CMC Section 17.64.080.B – Final Details Phase Approval Findings	YES	NO
1. The proposed architectural style and detailing are simple and restrained in character,	✓	

consistent and well integrated throughout the building and complementary to the neighborhood without appearing monotonous or repetitive in context with designs on nearby sites.		
2. The proposed exterior materials and their application rely on natural materials and the overall design will add to the variety and diversity along the streetscape.	✓	
3. Design elements such as stonework, skylights, windows, doors, chimneys and garages are consistent with the adopted design guidelines and will complement the character of the structure and the neighborhood.	✓	
4. Proposed landscaping, paving treatments, fences and walls are carefully designed to complement the urbanized forest, the approved site design, adjacent sites and the public right-of-way. The design will reinforce a sense of visual continuity along the street.	✓	
LUP Policy P1-45	YES	NO
1. The design uses simple/modest building forms and a limited number of roof planes, and a restrained employment of offsets and appendages consistent with the City's Design Objectives.	✓	
2. Mass of the building relates to the context of other homes in the vicinity	✓	
3. The development is similar in size, scale, and form to buildings on the immediate block and neighborhood.	✓	
The development does not require removal of any significant trees unless necessary to provide a viable economic use of the property or protect public health and safety. All buildings and structures will be setback a minimum of 6 feet from significant trees.	✓	

BE IT FURTHER RESOLVED that the Planning Commission of the City of Carmel-by-the-Sea does hereby make the following findings and determinations regarding the Coastal Development Permit:

FINDINGS REQUIRED FOR COASTAL DEVELOPMENT PERMITS		
For each of the required findings listed below, the staff has indicated whether the proposed project or the addition of conditions supports the adoption of the findings. For all findings checked "no," the staff report discusses the issues to facilitate the Planning Commission's decision-making. Findings checked "yes" may or may not be discussed in the report depending on the issues.		
CMC 17.64.010.B, Coastal Development Permits	YES	NO
1. The project, as described in the application and accompanying materials, as modified by any conditions of approval, conforms with the certified City of Carmel-by-the-Sea Local Coastal Program.	✓	
2. If the project is located between the first public road and the sea, the project conforms with the public access and recreation policies of Chapter 3 of the Coastal Act of 1976 (commencing with Sections 30200 of the Public Resources Code).	✓	

BE IT FURTHER RESOLVED that the Planning Commission of the City of Carmel-by-the-Sea does hereby **FIND** the project qualifies as a Class 2 categorical exemption pursuant to CEQA Guidelines Section 15302 and none of the exceptions to the exemptions contained in Section 15300.2 apply in this case, **APPROVE** a Coastal Development Permit allowing the demolition and rebuild of a single family residence, and **APPROVE** a Final Design Study and Coastal Development Permit (DS 24289 (Your Golden Key No 1,

LLC)) allowing the demolition of an existing approximately 1800-square-foot, one-story single-family residence, inclusive of a 200-square-foot garage, and the construction of a 2435-square-foot, two-story single-family residence, inclusive of a 200-square-foot attached garage, located on 13th Avenue 2 southeast of Mission Street in the Single-Family Residential (R-1) District. APN: 010-161-018-000. Approval of the Final Design Study and Coastal Development Permit is subject to the following Recommendations/Draft Conditions:

CONDITIONS OF APPROVAL	
No.	Standard Conditions
1.	Authorization. The approval of Design Study (DS 24207) and coastal development permit for the demolition of an existing approximately 1800-square-foot, one-story single-family residence, inclusive of a 200-square-foot garage, and the construction of a 2435-square-foot, two-story single-family residence, inclusive of a 200-square-foot attached garage, located on 13th Avenue 2 southeast of Mission Street in the Single-Family Residential (R-1) District. APN: 010-161-018-000 as depicted in the plans prepared by Claudio Ortiz Design Group Inc. as approved by City of Carmel-by-the-Sea Planning Commission on June 11, 2025 unless modified by the conditions of approval contained herein.
2.	Codes and Ordinances. The project shall be constructed in conformance with all requirements of the R-1 zoning district. All adopted building and fire codes shall be adhered to in preparing the working drawings. If any codes or ordinances require design elements to be changed, or if any other changes are requested when such plans are submitted, such changes may require additional environmental review and subsequent approval by the Planning Commission.
3.	Permit Validity. In accordance with CMC Section 17.52.170 (Time Limits on Approvals and Denials), a residential design study approval remains valid for a period of 12 months from the date of action. During this time, the project must be implemented, or the approval becomes void. Implementation is effected by erecting, installing, or beginning the installation of the improvement authorized by the permit, as determined by the Director. Extensions to this approval may be granted consistent with CMC Section 17.52.170.C.
4.	Water Use. Approval of this application does not permit an increase in water use on the project site without adequate supply. Should the Monterey Peninsula Water Management District determine that adequate water is unavailable for this site, this permit will be scheduled for reconsideration, and appropriate findings will be prepared for review and adoption by the Planning Commission.
5.	<p>Setback and Height Certifications. A State licensed surveyor shall survey and certify the following in writing:</p> <ul style="list-style-type: none"> • The footing locations are in conformance with the approved plans prior to footing/foundation inspection; • The roof heights and plate heights of each building are in conformance with the approved plans prior to the roof sheathing inspection. Roofs and plates shall not exceed the elevation points as identified in the approved project plans, and the roofs include an appropriate allowance for roofing material thickness. <p>Written certifications prepared, sealed, and signed by the surveyor shall be provided prior to footing/foundation inspection and roof sheathing inspection. In the event that multiple footing/foundation pours are required, a survey letter shall be submitted for each separate</p>

	section.
6.	Service Laterals. Prior to final inspection, all electrical service laterals to any new building or structure, or to any building or structure being remodeled when such remodeling requires the relocation or replacement of the main service equipment, shall be placed underground on the premises upon which the building or structure is located. Undergrounding will not be required when the project valuation is less than \$200,000, or the City Forester determines that undergrounding will damage or destroy significant trees(s) (CMC Section 15.36.020).
7.	Utility Meter Locations. The placement of all utility meters shall consistent with the locations identified in the approved plans. Changes to the location of any utility meter location shall require written approval of the Community Planning and Building Department prior to the change of the location.
8.	Fire Sprinklers - Residential. Additions, alterations, or repairs to existing structures that involve the addition, removal, or replacement of 50 percent or more of the linear length of the walls (interior and exterior) within a 5-year period shall require the installation of an automatic residential fire sprinkler system in accordance with the California Building and Fire Codes (CMC Section 15.08.135).
9.	Modifications. The Applicant shall submit in writing, with revised plans, to the Community Planning and Building staff any proposed changes to the approved project plans prior to incorporating those changes. If the Applicant changes the project without first obtaining City approval, the Applicant will be required to submit the change in writing, with revised plans, within two weeks of the City being notified. A cease work order may be issued at any time at the discretion of the Director of Community Planning and Building until a) either the Planning Commission or Staff has approved the change, or b) the property owner has eliminated the change and submitted the proposed change in writing, with revised plans, for review. The project will be reviewed for its compliance with the approved plans prior to the final inspection.
10.	Exterior Revisions to Planning Approval Form. All proposed modifications that affect the exterior appearance of the building or site elements shall be submitted on the "Revisions to Planning Approval" form on file in the Community Planning and Building Department. Any modification incorporated into the construction drawings not listed on this form shall not be deemed approved upon issuance of a building permit.
11.	<p>Conflicts Between Planning Approvals and Construction Plans. It shall be the responsibility of the Owner, Applicant, and Contractor(s) to ensure consistency between the project plans approved by the Planning Staff, the Planning Commission, or the City Council on appeal and the construction plans submitted to the Building Division as part of the Building Permit review. Where inconsistencies between the Planning approval and the construction plans exist, the Planning approval shall govern unless otherwise approved in writing by the Community Planning & Building Director or their designee.</p> <p>When changes or modifications to the project are proposed, the Applicant shall clearly list and highlight each proposed change and bring each change to the City's attention. Changes to the project incorporated into the construction drawings that were not clearly listed or identified as a proposed change shall not be considered an approved change. Should conflicts exist between the originally approved project plans and the issued construction drawings that were not</p>

	explicitly identified as a proposed change, the plans approved as part of the Planning Department Review, including any Conditions of Approval, shall prevail.
12.	<p>Exterior Lighting. Prior to the issuance of a building permit, the Applicant shall include in the construction drawings the manufacturer's specifications, including illumination information, for all exterior light fixtures. All fixtures shall be shielded and down-facing.</p> <p>Exterior wall-mounted lighting shall be limited to 25 watts or less (incandescent equivalent or 375 lumens) per fixture and shall be installed no higher than 10 feet above the ground or walking surface.</p> <p>Landscape lighting shall not exceed 18 inches above the ground nor more than 15 watts (incandescent equivalent or 225 lumens) per fixture and shall be spaced no closer than 10 feet apart. Landscape lighting shall not be used as accent lighting, nor shall it be used to illuminate trees, walls, or fences. The purpose of landscape lighting is to safely illuminate walkways and entrances to the subject property and outdoor living spaces.</p>
13.	<p>Skylights & Skylight Shades. Prior to the issuance of a building permit, the Applicant shall include in the construction drawings the manufacturer's specifications for all skylights (new and/or replaced) and skylight shades. Skylights shall be low-profile and use non-reflective glass to minimize light and glare visible from adjoining properties. Skylight flashing shall match the roof color. Manual or automatic shades shall be installed in each skylight to reduce visible light transmission during the hours of darkness.</p>
14.	<p>Stone Facades (including chimneys). Prior to the issuance of a building permit, the Applicant shall clearly identify in the construction drawings the masonry pattern for all stonework. Stone facades shall be installed in a broken course/random or similar masonry pattern. Setting the stones vertically on their face in a cobweb pattern shall not be permitted. All stonework shall be wrapped around building corners and terminated at an inside corner or a logical stopping point that provides a finished appearance. Termination of stonework shall be subject to review and approval by the Community Planning & Building Director or their designee. Brickwork shall be finished the same manner as stonework described above.</p>
15.	<p>Windows and Doors. Prior to the issuance of a building permit, the Applicant shall include the manufacturer's specifications for the approved windows and doors.</p>
16.	<p>Indemnification. The Applicant agrees, at his or her sole expense, to defend, indemnify, and hold harmless the City, its public officials, officers, employees, and assigns from any liability; and shall reimburse the City for any expense incurred, resulting from, or in connection with any project approvals. This includes any appeal, claim, suit, or other legal proceedings to attack, set aside, void, or annul any project approval. The City shall promptly notify the Applicant of any legal proceeding and cooperate fully in the defense. The City may, at its sole discretion, participate in any such legal action, but participation shall not relieve the Applicant of any obligation under this condition. Should any party bring any legal action in connection with this project, the Superior Court of the County of Monterey, California, shall be the situs and have jurisdiction for resolving all such actions by the parties hereto.</p>
17.	<p>Driveway. Prior to the issuance of a building permit, the Applicant shall clearly identify on the construction drawings the driveway material and asphalt connection to the paved street edge. The driveway material shall be extended beyond the property line into the public right-of-way to connect to the paved street edge. A minimal asphalt connection at the street edge may be</p>

	required by the Superintendent of Streets or the Building Official, depending on site conditions, to accommodate the drainage flow line of the street. If the driveway material is proposed to be sand set, a dimensioned construction detail showing the base material shall be included in the construction drawings.
18.	Hazardous Materials Waste Survey. Prior to the issuance of a demolition permit, the Applicant shall submit a hazardous materials waste survey to the Building Division in conformance with the Monterey Bay Unified Air Pollution Control District.
19.	Cultural Resources. Throughout construction, all activities involving excavation shall immediately cease if cultural resources are discovered on the site, and the Applicant shall notify the Community Planning & Building Department within 24 hours. Work shall not be permitted to recommence until such resources are properly evaluated for significance by a qualified archaeologist. If the resources are determined to be significant, prior to the resumption of work, a mitigation and monitoring plan shall be prepared by a qualified archaeologist and reviewed and approved by the Community Planning and Building Director. In addition, if human remains are unearthed during the excavation, no further disturbance shall occur until the County Coroner has made the necessary findings regarding origin and distribution pursuant to California Public Resources Code (PRC) Section 5097.98.
20.	Truck Haul Route. Prior to the issuance of a building permit, the Applicant shall submit for review and approval by the Community Planning & Building Director, in consultation with the Public Works and Public Safety Departments, a truck-haul route and any necessary traffic control measures for the grading activities. The Applicant shall be responsible for ensuring adherence to the truck-haul route and implementation of any required traffic control measures.
21.	USA North 811. Prior to any excavation or digging, the Applicant shall contact the appropriate regional notification center (USA North 811) at least two working days, but not more than 14 calendar days, prior to commencing that excavation or digging. No digging or excavation is authorized to occur on-site until the Applicant has obtained a Ticket Number and all utility members have positively responded to the dig request. (Visit USANorth811.org for more information)
22.	Conditions of Approval. Prior to the issuance of a building permit, the Applicant shall print a copy of the Resolution adopted by the Planning Commission and signed by the property owner(s) on a full-size sheet within the construction plan set submitted to the Building Safety Division.
Landscape Conditions	
23.	Tree Planting Requirements. Prior to issuance of a building permit, the Applicant shall identify on the landscape plan the location, size, and species of required tree plantings. All new trees shall be installed prior to the final inspection. Trees shall be recorded and monitored for at least five years to ensure their establishment and growth to maturity. Trees that do not survive or are removed shall be replaced with new trees that are equivalent in size to the measured or projected growth of the original trees and shall be planted in the same location unless otherwise directed by the City Forester or Forest & Beach Commission.
24.	Tree Removal Prohibited. Throughout construction, the Applicant shall protect all trees identified for preservation by methods approved by the City Forester. Trees on or adjacent to the site shall only be removed upon the approval of the City Forester or Forest and Beach Commission.
25.	Tree Protection Measures. Requirements for tree preservation shall adhere to the following tree protection measures on the construction site.

	<ul style="list-style-type: none"> • Prior to grading, excavation, or construction, the developer shall clearly tag or mark all trees to be preserved. • Excavation within 6 feet of a tree trunk is not permitted. • No attachments or wires of any kind, other than those of a protective nature, shall be attached to any tree. • Per Municipal Code Section 17.48.110, no material may be stored within the dripline of a protected tree, including the drip lines of trees on neighboring parcels. • Tree Protection Zone. The Tree Protection Zone shall be equal to dripline or 18 inches radially from the tree for every one inch of trunk diameter at 4.5 feet above the soil line, whichever is greater. A minimum of 4-foot-high transparent fencing is required unless otherwise approved by the City Forester. Tree protection shall not be resized, modified, removed, or altered in any manner without written approval. The fencing must be maintained upright and taught for the duration of the project. No more than 4 inches of wood mulch shall be installed within the Tree Protection Zone. When the Tree Protection Zone is at or within the drip line, no less than 6 inches of wood mulch shall be installed 18 inches radially from the tree for every one inch of trunk diameter at 4.5 feet above the soil line outside of the fencing. • Structural Root Zone. The Structural Root Zone shall be 6 feet from the trunk or 6 inches radially from the tree for every one inch of trunk diameter at 4.5' above the soil line, whichever is greater. Any excavation or changes to the grade shall be approved by the City Forester prior to work. Excavation within the Structural Root Zone shall be performed with a pneumatic excavator, hydro-vac at low pressure, or another method that does not sever roots. • If roots greater than 2 inches in diameter or larger are encountered within the approved Structural Root Zone, the City Forester shall be contacted for approval to make any root cuts or alterations to structures to prevent roots from being damaged. • If roots larger than 2 inches in diameter are cut without prior City Forester approval or any significant tree is endangered as a result of construction activity, the building permit will be suspended, and all work stopped until an investigation by the City Forester has been completed, and mitigation measures have been put in place.
26.	<p>Foundation Work Near Significant Trees. All foundations within 15 feet of significant trees shall be excavated by hand. If any tree roots larger than two inches (2") are encountered during construction, the City Forester shall be contacted before cutting the roots. The City Forester may require the roots to be bridged or may authorize the roots to be cut. If roots larger than two inches (2") in diameter are cut without prior City Forester approval or any significant tree is endangered as a result of construction activity, the building permit will be suspended and all work stopped until an investigation by the City Forester has been completed. Six inches (6") of mulch shall be evenly spread across the inside the dripline of all trees prior to the issuance of a building permit.</p>
Environmental Compliance Conditions	
27.	<p>Drainage Plan. Prior to the issuance of a building permit, the Applicant shall submit for review and approval by the Community Planning & Building and Public Works Departments a drainage plan that meets the requirements of the City's drainage guidance, SOG 17-07. At a minimum, new and replaced impervious area drainage must be dispersed around the site rather than focused on one corner of the property; infiltration features must be sized appropriately and</p>

	located at least 6 feet from neighboring properties. The drainage plan shall include information on drainage from new impervious areas and semi-pervious areas.
28.	BMP Tracking Form. Prior to issuance of a building permit, the Applicant shall submit for review and approval by the Community Planning & Building and Public Works Departments a completed BMP Tracking form.
29.	Semi-Permeable Surfaces. Prior to issuance of a building permit, the Applicant shall submit for review and approval by the Community Planning & Building and Public Works Departments cross-section details for all semi-permeable surfaces.
30.	Erosion and Sediment Control Plan. Prior to issuance of a building permit, the Applicant shall submit for review and approval by the Community Planning & Building and Public Works Departments an erosion and sediment control plan that includes locations and installation details for erosion and sediment control BMPs, material staging areas, and stabilized access.
Special Conditions	
31.	Conditions of Approval Acknowledgement. Prior to the issuance of a building permit revision, a completed Conditions of Approval Acknowledgment form shall be included in the construction drawings. The form shall be signed by the Property Owner, Applicant, and Contractor prior to the issuance of a building permit.
32.	Copper Gutters & Downspouts Not Permitted. Prior to the issuance of a building permit, the applicant shall submit a revised plan for review and approval by the Planning Division, identifying an alternative material for the gutters and downspouts.
33.	Construction Management Plan. Prior to the issuance of a building permit, the Applicant shall submit a Construction Management Plan for review and approval by the Community Planning & Building Director.
34.	Drainage and Grading. Prior to building permit submittal, the applicant shall provide a drainage and grading plan.
35.	Recommended Tree Density. Prior to building permit submittal, the applicant shall update their landscape plan and site plan to include the planting of two upper canopy trees to accommodate the recommended tree density.
36.	Landscaping. Prior to building permit submittal, the applicant shall update their landscape plan and site plan to remove notes regarding trimming landscaping in the front yard to be formal hedges.

 Property Owner Signature

 Printed Name

 Date

 Applicant Signature

 Printed Name

 Date

PASSED, APPROVED, AND ADOPTED BY THE PLANNING COMMISSION OF THE CITY OF CARMEL-BY-THE-SEA this 11th day of June, 2025, by the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

APPROVED:

ATTEST:

Michael LePage
Chair

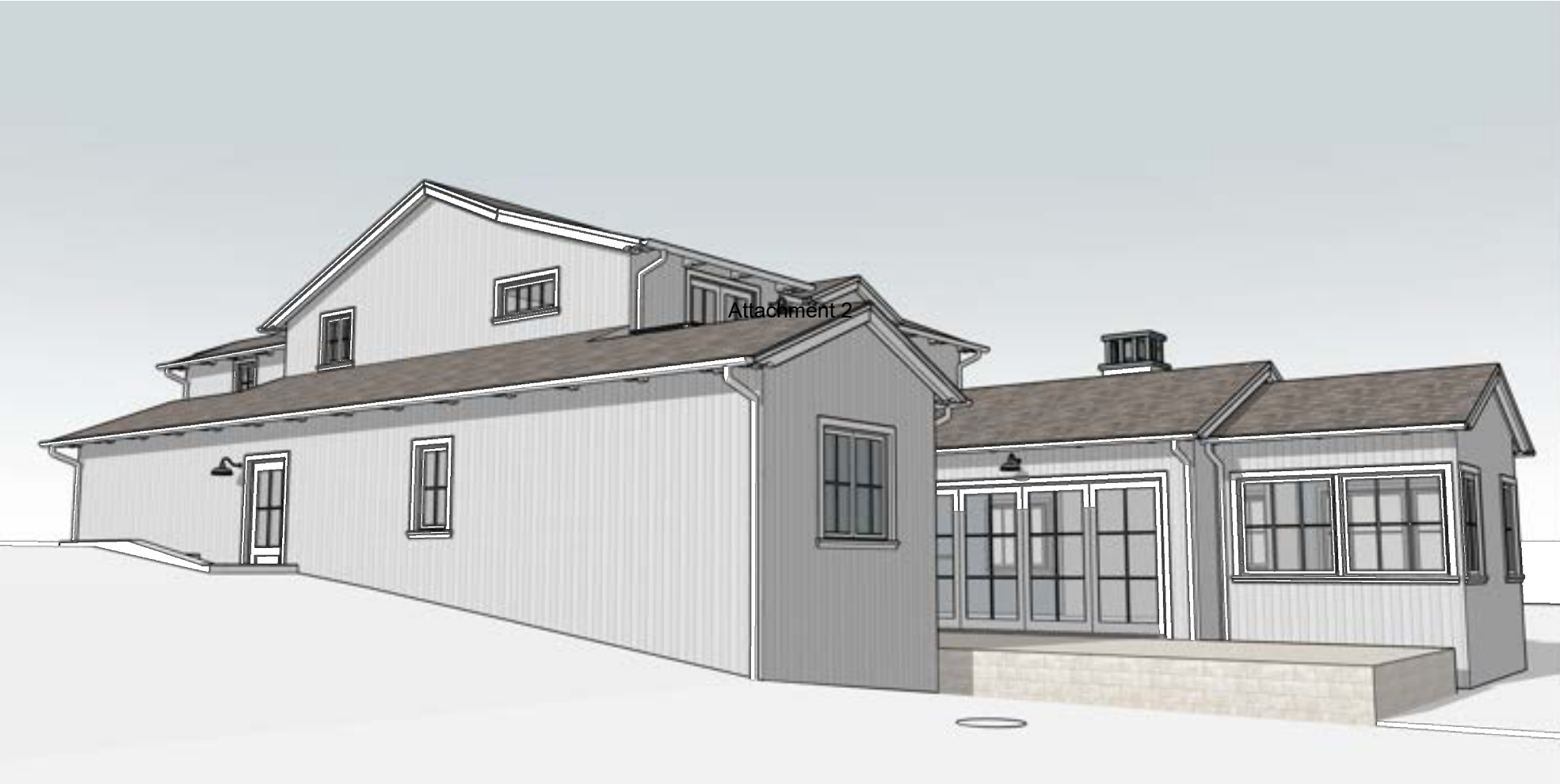
Shelby Gorman
Planning Commission Secretary



EAST ELEVATION



REAR ELEVATION



WEST ELEVATION



AERIAL VIEW



FRONT ELEVATION

SHEET INDEX

GENERAL:	
T1.0	COVER SHEET & GENERAL NOTES
G1.0	PRELIMINARY SITE ASSESSMENT
CIVIL:	
1	COVER SHEET
2	GRADING & EROSION CONTROL PLAN
3	DRAINAGE PLAN
4	UTILITY PLAN
5	DETAILS
ARCHITECTURAL:	
A1.0	TOPOGRAPHIC SITE SURVEY
A2.0	EXISTING SITE & DEMO PLAN
A2.1	PROPOSED SITE PLAN
A2.2	NEIGHBORHOOD SITE PLAN
A3.0	EXISTING FLOOR PLAN
A4.0	PROPOSED FLOOR PLAN
A4.1	PROPOSED UPPER LEVEL FLOOR PLAN
A5.0	PROPOSED & EXISTING ELEVATIONS
A5.1	PROPOSED & EXISTING ELEVATIONS
A5.2	PROPOSED & EXISTING ELEVATIONS
A6.0	STREET SCAPE
A7.0	PROPOSED ROOF PLAN
A8.0	EXISTING ROOF PLAN
A9.0	MATERIALS
A10.0	WINDOW AND DOOR SCHEDULES
A11.0	AVERAGE NATURAL GRADE & VOLUME ANALYSIS PLAN
LANDSCAPE:	
L1	PROPOSED LANDSCAPE PLAN

PROJECT DATA

FLOOR AREA				
	ALLOWED	EXISTING	PROPOSED	
PROPOSED				
MAIN LEVEL		1,287.1 SQ.FT.	1,193.0 SQ.FT.	
UPPER LEVEL		N/A	1,042.8 SQ.FT.	
CARPORT		211.0 SQ.FT.	N/A	
GARAGE		N/A	200.0 SQ.FT.	
TOTAL FLOOR AREA:	2,440.3 SQ.FT.	1,498.1 SQ.TF.	2,435.8 SQ.TF.	41.0%
ADU	N/A	N/A	799.2 SQ.FT.	
TOTAL GROSS FLOOR AREA:	N/A	1,498.1 SQ.TF.	3,235.0 SQ.TF.	

SITE COVERAGE				
22.0% of F.A.R. = 536.9 SQ.FT., + SITE BONUS; 4.0% OF SITE = 237.5 SQ.FT., TOTAL SITE COVERAGE ALLOWED 774.4 SQ.FT.				
PERVIOUS COVERAGE				
	ALLOWED	EXISTING	PROPOSED	
DRIVEWAY		735.0 SQ.FT.	168.3 SQ.FT.	
ENTRY WALKWAY		268.0 SQ.FT.	46.0 SQ.FT.	
SOUTH PATIO		66.0 SQ.FT.	306.0 SQ.FT.	
WEST WALKWAY		N/A	51.3 SQ.FT.	
WEST DECKS		164.0 SQ.FT.		
UTILITY PATH		N/A	46.0 SQ.FT.	
TRASH STORAGE		26.5 SQ.FT.	40.0 SQ.FT.	
TOTAL PERVIOUS COVERAGE		1,259.5 SQ.FT.	657.6 SQ.FT.	
IMPERVIOUS COVERAGE				
	ALLOWED	EXISTING	PROPOSED	
ENTRY PORCH		131.0 SQ.FT.	22.3 SQ.FT.	
SOUTH BALCONY		N/A	35.7 SQ.FT.	
WEST LANDING		N/A	28.6 SQ.FT.	
WEST STAIRS		N/A	20.8 SQ.FT.	
TOTAL IMPERVIOUS COVERAGE		131.0 SQ.FT.	106.7 SQ.FT.	
TOTAL GROSS COVERAGE	774.4 SQ.FT.	1'390.5 SQ.FT.	764.3 SQ.FT.	12.8 %

HEIGHT LIMITS AND SETBACKS

	ALLOWED	EXISTING	PROPOSED	
MAIN DWELLING HEIGHTS				
RIDGE: ONE STORY	18'-0"	11'-1"	13'-5"	
RIDGE: TWO STORY	24'-0"	N/A	22'-1"	
PLATES: ONE STORY	12'-0"	8'-0"	8'-1"	
PLATES: TWO STORY	18'-0"	N/A	7'-1"	
MAIN DWELLING SETBACKS				
NORTH SIDE (FRONT)	15'-0"	49'-10"	7'-1"	
SOUTH SIDE (REAR)	3'-0"/15'-0"	19'-4"	3'-1"	
WEST SIDE	15'-0"	14'-9"	8'-1"	
EAST SIDE	3'-0"/15'-0"	4'-6"	6'-11"	

PROJECT INFORMATION

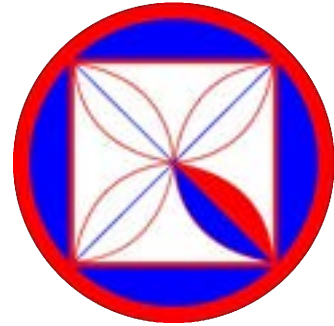
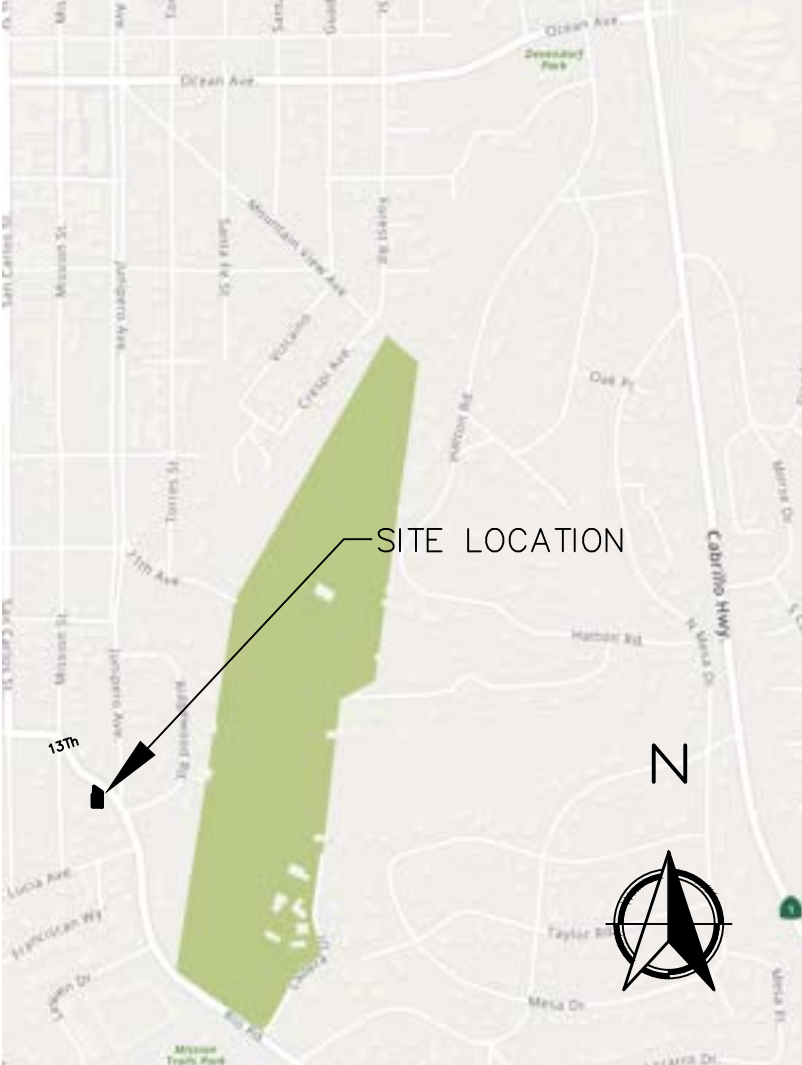
LOT SIZE	(0.136 ACRES) 5,937.4 S.F.
A.P.N.	010-161-018
LEGAL DESCRIPTION	BLOCK: 142 LOT: 3
ZONING	R-1
SETBACKS (MIN. ALLOWED)	FRONT:15FT, SIDE 3FT. REAR 3FT/15FT
BLDNG. OCCUPANCY	R-3/U
CONST. TYPE	V-B
HEIGHT (MAX. ALLOWED)	ONE STORY: 18FT, TWO STORY: 24FT
STORIES:	TWO

SCOPE OF WORK

- DEMOLITION OF AN EXISTING ONE-STORY SFD, WITH A DETACHED ONE-CAR GARAGE
- CONSTRUCTION OF A NEW TWO-STORY SINGLE FAMILY DWELLING, WITH AND ATTACHED ONE-CAR GARAGE AND AN ATTACHED ACCESSORY DWELLING UNIT.
- NO TREE REMOVAL.

VICINITY MAP

NOT TO SCALE



CODG

CLAUDIO ORTIZ DESIGN GROUP, INC
28615 CARMEL CENTER PLACE, STE 102
Carmel, CA 93923
OFFICE: 831.626.4146
CLAUDIO@CODGNC.COM
WWW.CODGNC.COM

REVIEWS:

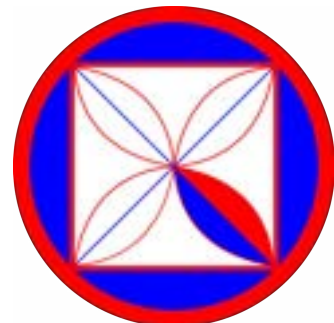
PROJECT:
JIN CONSTRUCTION
13TH 2SE OF MISSION, CARMEL CALIF.
BLOCK:142 LOTS:3
APN: 010-161-018
PROJECT NO.
24-05

ISSUE:
12-28-2024
12-28-2024
DRAWN BY:
CO

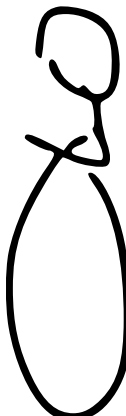
COVER SHEET
& NOTES

SCALE:1" = 1/4"

T1.0



CODG
CLAUDIO ORTIZ DESIGN GROUP, INC
28615 CARMEL CENTER PLACE, STE 102
Carmel, CA 93923
OFFICE: 831.626.4146
CLAUDIO@CODGNC.COM
WWW.CODGNC.COM



REVIEWS:

PROJECT:
JIN CONSTRUCTION
13TH 25E OF MISSION,
BLOCK 142 LOTS 3
APN: 010-161-018
PROJECT NO.
24-05

ISSUE:
12-28-2024
DRAWN BY:
CO

PRELIMINARY SITE
ASSESSMENT

SCALE: 1" = 1/4"

G1.0

PSA 23-318 (Your Golden Key No. 1, LLC)

Page 1 of 7

PRELIMINARY SITE ASSESSMENT REPORT

Date of Site Visit: December 14, 2023
Planner: Marrie R. Warfle
Forester: Justin Ono
Block/Lot: 141 / par. 1, 3, 6, & 8
APN: 010-161-018
Property Owner: Your Golden Key No. 1, LLC
Street Location: 13th Avenue 2 SE of Mission Street

Purpose: The information contained in this Preliminary Site Assessment is meant to provide input to the applicant on potential project issues prior to project submittal.

Location:

Zoning District	R-1 Single Family Residential
Coastal Commission Appeal Jurisdiction Overlay	No
Archaeological Significance Overlay	No
Park Overlay	No
Beach and Riparian Overlay	No
Environmentally Sensitive Habitat Area	No
Very High Fire Hazard Severity Zone	No

Street and Neighborhood Character:

- Style and materials of the existing residence: The existing residence has various wall cladding materials, including wood shingles, horizontal beveled wood siding, board & batten siding, and horizontal synthetic (vinyl) siding. The window material is wood, and the sliding glass doors are aluminum. At least one window and one exterior door have decorated glass. The detached garage at the front of the house appears to be constructed of post-adobe bricks. The roof material of the residence and detached garage is composition shingle.



PSA 23-318 (Your Golden Key No. 1, LLC)

Page 2 of 7



- Style and materials of the neighboring residences: The Residential Design Guidelines encourage diversity of architectural styles while maintaining compatibility with the neighborhood's character. A new building should differ in style from buildings on nearby and abutting properties.
- Right-of-way characteristics: The Residential Design Guidelines encourage maintaining and enhancing the right-of-way's informal, vegetated, open space character. Parking areas in the right-of-way shall be informal and unpaved, reinforcing the forest image. Planting in the right-of-way should be predominately green foliage plants. Native trees, ground covers, and low shrubs are preferred. Gravel is not permitted in the right-of-way.

PSA 23-318 (Your Golden Key No. 1, LLC)

Page 3 of 7

Site Conditions & Development Standards:

- Building Site Area: The lot is irregular in shape and approximately 5,804 square feet in size. A base floor area of 2,402 square feet is permitted. A minimum of 200 square feet of the base floor area and 2,200 cubic feet of exterior volume shall be reserved for required parking, whether provided by a garage, carport, or parking pad.

Floor Area is defined as "...the total gross square footage included within the surrounding exterior walls of all floors contained within all enclosed buildings on a building site whether finished or unfinished. In above-ground spaces, floor area is measured at the exterior of the enclosing walls. In basement spaces, floor area is measured at the interior of the enclosing walls. Floor area shall include, but shall not be limited to, all floors of all enclosed spaces within all buildings, basements, mezzanines, guesthouses, studios, garages, and carports. All attic, basement, and storage shed spaces with five or more feet of clearance between the floor or walking surface and the ceiling or roof surface shall be counted as floor area. All required parking shall be counted as floor area, whether supplied by garage, carport, or other means."

- Setbacks: The minimum front and rear setbacks are 15 feet. The composite side yard setback is 25% of the lot width with a 3-foot minimum on one side.

The front lot line is the side of a lot that abuts a public street. The rear lot line is opposite and most distant from the front lot line. All other property lines are considered side lot lines.

Table 17.10-A: Setback Standards for R-1 District					
Lot Type	Front Setback (in feet)	Rear Setback* (in feet)	Side Setbacks		Maximum Setbacks (in feet)
			Composited* (depth side)	Interior Side	
Detached Single	15	15	25% of side width	3	15A
Detached Double	15	15	25% of side width	3	15
Detached Corner Site	15	15	25% of side width	3	15
Detached Four-Unit Site	15	15A	25% of side width	3	N/A (applies)

* The rear setback is three feet for those portions of structures less than 15 feet in height.
** See CMC 12.55.020 for lot area and 12.55.030, Area of Measurement.

- Building Height: The height of buildings shall be measured as the plumb vertical distance from existing or finished grade (whichever is more restrictive) to the highest point on the roof.

PSA 23-318 (Your Golden Key No. 1, LLC)

Page 4 of 7

Table 17.10-B: Maximum Height Standards			
Number of Stories Allowed	R-1 District	R-1-RR District	R-1-PO District
	2	2	1*
Floor Height of First Story (in feet)	10	10	10
Floor Height of First Story (in feet)	12	12	12
Floor Height of Second Story (in feet)	24	18	24*
Floor Height of Second Story (in feet)	18	18	18*

- Exterior Volume: The maximum allowable exterior volume is the total allowed base floor area for the site multiplied by the volume factors in Table 17.10-E (refer to the table below). It is recognized that existing homes built prior to 2003 may not have been designed to comply with volume standards. For these homes, the Code provides a volume option for additions. This option applies only to the specific location of the addition. Project applicants must request this "addition only" volume option prior to the commencement of the volume study.

Table 17.10-C: Exterior Volume Factors for R-1 District		
Maximum Exterior Volume (Cubic Feet) Per Square Foot of Floor Area	Foot of Floor Area	
	One-Story Elements of the Building	Two-Story Elements of the Building
Located under a pitched or sloping roof greater than 12:12 pitch	12	11
Located under a flat roofed area of the building 3:12 or less pitch	11	10

- Parking: One parking space per primary dwelling is required on sites 8,000 square feet or less. Required parking shall be provided by a garage, carport, or parking pad measuring at least 10 feet by 20 feet, having practical ingress and egress for a vehicle. All required parking shall be provided on-site and shall be counted as floor area and exterior volume. On each site, a minimum of 200 square feet of base floor area and 2,200 cubic feet of exterior volume shall be reserved for each required parking space, whether provided by means of a garage, carport, or parking pad.

- Garage: To encourage variety and diversity in neighborhood design, detached garages, and carports may be authorized by the Planning Commission within the front setback and/or side yard setback facing a street. Garages permitted to be located within a setback are limited to a single-car, detached structure not exceeding 12 feet in width, 250 square feet in floor area, and 15 feet in height. Detached garages may encroach into an interior side yard setback, rear yard setbacks, or both if limited to 15 feet in height; the setback encroachment would not impact significant or moderately significant trees; and, the garage location/design complies with design guidelines.

PSA 23-318 (Your Golden Key No. 1, LLC)

Page 5 of 7

- Accessory Structures: The property may have up to two accessory structures. Accessory structures cannot exceed 400 square feet in floor area (unless an exception applies) and court toward the total base floor area allowed for the site. Sheds that exceed 5 feet in height also count as floor area.

Studio: A studio is defined as, "An attached or detached residential dwelling unit without kitchen or cooking facilities, designed for accessory uses by occupants of the dwelling to which it is accessory, and not designed or intended for living, sleeping and/or cooking. Studios are permitted to have a bathroom with a sink and toilet. Studios that are attached to the primary dwelling are not required to have inter-accessibility with the primary dwelling."

One studio is permitted so long as it does not contain any living, sleeping, bathing or food preparation facilities of any kind. Studios may have a bathroom with a sink and toilet. Studios that are attached to the primary dwelling are not required to have inter-accessibility with the primary dwelling. No additional parking is required for a studio. Studios shall be a maximum size of 400 square feet and shall not exceed the allowed floor area ratio for the lot.

Accessory Dwelling Units (ADUs): One accessory dwelling unit and one junior accessory dwelling unit are permitted pursuant to CA State Law. For more information, please refer to the Accessory Dwelling Unit Handbook.

- Topography and drainage features: The Residential Design Guidelines encourage designs that follow the site's natural contours and avoid abrupt changes in grade on the site and between properties.

Following design approval, plans that are submitted for a building permit must include a stormwater drainage plan. The drainage plan shall include applicable Best Management Practices, and all drainage shall be retained on-site through the use of semi-permeable paving materials, French drains, seepage pits, etc.

- Site Coverage: Impermeable site coverage is limited to 22% of the base floor area for the site or 528 square feet for a base floor area of 2,402 square feet. Impermeable materials include asphalt, concrete, mortared brick and stone, decomposed granite, unspaced decking and balconies at any level, garden walls, solariums, bridges, sheds not counted as floor areas, ponds, hot tubs, and swimming pools.

If at least 50 percent of all site coverage on the property is made of permeable or semi-permeable materials, an additional amount of site coverage of up to four percent of the site area, 232 square feet, may be allowed for use in a single driveway of up to nine feet in width. Permeable and semi-permeable materials include gravel, spaced decking and exterior stairs, sand-set bricks or pavers, garden walkways of small paving stones, and arbors.

The existing front yard is almost entirely paved with asphalt and concrete. Low post-adobe walls frame the parking area and create a tiered landscape in response to the topography of the site and prior excavation of the parking area. Additional site coverage includes the front porch, rear deck, and north-side yard decks.

PSA 23-318 (Your Golden Key No. 1, LLC)

Page 6 of 7

The Residential Design Guidelines should be consulted for appropriate front garden design, driveways, and walkways.

- Fences: Fences within the front setback are limited to 4 feet in height. This limit cannot be increased through a Design Study. Side and/or rear yard fences are permitted a height of 6 feet and may be taller with approval by the Planning Commission. The heights should be clearly noted on the project plans.

Table 17.10-D: Maximum Front Yard Fence and Wall Heights					
Design Element	Maximum Location				
	Front Setback	Side Setback	Side Setback Parking Street	Rear Setback	
Fence	4 feet	6 feet	4 feet	6 feet	
Decorative Wall	2 feet	6 feet	2 feet	6 feet	
Decorative Wall	2 feet**	6 feet	2 feet**	6 feet	
Privacy wall and gates	6 feet	6 feet	6 feet	6 feet	
Adornments	2 feet	2 feet	2 feet	2 feet	

** These walls must not be allowed through Design Review by the Planning Commission.
*** Up to six footings are allowed for retaining walls that are not within the street. See CMC 12.55.030(F)(4).

Potential Neighbor Impacts:

- Privacy Concerns: The Residential Design Guidelines encourage preserving reasonable privacy for adjacent properties and locating windows such that they avoid overlooking active indoor and outdoor use areas of adjacent properties. Additionally, the Guidelines recommend screening patios and terraces.
- View Concerns: The Residential Design Guidelines encourage maintaining view opportunities to natural features that lie outside the property. The Carmel Municipal Code states, "Designs should respect views enjoyed by neighboring parcels. This objective is intended to balance the private rights to views from all parcels that will be affected by a proposed building or addition. No single parcel should enjoy a greater right than other parcels except the natural advantages of each site's topography. Buildings that substantially eliminate a significant view enjoyed on another parcel should be avoided."
- Neighborhood Input: Staff strongly recommends contacting the adjacent property owners before public hearings to explain the proposed project and address any concerns. Most project delays occur when applicants have not reached out to neighbors early in the process.

Forest/Trees: The Significant Tree Evaluation Worksheet and annotated tree survey will be provided under separate cover.

Historic Status: The property was evaluated for historical significance in 2022, and a determination was made that the property does not qualify for listing on the local historic inventory. This determination will remain valid for five years.

PSA 23-318 (Your Golden Key No. 1, LLC)

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Story Pole Policy: Story poles and netting are required in Carmel By-The-Sea. Enclosed is a copy of the City's Story Pole Policy adopted by the City Council in 2017. All story-poles, netting, and ribbons must be installed and certified, per the Story-Pole Policy, a minimum of 10 calendar days before a public hearing. Failure to comply with the Policy could result in the project being continued to a later hearing date.

Additional Resources: For more information on the Design Review Process, Residential Design Guidelines, Carmel Municipal Code, Green Building Ordinance, and Title 7A of the Building Code, please visit our website at:

<https://ci.carmel.ca.us/community-planning-and-building>

Attachment 2



CARMEL-BY-THE-SEA

NOTICE OF INELIGIBILITY

For the Carmel Historic Resources Inventory

On July 31, 2022 the Department of Community Planning and Building determined that the property identified below does not constitute an historic resource.

APN: 010 161 018
Current Owner: Cong Kai Jin
Block: 141
Lot: WPT 1 & 3; E PT 6 & 8
Street Location: 13th Ave. 2 SE of Mission
Lot size: 5,650 sq. ft.
Date of Construction: 1929 (Assessor); 1925 (Pine Cone)

The basis for this determination is:

- The property lacks sufficient age to be considered historic.
- The property has substantially lost its historic integrity through alterations, additions, deterioration, changes in the surrounding environment or other causes.
- The property does not relate to historic themes or property types established in the Historic Context Statement for Carmel-by-the-Sea.
- The property has no association with important events, people or architecture that are identified in the Historic Context Statement or that represent the historical/cultural evolution of Carmel-by-the-Sea.
- There are other better examples of the builder's work in the city.

This determination shall remain valid for a period of five (5) years and shall expire on August 19, 2027.

Surry R. Nathani
Assistant Planner

HE 22-242 (Your Golden Key No. 1, LLC) Historic Evaluation

Date: 7/31/2022
Prepared by: Meg Clovis
Assessor's Parcel Number: 010 161 018
Current Owner: Cong Kai Jin
25880 Carmelita
Carmel, CA 93923

Block/Lot: Block 141; Lot W PT 1 & 3; E PT 6 & 8
Street Location: 13th Ave. 2 SE of Mission
Lot size: 5650 sq. ft.
Date of Construction: 1929 (Assessor); 1925 (Pine Cone)

- Land Use & Community Character Element, Subdivision Chronology Map: 1967-1975
- Is the property listed on the Carmel Inventory? No
- Has the property been reviewed previously for historical significance? No
- Is the property located within the Archaeological Overlay Zone? Yes
- Is the property identified on the Sanborn Maps? Yes, 1930 & 1962



Rev. 1/24/2022

Rev. 1/24/2022



Rev. 1/24/2022

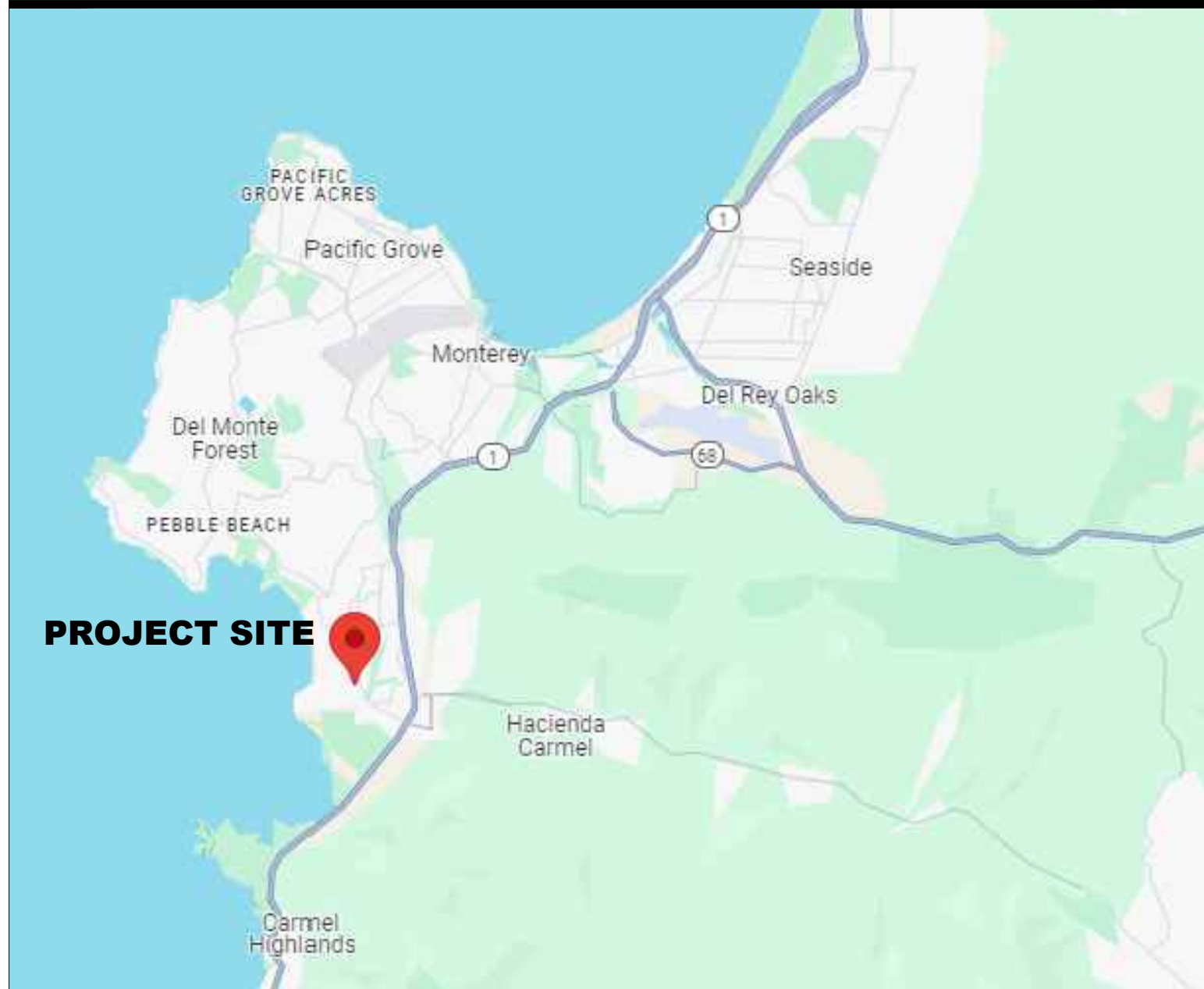
REMODEL & ADDITION

13th 2SE OF MISSION

CARMEL, CA

GRADING & DRAINAGE PLANS

VICINITY MAP



SURVEY DATUM

Boundary & Topographic Survey provided by Moran Engineering, Inc. dated November 2023

MAP DATA

Contour Interval: 1 Foot

Aerial Photo: None

SHEET INDEX

- | | |
|---|--------------------------------|
| 1 | COVER SHEET |
| 2 | GRADING & EROSION CONTROL PLAN |
| 3 | DRAINAGE PLAN |
| 4 | UTILITY PLAN |
| 5 | DETAILS |

GENERAL NOTES

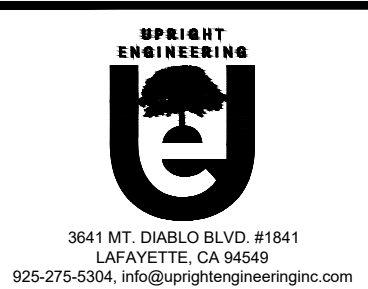
- THESE ENGINEERING DRAWINGS ARE BASED ON CONDITIONS AT THE TIME OF DESIGN AND FROM INFORMATION PROVIDED BY THE OWNER. FUTURE MODIFICATIONS TO GRADING AND SITE DEVELOPMENT COULD CAUSE EROSION AND SLOPE FAILURE.
- ALL GRADING SHALL CONFORM TO THE RECOMMENDATIONS OF THE PROJECT GEOTECHNICAL AND/OR THE PROJECT SOIL ENGINEER.
- OBSERVATION OF THE CONSTRUCTION BY THE ENGINEER DOES NOT RELIEVE THE CONTRACTOR FROM RESPONSIBILITY TO COMPLETE THE CONSTRUCTION IN CONFORMANCE WITH THE PROJECT DOCUMENTS AND GENERALLY ACCEPTED STANDARDS OF PRACTICE. THE PURPOSE OF THE ENGINEERS VISITS WILL BE TO BECOME GENERALLY FAMILIAR WITH THE PROGRESS AND QUALITY OF THE CONTRACTOR'S WORK AND DETERMINE IF THE WORK IS PROGRESSING IN GENERAL CONFORMANCE WITH OUR DESIGN INTENT.
- LOCATIONS OF CUTS AND FILLS ARE APPROXIMATE. CONTRACTOR TO VERIFY GRADING EXTENTS IN THE FIELD.

GENERAL STORMWATER NOTES

- STOCKPILES: ALL STOCKPILES ASSOCIATED WITH THE PROJECT SHALL BE COVERED WITH PLASTIC SHEETING PRIOR TO ANY PRECIPITATION EVENT TO PREVENT RUNOFF OF SEDIMENT. SHEETING SHALL BE FIRMLY HELD IN PLACE WITH SANDBAGS OR OTHER WEIGHTS PLACED NO MORE THAN 10FT APART. SEAMS SHALL BE TAPED OR WEIGHTED DOWN THEIR ENTIRE LENGTH AND THERE SHALL BE AT LEAST A 12 INCH OVERLAP.
- DUST CONTROL: BEST MANAGEMENT PRACTICES SHALL BE USED THROUGHOUT ALL PHASES OF CONSTRUCTION. THIS INCLUDES ANY SUSPENSION OF WORK, ALLEVIATION OR PREVENTION OF ANY FUGITIVE DUST NUISANCE AND THE DISCHARGE OF SMOKE OR ANY OTHER AIR CONTAMINANTS INTO THE ATMOSPHERE IN SUCH QUANTITY AS WILL VIOLATE ANY REGIONAL AIR POLLUTION CONTROL RULES, REGULATIONS, ORDINANCES, OR STATUTES. WATER SHALL BE APPLIED AS REQUIRED. DUST NUISANCE SHALL ALSO BE ABATED BY CLEANING, VACUUMING AND SWEEPING OR OTHER MEANS AS NECESSARY.
- INTERIM EROSION AND SEDIMENT CONTROL: THIS PLAN INCLUDES INTERIM EROSION AND SEDIMENTATION CONTROL MEASURES TO BE TAKEN DURING WET SEASONS UNTIL PERMANENT EROSION AND SEDIMENTATION CONTROL MEASURES CAN ADEQUATELY MINIMIZE EROSION, EXCESSIVE STORM WATER RUNOFF AND SEDIMENTATION. THIS PLAN INCLUDES THE MINIMUM NECESSARY MEASURES TO BE TAKEN TO PREVENT EXCESSIVE STORM WATER RUNOFF OR CARRYING BY STORM WATER RUNOFF OF SOLID MATERIALS ON TO LANDS OF ADJACENT PROPERTY OWNERS, PUBLIC STREETS, OR TO WATERCOURSES AS A RESULT OF CONDITIONS CREATED BY GRADING OPERATIONS. ADDITIONAL MEASURES MAY BE REQUIRED IF DETERMINED BY THE CONTRACTOR, THE CITY, THE COUNTY, OR THE ENGINEER AS CHANGING CONDITIONS OCCUR. GRADING SHALL NOT TAKE PLACE DURING THE RAINY SEASON WITHOUT THE IMPLEMENTATION OF ADDITIONAL BMP'S TO PREVENT EROSION AND RUNOFF.
- PERMANENT EROSION AND SEDIMENT CONTROL: PERMENANT EROSION AND SEDIMENT CONTROL SHALL BE PROVIDED BY LANDSCAPING OF DISTURBED AREAS OF THE PROJECT SITE. LANDSCAPING SHALL CONSIST OF SOME OR AL THE FOLLOWING: SPREADING OF MULCH, SEEDING, AND PLANTING OF CONTAINER PLANTS. ANTICIPATED TIME UNTIL ESTABLISHMENT FOR THESE 3 LANDSCAPING METHODS IS AS FOLLOWS: IMMEDIATE, 3 MONTHS, 1 MONTH (RESPECTIVELY, ASSUMING APPROPRIATE IRRIGATION IS PROVIDED. DOWNSPOUTS SHALL BE DIRECTED INTO THE UNDERGROUND DRAINAGE SYSTEM AS INDICATED ON THE DRAINAGE PLAN OR AWAY FROM STRUCTURES.
- THIS PROJECT WILL DISPERSE ALL RUNOFF FROM ROOFS AND HARDSCAPE AREAS TO APPROPRIATE LOCATIONS AND AS SHOWN ON THE PLANS.
- STORMWATER DISCHARGE ADJACENT TO FOUNDATIONS AND OTHER STRUCTURES IS NOT PERMITTED.
- WASH OUT CONCRETE EQUIPMENT/TRUCKS OFF-SITE OR INTO CONTAINED WASHOUT AREAS THAT WILL NOT ALLOW DISCHARGE OF WASH WATER ONTO THE UNDERLYING SOIL OR ONTO THE SURROUNDING AREAS.

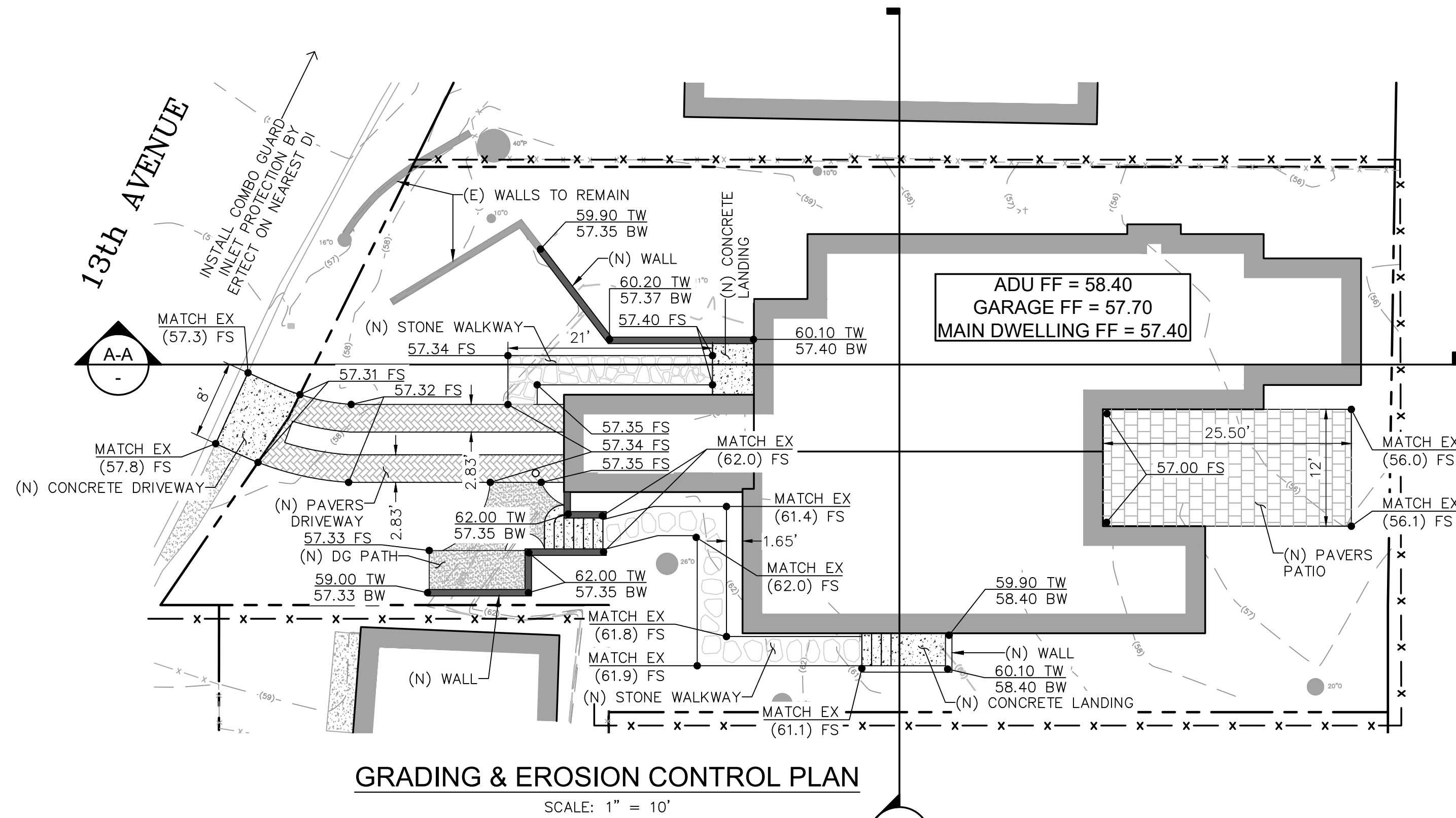


REVISIONS			
REV. NO.	DESCRIPTION	DATE	APPROVED
1			
2			
3			
4			
5			



PERMIT SET

DATE: 11/4/2024	DESIGNED BY: AP
REMODEL & ADDITION 13th 2SE OF MISSION CARMEL, CA	DRAWN BY: WZ
	SURVEYED BY: WS
	CHECKED BY: AP
COVER SHEET	SHEET NO. 1 OF 5



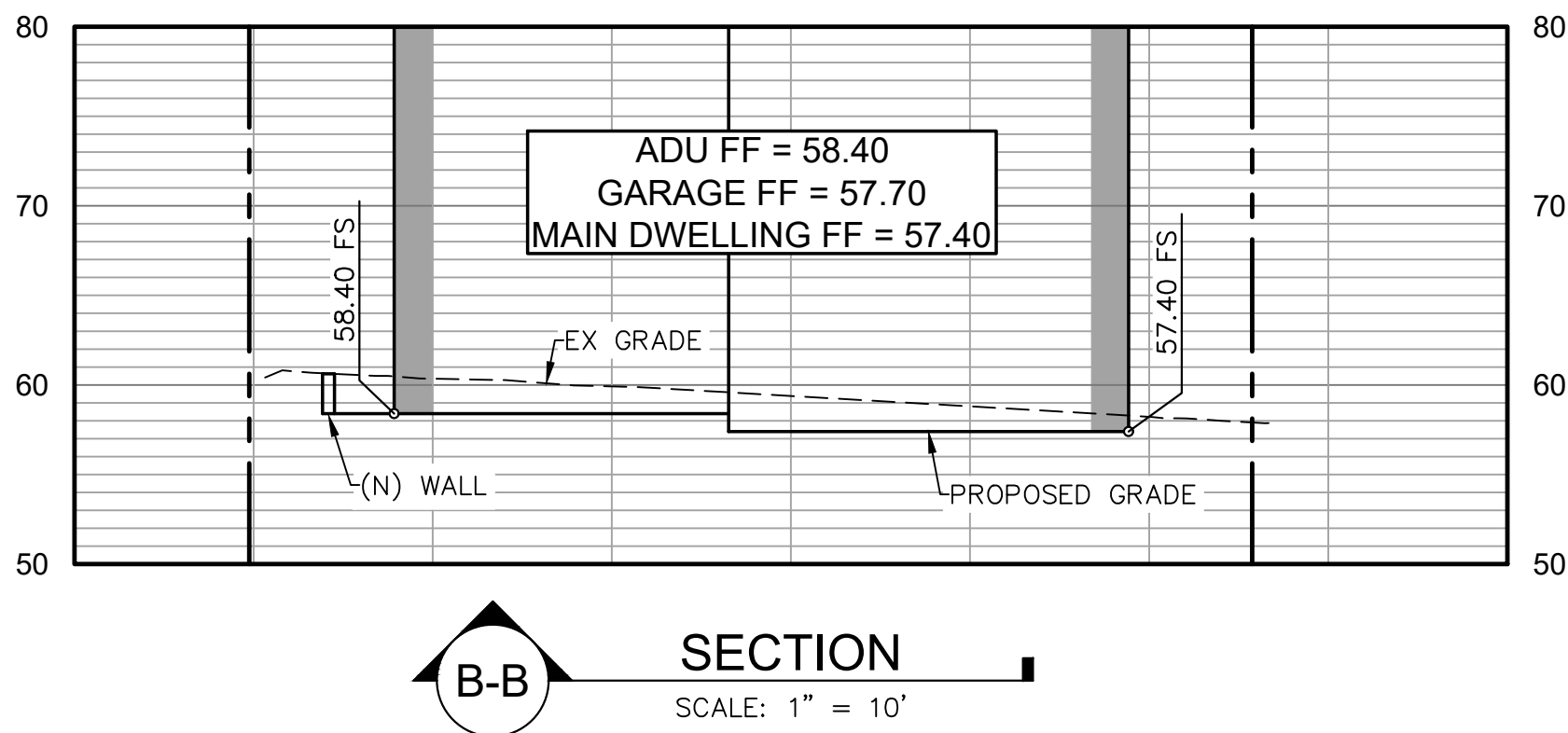
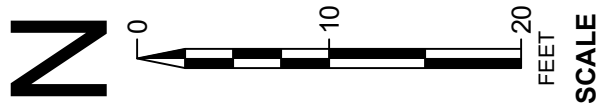
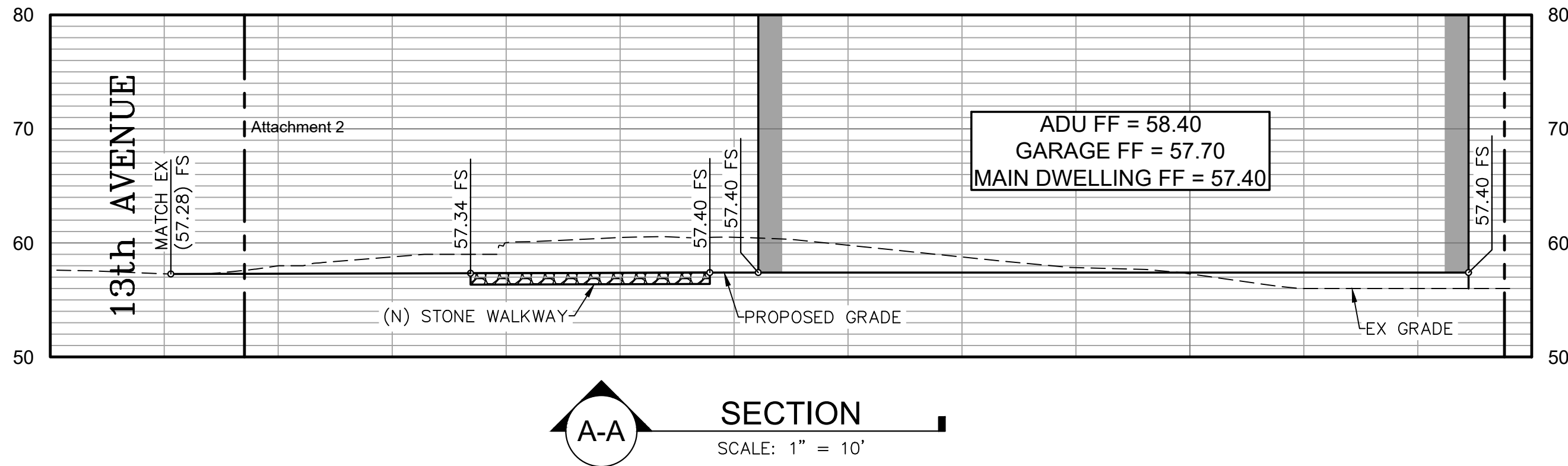
LEGEND

---	PROPERTY LINE
-x-x-	PROPOSED STRAW WATTLE SEE DETAIL 1 ON SHEET 5
(E)	EXISTING
(N)	PROPOSED
FS	FINISH SURFACE
TW	TOP OF WALL
BW	BOTTOM OF WALL

- GRADING NOTES
- LOCATION OF CUTS AND FILLS ARE APPROXIMATE. CONTRACTOR TO VERIFY GRADING EXTENTS IN THE FIELD.
 - ALL GRADING SHALL BE PERFORMED PER THE RECOMMENDATIONS IN THE GEOTECHNICAL STUDY AND STRUCTURAL DRAWINGS.
 - CONTRACTOR SHALL CONSTRUCT DRAINAGE IMPROVEMENTS PRIOR TO GRADING TO PREVENT RUN-ON TO WORK AREA. IF IT IS NOT FEASIBLE TO CONSTRUCT DRAINAGE PRIOR TO GRADING, TEMPORARY DRAINAGE FACILITIES SHALL BE PROVIDED BY THE CONTRACTOR.
 - MAXIMUM FILL SLOPE SHALL BE 2:1 (HORIZ:VERT)
 - MAXIMUM CUT SLOPE SHALL BE 1.5:1 (HORIZ:VERTICAL)
 - FILL SHALL BE PLACED IN MAXIMUM 6" LIFTS. MOISTURE CONDITIONED TO WITHIN 3% OF OPTIMUM, AND COMPACTED USING SHEEPS FOOT ROLLER OR SIMILAR EQUIPMENT TO 95% RELATIVE COMPACTION AS MEASURED USING THE MODIFIED PROCTOR METHOD.

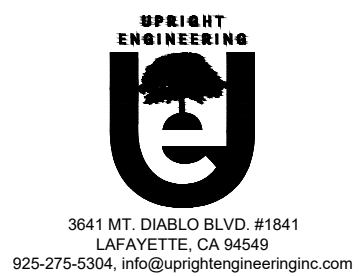
CUT/FILL TABLE

ELEMENT	FILL (CY)	CUT (CY)	NET (CY)
GRADING	35	(185)	(150)
TOTAL DISTURBED AREA: 5,000 SQFT			

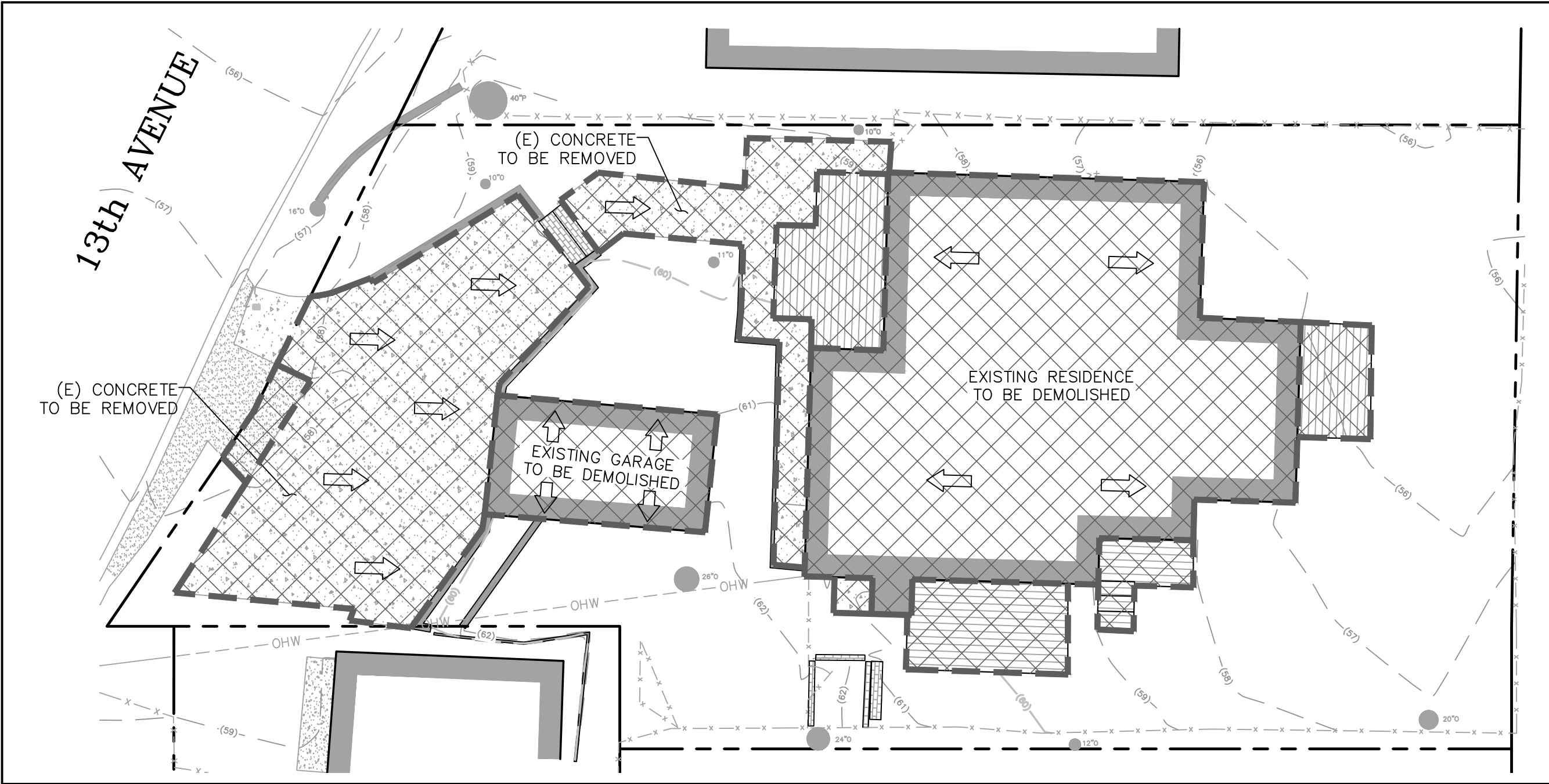


PERMIT SET

REVISIONS			
REV. NO.	DESCRIPTION	DATE	APPROVED
1			
2			
3			
4			
5			

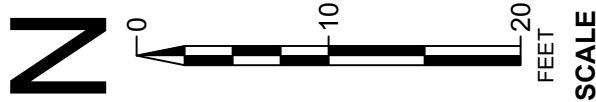


DATE: 11/4/2024	DESIGNED BY: AP
REMODEL & ADDITION 13th 2SE OF MISSION CARMEL, CA	DRAWN BY: WZ
GRADING & EROSION CONTROL PLAN	SURVEYED BY: WS
	CHECKED BY: AP
	SHEET NO.
	2 OF 5



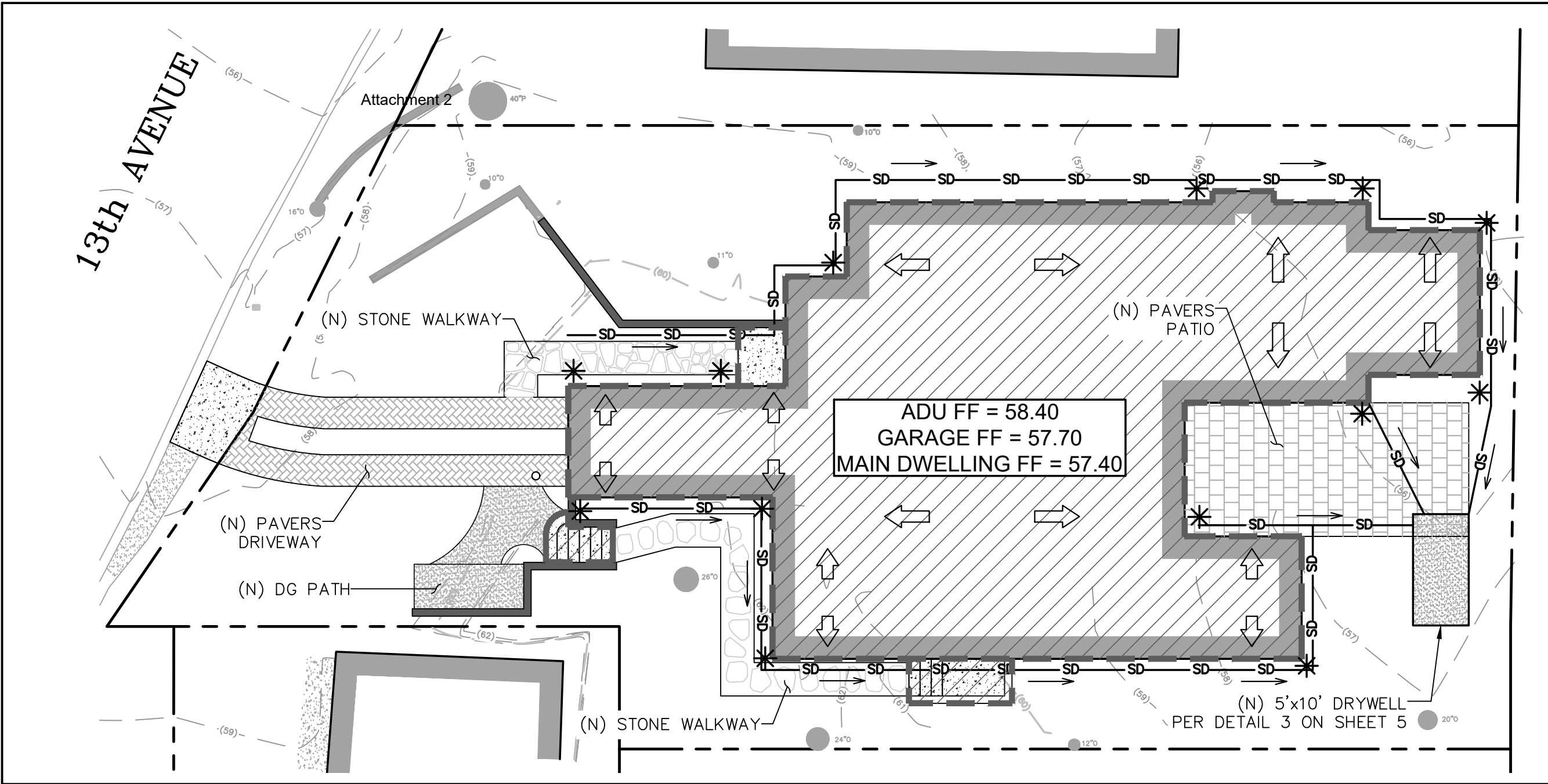
EXISTING IMPERVIOUS AREAS
SCALE: 1" = 10'

IMPERVIOUS AREAS TABLE		
ELEMENT	PROPOSED AREA (SF)	EXISTING AREA (SF)
STRUCTURES	2,400	1,500
EXTERIOR HARDSCAPE	50	1,380
TOTAL	2,450	2,880
NET INCREASE IN IMPERVIOUS AREA: - SF		



- LEGEND**
- PROPERTY LINE
 - PROPOSED GRAVITY STORM DRAIN
4" SDR35 PVC PIPE (UNLESS OTHERWISE NOTED), MIN 2% SLOPE, MIN 18" BURIAL DEPTH. CLEANOUTS SHALL BE PROVIDED AT ALL PIPE BENDS AND INTERSECTIONS.
 - PROPOSED IMPERVIOUS AREA (ARROW INDICATES DRAINAGE PATTERN)
 - EXISTING IMPERVIOUS AREA (ARROW INDICATES DRAINAGE PATTERN)
 - PROPOSED DOWNSPOUT TIE INTO STORM DRAIN PIPE PER DETAIL 2 ON SHEET 5


- GENERAL DRAINAGE NOTES:**
- ONSITE STORM DRAIN SYSTEM SHALL NOT CONNECT TO FRENCH DRAIN SYSTEM.
 - ALL JOINTS SHALL BE TIGHT GLUED AND ALL PIPES SHALL BE SOUNDS AND FREE FROM STRUCTURAL DEFECTS, CRACKS, BREAKS, OPENINGS, AND MISSING PORTIONS TO PREVENT EX-FILTRATION OR INFILTRATION BY GROUND WATER OR STORM WATER.

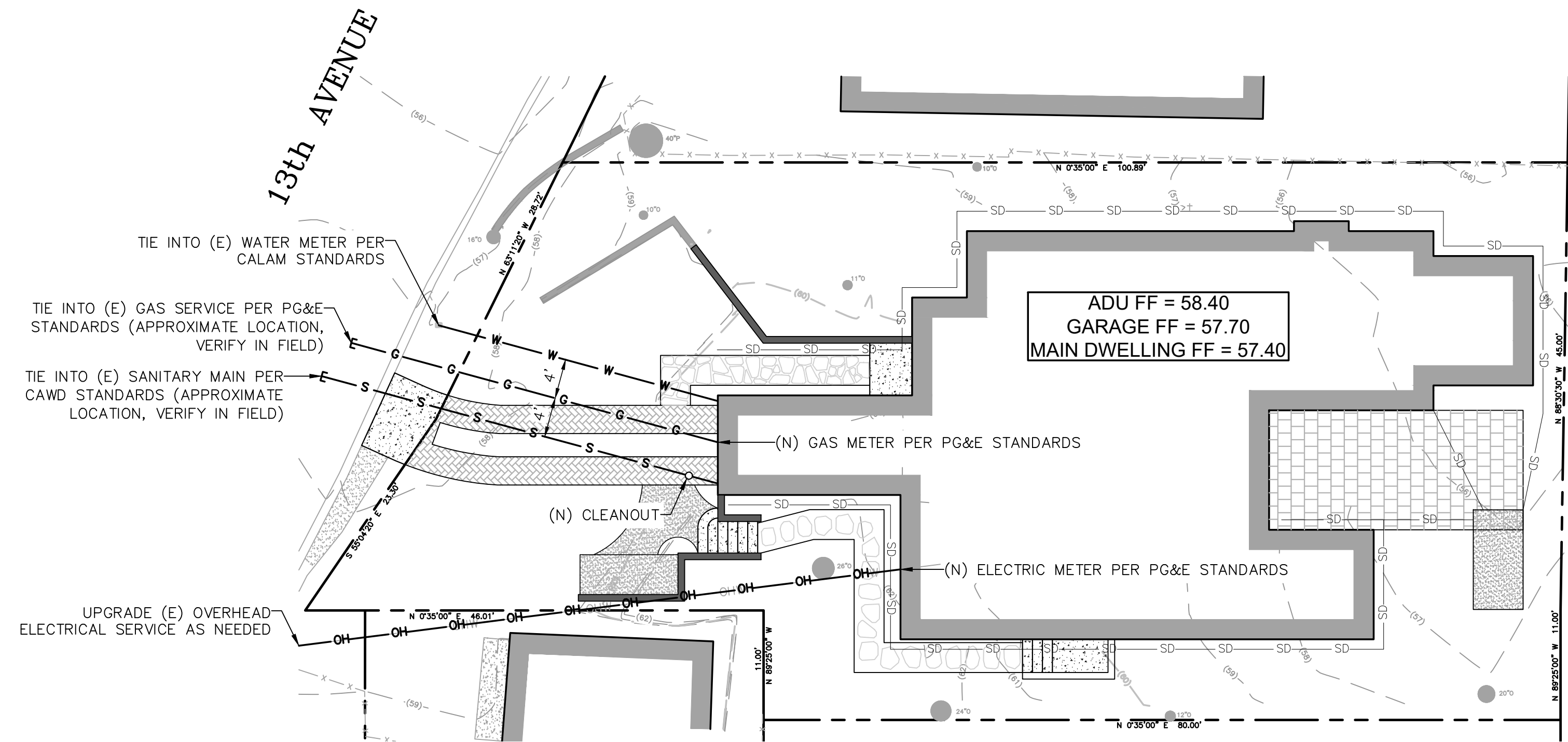


PROPOSED IMPERVIOUS AREAS
SCALE: 1" = 10'



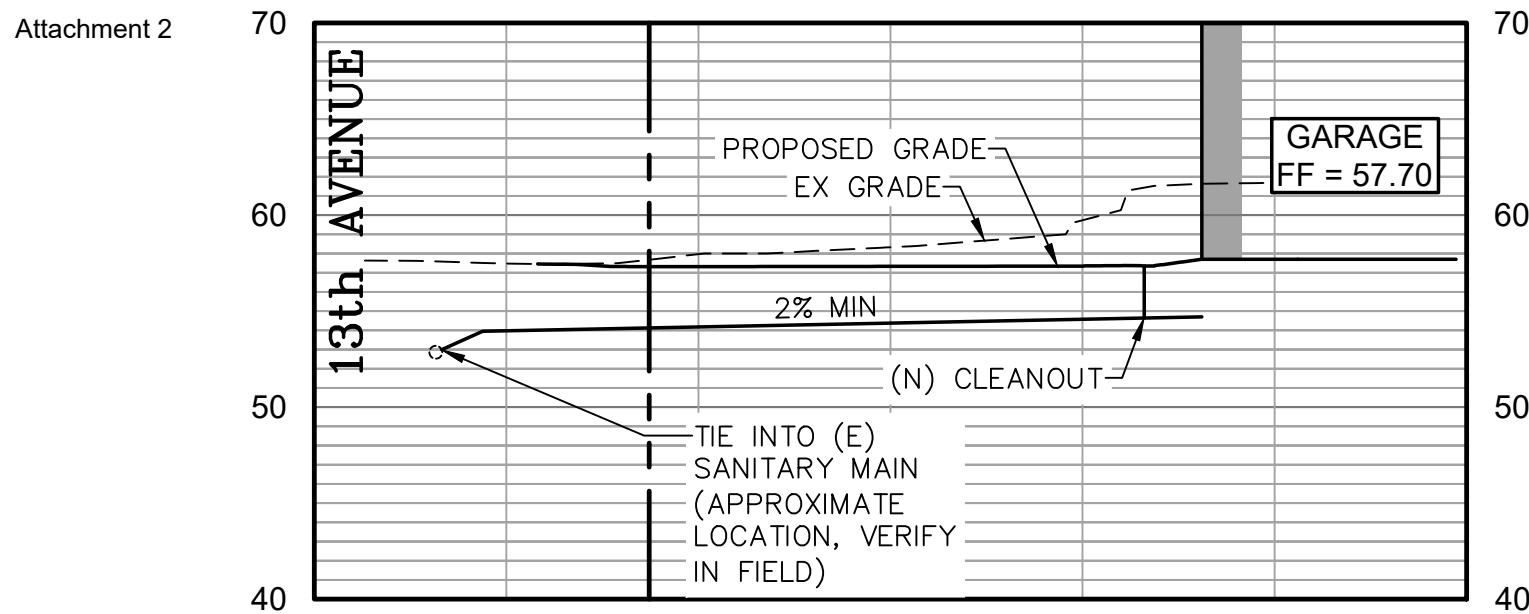
PERMIT SET

REVISIONS				<div>UPRIGHT ENGINEERING</div> <div></div> <div>3641 MT. DIABLO BLVD. #1841 LAFAYETTE, CA 94549 925-275-5364, info@uprightengineeringinc.com</div>	DATE: 11/4/2024		DESIGNED BY: AP
REV. NO.	DESCRIPTION	DATE	APPROVED		REMODEL & ADDITION 13th 2SE OF MISSION CARMEL, CA		DRAWN BY: WZ
5							SURVEYED BY: WS
4							CHECKED BY: AP
3							SHEET NO
2					DRAINAGE PLAN		3 OF 5
1							



UTILITY PLAN

SCALE: 1" = 10'



SEWER PROFILE

SCALE: 1" = 10'

GENERAL UTILITY NOTES:

1. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY ENCROACHMENT PERMITS FOR WORK IN THE PUBLIC RIGHT-OF-WAY.
2. UTILITY LOCATIONS ARE APPROXIMATE AND SHALL BE FINALIZED BY THE CONTRACTOR IN THE FIELD.
3. ALL UNDERGROUND AND ABOVEGROUND UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH ALL STATE, REGIONAL, AND LOCAL CODES AND REQUIREMENTS.
4. MINIMUM BURIAL DEPTH SHALL BE 18" FOR ALL UTILITIES.
5. ALL UTILITIES SHALL BE BURIED WITH DETECTABLE UNDERGROUND MARKING TAPE MEETING APWA STANDARDS. TAPE SHALL BE BURIED 12" ABOVE TOP OF UTILITY.
6. PULL BOXES FOR ELECTRICAL AND COMMUNICATIONS UTILITIES SHALL BE SIZED AND SPACED PER CURRENT CALIFORNIA BUILDING CODE REQUIREMENTS.
7. ELECTRICAL AND COMMUNICATION UTILITIES SHALL UTILIZE RACEWAYS WITH BENDS CONFORMING TO CURRENT CALIFORNIA BUILDING CODE REQUIREMENTS.
8. UTILITIES SHALL MAINTAIN 3FT MIN CLEARANCE FROM ALL CONCRETE FOOTINGS, SLABS, AND BUILDING FOUNDATIONS.
9. UTILITY TRENCH BACKFILL SHALL CONFORM TO THE REQUIREMENTS OF THE GEOTECHNICAL INVESTIGATION, THE UTILITY COMPANY, AND AS FOLLOWS:
 - 9.1. UTILITY TRENCH BACKFILL SHALL BE CLASS II AB COMPACTED TO 95% RELATIVE COMPACTION AT NEAR OPTIMUM MOISTURE CONTENT. BACKFILL SHALL BE PLACED IN 6" LIFTS, WETTED, AND COMPACTED USING A VIBRATING PLATE OR JUMPING JACK. CARE SHOULD BE TAKEN NOT TO HARM UTILITIES DURING PRELIMINARY BACKFILL.
10. THE FOLLOWING APPLIES TO THE PROPOSED PRIVATE SEWER LATERAL (PSL):
 - 10.1. ALL SEWER LINES AND ASSOCIATED STRUCTURES, CLEANOUTS, BACKFLOW DEVICES, OVERFLOW PROTECTION DEVICES AND POINT OF CONNECTION TO THE CITY MAIN SHALL COMPLY WITH CITY STANDARDS.
 - 10.2. THE PSL SHALL BE KEPT FREE FROM ROOTS, GREASE DEPOSITS, AND OTHER SOLIDS WHICH MAY IMPEDE OR OBSTRUCT THE FLOW.
 - 10.3. ALL JOINTS SHALL BE TIGHT AND ALL PIPES SHALL BE SOUNDS AND FREE FROM STRUCTURAL DEFECTS, CRACKS, BREAKS, OPENINGS, AND MISSING PORTIONS TO PREVENT EX-FILTRATION BY WASTE OR INFILTRATION BY GROUND WATER OR STORM WATER.
 - 10.4. THE GRADE OF EVERY PSL SHALL BE UNIFORM WITHOUT SAGS OR OFFSETS.
 - 10.5. THE PSL SHALL HAVE A TWO-WAY CLEANOUT LOCATED AT OR NEAR THE STRUCTURE. ALL CLEANOUTS SHALL BE SECURELY CAPPED AT ALL TIMES.
 - 10.6. THE PSL SHALL BE EQUIPPED WITH A BACKFLOW DEVICE/OVERFLOW DEVICE.
 - 10.7. IN CONJUNCTION WITH A PSL SERVING A STRUCTURE IN WHICH THERE ARE PLUMBING FIXTURES AT AN ELEVATION TOO LOW TO PERMIT DRAINAGE BY GRAVITY FROM THE FIXTURES TO THE SEWER MAIN, THE PROPERTY OWNER SHALL INSTALL AND MAINTAIN A PUMP OR OTHER APPROPRIATE DEVICE OR DEVICES TO LIFT THE CONTENTS OF THE PSL TO THE CITY'S SANITARY SEWER SYSTEM. SUCH DEVICES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE UNIFORM BUILDING AND PLUMBING CODES AND ALL APPLICABLE PROVISIONS OF THE CITY MUNICIPAL CODE, AND SHALL BE SUBJECT TO TESTING, REPAIR AND REPLACEMENT UNDER THE PROVISIONS OF THE CITY.
 - 10.8. THERE SHALL BE NO NON-SANITARY SEWER CONNECTIONS TO THE PSL PLUMBING THAT CONNECTS THERETO.

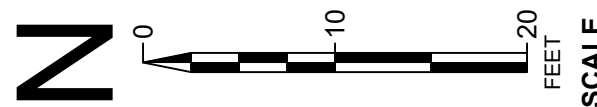
LEGEND

- PROPERTY LINE
- W W PROPOSED UNDERGROUND POTABLE WATER LINE PER CALAM STANDARDS
- S S PROPOSED GRAVITY SEWER LINE 4" ABS SCH40, 2% MIN SLOPE
- OH OH PROPOSED OVERHEAD CONNECTION PER PG&E STANDARDS
- G G PROPOSED GAS PER PG&E STANDARDS

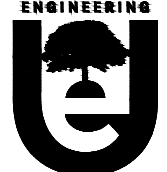
MINIMUM UTILITY SEPARATION REQUIREMENTS

UTILITY	POTABLE WATER*	STORM WATER	SANITARY SEWER	GAS	ELECTRIC	COMM
POTABLE WATER	-	12"	12"	0"	12"	12"
STORM WATER	12"	-	12"	0"	24"	12"
SANITARY SEWER	12"	12"	-	0"	24"	12"
GAS	0"	0"	0"	-	24"	12"
ELECTRIC	12"	24"	24"	24"	-	12"
COMM	12"	12"	12"	12"	12"	-

* WHEN POTABLE WATER SHARES A JOINT TRENCH OR CROSSES SEWER AND/OR STORMWATER, POTABLE WATER SHALL ALWAYS BE ABOVE.

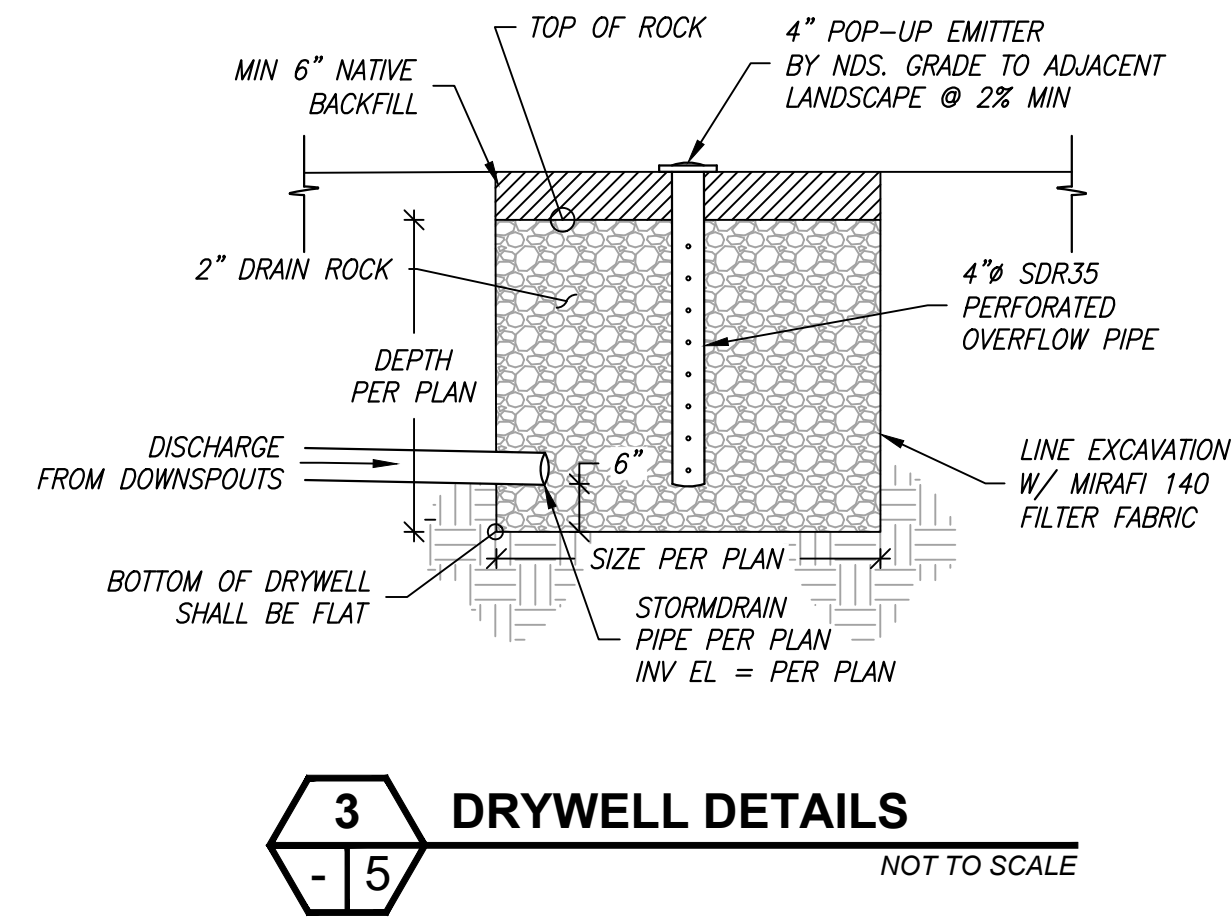
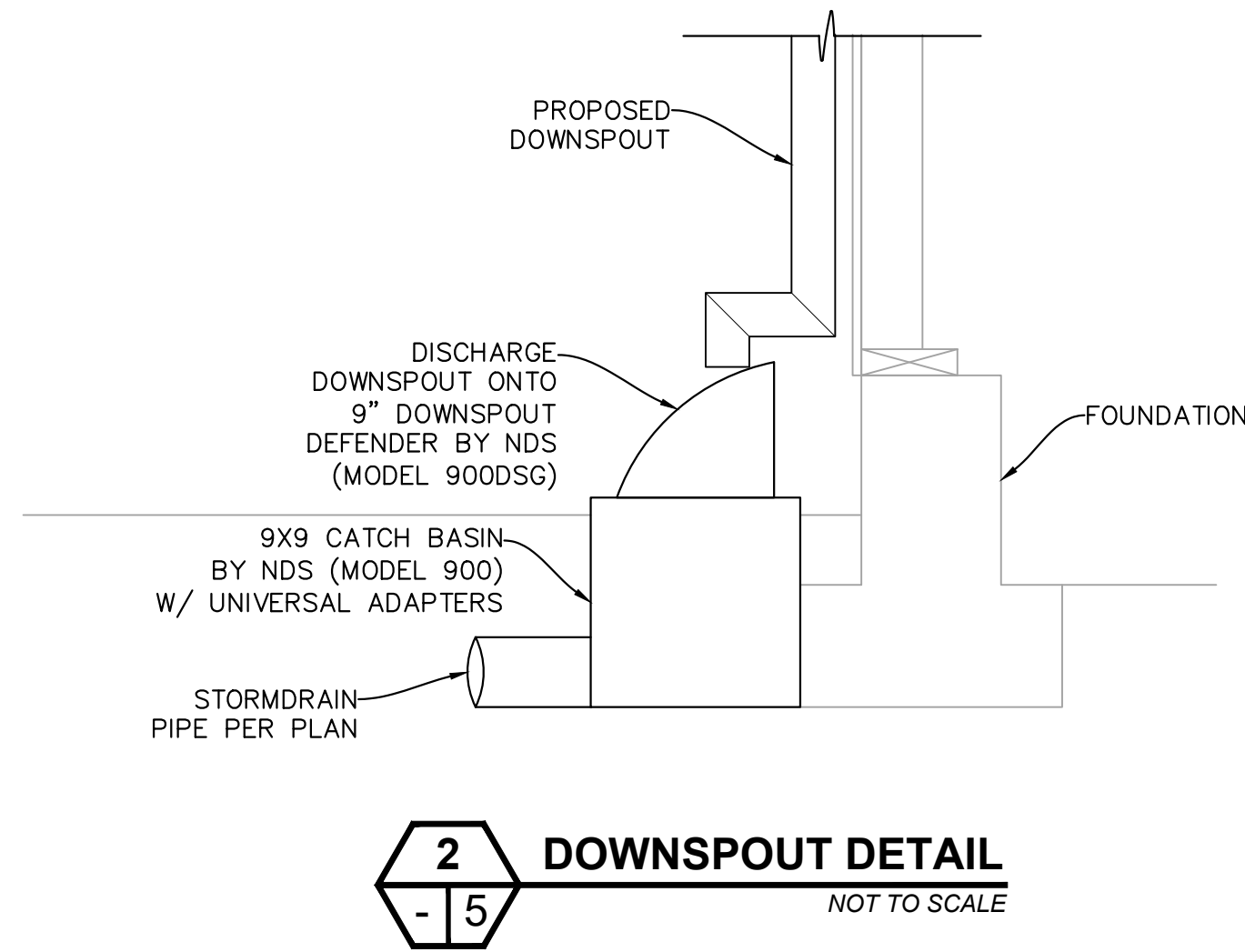
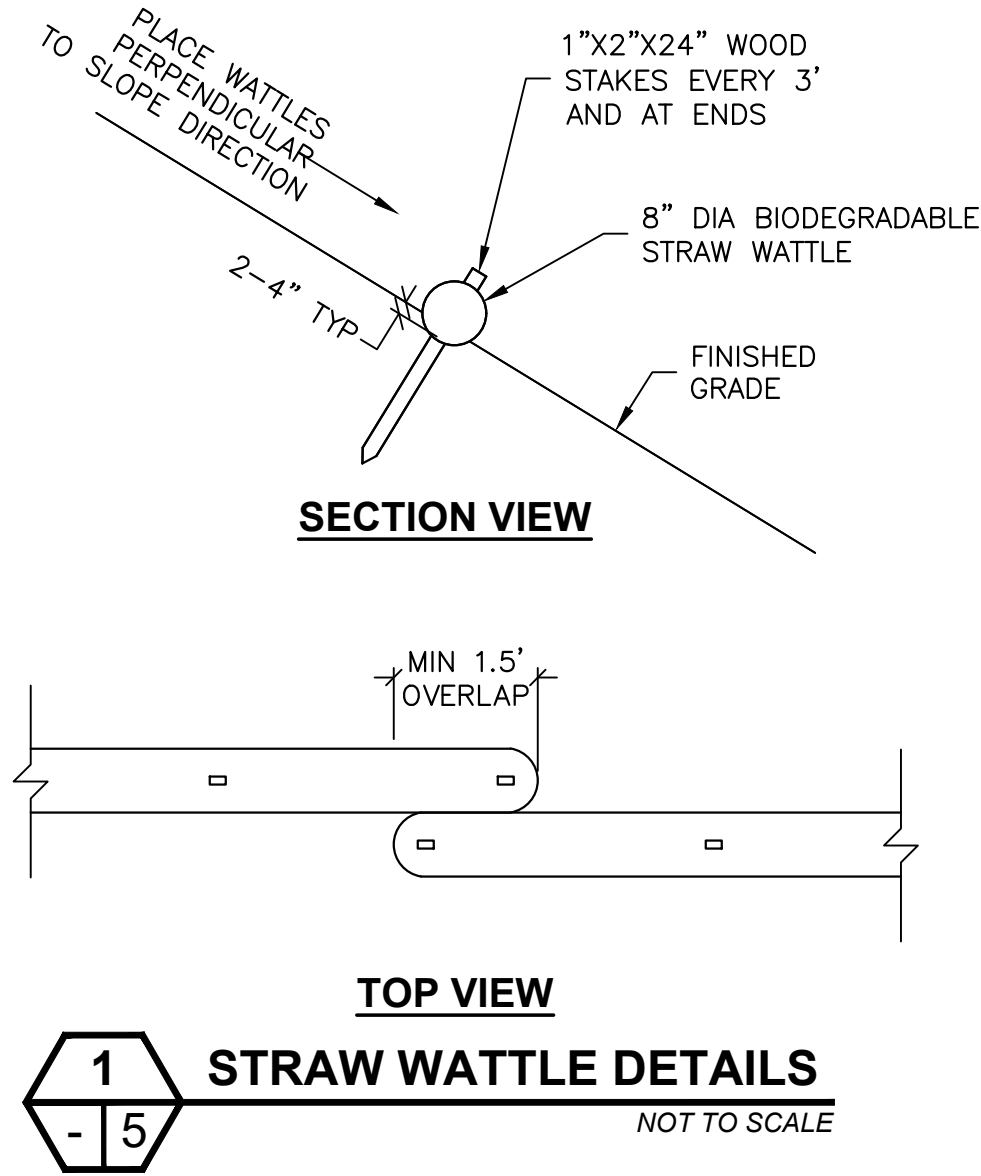


PERMIT SET

REVISIONS				 3641 MT. DIABLO BLVD. #1841 LAFAYETTE, CA 94549 925-275-5364, info@uprightengineering.com	DATE: 11/4/2024		DESIGNED BY: AP	
REV. NO.	DESCRIPTION	DATE	APPROVED		DRAWN BY: WZ		SURVEYED BY: WS	
1					CHECKED BY: AP		SHEET NO.	
2					4 OF 5			

REMODEL & ADDITION
13th 2SE OF MISSION
CARMEL, CA


UTILITY PLAN

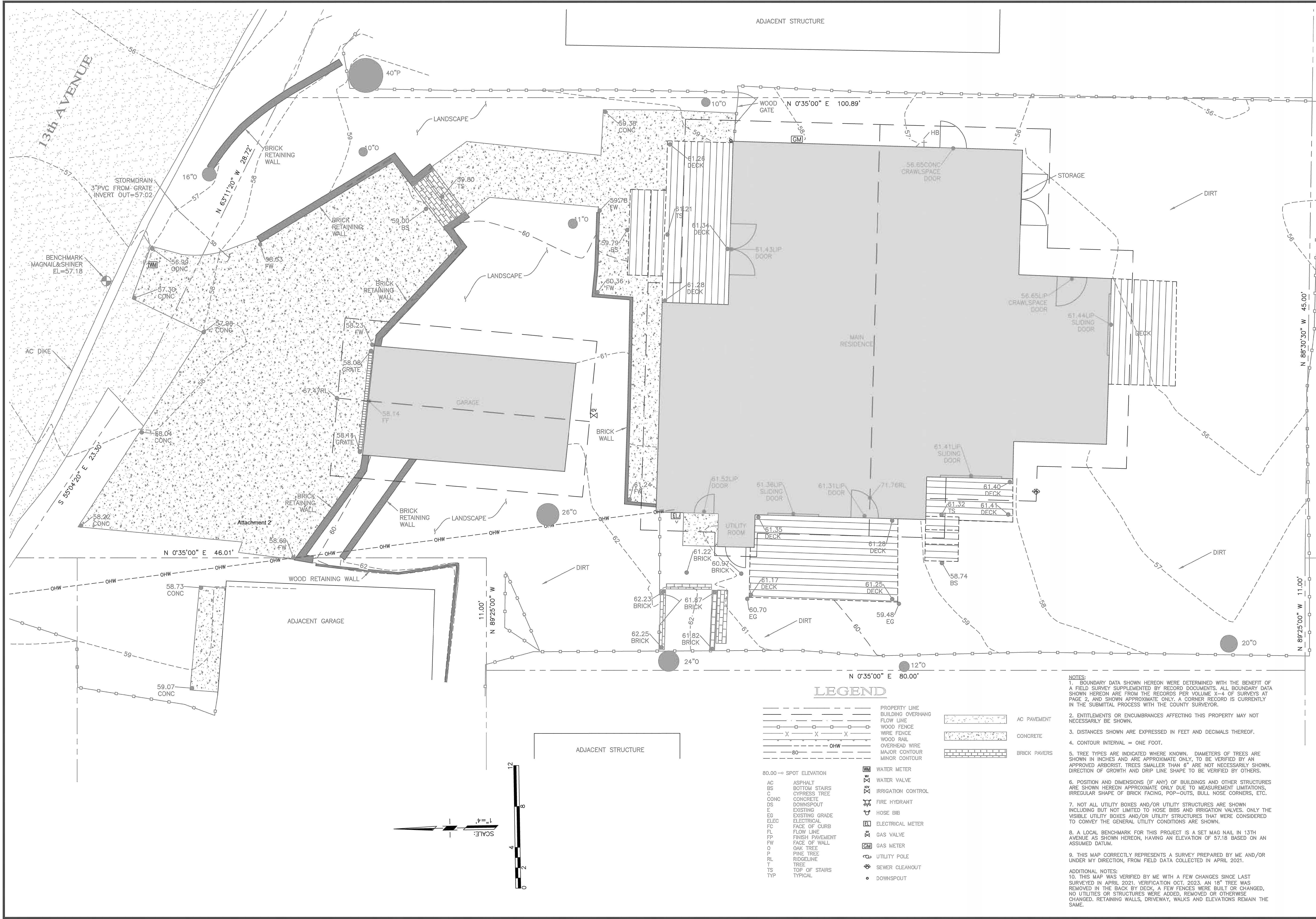


Attachment 2



PERMIT SET

REVISIONS				 3641 MT. DIABLO BLVD. #1841 LAFAYETTE, CA 94549 925-275-5364 info@uprightengineering.com	DATE: 11/4/2024 REMODEL & ADDITION 13th 2SE OF MISSION CARMEL, CA DETAILS	DESIGNED BY: AP
REV. NO.	DESCRIPTION	DATE	APPROVED			DRAWN BY: WZ
△ 3						SURVEYED BY: WS
△ 4						CHECKED BY: AP
△ 5						SHEET NO.
△ 6						5 OF 5



NEAL DICKEY
LAND SURVEYING
LAND SURVEYING - ELEVATION CERTIFICATIONS
AERIAL PHOTOGRAPHY - ALTA - SUBDIVISIONS
9870 POLLOCK LANE, SALINAS, CA 93907
nealsurvey@gmail.com 831-320-1864

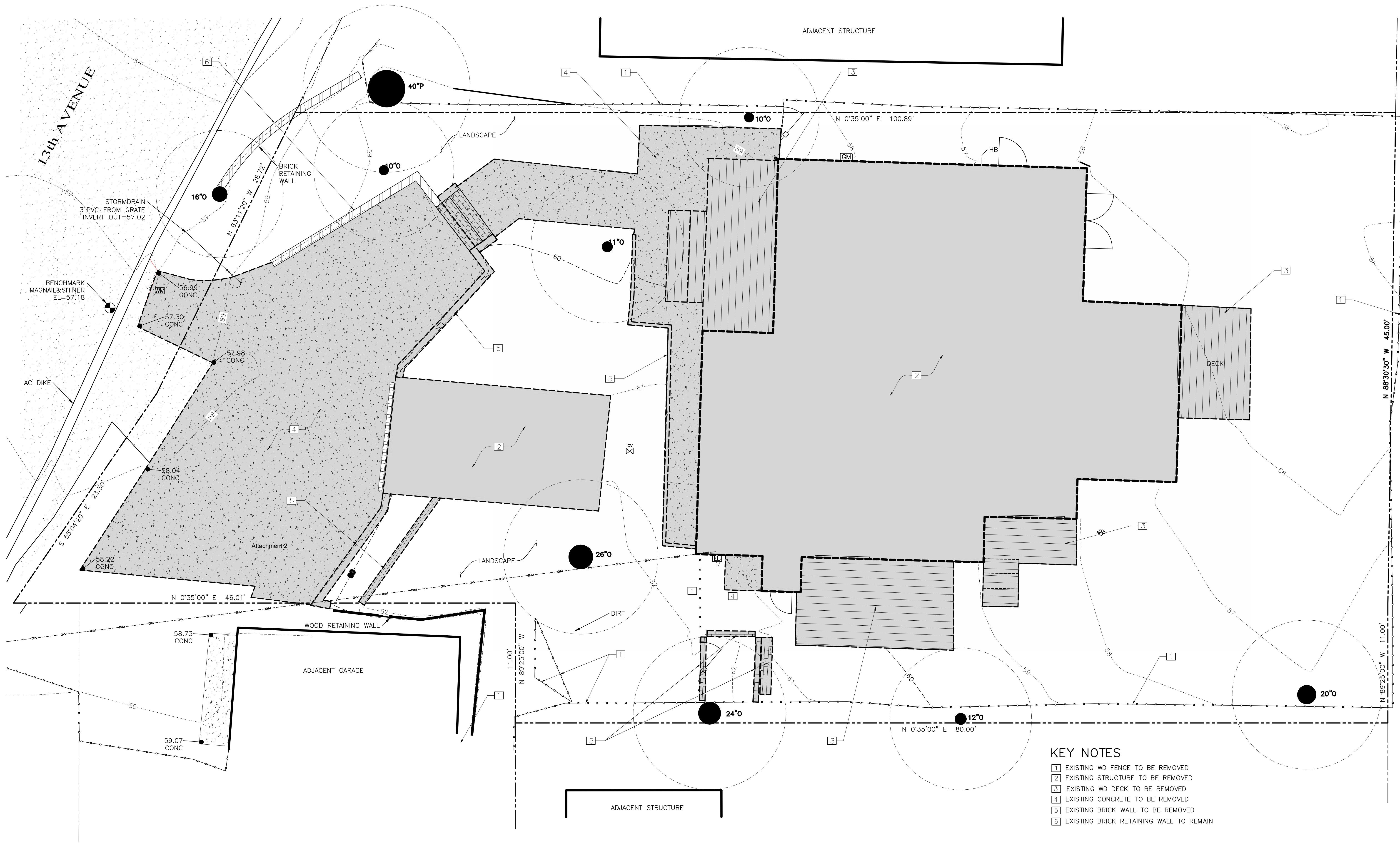
APPROVED BY:
Neal Dickey
NEAL DICKEY
P.L.S. No. 8296

NEAL DICKEY
LAND SURVEYING
LAND SURVEYING - ELEVATION CERTIFICATIONS
AERIAL PHOTOGRAPHY - ALTA - SUBDIVISIONS
9870 POLLOCK LANE, SALINAS, CA 93907
nealsurvey@gmail.com 831-320-1864

PREPARED FOR:
YOUR GOLDEN KEY NO 1 LLC

TOPOGRAPHIC SURVEY
13th 2SE of MISSION
CARMEL, CA 93923
APN: 010-161-018


SHEET 1
A1.0



KEY NOTES

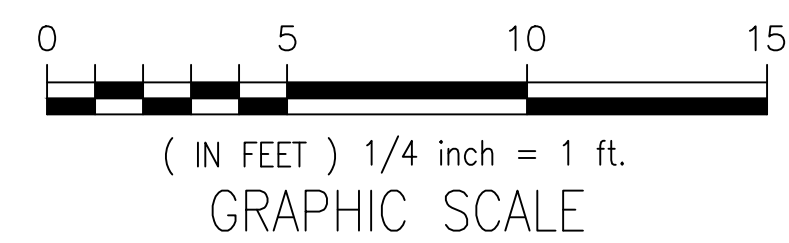
- 1 EXISTING WD FENCE TO BE REMOVED
- 2 EXISTING STRUCTURE TO BE REMOVED
- 3 EXISTING WD DECK TO BE REMOVED
- 4 EXISTING CONCRETE TO BE REMOVED
- 5 EXISTING BRICK WALL TO BE REMOVED
- 6 EXISTING BRICK RETAINING WALL TO REMAIN

LEGEND

 TO BE DEMOLISHED & REMOVED

DEMOLITION NOTE

ALL STRUCTURES, HARDSCAPE, WALLS, PERIMETER FENCES, AND LANDSCAPING TO BE REMOVED. THE OAK TREE ON THE NORTHEAST CORNER AND PINE TREE ON THE CITY RIGHT-OF-WAY TO REMAIN AND PROTECTED.



REVIEWS:

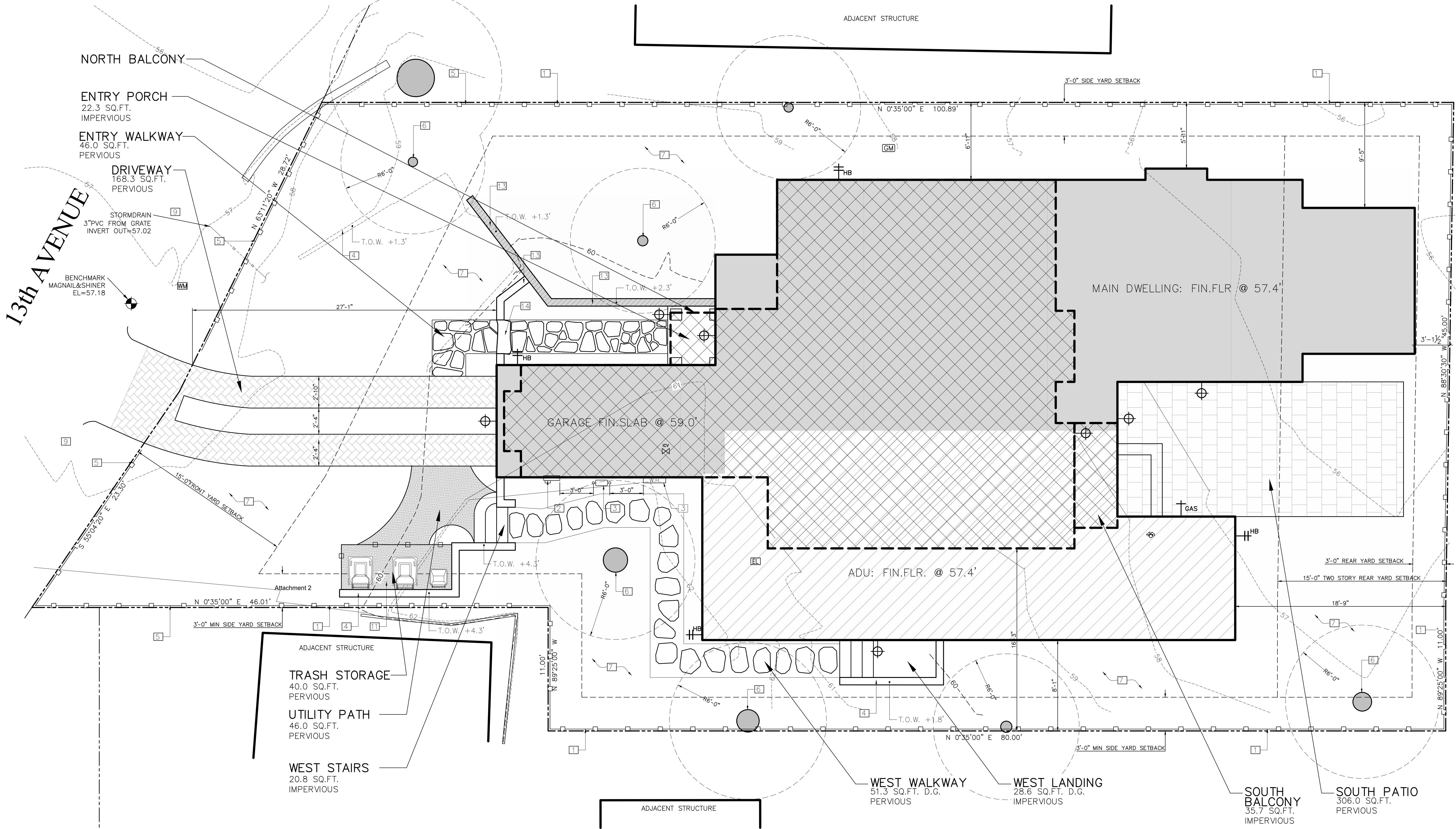
PROJECT: JIN CONSTRUCTION
13TH 25E OF MISSION, CARMEL CALIF.
BLOCK:142 LOTS: 3
APN: 010-161-018
PROJECT NO. 24-05

ISSUE: 12-28-2024

EXISTING SITE & DEMO PLAN

SCALE:1" = 1/4"

A2.0



13th AVENUE

FORESTREE NOTES

A. TREE PROTECTION ZONE, THE TREE PROTECTION ZONE SHALL BE EQUAL TO DRIPLINE OR 18 INCHES RADIALLY FROM THE TREE FOR EVERY ONE INCH OF TRUNK DIAMETER AT 4.5 FEET ABOVE THE SOIL LINE, WHICHEVER IS GREATER. MINIMUM OF 4 FOOT HIGH TRANSPARENT FENCING IS REQUIRED UNLESS OTHERWISE APPROVED BY THE CITY FORESTER. TREE PROTECTION SHALL NOT BE RESIZED, MODIFIED, REMOVED, OR ALTERED IN ANY MANNER WITHOUT WRITTEN APPROVAL. THE FENCING MUST BE MAINTAINED UPRIGHT AND TAUGHT FOR THE DURATION OF THE PROJECT. NO MORE THAN 4 INCHES OF WOOD MULCH SHALL BE INSTALLED WITHIN THE TREE PROTECTION ZONE. WHEN THE TREE PROTECTION ZONE IS AT OR WITHIN THE DRIP LINE, NO LESS THAN 6 INCHES OF WOOD MULCH SHALL BE INSTALLED 18 INCHES RADIALLY FROM THE TREE FOR EVERY ONE INCH OF TRUNK DIAMETER AT 4.5 FEET ABOVE THE SOIL LINE OUTSIDE OF FENCING.

B. THE STRUCTURAL ROOT ZONE (SRZ) STRUCTURAL ROOT ZONE SHALL BY 6 FEET FROM THE TRUNK OR 6 INCHES RADIALLY FROM THE TREE FOR EVERY ONE INCH OF TRUNK DIAMETER AT 5" ABOVE THE SOIL LINE, WHICHEVER IS GREATER. ANY EXCAVATION OR CHANGES TO THE GRADE SHALL BE APPROVED BY THE CITY FORESTER PRIOR TO WORK. EXCAVATION WITHIN THE STRUCTURAL ROOT ZONE SHALL BE PERFORMED WITH PNEUMATIC EXCAVATOR, HYDROVAC AT LOW PRESSURE, OR OTHER METHOD THAT DOES NOT SEVER ROOTS.

C. FOOTINGS MAY NOT TRENCH THROUGH MORE THAN 25% OF THE SRZ. PIERS AND CANTILEVERS ARE ACCEPTABLE. A PARTIAL FOUNDATION PLAN SHALL BE PROVIDED FOR THE FOUNDATIONS LOCATED WITHIN SRZ SHOWING THE HOW PIERS WILL BE USED WITHIN THE SRZ (I.E. BRIDGED FOUNDATION/STEM WALLS).

- KEY NOTES**
- 1 WOOD FENCE; 6FT, RDWD SEE SH. A4.0
 - 2 NEW 200 AMP ELEC. SERVICE ENTRANCE
 - 3 GAS METER; PROVIDE A CLEAR & LEVEL SURFACE: WIDTH-48" DEPTH-36" HEIGHT-78"
 - 4 PLASTER EXISTING RETAINING WALL
 - 5 WOOD FENCE; 4FT, RDWD SEE SH. A4.0
 - 6 EXISTING TREE TO REMAIN
 - 7 NEW LANDSCAPING
 - 8 NEW ASPHALT DRIVEWAY
 - 9 STREET EDGE
 - 10 TRASH AREA ENCLOSED WITH 4FT WOOD FENCE
 - 11 NEW LANDSCAPING
 - 12 NEW NAVIEN 240NG TANKLESS WATER HEATER
 - 13 NEW PLASTER RETAINING WALL
 - 14 TWO STEPS; SANDSTONE SLABS

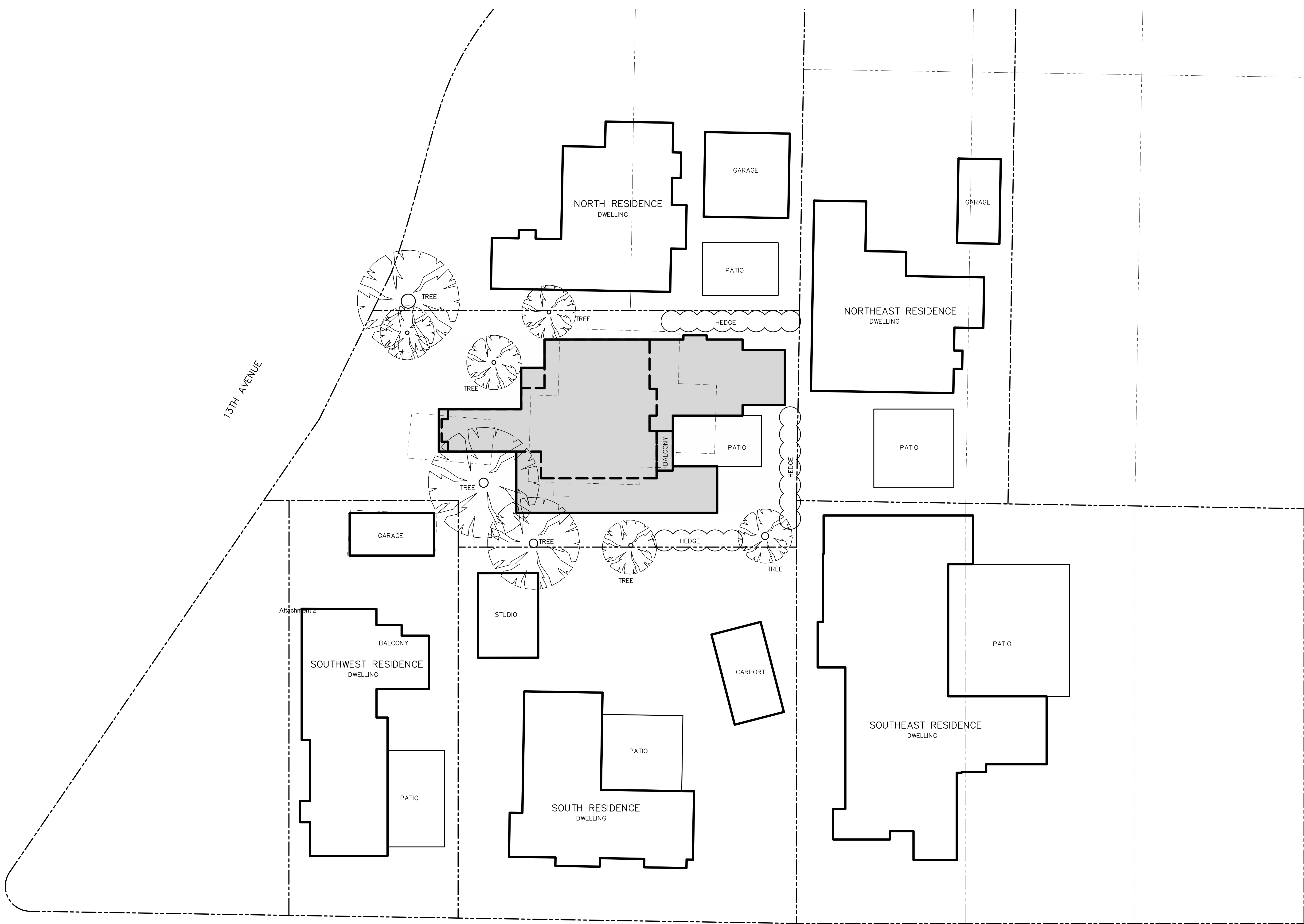
LEGEND

	MAIN LEVEL		EXISTING TREE
	UPPER LEVEL		NEW TREE
	ACCESSORY DWELLING UNIT		TREE TO BE REMOVED
	PROPERTY LINE		NEW ELEVATION MARKER
	MIN. SETBACKS		NEW CONTOURS
	LIGHT FIXTURE, SEE SHEET A4.0 FOR SPEC'S		
	HOSE BIB		
	GAS VALVE		

GRAPHIC SCALE

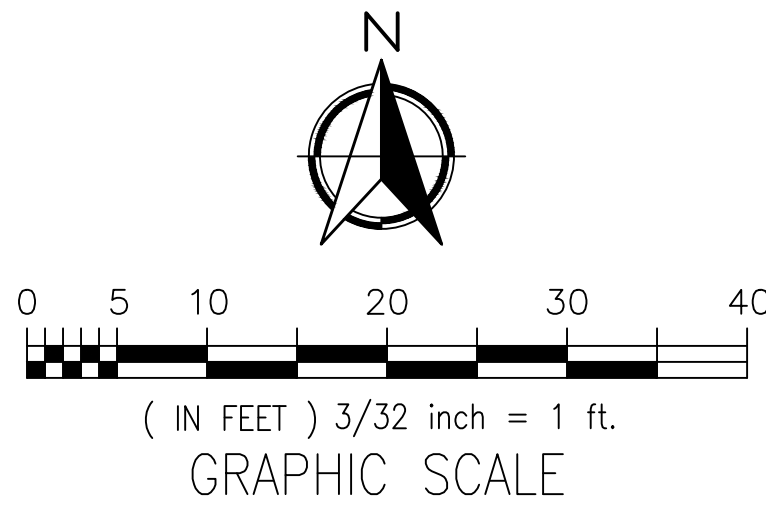
0 5 10 15

(IN FEET) 1/4 inch = 1 ft.



13TH AVENUE

Attachment 2



NEIGHBORHOOD
SITE PLAN

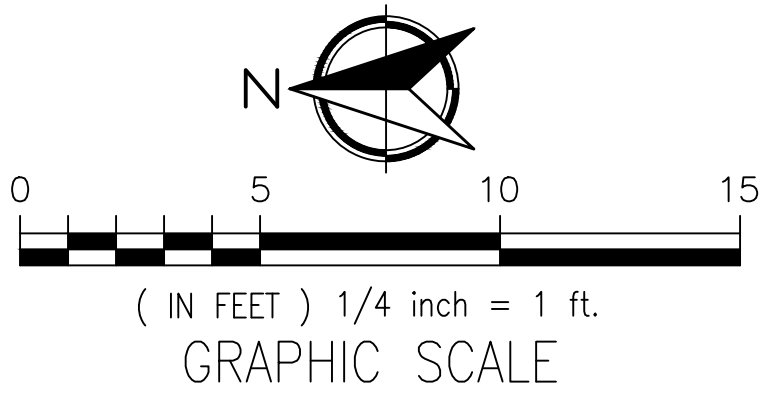
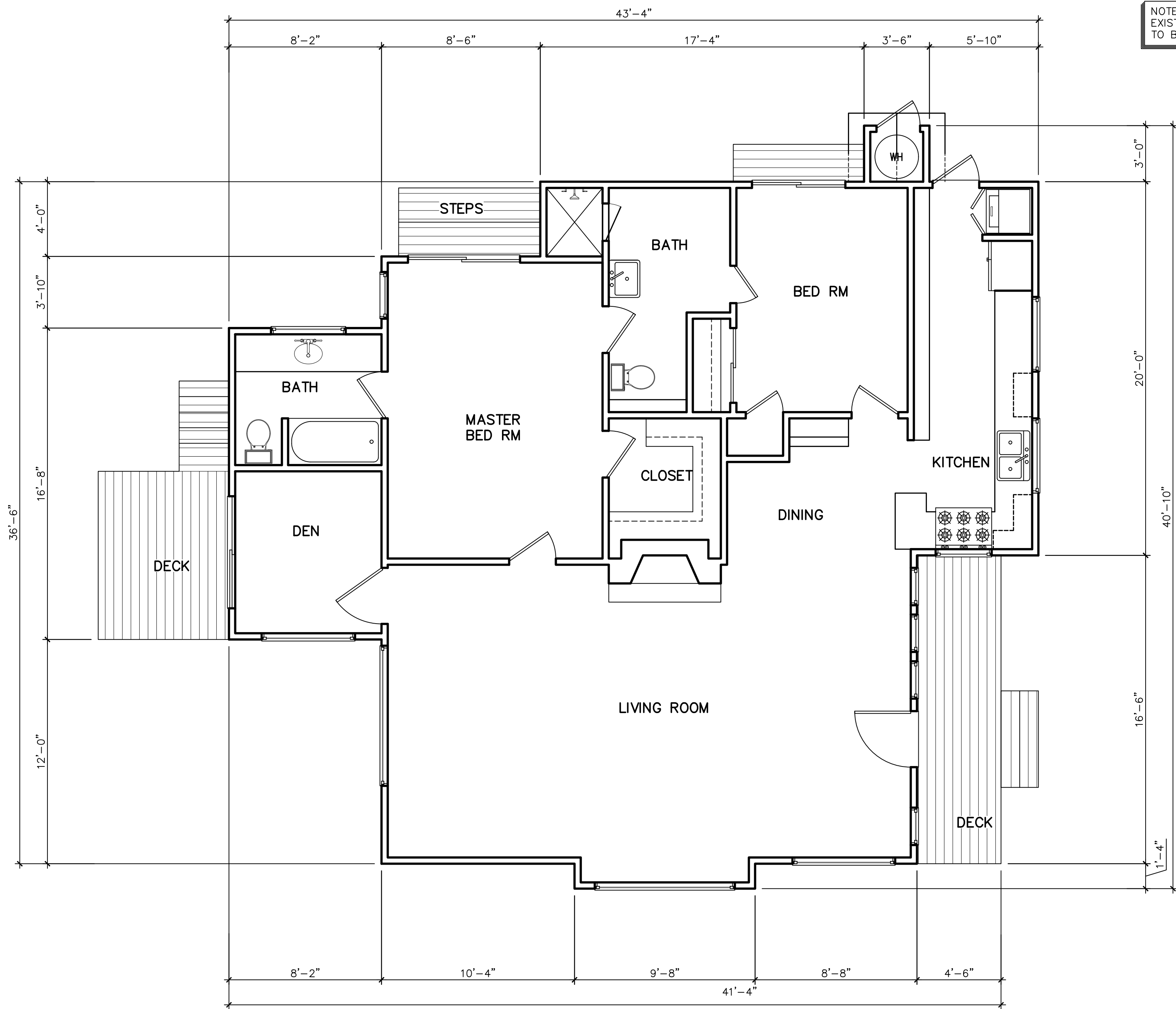
ISSUE:
12-28-2024

PROJECT:
JIN CONSTRUCTION
13TH / 25E OF MISSION, CARMEL CALIF.
BLOCK:142 LOTS: 3
APN: 010-161-018
PROJECT NO.
24-05

DRAWN BY:
CO

REVIEWS:

Attachment 2



EXISTING FLOOR PLAN

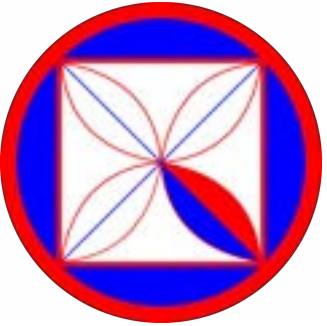
ISSUE: 12-28-2024

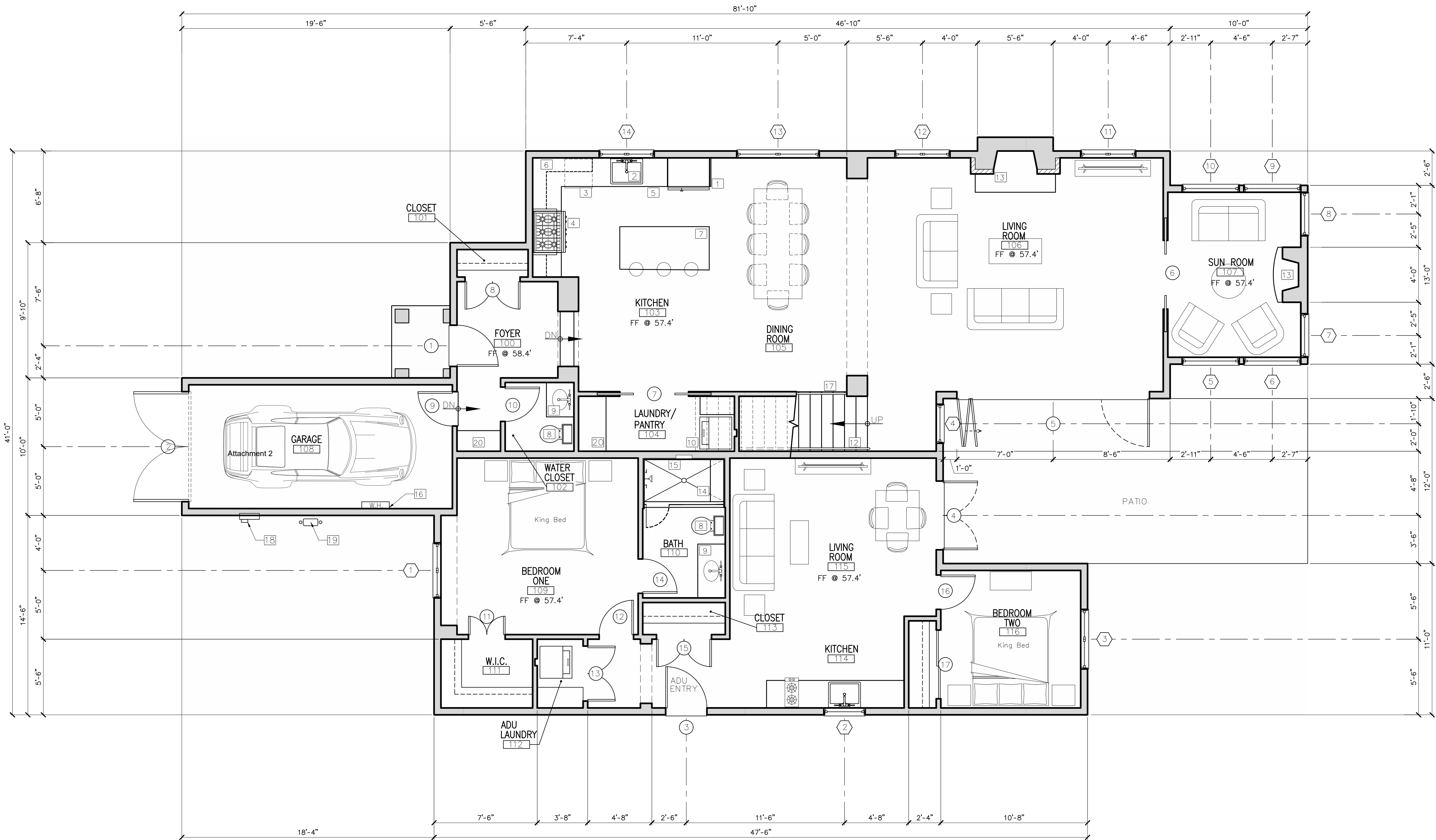
DRAWN BY: CO

PROJECT: JIN CONSTRUCTION
13TH ZSE OF MISSION, CARMEL CALIF.
BLOCK:142 LOTS:3
APN: 010-161-018
PROJECT NO. 24-05

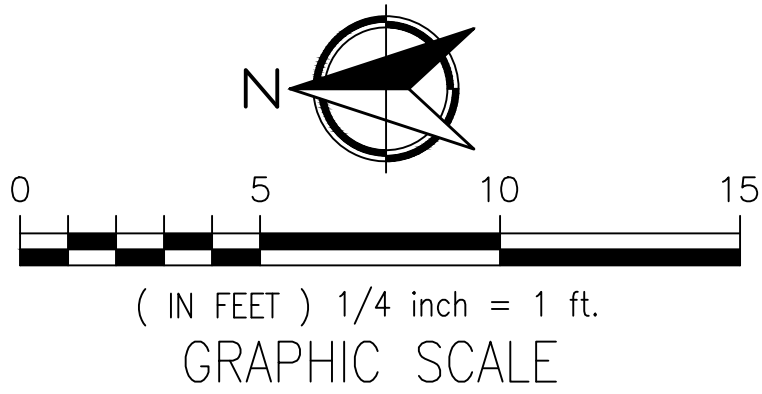
REVIONS:

CODG
CLAUDIO ORTIZ DESIGN GROUP, INC
28615 CARMEL CENTER PLACE, STE 102
Carmel, CA 93923
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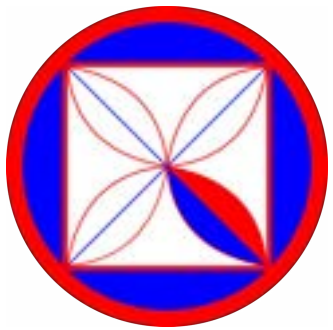




MAIN LEVEL FLOOR PLAN



- KEY NOTES**
- 1 NEW 36" BUILT-IN REFRIGERATOR, PROVIDE RECESSED COLD WATER BIB & SHUT-OFF FOR ICE-MAKER.
 - 2 NEW KITCHEN SINK W/GARBAGE DISPOSAL
 - 3 NEW DISH WASHER SPACE
 - 4 NEW 36" RANGE DUAL-FUEL RANGE VENTILATED W/40" HOOD ABOVE.
 - 5 NEW 36-INCH HIGH COUNTER TOP WITH BACKSPLASH.
 - 6 NEW UPPER CABINETS
 - 7 NEW KITCHEN ISLAND
 - 8 NEW WATER CLOSET: TO BE MAXIMUM 1.28 GALLONS PER FLUSH PER C.P.C. 402.3.
 - 9 NEW BATHROOM SINK 36-INCH HIGH W/ OR W/O VANITY WITH STONE TOP AND BACKSPLASH.
 - 10 STACK ELECTRIC WASHER & DRYER SPACE: PROVIDE RECESSED WATER & DRAIN CONNECTIONS, DRYER SPACE; PROVIDE VENT TO EXTERIOR.
 - 11 NEW GUARDRAILS: METAL HANDRAIL OVER METAL PICKETS @ 4-INCHES ON CENTER MAX.
 - 12 NEW 38-IN. HIGH HANDRAIL, DISCUSS FINISH W/ OWNER. BRACKETS AT 64" MAX
 - 13 FIREPLACE: 36-INCH WOOD BURNING, WITH GAS LOGS, AND STONE VENEER MANTEL AND HEARTH
 - 14 NEW TILED SHOWER & BENCH SEAT
 - 15 NICHE 14"x14"
 - 16 NAVIEN 240NG TANKLESS WATER HEATER
 - 17 INTERIOR STAIRS
 - 18 ELEC. MAIN PANEL
 - 19 GAS METER
 - 20 BUILT IN CABINET
 - 21 ONE SHELF AND ONE CHROME ROD



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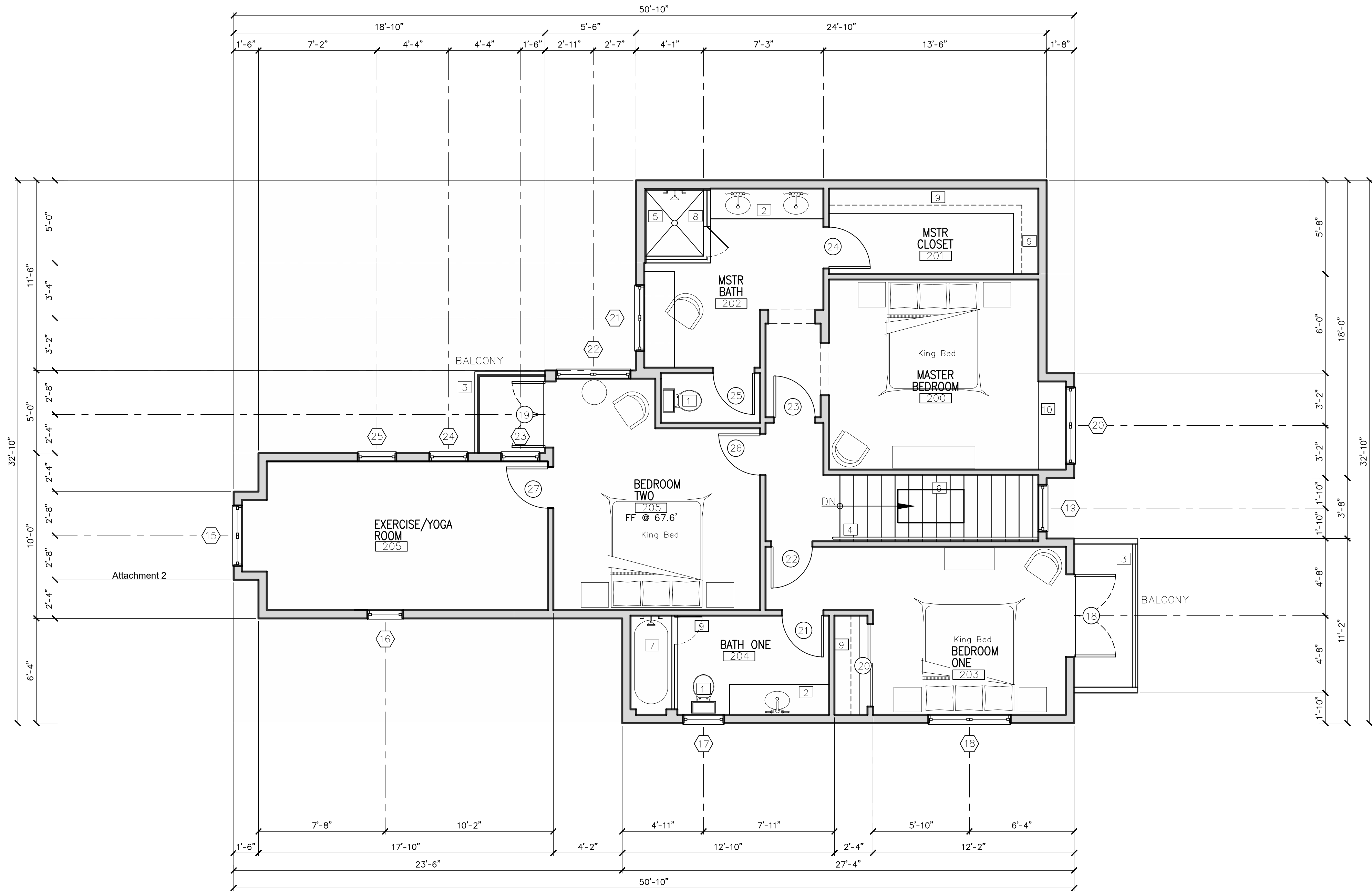
REVISIONS:

PROJECT:	JIN CONSTRUCTION
	13TH ZSE OF MISSION, CARMEL CALIF.
	BLOCK:142 LOTS: 3
ISSUE:	APN: 010-161-018
	12-28-2024
DRAWN BY:	PROJECT NO.
	24-05

PROPOSED FLOOR PLAN

SCALE: 1" = 1/4"

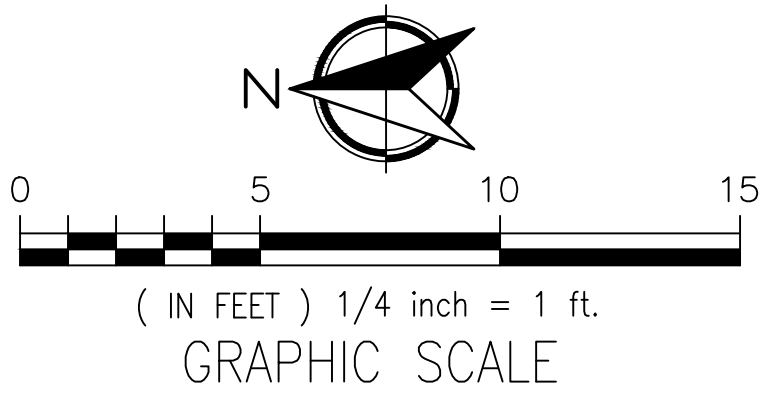
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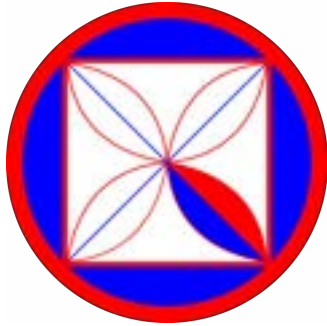


UPPER LEVEL FLOOR PLAN

- KEY NOTES
- 1 WATER CLOSET: TO BE MAXIMUM 1.28 GALLONS PER FLUSH PER C.P.C. 402.3.
 - 2 NEW BATHROOM SINK 36-INCH HIGH W/ OR W/O VANITY WITH STONE TOP AND BACKSLASH.
 - 3 GUARDRAILS: METAL HANDRAIL OVER METAL PICKETS @ 4-INCHES ON CENTER MAX.
 - 4 NEW 38-IN. HIGH METAL HANDRAIL WITH METAL BRACKETS AT 64" MAX
 - 5 TILED SHOWER FULL HEIGHT WITH FRAMELESS SHOWER DOORS
 - 6 INTERIOR STAIRS
 - 7 FREE STANDING TUB
 - 8 40" HIGH PONY WALL
 - 9 ONE SHELF AND ONE CHROME ROD
 - 10 WINDOW SEAT, 20-INCH OFF THE FLOOR
 - 11 MAIN LEVEL FLOOR PLAN SHOWN THIN DASHED LINE
 - 12 SKYLIGHT: 24X48 FIXED FLAT GLASS, FRAME TO MATCH ROOF COLOR, PROVIDE SHADE.

11





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REVIEWS:

PROJECT:
JIN CONSTRUCTION
13TH 2SE OF MISSION, CARMEL CALIF.
BLOCK:142 LOTS:3
APN: 010-161-018
PROJECT NO.
24-05

ISSUE:
12-28-2024

DRAWN BY:
CO

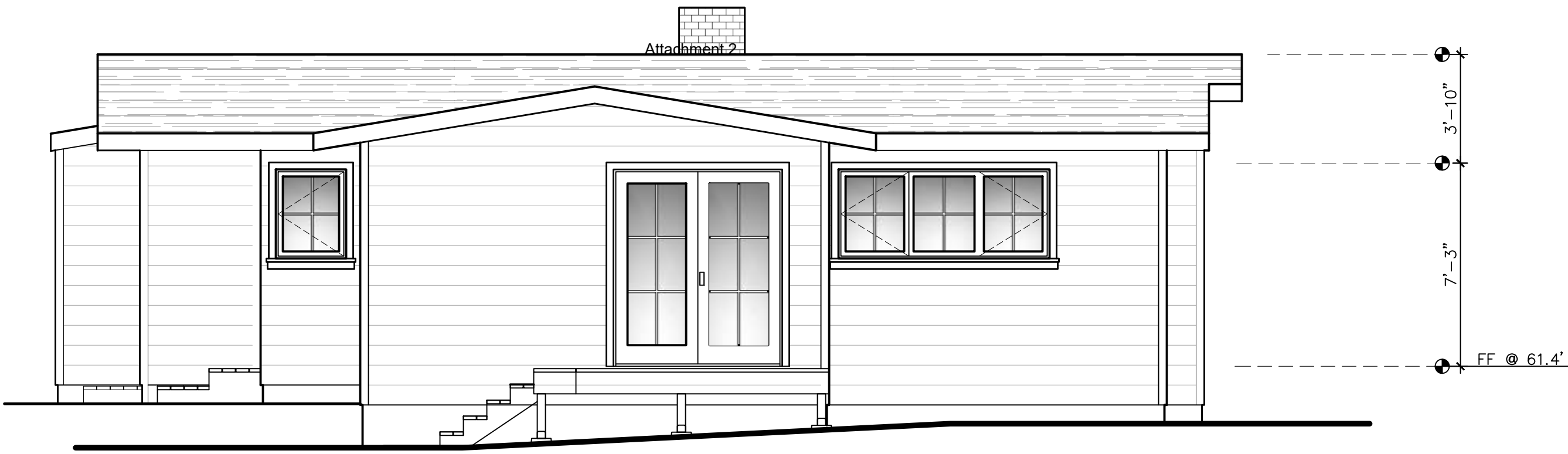
PROPOSED
UPPER LEVEL
FLOOR PLAN

SCALE:1" = 1/4"

A4.1



NORTH ELEVATION



SOUTH ELEVATION



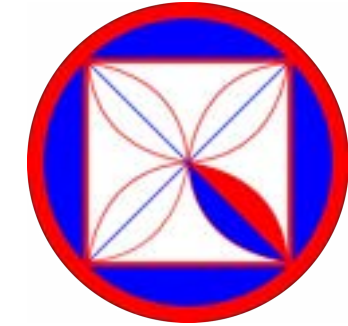
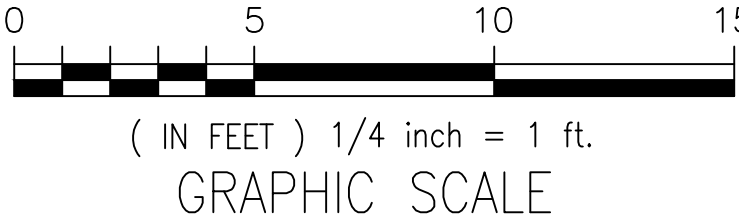
NORTH ELEVATION



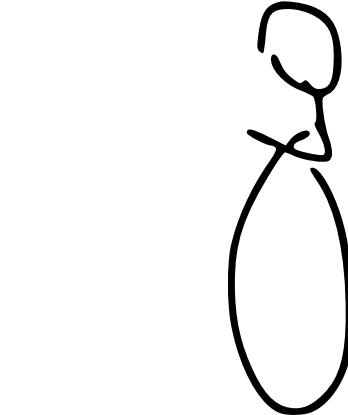
SOUTH ELEVATION

KEY NOTES

- 1 ROOF; WOOD SHAKE, PITCH 5:12
- 2 ROOF; METAL, PITCH 5:12
- 3 WINDOWS AND DOORS; WOOD-CLAD
- 4 ENTRY DOOR; WOOD WITH GLASS TOP
- 5 GARAGE DOOR; WOOD, ROLL-UP
- 6 GUTTERS AND DOWN SPOUTS; ALUMINUM PAINTED TO MATCH A COPPER FINISH. CONNECTED TO A DRAINAGE SYSTEM PER CIVIL DWG'S.
- 7 RAFTER TAILS; 4X8 SHAPED, PAINTED, TYP.
- 8 WOOD COLUMN; PAINTED
- 9 CHIMNEY CAP; GAL. SHEET METAL, PAINTED TO MATCH A COPPER FINISH.
- 10 LIGHT FIXTURES; SEE MATERIALS PAGE --/-- FOR SPEC'S, DARK SKY, LUMENS NOT TO EXCEED 320.
- 11 BARGE; 4X8 OVER 1X3 TRIM, TYP.
- 12 STONE VENEER; NATURAL STONE, RANDOM SQUARED PATTERN.
- 13 SIDING; BOARD AND BATTENS SPACED 16-IN. O.C.
- 14 GUARDRAIL; WOOD, 1X1 PICKETS OVER 2X4 SHAPED HANDRAIL; WOOD 8-1/2"X8-1/2" COLUMNS, PAINTED GRADE WHERE OCCURS
- 15 EXISTING NATURAL GRADE SHOWN DASHED LINE
- 16 18-FT HEIGHT LIMIT; 2ND STORY PLATES OR SINGLE STORY ROOF
- 17 15-FT HEIGHT LIMIT; SINGLE STORY ROOF WITHIN 15-FT FROM REAR PROPERTY LINE
- 18 REAR PROPERTY LINE
- 19 KNEE BRACKET; 6X6 POST OVER A 4X4 BRACE, PAINTED
- 20 SKYLIGHT; 24X48 FIXED FLAT GLASS, FRAME TO MATCH ROOF COLOR, PROVIDE SHADE.



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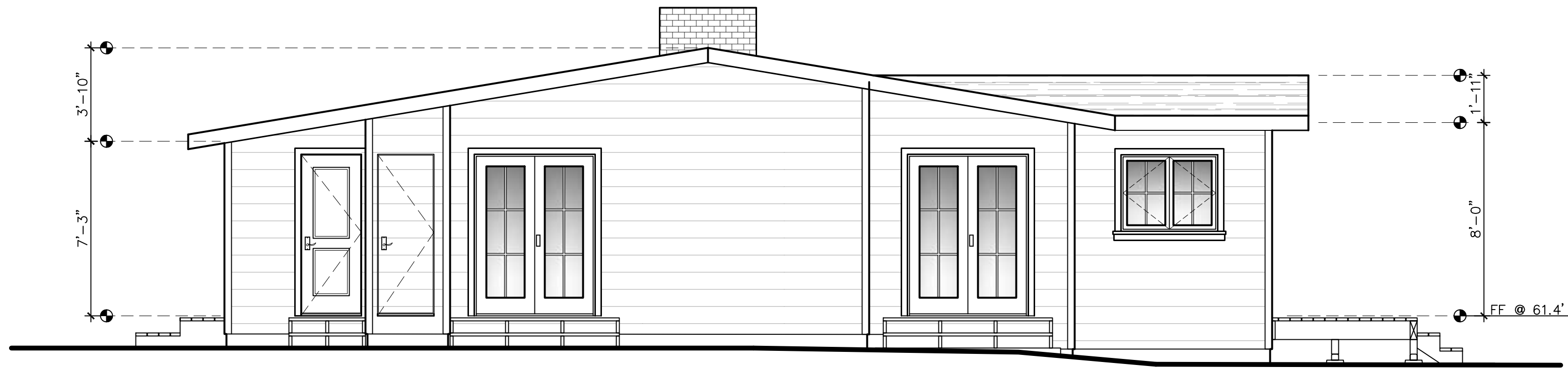
REVIEWS:

PROJECT:
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BLOCK:142 LOTS: 3
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DRAWN BY:
CO

PROPOSED
ELEVATIONS

A5.0



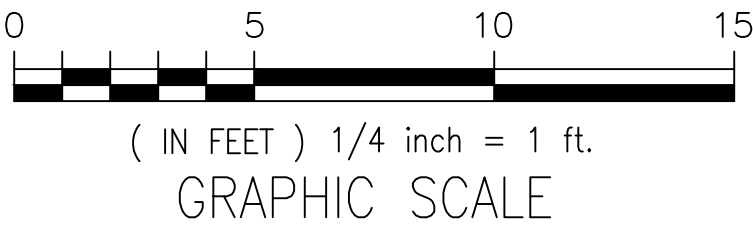
WEST ELEVATION

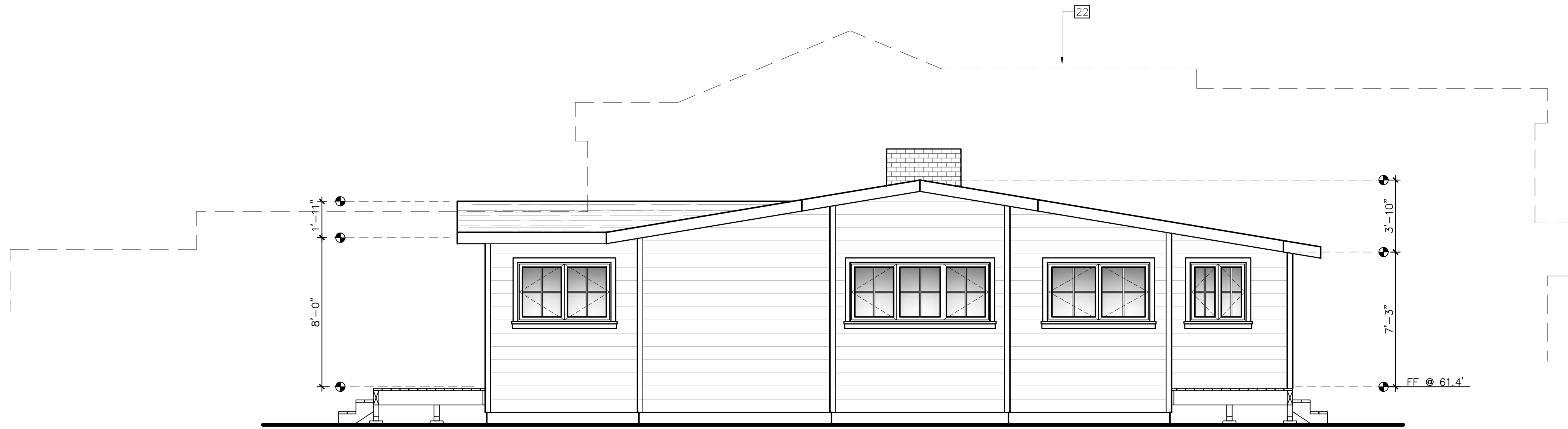
KEY NOTES

- 1 ROOF; WOOD SHAKE, PITCH 5:12
- 2 ROOF; METAL, PITCH 5:12
- 3 WINDOWS AND DOORS; WOOD-CLAD
- 4 ENTRY DOOR; WOOD WITH GLASS TOP
- 5 GARAGE DOOR; WOOD, ROLL-UP
- 6 GUTTERS AND DOWN SPOUTS; ALUMINUM PAINTED TO MATCH A COPPER FINISH. CONNECTED TO A DRAINAGE SYSTEM PER CIVIL DWG'S.
- 7 RAFTER TAILS; 4X8 SHAPED, PAINTED, TYP.
- 8 WOOD COLUMN; PAINTED
- 9 CHIMNEY CAP; GAL. SHEET METAL, PAINTED TO MATCH A COPPER FINISH.
- 10 LIGHT FIXTURES; SEE MATERIALS PAGE --/-- FOR SPEC'S, DARK SKY, LUMENS NOT TO EXCEED 320.
- 11 BARGE; 4X8 OVER 1X3 TRIM, TYP.
- 12 STONE VENEER; NATURAL STONE, RANDOM SQUARED PATTERN.
- 13 SIDING; BOARD AND BATTENS SPACED 16-IN. O.C.
- 14 GUARDRAIL; WOOD, 1X1 PICKETS OVER 2X4 SHAPED HANDRAIL; WOOD
- 15 8-1/2"X8-1/2" COLUMNS, PAINTED GRADE WHERE OCCURS
- 16 EXISTING NATURAL GRADE SHOWN DASHED LINE
- 17 18-FT HEIGHT LIMIT; 2ND STORY PLATES OR SINGLE STORY ROOF
- 18 15-FT HEIGHT LIMIT; SINGLE STORY ROOF WITHIN 15-FT FROM REAR PROPERTY LINE
- 19 REAR PROPERTY LINE
- 20 KNEE BRACKET; 6X6 POST OVER A 4X4 BRACE, PAINTED
- 21 SKYLIGHT: 24X48 FIXED FLAT GLASS, FRAME TO MATCH ROOF COLOR, PROVIDE SHADE.

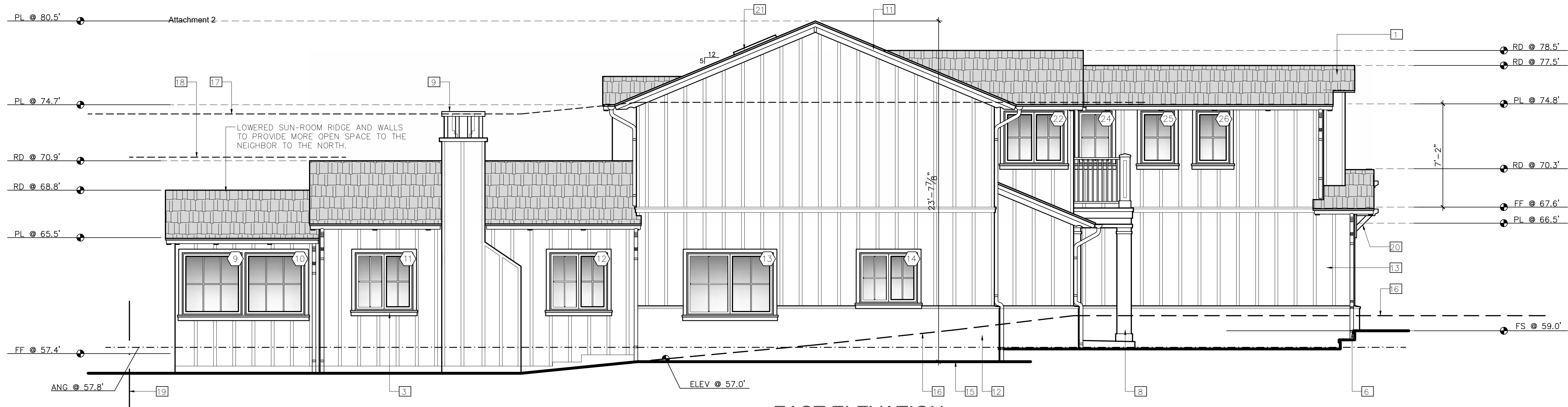


WEST ELEVATION





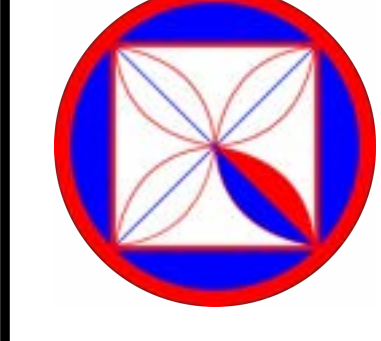
EAST ELEVATION



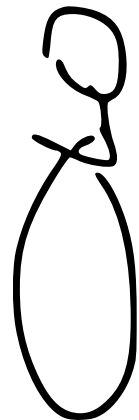
EAST ELEVATION

KEY NOTES

- 1] ROOF; WOOD SHAKE, PITCH 5:12
- 2] N/A
- 3] WINDOWS AND DOORS; WOOD-CLAD
- 4] N/A
- 5] N/A
- 6] GUTTERS AND DOWN SPOUTS; ALUMINUM PAINTED TO MATCH A COPPER FINISH. CONNECTED TO A DRAINAGE SYSTEM PER CIVIL DWG'S.
- 7] RAFTER TAILS; 4X8 SHAPED, PAINTED, TYP.
- 8] WOOD COLUMN; PAINTED
- 9] CHIMNEY CAP; GAL. SHEET METAL, PAINTED TO MATCH A COPPER FINISH.
- 10] LIGHT FIXTURES; SEE MATERIALS PAGE --/-- FOR SPEC'S, DARK SKY, LUMENS NOT TO EXCEED 320.
- 11] BARGE; 4X8 OVER 1X3 TRIM, TYP.
- 12] STONE VENEER; NATURAL STONE, RANDOM SQUARED PATTERN.
- 13] SIDING; BOARD AND BATTENS SPACED 16-IN. O.C.
- 14] GUARDRAIL; WOOD, PAINTED 1X1 PICKETS OVER A 2X4 SHAPED HANDRAIL, OVER 4X4 WOOD POSTS.
- 15] GRADE WHERE OCCURS
- 16] EXISTING NATURAL GRADE SHOWN DASHED LINE
- 17] 18-FT HEIGHT LIMIT; 2ND STORY PLATES OR SINGLE STORY ROOF
- 18] 15-FT HEIGHT LIMIT; SINGLE STORY ROOF WITHIN 15-FT FROM REAR PROPERTY LINE
- 19] REAR PROPERTY LINE
- 20] KNEE BRACKET; 6X6 POST OVER A 4X4 BRACE, PAINTED
- 21] SKYLIGHT; 24X48 FIXED FLAT GLASS, FRAME TO MATCH ROOF COLOR, PROVIDE SHADE.
- 22] OUTLINE OF PROPOSED DWELLING SHOWN DASHED-LINE TO ILLUSTRATE THE LIVING ROOM AND SUNROOM WING OVER THE EXISTING BUILDING FOR THE NEIGHBOR TO THE NORTH TO COMPARE.



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REVIEWS:

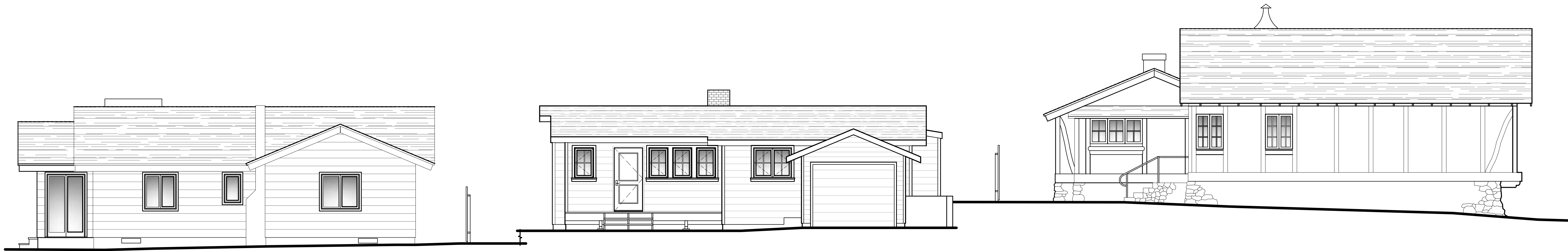
PROJECT:
JIN CONSTRUCTION
13TH ZSE OF MISSION, CARMEL CALIF.
BLOCK:142 LOTS: 3
APN: 010-161-018
PROJECT NO.
24-05

ISSUE:
12-28-2024
DRAWN BY:
CO

PROPOSED
ELEVATIONS

SCALE:1" = 1/4"

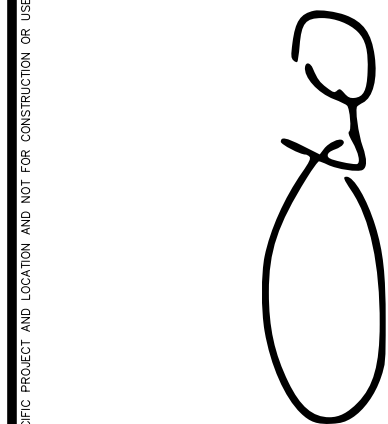
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13th AVENUE
EXISTING NORTH ELEVATION



13th AVENUE
PROPOSED NORTH ELEVATION



REVIEWS:

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STREET SCALE

SCALE:NTS

GENERAL NOTES

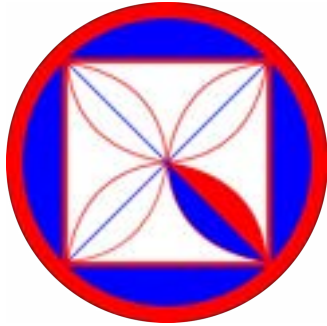
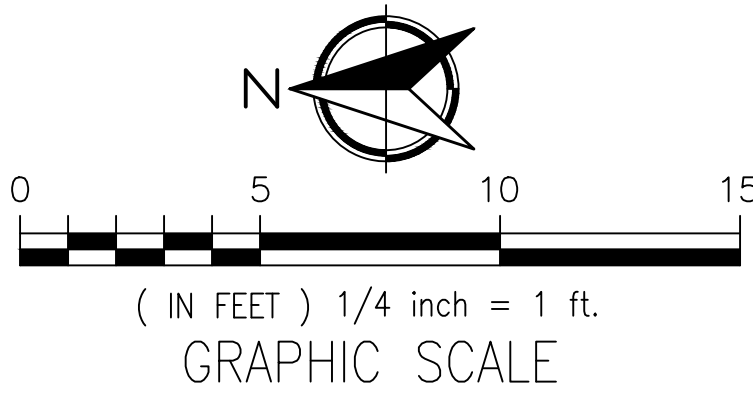
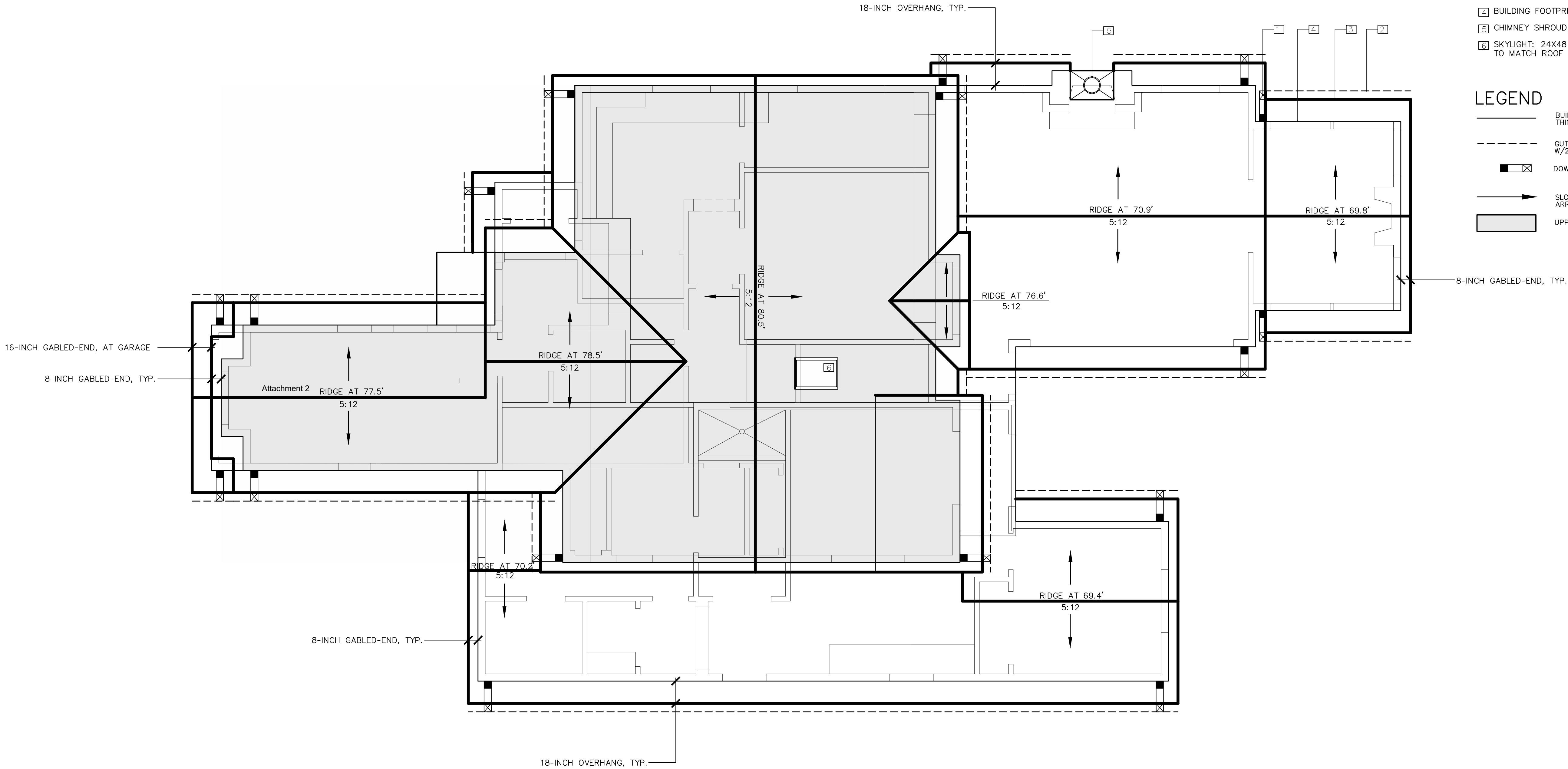
- SEE PLAN FOR ROOF SLOPE.
- INSTALLATION OF ROOFING SHALL BE IN ACCORDANCE WITH MANUFACTURE'S SPECIFICATIONS.
- CLASS "A" MINIMUM RATING FOR ROOF ASSEMBLY PER C.B.C.
- IN "CALIFORNIA" DOUBLE FRAMING AREAS PROVIDE OPENINGS INTO MAIN ATTIC SPACE FOR ADEQUATE VENTILATION. PER C.B.C., IF "CALIFORNIA" DOUBLE FRAME AREA HAS MORE THAN 30-INCHES HEADROOM PROVIDE A 22"X30" ACCESS THROUGH MAIN ROOF SHEATHING. VERIFY OPENINGS IN ROOF SHAETHING WITH STRUCTURAL ENGINEER.
- ALL BOX COLUMNS AND 'POP-OUTS' SHALL REMAIN OPEN AT TOP PALET LINE TO ALLOW FOR VENTILATION. PROVIDE TWO (2) LAYERS GRADE "D" MINIMUM PAPER UNDER STUCCO WHERE WOOD SHEATHING ACCURS.
- PROVIDE DRAFT STOPS PER C.B.C.
- ALL ROOF FASTENERS TO BE CAPABLE OF RESISTING WIND LOAD OF 110 M.P.H. INSTALLED PER MANUFACTURER'S WRITTEN INSTRUCTION.. (As shown in Figured R301.2(4)(a))
- BUILT UP ROOFING TO HAVE MINERAL SURFACE CAP SHEET WITH FIBERGLASS BASE SHEET SPOT MOPPED TO DECK. PROVIDE 2 FIBERGLASS PLYSHEETS WITH TYPE III ASPHALT @ 25-30. CONSULT MANF. FOR SPECIFIC INSTALLATION REQUIREMENTS.
- WHERE CEILING ARE APPLIDE TO UNDER-SIDE OF ROOF RAFTERS, EACH SEPARATE SPACE SHALL HAVE CROSS VENTILLATION OPENING & MINIMUM 1-INCH AIR SPACE BETWEEN INSULATION AND ROOF SHEATHING.
- FLAT ROOFS MUST SLOPE A MINIMUM OF 1/4-INCH PER FOOT FOR DRAINAGE OR SUBMIT DESING TO SUPPORT ACCUMULATED WATER. (Sec. 1611.2)
- 50% OF THE REQUIRED VENTILATION AREA SHALL BE PROVIDED BY VENTILATORS IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED AT LEAST 3-FEET ABOVE EAVE OR CORNICE VENTS WITH THE BALANCE.

KEY NOTES

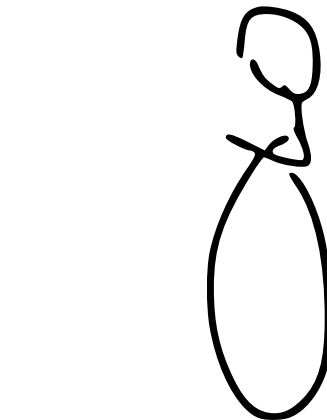
- 1 DOWNSPOUTS
- 2 GUTTERS W/ 2% SLOPE
- 3 ROOF LINE
- 4 BUILDING FOOTPRINT
- 5 CHIMNEY SHROUD, STAINLESS STEEL
- 6 SKYLIGHT: 24X48 FIXED FLAT GLASS, FRAME TO MATCH ROOF COLOR, PROVIDE SHADE.

LEGEND

- BUILDING FOOTPRINT
THIN DASHED LINE
- GUTTERS
W/2% SLOPE
- DOWNSPOUTS
- SLOPE DIRECTION
ARROW
- UPPER FLOOR



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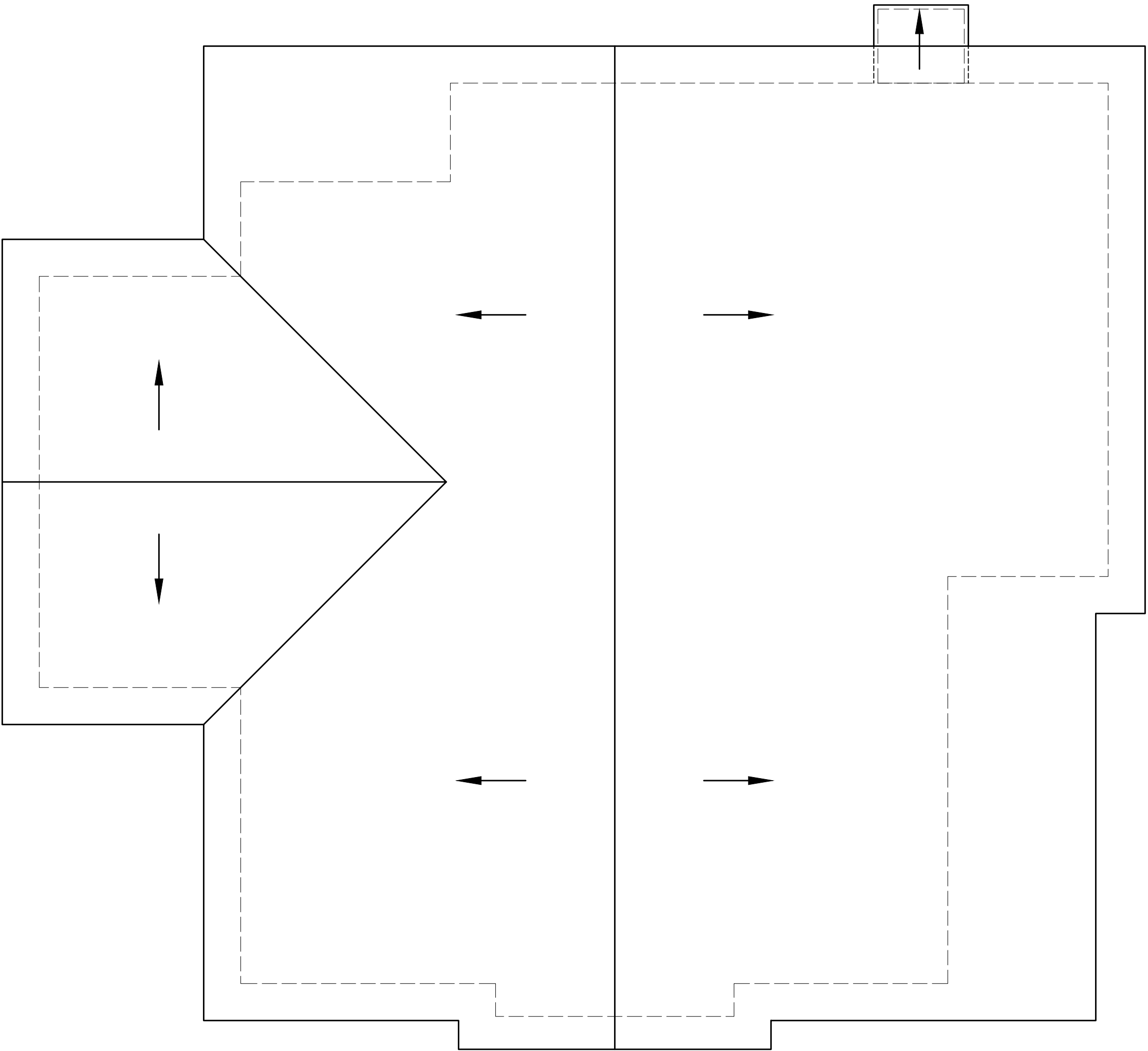
DRAWN BY:
CO

PROPOSED
ROOF PLAN

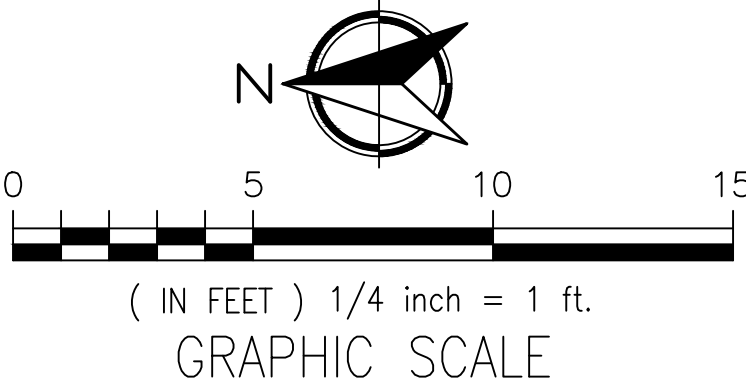
SCALE:1" = 1/4"

A7.0

Attachment 2



EXISTING ROOF PLAN





EXTERIOR BALCONY RAILING

MANUFACTURE: -
COLOR: BLACK
LOCATION: EXTERIOR



HANDRAIL BRACKET

MANUFACTURE: BOLD MFG & SUPPLY
COLOR: PURE WHITE / SW 7005
LOCATION: INTERIOR
PART NAME: LINEAR HANDRAIL BRACKET



BULB

MANUFACTURE: PHILLIPS
WATTS: 4 WATTS
LUMENS: 150
BULB TYPE: B11 LED SOCKET



FIXTURE A

MANUFACTURE: HINKLEY
T24 COMPLIANT: YES
COLOR: BLACK
WATTS: 14 WATTS
LUMENS: 150
BULB TYPE: SEE BULB
DIMENSIONS: 16 1/2" H X 16" W X 11" EXTENDS 17" FROM WALL

EXTERIOR LIGHTING NOTES

1. ALL EXTERIOR LIGHTING ATTACHED TO THE MAIN BUILDING OR ANY ACCESSORY BUILDING MAY NOT BE HIGHER THAN 10- FEET ABOVE THE GROUND AND MAY NOT EXCEED 25-WATTS (INCANDESCENT EQUIVALENT; i.e., APPROXIMATELY 375 LUMENS) IN POWER PER FIXTURE.
2. LANDSCAPE LIGHTING MAY NOT EXCEED 18-INCHES ABOVE THE GROUND NOR MORE THAN 15 WATTS (INCANDESCENT EQUIVALENT; i.e., APPROXIMATELY 225 LUMENS) PER FIXTURE AND MAY NOT BE SPACED CLOSER THAT 10- FEET APART. LANDSCAPE LIGHTING MAY NOT BE USED FOR TREE, WALL, FENCE OR ACCENT LIGHTING OF ANY TYPE. THE PURPOSE OF LANDSCAPE LIGHTING IS TO SAFETY ILLUMINATE WALKWAYS AND ENTRANCES TO THE SUBJECT PROPERTY.



HEDGE

COMMON NAME: PODUCARPUS ELONGATUS
"NONMAL" ICEE BLUE
BOTANICAL NAME: ICEE BLUE PODOCARPUS
SIZE: 15-25 FEET TALL AND WIDE



WOOD SIDING

COLOR: BAGE (CHOPSTICKS)



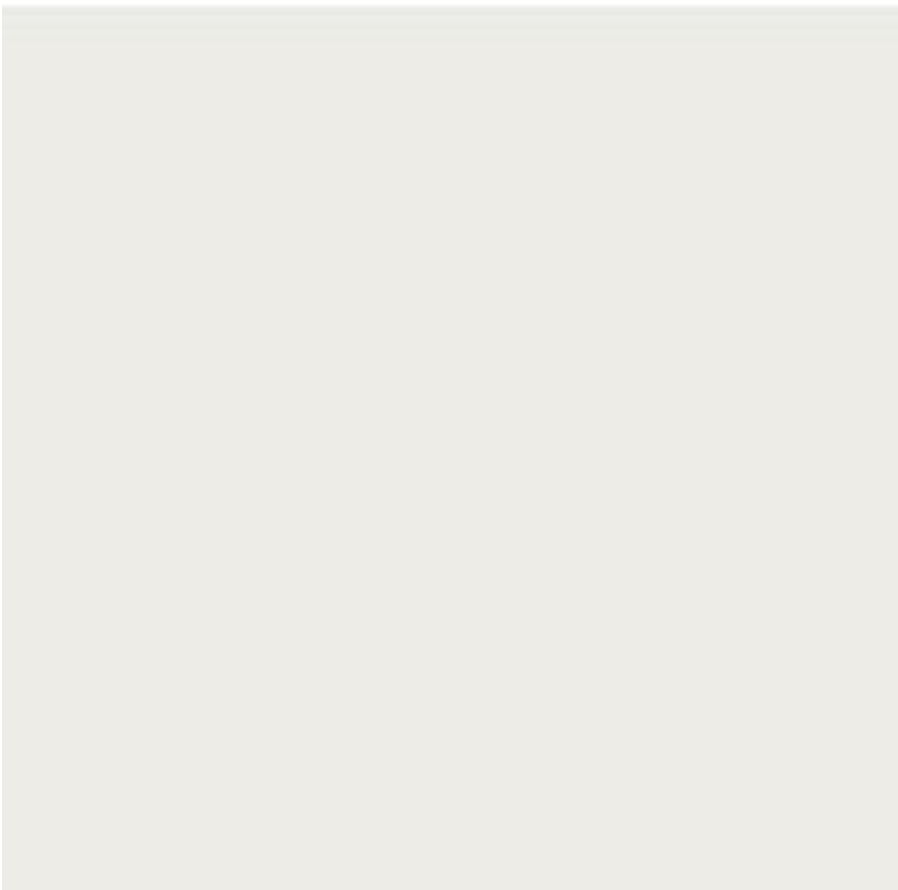
WOOD SHINGLE ROOF

MANUFACTURE: SHELTON ROOFING CO.
COLOR: TBD



COLOR EXTERIOR

MANUFACTURE: SHERWIN-WILLIAMS
COLOR: CHOPSTICKS / SW 7575
LOCATION: EXTERIOR
LOCATOR NUMBER: 263-C7



WINDOW FRAME COLOR EXTERIOR

MANUFACTURE: SHERWIN-WILLIAMS
COLOR: PURE WHITE / SW 7005
LOCATION: EXTERIOR
LOCATOR NUMBER: 255-C1



FLAGSTONE PATIO & WALKWAYS

MATERIAL: NATURAL STONE
COLOR: NATURAL



DRIVEWAY PAVERS

MATERIAL: NATURAL STONE
COLOR: NATURAL



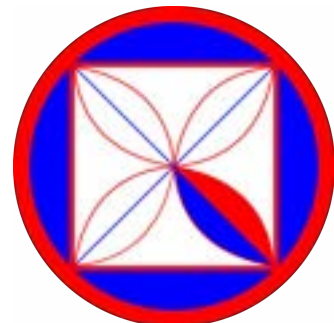
FENCE "A"

HATERIAL: REDWOOD
FINISH: NATIERIAL
HEIGHT: 4 FT.-6 FT. AS NOTED ON SITE PLAN



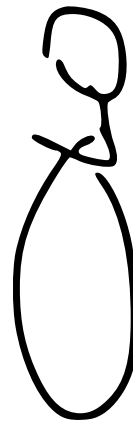
FENCE "B"

HATERIAL: REDWOOD
FINISH: NATIERIAL
HEIGHT: 4 FT. MAX



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REVIONS:

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13TH 25E OF MISSION, CARMEL CALIF.
BLOCK:142 LOTS: 3
APN: 010-161-018
PROJECT NO. 24-05

ISSUE: 12-28-2024

DRAWN BY: CO

MATERIALS

SCALE:1/4" = 1'

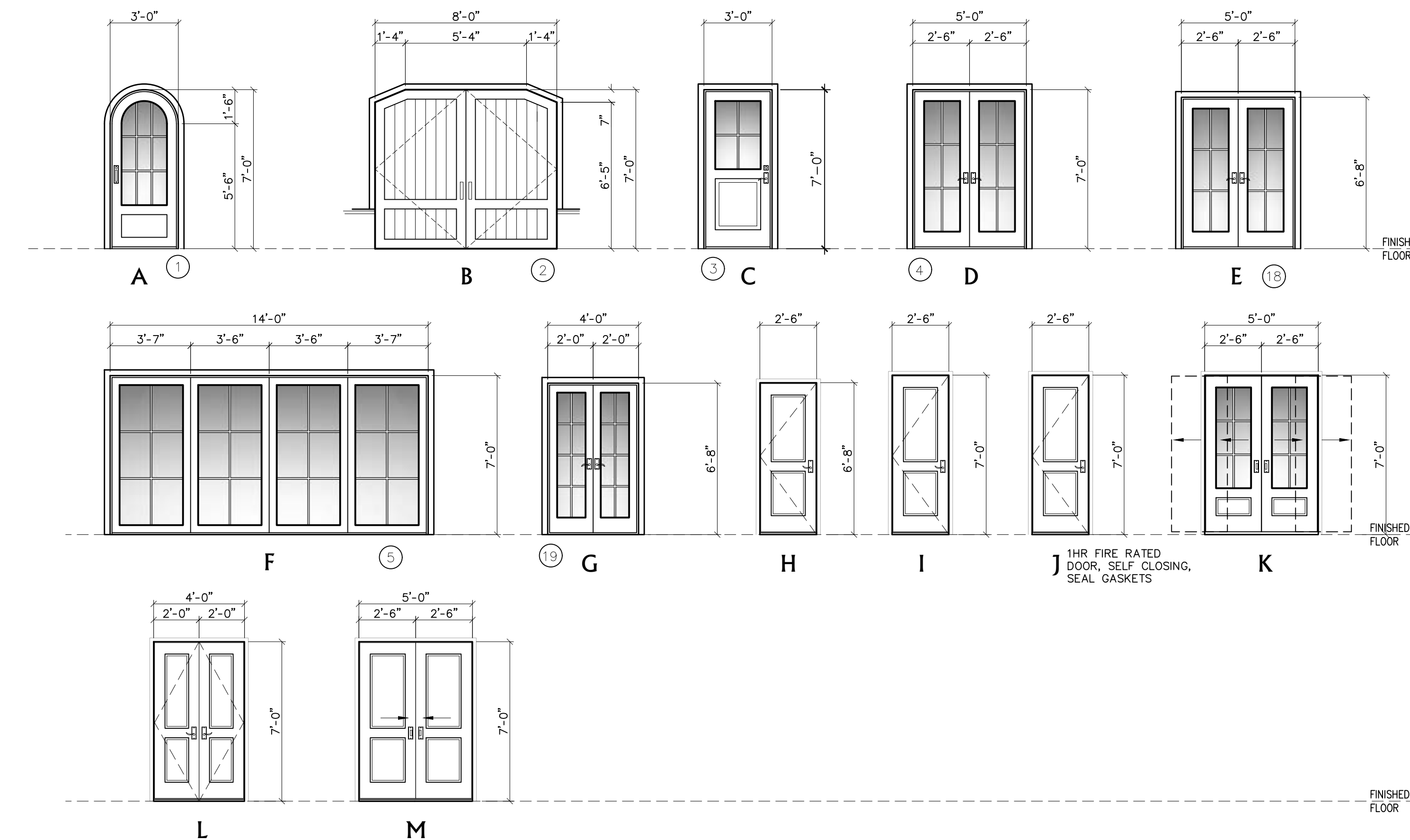
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Window Elevation Types



Attachment 2

Door Elevation Types



Window Schedule

	NO.	LOCATION	TYPE	SIZE	FINISH	REMARKS	MATERIAL	GLAZING	TEMPERED	SCREEN	EGRESS WINDOWS
ADU	1	BEDROOM ONE	A	4'-0" X 3'-6"	P	CASEMENT	WOOD-CLAD	YES	NO	NO	YES
	2	KITCHEN	B	2'-0" X 3'-6"	P	CASEMENT	WOOD-CLAD	YES	NO	NO	NO
	3	BEDROOM TWO	C	4'-4" X 4'-0"	P	CASEMENT	WOOD-CLAD	YES	NO	NO	YES
MAIN LEVEL	4	LIVING ROOM	D	2'-10" X 4'-2"	P	CASEMENT	WOOD-CLAD	YES	NO	YES	NO
	5	SUN ROOM	C	4'-2" X 4'-4"	P	CASEMENT	WOOD-CLAD	YES	NO	NO	NO
	6	SUN ROOM	C	4'-2" X 4'-4"	P	CASEMENT	WOOD-CLAD	YES	NO	YES	NO
	7	SUN ROOM	E	3'-2" X 4'-4"	P	CASEMENT	WOOD-CLAD	YES	NO	NO	NO
	8	SUN ROOM	F	3'-2" X 4'-4"	P	CASEMENT	WOOD-CLAD	YES	NO	NO	NO
	9	SUN ROOM	C	4'-2" X 4'-4"	P	CASEMENT	WOOD-CLAD	YES	NO	YES	NO
	10	SUN ROOM	C	4'-2" X 4'-4"	P	CASEMENT	WOOD-CLAD	YES	NO	YES	NO
	11	LIVING ROOM	F	4'-0" X 4'-0"	P	CASEMENT	WOOD-CLAD	YES	NO	YES	NO
	12	LIVING ROOM	F	4'-0" X 4'-0"	P	CASEMENT	WOOD-CLAD	YES	NO	YES	NO
	13	DINING ROOM	G	6'-0" X 4'-4"	P	CASEMENT	WOOD-CLAD	YES	NO	YES	NO
	14	KITCHEN	H	4'-0" X 3'-6"	P	CASEMENT	WOOD-CLAD	YES	NO	NO	NO
UPPER LEVEL	15	EXERCISE/YOGA ROOM	I	3'-8" X 4'-1"	P	CASEMENT, ARCHED	WOOD-CLAD	YES	YES	NO	NO
	16	EXERCISE/YOGA ROOM	J	2'-2" X 2'-8"	P	CASEMENT	WOOD-CLAD	YES	NO	YES	NO
	17	BATHROOM ONE	K	2'-6" X 2'-8"	P	CASEMENT	WOOD-CLAD	YES	NO	NO	NO
	18	BEDROOM ONE	L	4'-0" X 1'-8"	P	AWNING	WOOD-CLAD	YES	NO	NO	NO
	19	STAIRWELL	M	2'-10" X 3'-2"	P	FIXED	WOOD-CLAD	YES	YES	NO	YES
	20	MASTER BEDROOM	N	4'-8" X 3'-8"	P	CASEMENT	WOOD-CLAD	YES	NO	YES	YES
	21	MASTER BATHROOM	O	4'-0" X 3'-8"	P	CASEMENT	WOOD-CLAD	YES	YES	NO	NO
	22	BEDROOM TWO	P	4'-2" X 3'-8"	P	CASEMENT	WOOD-CLAD	YES	NO	YES	NO
	23	EXERCISE/YOGA ROOM	Q	2'-4" X 3'-8"	P	CASEMENT	WOOD-CLAD	YES	NO	YES	NO
	24	EXERCISE/YOGA ROOM	Q	2'-4" X 3'-8"	P	CASEMENT	WOOD-CLAD	YES	NO	YES	NO
	25	EXERCISE/YOGA ROOM	Q	2'-4" X 3'-8"	P	CASEMENT	WOOD-CLAD	YES	NO	YES	NO

WINDOW SPECIFICATIONS:

MANUFACTURE: SIERRA PACIFIC
MODEL: STANDARD CASEMENT

GLASS: STANDARD DUAL PANE, CLEAR
GRILL: 5/8" TRADITIONAL
JAMB: 4-9/16 INCH
CLAD COLOR: WHITE #001
INTERIOR FINISH: CLEAR
WOOD SPECIE: DOUGLAS FIR
HARDWARE: ENCORE FOLD HANDLE
HARDWARE COLOR: WHITE

TRIM OPTIONS: NONE
EXTERIOR: NONE
INTERIOR:

Door Schedule

	NO.	LOCATION	TYPE	SIZE	FINISH	REMARKS	MATERIAL	GLAZING	TEMPERED
ADU	3	ENTRY	C	3'-0" X 7'-0"	P	GLASS / PANELED DOOR	WOOD	YES	YES
	4	LIVING ROOM	B	(2) PER- 2'-6" X 7'-0"	P	GLASS / PANELED FRENCH DOOR	WOOD	YES	YES
MAIN LEVEL	1	FOYER	A	3'-0" X 7'-0"	P	RAISED / PANELED ARCHED DOOR, WITH OBSCURED GLASS	WOOD	YES	NO
	2	GARAGE	B	8'-0" X 7'-0"	P	OUT-SWING DOORS, WD PLANK PANELS	WOOD	NO	NO
	5	LIVING ROOM	F	14'-0" X 7'-0"	P	BI-FOLD GLASS PANELED DOORS	WOOD	YES	YES
	6	SUN-ROOM	K	PR 2'-6" X 7'-0"	P	RAISED / PANELED POCKET DOOR, WITH CLEAR GLASS	WOOD	YES	YES
	7	LAUNDRY/PANTRY	K	PR 2'-6" X 7'-0"	P	RAISED / PANELED POCKET DOOR, WITH OBSCURE GLASS	WOOD	YES	YES
	8	COATS CLOSET	L	PR 2'-0" X 7'-0"	P	RAISED / PANELED DOOR	WOOD	NO	NO
	9	GARAGE	J	2'-6" X 7'-0"	P	RAISED / PANELED DOOR / 1HR FIRE RATED INSIDE	WOOD	NO	NO
	10	WATER CLOSET	I	2'-6" X 7'-0"	P	RAISED / PANELED DOOR	WOOD	NO	NO
	18	BEDROOM ONE	E	(2) PER- 2'-6" X 6'-8"	P	GLASS / PANELED DOOR	WOOD	YES	YES
	19	BEDROOM TWO	G	(2) PER- 2'-0" X 6'-8"	P	GLASS / PANELED DOOR	WOOD	YES	YES
LOWER LEVEL	20	BEDROOM ONE CLOSET	M	(2) PER- 2'-6" X 6'-8"	P	RAISED / PANELED DOOR - SLIDERS	WOOD	NO	NO
	21	BATHROOM ONE	I	2'-6" X 7'-0"	P	RAISED / PANELED DOOR	WOOD	NO	NO
	22	BEDROOM ONE	I	2'-6" X 7'-0"	P	RAISED / PANELED DOOR	WOOD	NO	NO
	23	MASTER BEDROOM	I	2'-6" X 7'-0"	P	RAISED / PANELED DOOR	WOOD	NO	NO
	24	MASTER CLOSET	I	2'-6" X 7'-0"	P	RAISED / PANELED DOOR	WOOD	NO	NO
	25	MASTER BATHROOM WATER CLOSET	I	2'-6" X 7'-0"	P	RAISED / PANELED DOOR	WOOD	NO	NO
	26	BEDROOM TWO	I	2'-6" X 7'-0"	P	RAISED / PANELED DOOR	WOOD	NO	NO
	27	EXERCISE/YOGA ROOM	I	2'-6" X 7'-0"	P	RAISED / PANELED DOOR	WOOD	NO	NO

DOOR SPECIFICATIONS (EXTERIOR):

MANUFACTURE: SIERRA PACIFIC
MODEL: STANDARD CASEMENT

GLASS: STANDARD DUAL PANE, CLEAR
GRILL: 5/8" TRADITIONAL
JAM: 4-9/16"
CLAD COLOR: WHITE #001
INTERIOR FINISH: CLEAR
WOOD SPECIE: DOUGLAS FIR
HARDWARE: VERONA HANDLE WITH 216 ESCUTCHEON
HARDWARE COLOR: HANDLE SATIN NICKEL

TRIM OPTIONS:
EXTERIOR: WOOD CASING TO MATCH EXISTING
INTERIOR: WOOD CASING TO MATCH EXISTING

DOOR SPECIFICATIONS (INTERIOR):

MANUFACTURE: TRUSTILE
MODEL: TS2020

GLASS: NONE
GRILL: NONE
INTERIOR FINISH: PAINT GRADE
WOOD SPECIE: PLAIN SAWN WHITE OAK
THICKNESS: 1-3/4"
JAM WIDTH: 4" (VERIFY)
HINGES: BRUSHED CHROME
HARDWARE: EMATEK, FREESTONE LEVEL
HARDWARE COLOR: SATIN NICKEL
PROFILES: 1/4" KERF CUT REVEAL

TRIM OPTIONS:
EXTERIOR: WOOD CASING TO MATCH EXISTING
INTERIOR: NONE

DOOR SPECIFICATIONS (ENTRY):

MANUFACTURE: TRUSTILE
MODEL: TS2190, ARCHED TOP, OBSCURED PANE

GLASS: YES, OBSCURED
GRILL: 5/8" TRADITIONAL
JAM: 6-9/16"
CLAD COLOR: WHITE #001
INTERIOR FINISH: WHITE
WOOD SPECIE: DOUGLAS FIR
HARDWARE: STANDARD CONTEMPORARY HANDLE
HARDWARE COLOR: SATIN NICKEL

TRIM OPTIONS:
EXTERIOR: WOOD CASING TO MATCH EXISTING
INTERIOR: WOOD CASING TO MATCH EXISTING

Door Notes:

1. PROVIDE DEAD BOLT LOCKS ON ALL EXTERIOR DOORS. SEE SCHEDULE FOR ADDITIONAL REQUIREMENTS.
2. PROVIDE PRIVACY HARDWARE FOR ALL BEDROOM AND BATHROOM LOCATIONS.
3. GENERAL CONTRACTOR TO CONSULT WITH OWNER FOR ADDITIONAL DOOR HARDWARE REQUIREMENTS.
4. ALL DOOR GLAZING TO BE TEMPERED GLASS.
5. ALL EXTERIOR DOOR GLAZING TO BE 5/8" INSULATED TEMPERED GLASS.
6. DOORS BETWEEN CONDITIONED AND UNCONDITIONED SPACES TO BE FULLY WEATHER STRIPPED.
7. GENERAL CONTRACTOR TO REVIEW DOOR ORDER WITH ARCHITECT PRIOR TO DOOR ORDER PLACEMENT.
8. DOOR HINGES TO BE 4.5"H.X4.5"W. DOOR 7'-0"
9. ALL DOOR TOPS AND BOTTOM TO BE SANDED, FINISHED, AND SEALED.
10. GARAGE DOORS : SEE SCHEDULE AND EXTERIOR ELEVATIONS FOR ADDITIONAL INFORMATION.
11. THE DOOR FINISH PER CLIENT OR CODG, INC.
12. THE DOOR STILES TO BE PER PLAN
13. CHECK FLOOR PLAN FOR HINGES LOCATION
14. PER THE ENERGY CODE ALL WINDOWS ARE TO BE LAMINATED DOUBLE GLAZING PANE.

Window Notes:

1. PROVIDE SAFETY GLAZING (TEMPERED OR LAMINATED) AS REQUIRED PER C.B.C.
2. SCREEN COLOR TO BE SPECIFIED BY CLIENT
3. GENERAL CONTRACTOR TO VERIFY THE WINDOW ORDER AND ROUGH FRAMING WITH THE DESIGNER/ARCHITECT PRIOR TO PLACEMENT OF THE WINDOW ORDER.
4. THE WINDOW MANUFACTURER WILL SUPPLY SHOP DRAWINGS FOR SPECIAL WINDOWS (OVERSIZE,ETC.) FRO REVIEW BY CODG, Inc.
5. APPLY SISAL KRAFT PAPER AROUND ALL EXTERIOR OPENING.
6. PROVIDE CONTINUOUS CAULK AROUND ALL WINDOW OPENINGS WITH G.E. SILICONE ACRYLIC POLYSULFIDE OR URETHANE AS REQUIRED.
7. ALL MANUFACTURED WINDOWS TO BE CERTIFIED AND LABELED MEETING STANDARDS LISTED IN TABLE 2-53V OF TITLE 24.
8. EXTERIOR WINDOW FINISH TO BE SEALED, U.N.O.
9. ALL OPERABLE WINDOWS TO HAVE SCREENS. AS SPECIFY BY CLIENT.
10. SEE EXTERIOR ELEVATIONS FOR ALL WINDOW HEAD HEIGHTS.
11. DOUBLE PANE LAMINATED GLASS AS SPECIFIED TITLE. 24 GLASS & GLAZING SEC. 2401 & TABLE 2403.2.1
12. PER THE ENERGY CODE ALL WINDOWS ARE TO BE GLAZING AS DUAL PANE.
13. WINDOW JAMS TO BE 3-1/2-INCHES WITHOUT EXTESION JAMS AND DELIVERED WITH EXTERIOR WOOD SILLS ONLY. (U.N.O)

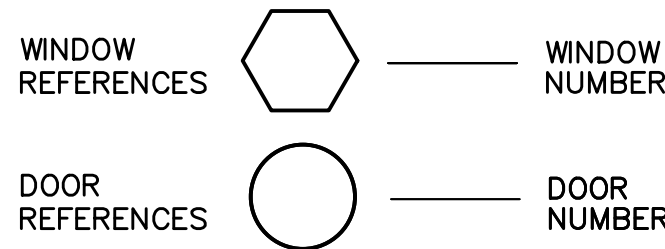
Note:

1. FOR HINGE LOCATION & OPENING SWING DIRECTION SEE ELEVATIONS
2. ALL WINDOW DIMENSIONS ARE THE ROUGH OPENING SEE ELEVATIONS
3. ALL DOOR DIMENSIONS ARE ACTUAL DOOR SIZE & OPENING SEE ELEVATIONS

Tempered Glass Note:

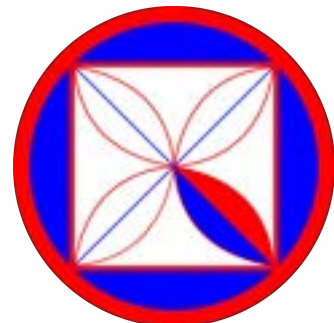
- EACH PANE OF GLAZING INSTALLED IN HAZARDOUS LOCATIONS SHALL BE TEMPERED GLASS; THE FOLLOWING LOCATIONS SHALL BE HAZARDOUS LOCATIONS FOR GLAZING:
- A) GLAZING IN DOORS.
 - B) GLAZING IN A FIXED OR OPERABLE PANEL ADJACENT TO A DOOR WHERE THE BOTTOM OF THE GLAZING IS LESS THAN 60-INCHES ABOVE THE FLOOR OR WALKING SURFACE AND ITS EITHER WITHIN 24-INCHES OF EITHER SIDE OF THE DOOR IN THE PLANE OF THE DOOR "OR" WHERE THE GLAZING IS ON A WALL PERPENDICULAR TO THE PLANE OF THE DOOR WITHIN 24-INCHES OF THE HINGE SIDE OF AN IN-SWINGING DOOR.
 - C) GLAZING IN WINDOWS THAT MEET ALL THE FOLLOWING CONDITIONS:
 1. THE EXPOSED AREA OF AN INDIVIDUAL PANE IS LARGER THAN 9 SQUARE FEET.
 2. THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 18-INCHES ABOVE THE FLOOR.
 3. THE TOP EDGE OF THE GLAZING IS LESS THAN 18-INCHES ABOVE THE FLOOR.
 4. ONE OR MORE WALKING SURFACES ARE WITHIN 36-INCHES, MEASURED HORIZONTALLY.
 - D) GLAZING IN GUARDS AND RAILINGS.
 - E) GLAZING IN WALLS CONTAINING OR FACING TUBS, SHOWERS AND OTHER WET SURFACES WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60-INCHES MEASURED VERTICALLY ABOVE ANY STANDING OR WALKING SURFACES, INCLUDING SHOWER DOORS AND SURROUNDINGS.
 - F) GLAZING ADJACENT TO STAIRS AND RAMPS.

Symbols



Abbreviations

N/A NOT APPLICABLE
G.C. GENERAL CONTRACTOR
P PAINT
ST STAIN
FF FACTORY FINISH
I.D. INTERIOR DESIGN
S SEALED
MFR. MANUFACTURER
FIN. FINISH
NAT. NATURAL



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REVIEWS:

PROJECT:
JUN. CONSTRUCTION
13TH ZSE OF MISSION, CARMEL CALIF.
BLOCK:142 LOTS: 3
APN: 010-161-018
PROJECT NO.
24-05

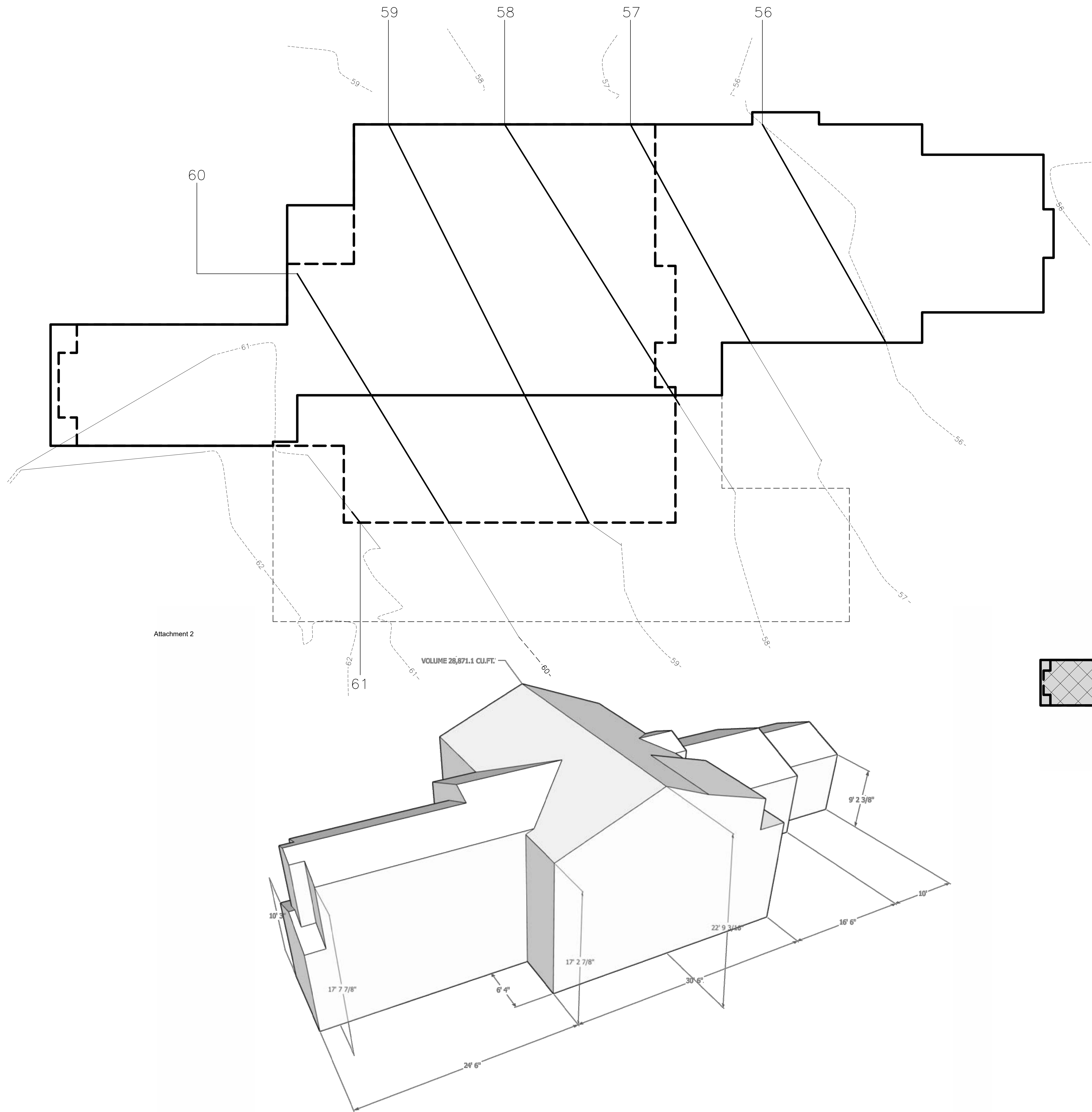
ISSUE:
12-28-2024

DRAWN BY:
CO

WINDOW & DOOR
SCHEDULE
(PROPOSED)

SCALE: 1/4" = 1'

A10.0



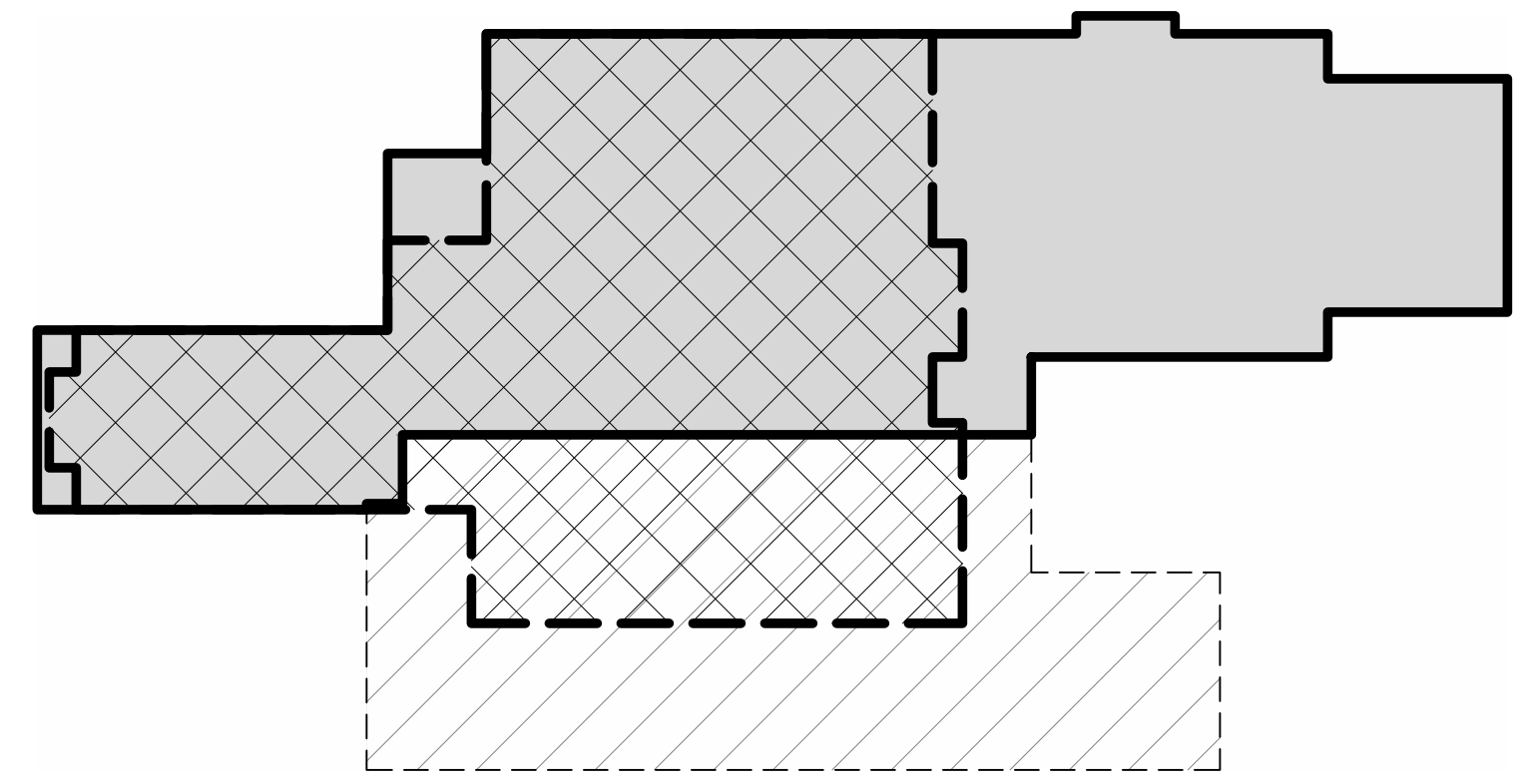
Attachment 2

AVERAGE NATURAL GRADE

DWELLING AVERAGE NATURAL GRADE			57.5 FT
ELEV.	LINE	LENGTH	TOTAL
56 FT	0	20.7'	0'
57 FT	1	20.5'	20.5'
58 FT	2	27.3'	54.6'
59 FT	3	36.8'	110.4'
60 FT	4	24.0'	96.0'
61 FT	5	1.1'	5.5'
TOTAL		130.4'	232.4'
MATH: $232.4 / 130.4 = 1.78$			
FACTOR: = 1.8			
A.N.G. = 56 FT + 1.8 FACTOR = 57.8 FT			

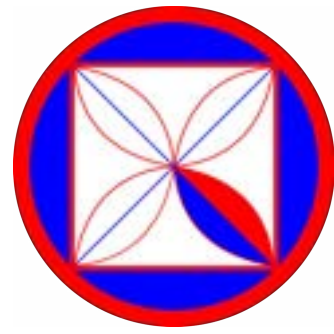
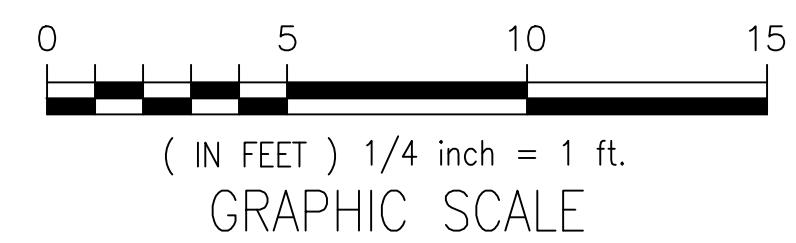
VOLUME ANALYSIS

MAIN LEVEL PITCHED	1,693.2 SF X 12	20,318.4 CU.FT.
MAIN LEVEL FLAT	26.8 SF X 10	294.8 CU.FT.
UPPER LEVEL PITCHED	1,026.3 SF X 11	11,289.3 CU.FT.
ATTACHED GARAGE	200.0 SF X 11	2,200.0 CU.FT.
VOLUME ALLOWED		34,102.5 CU.FT.
VOLUME PROPOSED		28,871.1 CU.FT.



LEGEND

	MAIN LEVEL
	UPPER LEVEL
	ACCESSORY DWELLING UNIT



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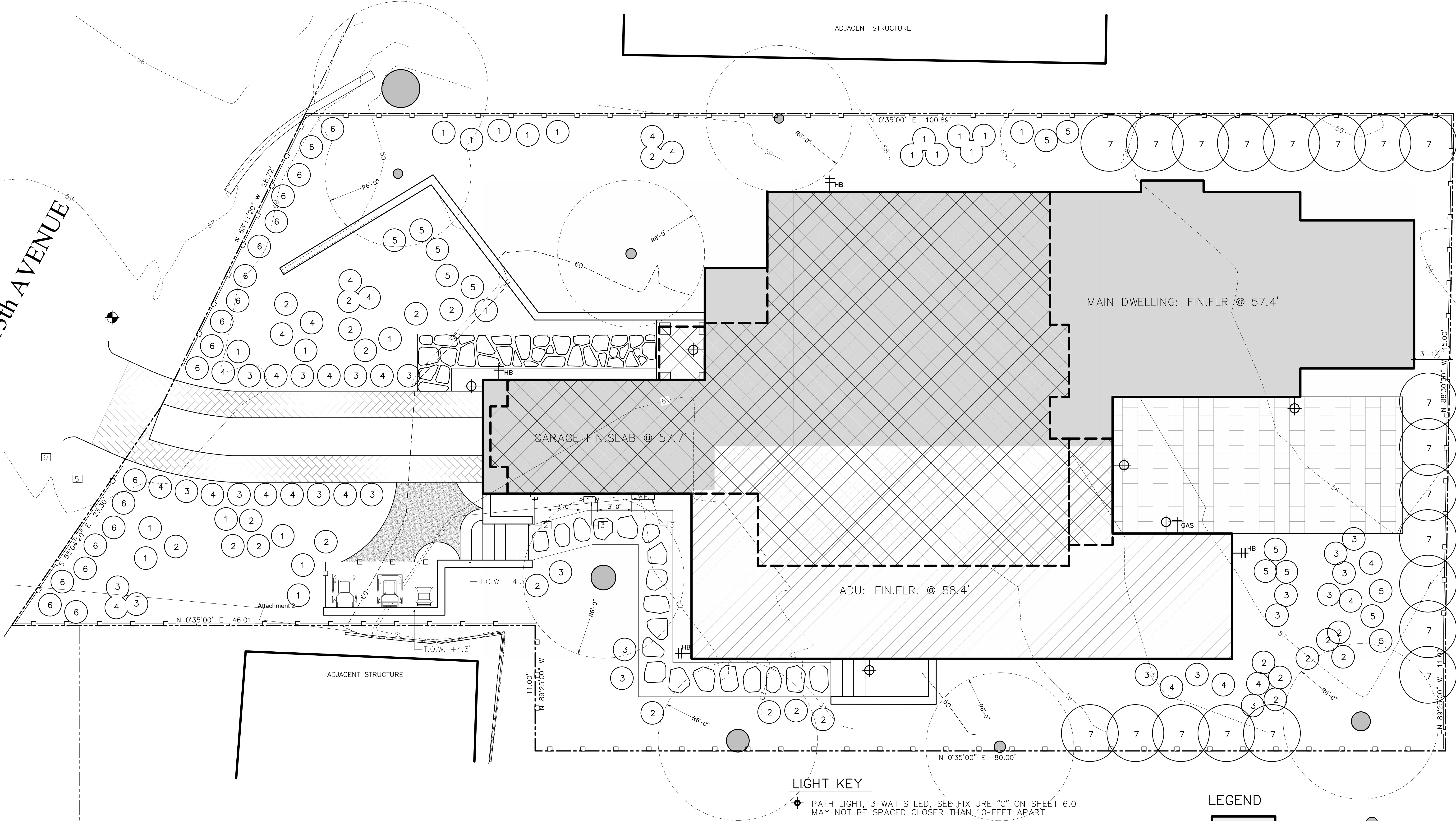
DRAWN BY:
CO

AVERAGE NATURAL
GRADE & VOLUME
ANALYSIS PLAN

SCALE:1" = 1/4"

A11.0

13th AVENUE



EXTERIOR LIGHTING NOTES

1. ALL EXTERIOR LIGHTING ATTACHED TO THE MAIN BUILDING OR ANY ACCESSORY BUILDING MAY NOT BE HIGHER THAN 10-FEET ABOVE THE GROUND AND MAY NOT EXCEED 25-WATTS (INCANDESCENT EQUIVALENT; i.e., APPROXIMATELY 375 LUMENS) IN POWER PER FIXTURE.

2. LANDSCAPE LIGHTING MAY NOT EXCEED 18-INCHES ABOVE THE GROUND NOR MORE THAN 15 WATTS (INCANDESCENT EQUIVALENT; i.e., APPROXIMATELY 225 LUMENS) PER FIXTURE AND MAY NOT BE SPACED CLOSER THAN 10-FEET APART. LANDSCAPE LIGHTING MAY NOT BE USED FOR TREE, WALL, FENCE OR ACCENT LIGHTING OF ANY TYPE. THE PURPOSE OF LANDSCAPE LIGHTING IS TO SAFELY ILLUMINATE WALKWAYS AND ENTRANCES TO THE SUBJECT PROPERTY.

IRRIGATION SYSTEM	
1.	1-INCH ANTISYPHON DEVICE
2.	1-INCH ELECTRIC VALVES
3.	FILTER PLUS REGULATOR FOR EACH VALVE
4.	ELECTRIC CONTROLLER
5.	EACH PLANT TO BE ON DRIP SYSTEM
6.	ALL PLANTS WILL BE PLANTED WITH AGRIFORM
7.	TABS FOLLOWING MANUFACTURE DIRECTIONS.
8.	COMPOST WILL BE MIXED WITH SOIL AT 2:1

PLANT INDEX			
No.	BOTANICAL NAME	COMMON NAME	SIZE
1	AGAPANTHUS PETER PAN	LILY OF THE NILE	1 GAL
2	CISTUS DORIS HIBBERSON	ROCK ROSE	5 GAL
3	LAVANDULA STOECHAS	SPANISH LAVENDER	5 GAL
4	SALVIA LEUCANTHA	MEXICAN BUSH SAGE	5 GAL
5	PRUNUS CAROLINIANA	CAROLINA CHERRY LAUREL (TRIM AS HEDGE)	5 GAL
6	PHOTONIA XFRASERI	---	5 GAL
7	ICEE BLUE PODOCARPUS	PODOCARPUS ELONGATUS "NONMAL" ICEE BLUE	5 GAL

LEGEND

MAIN LEVEL

UPPER LEVEL

ACCESSORY DWELLING UNIT

PROPERTY LINE

MIN. SETBACKS

LIGHT FIXTURE, SEE SHEET A4.0 FOR SPEC'S

HB

HOSE BIB

GAS

GAS VALVE

EXISTING TREE

NEW TREE

TREE TO BE REMOVED

X100

NEW ELEVATION MARKER

55

NEW CONTOURS

051015

(IN FEET) 1/4 inch = 1 ft.

GRAPHIC SCALE

February 11, 2025

Project Data Table

Page 1 of 1

PROJECT DATA FOR A 5,937 SQUARE FOOT SITE			
Site Considerations	Allowed	Existing	Proposed
Floor Area	2,441 SF (45%)	1,498 SF	2435 SF
Site Coverage	537 SF/774 SF	1,390	764 SF
Trees (Upper/Lower)	4/3	2/7	2/7
Ridge Height (1 st /2 nd)	18'/24'	11'-1"	13'-5"/ 23'-9"
Plate Height (1 st /2 nd)	12'/18'	11'-7"	9'-9" / 16'-10"
Setbacks	Minimum Required	Existing	Proposed
Front	15'	49'-10"	27'-1"
Composite Side Yard	10' (25%)	19'-3"	15'
Side Yard	3'	14'-9" west 4'-6" east	8'-1" west 6'-11" east
Rear	15'/3'**	19'- 4"	3'- 1"

*Includes 100 square foot basement bonus.

**The rear setback is three feet for those portions of structures less than 15 feet in height.



CITY OF CARMEL-BY-THE-SEA PLANNING COMMISSION Staff Report

June 11, 2025
ORDERS OF BUSINESS

TO: Chair LePage and Planning Commissioners

SUBMITTED BY: Anna Ginette, AICP, Community Planning and Building Director

APPROVED BY: Anna Ginette, AICP, Community Planning and Building Director

SUBJECT: Capital Improvement Program (CIP) General Plan Consistency

Application: Capital Improvement Plan General
Plan Consistency Determination

APN: N/A

Block: N/A

Lot: N/A

Location: City-Wide

Applicant: N/A

Property Owner: N/A

Executive Summary:

The Capital Improvement Plan (CIP) is a budgeting and strategic planning tool intended to address the City's capital needs. It is a short-range planning document that identifies capital projects and equipment purchases, determines the source of project funds and provides a planning schedule. CIP projects include such things as buildings, roads, equipment acquisitions, and facility enhancements.

Pursuant to state law (Government Code Sections 65103 and 65401), the Public Works shall submit a list of the proposed public works projects recommended for planning, initiation or construction during the ensuing fiscal year, otherwise referred to as the Capital Improvement Program (CIP). This law, and Carmel-by-the-Sea Municipal Code (CMC) section 17.52.060.C and D, requires the Planning Commission to review the CIP each fiscal year and determine if projects under the CIP are consistent with the General Plan.

Review Process: The Commission's role is to determine if the proposed CIP is consistent with the City's General Plan. For example, the General Plan includes a policy that prohibits commercial activity on the beach. If a project in the CIP included the construction of commercial facilities on the beach, the Commission would indicate that the CIP was not consistent with the General Plan. It is not the Commission's role to make recommendations regarding financial aspects of the CIP.

Recommendation:

Staff recommends the Planning Commission:

1. Find that a General Plan consistency determination is not a project under CEQA as defined in Public Resources Code Section 21065 and CEQA Guidelines Section 15378; and
2. Adopt a resolution (Attachment 1) determining that the City's Capital Improvement Plan (CIP) is consistent with the City's General Plan.

Background and Project Description:

Staff Analysis:

Staff has prepared a matrix (**Attachment 2**) for the Commission to use for determining General Plan consistency, which includes each project that has been discussed as part of the draft CIP this year. The matrix includes project descriptions, notes on additional impact considerations, anticipated CEQA and permitting actions, and staff's recommended General Plan consistency findings along with the relevant General Plan Elements and specific policy sections. The intention of the matrix is to give the Commission one simple tool that includes all of the information needed to determine if the draft CIP is consistent with the City's General Plan.

For convenience, the projects are also broken into four general categories of project types which are listed below along with an overview of the recommendation as to the consistency of these projects with the General Plan.

The three categories are:

1. Facilities and Buildings
2. Natural Resources
3. Physical Infrastructure/Hardscape

Facilities and Buildings: The following projects are identified under the category of facilities, for maintenance and/or upgrades:

- Police Department/Public Works Building Project
- City Hall Exterior Shingles
- Design Repairs (City Hall, Fire Station)
- Upgrade Fire Backflow on 3 Buildings to Code
- Fire Station Upgrades
- Forest Theater Stage
- Park Branch Library Window Repairs
- Picadilly Restroom Design
- ADA Upgrade Year 8
- Sunset Center Elevator Power Unit
- Sunset Center Painting Phase 2
- Sunset Center Yoga Center Reroof

Analysis – CONSISTENT: As illustrated in the attached matrix, all of these potential projects are consistent with the General Plan. The Public Facilities and Services Element encourages the City to provide adequate levels of public services and facilities to serve the needs of the community (O6-2). Most of these projects fall squarely into this category. Additionally, Policy P6-13 states an objective to continue the maintenance and improvement of public protection by the Police and Fire Departments, which is relevant to the projects which improve those facilities. Lastly, for those sites like Sunset Center and City Hall which are

historic, the General Plan Land Use and Community Character Element encourages the "...preservation of historic resources including buildings, structures, objects, sites, districts, and archaeological resources that represent the unique architectural, cultural, and historic and prehistoric identity of Carmel-by-the-Sea." (G1-4) and to "Protect and enhance historic resources." (G1-5) Therefore, the proposed facilities and building projects are consistent with the General Plan goals, objectives and policies.

Natural Resources: The following projects are identified under the category of Natural Resources:

- Mission Trail Nature Preserve 5 & 6 Stream Stability Projects – Design
- Forest Plan Implementation Year 2
- Sand Ramp at 8th Street
- Scenic Pathway Enhancements
- Objective Design and Development Standards
- Mission Trail Nature Preserve CFMP Environmental Review

Analysis - CONSISTENT: The Coastal Resource Management Element of the General Plan (P5-28, P5-30) encourages the removal of invasive species and restoration of the North Dunes. As referenced in the Open Space and Conservation Element of the General Plan, restoration within the Mission Trail Nature Preserve (MTNP) is supported in the MTNP Master Plan. Further, Sections G7-1, G7-2, of the Open Space and Conservation Element of the General Plan encourage the city to: "... protect, conserve and enhance the unique natural beauty and irreplaceable natural resources of Carmel...", and "Develop, preserve and enhance areas of scenic interest and determine methods to protect key scenic corridors and routes", respectively. Finally, Section G4-1 and Policy P4-4 of the Coastal Access and Recreation Element requires the reestablishment and regular maintenance of a vehicle and disabled-access ramp south of 8th Avenue. Therefore, the proposed Natural Resource projects are consistent with the General Plan goals, objectives and policies.

Physical Infrastructure/Hardscape: The following projects are identified under the category of Physical Infrastructure/Hardscape:

- Children's Library and Sunset Center Parking Lot Resurfacing
- 10 Segment Road Project
- Scenic and Santa Lucia ADA Parking
- Sidewalks
- Sunset Center Retaining Walls
- Junipero Bypass Pipe - Design
- Rio Road and Junipero Median
- 4th Avenue Outfall
- Shoreline Stairs Repairs
- Devendorf Park Improvements

Analysis – CONSISTENT: The Public Facilities and Services Element of the General Plan includes an objective (O6-2) to support adequate levels of public services and facilities to serve the needs of the community, including police and fire protection, refuse and sanitary disposal services, building safety and public utility services. Policy (P6-13) states to continue the maintenance and improvement of public protection by the Police and Fire Departments; enhance community awareness of matters concerning personal safety and protection of property. In addition, for those projects affecting the coastline, The Coastal Access and Recreation Element of the General Plan states a goal (G4-1) to provide for maximum public access to, and recreational use of, the shoreline. Furthermore, providing safe access along the shoreline is supported by the City's Coastal Resource Management Element (G5-3 and O5-8). Therefore,

the proposed Physical Infrastructure/Hardscape projects are consistent with the General Plan goals, objectives and policies.

Other Project Components:

Determining the City's CIP consistent with the General Plan does not include approving, denying or modifying any project identified in the program. The consistency determination would not result in either a direct or indirect physical change to the environment. Therefore, it is not a project under CEQA as defined in Public Resources Code Section 21065. CEQA Guidelines Section 15378(b)(4) states that a project does not include government fiscal activities which do not involve any commitment to any specific project which may result in a potentially significant physical impact on the environment.

Attachment 1 - Draft Resolution

Attachment 2 - CIP FY 2025-26 GP Consistency MATRIX

**CITY OF CARMEL-BY-THE-SEA
PLANNING COMMISSION
PLANNING COMMISSION RESOLUTION NO. 2025-XX-PC**

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF CARMEL-BY-THE-SEA FINDING THAT THE GENERAL PLAN CONSISTENCY DETERMINATION IS NOT A PROJECT UNDER CEQA AS DEFINED IN PUBLIC RESOURCES CODE SECTION 21065 AND CEQA GUIDELINES SECTION 15378 AND THAT THE CAPITAL IMPROVEMENT PLAN (CIP) IS CONSISTENT WITH THE CITY'S GENERAL PLAN.

WHEREAS, The City of Carmel-by-the-Sea is a unique coastal community that prides itself on its community character; and

WHEREAS, the City has adopted a General Plan and Municipal Code that strive to protect the village character through clear policies and regulations; and

WHEREAS, pursuant to Government Code Sections 65103 and 65401, the Planning Commission shall review the City's Capital Improvement Plan (CIP) during the ensuing fiscal year for consistency with the City's General Plan; and

WHEREAS, pursuant to Carmel-by-the-Sea Municipal Code Section 17.52.060.C and D, the Planning Commission shall review the City's CIP each fiscal year and determine the CIP's consistency with the City's General Plan; and

WHEREAS, the Planning Commission has determined that the proposed CIP is consistent with the General Plan; and

WHEREAS, the determination of consistency does not approve, deny, or modify any of the projects outlined in the CIP; and

WHEREAS, the act of determining General Plan consistency will have no impact on the environment and is not considered a project requiring compliance with the California Environmental Quality Act (Section 21065 of the California Public Resources Code and CEQA Guidelines Section 15378).

NOW, THEREFORE, BE IT RESOLVED THAT THE PLANNING COMMISSION OF THE CITY OF CARMEL-BY-THE-SEA does hereby:

1. Find that the General Plan consistency determination is not a project under CEQA as defined in Public Resources Code Section 21065 and CEQA Guidelines Section 15378; and
2. Determine that the Carry Over FY 2024/25, and FY 2025/2026 Capital Improvement Plan is consistent with the City's General Plan.

PASSED, APPROVED AND ADOPTED BY THE PLANNING COMMISSION OF THE CITY OF CARMEL-BY-THE-SEA this 11th day of June, 2025 by the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

APPROVED:

ATTEST:

Michael LePage
Chair

Shelby Gorman
Planning Commission Secretary

Carry Over FY2024/25 and Proposed FY2025/26 Capital Improvement Plan

General Plan Consistency Review Matrix

FY	No.	Project Title	Project Category	Location	Description	Other Notes	Anticipated CEQA Action	Anticipated Permits Required	GP Element(s)	GP Consistency Analysis & GP Section(s)
2024/25 2025/26	1	Police/Public Works Building Project - Design	Facilities and Buildings	Existing Site or Alternate Site, TBD	Schematic design, design development, and contract documents for a major renovation or construction of an entirely new building for the police department.	Not a historic structure. Planning and design work only - no construction	Categorically Exempt - CEQA Sec. 15302	Design Review; CDP; Use Permit; Building Permit	Public Facilities & Services	CONSISTENT •O6-2; P6-13: Adequate public service & maintenance for public protection
2025/26	2	City Hall Exterior Shingles	Facilities and Buildings	City Hall	Replacement of exterior shingles.	Historic building.	Categorically Exempt - CEQA Sec. 15331	Design Review; Building Permit, Fire Dept Approval	Land Use & Community Character; Public Facilities & Services	CONSISTENT •G1-4; G1-5; O6-2; P6-13: Historic Preservation and protection of historic resources; Adequate public service & maintenance for public protection
2025/26	3	Design Repairs (CH & FS)	Facilities and Buildings	City Hall Fire Station	Repairs as recommended in the Facilities Conditions Assessment to address maintenance issues	City Hall and the Fire Station are both historic buildings.	Categorically Exempt - CEQA Sec. 15331	Design Review; Building Permit, Fire Dept Approval	Land Use & Community Character; Public Facilities & Services	CONSISTENT •G1-4; G1-5; O6-2; P6-13: Historic Preservation and protection of historic resources; Adequate public service & maintenance for public protection
2025/26	4	Upgrade Fire Backflow to Code (3 Buildings)	Facilities and Buildings	City Hall Librarys	Upgrade backflow prevention devices on 3 existing buildings.	City Hall and the Harrison Memorial Library are historic buildings.	Categorically Exempt - CEQA Sec. 15331	Building Permit	Public Facilities & Services	CONSISTENT •G1-4; G1-5; O6-2; P6-13: Historic Preservation and protection of historic resources; Adequate public service & maintenance for public protection

Carry Over FY2024/25 and Proposed FY2025/26 Capital Improvement Plan

General Plan Consistency Review Matrix

FY	No.	Project Title	Project Category	Location	Description	Other Notes	Anticipated CEQA Action	Anticipated Permits Required	GP Element(s)	GP Consistency Analysis & GP Section(s)
2025/26	5	Fire Station Upgrades	Facilities and Buildings	Fire Station	Modifying current bays to accommodate new fire truck	Historic building.	Categorically Exempt - CEQA Sec. 15331	Building Permit; Design Review	Public Facilities & Services	CONSISTENT •G1-4; G1-5; O6-2; P6-13: Historic Preservation and protection of historic resources; Adequate public service & maintenance for public protection
2025/26	6	Forest Theater Stage	Facilities and Buildings	Forest Theater	Rebuild existing stage.	None	Categorically Exempt - CEQA Sec. 15301	Building Permit; Design Review	Land Use & Community Character; Public Facilities & Services	CONSISTENT •O6-2; P6-13: Adequate public service & maintenance for public protection
2025/26	7	Park Branch Library Window Repairs	Facilities and Buildings	Park Branch Library	Replace aged windows and treat dry rot	Not desinated a historic structure but due to the age of the building, a historical evaluation would be required.	Categorically Exempt - CEQA Sec. 15301 or Categorically Exempt - CEQA Sec. 15331	Building Permit; Design Review	Land Use & Community Character; Public Facilities & Services	CONSISTENT •G1-4; G1-5; O6-2; P6-13: Historic Preservation and protection of historic resources; Adequate public service & maintenance for public protection
2025/26	8	Picadilly Restroom Design	Facilities and Buildings	Picadilly Park	Design work for an update and expansion of the current restroom	None	Categorically Exempt - CEQA Sec. 15301	Building Permit; Design Review	Public Facilities & Services ; Land Use & Community Character	CONSISTENT •O6-2; P6-13: Adequate public service & maintenance for public protection

Carry Over FY2024/25 and Proposed FY2025/26 Capital Improvement Plan

General Plan Consistency Review Matrix

FY	No.	Project Title	Project Category	Location	Description	Other Notes	Anticipated CEQA Action	Anticipated Permits Required	GP Element(s)	GP Consistency Analysis & GP Section(s)
2025/26	9	ADA Upgrade Year 8	Facilities and Buildings	Citywide	ADA upgrades for existing City-owned buildings and facilities.	In accordance with 2018 ADA Transition Study. Includes interior and exterior repairs. Some buildings may be historic, and require planning analysis.	Categorically Exempt - CEQA Sec. 15301 and Categorically Exempt - CEQA Sec. 15331	Building Permit; Design Review	Public Facilities & Services ; Land Use & Community Character	CONSISTENT •O6-2; P6-13; G1-4; G1-5: Adequate public service & maintenance for public protection; Historic Preservation and protection of historic resources
2025/26	10	Sunset Center Elevator Power Unit	Facilities and Buildings	Sunset Center	Replace SC elevator power unit and hydrolic valves	Historic building.	Categorically Exempt - CEQA Sec. 15331	Building Permit	Public Facilities & Services ; Land Use & Community Character	CONSISTENT •O6-2; P6-13; G1-4; G1-5: Adequate public service & maintenance for public protection; Historic Preservation and protection of historic resources
2025/26	11	Sunset Center Painting Phase 2	Facilities and Buildings	Sunset Center	Continue painting SC	Historic building. This is Phase 2 of painting SC; painting areas not addressed in year	Categorically Exempt - CEQA Sec. 15331	Design Review	Public Facilities & Services ; Land Use & Community Character	CONSISTENT •O6-2; P6-13; G1-4; G1-5: Adequate public service & maintenance for public protection; Historic Preservation and protection of historic resources
2025/26	12	Sunset Center Yoga Center Roof	Facilities and Buildings	Sunset Center	Replacing 30 year old roof to ensure safety and protection from weather related damages	Historic building.	Categorically Exempt - CEQA Sec. 15331	Building Permit; Design Review	Public Facilities & Services ; Land Use & Community Character	CONSISTENT •O6-2; P6-13; G1-4; G1-5: Adequate public service & maintenance for public protection; Historic Preservation and protection of historic resources

Carry Over FY2024/25 and Proposed FY2025/26 Capital Improvement Plan

General Plan Consistency Review Matrix

FY	No.	Project Title	Project Category	Location	Description	Other Notes	Anticipated CEQA Action	Anticipated Permits Required	GP Element(s)	GP Consistency Analysis & GP Section(s)
2025/26	13	Mission Trail Nature Preserve (MTNP) 5 & 6 Stream Stability Projects - Design	Natural Resources	MTNP	Includes design, permitting, and implementation to eliminate stream incision and restore the natural stream channel alignment	Work to be done in accordance with the 2019 Stream Stability Study	Mitigation measures per environmental reports and permits	Water Quality Control Board Permit, Dept. of Fish and Wildlife Permit, Army Corp of Engineers Permit	Coastal Resource Management and Open Space & Conservation	CONSISTENT •G5-10; G7-1; G7-2; P5-29; P5-132 P7-5: protect/enhance natural beauty and resources; well-maintained parks; removal of invasive species
2024/25 2025/26	14	Forest Plan Implementation Year 2	Natural Resources	City-wide	Remove dead/unsafe trees and stumps.	Year 2 of a 3 year plan	Categorically Exempt - CEQA Sec. 15304	None	Coastal Resource Management and Open Space & Conservation	CONSISTENT •G5-4; G7-1; G7-2; OS5-13; OS5-14; P5-28; P5-50; P5-52; P5-58; P5-78: protect/enhance natural beauty and resources; well-maintained parks; removal of invasive species
2025/26	15	Sand Ramp at 8th Street	Natural Resources	Sand Ramp at 8th Street	Design & Reconstruction of the accsss sand ramp.	Design work will begin this fiscal year	Categorically Exempt - CEQA Sec. 15301	Building Permit	Coastal Access & Recreation, Coastal Resource Management, and Open Space & Conservation	CONSISTENT •G4-1; G7-1; G7-2; P4-4; P5-28; P5-37: protect/enhance natural beauty and resources; well-maintained parks; convenient beach access

Carry Over FY2024/25 and Proposed FY2025/26 Capital Improvement Plan

General Plan Consistency Review Matrix

FY	No.	Project Title	Project Category	Location	Description	Other Notes	Anticipated CEQA Action	Anticipated Permits Required	GP Element(s)	GP Consistency Analysis & GP Section(s)
2025/26	16	Scenic Pathway Enhancements	Natural Resources	Scenic Pathway	Resurface & Stabilize existing decomposed granite pathway and install new signage	None	Categorically Exempt - CEQA Sec. 15301	CDP; Design Review	Coastal Access & Recreation, Coastal Resource Management, and Open Space & Conservation	CONSISTENT •G4-1; G7-1; G7-2; P4-2; P5-28; P5-37: protect/enhance natural beauty and resources; well-maintained parks; removal of invasive species
2025/26	17	Objective Design and Development Standards	Natural Resources	City-wide	ODDS created to provide objective design & development regulations for affordable housing projects in compliance with State law	Required by Housing Element Program	Not a project - CEQA Sec. 15378	Ordinance	Land Use & Community Character	CONSISTENT •O1-8; O1-10; P1-38; P1-39; P1-40; P1-63; P1-64; P1-66: preserve traditional characteristics of the residential districts and established character of commercial districts
2024/25 2025/26	18	MTNP CFMP CEQA	Natural Resources	MTNP	Environmental Compliance work for projects to be completed in MTNP and for adoption of the Carmel Forest Management Plan	None	Mitigation measures per environmental reports and permits	Water Quality Control Board Permit, Dept. of Fish and Wildlife Permit, Army Corp of Engineers Permit	Coastal Resource Management and Open Space & Conservation	CONSISTENT •G5-10; G7-1; G7-2; P5-29; P5-132 P7-5: protect/enhance natural beauty and resources; well-maintained parks; removal of invasive species
2025/26	19	Children's Library and Sunset Center Parking Lot Resurfacing	Physical Infrastructure	Children's Library Sunset Center	Parking lot resurfacing	None	Categorically Exempt - CEQA Sec. 15301	None	Public Facilities & Services	CONSISTENT •O6-2; P6-13: Adequate public service & maintenance for public protection

Carry Over FY2024/25 and Proposed FY2025/26 Capital Improvement Plan

General Plan Consistency Review Matrix

FY	No.	Project Title	Project Category	Location	Description	Other Notes	Anticipated CEQA Action	Anticipated Permits Required	GP Element(s)	GP Consistency Analysis & GP Section(s)
2025/26	20	10 Segment Road Project	Physical Infrastructure	TBD	Pavement maintenance needs on 10 streets.	Specific streets where identified by City Council in 3/24/25	Categorically Exempt - CEQA Sec. 15301	None	Public Facilities & Services	CONSISTENT •O6-2; P6-13: Adequate public service & maintenance for public protection
2025/26	21	Scenic and Santa Lucia ADA Parking	Physical Infrastructure	Parking area on Scenic and Santa Lucia Road	Installation of an ADA compliant parking stall through pavement restriping and associated improvements	Will include an ADA compliant reamp.	Categorically Exempt - CEQA Sec. 15301	None	Public Facilities & Services	CONSISTENT •O6-2; P6-13: Adequate public service & maintenance for public protection
2025/26	22	Sidewalks	Physical Infrastructure	Citywide	Sidewalk repairs in areas that pose trip hazard.	Focusing on high traffic areas.	Categorically Exempt - CEQA Sec. 15301	None	Public Facilities & Services	CONSISTENT •O6-2; P6-13: Adequate public service & maintenance for public protection
2024/25 2025/26	23	Sunset Center - Retaining Wall Repairs - Construction	Facilities and Buildings	Sunset Center	Construct various structural repairs for 6 retaining walls around the perimeter of the Sunset Center complex.	None	Not a project - CEQA Sec. 15378	Building Permit; Design Review	Public Facilities & Services	CONSISTENT •O6-2; P6-13: Adequate public service & maintenance for public protection
2024/25 2025/26	24	Junipero Bypass Drainage Project - Design	Physical Infrastructure	Junipero Street, Fifth to Ninth Avenues	Design of Storm Drain system along Junipero Street to eliminate bypass on Mission Street. High Priority project recommended in Storm Drain Master Plan Update	Planning and design only, no construction	Not a project - CEQA Sec. 15378	None	Public Facilities & Services and Environmental Safety	CONSISTENT •O6-2; O8-7; P6-13; P6-19: Adequate public service & maintenance for public protection
2025/26	25	Rio Road and Junipero Median	Physical Infrastructure	Rio Road and Junipero Median	Design & Implementation for medians to include landscaping and irrigation upgrades	None	Categorically Exempt - CEQA Sec. 15304	Building Permit for irrigation	Public Facilities & Services	CONSISTENT •O6-2; P6-13: Adequate public service & maintenance for public protection

Carry Over FY2024/25 and Proposed FY2025/26 Capital Improvement Plan

General Plan Consistency Review Matrix

FY	No.	Project Title	Project Category	Location	Description	Other Notes	Anticipated CEQA Action	Anticipated Permits Required	GP Element(s)	GP Consistency Analysis & GP Section(s)
2025/26	26	4th Street Outfall	Physical Infrastructure	4th Street	Design & Construction work to replace/repair outfall structure	None	Categorically Exempt - CEQA Sec. 15302	CDP; Building Permit	Public Facilities & Services and Environmental Safety	CONSISTENT •O6-2; O8-7; P6-13; P6-19: Adequate public service & maintenance for public protection
2025/26	27	Shoreline Stairs Repairs	Physical Infrastructure	10th Ave & 12th Ave	Construction work for reconstructing damaged stairs located north of 10th Ave and 12th Ave	This is design work. Preliminary estimates for implementation is roughly \$400k per stairs	Categorically Exempt - CEQA Sec. 15302	CDP; Building Permit	Coastal Access & Recreation, Coastal Resource Management, Public Facilities & Services and Open Space & Conservation	CONSISTENT •G4-1; O5-8; O6-2; O7-2; P4-2; P6-13; P7-5: Adequate public service & maintenance to ensure safe access
2025/26	28	Devendorf Park Improvements	Physical Infrastructure	Devendorf Park	Enhancements to War Memorials, restoration of fish pond, and install new guard rail along 6th Ave	6th Ave Guard Rail work to begin in June 2025	Categorically Exempt - CEQA Sec. 15302 and 15304	Building Permit for guard rail.	Public Facilities & Services and Open Space & Conservation	CONSISTENT •O6-2; O7-2; P6-13; P7-5: Adequate public service; maintenance for public protection & well-maintained parks



CITY OF CARMEL-BY-THE-SEA PLANNING COMMISSION Staff Report

June 11, 2025
ORDERS OF BUSINESS

TO:	Chair LePage and Planning Commissioners
SUBMITTED BY:	Jacob Olander, Associate Planner
APPROVED BY:	Anna Ginette, AICP, Community Planning And Building Director
SUBJECT:	Discussion and direction from the Planning Commission to staff on roofing materials, including but not limited to metal roofs

Application: N/A

APN: N/A

Block: N/A

Lot: N/A

Location: N/A

Applicant: N/A

Property Owner: N/A

Executive Summary:

In recent years, applicants have been submitting more alternate roof materials for sites due to concerns over fire safety and fire insurance. Applicants have proposed PVC for flat roofs, green roofs, metal roofs, and composition shingle roofs as alternate materials to the traditional wood shake roof. Staff is presenting discussion topics for the Planning Commission based on feedback and discussions at the January 15, 2025, February 11, 2025, and March 12, 2025, Planning Commission meetings. The goal is for the Planning Commission to review the policy and make a recommendation of adoption by the City Council.

Recommendation:

A resolution (Attachment 1):

- Finding that, pursuant to section 15378 of the CEQA Guidelines, the roofing discussion and recommendation of adoption of the roofing policy does not meet the definitions of a project outlined in CEQA Guidelines Section 15378 (a) (1)-(3); and
- Recommending adoption of the roofing policy by the City Council.

Background and Project Description:

In recent years, more applicants have been proposing alternate roofing materials that deviate from the Carmel-by-the-Sea Design Guidelines (*Residential Design Guideline 9.8 states that metal, plastic, and glass roofs are inappropriate in all neighborhoods*). One of the main stated reasons is concerns over fire safety and risk of losing home insurance coverage. Applicants have proposed PVC roofing for flat roofs, green roofs, metal roofs, synthetic faux wood and slate, and comp shingle roofs as alternate materials to the traditional wood shake roof. When a deviation from the Design Guidelines is proposed, the Carmel Municipal Code (CMC) section 17.58.060.D states that "the Director, Historic Preservation Board, or the Planning Commission shall adopt specific findings based on information in the record to show how the deviation from the design guidelines achieves all of the applicable design objectives of CMC 17.58.010 Purpose and Applicability". The Planning Commission has approved metal roofs for projects based on their fit with the architecture of the structure and the neighborhood character, and finding that the deviation complied with CMC Section 17.58.060.D. Similarly, the Planning Commission has approved composite shingle roofs for projects.

Staff Analysis:

ROOFING SUBCOMMITTEE:

In 2016, the Roofing Subcommittee reviewed alternate roofing materials and provided recommendations on an alternate roofing materials policy. The main charges of the Roofing Subcommittee were: 1) to consider expanding the City's list of acceptable roofing materials, 2) to potentially develop new criteria for acceptable alternate roofing materials, and 3) to make a recommendation on changes to the processing of re-roof applications to the full Planning Commission. The subcommittee recommended administrative approval of certain alternate roof materials that "mimic the texture, thickness, and color of natural roofing materials." The list that was recommended included synthetic products (CeDUR shakes, DaVinci Shake or Slate, EcoStar Shake Slate, and Metal Tiles) and generic products, in addition to natural material products (clay tiles, ceramic tiles, and light-weight concrete tiles). In addition to these lists, it was noted that all approvable materials would be limited to earth toned colors. The discussion on roofing occurred at the February 2016 Planning Commission meeting and the policy was adopted at the March 2016 Planning Commission meeting. The list of administratively approvable products has remained the same with the addition of low SRI metal standing seam metal roofs.

RESIDENT FEEDBACK:

Some residents have expressed concerns about metal roofs and high contrast composite shingle roofs. These residents have stated that the metal roofs are inappropriate for all neighborhoods and believe that they are eroding the village character of Carmel-by-the-Sea. These residents have also expressed their distaste with the abundance of high contrast color schemes (black composite shingle roofs and white siding). The Planning Commission has previously set precedents for the staff to approve earth tone metal roofs and composite shingle roofs. Some residents have continued to voice their concerns over earth tone metal roofs, leading staff to refer all metal roofs to the Planning Commission once again.

At the January 15, 2025, Planning Commission meeting, many residents expressed their support for metal roofing throughout town. There was discussion of the recent fires down in Los Angeles and the merits of metal as noncombustible, as opposed to fire resistant, roofing material. There were also residents that expressed their continued concern about the seeming abundance of proposed metal roofing for recent projects. They stated that the metal roofs contradict the design guidelines and erode the character of the village and are inappropriate in all neighborhoods (per the Carmel Design Guidelines).

ROOFING MATERIALS DISCUSSION

For this discussion, Staff has provided topics for the Planning Commission and residents to provide insight and direction. Staff also compiled a list of items the Commission requested at the January 15, 2025, Planning Commission meeting for review. This agenda item is for discussion only and no action is being taken. The intent is for Staff to present a draft policy to the Planning Commission, received feedback on the policy, and return at a future date with a final draft of the policy. An example of directions from the Planning Commission would be to refer all alternate roof material projects to the Commission for review or to create criteria for when staff can approve/deny the applications administratively.

Direction from Previous Planning Commission Meeting:

1. *Bring feedback from insurance companies on preferred roofing materials.*
2. *Have representation from the Fire Department to Speak at the next Planning Commission meeting.*
3. *Provide roofing material samples.*
4. *Provide a list of architectural styles where a metal roof is appropriate.*
5. *Provide draft standards/guidelines for roofing policy in line with the Design Traditions Committee.*

Insurance Companies:

Staff spoke with Mathew Little from Carmel Insurance regarding fire insurance and roofing materials. He stated that roughly 80% of insurance agencies would not provide fire insurance for homes with wood roofing. The other 20% would provide insurance if the wood shake is fire treated regularly, and that there is no guarantee of continued coverage long term. There are concerns about the length of time that fire treatment will last on wood roofs and how often it will need to be treated. Additionally, Little speculated that wood roofs might be more insurable outside of forests. He stated that roofs with class A assembly utilizing metal, composite shingle, terra cotta clay tiles, slate, and membrane roofing are all insurable for approximately 20-25 years before a new roof would be required. He stated that there was the possibility of insuring roofs for a longer period if a contractor prepared a report stating that the roof is in good condition. He did not indicate any preference from insurance companies on non-wood roofing material.

Based on the conversation with Carmel Insurance, staff has determined that all class A assembly non-wood roofs would be able to obtain fire insurance, as well as some wood roofs. However, there is no indication that there are any alternate materials that are more insurable than any others.

Fire Representation:

Staff reached out to Monterey Fire to request their attendance during the March Planning Commission meeting to discuss alternate roofing materials. Interim Deputy Fire Marshal David Brown and Fire Chief Justin Cooper with Monterey Fire attended and answered questions relative to how Fire Departments view alternate roofing materials. They also answered any questions regarding general procedures for responding to fires. They provide information on the State Fire Marshal's approved roofing materials list as well as materials that are not listed but are viable in the Very High Fire Severity Zone.

Roofing Material Samples:

Staff provided roof samples for the Commission to look at in person. Staff provided samples of composite shingles, metal, faux slate and wood, and PVC with gravel ballast. Samples will be available in chambers for review during the meeting for the June 11, 2025, Planning Commission meeting. As requested by Commissioner Allen, staff is obtaining a Zinc roofing sample that should be available for the meeting.

Architectural Styles for Metal Roofs:

The Planning Commission asked for a list of architectural styles where metal roofs would be appropriate. Staff determined that metal roofs are most appropriate on modern architecture and industrial architecture. However, Council Member Bob Delves mentioned that on a trip to Australia he noted that many of the home of all different style had metal roofs due to fire concerns. He stated that the metal roofs were tailored to the architectural style of the building and therefore fit with any style fairly well. In Carmel-by-the-Sea, the typical architectural styles that have been approved for metal roofs are modern architecture (i.e. Bay Area Regional Modern, Ranch, and Post-War).

Two metal roofs were recently appealed to the City Council. The City Council did not support limiting metal roofing based on the amount of other metal roofs in the immediate vicinity. They also expressed concerns about discretionary decisions supported by a finding that metal roofs fit the architectural style of building.

Draft Design Standard/Guidelines for Roofing Policy:

Staff has used the alternate roofing materials policy adopted by the Planning Commission on March 2016, as a starting point for a draft roofing policy. Standing seam metal roofing and more notes on earth tones have been added. Staff removed any mention of SRI from the roofing policy. Discussion with the Design Traditions Steering Committee and the City Council have been around the fact that SRI is not a good metric for reviewing the glare of a roof, but instead relates to insulation. All allowable metal roofing will be a non-glossy/matte finish. The Design Traditions Steering Committee recommended that all alternate materials that are proposed should be designed to look like the material they are and not mimic other natural materials. This was taken into account when creating the draft roofing materials policy. However, there are some faux wood, terra cotta, and slate roofing materials that are on the list because their weight, look, and cost make them a good alternative to their natural counterparts. If the Planning Commission deems the faux materials as inappropriate, they can be removed.

Reroofing Permit Process: Single-Family Resid. Buildings Like for like reroofs	
Wood to wood	Track 1 Design Study
Slate to slate	Track 1 Design Study
Tile to tile	
Tar & Gravel to Tar & Gravel	
And other natural materials	
Comp to comp (**earth tones)	Track 1 Design Study
Reroofs with change in material	
New Materials: Slate, Tile (clay, ceramic, and concrete), Tar & Gravel and other natural materials	Track 1 Design Study
Vertical Standing Seam Metal Roof (**non-earth tones)	Design Study Track 1 with Planning Commission referral required
Vertical Standing Seam Metal Roof	Design Study Track 1

<i>(earth tones)</i>	
<i>Metal Tiles</i>	<i>Design Study Track 1</i>
<i>Tar and gravel to TPO or similar (on single story flat roof)</i>	<i>Design Study Track 1</i>
<i>Wood to comp (**earth tones)</i>	<i>Design Study Track 1</i>
<i>Wood to comp (**non-earth tones)</i>	<i>Design Study Track 1 with Planning Commission referral required</i>
<i>Synthetic Products</i>	<i>Design Study Track 1</i> <i>*See list of acceptable synthetic materials below</i>

****Acceptable Synthetic Alternatives***

CeDUR shakes

DaVinci shake or slates

EcoStar shake or slates

*****Earth tones shown in figure 1 below***



Figure 1

Other Project Components:

Staff recommends, pursuant to CEQA regulations, that the Application be found “not a project” pursuant to section 15378 of the CEQA Guidelines. The roofing discussion and draft policy does not meet the definitions of a project outlined in CEQA Guidelines Section 15378 (a) (1)-(3).

Attachment 1 – Resolution

Attachment 2 - Policy

CITY OF CARMEL-BY-THE-SEA
PLANNING COMMISSION

PLANNING COMMISSION RESOLUTION NO. 2025-XXX-PC

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF CARMEL-BY-THE-SEA
RECOMMENDING THE CITY COUNCIL ADOPT A ROOFING MATERIAL POLICY APPLICABLE CITY-
WIDE.

WHEREAS, in March 2016, the Planning Commission accepted a roofing material policy prepared by the Roofing Subcommittee, specifying which types of roofing materials can be approved by staff administratively or require Planning Commission referral; and

WHEREAS, there has been an increase in design applications involving the use of alternate roof materials that deviate for the Design Guidelines; and

WHEREAS, public testimony indicates the increased use of alternative materials relate to fire risk and the cancelation or non-renewal of home insurance policies; and

WHEREAS, the Planning Commission directed staff to present a roofing discussion before the Commission to consider appropriate roofing materials and draft policy language; and

WHEREAS, on January 15, 2025, February 11, 2025, and March 12, 2025, the Planning Commission held a duly noticed public hearing to receive public testimony regarding roofing materials, including, without limitation, the information provided to the Planning Commission by City staff and through public testimony; and

WHEREAS, on June 11, 2025, the Planning Commission held a duly noticed public hearing to receive public testimony regarding the draft roofing material policy, including, without limitation, the information provided to the Planning Commission by City staff and through public testimony; and

WHEREAS, the California Environmental Quality Act (California Public Resources Code §§ 21000, *et seq.*, “CEQA”), together with State Guidelines (14 California Code Regulations §§ 15000, *et seq.*, the “CEQA Guidelines”) and City Environmental Regulations (CMC 17.60) require that certain projects be reviewed for environmental impacts and that environmental documents be prepared; and

WHEREAS, the Planning Commission found that pursuant to CEQA regulations, the draft roofing policy is found to be “not a project” pursuant to section 15378 of the CEQA Guidelines as the roofing discussion and draft policy does not meet the definitions of a project outlined in CEQA Guidelines Section 15378 (a) (1)-(3); and

WHEREAS, this Resolution are made based upon the evidence presented to the Commission at the hearing date, including, without limitation, the staff report and attachments submitted by the Community Planning and Building Department; and

WHEREAS, the Planning Commission did hear and consider all said reports, attachments, recommendations, and testimony herein above set forth and used their independent judgment to evaluate the project; and

WHEREAS, the facts set forth in the recitals are true and correct and are incorporated herein by reference.

NOW, THEREFORE, BE IT RESOLVED that the Planning Commission of the City of Carmel-by-the-Sea does hereby RECOMMEND THE CITY COUNCIL ADOPTS the Roofing Policy.

PASSED, APPROVED, AND ADOPTED BY THE PLANNING COMMISSION OF THE CITY OF CARMEL-BY-THE-SEA this 11th day of June 2025, by the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

APPROVED:

ATTEST:

Michael LePage
Chair

Shelby Gorman
Planning Commission Secretary

CITY OF CARMEL-BY-THE-SEA POLICY AND PROCEDURE

Subject: Permit process for residential
reroofs.

Policy/Procedure No: 2025-XX

Effective Date: *T B D*

Authority: Resolution No. xx-xxx

Purpose:

To clarify the review process for reroofs and specify when approval can be made at the staff level (i.e. administratively) and when approval warrants a referral to the Planning Commission.

Policy/Procedure:

As fully set forth in the policy document, attached.

Responsible Party:

City Administrator

Department of Origin:

Community Planning and Building

Revision Dates:

Rescinded Date:

City of Carmel-by-the-Sea

POLICY FOR THE PERMIT PROCESS FOR RESIDENTIAL REROOFS CITYWIDE

Statement of Purpose:

To clarify the review process for reroofs and specify when approval can be made at the staff level (i.e. administratively) and when approval warrants a referral to the Planning Commission.

Policy:

The approval authority for residential reroofs shall be as follows:

<i>Reroofing Permit Process: Single-Family Resid. Buildings Like for like reroofs</i>	
<i>Wood to wood</i>	<i>Track 1 Design Study</i>
<i>Slate to slate</i> <i>Tile to tile</i> <i>Tar & Gravel to Tar & Gravel</i> <i>And other natural materials</i>	<i>Track 1 Design Study</i>
<i>Comp to comp (**earth tones)</i>	<i>Track 1 Design Study</i>
<i>Reroofs with change in material</i>	
<i>New Materials: Slate, Tile (clay, ceramic, and concrete), Tar & Gravel and other natural materials</i>	<i>Track 1 Design Study</i>
<i>Vertical Standing Seam Metal Roof (**non-earth tones)</i>	<i>Design Study Track 1 with Planning Commission referral required</i>
<i>Vertical Standing Seam Metal Roof (earth tones)</i>	<i>Design Study Track 1</i>
<i>Metal Tiles</i>	<i>Design Study Track 1</i>
<i>Tar and gravel to TPO or similar (on single story flat roof)</i>	<i>Design Study Track 1</i>
<i>Wood to comp (**earth tones)</i>	<i>Design Study Track 1</i>
<i>Wood to comp (**non-earth tones)</i>	<i>Design Study Track 1 with Planning Commission referral required</i>
<i>Synthetic Products</i>	<i>Design Study Track 1</i> <i>*See list of acceptable synthetic materials below</i>

***Acceptable Synthetic Alternatives**

CeDUR shakes

DaVinci shake or slates

EcoStar shake or slates

****Earth tones shown in figure 1 below**



Figure 1



CITY OF CARMEL-BY-THE-SEA PLANNING COMMISSION Staff Report

June 11, 2025
PUBLIC HEARINGS

TO: Chair LePage and Planning Commissioners

SUBMITTED BY: Evan Kort, Senior Planner

APPROVED BY: Anna Ginette, AICP, Community Planning and Building Director

SUBJECT: **DS 25017 (Hobbs):** Consideration of a Concept Design Study (DS 25017) for the demolition of an existing 1,111-square-foot one-story single-family residence, and construction of a new 1,795-square-foot one-story single-family residence inclusive of a 224-square-foot detached garage located at Santa Rita Street 3 northeast of 1st Avenue in the Single-Family Residential (R-1) District. APN: 009-146-029-000. **RECOMMENDED FOR CONTINUANCE.**

Proposed CEQA Action: Consideration and/or continuance of a Concept Design Study is "not a project" pursuant to section 15378 of the CEQA Guidelines.

Application: DS 25017 (Hobbs)

APN: 009146029000

Block: 4

Lot: 2

Location: Santa Rita Street 3 NE of 1st Avenue

Applicant: Adam Jeselnick, Architect

Property Owner: HOBBS KAREN RUTH TR

Executive Summary:

The applicant is requesting a Concept Design Study (DS 25017) for the demolition of an existing 1,111-square-foot one-story single-family residence, and construction of a new 1,795-square-foot one-story single-family residence inclusive of a 224-square-foot detached garage.

Recommendation:

This item is recommended for continuance to a future date. The required story pole installation was not completed by the deadline established in the City's Story Pole Policy.

Background and Project Description:

N/A

Staff Analysis:

N/A

Other Project Components:

N/A



CITY OF CARMEL-BY-THE-SEA PLANNING COMMISSION Staff Report

June 11, 2025
PUBLIC HEARINGS

TO:	Chair LePage and Planning Commissioners
SUBMITTED BY:	Evan Kort, Senior Planner
APPROVED BY:	Anna Ginette, AICP, Community Planning and Building Director
SUBJECT:	<p>DS 24298 (Gonzales): Consideration of a Concept Design Study (DS 24298) for a 134-square-foot addition to an existing 1,244-square-foot one-story single-family residence, as well as a 457-square-foot second story Accessory Dwelling Unit addition located at the southeast corner of 5th Avenue and Santa Fe Street in the Single-Family Residential (R-1) District. APN: 010-038-017-000</p> <p>Proposed CEQA Action: Consideration and/or continuance of a Concept Design Study is “not a project” pursuant to section 15378 of the CEQA Guidelines.</p>

Application: DS 24298 (Gonzales)

APN: 010-038-017

Block:61

Lot:2

Location: Southeast Corner Santa Fe Street & 5th Avenue

Applicant: Adam Jeselnick, Architect

Property Owner: GONZALEZ ELIZABETH MARIE TR

Executive Summary:

The applicant is requesting approval of a Concept Design Study for a 134-square foot addition to an existing single-family residence. A 457 square foot second story ADU is also proposed. Staff has scheduled this item for conceptual review though recommends a continuance of the hearing to allow the Commission to provide feedback and direction on the project. The substantive issues surrounding the project are impacts to significant trees. Most issues can be resolved with an alternative design that adheres to an appropriate building setback from the tree(s). Other issues defined include issues surrounding building plate heights.

In December 2024, staff informed the Applicant that, *“it is going to be difficult to make the necessary findings to support the project (see CMC 17.48.090 & CMC 17.48.070.B). [Staff’s] recommendation is to modify the project so that the significant tree(s) are not removed from the project.”* The applicant elected to pursue a tree removal permit and obtained approval from the Forest and Beach Commission in April 2025, prior to Planning Commission review of the Design Study.

The Forest and Beach Commission approved the removal of the tree based on its review authority to consider and act on applications for tree trimming and tree removal. However, the Planning Commission is required to evaluate the project in its entirety for consistency with all applicable zoning standards and policies of the General Plan and Local Coastal Program. Approval of the Concept Design Study can only occur if the Commission is able to make each of the findings required, including compliance with tree preservation standards and the site planning objectives.

Prior to completion of the staff report, staff had offered a continuance of the hearing to the applicant to resolve the issues, however, the applicant declined stating, “The project has been noticed, flagged, and there has been ample time to review these questions regarding trees since the project design was submitted in October 2024. A continuance is undesirable. We’re looking forward to the Planning Commission first review of the project, so we can determine appropriate next steps before any design revisions are considered.”

Recommendation:

Staff Recommendation: Continue the hearing with direction to the applicant to modify the project to support the findings for concept acceptance, as identified in the staff report.

Proposed Environmental Action: Consideration and/or continuance of a Concept Design Study is “not a project” pursuant to section 15378 of the CEQA Guidelines.

Alternative: If the Planning Commission is able make the required findings in support of concept acceptance, they should:

1. Make the finding(s) necessary to accept the Concept Design Study; and
2. Direct staff to prepare a resolution for adoption incorporating said finding(s); and
3. Find that acceptance of a Concept Design Study is “not a project” pursuant to section 15378 of the CEQA Guidelines; and
4. Adopt a Resolution accepting a Concept Design Study (DS 24298) for a 134-square-foot addition to an existing 1,244-square-foot one-story single-family residence, as well as a 457-square-foot second story Accessory Dwelling Unit addition located at the southeast corner of 5th Avenue and Santa Fe Street in the Single-Family Residential (R-1) District. APN: 010-038-017-000

Background and Project Description:

The project site is a 4,000-square-foot lot developed with an existing 1,271-square-foot one-story single-family residence. There is no garage or designated off-street parking, however, in 1999 a Design Study and Variance was approved for the addition of a bedroom to an existing residence and the request from the off-street parking standards. According to the 1999 staff report, "The basis for the variance request is that the site conditions prohibit a reasonable area for parking due to the existing 15 foot setback of the house and the location of nine oak trees [on the site]".

The 1999 report concluded that:

Due to the location and root zones of nine oak trees and the placement of the existing residence the site is constrained and would prohibit a reasonable area for the placement of a parking pad within the setback area or the property lines.

There appears to be a physical hardship on the site that deprives the applicant of privileges enjoyed by similarly situated properties in the vicinity of the site. Therefore, staff recommends that the parking variance be approved.

The parking variance was approved with the following conditions:

1. This variance shall remain valid for the life of the structure on this property or until site constraints change sufficiently to make practical the provision of conforming parking:
 - If the Oak trees die or are removed this variance shall become void.
 - If the dwelling is substantially altered in the future at a time when site constraints no longer make conforming parking impractical, the plans for substantial alterations shall include provision of conforming parking.
2. Total floor area on this site shall not exceed 1600 square feet unless parking is provided.

In comparing the site plan from 1999 to the site survey prepared in 2023, and current field observations, there have been no changes to the that would invalidate the applicability of condition 1a and 1b. The purpose of Condition 2 is to ensure the primary dwelling does not exceed 1600 square feet so 200 square feet of required parking could be provided on-site in the future consistent with the requirements of the zoning code.

The applicant is proposing a 134-square-foot addition to an existing 1,271-square-foot one-story single-family residence, as well as a 457-square-foot second story Accessory Dwelling Unit. The ADU is not part of the scope of this Design Study Application but is subject to a Coastal Development Permit Application. The ADU must conform with state law applicable to the development of an ADU as well as applicable provisions of the city's Local Coastal Program (LCP) (Government Code § 66329). The ADU is proposed to have a balcony on the south side of the unit which is subject to the associated Design Study.

The primary purpose of this conceptual review meeting is to formally evaluate and consider site planning, privacy and views, and the mass and scale of the project. However, the Commission may provide input on other aspects of the design.

Staff Analysis:

FINDINGS REQUIRED FOR CONCEPT DESIGN STUDY ACCEPTANCE

For each of the required design study findings listed below, staff has indicated whether the concept plans submitted, conditioned, or with supplemental findings, support adoption of the findings. For all findings checked "no" the staff report discusses the issues to facilitate decision-making by the Planning Commission. Findings checked "yes" may or may not be discussed in the staff report depending on the issues.

CMC Section 17.64.080.A – Concept Phase Approval Findings	YES	NO
1. The project conforms with all zoning standards applicable to the site, or has received appropriate use permits or variances consistent with the Zoning Ordinance.		X
Analysis: See discussion below. A variance (VA 99-04) was granted in 1999 waiving on-site parking requirements.		
2. The project is consistent with the City's design objectives for protection and enhancement of the urbanized forest, open space resources and site design. The project's use of open space, topography, access, trees and vegetation will maintain or establish a continuity of design both on-site and in the public right-of-way that is characteristic of the neighborhood.	X	
Analysis: See discussion below. In brief, supported by Forest and Beach Commission action on April 10, 2025.		
3. The project avoids complexity using simple building forms, a simple roof plan and a restrained employment of offsets and appendages that are consistent with neighborhood character yet will not be viewed as repetitive or monotonous within the neighborhood context.	X	
Analysis: LUP Policy P1-40 states that residential designs shall maintain Carmel's enduring principles of modesty and simplicity and preserve the City's tradition of simple homes set amidst a forest landscape. The project avoids complexity using simple building forms, a simple roof plan and a restrained employment of offsets and appendages that are consistent with neighborhood character yet will not be viewed as repetitive or monotonous within the neighborhood context.		
4. The project is adapted to human scale in the height of its roof, plate lines, eave lines, building forms, and in the size of windows doors and entryways. The development is similar in size, scale, and form to buildings on the immediate block and neighborhood. Its height is compatible with its site and surrounding development and will not present excess mass or bulk to the public or to adjoining properties. Mass of the building relates to the context of other homes in the vicinity.		X
Analysis: The plate height of the proposed kitchen addition does not comply with the allowable plate height for the R-1 Zoning District. The plans represent a plate height elevation of 56.70'. The height limit for the R-1 district is for a one-story element is 12'. This would require the corresponding grade elevation be 44.70' or higher to comply with the plate height limits. While a specific elevation point is not identified for the grade, the addition is located between elevation points 43' and 44', as represented on the survey and site plan, which is lower than elevation point 44.70'. A project which does not comply with height limits cannot be found to comply mass and bulk requirements (CMC section 17.10.010.D).		

Additional Note: Similarly, the plate height limit for a two-story element is 18'. The proposed second story accessory dwelling unit maintains a plate

elevation of 64.70'. Compliance with the height limit would require the corresponding grade elevation be 46.7' or higher. While a specific elevation point is not identified for the grade (using the methodology established in CMC section 17.06.020.F), the addition is located between elevation points 45' and 46' which is lower than elevation point 46.7'. The applicant has represented that the existing grade below south facing second story ridge (gable) as 45.08' (see Sheet A10). This re-enforces staff's methodology that the plate height is between an elevation of 45' and 46'.

Nothing in the state ADU law shall be construed to supersede or in any way alter or lessen the effect or application of the California Coastal Act of 1976 (Division 20 (commencing with Section 30000) of the Public Resources Code) (Government Code § 66329). The height limits established in CMC Chapter 17.10 are part of the city's Local Coastal Program and are applicable to the development of an accessory dwelling unit.

5. The project is consistent with the City's objectives for public and private views and will retain a reasonable amount of solar access for neighboring sites. Through the placement, location and size of windows, doors and balconies the design respects the rights to reasonable privacy on adjoining sites.	X	
---	---	--

Analysis: As assessed by the story poles, the project appears to preserve significant coastal views as viewed from the right-of-way (CMC section 17.10.010.J). Staff has not been contacted by any neighbor or interested individual raising concerns in respect to private views (CMC section 17.10.010.K), or privacy impacts (CMC section 17.10.010.G). An approximately 187 square foot second story deck is proposed, however, the deck does not appear to result in any visual impacts.

6. The design concept is consistent with the goals, objectives and policies related to residential design in the general plan.		X
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Analysis: See discussion below.

7. The development does not require removal of any significant trees unless necessary to provide a viable economic use of the property or protect public health and safety. All buildings are set back a minimum of six feet from significant trees.		X
--	--	---

Analysis: See discussion below.

Discussion:

There are a total of 15 trees (including tree clusters) on the subject site or within the right-of-way immediately adjacent to the site. An additional 8 trees are located in the right-of-way surrounding the site. Of the 23 trees evaluated by the forester on-site and the adjacent property, all but one (1) is rated as significant or moderately significant with the outlier being a not significant oak tree located on the site.

CMC section 17.58.020.B states, in part, "...If the site assessment shows that trees will be affected by the project, the Director shall forward the plans to the City Forester for processing. Any reviews by the Forest and Beach Commission and/or Historic Resources Board that are required for a project shall occur prior to consideration of the project by the Director or the Planning Commission."

However, CMC section 17.58.020.E, state:

When conducting design review the Department or the Planning Commission shall use the design guidelines adopted by the City Council as the basis for review. The decision-making entity responsible for design review shall consider the conformance of the application to the standards set forth in and promulgated under this title (Title 17), and may either approve, deny or modify an application for design review. However, no modification may be made that is not consistent with any other requirement of this title. Specific zoning standards and criteria are established in each zoning district, overlay district, specific plan area, special district, or community plan area. These shall be coordinated with the guidelines in reviewing projects.

Simply put, the Forest and Beach Commission acts as a review body for tree impacts and must issue their findings first. The Planning Commission then acts as the final review and approval authority for the project, integrating prior decisions (such as tree removals) but ensuring the project, as a whole, complies with all zoning and design related requirements. The two decisions must align procedurally and substantively — one informs the other, but does not replace it.

On April 10, 2025, the Forest and Beach Commission considered and approved the removal of one (1) significant oak tree (click here for staff report; click here for video of meeting). The approval of the tree removal permit was contingent upon issuance of a building permit for the subject project.

The subject tree, "tree #12" as identified on the Preliminary Site Assessment, was determined by the City Forester to be mature and in good health, and met the criteria for significance as identified in the Preliminary Site Assessment Checklist (refer to Attachment 2).

The forester recommended denial of the tree removal as, when related to construction, the removal of significant trees to facilitate construction or development is prohibited unless one of the two following findings is met (CMC section 17.48.070.B):

1. That removal of the tree is required to protect public health or safety; or

Staff Analysis: The city forester determined as part of the Preliminary Site Assessment that the tree does not pose an above-normal potential risk to life and property. While the subject tree is currently healthy and considered one of the better specimens on the property, the Forest and Beach Commission (FBC) determined that its removal is justified based on broader site conditions and long-term considerations. The property currently contains 15 oak trees, the FBC determined sufficient tree coverage will remain following the removal. The Commission also considered that although the tree is in good condition, the removal of this tree may preempt potential future conflicts or hazards related to its proximity to the existing residence and planned development.

In staff's opinion, the FBC's finding that the property currently contains 15 oak trees, and sufficient tree coverage will remain following the removal supports Concept Finding #2, however, does not meet the threshold for Concept Finding #7 as interpreted by staff under the zoning and design requirements applicable to Planning Commission review. While their finding includes the removal of this tree may preempt potential future conflicts or hazards related to its proximity to the existing and planning development, the finding suggests that there is an imminent or reasonable foreseeable threat to public health or safety. This determination is based upon comparing other findings for significant tree removal, such as when removal is proposed when not related to construction.

When not related to construction or development, removal of significant trees is prohibited unless authorized by the Forest and Beach Commission consistent with the following finding: That the tree is causing substantial damage to a building that cannot readily be repaired or alleviated on a long-term basis, through minor reasonable building modifications (CMC section 17.48.070.A). If remodeling, rebuilding or new construction is undertaken within six months from the cutting down of a tree, it shall be presumed that the tree was removed for remodeling or rebuilding. (CMC section 17.48.050.A.1).

2. That the following four conditions exist:

1. The existing site is vacant or is developed to an extent less than one-third of the base floor area allowed by the zoning applicable to the site; and

Staff Analysis: The existing site is developed to an extent greater than one-third of the base floor area allowed. The base floor area allowed is 1800 square feet. The residence is permitted to be 1600 square feet with 200 square feet reserved for the required parking in accordance with the variance approval (see discussion in background section, above). The site is developed to an amount greater than 600 square feet (one-third of the base floor area allowed), and therefore this condition does not exist and Finding #7 cannot be supported.

2. *The available land area of the site not occupied by significant trees (including land within six feet of the trunk of significant trees) does not adequately and practically provide space for development of at least one-third of the base floor area allowed by the zoning for the site; and*

Staff Analysis: As demonstrated in the condition, above, the land area of the site provides adequate space for development therefore this condition does not exist and Finding #7 cannot be supported.

3. *The issuance of a variance for development in one or more setbacks has been considered and would not provide a remedy or would be inappropriate due to a significant overriding inconsistency with another policy or ordinance of the LCP; and*

Staff Analysis: A variance was previously approved for the placement of a garage due to the location and root zones of the trees on-site, however, a variance has not been considered as part of this development application, therefore this condition does not exist and Finding #7 cannot be supported.

4. *Failure to authorize removal of the tree(s) would deprive the owner of all reasonable economic use of the property.*

Staff Analysis: Failure to authorize removal of the tree(s) does not deprive the owner of all reasonable economic use of the property. The zoning allows for at least a single-family home that can be legally built. The site contains an existing home that is developed to an extent greater than one-third of the base floor area allowed with additional land area of the site not occupied by significant trees available for development, including site area available toward the south of the existing building and toward the east. Variances for development to avoid the removal of the significant tree have yet to be explored. As such, this condition does not exist and Finding #7 cannot be supported.

While the Forest and Beach Commission (FBC) approved the removal of tree #12, their action was taken within the scope of their authority to evaluate tree impacts and to determine whether tree removal is appropriate based on site-specific conditions and long-term forest management considerations. The FBC found that sufficient tree coverage would remain on-site following removal, and noted that the tree's proximity to existing and proposed development could result in future conflicts to the site. The FBC's determination was made based on tree-related considerations and did not include an evaluation of whether the overall development meets the findings required for concept design acceptance, which is the responsibility of the Planning Commission.

Notwithstanding the FBC decision, an additional tree on-site, tree #10, is located within 6-feet of the new development planned on-site. This conflicts with Concept Finding #7 which requires, in part, that *'all buildings are set back a minimum of six feet from significant trees.'* The existing building is currently within 6-feet of the tree, however, this condition can be treated as a non-conforming. At the nearest point, the building is located approximately 4'9" to the subject tree. As proposed, the building would be 1'6" from the tree (measured from new building wall, not new deck addition, although deck addition also maintains same conflict); refer to Figures 1 & 2, below.

CMC section 17.36.030.A & B state, respectively:

*A lawful nonconforming structure may be maintained, repaired, or altered as long as such maintenance, repair, or alteration does not increase the nonconformity and all work performed conforms to all of the requirements of this chapter...; and
Alterations, repairs or remodeling that enlarge, extend or increase a nonconforming feature of a building shall be prohibited...*

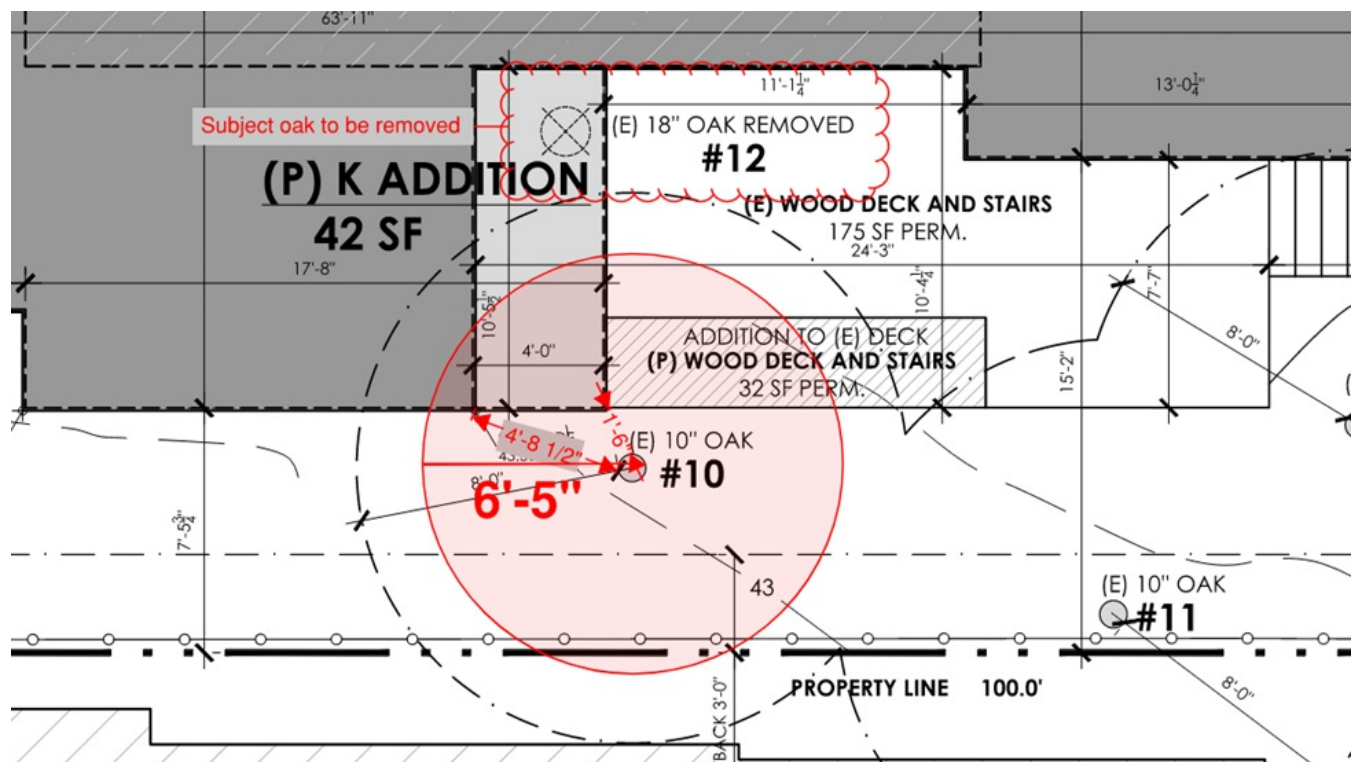


Figure 1. Partial site plan illustrating 6' tree setback area (6'5" includes tree diameter -measurement taken from center point of tree). Existing residence

shown in dark gray, proposed addition shown in light gray. Deck addition hatched. 8' root protection zones identified in Preliminary Site Assessment (PSA) shown in dashed (---) circles around trees. PSA identified that excavation within 8' of a tree trunk is not permitted

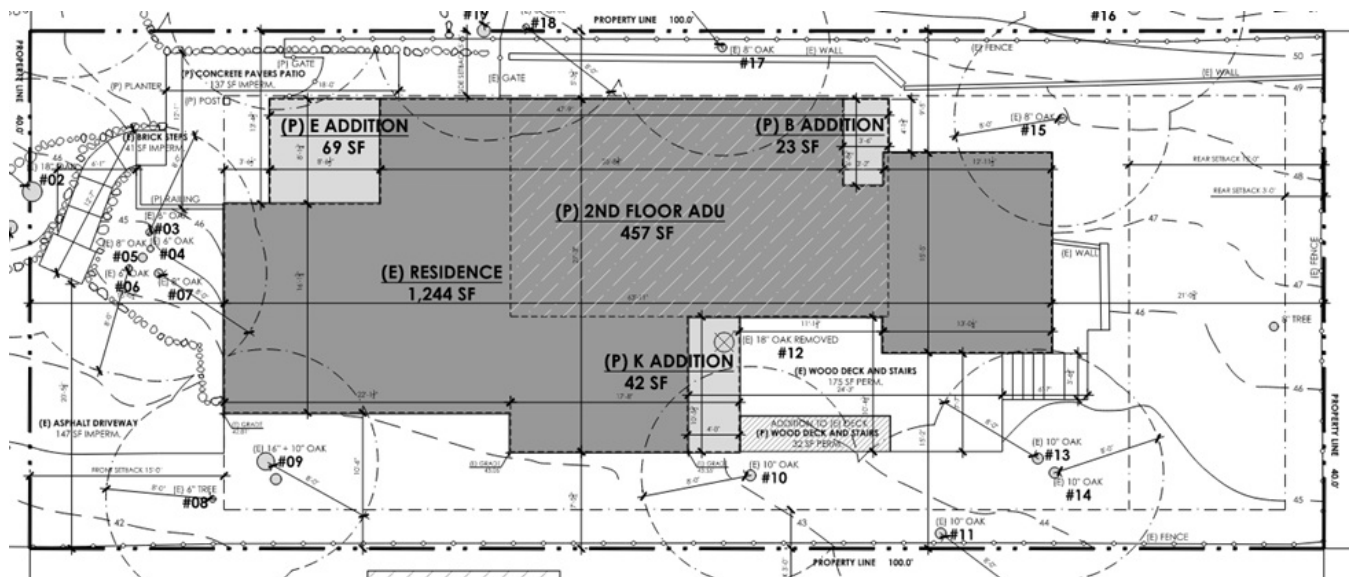


Figure 2. Site Plan. 8' root protection zones identified in Preliminary Site Assessment (PSA) shown in dashed (---) circles around trees. PSA identified that excavation within 8' of a tree trunk is not permitted.

Additionally, CMC section 17.48.110.A.3 requires, "...All compaction of soils, construction of building walls, or placement of impermeable surfaces must be setback a minimum of six feet from all significant trees. Grading cuts and fills around significant trees shall be limited to areas outside the root projection zone identified by the City Forester in any preliminary site assessment (see CMC Chapter 17.58, Design Review.)... Cutting and filling around the base of trees shall be done only after consultation with the City Forester, and then only to the extent authorized by the City Forester." Tree #10, as well as a tree in the right-of-way, #20, would have proposed additions located within the root protection zones as identified on the site assessment. Concept Finding #7 implements Policies P1-39, P1-42, P1-45, P1-47, and P5-64 of the General Plan, which states:

- **P1-39:** Site improvements shall be compatible with, and sensitive to, the natural features and built environment of the site and of the surrounding area. Design solutions should relate to and take advantage of site topography, vegetation and slope. Designs shall recognize the limitations of the land and work with these limitations rather than ignoring them or trying to override them. (LUP)
- **P1-42:** Prior to submittal of design plans for new development that will alter the building footprint, add a second story or involve excavation, a site plan shall be prepared by a qualified professional to document topography, drainage features, existing trees and structures, street edge, and existing conditions on adjacent properties. ... Submittal of a Forest Enhancement and Maintenance Plan shall be required from project applicants in response to the site assessment. The Plan shall address the impacts of the proposed development on the existing forest conditions of the site. Site Plan designs shall recognize the constraints of the land and work within these limitations. (LUP)
- **P1-45:** All demolitions, rebuilds, remodels, and substantial alterations shall be consistent with the following findings: The development does not require removal of any significant trees unless necessary to provide a viable economic use of the property or protect public health and safety. All buildings and structures will be setback a minimum of 6 feet from significant trees. (LUP)
- **P1-47** Apply the City's Residential Design Guidelines that explain the qualities that are characteristic of the community to assist in the preparation and approval of plans for residential development through the design review process. Include provisions for scale, mass, bulk, height, setbacks, open space, landscaping, exterior materials, lighting and community character. Establish procedures for using the guidelines that will allow flexibility and creativity in architectural expression yet maintain continuity in the design character of the residential district. (LUP)
- **P5-64:** New development shall be sited and designed to avoid or minimize significant adverse effects to the forest. Avoid projects that significantly increase building footprint to the detriment of trees. No grading, compaction of soils, construction of building walls or placement of impermeable

increase banking response to the addition of trees, the grading, compaction of soils, construction of banking walls or placement of impervious surfaces within six feet of trees classified as significant shall be permitted. (LUP)

Lastly, Residential Design Guideline 1.1-1.4 address preserving Forest Character. The Residential Design Guideline prioritizes preserving the forest character and existing significant trees as a fundamental aspect of residential development.

The Design Guidelines provide guidance to locate new construction where impacts on established trees are minimize by reiterating again that buildings should be six feet from established trees, avoiding a building designs or roof designs that would require extensive pruning to tree limbs and canopies, and planning building masses and excavation in areas that will minimize the impact on trees and their root structures.

The Residential Design Guidelines do state that it may be acceptable to build closer than 6 feet to a tree in some cases, however, in staff's opinion, the Design Guidelines are alluding to trees that are not significant trees, as the Design Guidelines would not supersede the requirements of the General Plan, zoning code, or findings required for Concept acceptance, all of which require buildings and/or impervious surfaces to be 6' away from significant trees. An important nuance in the General Plan, zoning code and other relevant planning documents worth noting is that the 6-foot setback requirement is explicit for the protection of significant trees, whereas the Residential Design Guidelines suggest a variety of setbacks may be appropriate (i.e. 6 feet, greater than 6 feet, less than 6 feet).

As proposed, the project is inconsistent the applicable Residential Design Guidelines pertaining to Forest Character. The project meets Concept Phase Approval Findings #2, but fails to meet Concept Finding #7 pertaining to the protection and enhancement of the urbanized forest (CMC section 17.64.080).

As such, staff recommends the Planning Commission continue the hearing with direction to the applicant to revise the project to address tree protection requirements and comply with Concept Finding #7, and Concept Finding #1. This could include direction to:

1. Redesign the project to preserve the significant tree proposed for removal (Finding #1; Finding #6; Finding #7); and/or
2. Redesign the project such that building/addition(s) is set back a minimum of six feet from significant trees (Finding #1; Finding #6; Finding #7); and/or
3. Redesign the project such that all grading, cuts, and fills around significant trees are limited to areas outside the root projection zone identified by the City Forester in any preliminary site assessment (CMC section 17.48.110.A.3) (Finding #1; Finding #6; Finding #7).

As an alternative, the Commission could make findings to support the Forest and Beach Commission's decision to approve the tree removal permit support's Finding #7, in part, which would allow the applicant to proceed with the addition and facilitate the tree removal. However, their decision did not address the proximity of the building to Tree #10, or the encroachment into the root projection zone for tree #20. This is simply a matter of zoning compliance similar to any other objective development standard such as compliance with setback, floor area limitation, or height requirement. For these reasons staff recommends a continuance of the hearing with appropriate direction to the applicant to revise the project.

Other Project Components:

Staff recommends that consideration and/or continuance of a Concept Design Study be found to be "not a project" pursuant to section 15378 of the CEQA Guidelines. Acceptance of a Concept Design Study does not grant any permits or entitlements approving a project which would result in a direct or indirect physical change in the environment. CEQA analysis and determination of exemption status will be done as part of the Final Design Study hearing.

Attachment 1 - Project Plans

Attachment 2 - Preliminary Site Assessment (Tree Evaluation)

GENERAL NOTES

1. VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS AT THE SITE; CONFIRM ANY VARIATIONS OR CONFLICTING OR MISSING DIMENSIONS OR DATA PRIOR TO COMMENCING WORK. USE WRITTEN DIMENSIONS ONLY; DO NOT SCALE DRAWINGS FOR THE PURPOSE OF DETERMINING A DIMENSION DURING CONSTRUCTION.

2. CONSTRUCTION DETAILS NOT SPECIFICALLY SHOWN ON THE DRAWINGS SHALL BE BUILT TO CONFORM TO SIMILAR CONSTRUCTION, IN ACCORDANCE WITH THE BEST COMMON PRACTICE AND/OR MANUFACTURER'S SPECIFICATIONS FOR THE INSTALLATION OF THEIR MATERIALS OR ITEMS.

3. ALL CONSTRUCTION (MATERIALS, WORKMANSHIP & METHODS) SHALL COMPLY WITH TITLE 24 AND THE **2022 CALIFORNIA RESIDENTIAL BUILDING** CODE (CBC); CALIFORNIA PLUMBING CODE (CPC), CALIFORNIA MECHANICAL CODE (CMC), CALIFORNIA ELECTRICAL CODE (CEC), CALIFORNIA ENERGY CODE, FIRE CODE, AND CALGREEN; AND ALL LOCAL AMENDMENTS AS ADOPTED BY COUNTY ORDINANCE.

4. THE OWNER-CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SAFETY ON THE JOB SITE AND MUST ADHERE TO ALL FEDERAL, STATE LOCAL AND O.S.H.A. SAFETY REGULATIONS.

5. DEMOLITION: CONFIRM ALL DEMOLITION REQUIREMENTS WITH THE OWNER. VERIFY WITH OWNER WHICH ITEMS, IF ANY, HE/SHE WISHES TO RETAIN FOR HIS/HER USE. ALL OTHER ITEMS TO BECOME PROPERTY OF THE CONTRACTOR AND ARE TO BE PROPERLY REMOVED FROM THE PREMISES. SEE DEMOLITION PLANS FOR ADDITIONAL INFORMATION.

6. THE OWNER-CONTRACTOR SHALL BE RESPONSIBLE FOR ALL BRACING AND SHORING REQUIRED DURING CONSTRUCTION UNTIL ALL CONSTRUCTION IS COMPLETE.

7. DO NOT STORE CONSTRUCTION MATERIALS, OR OPERATE CONSTRUCTION EQUIPMENT IN SUCH A MANNER THAT DESIGN LIVE LOADS OF THE STRUCTURES ARE EXCEEDED. DO NOT STORE CONSTRUCTION MATERIALS ON OVERHANGING FRAMING.

8. IF DURING THE COURSE OF CONSTRUCTION, CULTURAL, ARCHAEOLOGICAL, HISTORICAL, OR PALEONTOLOGICAL RESOURCES ARE UNCOVERED AT THE SITE (SURFACE OR SUBSURFACE RESOURCES) WORK SHALL BE HALTED IMMEDIATELY WITHIN 50 METERS (150 FEET) OF THE FIND UNTIL A QUALIFIED PROFESSIONAL ARCHAEOLOGIST CAN EVALUATE IT. MONTEREY COUNTY - RMA PLANNING AND A QUALIFIED ARCHAEOLOGIST (I.E. AN ARCHAEOLOGIST REGISTERED WITH THE REGISTER OF PROFESSIONAL ARCHAEOLOGISTS) SHALL BE IMMEDIATELY CONTACTED BY THE RESPONSIBLE INDIVIDUAL PRESENT ON-SITE. WHEN CONTACTED, THE PROJECT PLANNER AND THE ARCHAEOLOGIST SHALL IMMEDIATELY VISIT THE SITE TO DETERMINE THE EXTENT OF THE RESOURCES AND TO DEVELOP PROPER MITIGATION MEASURES REQUIRED FOR RECOVERY.

9. COORDINATE NEW UNDERGROUND ELECTRICAL SERVING WITH PG&E.

10. NEW FIRE SPRINKLERS TO BE INSTALLED UNDER SEPARATE PERMIT.

SHEET INDEX

ARCHITECTURAL			Attachment 1
A0	TITLE (PROJECT DATA & SITE LOCATION)	A11	EAST (REAR) ELEVATIONS
A1	SURVEY AND TREE PROTECTION	A12	SOUTH (SIDE) ELEVATIONS
A2	EXISTING SITE PLAN	A13	DEMOLITION ELEVATIONS
A3	SITE DEMOLITION PLAN	A14	DEMOLITION ELEVATIONS
A4	PROPOSED SITE PLAN	A15	STREETSCAPE ELEVATIONS
A5	EXISTING FLOOR PLAN	A16	EXISTING ROOF PLAN
A6	DEMOLITION PLAN	A17	DEMOLITION ROOF PLAN
A7	PROPOSED LOWER LEVEL FLOOR PLAN	A18	PROPOSED ROOF PLAN
A8	PROPOSED UPPER LEVEL FLOOR PLAN	A19	DOOR AND WINDOW SCHEDULES
A9	WEST (SANTA FE ST) ELEVATIONS	A20	PROPOSED MATERIALS
A10	NORTH (5TH AVE) ELEVATIONS	A21	PROPOSED RENDERINGS
		A22	PROPOSED RENDERINGS

EXISTING SITE PHOTOGRAPHS



EXISTING FRONT PORCH AND ROOFS



EXISTING REAR VIEW

PROJECT DATA

SCOPE OF WORK:

EXTEND FIRST FLOOR OF AN EXISTING SINGLE FAMILY RESIDENCE TO INCLUDE A NEW BEDROOM AND BATHROOMS. REPLACE EXISTING LIGHTING, PLUMBING FIXTURES, AND CABINETS WHERE SHOWN. REPLACE DOORS AND WINDOWS AS NOTED. ADD A SECOND FLOOR ADDITION TO INCLUDE A NEW A.D.U.

CONSTRUCTION TYPE: V-B
OCCUPANCY: R-3 / U
FIRE SPRINKLERS: ---
WATER: CAL AM
SEWER: CARMEL AREA WASTEWATER DISTRICT

TREE REMOVAL: ONE 18"OAK (APPROVED FOR REMOVAL BY FOREST AND BEACH COMMISSION)

GRADING: 10 CUBIC YARDS CUT / 10 CUBIC YARDS FILL

SITE COVERAGE CALCULATIONS:

LOT SIZE	4,000 SF
MAX. ALLOWABLE FLOOR AREA	= 1,800 SF
MAX. ALLOWABLE SITE COVERAGE	= 396 SF / 556 SF

FLOOR AREA CALCULATIONS:

EXISTING		
(E) RESIDENCE	1,244 SF	
(E) DESIGNATED AREA FOR PARKING	200 SF	
TOTAL, (E)	1,444 SF	
(36.10% OUT OF TOTAL LOT AREA)		
PROPOSED		
(E) RESIDENCE	1,244 SF	
(P) ENTRY "E" ADDITION	69 SF	
(P) KITCHEN "K" ADDITION	42 SF	
(P) BATH "B" ADDITION	23 SF	
(E) DESIGNATED AREA FOR PARKING	200 SF	
TOTAL, (P)	1,578 SF	
(39.45% OUT OF TOTAL LOT AREA)		
TOTAL (P) 2ND STORY ADU	457 SF	

SITE COVERAGE CALCULATIONS:

EXISTING		
(E) GRAVEL DRIVEWAY	85 SF	PERMEABLE
(E) ASPHALT DRIVEWAY	147 SF	IMPERMEABLE
(E) BRICK PATIO AND STAIRS	269 SF	IMPERMEABLE
(E) BRICK WALKWAY	120 SF	IMPERMEABLE
(E) CONCRETE WALKWAY	322 SF	IMPERMEABLE
(E) WOOD DECK AND STAIRS	204 SF	PERMEABLE
(E) SHED	20 SF	IMPERMEABLE
TOTAL, (E)	1,167 SF	
(EXISTING NON CONFORMING)		
PROPOSED		
(E) ASPHALT DRIVEWAY	147 SF	IMPERMEABLE
(E) BRICK STEPS	41 SF	IMPERMEABLE
(E) WOOD DECK AND STAIRS	175 SF	PERMEABLE
(P) DECK ADDITION	32 SF	PERMEABLE
(P) CONCRETE PAVERS PATIO	137 SF	PERMEABLE
TOTAL, (P)	532 SF	(64,66% PERMEABLE)

PROJECT DATA

ADDRESS: S/E CORNER 5TH AVE AND SANTA FE STREET
CARMEL-BY-THE-SEA, CALIFORNIA 93921

A.P.N. 010-038-017

ZONING: R-1

OWNER: **KEITH DWEN AND ELIZABETH GONZALEZ**
S/E CORNER 5TH AVE AND SANTA FE STREET
CARMEL-BY-THE-SEA, CA 93921

ARCHITECT: **ADAM JESELNICK ARCHITECT**
SAN CARLOS STREET AND 8TH
CARMEL-BY-THE-SEA, CA 93921
PHONE: (831) 620.5164 m
CONTACT: ADAM JESELNICK AIA
EMAIL: aejarch@gmail.com

SURVEYOR: LUCIDO SURVEYORS
2 SAUCITO AVENUE,
DEL REY OAKS, CA 93940
PHONE: 831-620-5032
EMAIL: info@lucidosurveyors.com

SETBACKS

LOCATION	EXISTING	PROPOSED	REQUIRED
FRONT - WEST	15'-0 ¹ / ₂ "	15'-0 ¹ / ₂ "	15'-0"
SIDE - NORTH	5'-3 ¹ / ₂ "	5'-3 ¹ / ₂ "	5'-0"
BACK- EAST	21'-1"	21'-1"	15'-0" / 3'-0"
SIDE - SOUTH	7'-6"	7'-6"	3'-0"

MIN. COMPOSITE SETBACK: 12'-9 ¹/₂" (32% OF 40'-0")

HEIGHTS

LEVEL	EXISTING	PROPOSED	REQUIRED
PLATE	15'-11 ¹ / ₂ "	17'-2 ¹ / ₄ "	12'-0" / 18'-0"
RIDGE	18'-10 ¹ / ₄ "	23'-0"	18'-0" / 24'-0"



1 VICINITY MAP
SCALE: N.T.S

GONZALEZ-DWEN RESIDENCE
SE CORNER 5TH AVE AND SANTA FE STREET,
CARMEL-BY-THE-SEA CALIFORNIA 93921

TITLE SHEET

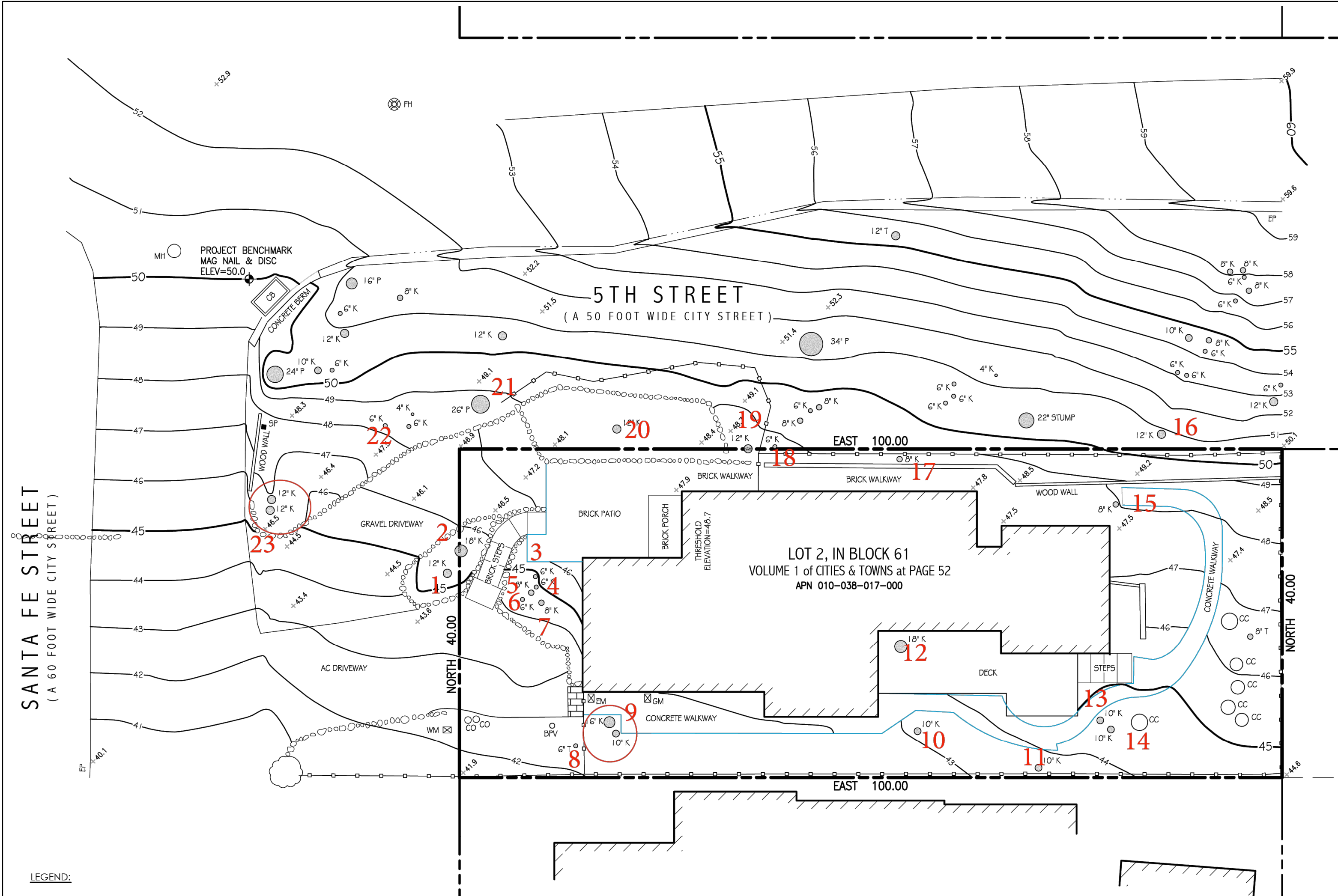
5/9/2025

1/4" = 1'-0"

A0

ADAM JESELNICK
ARCHITECT





- LEGEND:**
- RECORD BOUNDARY
 - RECORD RIGHT OF WAY
 - RECORD LOT LINE
 - RECORD CENTERLINE
 - RECORD EASEMENT LINE
 - RECORD SETBACK
 - OLD RECORD LINE
 - PROJECT BENCHMARK
 - 50' CONTOUR (MAJOR)
 - CONTOUR (MINOR)
 - GRADEBREAK
 - EDGE OF PAVEMENT
 - UP OF GUTTER
 - FACE OF CURB
 - BACK OF CURB
 - DISCONTINUOUS
 - BACK OF SIDEWALK
 - DRAWWAY
 - FLOWLINE
 - APPROXIMATE BUILDING OUTLINE
 - CHIMNEY
 - APPROXIMATE FLOOR ELEVATION
 - DECK
 - CONCRETE PAD
 - STEP
 - PLANTER
 - WATER LINE
 - WATER VALVE
 - WATER METER
 - FIRE HYDRANT
 - HOSE BIB
 - IRRIGATION CONTROL VALVE
 - SANITARY SEWER LINE
 - SANITARY SEWER MANHOLE
 - SANITARY SEWER CLEAN-OUT
 - STORM DRAIN
 - STORM DRAIN MANHOLE
 - AREA DRAIN
 - STORM DRAIN CATCH BASIN
 - ELECTRIC LINE
 - UTILITY POLE
 - CLAY WIRE
 - ELECTRIC VAULT
 - UTILITY VAULT
 - ELECTRIC METER
 - STREET LIGHT
 - LAMP POST
 - GAS LINE
 - GAS METER
 - TELEPHONE LINE
 - TELEPHONE STANDARD
 - CABLE TELEVISION LINE
 - CABLE TELEVISION BOX
 - WOOD FENCE
 - WIRE FENCE
 - CHAIN LINK FENCE
 - SIGN POST
 - BACKFLOW PREVENTER VALVE
 - MAIL BOX
 - CONCRETE CIRCLE
 - PILLAR
 - WOOD WALL
 - ROCK WALL
 - STACKED BLOCK WALL
 - BRICK WALKWAY/PATIO
 - CARMEL STONE
 - PCC WALKWAY/PATIO
 - DISABLED PARKING
 - STANDARD PARKING STALL
 - ASPHALT CONCRETE
 - CORRUGATED METAL PIPE
 - CONCRETE SLAB
 - DECOMPOSED GRANITE
 - EXPOSED AGGREGATE
 - HIGH DENSITY POLY ETHYLENE
 - PORTLAND CEMENT CONCRETE
 - PAVER STONE
 - POLY VINYL CHLORIDE
 - REINFORCED CONCRETE PIPE
 - TRASH ENCLOSURE
 - EDGE OF FOLIAGE
 - TREE WITH SIZE AND TYPE
 - ACACIA
 - CYPRESS
 - OAK
 - PINE
 - REDWOOD
 - TREE
 - SPOT ELEVATION

Attachment 1

BENCHMARK:

ELEVATIONS FOR THIS SURVEY ARE BASED ON AN ASSUMED DATUM. AN ELEVATION OF 50.0 HAS BEEN ASSIGNED TO A MAG NAIL & DISC SET IN THE PAVEMENT NEAR THE NORTHWESTERLY BOUNDARY CORNER OF THE SUBJECT PROPERTY AS SHOWN HEREON.

NOTES:

- BOUNDARY LOCATIONS SHOWN HEREON WERE DETERMINED WITH THE BENEFIT OF A FIELD SURVEY SUPPLEMENTED BY RECORD DATA. ALL BOUNDARY DATA SHOWN HEREON ARE FROM THE RECORDS.
- ENTITLEMENTS OR ENCUMBRANCES AFFECTING THIS PROPERTY MAY NOT NECESSARILY BE SHOWN.
- DISTANCES SHOWN ARE EXPRESSED IN FEET AND DECIMALS THEREOF.
- CONTOUR INTERVAL = ONE FOOT.
- TREE TYPES (IF ANY) ARE INDICATED WHERE KNOWN. DIAMETERS OF TREES ARE SHOWN IN INCHES AND ARE APPROXIMATE ONLY, TO BE VERIFIED BY AN APPROVED ARBORIST PROVIDED BY OTHERS. PER AGREEMENT WITH THE SURVEYOR, TREES SMALLER THAN 6" IN DIAMETER MAY NOT BE NECESSARILY SHOWN. DIRECTION OF GROWTH AND DRIP LINE SHAPE TO BE VERIFIED BY OTHERS.
- POSITION AND DIMENSIONS (IF ANY) OF BUILDINGS AND OTHER STRUCTURES ARE SHOWN HEREON APPROXIMATE ONLY DUE TO MEASUREMENT LIMITATIONS. IRREGULAR SHAPE OF BRICK FACING, POP-OUTS, BULL NOSE CORNERS, ETC. SQUARE FOOTAGE OF BUILDINGS (IF ANY) IS SHOWN APPROXIMATE ONLY, AND SUBJECT TO REVISION AT ANY TIME.
- NOT ALL UTILITY BOXES AND/OR UTILITY STRUCTURES ARE SHOWN INCLUDING BUT NOT LIMITED TO HOSE BIBS AND IRRIGATION VALVES. ONLY THE VISIBLE UTILITY BOXES AND/OR UTILITY STRUCTURES THAT WERE CONSIDERED TO CONVEY THE GENERAL UTILITY CONDITIONS ARE SHOWN.
- THIS MAP CORRECTLY REPRESENTS A SURVEY PREPARED BY ME AND/OR UNDER MY DIRECTION, FROM FIELD DATA COLLECTED IN OCTOBER OF 2023.



1

EXISTING TOPOGRAPHIC SITE SURVEY

SCALE: 1"=10'-0"

Significant Tree Evaluation Worksheet

APN: 010-038-017-000
Street Location: SE Corner Santa Fe and 5th
Planner: Evan Kort
City Forester: Justin Ono
Property Owner: Gonzalez
Recommended Tree Density: 3 upper, 1 lower (4 total)
Required Planting: Site meets density

Part One: Initial Screening:

Complete Part One to determine if further assessment is warranted. Trees must pass all criteria in Part One to be considered significant or moderately significant.

A. Does the tree pose an above-normal potential risk to life and property?

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
YES															
NO	x	x	x	x	x	x	x	x	x	x	x	x	x	x	x
Tree #	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30
YES															
NO	x	x	x	x	x	x	x	x	x	x	x	x	x	x	x

Any tree with structural impairment likely to cause failure should be marked as unsafe and removed. Use page five of this worksheet to document the safety risk. Trees that have limited and specific defects that can be remedied with selective pruning or other mitigation should be marked as safe and specific recommendations should be given to the owner for tree care. Such trees may still be assessed for significance.

B. Is the tree one of the following native species on the Carmel-by-the-Sea recommended tree list?

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
Species	CLO	CLO	CLO	CLO	CLO	CLO	CLO	BB	CLO	CLO	CLO	CLO	CLO	CLO	CLO
YES	x	x	x	x	x	x	x		x	x	x	x	x	x	x
NO								x							
Tree #	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30
Species	CLO	CLO	CLO	CLO	MP	CLO	CLO								
YES	x	x	x	x	x	x	x	x							
NO															

MP -- Monterey pine

CO -- coast live oak

Bottle Brush

(Note: Other species on the recommended tree list may be determined to be Significant Trees only if they are exceptional examples of the species. Such trees also must exhibit excellent health, form, vigor, and substantial size to rate an overall score of at least 7 points in Part Two of the assessment.)

BB --

1 of 5

C. Does the tree meet the minimum size criteria for significance?

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
YES	x	x	x	x	x	x	x		x	x	x	x	x	x	x
NO								x							
Tree #	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30
YES	x	x	x	x	x	x	x	x							
NO															

Monterey pine, Monterey cypress, Bishop pine, Coast redwood: 6" DBH

Coast live oak -- single trunk tree: 6" DBH

Coast live oak -- multi-trunk tree measured per industry standard: 6" DBH

California sycamore, Big leaf maple, Catalina ironwood, other: 10" DBH

dbh = diameter at breast height or 4.5 feet above the adjacent ground surface

Part Two: Assessment For Tree Significance

For each of the criteria below assign points as shown to assess the tree. If any criteria score is

D. What is the health and condition of the tree?

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
score	2	2	2	2	2	2	2	2	2	2	0	2	2	2	2
Tree #	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30
score	2	2	2	2	2	2	1	1	2						

0 points:	The tree is heavily infested with pests or has advanced signs of disease that indicates the tree is declining and has very limited life expectancy.
1 point:	The tree shows some pests or disease that impair its condition, but which does not immediately threaten the health of the tree. The tree may recover on its own, or with appropriate intervention.
2 points:	The tree appears healthy and in good condition.
3 points:	The tree shows excellent health, is free of pests and disease and is in very strong condition.

2 of 5

E. What is the overall form and structure of the tree?

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
score	1	1	1	1	1	1	1	1	2	2	0	2	2	2	2
Tree #	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30
score	2	1	2	2	2	2	2	2							

0 points:	Prior pruning, disease or growth habit have left the tree deformed or unsound to an extent that it cannot recover or will never be a visual asset to the neighborhood or will likely deteriorate into a structural hazard.
1 point:	The tree has poor form or structure but (a) can recover with proper maintenance or (b) it provides visual interest in its current form, and does not have structural defects that are likely to develop into a safety hazard.
2 points:	The tree has average form and structure for the species but does not exhibit all the qualities of excellent form and structure.
3 points:	The tree exhibits excellent form and structure. For all species there will be a good distribution of foliage on multiple branches with no defects. For conifers, the tree will have a single straight leader with balanced branching and with good taper. Oaks will exhibit a well-developed canopy with no suppressed branches. Oaks may be single-trunked or multi-trunked and will have a balanced distribution of foliage on each

F. What is the age and vigor of the tree?

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
score	2	1	1	1	1	2	2	2	2	2	0	1	1	1	1
Tree #	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30
score	2	1	2	2	2	1	2	2							

0 points:	The tree is over-mature or shows signs of poor or declining vigor such as die-back of major limbs or of the crown, small leaves/needles and/or minimal new growth.
1 point:	The tree is mature but retains normal vigor and is likely to continue as a forest asset for a substantial period into the future.
2 points:	The tree is young to middle age and shows normal vigor.
3 points:	The tree is young to middle age and shows exceptional vigor.

G. Are environmental conditions favorable to the tree?

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
score	2	1	1	1	1	1	1	1	2	1	2	1	1	1	1
Tree #	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30
score	2	1	1	1	1	1	2	1	2						

0 points:	The tree is crowded or has no room for growth to maturity. The tree has poor access to light, air or has poor soil for the species.
1 point:	The tree has average environmental conditions including room for growth to maturity, access to light, air and soils suitable for the species.
2 points:	The tree has room for growth to maturity with no crowding from other significant trees or existing buildings nearby. The tree also has excellent access to light, air and excellent soils for root development.

3 of 5

Part Three: Final Assessment

Record the total points scored on D - G for each tree.

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
score	7	5	5	5	5	6	6	7	7	8	1	6	6	6	6
Tree #	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30
score	8	5	7	7	7	6	6	8							

A. Did all assessment categories in Part Two achieve a minimum score of 1-point?

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
YES	x	x	x	x	x	x	x	x	x	x	x	x	x	x	x
NO															
Tree #	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30
YES	x	x	x	x	x	x	x	x	x						
NO															

B. Are there any other factors that would disqualify a tree from a determination of significance? (Explain any 'yes' answer)

Yes ___ Trees 17 and 21 are an acacia and a Eucalyptus which are invasive and non desirable species

Conclusion: Does The Tree Qualify As Significant Or Moderately Significant?

If the tree meets the species, size and safety criteria identified in Part One and scores at least one point under each of the criteria in Part Two, it shall be classified as Significant if it achieves a score of 6 or more points or shall be classified as Moderately Significant if it achieves a score of 4 or 5 points. Tree species not listed in Part One-B that meet other screening criteria in Part One may be classified by the City Forester as Significant if they score at least 7 points, or as Moderately Significant if they score at least 4 points. All other trees are classified as non-significant.

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
SIGNIF	x						x	x	x	x	x		x	x	x
MOD		x	x	x	x										
SIGNIF															
NOT															
SIGNIF												x			
Tree #	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30
SIGNIF	x		x	x	x	x	x	x							
MOD		x													
SIGNIF															
NOT															
SIGNIF															

4 of 5

Items to note:

Required Structural Root Zone

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
Feet	8	8	8	8	8	8	8	8	8	8	0	8	8	8	8
Tree #	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30
Feet	8	8	8	8	8	8	8	8							

Required Tree Protection Zone

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
Feet	12	12	12	12	12	12	12	12	12	12	0	12	12	12	12
Tree #	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30
Feet	12	12	12	12	12	12	12	12							

Requirements for tree preservation shall adhere to the following tree protection measures on construction site.

- Prior to grading, excavation, or construction, the developer shall clearly tag or mark all trees to be preserved.
- Excavation within 8 feet of a tree trunk is not permitted.
- No attachments or wires of any kind, other than those of a protective nature shall be attached to any tree.
- Per Municipal Code Chapter 17.48.110 no material may be stored within the dripline of a protected tree to include the drip lines of trees on neighboring parcels.
- Tree Protection Zone -- The Tree Protection Zone shall be equal to 1.5 x the distance of the structural root zone radially from the tree. Minimum of 4 foot high transparent fencing is required unless otherwise approved by the City Forester. Tree protection shall not be resized, modified, removed, or altered in any manner without written approval. The fencing must be maintained upright and taught for the duration of the project. No more than 4 inches of wood mulch shall installed be within the Tree Protection Zone. When the Tree Protection Zone is at or within the drip line, no less than 6 inches of wood mulch shall be installed 18 inches radially from the tree for every one inch of trunk diameter at 4.5 feet above the soil line outside of fencing.
- The Structural Root Zone -- Structural Root Zone shall be 6 feet from the trunk or 6 inches radially from the tree for every one inch of trunk diameter at 4.5' above the soil line, whichever is greater. Any excavation or changes to the grade shall be approved by the City Forester prior to work. Excavation within the Structural Root Zone shall be performed with pneumatic excavator, hydrovac at low pressure, or other method that does not sever roots.
- If roots greater than 2 inches in diameter or larger are encountered within the approved Structural Root Zone the City Forester shall be contacted for approval to make any root cuts or alterations to structures to prevent roots from being damaged.
- If roots larger than 2 inches in diameter are cut without prior City Forester approval or any significant tree is endangered as a result of construction activity, the building permit will be suspended and all work stopped until an investigation by the City Forester has been completed and mitigation measures have been put in place.

5 of 5

GONZALEZ-DWEN RESIDENCE

SE CORNER 5TH AVE AND SANTA FE STREET,
CARMEL-BY-THE-SEA CALIFORNIA 93921

SURVEY AND TREE
ASSESSMENT

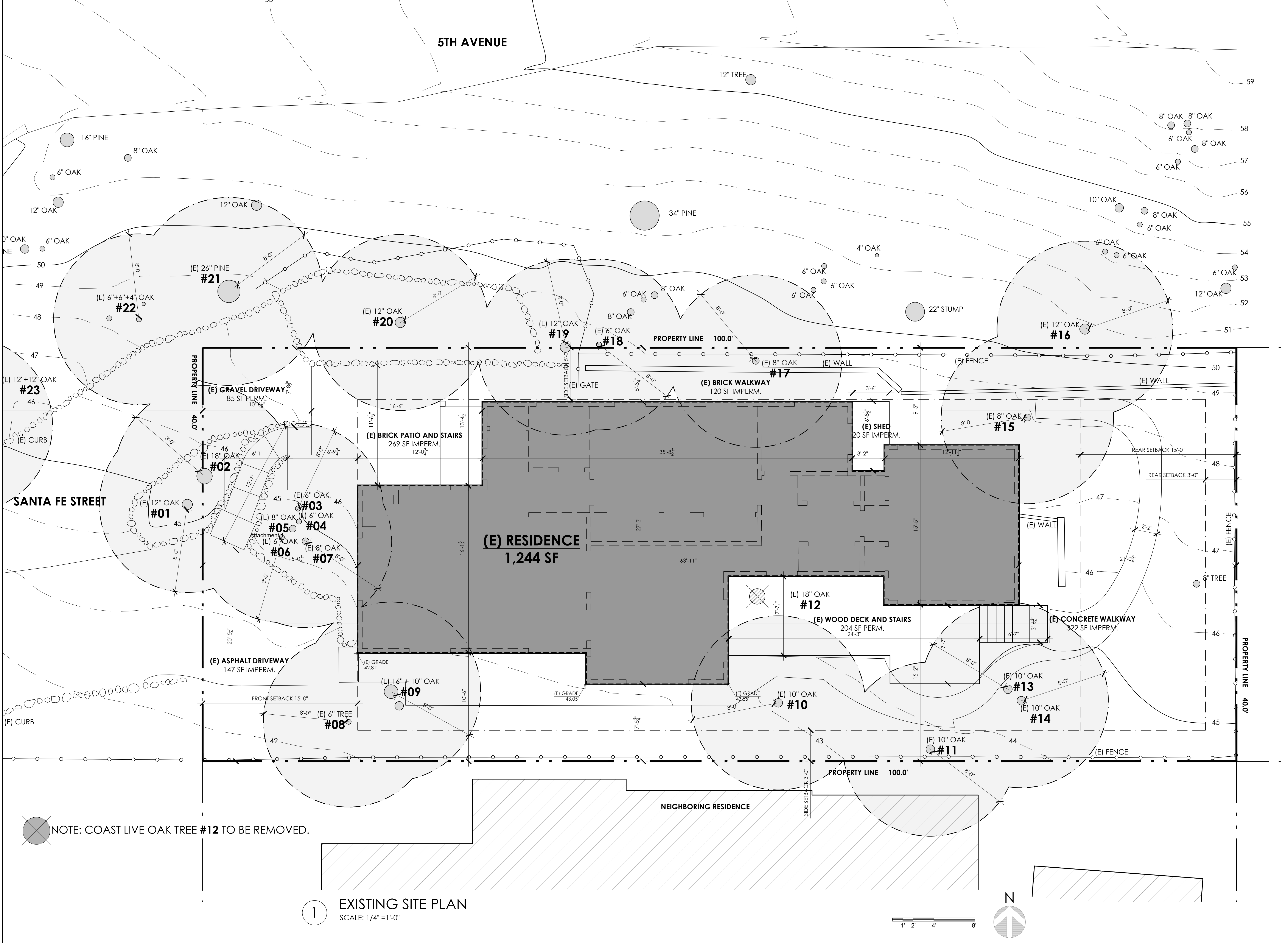
5/9/2025

AS NOTED

A1



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ARCHITECT



1 EXISTING SITE PLAN
SCALE: 1/4" = 1'-0"

ADAM JESELNICK
ARCHITECT



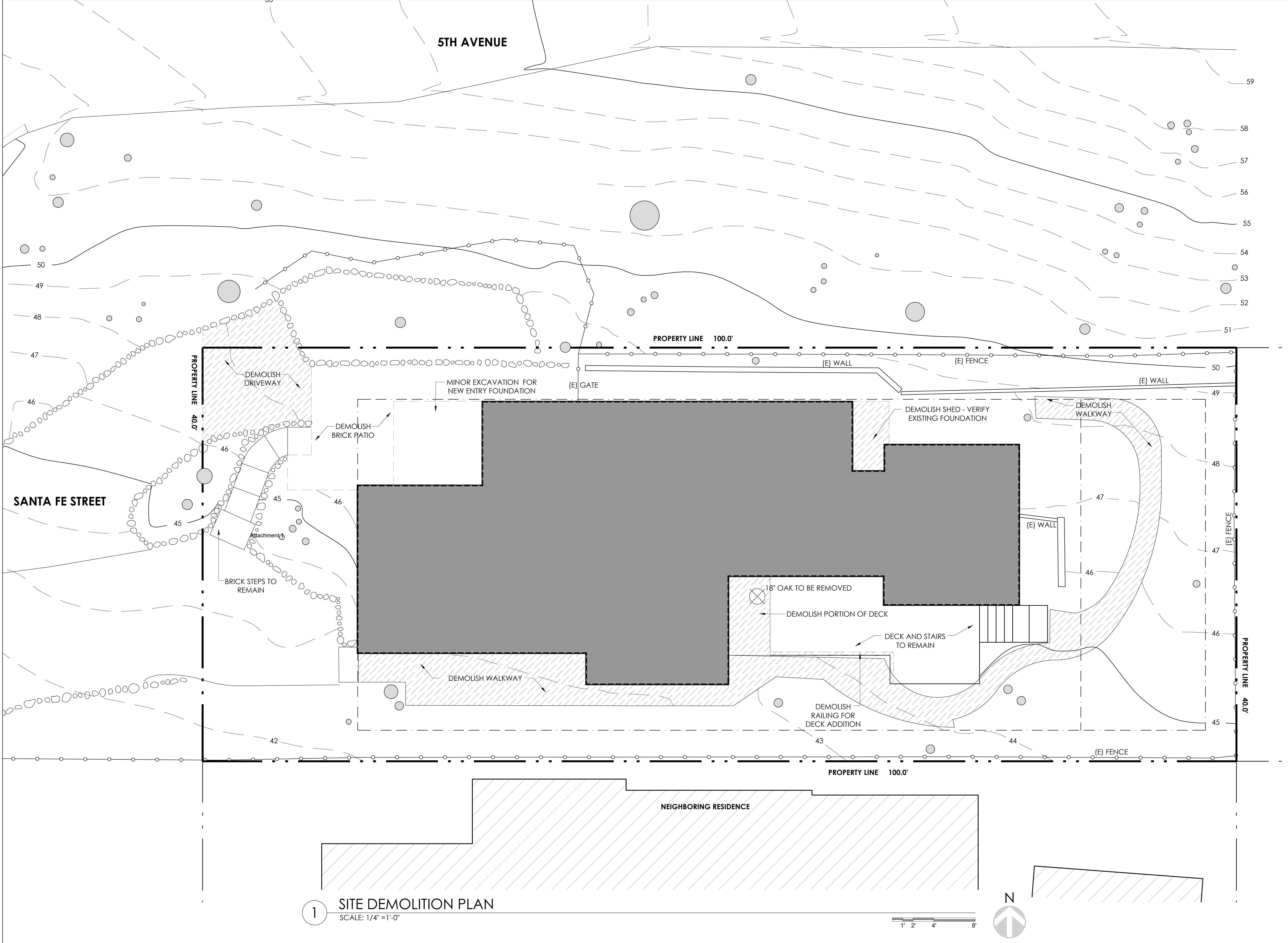
GONZALEZ-DWEN RESIDENCE
SE CORNER 5TH AVE AND SANTA FE STREET,
CARMEL-BY-THE-SEA CALIFORNIA 93921

EXISTING SITE PLAN

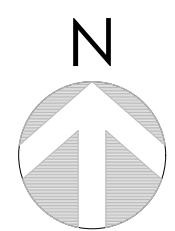
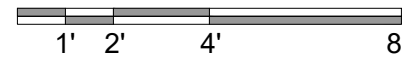
5/9/2025

1/4" = 1'-0"

A2



1 SITE DEMOLITION PLAN
SCALE: 1/4" = 1'-0"



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ARCHITECT



GONZALEZ-DWEN RESIDENCE
SE CORNER 5TH AVE AND SANTA FE STREET,
CARMEL-BY-THE-SEA CALIFORNIA 93921

SITE DEMOLITION
PLAN

5/9/2025

1/4" = 1'-0"

A3



GONZALEZ-DWEN RESIDENCE
SE CORNER 5TH AVE AND SANTA FE STREET,
CARMEL-BY-THE-SEA CALIFORNIA 93921

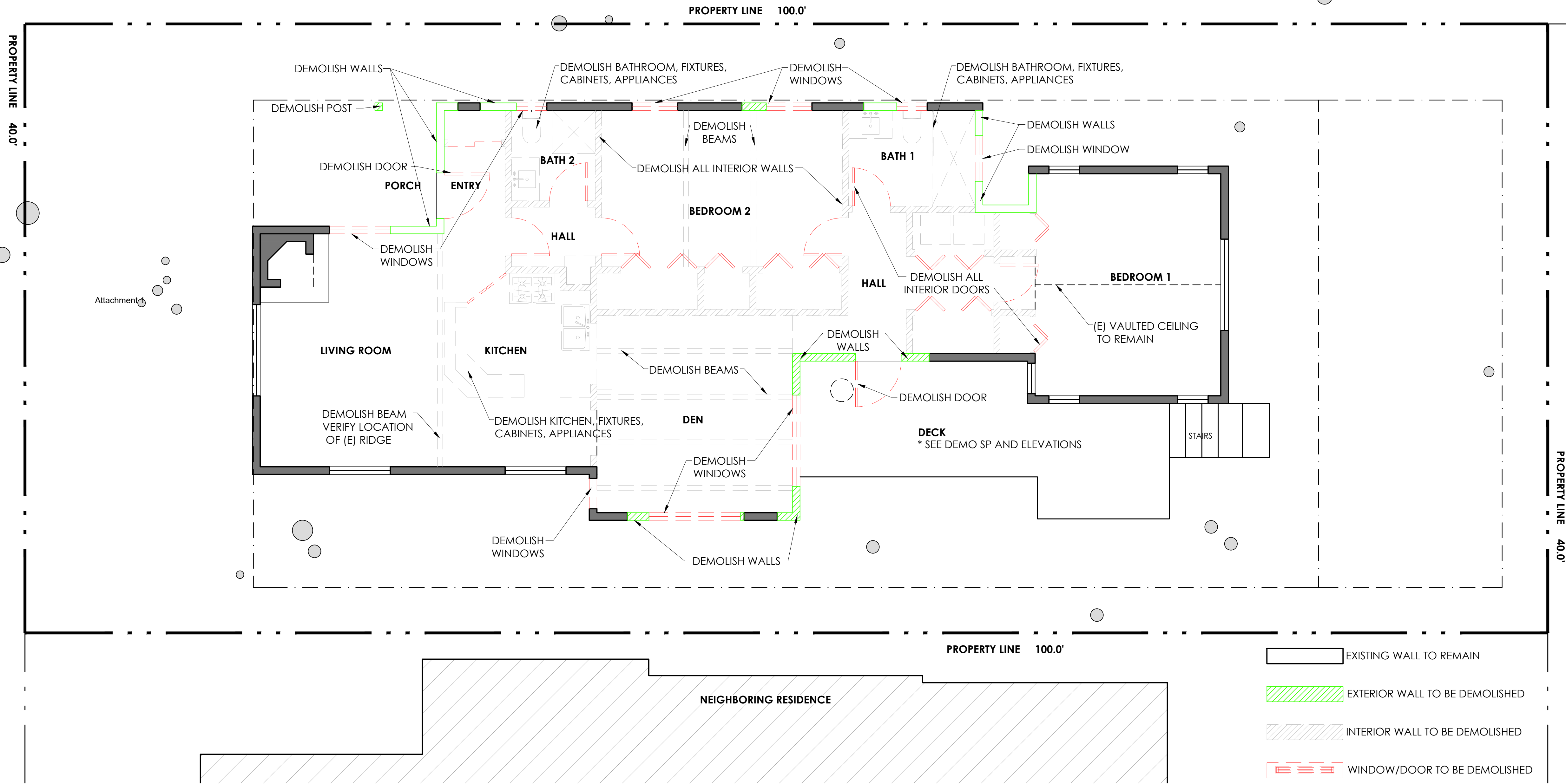
DEMOLITION PLAN

5/9/2025

1/4" = 1'-0"

A6

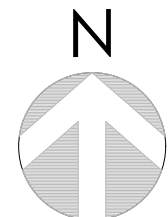
EXTERIOR WALLS DEMOLITION:
EXISTING WALLS: 193'-8"
DEMOLITION WALLS: 67'-8"
% DEMOLITION WALLS: **34.93%**



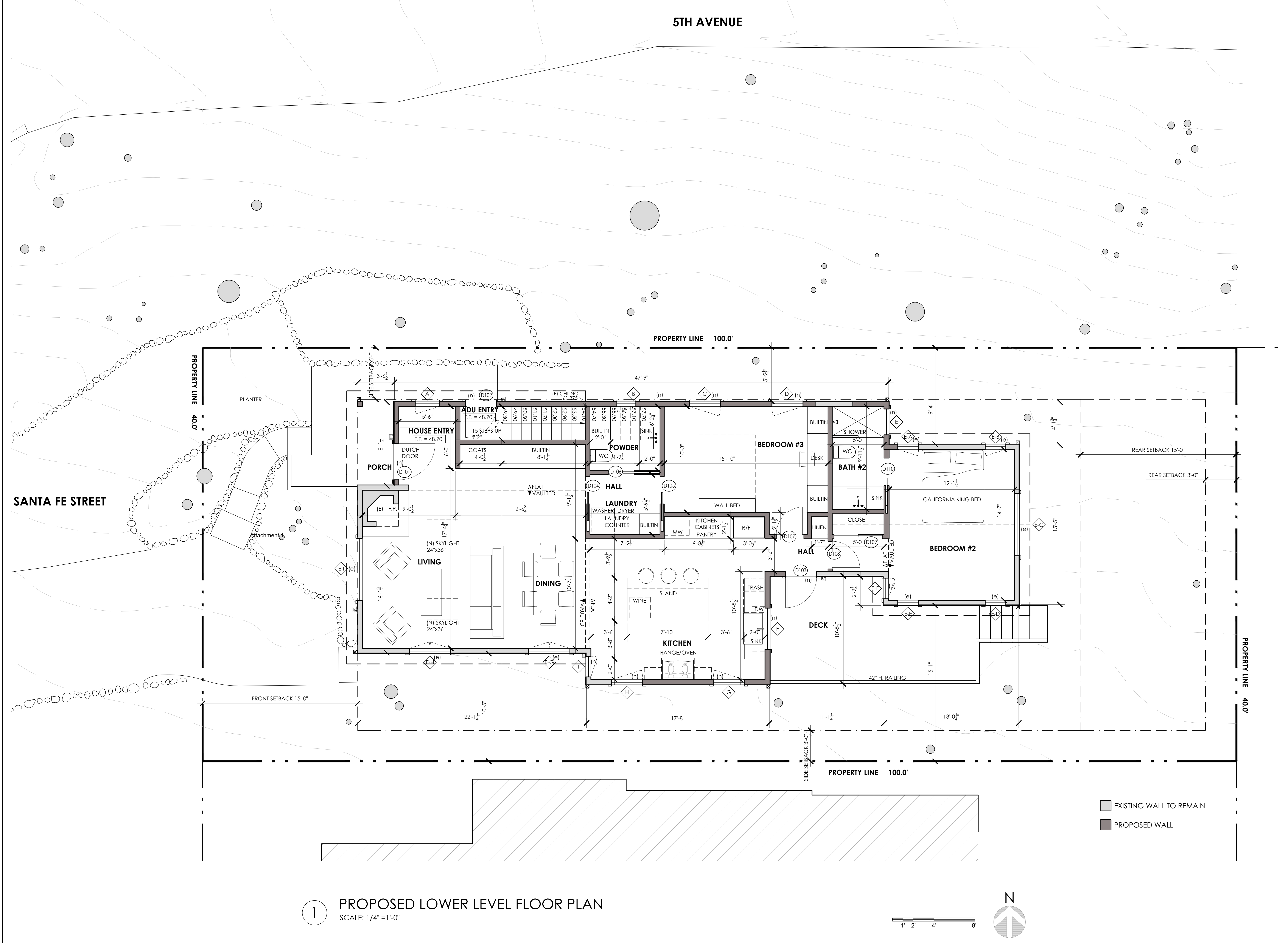
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DEMOLITION PLAN
SCALE: 1/4" = 1'-0"

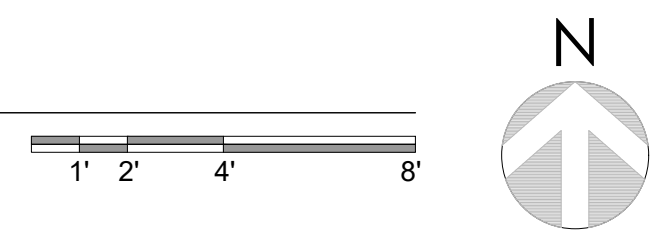
1' 2' 4' 8'



- NOTES:
1. DEMOLISH ALL INTERIOR WALLS.
 2. DEMOLISH ALL INTERIOR DOORS.
 3. DEMOLISH ALL BATHROOMS, FIXTURES, CABINETS, APPLIANCES.
 4. DEMOLISH KITCHEN, FIXTURES, CABINETS, APPLIANCES.
 5. REPLACE ALL EXTERIOR WOOD SIDING EXCEPT FOR WALLS BR#1.
 6. DEMOLISH SITE COVERAGE PER PLAN A3.



1 PROPOSED LOWER LEVEL FLOOR PLAN
SCALE: 1/4" = 1'-0"



EXISTING WALL TO REMAIN
PROPOSED WALL

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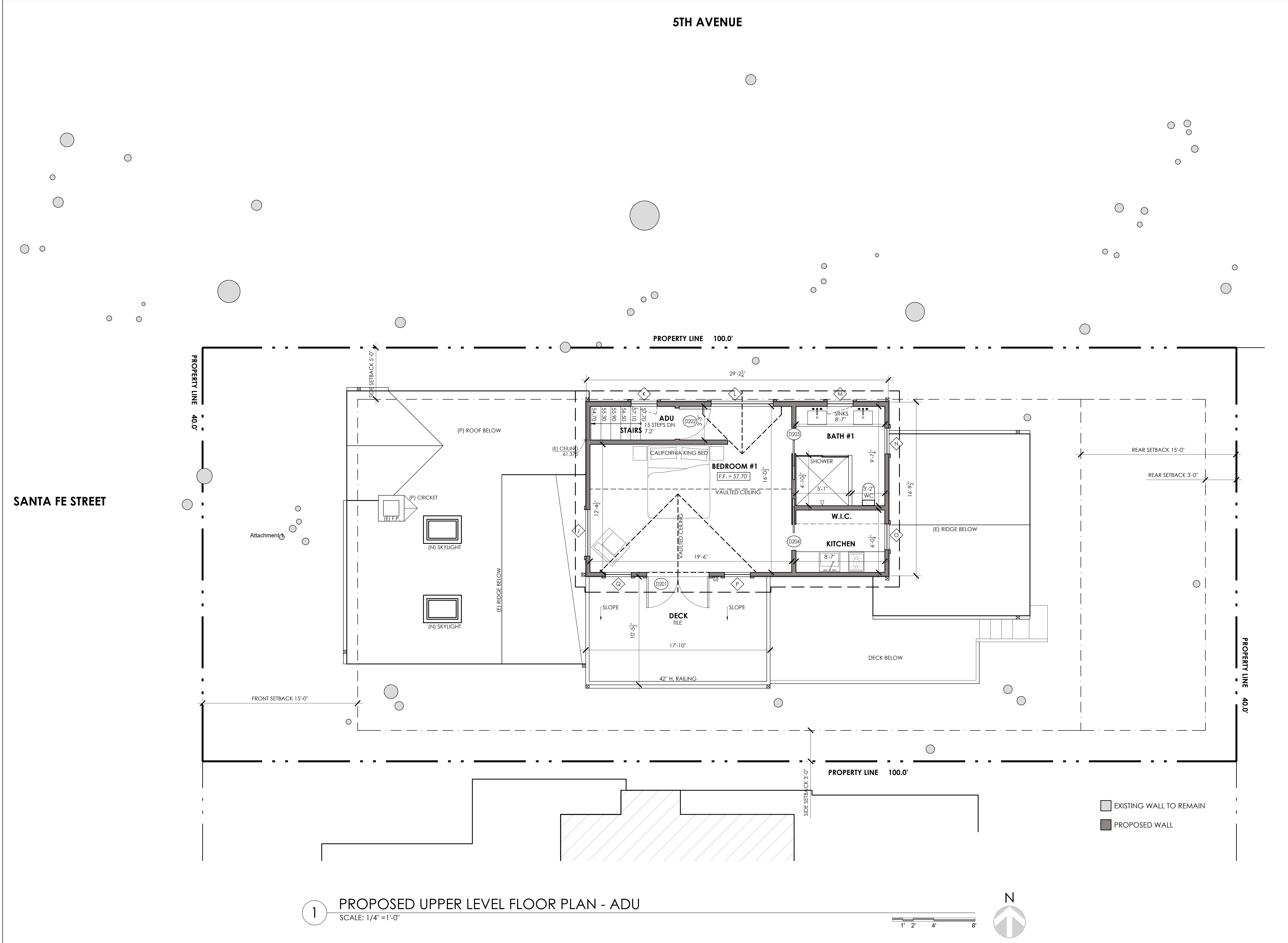
GONZALEZ-DWEN RESIDENCE
SE CORNER 5TH AVE AND SANTA FE STREET,
CARMEL-BY-THE-SEA CALIFORNIA 93921

PROPOSED FLOOR
PLAN

5/9/2025

1/4" = 1'-0"

A7



ADAM JESELNICK
ARCHITECT

LICENSED ARCHITECT
ADAM JESELNICK
No. C33090
Renew 3/31/25
STATE OF CALIFORNIA

GONZALEZ-DWEN RESIDENCE
SE CORNER 5TH AVE AND SANTA FE STREET,
CARMEL-BY-THE-SEA CALIFORNIA 93921

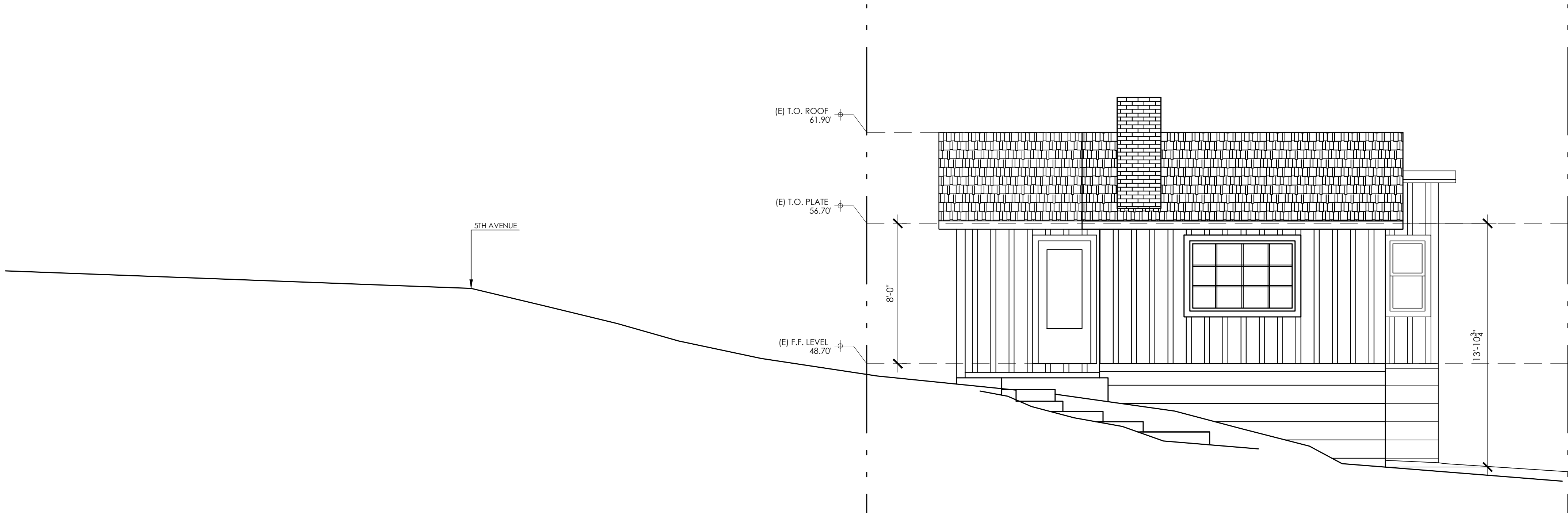
PROPOSED FLOOR
PLAN - ADU

5/9/2025

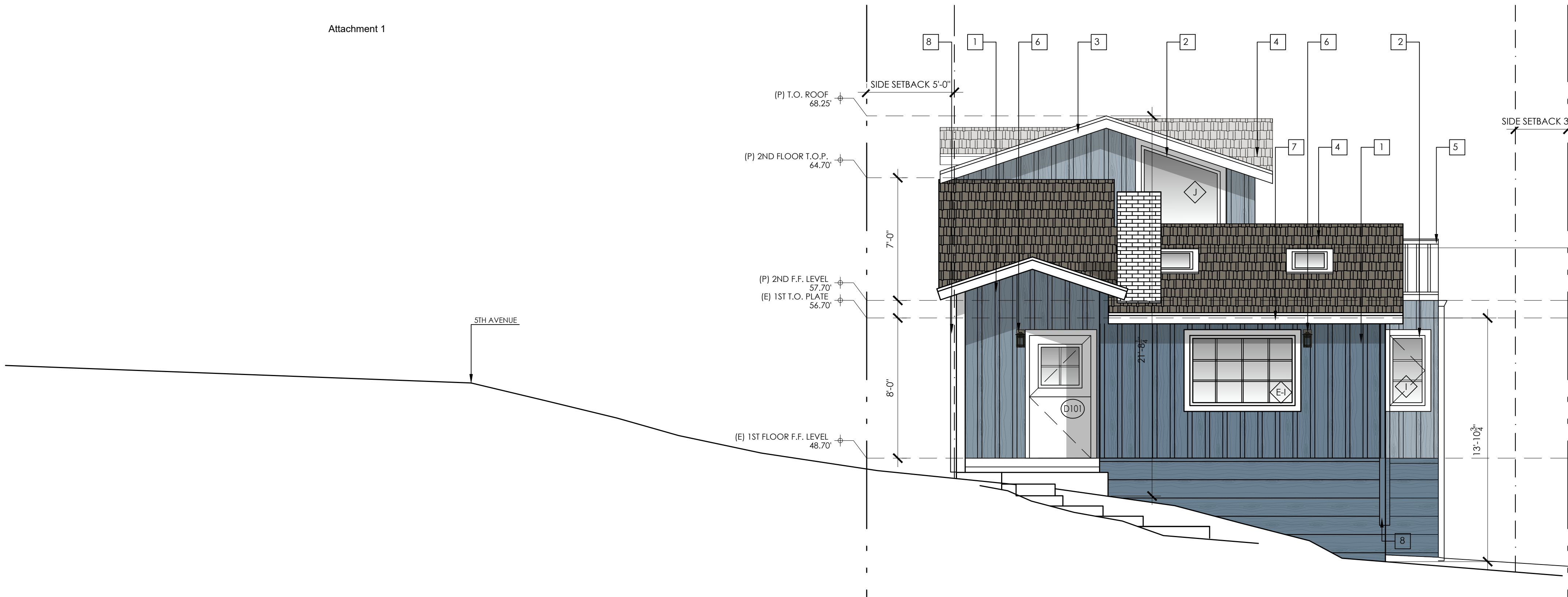
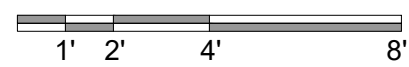
1/4" = 1'-0"

A8

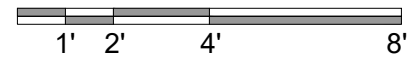
TRACK 2 DESIGN APPROVAL SET



1 EXISTING WEST (FRONT-SANTA FE ST) ELEVATION
SCALE: 1/4" = 1'-0"



2 PROPOSED WEST (FRONT-SANTA FE ST) ELEVATION
SCALE: 1/4" = 1'-0"



KEYNOTES	
1	VERTICAL WOOD; BOARD AND BATTEN 3" EVERY 12". PAINTED SW 6811 HONORABLE BLUE
2	DOOR AND WDWS. SIERRA PACIFIC, DIVIDED LITES. ALUMINUM CLAD. MATTE TEXTURED COLLECTION - THE PERFECT WHITE 404
3	WINDOWS WOOD TRIM & FASCIA PAINTED WOOD, TO MATCH WINDOW COLOR.
4	COMPOSITE SHINGLE ROOF CERTAINTED PRESIDENTIAL SHAKE TL - AUTUMN BLEND
5	DECK RAILING WOOD RAILING - PAINTED.
6	OUTDOOR LIGHT FIXTURE WAC - NEST OUTDOOR WALL SCONCE 3000K 12" BRONZE
7	GUTTERS ALUMINUM. PAINTED. TO MATCH FASCIA.
8	DOWNSPOUTS ALUMINUM. PAINTED. TO MATCH EXTERIOR BOARD AND BATTEN.

NOTES:
1. MATCH EXISTING MATERIALS.



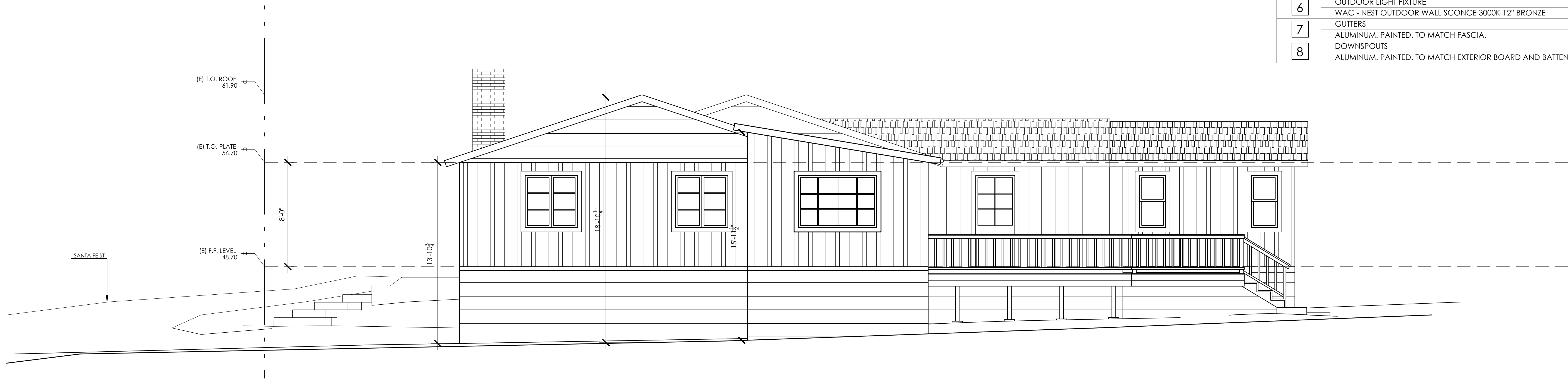
GONZALEZ-DWEN RESIDENCE
SE CORNER 5TH AVE AND SANTA FE STREET,
CARMEL-BY-THE-SEA CALIFORNIA 93921

WEST (SANTA FE ST)
ELEVATIONS

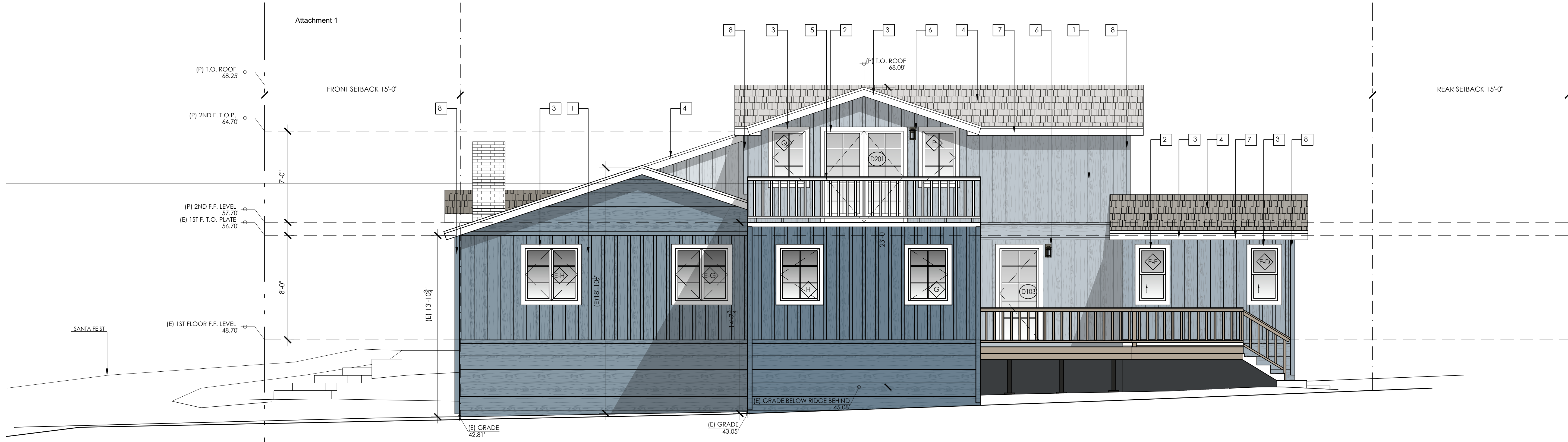
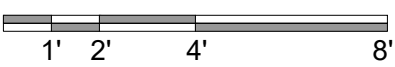
5/9/2025

1/4" = 1'-0"

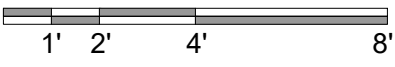
A9



1 EXISTING NORTH (SIDE-5TH AVE) ELEVATION
SCALE: 1/4" = 1'-0"



2 PROPOSED NORTH (SIDE-5TH AVE) ELEVATION
SCALE: 1/4" = 1'-0"



NOTES:
1. MATCH EXISTING MATERIALS.

KEYNOTES

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GONZALEZ-DWEN RESIDENCE
SE CORNER 5TH AVE AND SANTA FE STREET,
CARMEL-BY-THE-SEA CALIFORNIA 93921

NORTH (5TH AVE)
ELEVATIONS

5/9/2025

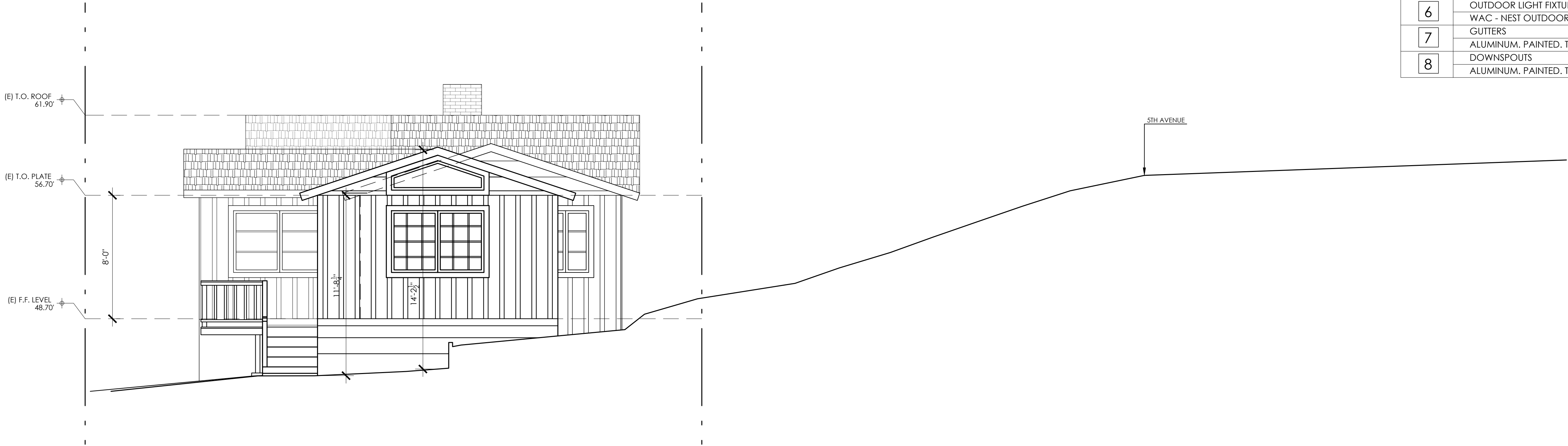
1/4" = 1'-0"

A10

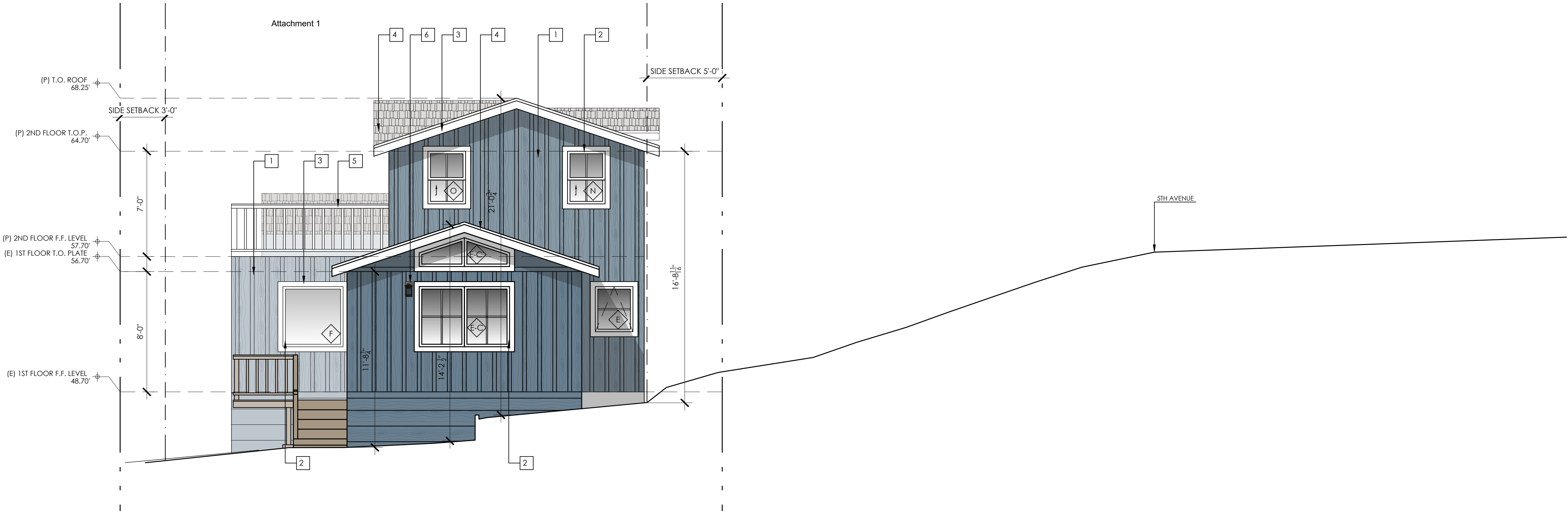
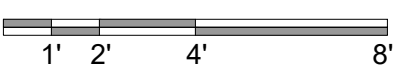
ADAM JESELNICK
ARCHITECT



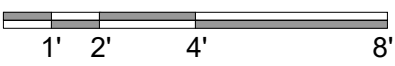
KEYNOTES	
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1 EXISTING EAST (REAR) ELEVATION
SCALE: 1/4" = 1'-0"



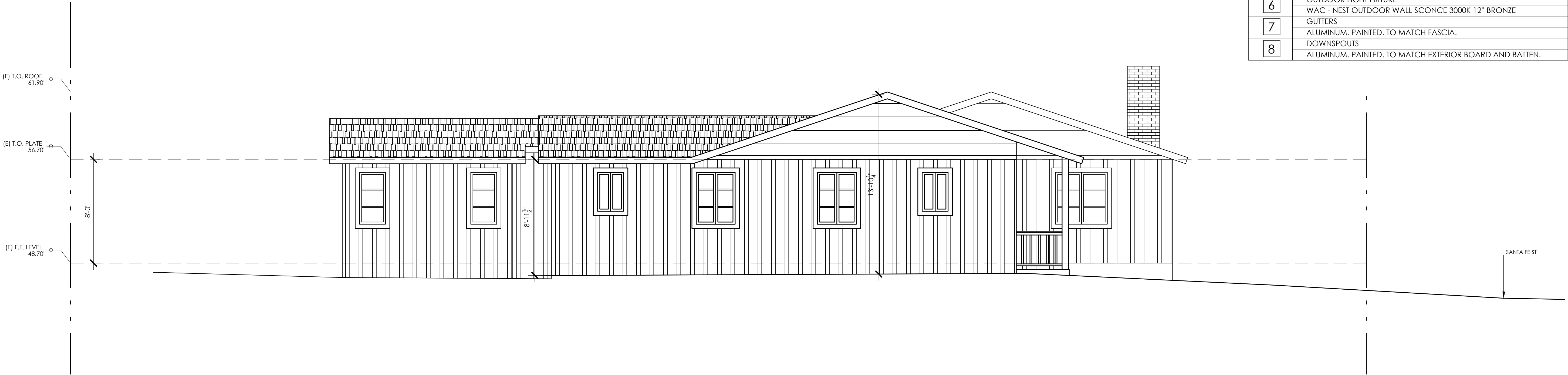
2 PROPOSED EAST (REAR) ELEVATION
SCALE: 1/4" = 1'-0"



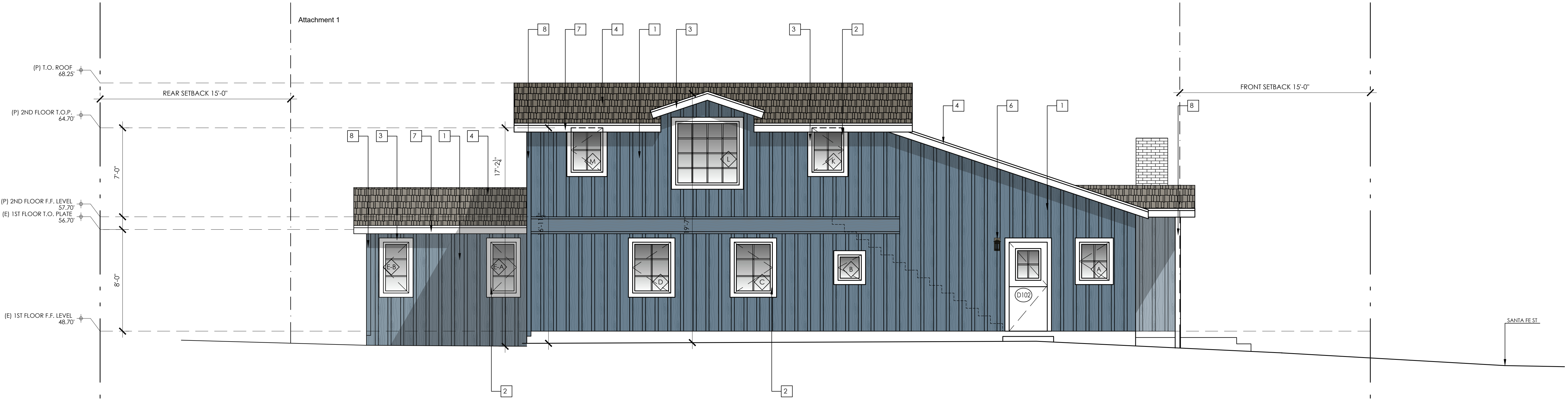
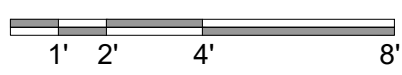
NOTES:
1. MATCH EXISTING MATERIALS.

KEYNOTES

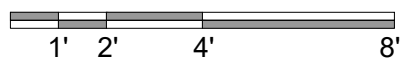
1	VERTICAL WOOD; BOARD AND BATTEN 3" EVERY 12". PAINTED SW 6811 HONORABLE BLUE
2	DOOR AND WDWS. SIERRA PACIFIC, DIVIDED LITES. ALUMINUM CLAD. MATTE TEXTURED COLLECTION - THE PERFECT WHITE 404
3	WINDOWS WOOD TRIM & FASCIA PAINTED WOOD, TO MATCH WINDOW COLOR.
4	COMPOSITE SHINGLE ROOF CERTAINTED PRESIDENTIAL SHAKE TL - AUTUMN BLEND
5	DECK RAILING WOOD RAILING - PAINTED.
6	OUTDOOR LIGHT FIXTURE WAC - NEST OUTDOOR WALL SCONCE 3000K 12" BRONZE
7	GUTTERS ALUMINUM. PAINTED, TO MATCH FASCIA.
8	DOWNSPOUTS ALUMINUM. PAINTED, TO MATCH EXTERIOR BOARD AND BATTEN.



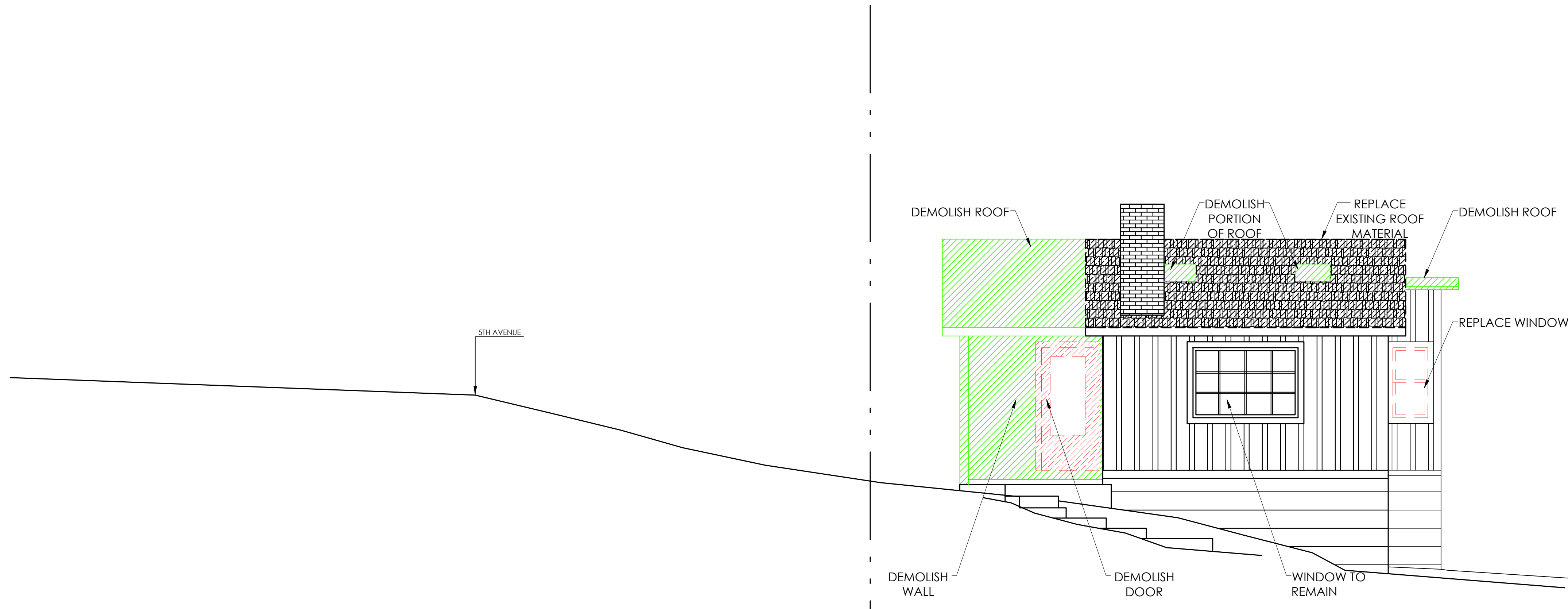
1 EXISTING SOUTH (SIDE) ELEVATION
SCALE: 1/4" = 1'-0"



2 PROPOSED SOUTH (SIDE) ELEVATION
SCALE: 1/4" = 1'-0"



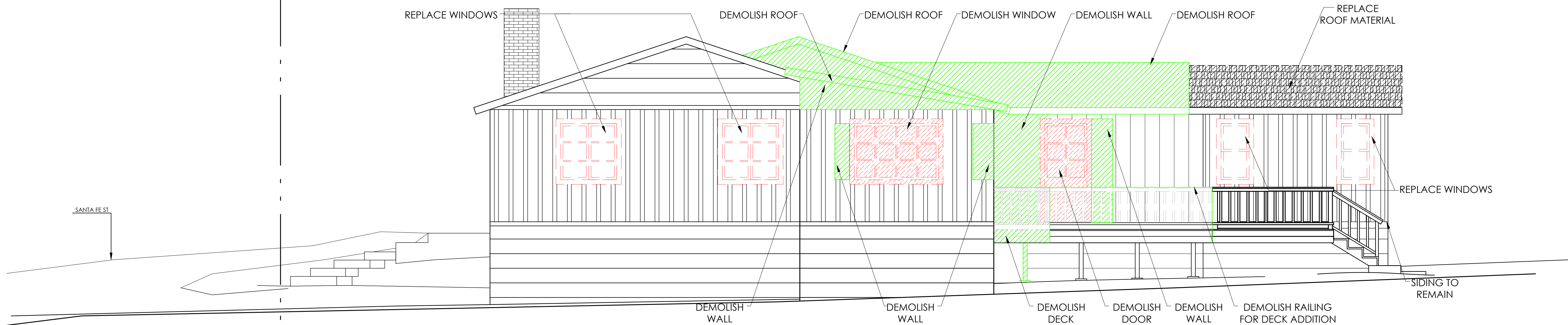
NOTES:
1. MATCH EXISTING MATERIALS.



1 DEMOLITION WEST (FRONT-SANTA FE ST) ELEVATION
SCALE: 1/4" = 1'-0"



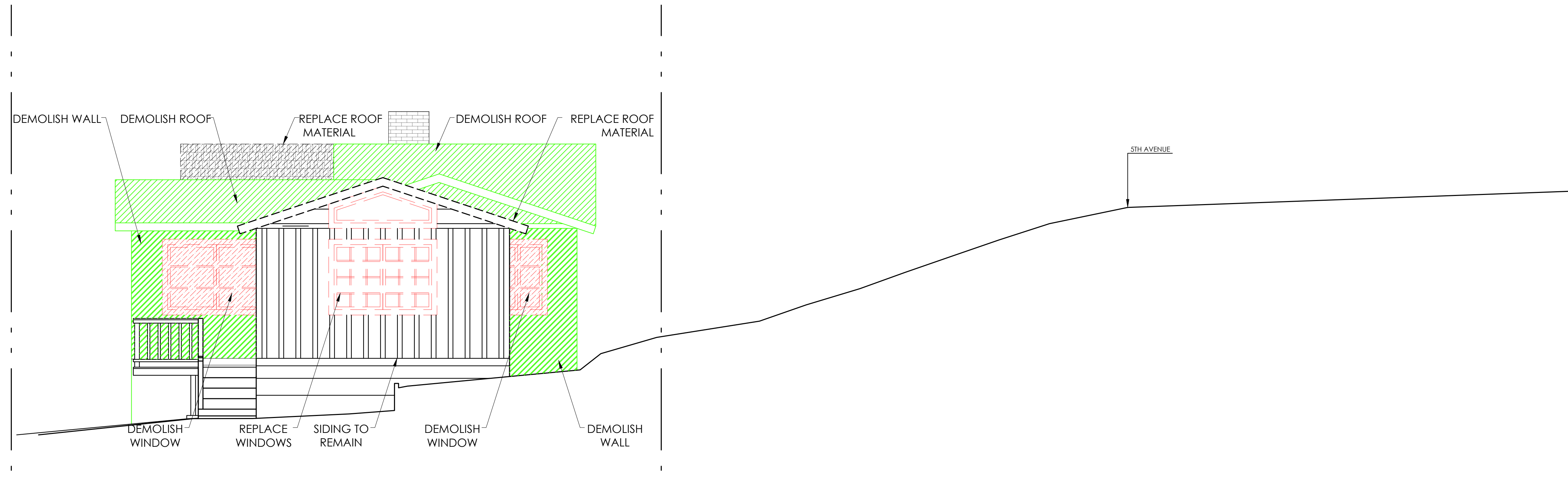
Attachment 1



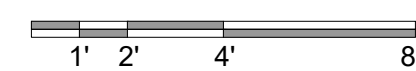
2 DEMOLITION SOUTH (SIDE) ELEVATION
SCALE: 1/4" = 1'-0"



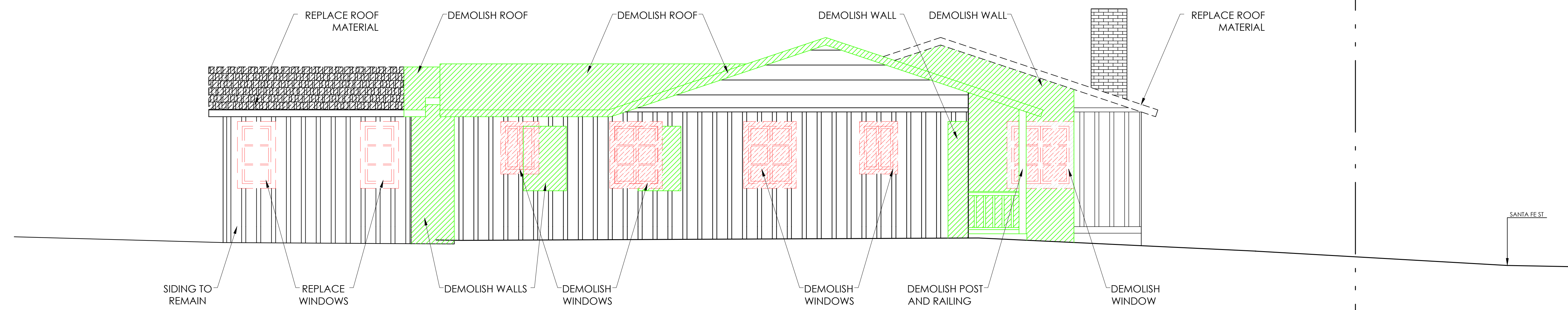
- NOTES:
1. REPLACE ALL EXTERIOR WOOD SIDING EXCEPT FOR WALLS BR#1.
 2. REPLACE EXISTING WINDOWS AS NOTED.



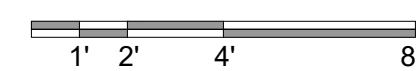
1 DEMOLITION EAST (BACK) ELEVATION
SCALE: 1/4" = 1'-0"



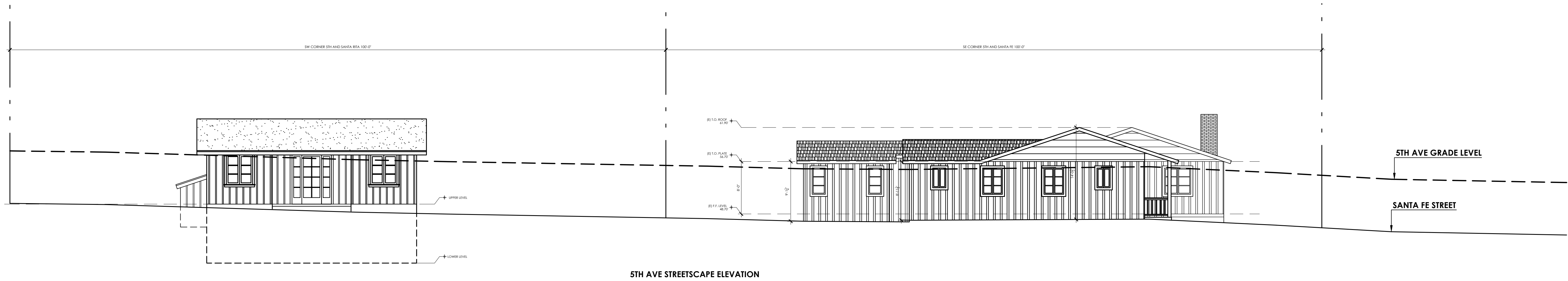
Attachment 1



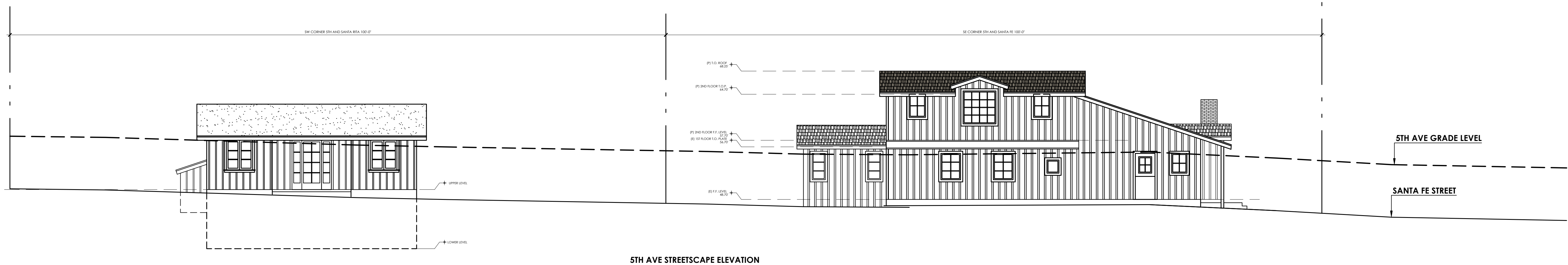
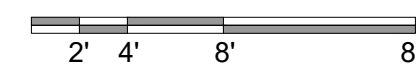
2 DEMOLITION NORTH (5TH AVE SIDE) ELEVATION
SCALE: 1/4" = 1'-0"



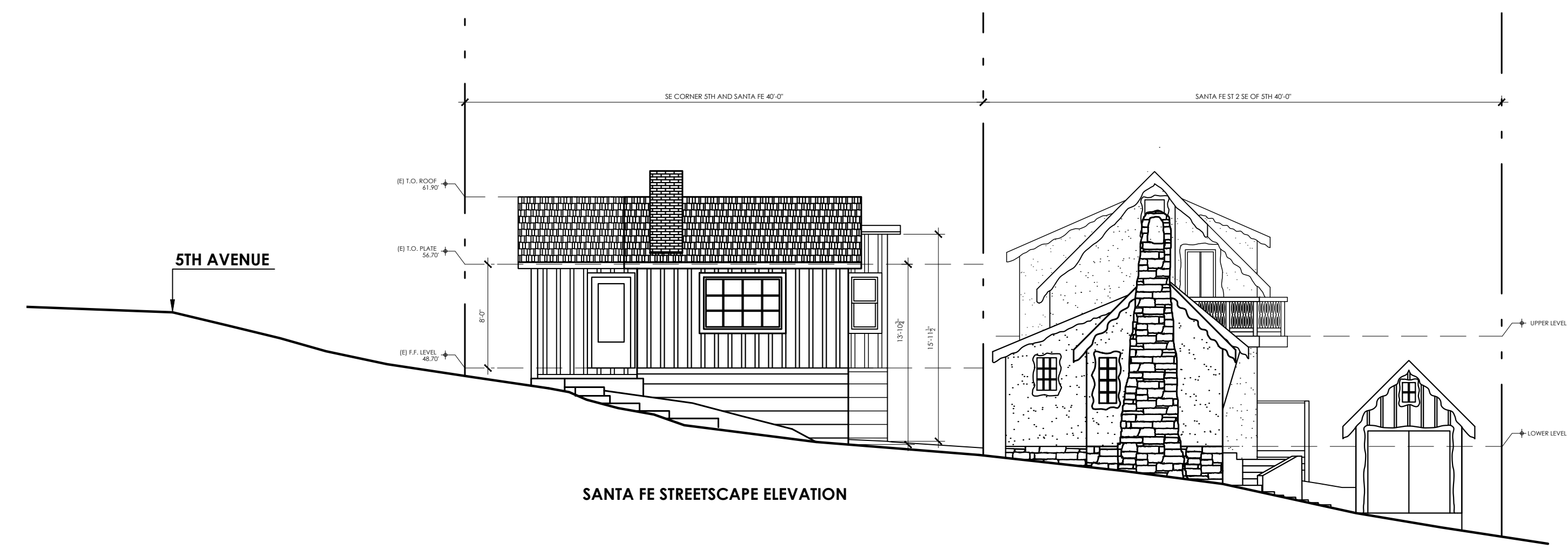
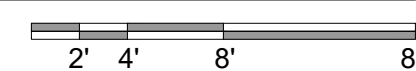
- NOTES:
- 1. REPLACE ALL EXTERIOR WOOD SIDING EXCEPT FOR WALLS BR#1.
 - 2. REPLACE EXISTING WINDOWS AS NOTED.



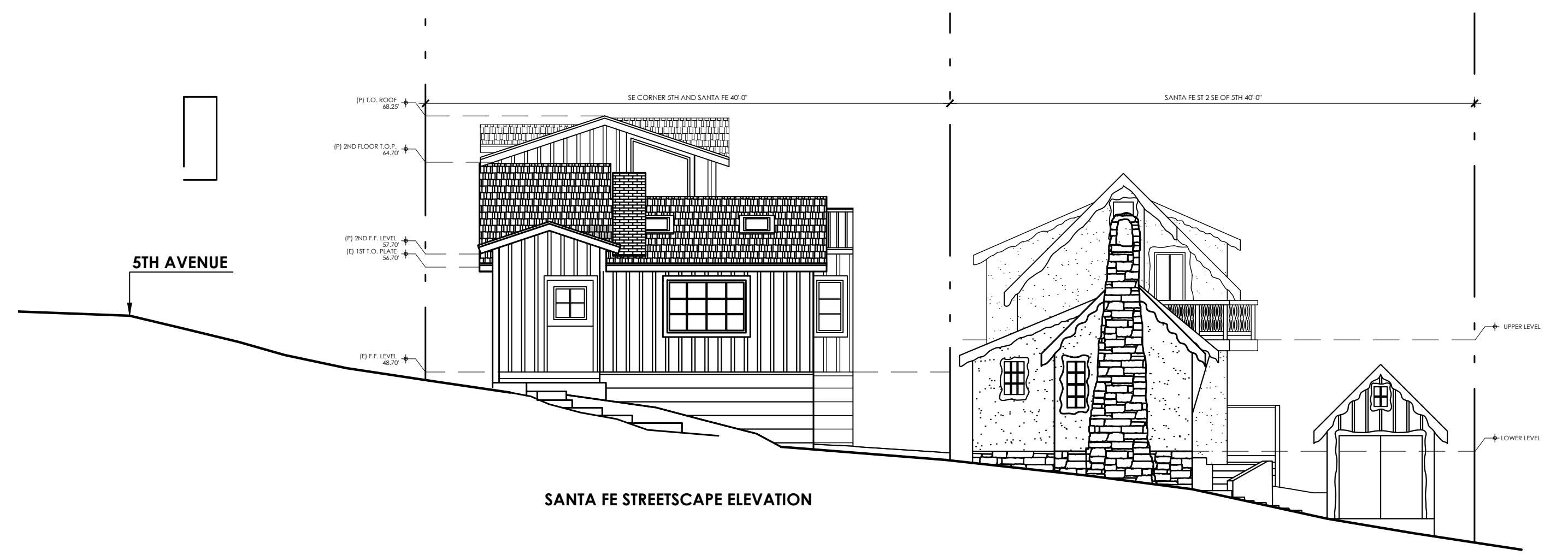
1 EXISTING NORTH (SIDE) STREETSCAPE ELEVATION
SCALE: 1/8" = 1'-0"



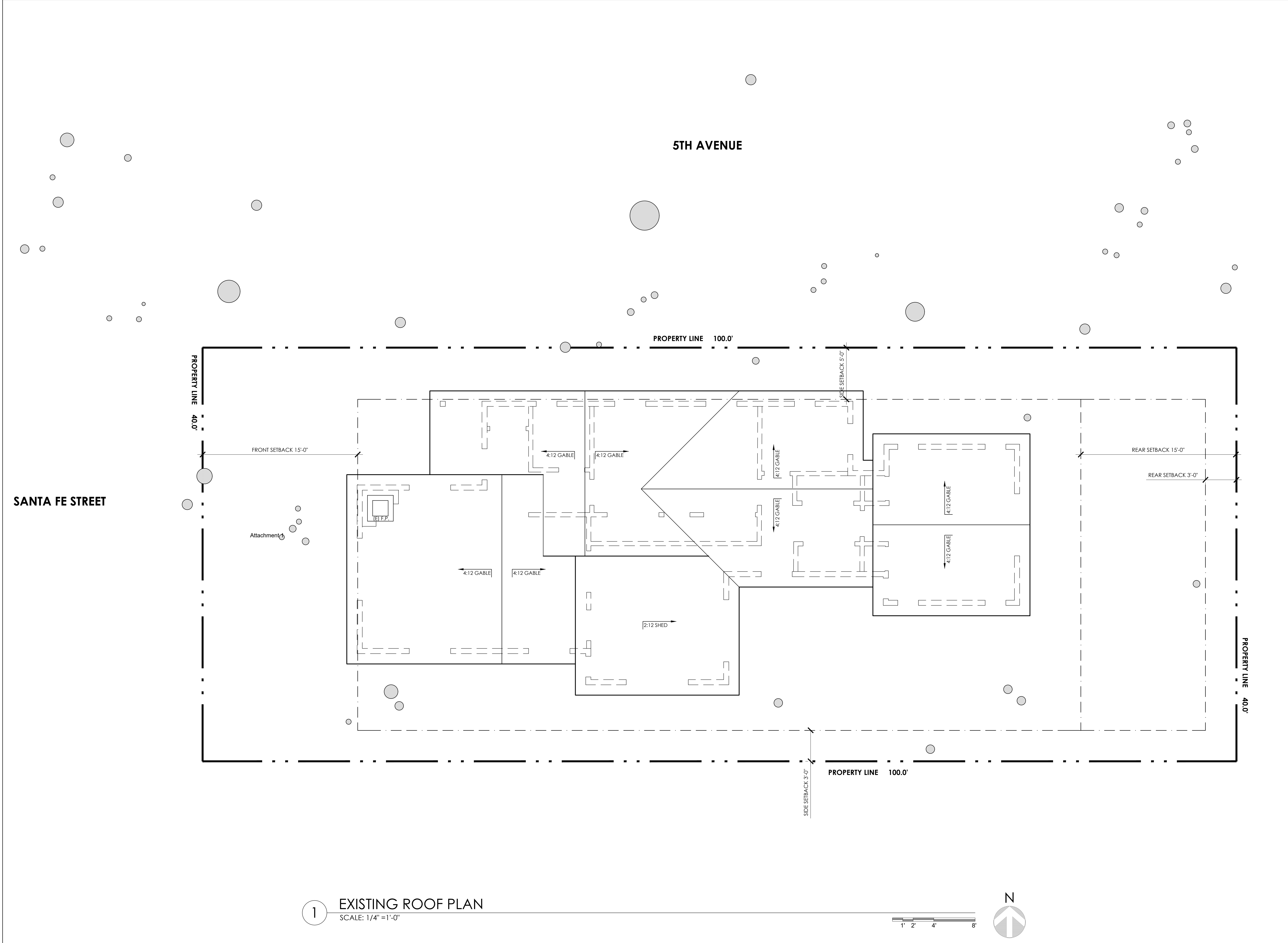
Attachment 1
2 PROPOSED NORTH (SIDE) STREETSCAPE ELEVATION
SCALE: 1/8" = 1'-0"



3 EXISTING WEST (FRONT) STREETSCAPE ELEVATION
SCALE: 1/8" = 1'-0"



4 PROPOSED WEST (FRONT) STREETSCAPE ELEVATION
SCALE: 1/8" = 1'-0"



GONZALEZ-DWEN RESIDENCE
SE CORNER 5TH AVE AND SANTA FE STREET,
CARMEL-BY-SEA CALIFORNIA 93921

ADAM JESELNICK
ARCHITECT

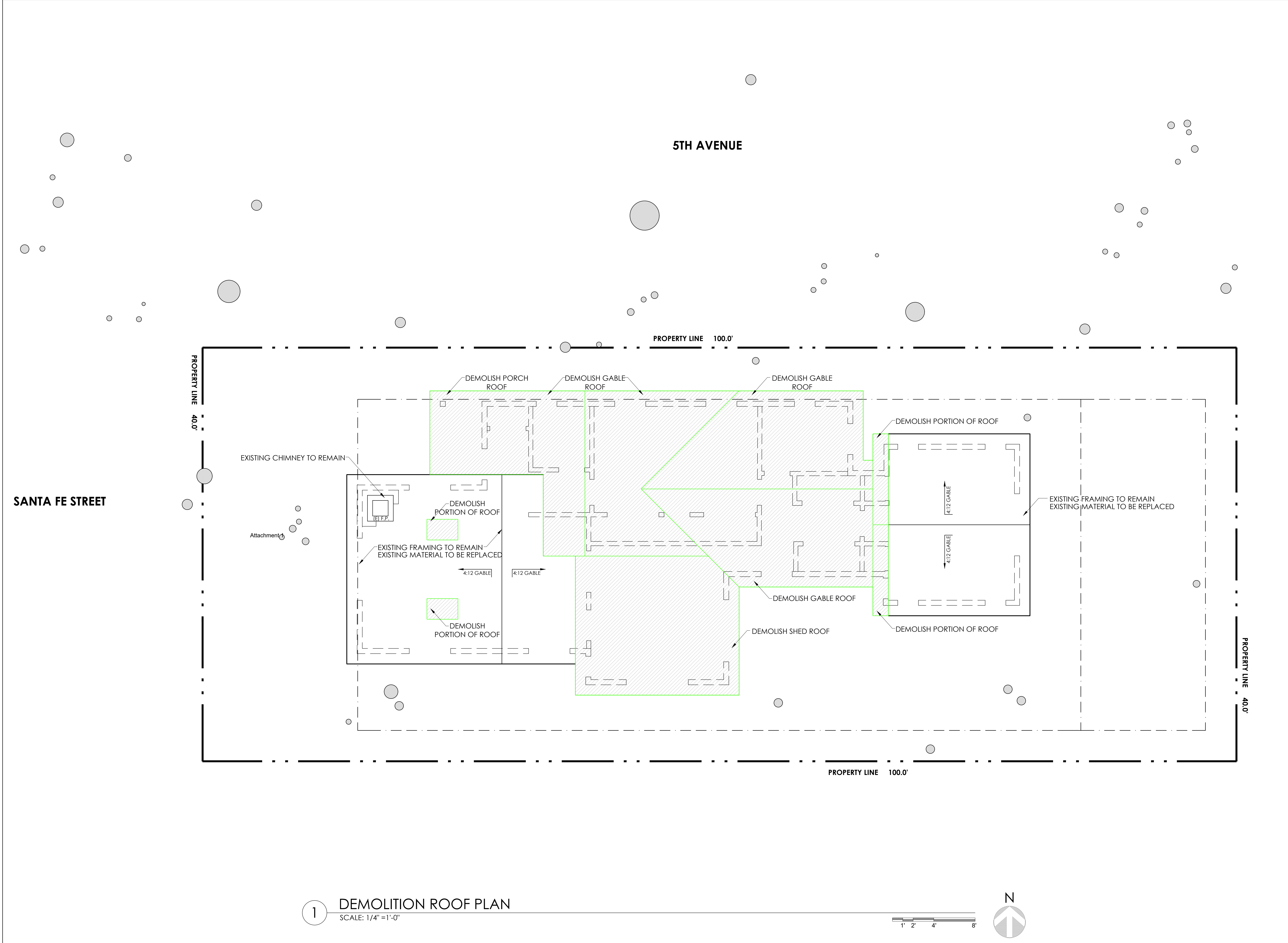


EXISTING ROOF
PLAN

5/9/2025

1/4" = 1'-0"

A16



ADAM JESELNICK
ARCHITECT

LICENSED ARCHITECT
ADAM JESELNICK
No. C33090
Renew 3/31/25
STATE OF CALIFORNIA

GONZALEZ-DWEN RESIDENCE
SE CORNER 5TH AVE AND SANTA FE STREET,
CARMEL-BY-SEA CALIFORNIA 93921

DEMOLITION ROOF
PLAN

5/9/2025

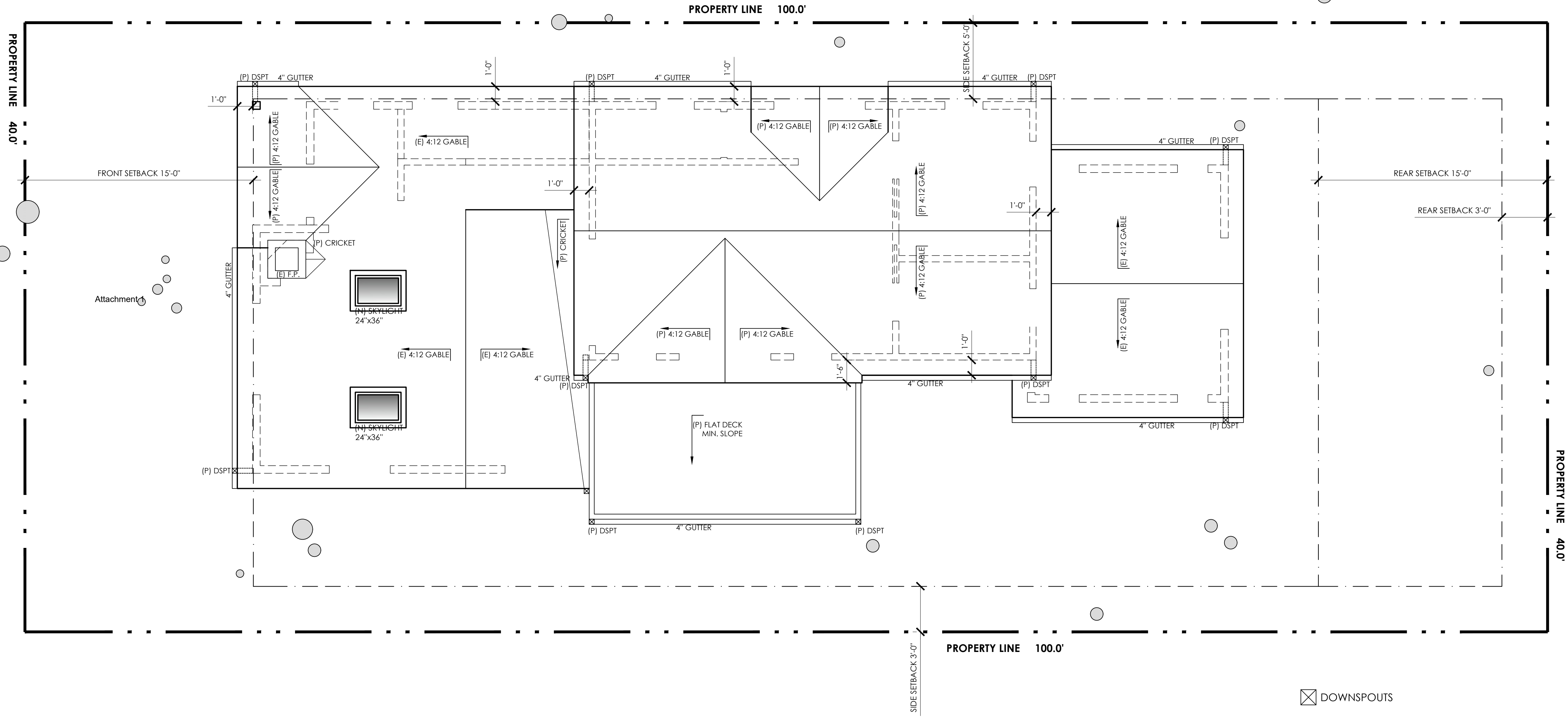
1/4" = 1'-0"

A17

TRACK 2 DESIGN APPROVAL SET

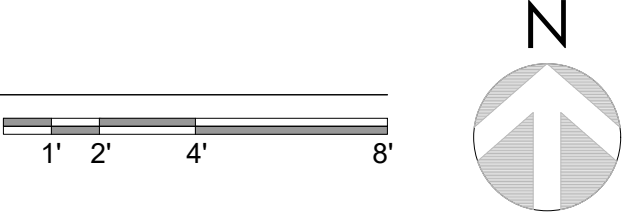
SANTA FE STREET

5TH AVENUE

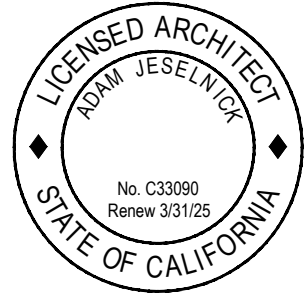


- ☒ DOWNSPOUTS
- (E) (E) FRAMING TO REMAIN, (P) MATERIAL TO BE REPLACED
- (P) (P) FRAMING AND MATERIAL

1 PROPOSED ROOF PLAN
SCALE: 1/4" = 1'-0"



ADAM JESELNICK
ARCHITECT



GONZALEZ-DWEN RESIDENCE
SE CORNER 5TH AVE AND SANTA FE STREET,
CARMEL-BY-THE-SEA CALIFORNIA 93921

PROPOSED ROOF
PLAN

5/9/2025

1/4" = 1'-0"

A18

GONZALEZ DWEN RESIDENCE - WINDOW SCHEDULE						
REVISION	TYPE / LETTER	SIZE [WIDTH x HEIGHT]	R.O.	MATERIAL	TYPE	NUMBERED NOTES / REMARKS
		LOWER LEVEL				
	A	2'-4" x 3'-0"		ALUMINUM CLAD WOOD	CSMT	DUAL GLAZED
	B	1'-10" x 2'-0"		ALUMINUM CLAD WOOD	CSMT	DUAL GLAZED - FROSTED
	C	3'-0" x 4'-0"		ALUMINUM CLAD WOOD	CSMT	DUAL GLAZED
	D	3'-0" x 4'-0"		ALUMINUM CLAD WOOD	CSMT	DUAL GLAZED
	E	2'-6" x 3'-0"		ALUMINUM CLAD WOOD	AWNING	DUAL GLAZED - FROSTED
	F	4'-0" x 4'-0"		ALUMINUM CLAD WOOD	FIXED	DUAL GLAZED
	G	3'-0" x 4'-0"		ALUMINUM CLAD WOOD	CSMT	DUAL GLAZED
	H	3'-0" x 4'-0"		ALUMINUM CLAD WOOD	CSMT	DUAL GLAZED
	I	2'-0" x 4'-0"		ALUMINUM CLAD WOOD	CSMT	DUAL GLAZED
		UPPER LEVEL				
	J	4'-6" x RAKED 4'-4 TO 5'-10""		ALUMINUM CLAD WOOD	FIXED	DUAL GLAZED
	K	2'-6" x 3'-6"		ALUMINUM CLAD WOOD	CSMT	DUAL GLAZED
	L	5'-0" x 5'-0"		ALUMINUM CLAD WOOD	FIXED	DUAL GLAZED
	M	2'-6" x 3'-6"		ALUMINUM CLAD WOOD	CSMT	DUAL GLAZED
	N	2'-6" x 3'-6"		ALUMINUM CLAD WOOD	DOUBLE HUNG	DUAL GLAZED - FROSTED
	O	2'-6" x 3'-6"		ALUMINUM CLAD WOOD	DOUBLE HUNG	DUAL GLAZED - FROSTED
	P	2'-6" x 4'-0"		ALUMINUM CLAD WOOD	FIXED	DUAL GLAZED
	Q	2'-6" x 4'-0"		ALUMINUM CLAD WOOD	FIXED	DUAL GLAZED
		EXISTING TO BE REPLACED			*VERIFY SIZE ON SITE	
	E-A	2'-0" x 4'-0"		ALUMINUM CLAD WOOD	CSMT	DUAL GLAZED
	E-B	2'-0" x 4'-0"		ALUMINUM CLAD WOOD	CSMT	DUAL GLAZED
	E-C	6'-0" x 4'-0"		ALUMINUM CLAD WOOD	FIXED	DUAL GLAZED
	E-C'	6'-0" x RAKED 11" TO 1'-11"		ALUMINUM CLAD WOOD	FIXED	DUAL GLAZED
	E-D	2'-0" x 4'-0"		ALUMINUM CLAD WOOD	DOUBLE HUNG	DUAL GLAZED
	E-E	2'-0" x 4'-0"		ALUMINUM CLAD WOOD	DOUBLE HUNG	DUAL GLAZED
	E-F	2'-0" x 4'-0"		ALUMINUM CLAD WOOD	CSMT	DUAL GLAZED
	E-G	4'-0" x 4'-0"		ALUMINUM CLAD WOOD	DOUBLE CSMT	DUAL GLAZED
	E-H	4'-0" x 4'-0"		ALUMINUM CLAD WOOD	DOUBLE CSMT	DUAL GLAZED
		EXISTING TO REMAIN				
	E-I	6'-0" x 4'-0"		ALUMINUM CLAD WOOD	FIXED	-

1

PROPOSED WINDOW SCHEDULE

N.T.S.

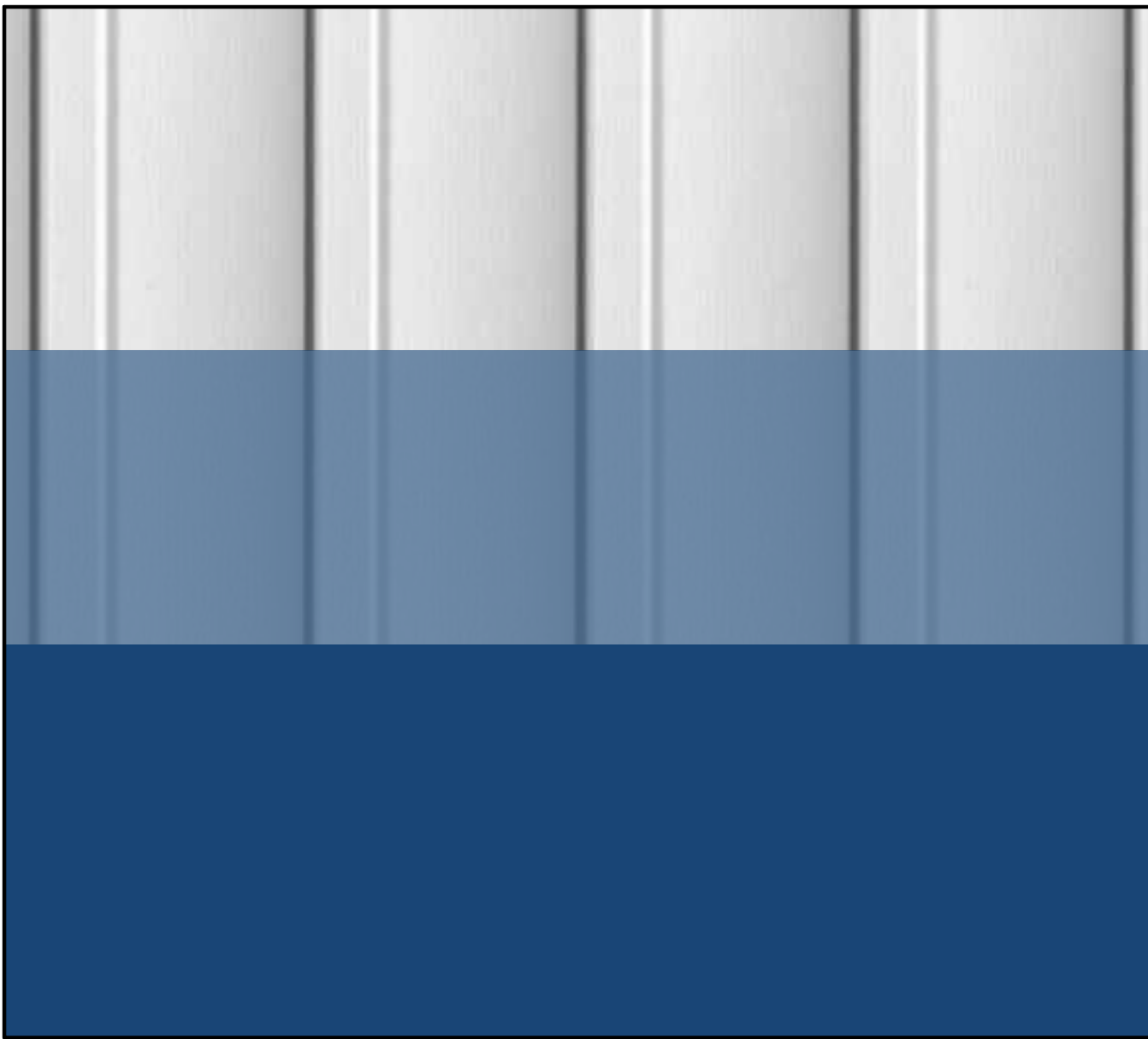
Attachment 1

GONZALEZ DWEN RESIDENCE DOOR SCHEDULE							
			DOOR TYPE	THICKNESS	HAND	H.W. TYPE	
LOWER LEVEL							
	101	3'-6" X 7'-0"	2	2"	LH		ENTRY DOOR - HOUSE
	102	3'-0" X 7'-0"	2	2"	RH		ENTRY DOOR - ADU
	103	3'-0" X 7'-0"	2	1	RH		ENTRY DOOR - DECK
	104	2'-8" X 7'-0"	7	1 3/4"	RH		INTERIOR POCKET DOOR
	105	2'-8" X 7'-0"	7	1 3/4"	RH		INTERIOR POCKET DOOR
	106	2'-6" X 7'-0"	7	1 3/4"	RH		INTERIOR POCKET DOOR
	107	2'-8" X 7'-0"	6	1 3/4"	RH		INTERIOR WOOD DOOR
	108	2'-8" X 7'-0"	6	1 3/4"	RH		INTERIOR WOOD DOOR
	109	4'-8" X 7'-0"	11	1 3/4"	RHLH		CLOSET SLIDING DOORS
	110	2'-8" X 7'-0"	7	1 3/4"	LH		INTERIOR POCKET DOOR
UPPER LEVEL							
	201	6'-0" X 7'-0"	5	2"	RHLH		EXTERIOR FRENCH DOORS. ALUMINUM CLAD WOOD
	202	3'-0" X 7'-0"	6	1 3/4"	LH		INTERIOR WOOD DOOR
	203	2'-6" X 7'-0"	7	1 3/4"	RH		INTERIOR POCKET DOOR
	204	2'-6" X 7'-0"	7	1 3/4"	LH		INTERIOR POCKET DOOR
DOOR TYPE LEGEND							
TYPE 1	ENTRY DOOR, FULL LITE GLASS						HARDWARE TYPE LEGEND
TYPE 2	ENTRY DOOR, DUTCH DOOR 1/2 LITE WOOD						
TYPE 3	EXTERIOR FOLDING DOORS. ALUMINUM CLAD WOOD.						TYPE 2: --.
TYPE 4	FRENCH DOORS. FULL LITE GLASS W / SIDE LITES. ALUMINUM CLAD WOOD						TYPE 3: --.
TYPE 5	FRENCH DOORS. FULL LITE GLASS. ALUMINUM CLAD WOOD.						
TYPE 6	INTERIOR HINGED MDF DOOR, PRIMED						
TYPE 7	POCKET DOOR, MDF, PRIMED						
TYPE 8	GLASS INTERIOR DOOR						
TYPE 9	INTERIOR BARN DOOR						
TYPE 10	GARAGE DOOR						
TYPE 11	INTERIOR SLIDING DOORS						
TYPE 10	GARAGE DOOR						

2

PROPOSED DOOR SCHEDULE

N.T.S.



1 WALL

WOOD. BOARD AND BATTEN. 2 ½" EVERY 12".
COLOR: SW6811. HONORABLE BLUE.



6 OUTDOOR LIGHT FIXTURE

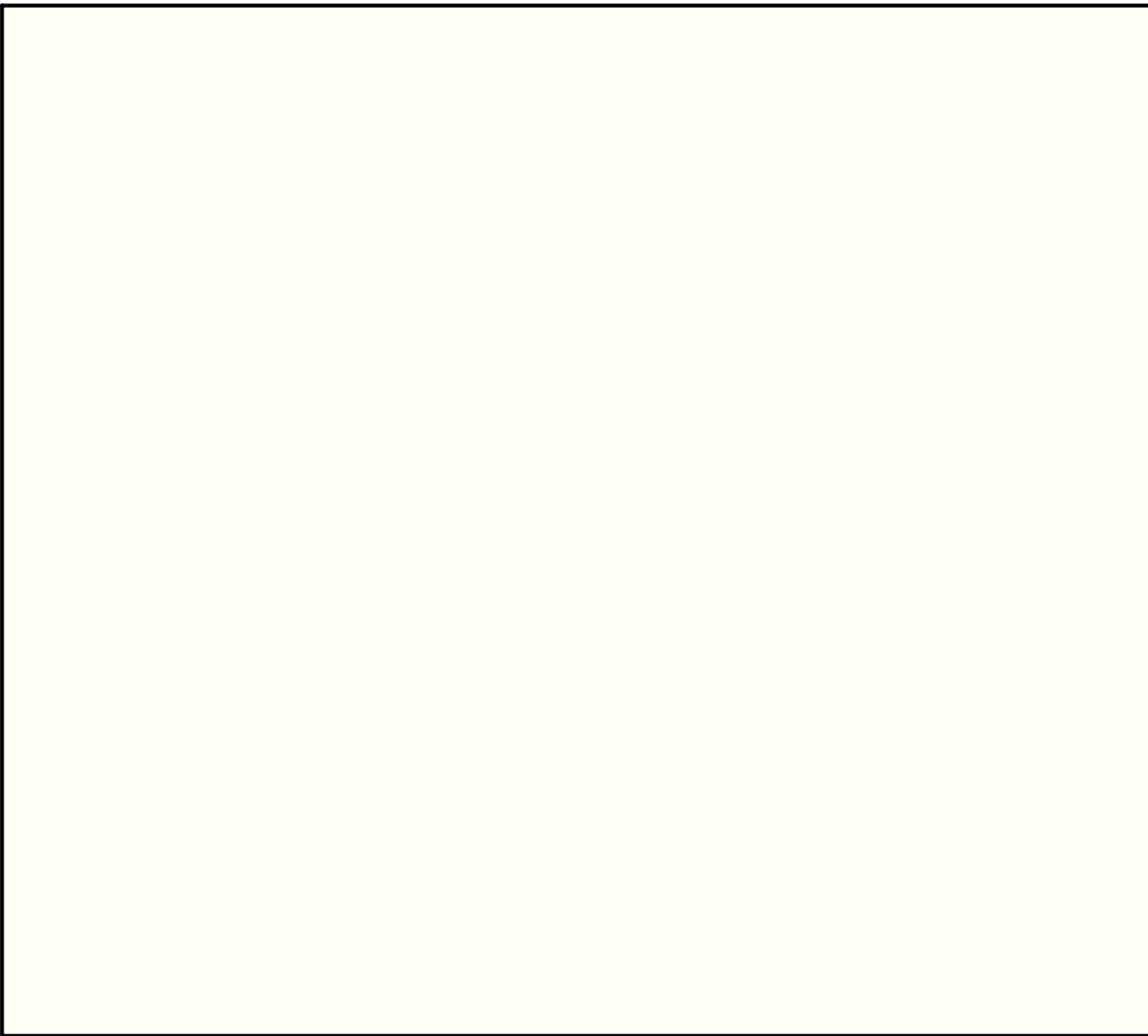
WAC - NEST OUTDOOR WALL SCONCE
3000K. 12". BRONZE.



2 DOORS AND WINDOWS

ALUMINUM CLAD WOOD. SIERRA PACIFIC.
DIVIDED LITES. MATTE TEXTURED COLLECTION.
COLOR: THE PERFECT WHITE 404.

Attachment 1



7 GUTTERS

ALUMINUM.
PAINTED TO MATCH FASCIA, WOOD FRAME
AND TRIM.



4 ROOF

COMPOSITE SHINGLE ROOF.
CERTAINTEED PRESIDENTIAL SHAKE TL
COLOR: AUTUMN BLEND.

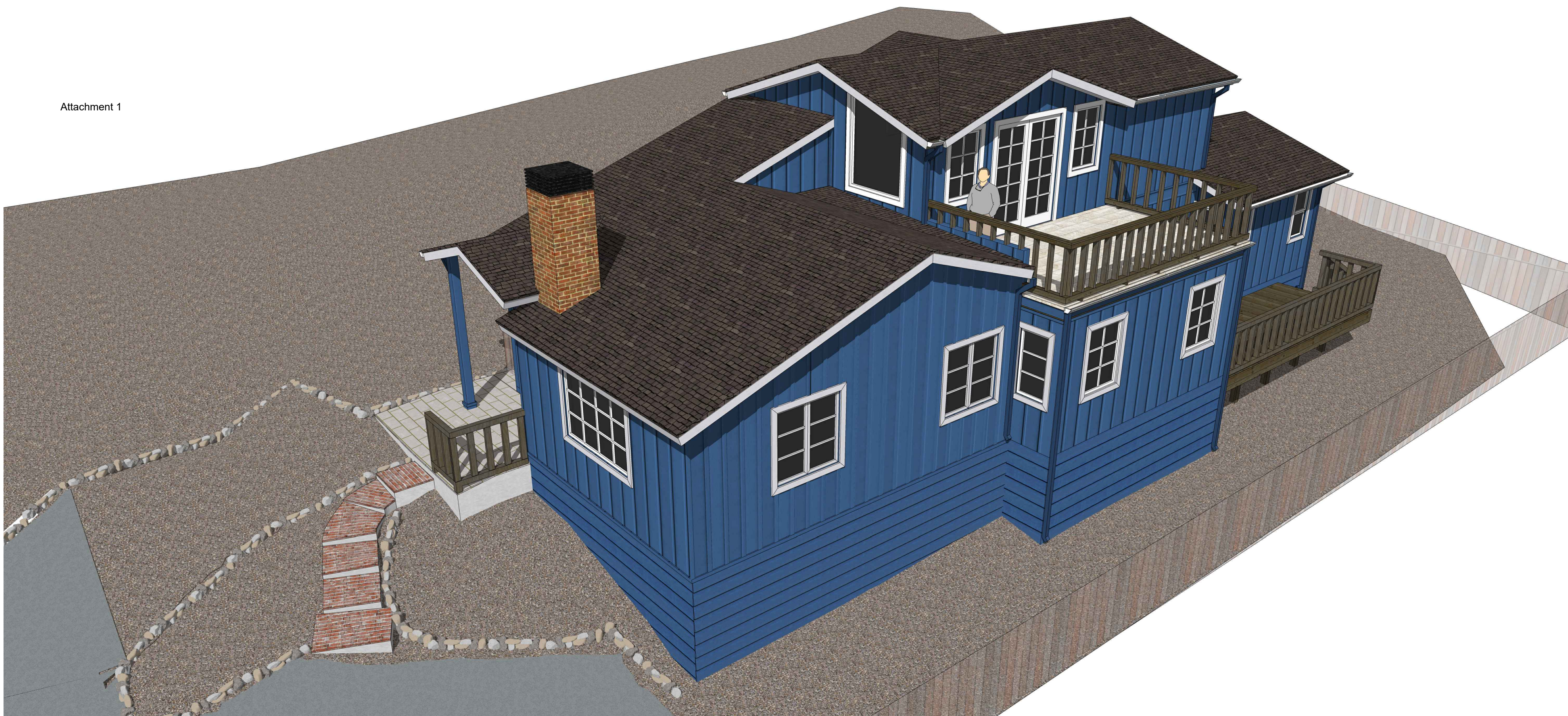


8 DOWNSPOUTS

ALUMINUM.
PAINTED TO MATCH WALL

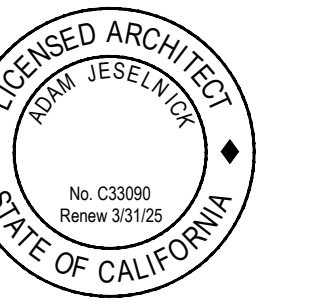


1 NORTH WEST STREET VIEW
N.T.S.



2 SOUTH WEST AERIAL VIEW
N.T.S.

ADAM JESELNICK
ARCHITECT



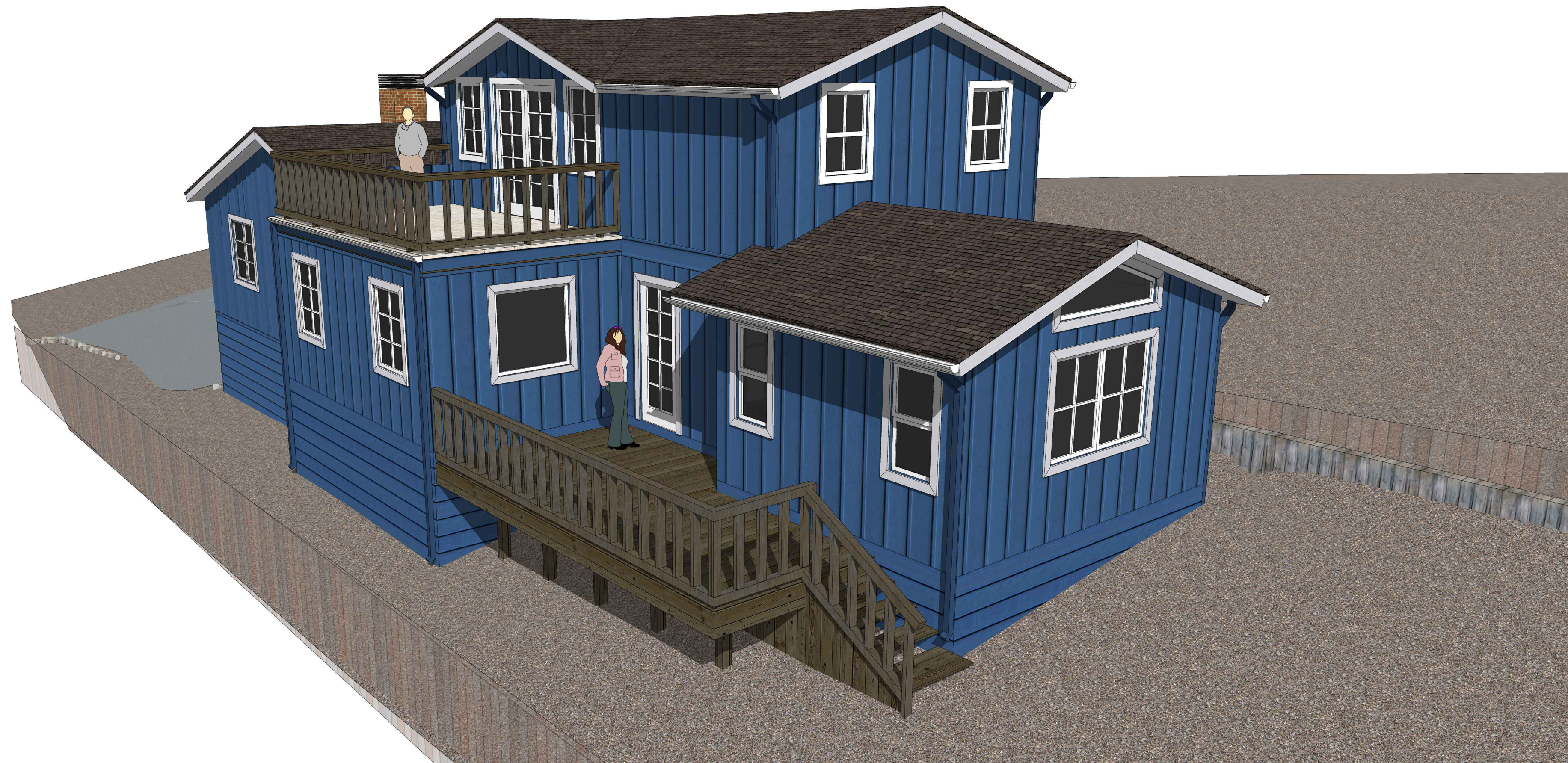
GONZALEZ-DWEN RESIDENCE
SE CORNER 5TH AVE AND SANTA FE STREET,
CARMEL-BY-THE-SEA CALIFORNIA 93921

RENDERINGS

5/9/2025

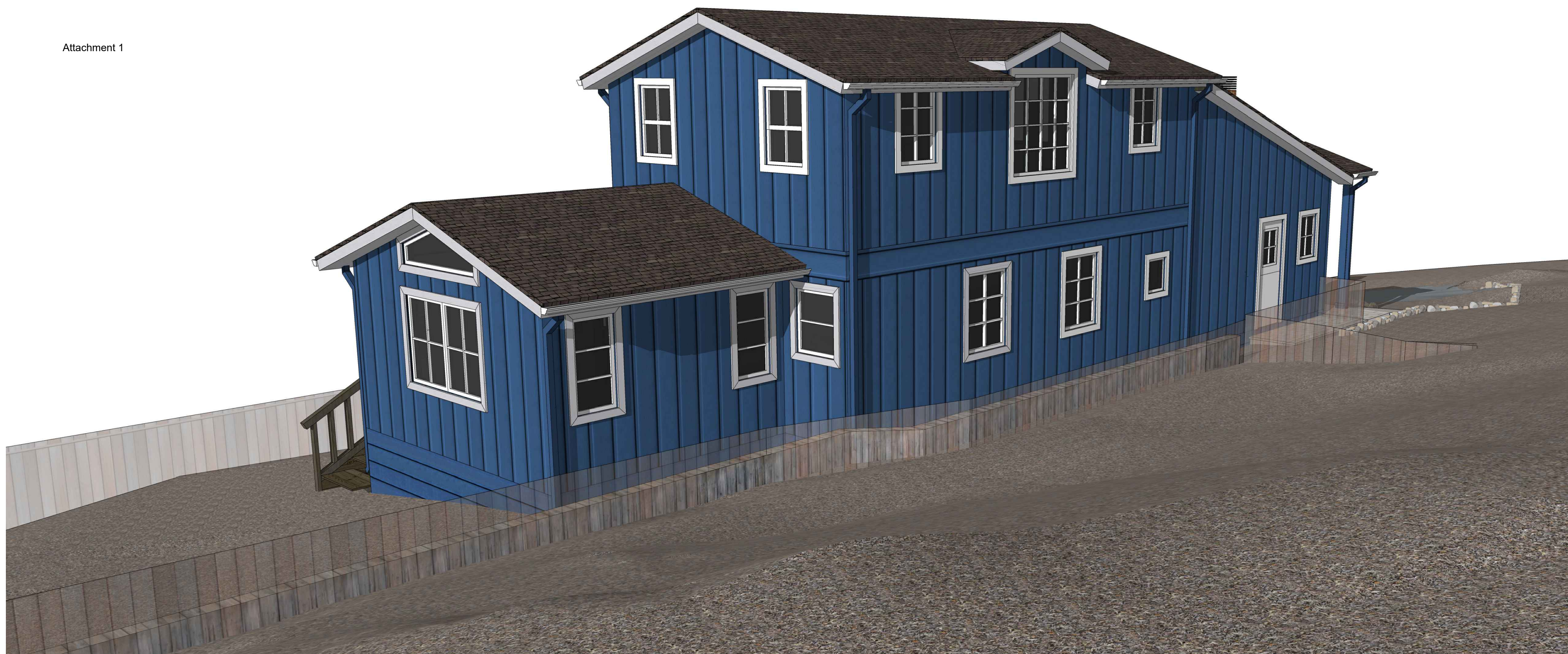
N.T.S.

A21



1 SOUTH EAST AERIAL VIEW
N.T.S.

Attachment 1



2 NORTH EAST VIEW FROM 5TH AVE
N.T.S.

ADAM JESELNICK
ARCHITECT



GONZALEZ-DWEN RESIDENCE
SE CORNER 5TH AVE AND SANTA FE STREET,
CARMEL-BY-THE-SEA CALIFORNIA 93921

RENDERINGS

5/9/2025

N.T.S.

A22

Significant Tree Evaluation Worksheet

APN: 010-038-017-000

Street Location: SE Corner Santa Fe and 5th

Planner: Evan Kort

City Forester: Justin Ono

Property Owner: Gonzalez

Recommended Tree Density: 3 upper, 1 lower (4 total)

Required Planting: Site meets density

Part One: Initial Screening:

Complete Part One to determine if further assessment is warranted. Trees must pass all criteria in Part One to be considered significant or moderately significant.

A. Does the tree pose an above-normal potential risk to life and property?

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
YES											X				
NO	X	X	X	X	X	X	X	X	X	X		X	X	X	X
Tree #	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30
YES															
NO	X	X	X	X	X	X	X	X							

Any tree with structural impairment likely to cause failure should be marked as unsafe and removed. Use page five of this worksheet to document the safety risk. Trees that have limited and specific defects that can be remedied with selective pruning or other mitigation should be marked as safe and specific recommendations should be given to the owner for tree care. Such trees may still be assessed for significance.

B. Is the tree one of the following native species on the Carmel-by-the-Sea recommended tree list?

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
Species	CLO	CLO	CLO	CLO	CLO	CLO	CLO	BB	CLO	CLO	CLO	CLO	CLO	CLO	CLO
YES	X	X	X	X	X	X	X		X	X	X	X	X	X	X
NO								X							
Tree #	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30
Species	CLO	CLO	CLO	CLO	CLO	MP	CLO	CLO							
YES	X	X	X	X	X	X	X	X							
NO															

MP -- Monterey pine

CO -- coast live oak

Bottle Brush

BB --

(Note: Other species on the recommended tree list may be determined to be Significant Trees only if they are exceptional examples of the species. Such trees also must exhibit excellent health, form, vigor, and substantial size to rate an overall score of at least 7 points in Part Two of the assessment.)

C. Does the tree meet the minimum size criteria for significance?

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
YES	x	x	x	x	x	x	x		x	x	x	x	x	x	x
NO								x							
Tree #	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30
YES	x	x	x	x	x	x	x	x							
NO															

Monterey pine, Monterey cypress, Bishop pine, Coast redwood: 6" DBH

Coast live oak – single trunk tree: 6" DBH

Coast live oak – multi-trunk tree measured per industry standard: 6" DBH

California sycamore, Big leaf maple, Catalina ironwood, other: 10" DBH

dbh = diameter at breast height or 4.5 feet above the adjacent ground surface

Part Two: Assessment For Tree Significance

For each of the criteria below assign points as shown to assess the tree. If any criteria score is

D. What is the health and condition of the tree?

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
score	2	2	2	2	2	2	2	2	2	2	0	2	2	2	2
Tree #	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30
score	2	2	2	2	2	1	1	2							

0 points:

The tree is heavily infested with pests or has advanced signs of disease that indicates the tree is declining and has very limited life expectancy.

1 point:

The tree shows some pests or disease that impair its condition, but which does not immediately threaten the health of the tree. The tree may recover on its own, or with appropriate intervention.

2 points:

The tree appears healthy and in good condition.

3 points:

The tree shows excellent health, is free of pests and disease and is in very strong condition.

E. What is the overall form and structure of the tree?

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
score	1	1	1	1	1	1	1	1	2	2	0	2	2	2	2
Tree #	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30
score	2	1	2	2	2	2	2	2							

0 points:	Prior pruning, disease or growth habit have left the tree deformed or unsound to an extent that it cannot recover or will never be a visual asset to the neighborhood or will likely deteriorate into a structural hazard.
1 point:	The tree has poor form or structure but (a) can recover with proper maintenance or (b) it provides visual interest in its current form, and does not have structural defects that are likely to develop into a safety hazard.
2 points:	The tree has average form and structure for the species but does not exhibit all the qualities of excellent form and structure.
3 points:	The tree exhibits excellent form and structure. For all species there will be a good distribution of foliage on multiple branches with no defects. For conifers, the tree will have a single straight leader with balanced branching and with good taper. Oaks will exhibit a well-developed canopy with no suppressed branches. Oaks may be single-trunked or multi-trunked and will have a balanced distribution of foliage on each

F. What is the age and vigor of the tree?

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
score	2	1	1	1	1	2	2	2	2	2	0	1	1	1	1
Tree #	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30
score	2	1	2	2	2	1	2	2							

0 points:	The tree is over-mature or shows signs of poor or declining vigor such as die-back of major limbs or of the crown, small leaves/needles and/or minimal new growth.
1 point:	The tree is mature but retains normal vigor and is likely to continue as a forest asset for a substantial period into the future.
2 points:	The tree is young to middle age and shows normal vigor.
3 points:	The tree is young to middle age and shows exceptional vigor.

G. Are environmental conditions favorable to the tree?

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
score	2	1	1	1	1	1	1	2	1	2	1	1	1	1	1
Tree #	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30
score	2	1	1	1	1	2	1	2							

0 points:	The tree is crowded or has no room for growth to maturity. The tree has poor access to light, air or has poor soil for the species.
1 point:	The tree has average environmental conditions including room for growth to maturity, access to light, air and soils suitable for the species.
2 points:	The tree has room for growth to maturity with no crowding from other significant trees or existing buildings nearby. The tree also has excellent access to light, air and excellent soils for root development.

Part Three: Final Assessment

Record the total points scored on D - G for each tree.

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
score	7	5	5	5	5	6	6	7	7	8	1	6	6	6	6
Tree #	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30
score	8	5	7	7	7	6	6	8							

A. Did all assessment categories in Part Two achieve a minimum score of 1-point?

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
YES	x	x	x	x	x	x	x	x	x	x		x	x	x	x
NO											x				
Tree #	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30
YES															
NO	x	x	x	x	x	x	x	x							

B. Are there any other factors that would disqualify a tree from a determination of significance?

(Explain any 'yes' answer)

Yes Trees 17 and 21 are an acacia and a Eucalyptus which are invasive and non desireable species

Conclusion: Does The Tree Qualify As Significant Or Moderately Significant?

If the tree meets the species, size and safety criteria identified in Part One and scores at least one point under each of the criteria in Part Two, it shall be classified as Significant if it achieves a score of **6 or more points** or shall be classified as Moderately Significant if it achieves a score of **4 or 5 points**. Tree species not listed in Part One-B that meet other screening criteria in Part One may be classified by the City Forester as Significant if they score **at least 7 points**, or as Moderately Significant if they score **at least 4 points**. All other trees are classified as non-significant.

[illegible]

Items to note:**Required Structural Root Zone**

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
Feet	8	8	8	8	8	8	8	8	8	8	0	8	8	8	8
Tree #	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30
Feet	8	8	8	8	8	8	8	8							

Required Tree Protection Zone

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
Feet	12	12	12	12	12	12	12	12	12	12	0	12	12	12	12
Tree #	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30
Feet	12	12	12	12	12	12	12								

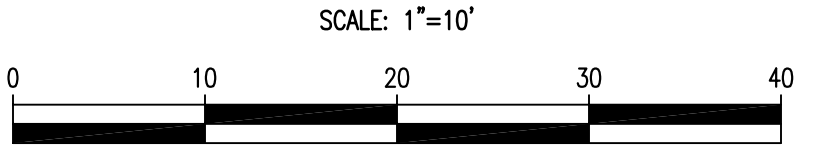
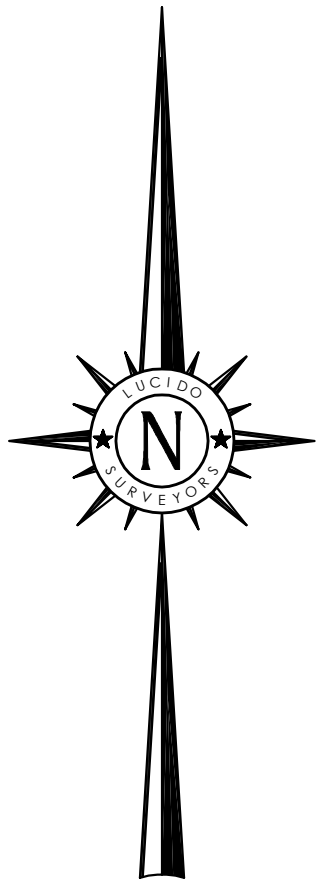
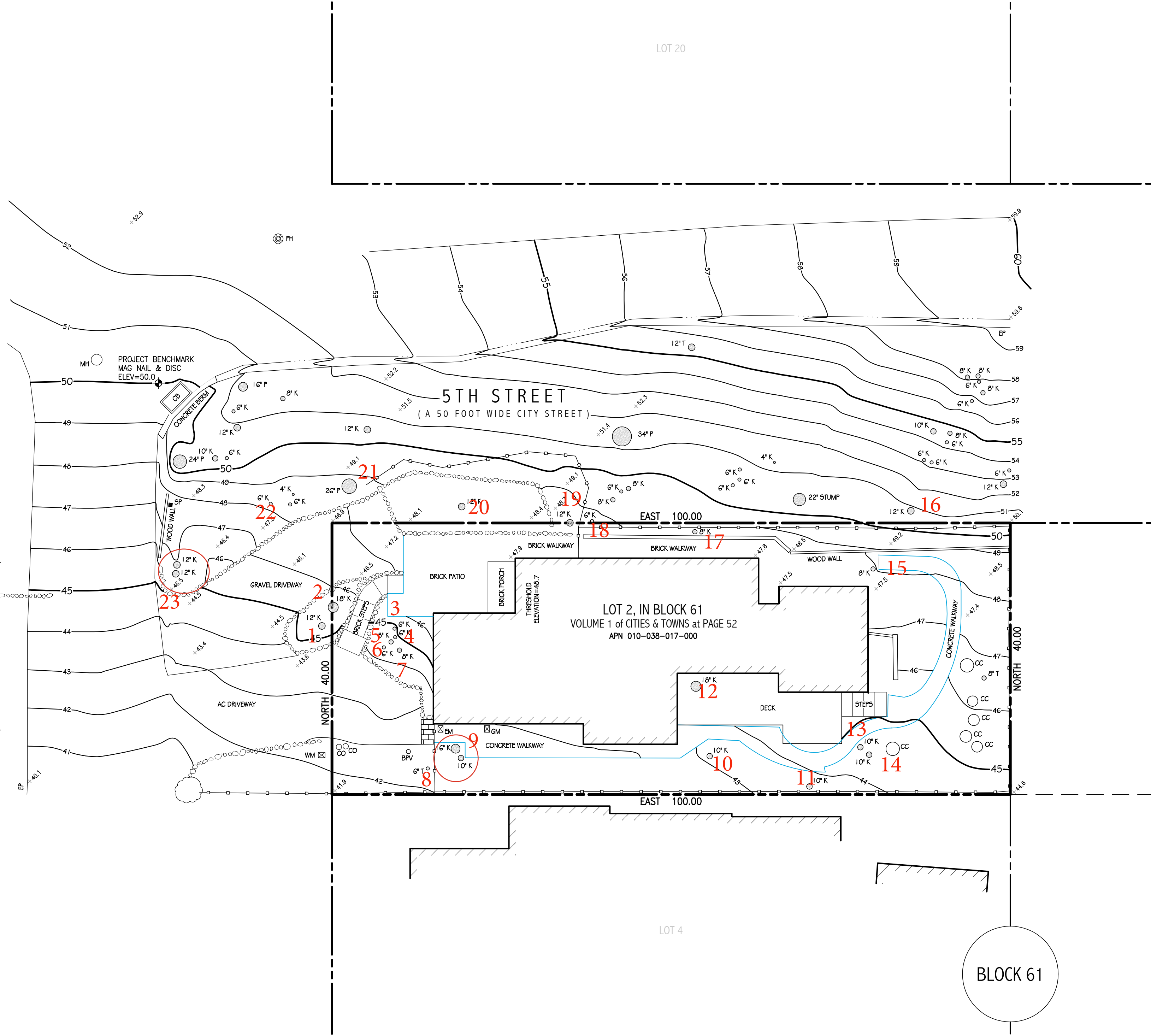
Requirements for tree preservation shall adhere to the following tree protection measures on construction site.

- Prior to grading, excavation, or construction, the developer shall clearly tag or mark all trees to be preserved.
- Excavation within 8 feet of a tree trunk is not permitted.
- No attachments or wires of any kind, other than those of a protective nature shall be attached to any tree.
- Per Municipal Code Chapter 17.48.110 no material may be stored within the dripline of a protected tree to include the drip lines of trees on neighboring parcels.
- Tree Protection Zone -- The Tree Protection Zone shall be equal to 1.5 x the distance of the structural root zone radially from the tree. Minimum of 4 foot high transparent fencing is required unless otherwise approved by the City Forester. Tree protection shall not be resized, modified, removed, or altered in any manner without written approval. The fencing must be maintained upright and taught for the duration of the project. No more than 4 inches of wood mulch shall installed be within the Tree Protection Zone. When the Tree Protection Zone is at or within the drip line, no less than 6 inches of wood mulch shall be installed 18 inches radially from the tree for every one inch of trunk diameter at 4.5 feet above the soil line outside of fencing.
- The Structural Root Zone -- Structural Root Zone shall by 6 feet from the trunk or 6 inches radially from the tree for every one inch of trunk diameter at 4.5' above the soil line, whichever is greater. Any excavation or changes to the grade shall be approved by the City Forester prior to work. Excavation within the Structural Root Zone shall be performed with pneumatic excavator, hydrovac at low pressure, or other method that does not sever roots.
- If roots greater than 2 inches in diameter or larger are encountered within the approved Structural Root Zone the City Forester shall be contacted for approval to make any root cuts or alterations to structures to prevent roots from being damaged.
- If roots larger than 2 inches in diameter are cut without prior City Forester approval or any significant tree is endangered as a result of construction activity, the building permit will be suspended and all work stopped until an investigation by the City Forester has been completed and mitigation measures have been put in place.

LEGEND:

	RECORD BOUNDARY		WOOD FENCE
	RECORD RIGHT OF WAY		WIRE FENCE
	RECORD LOT LINE		CHAIN LINK FENCE
	RECORD CENTERLINE		SIGN POST
	RECORD EASEMENT LINE		BACKFLOW PREVENTER VALVE
	RECORD SETBACK		MAIL BOX
	OLD RECORD LINE		CONCRETE CIRCLE
	PROJECT BENCHMARK		PILLAR
	CONTOUR (MAJOR)		BLOCK RETAINING WALL
	CONTOUR (MINOR)		ROCK RETAINING WALL
	GRADEBREAK		STACKED BLOCK WALL
	EDGE OF PAVEMENT		BRICK WALKWAY/PATIO
	LIP OF GUTTER		CARMEL STONE
	FACE OF CURB		PCC WALKWAY/PATIO
	CURB AND GUTTER		DISABLED PARKING
	BACK OF CURB		STANDARD PARKING STALL
	BACK OF SIDEWALK		ASPHALT CONCRETE
	EDGE OF DRIVEWAY		CARMEL STONE
	FLOWLINE		CORRUGATED METAL PIPE
	APPROXIMATE BUILDING OUTLINE		CONCRETE SLAB
	CHIMNEY		DECOMPOSED GRANITE
	APPROXIMATE FLOOR ELEVATION		EXPOSED AGGREGATE
	DECK		HIGH DENSITY POLY ETHYLENE
	CONCRETE PAD		PORTLAND CEMENT CONCRETE
	STEP		PAVER STONE
	PLANTER		POLY VINYL CHLORIDE
	WATER LINE		REINFORCED CONCRETE PIPE
	WATER VALVE		TRASH ENCLOSURE
	WATER METER		EDGE OF FOLIAGE
	FIRE HYDRANT		TREE WITH SIZE AND TYPE
	HOSE BIB		ACACIA
	IRRIGATION CONTROL VALVE		CYPRESS
	SANITARY SEWER LINE		OAK
	SANITARY SEWER MANHOLE		PINE
	SANITARY SEWER CLEAN-OUT		REDWOOD
	STORM DRAIN		TREE
	STORM DRAIN MANHOLE		SPOT ELEVATION
	AREA DRAIN		
	STORM DRAIN CATCH BASIN		
	ELECTRIC LINE		
	UTILITY POLE		
	GUY WIRE		
	ELECTRIC VAULT		
	UTILITY VAULT		
	ELECTRIC METER		
	STREET LIGHT		
	LAMP POST		
	GAS LINE		
	GAS METER		
	TELEPHONE LINE		
	TELEPHONE STANDARD		
	CABLE TELEVISION LINE		
	CABLE TELEVISION BOX		

SANTA FE STREET
(A 60 FOOT WIDE CITY STREET)



BENCHMARK:
ELEVATIONS FOR THIS SURVEY ARE BASED ON AN ASSUMED DATUM. AN ELEVATION OF 50.0 HAS BEEN ASSIGNED TO A MAG NAIL & DISC SET IN THE PAVEMENT NEAR THE NORTHWESTERLY BOUNDARY CORNER OF THE SUBJECT PROPERTY AS SHOWN HEREON.

- NOTES:**
- BOUNDARY LOCATIONS SHOWN HEREON WERE DETERMINED WITH THE BENEFIT OF A FIELD SURVEY SUPPLEMENTED BY RECORD DATA. ALL BOUNDARY DATA SHOWN HEREON ARE FROM THE RECORDS.
 - ENTITLEMENTS OR ENCUMBRANCES AFFECTING THIS PROPERTY MAY NOT NECESSARILY BE SHOWN.
 - DISTANCES SHOWN ARE EXPRESSED IN FEET AND DECIMALS THEREOF.
 - CONTOUR INTERVAL = ONE FOOT.
 - TREE TYPES (IF ANY) ARE INDICATED WHERE KNOWN. DIAMETERS OF TREES ARE SHOWN IN INCHES AND ARE APPROXIMATE ONLY, TO BE VERIFIED BY AN APPROVED ARBORIST PROVIDED BY OTHERS, PER AGREEMENT WITH THE SURVEYOR. TREES SMALLER THAN 6" IN DIAMETER MAY NOT BE NECESSARILY SHOWN. DIRECTION OF GROWTH AND DRIP LINE SHAPE TO BE VERIFIED BY OTHERS.
 - POSITION AND DIMENSIONS (IF ANY) OF BUILDINGS AND OTHER STRUCTURES ARE SHOWN HEREON APPROXIMATE ONLY DUE TO MEASUREMENT LIMITATIONS. IRREGULAR SHAPE OF BRICK FACING, POP-OUTS, BULL NOSE CORNERS, ETC. SQUARE FOOTAGE OF BUILDINGS (IF ANY) IS SHOWN APPROXIMATE ONLY, AND SUBJECT TO REVISION AT ANY TIME.
 - NOT ALL UTILITY BOXES AND/OR UTILITY STRUCTURES ARE SHOWN INCLUDING BUT NOT LIMITED TO HOSE BIBS AND IRRIGATION VALVES. ONLY THE VISIBLE UTILITY BOXES AND/OR UTILITY STRUCTURES THAT WERE CONSIDERED TO CONVEY THE GENERAL UTILITY CONDITIONS ARE SHOWN.
 - THIS MAP CORRECTLY REPRESENTS A SURVEY PREPARED BY ME AND/OR UNDER MY DIRECTION, FROM FIELD DATA COLLECTED IN OCTOBER OF 2023.

TOPOGRAPHIC SITE SURVEY
OF
LOT 2 IN BLOCK 61
as shown on
VOLUME 1 OF CITIES & TOWNS AT PAGE 52
Records of Monterey County
PREPARED FOR
Keith Dwen

BY
LUCIDO SURVEYORS
Boundary and Construction Surveys · Topographic and Planimetric Mapping
ALTA Surveys and GIS Database Management · Land Planning and Consulting

2 Saucito Avenue
DEL REY OAKS, CALIFORNIA 93940
info@lucidosurveyors.com
(831) 420-5032

SCALE: 1"=10' PROJECT No. 3297 NOVEMBER 2023
CITY OF CARMEL COUNTY OF MONTEREY STATE OF CALIFORNIA





CITY OF CARMEL-BY-THE-SEA PLANNING COMMISSION Staff Report

June 11, 2025
PUBLIC HEARINGS

TO: Chair LePage and Planning Commissioners

SUBMITTED BY: Jacob Olander, Associate Planner

APPROVED BY: Anna Ginette, AICP, Community Planning And Building Director

SUBJECT: **DS 24083 (Dyas):** Consideration of a Track 1 Design Study (DS 24083) referral for the after-the-fact replacement of the existing wood windows with 100 Series Fibrex windows on a single-family residence located at the southwest corner of 5th Avenue and Santa Fe Street in the Single-Family Residential (R-1) District. APN: 010-092-001-000

Proposed CEQA Action: Find the project statutorily exempt from environmental review pursuant to CEQA Guidelines Section 15270

Application: DS 24083 (Dyas)

APN: 010-092-001-000

Block: 60

Lot: 1

Location: SW Corner of Santa Fe & 5th

Applicant: Jennifer Cordoza

Property Owner: Dominique Dyas

Executive Summary:

The applicant requests a deviation from the Residential Design Guidelines to install eleven windows made from a composite material, Fibrex. Pursuant to the Carmel Municipal Code, a deviation from the guidelines shall be approved by the Planning Commission.

Recommendation:

Staff recommends the Planning Commission adopt the following:

A resolution (Attachment 1 – Denial):

- a) Finding that the installation of Fibrex windows is statutorily exempt from environmental review pursuant to California Environmental Quality Act (CEQA) Guidelines Section 15270 (Projects Which Are Disapproved); and
- b) Denying the Design Study for the installation of Fibrex windows at a single-family residence located at the southwest corner of 5th Avenue and Santa Fe Street in the Single-Family Residential (R-1) District.

OR

A resolution (Attachment 2 – Approval):

- a) Finding that the installation of Fibrex windows is a minor alteration to an existing property which qualifies as categorically exempt pursuant to CEQA Guidelines Section 15301 and none of the exceptions pursuant to Section 15300.2 can be made; and
- b) Approving the Design Study for the installation of composite Fibrex windows at a single-family residence located at the southwest corner of 5th Avenue and Santa Fe Street in the Single-Family Residential (R-1) District. APN: 010-092-001-000

Background and Project Description:

Residential Design Guideline 9.11 states that window materials other than authentic, unclad wood are only appropriate when it can be demonstrated that the proposed material is more appropriate to the architecture. The Carmel Municipal Code (CMC) allows the Planning Commission to deviate from the Residential Design Guidelines when *“the proposed deviation from the design guidelines achieves all of the applicable design objectives of CMC 17.58.010, Purpose and Applicability, as well as, or better than, would be achieved by adherence to the adopted design guidelines.”*

The applicant seeks after-the-fact approval for the installation of a composite window material called Fibrex by Andersen Windows and Doors. The Andersen 100 Series line (see **Attachment 4**) is promoted by Andersen as “The Smart Alternative to Vinyl.” The composite exterior window material is trademarked as Fibrex and contains 40% reclaimed wood fiber. The proposed windows would have full divided lights with spacers between the glass. Divided lights are encouraged by the Residential Design Guidelines.

Staff Analysis:

The existing residence was constructed in 1948. The property was determined to be ineligible for the Carmel Historic Inventory on October 28, 2024. The city has no record of any previous changes to the windows. The new 100 series Fibrex windows have already been installed at the property prior to the Design Study application. Residential Design Guideline 9.11 states the following regarding window materials:

Window styles and materials should be consistent with the architecture of the building. Window styles and materials should be uniform throughout a building.

- Divided light windows are encouraged. Divided light windows should appear to be true divided light, including use of internal and external mullion and muntin bars on insulated windows.
- Removable or “snap-in,” or internal-only mullion and muntin bars are unacceptable.
- *Materials other than authentic, unclad wood are appropriate only when it can be demonstrated that the proposed material is more appropriate to the architecture.*
- High gloss finishes should be avoided.
- Fenestration on historic buildings should retain the historic integrity of the resource. When feasible, original windows should be restored rather than replaced.

Vinyl windows were first manufactured in 1954 when the price of aluminum increased, and wood was in short supply after the war. Despite this, vinyl windows do not appear to have been a common feature in Carmel. In more recent times, there have been an increase in requests for the installation of vinyl or other composite window materials.

The current Residential Design Guidelines were adopted in 2001, and Guideline 9.11 became the standard for windows. Approximately 5-7 years ago, the Planning Commission began approving aluminum-clad wood windows if they were consistent with the look of authentic wood windows. Steel and extruded aluminum windows have also been approved when it can be demonstrated that the material is consistent with the architectural style of the residence.

At the May 8, 2024, Planning Commission meeting, the Planning Commission approved Design Study DS 23-319 (Schneider) for the installation of 9 Fibrex windows. The applicants provided samples of 100 series (see **Attachment 4**) and 400 series (see **Attachment 5**) Fibrex windows. The Planning Commission favored the 400 series windows, but approved the permit without requiring the applicant to use the 400 series over the 100 series windows. As part of the June 11, 2025, Planning Commission meeting site visits, Commissioners will have the opportunity to see the 100 series windows installed at a different location.

Staff had determined that in this case, the project is a deviation from the Residential Design Guidelines as the 100 series Fibrex windows are not more appropriate to the architecture than wood windows. Deviations from the Residential Design Guidelines can be approved by the Planning Commission if the deviation achieves all applicable design objectives in CMC Section 17.58.010 and **is equal to or better** than using authentic wood or aluminum-clad wood windows. The design objectives are listed below, followed by a staff response. Based on staff's analysis, the Planning Commission must make a policy determination as to whether or not the project, as a whole, meets the design objectives, specifically numbers 3 and 6. As such, staff has prepared a draft resolution of denial (**Attachment 1**) and a draft resolution of approval (**Attachment 2**).

1. Promote design that maintains the City's intimate and human scale and complements, rather than overrides, natural constraints;

Staff Response: Not applicable.

2. Ensure that the design of new homes, residential additions, and exterior alterations preserves the traditional characteristics of scale, good site design, and sensitivity to neighboring properties;

Staff Response: The original windows are proposed to be replaced; however, no changes are proposed to the original window openings.

3. Encourage the construction of residences that are diverse and innovative in design yet compatible with the City's forest setting as well as the site design and materials used in surrounding structures;

Staff Response: The Fibrex window material could be considered innovative as an environmentally responsible material composed of 40 percent reclaimed wood fiber by weight, most of which is reclaimed from manufacturing Andersen wood windows. According to Andersen, Fibrex blocks thermal transfer nearly 700 times better than aluminum and helps to reduce heating and cooling bills. However, if the Commission determines that the 100 series Fibrex windows are an inappropriate material as it does not present the "look" of wood, the result would be that the project does not meet this objective and it therefore cannot be supported.

4. Promote residential design that respects the privacy, solar, access, and private views of neighboring properties;

Staff Response: No changes are proposed to the original window openings.

5. Maintain a tradition of architectural diversity that enhances the character of the commercial district and adds a lively sense of history to Carmel's village ambiance by promoting commercial building design that respects these traditions; and

Staff Response: Not applicable.

6. Encourage originality and invention so long as the results encompass the unifying values of human scale, the use of natural materials and their role in preserving village character, and avoid out-of-scale or bizarre building forms or incompatible design.

Staff Response: Refer to the staff response of #3 above regarding invention and #2 regarding scale. Other exterior materials on the residence include horizontal wood siding, wood window trim, and wood posts at the front entry. These natural materials are proposed to remain. The roof material is an asphalt composition shingle.

Other Project Components:

If the Commission finds the project does not meet the design objectives and denies the Design Study, staff recommends the project be found statutorily exempt from the California Environmental Quality Act (CEQA), State CEQA guidelines, and local environmental regulations, pursuant to Section 15270 (Projects Which Are Disapproved).

OR

If the Commission finds the project meets the design objectives and approves the Design Study, staff recommends that the project be found categorically exempt from the California Environmental Quality Act (CEQA), State CEQA guidelines, and local environmental regulations pursuant to Section 15301 (Class 1) —Existing Facilities. Class 1 exemptions include minor interior and exterior alterations to existing structures and landscapes involving no expansion of the existing use. The proposed project does not present any unusual circumstances that would result in a potentially significant environmental impact, and no exceptions to the exemption exist pursuant to section 15300.2 of the CEQA Guidelines.

Attachment 1 – Resolution denial

Attachment 2 – Resolution approval

Attachment 3 - Project Plans

Attachment 4 - Andersen 100 Series Brochure

Attachment 5 - Andersen 400 Series Brochure

CITY OF CARMEL-BY-THE-SEA
PLANNING COMMISSION

PLANNING COMMISSION RESOLUTION NO. 2025-XXX-PC

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF CARMEL-BY-THE-SEA FINDING THAT DENIAL OF THE DESIGN STUDY IS STATUTORILY EXEMPT FROM ENVIRONMENTAL REVIEW PURSUANT TO CEQA GUIDELINES SECTION 15270 AND DENYING DESIGN STUDY DS 24083 (DYAS) FOR THE INSTALLATION OF COMPOSITE FIBREX WINDOWS AT A SINGLE-FAMILY RESIDENCE LOCATED AT THE SOUTHWEST CORNER OF 5TH AVENUE AND SANTA FE STREET IN THE SINGLE-FAMILY RESIDENTIAL (R-1) DISTRICT
APN 010-092-001-000**

WHEREAS, on March 7, 2025, Jennifer Cordoza (“Applicant”) submitted an application on behalf of Dominique Dyas (“Owner”) requesting after-the-fact approval of Track 1 Design Study application DS 24083 (Dyas) described herein as (“Application”); and

WHEREAS, the Application has been submitted for a 4,000-square-foot lot located at the Southwest corner of Santa Fe Street & 5th Avenue in the Single-Family Residential (R-1) Zoning District (Block 60, Lot 1); and

WHEREAS, the Applicant has replace existing windows with composite Fibrex divided light 100 series windows is requesting for an after-the-fact approval of their installation; and

WHEREAS, in accordance with Carmel Municipal Code (CMC) Section 17.58.040 (Residential Design Review), changes in exterior materials of structures and changes in windows require approval of a Residential Track One Design Study by the Director or their designee; and

WHEREAS, CMC Section 17.58.040.A.3 states that the Director may approve projects that comply with the residential design guidelines; and

WHEREAS, CMC Section 17.58.040.A.3.b states that projects that do not comply with design objectives or residential design guidelines will be referred to the Planning Commission for resolution; and

WHEREAS, the Director finds that composite window material does not achieve the design objectives as well as or better than would be achieved by installing authentic wood or aluminum-clad wood windows and therefore is referring the application to the Planning Commission for resolution; and

WHEREAS, on May 30, 2025, a notice of the public hearing scheduled for June 11, 2025, was published in the Carmel Pine Cone in compliance with State law (California Government Code 65091) and mailed to owners of real property within a 300-foot radius of the project indicating the date and time of the public hearing; and

WHEREAS, on or before June 1, 2025, the Applicant posted the public notice on the project site and hand-delivered a copy of the public notice to each property within a 100-foot radius of the project site indicating the date and time of the public hearing; and

WHEREAS, on or before June 6, 2025, the meeting agenda was posted in three locations in compliance with State law indicating the date and time of the public hearing; and

WHEREAS, on June 11, 2025, the Planning Commission held a duly noticed public hearing to receive public testimony regarding the application, including, without limitation, the information provided to the Planning Commission by City staff and through public testimony; and

WHEREAS, CMC Section 17.58.060.D states that prior to approving any project in the single-family residential (R-1) district that deviates from the City's applicable adopted Design Guidelines, the Planning Commission shall adopt specific findings based on information in the record to show how the proposed deviation from the design guidelines achieves all of the applicable design objectives of CMC Section 17.58.10, Purpose and Applicability, as well as, or better than, would be achieved by adherence to the adopted design guidelines; and

WHEREAS, pursuant to CMC Section 17.58.010.A.1, the design review process is intended to promote design that maintains the City's intimate and human scale and complements, rather than overrides, natural constraints. The project includes the replacement of windows and therefore this objective does not apply; and

WHEREAS, pursuant to CMC Section 17.58.010.A.2, the design review process is intended to ensure that the design of new homes, residential additions, and exterior alterations preserves the traditional characteristics of scale, good site design, and sensitivity to neighboring properties. The project meets this objective as it does not include changes to the original window openings and will therefore maintain the existing scale; and

WHEREAS, pursuant to CMC Section 17.58.010.A.3, the design review process is intended to encourage the construction of residences that are diverse and innovative in design yet compatible with the City's forest setting as well as the site design and materials used in surrounding structures. The Planning Commission has determined that the 100 series Fibrex windows are an inappropriate material as it does not present the "look" of wood and therefore the project does not meet this objective; and

WHEREAS, pursuant to CMC Section 17.58.010.A.4, the design review process is intended to promote residential design that respects the privacy, solar, access, and private views of neighboring properties. The project meets this objective as it does not include changes to the original window openings or an increase of floor area; and

WHEREAS, pursuant to CMC Section 17.58.010.A.5, the design review process is intended to maintain a tradition of architectural diversity that enhances the character of the commercial district and adds a lively sense of history to Carmel's village ambiance by promoting commercial building design that respect these traditions. The project consists of the modification of a single family residence within a residential district. Therefore, this objective does not apply; and

WHEREAS, pursuant to CMC Section 17.58.010.A.6, the design review process is intended to encourage originality and invention so long as the results encompass the unifying values of human scale and the use of natural materials and their role in preserving village character and avoid out-of-scale or bizarre building forms or incompatible design. The Planning Commission has determined that the 100 series Fibrex windows are an inappropriate material as it does not present the "look" of wood and therefore the project does not meet this objective; and

WHEREAS, pursuant to CMC Section 17.58.060.B.1, the Planning Commission shall find that the project conforms to the applicable policies of the General Plan and the Local Coastal Program. General Plan Policy P1-37 states that approved designs do not disrupt the existing neighborhood character by introducing inconsistent design elements. The Planning Commission has determined that the use of 100 series Fibrex windows is inconsistent with this policy as they do not present the "look" of wood. Therefore, this finding cannot be made; and

WHEREAS, pursuant to CMC Section 17.58.060.B.2, the Planning Commission shall find that the project complies with all applicable provisions of this code. As demonstrated in the recitals above, the Planning Commission has determined that the use of 100 series Fibrex windows does not meet the design objectives set forth in CMC Section 17.58.010.A.3 and 17.58.010.A.6. Therefore, this finding cannot be made; and

WHEREAS, pursuant to CMC Section 17.58.060.B.3, the Planning Commission shall find that the project is consistent with applicable adopted design review guidelines. As demonstrated in the recitals above, the Planning Commission has determined that the use of 100 series Fibrex windows deviates from the Design Guidelines and does not meet the design objectives. Therefore, this finding cannot be made; and

WHEREAS, the California Environmental Quality Act (California Public Resources Code §§ 21000, *et seq.*, "CEQA"), together with State Guidelines (14 California Code Regulations §§ 15000, *et seq.*, the "CEQA Guidelines") and City Environmental Regulations (CMC 17.60) require that certain projects be reviewed for environmental impacts and that environmental documents be prepared; and

WHEREAS, the Planning Commission found that pursuant to CEQA regulations, the Application is statutorily exempt from the California Environmental Quality Act (CEQA), State CEQA guidelines, and local environmental regulations, pursuant to Section 15270 (Projects Which Are Disapproved); and

WHEREAS, this Resolution and its findings are made based upon the evidence presented to the Commission at the hearing date, including, without limitation, the staff report and attachments submitted by the Community Planning and Building Department; and

WHEREAS, the Planning Commission did hear and consider all said reports, attachments, recommendations, and testimony herein above set forth and used their independent judgment to evaluate the project; and

WHEREAS, the facts set forth in the recitals are true and correct and are incorporated herein by reference.

NOW, THEREFORE, BE IT RESOLVED that the Planning Commission of the City of Carmel-By-The-Sea does hereby make the following findings and determinations regarding the application:

1. The composite Fibrex windows are not more appropriate to the architecture than the existing vinyl divided light windows.
2. The composite Fibrex windows are not equal to or better than authentic wood windows or aluminum-clad wood windows.

BE IT FURTHER RESOLVED that the Planning Commission of the City of Carmel-by-the-Sea does hereby DENY Design Study application DS 24083 (Dyas) for the installation of 100 series Fibrex windows at a single-family residence located at the southwest corner of 5th Avenue and Santa Fe Street in the Single-Family Residential (R-1) District. APN: 010-092-001-000.

PASSED, APPROVED, AND ADOPTED BY THE PLANNING COMMISSION OF THE CITY OF CARMEL-BY-THE-SEA this 11th day of June 2025, by the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

APPROVED:

ATTEST:

Michael LePage
Chair

Shelby Gorman
Planning Commission Secretary

CITY OF CARMEL-BY-THE-SEA
PLANNING COMMISSION

PLANNING COMMISSION RESOLUTION NO. 2025-XXX-PC

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF CARMEL-BY-THE-SEA FINDING THAT THE INSTALLATION OF FIBREX WINDOW IS A MINOR ALTERATION TO AN EXISTING PROPERTY WHICH QUALIFIES AS CATEGORICALLY EXEMPT PURSUANT TO CEQA GUIDELINES SECTION 15301 AND NONE OF THE EXCEPTIONS TO THE EXEMPTIONS PURSUANT TO SECTION 1300.2 CAN BE MADE AND APPROVING DESIGN STUDY DS 24083 (DYAS) FOR THE INSTALLATION OF COMPOSITE FIBREX WINDOWS AT A SINGLE-FAMILY RESIDENCE LOCATED AT THE SOUTHWEST CORNER OF 5TH AVENUE AND SANTA FE STREET IN THE SINGLE-FAMILY RESIDENTIAL (R-1) DISTRICT
APN 010-092-001-000**

WHEREAS, on March 7, 2025, Jennifer Cordoza (“Applicant”) submitted an application on behalf of Dominique Dyas (“Owner”) requesting after-the-fact approval of Track 1 Design Study application DS 24083 (Dyas) described herein as (“Application”); and

WHEREAS, the Application has been submitted for a 4,000-square-foot lot located at the Southwest corner of Santa Fe Street & 5th Avenue in the Single-Family Residential (R-1) Zoning District (Block 60, Lot 1); and

WHEREAS, the Applicant is requesting to replace existing windows with composite Fibrex divided light windows; and

WHEREAS, in accordance with Carmel Municipal Code (CMC) Section 17.58.040 (Residential Design Review), changes in exterior materials of structures and changes in windows require approval of a Residential Track One Design Study by the Director or their designee; and

WHEREAS, CMC Section 17.58.040.A.3 states that the Director may approve projects that comply with the residential design guidelines; and

WHEREAS, CMC Section 17.58.040.A.3.b states that projects that do not comply with design objectives or residential design guidelines will be referred to the Planning Commission for resolution; and

WHEREAS, the Director finds that composite window material does not achieve the design objectives as well as or better than would be achieved by installing authentic wood or aluminum-clad wood windows and therefore is referring the application to the Planning Commission for resolution; and

WHEREAS, on May 30, 2025, a notice of the public hearing scheduled for June 11, 2025, was published in the Carmel Pine Cone in compliance with State law (California Government Code

65091) and mailed to owners of real property within a 300-foot radius of the project indicating the date and time of the public hearing; and

WHEREAS, on or before June 1, 2025, the Applicant posted the public notice on the project site and hand-delivered a copy of the public notice to each property within a 100-foot radius of the project site indicating the date and time of the public hearing; and

WHEREAS, on or before June 6, 2025, the meeting agenda was posted in three locations in compliance with State law indicating the date and time of the public hearing; and

WHEREAS, on June 11, 2025, the Planning Commission held a duly noticed public hearing to receive public testimony regarding the application, including, without limitation, the information provided to the Planning Commission by City staff and through public testimony; and

WHEREAS, CMC Section 17.58.060.D states that prior to approving any project in the single-family residential (R-1) district that deviates from the City's applicable adopted Design Guidelines, the Planning Commission shall adopt specific findings based on information in the record to show how the proposed deviation from the design guidelines achieves all of the applicable design objectives of CMC Section 17.58.10, Purpose and Applicability, as well as, or better than, would be achieved by adherence to the adopted design guidelines; and

WHEREAS, pursuant to CMC Section 17.58.010.A.1, the design review process is intended to promote design that maintains the City's intimate and human scale and complements, rather than overrides, natural constraints. The project includes the replacement of windows and therefore this objective does not apply; and

WHEREAS, pursuant to CMC Section 17.58.010.A.2, the design review process is intended to ensure that the design of new homes, residential additions, and exterior alterations preserves the traditional characteristics of scale, good site design, and sensitivity to neighboring properties. The project meets this objective as it does not include changes to the original window openings and will therefore maintain the existing scale; and

WHEREAS, pursuant to CMC Section 17.58.010.A.3, the design review process is intended to encourage the construction of residences that are diverse and innovative in design yet compatible with the City's forest setting as well as the site design and materials used in surrounding structures. The Planning Commission has determined that the 100 series Fibrex windows are an innovative environmentally responsible material composed of 40 percent reclaimed wood fiber by weight, most of which is reclaimed from manufacturing Andersen wood windows. Further, Fibrex blocks thermal transfer nearly 700 times better than aluminum which helps to reduce heating and cooling bills. Therefore, the project meets this objective; and

WHEREAS, pursuant to CMC Section 17.58.010.A.4, the design review process is intended to promote residential design that respects the privacy, solar, access, and private views of neighboring properties. The project meets this objective as it does not include changes to the original window openings or an increase of floor area; and

WHEREAS, pursuant to CMC Section 17.58.010.A.5, the design review process is intended to maintain a tradition of architectural diversity that enhances the character of the commercial district and adds a lively sense of history to Carmel's village ambiance by promoting commercial building design that respect these traditions. The project consists of the modification of a single family residence within a residential district. Therefore, this objective does not apply; and

WHEREAS, pursuant to CMC Section 17.58.010.A.6, the design review process is intended to encourage originality and invention so long as the results encompass the unifying values of human scale and the use of natural materials and their role in preserving village character and avoid out-of-scale or bizarre building forms or incompatible design. The Planning Commission has determined that the 100 series Fibrex windows are an appropriate material as it is an innovative produce and is compatible with the overall design of the residence. Therefore, the project meets this objective; and

WHEREAS, pursuant to CMC Section 17.58.060.B.1, the Planning Commission shall find that the project conforms to the applicable policies of the General Plan and the Local Coastal Program. General Plan Policy P1-37 states that approved designs do not disrupt the existing neighborhood character by introducing inconsistent design elements. The Planning Commission has determined that the use of 100 series Fibrex windows is consistent with this policy as the material is not a design element that disrupts the existing neighborhood character. Therefore, this finding is supported; and

WHEREAS, pursuant to CMC Section 17.58.060.B.2, the Planning Commission shall find that the project complies with all applicable provisions of this code. As demonstrated in the recitals above, the Planning Commission has determined that the use of 100 series Fibrex windows meets the design objectives set forth in CMC Section 17.58.010.A. Therefore, this finding is supported; and

WHEREAS, pursuant to CMC Section 17.58.060.B.3, the Planning Commission shall find that the project is consistent with applicable adopted design review guidelines. As demonstrated in the recitals above, the Planning Commission has determined that although the use of 100 series Fibrex windows deviates from the Design Guidelines, the material meets the design objectives. Therefore, this finding is supported; and

WHEREAS, the California Environmental Quality Act (California Public Resources Code §§ 21000, *et seq.*, "CEQA"), together with State Guidelines (14 California Code Regulations §§ 15000, *et seq.*, the "CEQA Guidelines") and City Environmental Regulations (CMC 17.60) require that certain projects be reviewed for environmental impacts and that environmental documents be prepared; and

WHEREAS, the Planning Commission found that pursuant to CEQA regulations, the Application is categorically exempt from the California Environmental Quality Act (CEQA), State CEQA guidelines, and local environmental regulations pursuant to Section 15301 (Class 1)—Existing Facilities. Class 1 exemptions include minor interior and exterior alterations to existing

structures and landscapes involving no expansion of the existing use. The proposed project does not present any unusual circumstances that would result in a potentially significant environmental impact, and no exceptions to the exemption exist pursuant to section 15300.2 of the CEQA Guidelines; and

WHEREAS, this Resolution and its findings are made based upon the evidence presented to the Commission at the hearing date, including, without limitation, the staff report and attachments submitted by the Community Planning and Building Department; and

WHEREAS, the Planning Commission did hear and consider all said reports, attachments, recommendations, and testimony herein above set forth and used their independent judgment to evaluate the project; and

WHEREAS, the facts set forth in the recitals are true and correct and are incorporated herein by reference.

NOW, THEREFORE, BE IT RESOLVED that the Planning Commission of the City of Carmel-By-The-Sea does hereby make the following findings and determinations regarding the Track One Design Study:

FINDINGS REQUIRED FOR DESIGN STUDY APPROVAL		
For each of the required findings listed below, the staff has indicated whether the application supports adopting the findings, either as proposed or with conditions. For all findings checked "no," the staff report discusses the issues to facilitate the Planning Commission's decision-making. Findings checked "yes" may or may not be discussed in the report depending on the issues.		
CMC 17.58.060.B, Findings for Design Review Approval	YES	NO
1. The project conforms to the applicable policies of the General Plan and the Local Coastal Program.	✓	
2. The project complies with all applicable provisions of the Carmel Municipal Code.	✓	
3. The project is consistent with the applicable adopted design review guidelines.	✓	
CMC 17.58.060.C, Additional Findings for Design Study Approval	YES	NO
1. The project conforms with all zoning standards applicable to the site or has received appropriate use permits, variances, or exceptions consistent with the Zoning Ordinance.	N/A	N/A
2. The project contributes to neighborhood character, including the type of forest resources present, the character of the street, the response to local topography, and the treatment of open space resources such as setbacks and landscaping.	N/A	N/A
3. The project is compatible with and sensitive to the natural features and built environment of the site and of the surrounding area. The project respects the constraints of the site and avoids excessive grading, cuts and fills. Construction on steep slopes is minimized to the extent feasible and abrupt changes in grade is minimized or mitigated.	N/A	N/A

4. The project maintains the City's principles of modesty and simplicity and preserves the City's tradition of simple homes set amidst a forest landscape. The project uses simple building forms and simple roof forms without complexity that would attract undue attention to the site.	N/A	N/A
5. The project does not present excess visual mass or bulk to public view or to adjoining properties. The project relates to a human scale in form, elements, and in the detailing of doors, windows, roofs, and walkways.	✓	
6. Project details and materials (e.g., windows, doors, chimneys, roofs, and stonework) are fully integrated and consistent throughout the design. Building materials are used in a manner that is visually consistent with the proposed architecture. All fenestration is appropriate in size and consistent with a human scale.	✓	
7. The project is consistent with the City's design objectives for protection and enhancement of the urbanized forest and open space resources. Open space is distributed around buildings to provide visual relief from structural bulk and a distinct separation from buildings on adjacent sites.	N/A	N/A
8. All demolitions, remodels, and substantial alterations are consistent with the following findings: a. The design uses simple/modest building forms and a limited number of roof planes, and a restrained employment of offsets and appendages consistent with the City's design objectives. b. The mass of the building relates to the context of other homes in the vicinity that are in conformance with the City's design guidelines related to mass and scale. c. The development is similar in size, scale, and form to buildings on the immediate block and neighborhood. d. The development does not require removal of any significant trees unless necessary to provide a viable economic use of the property or protect public health and safety. All moderately significant trees have been protected to the maximum extent feasible. All buildings and structures will be set back at least six feet from significant trees.	N/A	N/A

BE IT FURTHER RESOLVED that the Planning Commission of the City of Carmel-by-the-Sea does hereby APPROVE Design Study application DS 25071 (Morsello) for the installation of composite Fibrex windows at a single-family residence located at the northeast corner of 8th Avenue & Santa Fe Street in the Single-Family Residential (R-1) District. APN: 010-044-007-000, subject to the following Conditions of Approval:

CONDITIONS OF APPROVAL	
No.	Standard Conditions
1.	Authorization. This approval of Design Study application DS 25071 (Morsello) authorizes the installation of 100 series by Renewal by Andersen composite Fibrex windows at a single-family residence located at the northeast corner of 8th Avenue & Santa Fe Street in the Single-Family Residential (R-1) District as depicted in the plans and documents approved by the Planning Commission on June 11, 2025, and stamped approved and on file in the Community Planning & Building Department unless modified by the conditions of approval contained herein.
2.	Codes and Ordinances. The project shall be constructed in conformance with all requirements of the R-1 zoning district. All adopted building and fire codes shall be adhered to when preparing the working drawings. If any codes or ordinances require design elements to be changed, or if any other changes are requested when such plans are submitted, such changes may require additional environmental review and subsequent approval by the Planning Commission.
3.	Permit Validity. In accordance with CMC Section 17.52.170 (Time Limits on Approvals and Denials), a residential design study approval remains valid for a period of 12 months from the date of action. During this time, the project must be implemented, or the approval becomes void. Implementation is effected by erecting, installing, or beginning the installation of the improvement authorized by the permit, as determined by the Director. Extensions to this approval may be granted consistent with CMC 17.52.170.C.
4.	Modifications. The Applicant shall submit in writing, with revised plans, to the Community Planning and Building staff any proposed changes to the approved project plans prior to incorporating those changes. If the Applicant changes the project without first obtaining City approval, the Applicant will be required to submit the change in writing, with revised plans, within two weeks of the City being notified. A cease work order may be issued at any time at the discretion of the Director of Community Planning and Building until a) either the Planning Commission or Staff has approved the change, or b) the property owner has eliminated the change and submitted the proposed change in writing, with revised plans, for review. The project will be reviewed for its compliance with the approved plans prior to the final inspection.
5.	Exterior Revisions to Planning Approval Form. All proposed modifications that affect the exterior appearance of the building or site elements shall be submitted on the "Revisions to Planning Approval" form on file in the Community Planning and Building Department. Any modification incorporated into the construction drawings not listed on this form shall not be deemed approved upon issuance of a building permit.
6.	Conflicts Between Planning Approvals and Construction Plans. It shall be the responsibility of the Owner, Applicant, and Contractor(s) to ensure consistency between the project plans approved by the Planning Staff, the Planning Commission, or the City Council on appeal and the construction plans submitted to the Building Division as part of the Building Permit review. Where inconsistencies between the Planning approval and the construction plans exist, the Planning approval shall govern unless otherwise approved in writing by the Community Planning & Building Director or their designee.

	When changes or modifications to the project are proposed, the Applicant shall clearly list and highlight each proposed change and bring each change to the City's attention. Changes to the project incorporated into the construction drawings that were not clearly listed or identified as a proposed change shall not be considered an approved change. Should conflicts exist between the originally approved project plans and the issued construction drawings that were not explicitly identified as a proposed change, the plans approved as part of the Planning Department Review, including any Conditions of Approval, shall prevail.
7.	Indemnification. The Applicant agrees, at his or her sole expense, to defend, indemnify, and hold harmless the City, its public officials, officers, employees, and assigns from any liability; and shall reimburse the City for any expense incurred, resulting from, or in connection with any project approvals. This includes any appeal, claim, suit, or other legal proceedings to attack, set aside, void, or annul any project approval. The City shall promptly notify the Applicant of any legal proceeding and cooperate fully in the defense. The City may, at its sole discretion, participate in any such legal action, but participation shall not relieve the Applicant of any obligation under this condition. Should any party bring any legal action in connection with this project, the Superior Court of the County of Monterey, California, shall be the situs and have jurisdiction for resolving all such actions by the parties hereto.
Landscape Conditions	
8.	Tree Removal is Prohibited. Throughout construction, the Applicant shall protect all trees identified for preservation by methods approved by the City Forester. Trees on or adjacent to the site shall only be removed upon the approval of the City Forester or the Forest and Beach Commission.
Special Conditions	
9.	Notice of Authorized Work Required. Prior to commencing work on-site, the applicant shall obtain a Notice of Authorized Work from the Community Planning & Building Department. The Notice shall be posted at the front of the property, readily visible from the right-of-way for the project's duration.

Acknowledgment and acceptance of conditions of approval.

Property Owner Signature

Printed Name

Date

Applicant Signature

Printed Name

Date

PASSED, APPROVED, AND ADOPTED BY THE PLANNING COMMISSION OF THE CITY OF CARMEL-BY-THE-SEA this 11th day of June 2025, by the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

APPROVED:

ATTEST:

Michael LePage
Chair

Shelby Gorman
Planning Commission Secretary

INDEX OF DRAWINGS

A-1 FIRST STORY FLOOR PLAN

LEGEND;

▨ = REPLACEMENT WINDOW / DOOR LOCATION
(SH) = SINGLE HUNG WINDOW

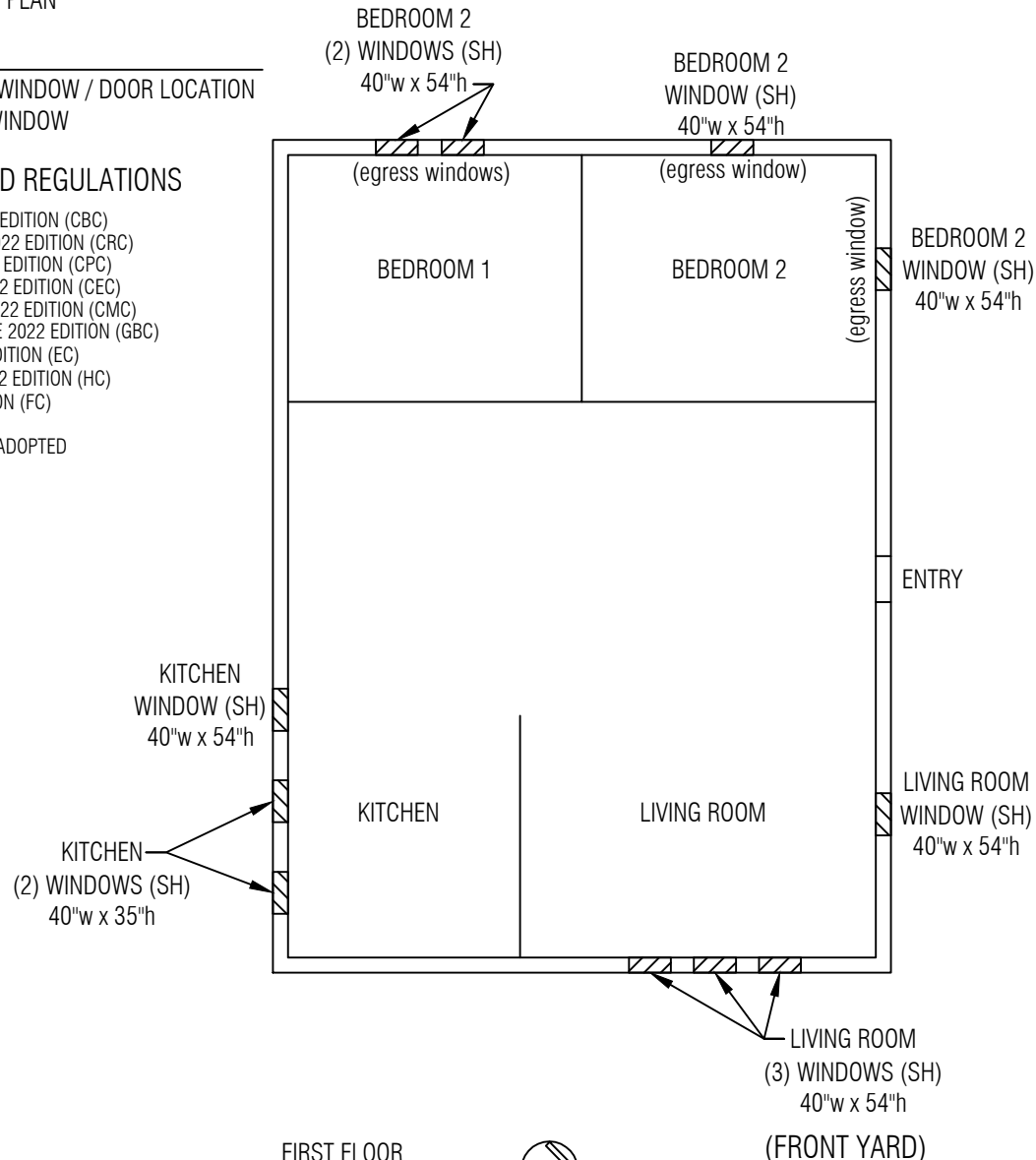
APPLICABLE CODES AND REGULATIONS

CALIFORNIA BUILDING CODE, 2022 EDITION (CBC)
CALIFORNIA RESIDENTIAL CODE, 2022 EDITION (CRC)
CALIFORNIA PLUMBING CODE 2022 EDITION (CPC)
CALIFORNIA ELECTRICAL CODE 2022 EDITION (CEC)
CALIFORNIA MECHANICAL CODE 2022 EDITION (CMC)
CALIFORNIA GREEN BUILDING CODE 2022 EDITION (GBC)
CALIFORNIA ENERGY CODE 2022 EDITION (EC)
CALIFORNIA HISTORICAL CODE 2022 EDITION (HC)
CALIFORNIA FIRE CODE 2022 EDITION (FC)

INCLUDING ALL AMENDMENTS AS ADOPTED
BY THE GOVERNING JURISDICTION.

SCOPE OF WORK: REPLACE / INSTALL (11) RETROFIT,
FIBREX, DUAL GLAZED, LOW E, WINDOWS. NO (N)
CONSTRUCTION / REPLACEMENT ONLY.

NOTE; WINDOWS / DOORS;
U-FACTOR = 0.30
SHGC = 0.23



FIRST FLOOR
FLOOR PLAN



5th AVENUE & SANTA DE STREET

NOTE:

1). SMOKE DETECTORS: WHEN A BUILDING PERMIT IS REQUIRED, SMOKE DETECTORS SHALL BE INSTALLED; (a) IN EACH SLEEPING ROOM, (b) OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS, (c) ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS AND HABITABLE ATTICS BUT NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS. (CRC 314)

2). CARBON MONOXIDE ALARMS: WHERE A PERMIT IS REQUIRED FOR ALTERATIONS, REPAIRS OR ADDITIONS EXCEEDING \$1,000.00, EXISTING DWELLINGS OR SLEEPING UNITS THAT HAVE ATTACHED GARAGES OR FUEL BURNING APPLIANCES SHALL BE PROVIDED WITH A CARBON MONOXIDE ALARM IN THE FOLLOWING LOCATIONS; (a) OUTSIDE OF EACH SEPARATE DWELLING UNIT SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOM(S), (b) ON EVERY LEVEL OF A DWELLING UNIT INCLUDING BASEMENTS. (CBC 420.4, CRC R315). (HOME OWNER TO PROVIDE BEFORE FINAL INSPECTION).

HOME DEPOT USA INC. (SF)
2456 VERNA COURT
SAN LEANDRO, CA. 94577

SoCal PERMIT SERVICES
FOR ALL YOUR PERMIT NEEDS
990 HOPPER AVENUE, SANTA ROSA CA. 95403
(707) 527-7727 (PHONE), (707) 528-7663 (FAX)

DYAS
5th AVENUE & SANTA DE STREET
CARMEL BY THE SEA, CA. 93921

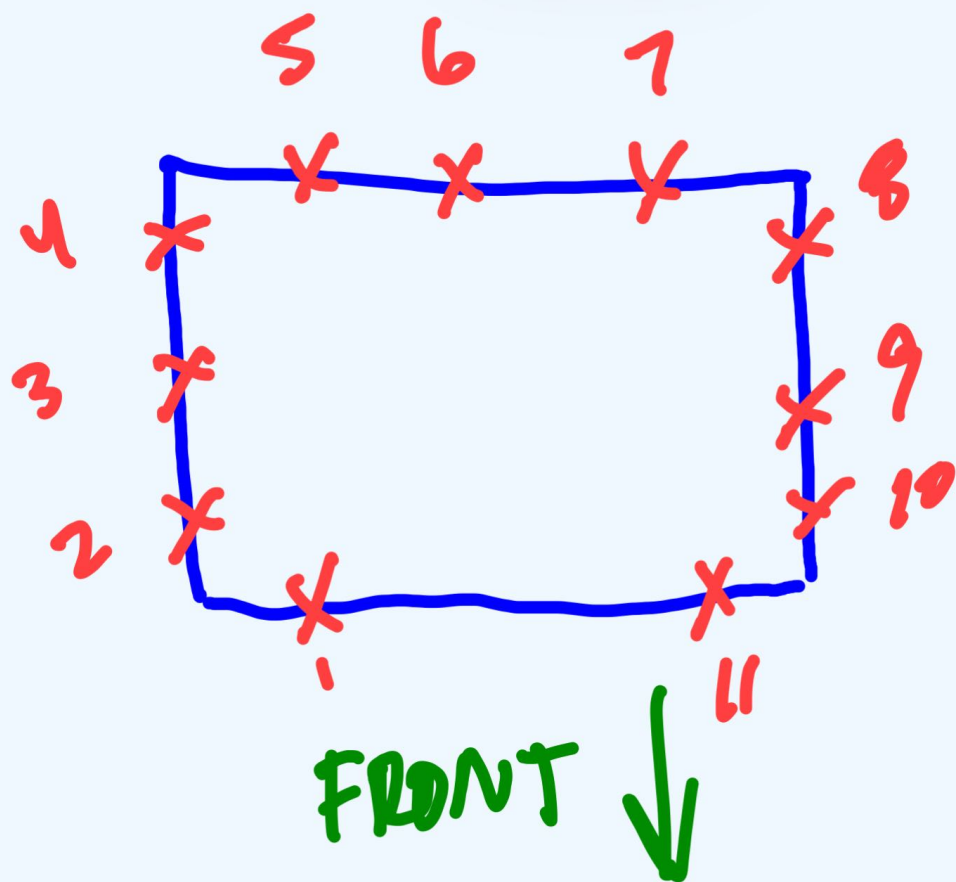
DATE 03.05.24

SCALE NTS

DRAWN BY DKW

JOB 11277511

SHEET A-1











Andersen Wood SPEC SHEET

Branch Name: South Bay

Ship To Location:

SC: Michael Maher

Job #: F40667015

Customer Name: DOMINIQUE DYAS

Measure Tech:

Prepared By:

Date: 02/29/2024

INSTALLER:

ISM:

Page 1 of 3

SPEC
SHEET #

SPR
REF #

ITEM	Existing Window Type			NEW WINDOW UNIT																																				
				Andersen Window TYPE		Color/Finish			SC SIZE SOLD (Tip to TIP)			MEASURE TECH SIZE			FULL FRAME ONLY	DH INSERT ONLY	Frame Sash Options	Casement Handling Options				Glass OPTION	Screen (Standard is included in Base price)	Grille Options (PER SASH PRICING)										Glass OPTION	Hung LOCK OPTIONS (ST or WH included in BASE unit pricing)	Hung SASH LIFT OPTIONS		Casement Hardware OPTIONS (Traditional Folding Stone or White Option included in BASE unit pricing)	MISC LABOR OPTIONS	
	Location	Existing Window Code	Series Type CODE	Window Style CODE	Exterior Color CODE	Interior Finish Color CODE	TW Jamb Liner Color	SC Standard Size AW Code	Width	Height	TOTAL UI (WIDTH + HEIGHT	Width	Height	MT/ISM Standard Size CODE	WALL DEPTH	SILL ANGLE	Sash Split	Venting / Handling				Hinge Style	Temp CODE	Screen Options	Grid Type CODE	Exterior Grid Color	Interior Grid Color	Pattern CODE	# Bars Vert (per sash)	# Bars Horiz (per sash)	Location CODE	#Bars Vert (Per Sash)	#Bars Horiz (Per Sash)	Location CODE	Pattern & Obscure CODE	Finish CODE	Type	Finish CODE	Type	Finish CODE
1	LIV	1st	SH - PV	100	SH	WH	WH			40	54	94										STD		SDL	WH	WH	COLO NIAL		1, 1	ALL					WH	STD	WH	STD	WH	F, WRAP
2	LIV	1st	SH - PV	100	SH	WH	WH			40	54	94										STD		SDL	WH	WH	COLO NIAL		1, 1	ALL					WH	STD	WH	STD	WH	F, WRAP
3	LIV	1st	SH - PV	100	SH	WH	WH			40	54	94										STD		SDL	WH	WH	COLO NIAL		1, 1	ALL					WH	STD	WH	STD	WH	F, WRAP
4	LIV	1st	SH - PV	100	SH	WH	WH			40	54	94										STD		SDL	WH	WH	COLO NIAL		1, 1	ALL					WH	STD	WH	STD	WH	F, WRAP

BAY / BOW WINDOW					SC/Installer Notes: (include Misc. Labor, Mull Stack Options, special conditions, Use Item # to identify window/door)	MANUFACTURER NOTES: (include mulling locations, accessories, Use Item # to identify window/door)
Projection Angle: (Bay: 30° or 45°)			Top of Window to Soffit (inches)		Line Level Notes: Remove existing w/ wraps , Line Level Notes: Remove existing w/ wraps , Line Level Notes: Remove existing w/ wraps , Line Level Notes: Remove existing w/ wraps	
Bay Window Flankers (DH / Casement)			Width of Overhang (inches)			
Construct Roof 1 (Yes / No)			If tied to Soffit, color of Soffit material			

ITEM #	Existing Door Type			NEW DOOR UNIT																												WINDOW & DOOR		AW Trim for Radius Unit					
				Andersen Door TYPE		Color/Finish		SC SIZE SOLD (Tip to TIP)			MEASURE TECH SIZE		FULL FRAME ONLY		Grille Options (PER SASH PRICING)							Glass OPTION	Screen Option	Hinge Option	Hinged and Gliding Door Options								MULL / STACK OPTIONS			MISC LABOR OPTIONS		Energy Star Options	
				Series Type	Style CODE	Exterior Color CODE	Interior Finish Color CODE	Standard Size AW Code	Width	Height	TOTAL UI (WIDTH + HEIGHT)	Width	Height	RO / TIP to TIP	Ext Jamb Size	Inswing Extension Jamb Location	Grid Type CODE	PD Exterior Grid Color	PD Interior Grid Color	Pattern CODE	Vert(Pattern Sash)	Horiz(Pattern Sash)	Obscure CODE	Screen CODE	IN or OUT	# Panels	Gliding Door Venting / Handling	Hinged Door Venting / Handling	PD Assembly (200, 400, & A-Ser gliding only)	Lock HRDWR Type	Lock HRDWR Finish	Optional Keyed Lock	Mulled / Stacked	Special Notes	MISC Labor Item CODES	Northern ES? Note: SmartSun meets all other regional zones. Yes or No	Capillary tube?	Profile	
																																				No		Width	
																																				No		AW Coil/ Wraps	
																																				No		#of boxes	
																																				No		Color	

Approval	Print Name	DOMINIQUE DYAS	Title	Home Owner
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Andersen Wood SPEC SHEET

Branch Name: South Bay

Ship To Location:

SC: Michael Maher

Job #: F40667015

Customer Name: DOMINIQUE DYAS

Measure Tech:

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6	KITCH	1st	SH - PV	100	SH	WH	WH			40	35	75										STD						none								WH	STD	WH	STD	WH	F, WRAP
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8	BED	1st	SH - PV	100	SH	WH	WH			40	54	94										STD		SDL	WH	WH	COLO NIAL		1, 1	ALL						WH	STD	WH	STD	WH	F, WRAP

BAY / BOW WINDOW					SC/Installer Notes: (include Misc. Labor, Mull Stack Options, special conditions, Use Item # to identify window/door)	MANUFACTURER NOTES: (include mulling locations, accessories, Use Item # to identify window/door)
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Approval	Print Name	DOMINIQUE DYAS	Title	Home Owner
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Andersen Wood SPEC SHEET

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Approval	Print Name	DOMINIQUE DYAS	Title	Home Owner
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100 SERIES



**THE SMART
ALTERNATIVE TO VINYL**

A BETTER CHOICE FOR YOUR HOME

Whether you're replacing, remodeling or building new, Andersen® 100 Series windows and patio doors offer many advantages over vinyl. They offer superior strength and performance because they're made of innovative Fibrex® composite material, which is 2X stronger and more durable than vinyl. They're also available in a variety of rich dark colors with finishes that are made to last and they're designed to retain their stability and rigidity in all climates. Plus, 100 Series windows and doors are environmentally responsible and energy efficient, making them a better choice for your home.



*When 100 Series products were tested against five leading competitors' painted vinyl window products.



STRENGTH & PERFORMANCE

Fibrex® material is **2X stronger than vinyl** and it retains its stability and rigidity in all climates so weathertight seals stay weathertight.

100 Series products can **withstand temperatures up to 150°F**, even in dark colors, meaning they won't warp due to sun exposure.

ENVIRONMENTALLY RESPONSIBLE

Our exclusive Andersen® Fibrex composite material is composed of **40% reclaimed wood fiber by weight**, most of which is reclaimed from the manufacturing of Andersen wood windows.



See how Andersen created Fibrex material at andersenwindows.com/fibrex

ENERGY EFFICIENT

Our weather-resistant construction seals out drafts, wind and water so well, you can relax in comfort whatever the weather. Plus, Fibrex material **blocks thermal transfer nearly 700 times better** than aluminum to help reduce heating and cooling bills.



COLORS THAT LAST

Durable, factory-finished interiors and exteriors feature a premium matte finish that isn't shiny like vinyl plus they **never need painting and won't fade, flake, blister or peel.**

On 100 Series products, **the finish is 12X thicker than that of painted vinyl windows**** resulting in superior scratch resistance so they'll look beautiful for years to come.

ADVANCED CRAFTSMANSHIP

100 Series products feature **virtually seamless corners** for a cleaner, more contemporary look.



100 Series sash corner seam



Vinyl sash corner seam

TRANSFERABLE LIMITED WARRANTY

Most other window and door warranties end when a home is sold, but our coverage — 20 years on glass, 10 years on non-glass parts — transfers from each homeowner to the next. And, because it's not prorated, the coverage offers **full benefits, year after year, owner after owner.** So it can add real value when you decide to sell your home.

OWNER2OWNER
LIMITED WARRANTY

*Visit andersenwindows.com/warranty for details.

**When 100 Series products were tested against five leading competitors' painted vinyl window products.

WINDOW & DOOR TYPES

Choose the product style and frame type needed to complete your replacement, remodeling or new construction project and bring your vision to life.



SINGLE-HUNG

Single-hung windows feature a stationary upper sash and operable lower sash that slides up and down.



CASEMENT & AWNING

Casement windows are hinged on the side and open outward to the left or right, while awning windows are hinged at the top and open outward.



GLIDING WINDOWS

Gliding windows have one stationary sash and one operating sash that glides horizontally. A three-sash configuration, where two sash glide past a fixed center sash is also available.



GLIDING PATIO DOORS

Patio doors feature one stationary panel and one that glides smoothly on adjustable rollers. Add character and light with a sidelight or transom.

SPECIALTY WINDOWS

Specialty windows are stationary (non-operable) windows characterized by their special shapes, including curves and dramatic angles. A variety of shapes are available to complement your home's architecture.

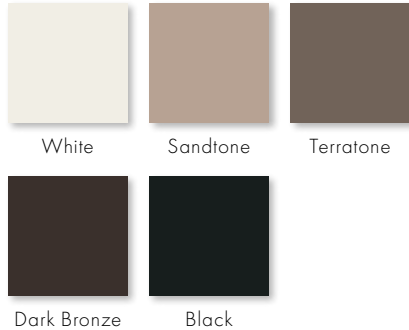
Windows and doors are available in custom sizes to fit all projects.



COLOR OPTIONS

100 Series windows and patio doors come in five exterior colors, including dark bronze and black — colors that are darker and richer than those of most vinyl windows. They also feature a premium matte finish inside for an attractive appearance.

EXTERIOR COLORS



INTERIOR COLORS



HARDWARE OPTIONS

Single-Hung & Gliding

STANDARD



Lock automatically engages when window is closed. Hardware color matches the window's interior. Shown in white.

OPTIONAL SLIM LINE METAL HARDWARE



Antique Brass | Black | **Dark Bronze**
Sandtone | Satin Nickel | White

Casement & Awning

STANDARD FOLDING



Antique Brass | Black | Dark Bronze
Sandtone | Satin Nickel | White

Folding handle avoids interference with window treatments.

Patio Doors

TULSA



Exterior handle matches exterior door color. Shown in dark bronze.

Interior handle matches interior door color. Shown in white.

OPTIONAL AFTON



Antique Brass | Bright Brass
Black | **Satin Nickel**

Gliding patio doors features a multi-point locking systems for enhanced security. Optional auxiliary foot lock is available to secure the gliding panel and provides an extra measure of security when the door is in a locked position. Exterior keyed lock also available.

Bold names denotes finish shown.

* Products with dark bronze, black and Sandtone interiors have matching exteriors.

Printing limitations prevent exact replication of colors and finishes. See your Andersen supplier for actual color and finish samples.

GLASS OPTIONS

Andersen has the glass you need to get the performance you want with options for every climate, project and customer. Check with your Andersen supplier for the selections that meet ENERGY STAR® requirements in your area.

GLASS	ENERGY		LIGHT	
	U-Factor How well a product prevents heat from escaping.	Solar Heat Gain Coefficient How well a product blocks heat caused by sunlight.	Visible Light Transmittance How much visible light comes through a product.	UV Protection How well a product blocks ultraviolet rays.
SmartSun™ Thermal control similar to tinted glass, with visible light transmittance similar to Low-E glass.	● ● ● ○	● ● ● ●	● ● ● ○	● ● ● ●
SmartSun with HeatLock® Coating Applied to the room-side surface, it reflects heat back into the home and improves U-Factor values.	● ● ● ●	● ● ● ●	● ● ○ ○	● ● ● ●
Low-E Outstanding overall performance for climates where both heating and cooling costs are a concern.	● ● ● ○	● ● ● ○	● ● ● ○	● ● ● ○
Low-E with HeatLock Coating Applied to the room-side surface, it reflects heat back into the home and improves U-Factor values.	● ● ● ●	● ● ● ○	● ● ● ○	● ● ● ○
Sun Outstanding thermal control in southern climates where less solar heat gain is desired.	● ● ● ○	● ● ● ●	● ○ ○ ○	● ● ● ○
Clear Dual-Pane High visibility with basic thermal performance.	● ○ ○ ○	○ ○ ○ ○	● ● ● ●	○ ○ ○ ○

Center of glass performance only. Ratings based on glass options as of May 2021. Visit andersenwindows.com/energystar for ENERGY STAR® map and NFRC total unit performance data.

ADDITIONAL GLASS OPTIONS

Tempered safety glass, standard on patio doors. Sound reducing glass options are also available.

Patterned glass lets in light while obscuring vision and adds a unique, decorative touch.



Cascade and Reed patterns can be ordered with either a vertical or horizontal orientation.

GLASS SPACER OPTIONS

Choose from stainless steel or black glass spacers to create a customized look.

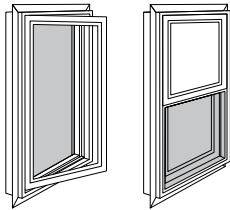


For more details on glass options, visit andersenwindows.com/glass.

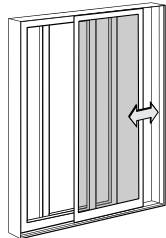


INSECT SCREEN OPTIONS

Insect screens for windows and patio doors have a fiberglass screen mesh. Optional TruScene® insect screens for windows are made with a micro-fine stainless steel mesh, providing 50% more clarity and letting in 25% more fresh air* than our conventional insect screens.



Insect screens are available for all venting windows.



Gliding insect screens are available for two-panel doors.

*TruScene insect screens let in over 25% more fresh air than standard Andersen fiberglass insect screens.

GRILLE OPTIONS

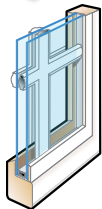
Customize the look of your windows and patio doors with a variety of grille options to complement virtually any style of home.

CONVENIENT CLEANING OPTIONS

Finelight™ grilles-between-the-glass are installed between the glass panes to make glass easy to clean. With an elegant, sculpted profile and a two-sided color scheme, they match both the interior and exterior of the window or door. Finelight grilles-between-the-glass with exterior grilles make interior glass easier to clean, while permanent exterior grilles provide architectural style and detail.



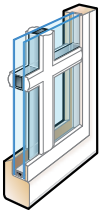
Finelight grilles-between-the-glass



Finelight grilles-between-the-glass
Permanent exterior

FULL DIVIDED LIGHT

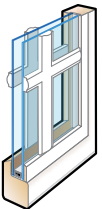
Permanently applied to the interior and exterior of your window with a spacer between the glass for an authentic look.



Permanent exterior
Permanent interior with spacer

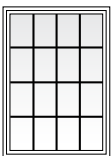
SIMULATED DIVIDED LIGHT

Permanent grilles on the exterior and interior with no spacer between the glass.

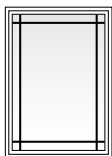


Permanent exterior
Permanent interior

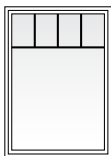
Grille Patterns



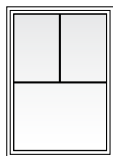
Colonial*



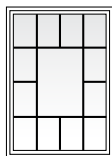
Prairie A



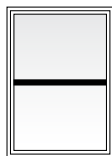
Short Fractional*



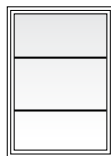
Tall Fractional*



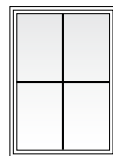
Victorian



Simulated Single-Hung



Specified Equal Light**



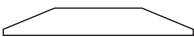
*Modified pattern also available.

**Specify number of same-size rectangles across or down.

Grille Bar Widths



3/4"



1"

Grille width for windows is 3/4".
Grille width for patio doors is 1".
A 2 1/4" simulated meeting rail is available for casement windows to replicate the look of single-hung windows.
Actual size shown.





THE ENVIRONMENT HAS A BUSINESS PARTNER

Respect for the environment is nothing new at Andersen. For more than a century, it's been part of who we are. Our commitment to recycle and reclaim materials began simply because it was good business. Now it's part of our broader commitment to sustainability and responsible stewardship of all our resources. Andersen is committed to providing you with long-lasting, energy-efficient windows and doors. Visit andersenwindows.com/sustainability for more information.



Andersen makes windows and doors with options that make them ENERGY STAR® v. 6.0 certified throughout the U.S.



Andersen is a charter member of the **U.S. Green Building Council** and a strong supporter of its LEED® (Leadership in Energy and Environmental Design) National Green Building Standard rating system.



*Visit andersenwindows.com/warranty for details.

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400 SERIES

**TIME-TESTED, CLASSIC WOOD
CRAFTSMANSHIP**





400 SERIES WINDOWS & PATIO DOORS

As our most popular and longest-standing product line, the 400 Series brings you the best overall blend of performance and style to satisfy just about any window or patio door need. With years of engineering and craftsmanship to build on, 400 Series windows and patio doors are designed to live up to your high standards. Plus, with a broad array of shapes, style and colors to choose from, you can achieve the style you've envisioned for your home while having peace of mind knowing they're backed by our renowned Owner-2-Owner® limited warranty. With Andersen® 400 Series products, have confidence knowing you will be getting the quality and performance in which Andersen built its reputation. For more information, visit andersenwindows.com/400series.





MATCH ANY HOME DESIGN

From contemporary design to traditional and classic architecture, 400 Series products offer a time-tested blend of engineering and craftsmanship, combined with a variety of style options that can elevate a classic wood window into a stunning focal point in any home style. Visit our Home Style Library at andersenwindows.com/stylelibrary.



CONTEMPORARY DESIGN

Contemporary home design embraces minimalism and simplicity – clean lines, glass that stretches floor-to-ceiling and sleek, dark colors. Large windows and combinations allow you to enjoy stunning vistas and bring the outdoors in.



CASEMENT & AWNING WINDOWS

Enhance your view and create stunning combinations by grouping together casement and/or awning windows. Casement windows hinge on the side and crank open outward allowing for full top to bottom ventilation. Awning windows are hinged at the top and open outward from the bottom allowing for ventilation and protection from the rain.

- Low-maintenance Perma-Shield® exterior cladding protects the unit and offers long-lasting* weathertight performance
- Smooth control hardware allows for easy operation with the simple turn of the handle
- Choose a contemporary or traditional profile to fit your design style
- Available in custom sizes for replacement projects
- Single-actuation lock secures casement windows at multiple points with a single handle and features a “reach out” action that pulls the sash in for a weathertight seal



SPECIALTY WINDOWS

Create large combinations with specialty windows to maximize light and view. Specialty windows are stationary windows that come in a variety of uncommon shapes, including elegant arches, striking angles and compelling curves to add curb appeal or enhance the character of your home. Flexiframe® windows are designed in nearly any shape made with straight lines, provided no angle is less than 14 degrees.

- Low-maintenance Perma-Shield exterior cladding protects the unit and offers long-lasting* weathertight performance
- Available in custom sizes
- Choose a contemporary or traditional profile to fit your design style



Examples of available shapes.

For contemporary patio door options, visit andersenwindows.com/doors.

*Visit andersenwindows.com/warranty for details.



TRADITIONAL DESIGN

Traditional home design remains true to the history, authenticity and character of home styles that date back decades or even centuries. The classic design of Andersen® 400 Series windows and patio doors complement traditional style homes.



Double-hung windows have two operating sash (glass panels) that move up and down allowing for ventilation on the top, bottom or both.

DOUBLE-HUNG WINDOWS

Bring fresh air in while not interfering with patios or walkways. Plus, with tilt-in features, cleaning double-hung windows from inside your home is easy. Woodwright® double-hung windows are built with authentic craftsmanship to help replicate the look of classic architecture. They allow you to retain or add charm to your home with beautiful wood interiors and an array of style options. Tilt-wash double-hung windows offer classic styling with thinner profiles and the perfect balance of modern and traditional design. Their classic blend of engineering and craftsmanship, along with energy efficiency, makes them our best-selling double-hung window.

- Low-maintenance exterior cladding protects the unit while wood interiors offer beauty and warmth
- Dual layer weatherstrip helps seal out dust, wind and water
- Available in custom size insert windows for easy replacement or full-frame windows for new construction and remodeling projects



PATIO DOORS

Designed to bring nature's beauty inside while enhancing the style and personality of your home. Frenchwood® hinged inswing patio doors are designed to open into a room and save space for smaller exterior areas. Frenchwood gliding patio doors are ideal for any climate, they glide horizontally so not to interfere with your room.

- Experience smooth, long-lasting* operation with adjustable ball-bearing rollers and a durable stainless-steel capped track on gliding doors. Hinged doors feature adjustable hinges, so you can easily fine tune the position of our door panel.
- Weatherstrip is designed to seal out air and water infiltration
- Secure locking systems tighten the door against the frame for improved security and weather protection
- Optional blinds-between-the-glass offer privacy and are protected from dust and damage and never need cleaning
- Available in custom sizes for replacement projects

*Visit andersenwindows.com/warranty for details.

GLASS OPTIONS

Andersen offers one of the industry's widest array of glass options, so you're sure to find the right choice for your climate and your home. Choose from these High-Performance glass options.

GLASS		ENERGY		LIGHT	
		U-Factor How well a product prevents heat from escaping.	Solar Heat Gain Coefficient How well a product blocks heat caused by sunlight.	Visible Light Transmittance How much visible light comes through a product.	UV Protection How well a product blocks ultraviolet rays.
SmartSun™	Thermal control similar to tinted glass, with visible light transmittance similar to Low-E4 glass.	● ● ● ○	● ● ● ●	● ● ● ○	● ● ● ●
SmartSun with HeatLock® Coating	Applied to the room-side surface, it reflects heat back into the home and improves U-Factor values.	● ● ● ●	● ● ● ●	● ● ○ ○	● ● ● ●
Low-E4®	Outstanding overall performance for climates where both heating and cooling costs are a concern.	● ● ● ○	● ● ● ○	● ● ● ○	● ● ● ○
Low-E4 with HeatLock Coating	Applied to the room-side surface, it reflects heat back into the home and improves U-Factor values.	● ● ● ●	● ● ● ○	● ● ● ○	● ● ● ○
Sun	Outstanding thermal control in southern climates where less solar heat gain is desired.	● ● ● ○	● ● ● ●	● ○ ○ ○	● ● ● ○
PassiveSun®	Ideal for northern, passive solar construction applications where solar heat gain is desired.	● ● ● ○	● ○ ○ ○	● ● ● ○	● ● ● ○
PassiveSun with HeatLock Coating	Applied to the room-side surface, it reflects heat back into the home and improves U-Factor values.	● ● ● ○	● ○ ○ ○	● ● ● ○	● ● ● ○
Clear Dual-Pane	High visibility with basic thermal performance.	● ○ ○ ○	○ ○ ○ ○	● ● ● ●	○ ○ ○ ○

Center of glass performance only. Ratings based on glass options as of January 2022. Visit andersenwindows.com/energystar for ENERGY STAR® map and NFRC total unit performance data.

ADDITIONAL GLASS OPTIONS

Tempered safety glass, standard on patio doors.

Laminated glass for added strength, enhanced security and sound control.

Patterned glass lets in light while obscuring vision and adds a unique, decorative touch.



Cascade



Fern



Obscure



Reed



Satin Etch

Cascade and Reed patterns can be ordered with either a vertical or horizontal orientation.

For more details on glass options, visit andersenwindows.com/glass.

GLASS SPACER OPTIONS

Choose from stainless steel, black or white glass spacers to create a customized look. Add full divided light grilles and the grille spacer bar between the glass will match the selected glass spacer color.



Black



White



Stainless Steel

STORMWATCH® PROTECTION

Most Andersen 400 Series windows are available with impact-resistant glass and structural upgrades to meet the tough building codes of hurricane-prone coastal areas. See your local code official for specific requirements.



BLINDS-BETWEEN-THE-GLASS

Blinds-between-the-glass offer privacy and convenience and are available on select Frenchwood® gliding and hinged patio doors.



ART GLASS

With art glass from Andersen, you can add interest, create focal points and make your work stand out. For more information, visit andersenwindows.com/artglass.





EXTERIOR & INTERIOR OPTIONS

Our Perma-Shield® exterior cladding system, a time-tested Andersen innovation, offers low maintenance and durability while also providing an attractive appearance. The interiors of all 400 Series windows and patio doors are available in unfinished stain-grade pine or with a long-lasting†, low-maintenance white finish. Select windows are also available with a dark bronze or black finish. 400 Series Woodwright® windows and Frenchwood® patio doors are also available with unfinished maple or oak interiors.

EXTERIOR COLORS**



INTERIOR OPTIONS**



Design your window at
andersenwindows.com/design-tool

*Visit andersenwindows.com/warranty for details.

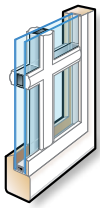
**Some products are not available in all colors or wood species. See your Andersen supplier for details.

†Products with dark bronze and black interiors have matching exteriors.

Printing limitations prevent exact replication of colors and finishes. See your Andersen supplier for actual color and finish samples.

GRILLE OPTIONS

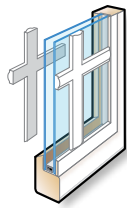
A variety of grille patterns, widths and configurations fit any architectural style and help you create your vision. When remodeling or replacing, they play an important role in preserving the style of your home which is why we also offer custom patterns.



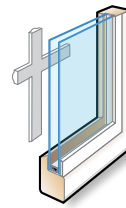
Permanent exterior
Permanent interior
with spacer



Permanent
exterior
Permanent
interior



Permanent
exterior
Removable
interior



Removable
interior



Finelight™
Grilles-
Between-
the-Glass™

FULL DIVIDED LIGHT

Permanently applied to the interior and exterior of your window with a spacer between the glass.

SIMULATED DIVIDED LIGHT

Permanent grilles on the exterior and interior with no spacer between the glass. We also offer permanent exterior grilles with removable interior grilles.

CONVENIENT CLEANING OPTIONS

Removable interior grilles come off for easy cleaning. Finelight™ grilles-between-the-glass are installed between the glass panes and feature a contoured $\frac{3}{4}$ " or 1" profile.

Grille Bar Widths



$\frac{3}{4}$ "



$\frac{7}{8}$ "



1 $\frac{1}{8}$ "



2 $\frac{1}{4}$ "

Our 2 $\frac{1}{4}$ " wide grille can be positioned horizontally across the center of a casement window to simulate the look of a double-hung window.

Cross section of grilles showing standard widths and profiles. Additional patterns available, see your Andersen supplier for details.

INSECT SCREEN OPTIONS

Choose our TruScene® insect screen for a beautifully unobstructed view with 400 Series windows. TruScene insect screens provide more than 50% greater clarity than conventional Andersen insect screens and let in 25% more fresh air;** all while keeping out unwanted small insects.

Conventional aluminum insect screens are also available for 400 Series windows. 400 Series patio doors are available with conventional fiberglass insect screens.



* $\frac{7}{8}$ ", 1 $\frac{1}{8}$ " and 2 $\frac{1}{4}$ " not available in Finelight grilles-between-the-glass.

**TruScene insect screens let in over 25% more fresh air than standard Andersen fiberglass insect screens.





WINDOW HARDWARE

Whether replacing, remodeling or building new, our hardware* options enhance your home's decor. Choose from a variety of styles ranging from traditional and classical to simple and contemporary.

Woodwright® Double-Hung

STANDARD



Antique Brass | **Black** | Bright Brass | Distressed Bronze
Distressed Nickel | Oil Rubbed Bronze | Satin Nickel
Stone | White

Double-Hung Sash Lifts

TRADITIONAL



Bar Lift



Finger Lift



Hand Lift

Antique Brass | Black | Bright Brass | Distressed Bronze | Distressed Nickel
Oil Rubbed Bronze | Satin Nickel | Stone | White

Tilt-Wash Double-Hung

STANDARD



Standard: Stone | **White**
Optional: Black

CLASSIC™



Bar Lift



Finger Lift



Hand Lift

Stone | **White**

Classic double-hung sash lifts are only available for 400 Series Woodwright double-hung windows.

ESTATE™



Antique Brass | **Bright Brass**
Distressed Bronze | Distressed Nickel
Oil Rubbed Bronze | Satin Nickel

Estate lock & keeper is available only for 400 Series tilt-wash double-hung windows.

CONTEMPORARY



Bar Lift

Antique Brass | Black
Bright Brass | Distressed Bronze
Distressed Nickel | Oil Rubbed Bronze
Satin Nickel | Stone | White

ESTATE



Hand Lift



Finger Lift

Antique Brass | **Bright Brass**
Distressed Bronze | Distressed Nickel
Oil Rubbed Bronze | Satin Nickel

Estate double-hung sash lifts are only available for 400 Series Woodwright double-hung windows.

Gliding



Antique Brass | Black | Bright Brass
Distressed Bronze | Distressed Nickel
Oil Rubbed Bronze | **Satin Nickel**
Stone | White

Casement & Awning

ESTATE



Antique Brass | Bright Brass
Distressed Bronze | Distressed Nickel
Oil Rubbed Bronze | Satin Nickel

CLASSIC



Stone | **White**

CONTEMPORARY FOLDING



Black | Bright Brass | Oil Rubbed Bronze
Satin Nickel | Stone | White

TRADITIONAL FOLDING



Antique Brass | Black | Bright Brass
Distressed Bronze | Distressed Nickel
Oil Rubbed Bronze | Satin Nickel | Stone | White

Folding handles avoid interference with window treatments.

*Hardware is sold separately, except standard lock and keeper for double-hung windows.

Bold name denotes finish shown.

Distressed bronze and oil rubbed bronze are "living" finishes that will change with time and use.

Printing limitations prevent exact finish replication. See your Andersen supplier for actual finish samples.

PATIO DOOR HARDWARE

400 Series patio door hardware* is available in a variety of designs to match virtually any style. Additional hardware options such as exterior keyed locks and matching hinge finishes are also available.

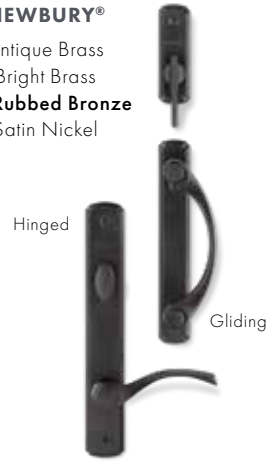
YUMA®
Distressed Bronze
Distressed Nickel



ENCINO®
Distressed Bronze
Distressed Nickel



NEWBURY®
Antique Brass
Bright Brass
Oil Rubbed Bronze
Satin Nickel



ANVERS®
Bright Brass
Oil Rubbed Bronze
Satin Nickel



ALBANY
Black
Stone
White

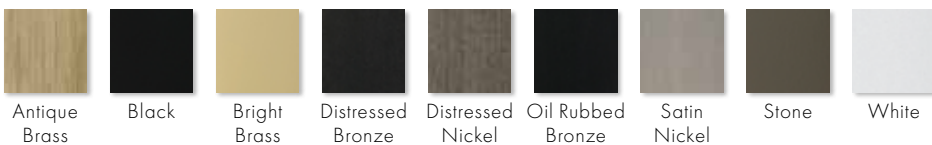


TRIBECA®
Black
Stone
White



Bold name denotes finish shown.

HARDWARE FINISHES



FSB® HARDWARE

Durable FSB hinged door hardware features clean lines and a sleek finish for a thoroughly modern look.



*Hardware sold separately.

**FSB style 1102 is not available in black anodized aluminum.

Tribeca and Albany hardware are zinc die cast with powder-coat durable finish. Yuma, Encino, Newbury and Anvers are solid forged brass. FSB hardware is stainless steel or aluminum.

Distressed bronze and oil rubbed bronze are "living" finishes that will change with time and use.

Bright brass and satin nickel finishes on patio door hardware feature a 10-year limited warranty.

Matching hinges available in most finishes for inswing patio doors, excludes FSB hardware.

Printing limitations prevent exact finish replication. See your Andersen supplier for actual finish samples.

"FSB" is a registered trademark of Franz Schneider Brakel GmbH & Co.

COMPARISON CHART

Use the quick reference chart below to decide which Andersen® 400 Series products best fit your project needs.

		WINDOWS								PATIO DOORS	
FEATURES		Woodwright® Double-Hung Full-Frame	Woodwright Double-Hung Insert	Tilt-Wash Double-Hung Full-Frame	Tilt-Wash Double-Hung Insert	Narroline® Double-Hung Conversion Kit	Casement	Awning	Gliding	Frenchwood® Gliding	Frenchwood Hinged Inswing
Low-Maintenance Exteriors											
	White	●	●	●	●	●	●	●	●	●	●
	Canvas	●	●	●	●		●	●	●		
	Sandtone	●	●	●	●	●	●	●	●	●	●
	Terratone	●	●	●	●	●	●	●	●	●	●
	Dark Bronze	●	●	●	●		●	●	●		
	Forest Green	●	●	●	●		●	●	●	●	●
	Black	●	●	●	●		●	●	●		
Interiors											
	Pine	●	●	●	●	●	●	●	●	●	●
	Maple	●	●							●	●
	Oak	●	●							●	●
	White	●	●	●	●	●	●	●	●	●	●
	Sandtone								●		
	Dark Bronze			●	●		●	●	●		
	Black			●	●		●	●	●		
Easy Cleaning											
Tilt-to-Clean Sash		●	●	●	●	●					
Grilles & Blinds											
Full Divided Light		●	●	●	●	●	●	●	●	●	●
Simulated Divided Light		●	●	●	●	●	●	●	●	●	●
Finelight™ Grilles-Between-the-Glass		●	●	●	●	●	●	●	●	●	●
Removable Interior Grilles		●	●	●	●	●	●	●	●	●	●
Blinds-Between-the-Glass										●	●
High-Performance Glass Additional glass options are available. See page 8 for details. For patio doors, all glass options are tempered.											
Low-E4®		●	●	●	●	●	●	●	●	●	●
Low-E4 SmartSun™		●	●	●	●	●	●	●	●	●	●
Low-E4 Sun		●	●	●	●	●	●	●	●	●	●
Low-E4 PassiveSun		●	●	●	●	●	●	●	●	●	●
Clear Dual-Pane							●	●			
HeatLock® Coating		●	●	●	●	●	●	●	●	●	●
Performance Option											
Stormwatch® Protection		PG upgrade		●			●	●			
Glass Spacers											
Stainless Steel		●	●	●	●	●	●	●	●	●	●
Black or White		●	●	●	●	●	●	●	●	●	●
Standard Sizes											
Minimum Width		1'-9 5⁄8"	1'-4 1⁄2"	1'-9 5⁄8"	1'-9 1⁄4"	Fits Narroline double-hung windows made after 1967	1'-5"	2'-0 1⁄8"	2'-11 1⁄4"	4'-11 1⁄4"	2'-6 1⁄8"
Maximum Width		3'-9 5⁄8"	3'-9 5⁄8"	3'-9 5⁄8"	3'-8 7⁄8"		2'-11 15⁄16"	5'-11 7⁄8"	5'-11 1⁄4"	15'-9"	8'-11 1⁄8"
Minimum Height		3'-0 7⁄8"	2'-3 3⁄4"	3'-0 7⁄8"	3'-0 3⁄8"		2'-0 1⁄8"	1'-5"	1'-10 1⁄4"	6'-7 1⁄2"	6'-7 1⁄2"
Maximum Height		6'-4 7⁄8"	6'-5"	7'-8 7⁄8"	7'-6 5⁄8"		5'-11 7⁄8"	4'-0"	4'-11 1⁄4"	7'-11 1⁄2"	7'-11 1⁄2"
Custom Sizes		●	●	●	●		●	●		●	●



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Respect for the environment is nothing new at Andersen. For more than a century, it's been part of who we are. Our commitment to recycle and reclaim materials began simply because it was good business. Now it's part of our broader commitment to sustainability and responsible stewardship of all our resources. Andersen is committed to providing you with long-lasting, energy-efficient windows and doors. Visit andersenwindows.com/sustainability for more information.



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CITY OF CARMEL-BY-THE-SEA PLANNING COMMISSION Staff Report

June 11, 2025
PUBLIC HEARINGS

TO: Chair LePage and Planning Commissioners

SUBMITTED BY: Jacob Olander, Associate Planner

APPROVED BY: Anna Ginette, AICP, Community Planning And Building Director

SUBJECT: **DS 25071 (Morsello):** Consideration of a Track 1 Design Study (DS 25071) referral for the replacement of the existing wood windows with 100 Series Fibrex windows on a single-family residence located at the northeast corner of Santa Fe Street and 8th Avenue in the Single-Family Residential (R-1) District. APN: 010-044-007-000

Proposed CEQA Action: Find the project statutorily exempt from environmental review pursuant to CEQA Guidelines Section 15270

Application: DS 25071 (Morsello)

APN: 010-044-007-000

Block: 86

Lot: 11 & 12

Location: Northeast corner of 8th Avenue & Santa Fe Street

Applicant: RiAnne Johnson

Property Owner: Larry Morsello

Executive Summary:

The applicant requests a deviation from the Residential Design Guidelines to install eight windows made from a composite material, Fibrex. Pursuant to the Carmel Municipal Code, a deviation from the guidelines shall be approved by the Planning Commission.

Recommendation:

Staff recommends the Planning Commission adopt the following:

A resolution (Attachment 1 – Denial):

- a) Finding that the installation of Fibrex windows is statutorily exempt from environmental review pursuant to California Environmental Quality Act (CEQA) Guidelines Section 15270 (Projects Which Are Disapproved); and
- b) Denying the Design Study for the installation of Fibrex windows at a single-family residence located at the northeast corner of 8th Avenue & Santa Fe Street in the Single-Family Residential (R-1) District. APN:

010-044-007-000.

OR

A resolution (Attachment 2 – Approval):

- a) Finding that the installation of Fibrex windows is a minor alteration to an existing property which qualifies as categorically exempt pursuant to CEQA Guidelines Section 15301 and none of the exceptions pursuant to Section 15300.2 can be made; and
- b) Approving the Design Study for the installation of composite Fibrex windows at a single-family residence located at the northeast corner of 8th Avenue & Santa Fe Street in the Single-Family Residential (R-1) District. APN: 010-149-016-000.

Background and Project Description:

Residential Design Guideline 9.11 states that window materials other than authentic, unclad wood are only appropriate when it can be demonstrated that the proposed material is more appropriate to the architecture. The Carmel Municipal Code (CMC) allows the Planning Commission to deviate from the Residential Design Guidelines when *the proposed deviation from the design guidelines achieves all of the applicable design objectives of CMC 17.58.010, Purpose and Applicability, as well as, or better than, would be achieved by adherence to the adopted design guidelines.*

The applicant seeks approval to install a composite window material called Fibrex by Andersen Windows and Doors. The Andersen 100 Series line (see **Attachment 4**) is promoted by Andersen as “The Smart Alternative to Vinyl.” The composite exterior window material is trademarked as Fibrex and contains 40% reclaimed wood fiber. The proposed windows would have full divided lights with spacers between the glass. Divided lights are encouraged by the Residential Design Guidelines.

Staff Analysis:

The existing residence was constructed in 1945 with divided-light wood windows. The property is currently being reviewed for Historic Significance. The city has no record of any changes to the windows. It does not appear that the windows have been replaced. Residential Design Guideline 9.11 states the following regarding window materials:

Window styles and materials should be consistent with the architecture of the building. Window styles and materials should be uniform throughout a building.

- Divided light windows are encouraged. Divided light windows should appear to be true divided light, including use of internal and external mullion and muntin bars on insulated windows.
- Removable or "snap-in," or internal-only mullion and muntin bars are unacceptable.
- *Materials other than authentic, unclad wood are appropriate only when it can be demonstrated that the proposed material is more appropriate to the architecture.*
- High gloss finishes should be avoided.
- Fenestration on historic buildings should retain the historic integrity of the resource. When feasible, original windows should be restored rather than replaced.

Vinyl windows were first manufactured in 1954 when the price of aluminum increased, and wood was in short supply after the war. Despite this, vinyl windows do not appear to have been a common feature in Carmel. In more recent times, there have been an increase in requests for the installation of vinyl or other composite window materials.

The current Residential Design Guidelines were adopted in 2001, and Guideline 9.11 became the standard for windows. Approximately 5-7 years ago, the Planning Commission began approving aluminum-clad wood windows if they were consistent with the look of authentic wood windows. Steel and extruded aluminum windows have also been approved when it can be demonstrated that the material is consistent with the architectural style of the residence.

At the May 8, 2024 Planning Commission meeting, the Planning Commission approved Design Study DS 23-319 (Schneider) for the installation of 9 Fibrex windows. The applicants provided samples of 100 series (see **Attachment 4**) and 400 series (see **Attachment 5**) Fibrex windows. The Planning Commission favored the 400 series windows, but approved the permit without requiring the applicant to use the 400 series over the 100 series windows. As part of the June 11, 2025 Planning Commission meeting site visits, Commissioners will have the opportunity to see the 100 series windows installed at a different location.

Staff had determined that in this case, the project is a deviation from the Residential Design Guidelines as the 100 series Fibrex windows are not more appropriate to the architecture than wood windows. Deviations from the Residential Design Guidelines can be approved by the Planning Commission if the deviation achieves all applicable design objectives in CMC Section 17.58.010 and is equal to or better than using authentic wood or aluminum-clad wood windows. The design objectives are listed below, followed by a staff response. Based on staff's analysis, the Planning Commission must make a policy determination as to whether or not the project, as a whole, meets the design objectives, specifically numbers 3 and 6. As such, staff has prepared a draft resolution of denial (**Attachment 1**) and a draft resolution of approval (**Attachment 2**).

1. Promote design that maintains the City's intimate and human scale and complements, rather than overrides, natural constraints;

Staff Response: Not applicable.

2. Ensure that the design of new homes, residential additions, and exterior alterations preserves the traditional characteristics of scale, good site design, and sensitivity to neighboring properties;

Staff Response: The original divided light windows are proposed to be replaced; however, no changes are proposed to the original window openings.

3. Encourage the construction of residences that are diverse and innovative in design yet compatible with the City's forest setting as well as the site design and materials used in surrounding structures;

Staff Response: The Fibrex window material could be considered innovative as an environmentally responsible material composed of 40 percent reclaimed wood fiber by weight, most of which is reclaimed from manufacturing Andersen wood windows. According to Andersen, Fibrex blocks thermal transfer nearly 700 times better than aluminum and helps to reduce heating and cooling bills. However, if the Commission determines that the 100 series Fibrex windows are an inappropriate material as it does not present the "look" of wood, the result would be that the project does not meet this objective and it therefore cannot be supported.

4. Promote residential design that respects the privacy, solar, access, and private views of neighboring properties;

Staff Response: No changes are proposed to the original window openings.

5. Maintain a tradition of architectural diversity that enhances the character of the commercial district and

adds a lively sense of history to Carmel's village ambiance by promoting commercial building design that respects these traditions; and

Staff Response: Not applicable.

6. Encourage originality and invention so long as the results encompass the unifying values of human scale, the use of natural materials and their role in preserving village character, and avoid out-of-scale or bizarre building forms or incompatible design.

Staff Response: Refer to the staff response of #3 above regarding invention and #2 regarding scale. Other exterior materials on the residence include horizontal wood siding, wood window trim, wood shutters, and a brick chimney. These natural materials are proposed to remain. The roof material is wood shingles.

Other Project Components:

If the Commission finds the project does not meet the design objectives and denies the Design Study, staff recommends the project be found statutorily exempt from the California Environmental Quality Act (CEQA), State CEQA guidelines, and local environmental regulations, pursuant to Section 15270 (Projects Which Are Disapproved).

OR

If the Commission finds the project meets the design objectives and approves the Design Study, staff recommends that the project be found categorically exempt from the California Environmental Quality Act (CEQA), State CEQA guidelines, and local environmental regulations pursuant to Section 15301 (Class 1) —Existing Facilities. Class 1 exemptions include minor interior and exterior alterations to existing structures and landscapes involving no expansion of the existing use. The proposed project does not present any unusual circumstances that would result in a potentially significant environmental impact, and no exceptions to the exemption exist pursuant to section 15300.2 of the CEQA Guidelines.

Attachment 1 – Resolution denial

Attachment 1 – Resolution approval

Attachment 3 - Project Plans

DS 25071 (Morsello) - Attachment 4 - Andersen 100 Series Brochure

DS 25071 (Morsello) - Attachment 5 - Andersen 400 Series Brochure

**CITY OF CARMEL-BY-THE-SEA
PLANNING COMMISSION**

PLANNING COMMISSION RESOLUTION NO. 2025-XXX-PC

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF CARMEL-BY-THE-SEA DENYING
DESIGN STUDY DS 25071 (MORSELLO) FOR THE INSTALLATION OF COMPOSITE FIBREX
WINDOWS AT A SINGLE-FAMILY RESIDENCE LOCATED AT THE NORTHEAST CORNER OF 8TH
AVENUE & SANTA FE STREET IN THE SINGLE-FAMILY RESIDENTIAL (R-1) DISTRICT
APN 010-044-007-000**

WHEREAS, on March 7, 2025, RiAnne Johnson (“Applicant”) submitted an application on behalf of Larry Morsello (“Owner”) requesting approval of Track 1 Design Study application DS 25071 (Morsello) described herein as (“Application”); and

WHEREAS, the Application has been submitted for a 4,000-square-foot lot located at the Northeast corner of 8th Avenue & Santa Fe Street in the Single-Family Residential (R-1) Zoning District (Block 86, Lot 11 & 12); and

WHEREAS, the Applicant is requesting to replace existing windows with composite Fibrex divided light windows; and

WHEREAS, in accordance with Carmel Municipal Code (CMC) Section 17.58.040 (Residential Design Review), changes in exterior materials of structures and changes in windows require approval of a Residential Track One Design Study by the Director or their designee; and

WHEREAS, CMC Section 17.58.040.A.3 states that the Director may approve projects that comply with the residential design guidelines; and

WHEREAS, CMC Section 17.58.040.A.3.b states that projects that do not comply with design objectives or residential design guidelines will be referred to the Planning Commission for resolution; and

WHEREAS, the Director finds that composite window material does not achieve the design objectives as well as or better than would be achieved by installing authentic wood or aluminum-clad wood windows and therefore is referring the application to the Planning Commission for resolution; and

WHEREAS, on May 30, 2025, a notice of the public hearing scheduled for June 11, 2025, was published in the Carmel Pine Cone in compliance with State law (California Government Code 65091) and mailed to owners of real property within a 300-foot radius of the project indicating the date and time of the public hearing; and

WHEREAS, on or before June 1, 2025, the Applicant posted the public notice on the project site and hand-delivered a copy of the public notice to each property within a 100-foot radius of the project site indicating the date and time of the public hearing; and

WHEREAS, on or before June 6, 2025, the meeting agenda was posted in three locations in compliance with State law indicating the date and time of the public hearing; and

WHEREAS, on June 11, 2025, the Planning Commission held a duly noticed public hearing to receive public testimony regarding the application, including, without limitation, the information provided to the Planning Commission by City staff and through public testimony; and

WHEREAS, CMC Section 17.58.060.D states that prior to approving any project in the single-family residential (R-1) district that deviates from the City's applicable adopted Design Guidelines, the Planning Commission shall adopt specific findings based on information in the record to show how the proposed deviation from the design guidelines achieves all of the applicable design objectives of CMC Section 17.58.10, Purpose and Applicability, as well as, or better than, would be achieved by adherence to the adopted design guidelines; and

WHEREAS, pursuant to CMC Section 17.58.010.A.1, the design review process is intended to promote design that maintains the City's intimate and human scale and complements, rather than overrides, natural constraints. The project includes the replacement of windows and therefore this objective does not apply; and

WHEREAS, pursuant to CMC Section 17.58.010.A.2, the design review process is intended to ensure that the design of new homes, residential additions, and exterior alterations preserves the traditional characteristics of scale, good site design, and sensitivity to neighboring properties. The project meets this objective as it does not include changes to the original window openings and will therefore maintain the existing scale; and

WHEREAS, pursuant to CMC Section 17.58.010.A.3, the design review process is intended to encourage the construction of residences that are diverse and innovative in design yet compatible with the City's forest setting as well as the site design and materials used in surrounding structures. The Planning Commission has determined that the 100 series Fibrex windows are an inappropriate material as it does not present the "look" of wood and therefore the project does not meet this objective; and

WHEREAS, pursuant to CMC Section 17.58.010.A.4, the design review process is intended to promote residential design that respects the privacy, solar, access, and private views of neighboring properties. The project meets this objective as it does not include changes to the original window openings or an increase of floor area; and

WHEREAS, pursuant to CMC Section 17.58.010.A.5, the design review process is intended to maintain a tradition of architectural diversity that enhances the character of the commercial

district and adds a lively sense of history to Carmel's village ambiance by promoting commercial building design that respect these traditions. The project consists of the modification of a single family residence within a residential district. Therefore, this objective does not apply; and

WHEREAS, pursuant to CMC Section 17.58.010.A.6, the design review process is intended to encourage originality and invention so long as the results encompass the unifying values of human scale and the use of natural materials and their role in preserving village character and avoid out-of-scale or bizarre building forms or incompatible design. The Planning Commission has determined that the 100 series Fibrex windows are an inappropriate material as it does not present the "look" of wood and therefore the project does not meet this objective; and

WHEREAS, pursuant to CMC Section 17.58.060.B.1, the Planning Commission shall find that the project conforms to the applicable policies of the General Plan and the Local Coastal Program. General Plan Policy P1-37 states that approved designs do not disrupt the existing neighborhood character by introducing inconsistent design elements. The Planning Commission has determined that the use of 100 series Fibrex windows is inconsistent with this policy as they do not present the "look" of wood. Therefore, this finding cannot be made; and

WHEREAS, pursuant to CMC Section 17.58.060.B.2, the Planning Commission shall find that the project complies with all applicable provisions of this code. As demonstrated in the recitals above, the Planning Commission has determined that the use of 100 series Fibrex windows does not meet the design objectives set forth in CMC Section 17.58.010.A.3 and 17.58.010.A.6. Therefore, this finding cannot be made; and

WHEREAS, pursuant to CMC Section 17.58.060.B.3, the Planning Commission shall find that the project is consistent with applicable adopted design review guidelines. As demonstrated in the recitals above, the Planning Commission has determined that the use of 100 series Fibrex windows deviates from the Design Guidelines and does not meet the design objectives. Therefore, this finding cannot be made; and

WHEREAS, the California Environmental Quality Act (California Public Resources Code §§ 21000, *et seq.*, "CEQA"), together with State Guidelines (14 California Code Regulations §§ 15000, *et seq.*, the "CEQA Guidelines") and City Environmental Regulations (CMC 17.60) require that certain projects be reviewed for environmental impacts and that environmental documents be prepared; and

WHEREAS, the Planning Commission found that pursuant to CEQA regulations, the Application is statutorily exempt from the California Environmental Quality Act (CEQA), State CEQA guidelines, and local environmental regulations, pursuant to Section 15270 (Projects Which Are Disapproved); and

WHEREAS, this Resolution and its findings are made based upon the evidence presented to the Commission at the hearing date, including, without limitation, the staff report and attachments submitted by the Community Planning and Building Department; and

WHEREAS, the Planning Commission did hear and consider all said reports, attachments, recommendations, and testimony herein above set forth and used their independent judgment to evaluate the project; and

WHEREAS, the facts set forth in the recitals are true and correct and are incorporated herein by reference.

NOW, THEREFORE, BE IT RESOLVED that the Planning Commission of the City of Carmel-By-The-Sea does hereby make the following findings and determinations regarding the application:

1. The composite Fibrex windows are not more appropriate to the architecture than the existing wood divided light windows.
2. The composite Fibrex windows are not equal to or better than authentic wood windows or aluminum-clad wood windows.

BE IT FURTHER RESOLVED that the Planning Commission of the City of Carmel-by-the-Sea does hereby DENY Design Study application DS 25071 (Morsello) for the installation of 100 series composite Fibrex windows at a single-family residence located at the northeast corner of 8th Avenue & Santa Fe Street in the Single-Family Residential (R-1) District. APN: 010-044-007-000.

PASSED, APPROVED, AND ADOPTED BY THE PLANNING COMMISSION OF THE CITY OF CARMEL-BY-THE-SEA this 11th day of June 2025, by the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

APPROVED:

ATTEST:

Michael LePage
Chair

Shelby Gorman
Planning Commission Secretary

CITY OF CARMEL-BY-THE-SEA
PLANNING COMMISSION

PLANNING COMMISSION RESOLUTION NO. 2025-XXX-PC

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF CARMEL-BY-THE-SEA FINDING THAT THE INSTALLATION OF FIBREX WINDOW IS A MINOR ALTERATION TO AN EXISTING PROPERTY WHICH QUALIFIES AS CATEGORICALLY EXEMPT PURSUANT TO CEQA GUIDELINES SECTION 15301 AND NONE OF THE EXCEPTIONS TO THE EXEMPTIONS PURSUANT TO SECTION 1300.2 CAN BE MADE AND APPROVING DESIGN STUDY DS 25071 (MORSELLO) FOR THE INSTALLATION OF COMPOSITE FIBREX WINDOWS AT A SINGLE-FAMILY RESIDENCE LOCATED AT THE NORTHEAST CORNER OF 8TH AVENUE & SANTA FE STREET IN THE SINGLE-FAMILY RESIDENTIAL (R-1) DISTRICT
APN 010-044-007-000

WHEREAS, on March 7, 2025, RiAnne Johnson (“Applicant”) submitted an application on behalf of Larry Morsello (“Owner”) requesting approval of Track 1 Design Study application DS 25071 (Morsello) described herein as (“Application”); and

WHEREAS, the Application has been submitted for a 4,000-square-foot lot located at the Northeast corner of 8th Avenue & Santa Fe Street in the Single-Family Residential (R-1) Zoning District (Block 86, Lot 11 & 12); and

WHEREAS, the Applicant is requesting to replace existing windows with composite Fibrex divided light windows; and

WHEREAS, in accordance with Carmel Municipal Code (CMC) Section 17.58.040 (Residential Design Review), changes in exterior materials of structures and changes in windows require approval of a Residential Track One Design Study by the Director or their designee; and

WHEREAS, CMC Section 17.58.040.A.3 states that the Director may approve projects that comply with the residential design guidelines; and

WHEREAS, CMC Section 17.58.040.A.3.b states that projects that do not comply with design objectives or residential design guidelines will be referred to the Planning Commission for resolution; and

WHEREAS, the Director finds that composite window material does not achieve the design objectives as well as or better than would be achieved by installing authentic wood or aluminum-clad wood windows and therefore is referring the application to the Planning Commission for resolution; and

WHEREAS, on May 30, 2025, a notice of the public hearing scheduled for June 11, 2025, was published in the Carmel Pine Cone in compliance with State law (California Government Code

65091) and mailed to owners of real property within a 300-foot radius of the project indicating the date and time of the public hearing; and

WHEREAS, on or before June 1, 2025, the Applicant posted the public notice on the project site and hand-delivered a copy of the public notice to each property within a 100-foot radius of the project site indicating the date and time of the public hearing; and

WHEREAS, on or before June 6, 2025, the meeting agenda was posted in three locations in compliance with State law indicating the date and time of the public hearing; and

WHEREAS, on June 11, 2025, the Planning Commission held a duly noticed public hearing to receive public testimony regarding the application, including, without limitation, the information provided to the Planning Commission by City staff and through public testimony; and

WHEREAS, CMC Section 17.58.060.D states that prior to approving any project in the single-family residential (R-1) district that deviates from the City's applicable adopted Design Guidelines, the Planning Commission shall adopt specific findings based on information in the record to show how the proposed deviation from the design guidelines achieves all of the applicable design objectives of CMC Section 17.58.10, Purpose and Applicability, as well as, or better than, would be achieved by adherence to the adopted design guidelines; and

WHEREAS, pursuant to CMC Section 17.58.010.A.1, the design review process is intended to promote design that maintains the City's intimate and human scale and complements, rather than overrides, natural constraints. The project includes the replacement of windows and therefore this objective does not apply; and

WHEREAS, pursuant to CMC Section 17.58.010.A.2, the design review process is intended to ensure that the design of new homes, residential additions, and exterior alterations preserves the traditional characteristics of scale, good site design, and sensitivity to neighboring properties. The project meets this objective as it does not include changes to the original window openings and will therefore maintain the existing scale; and

WHEREAS, pursuant to CMC Section 17.58.010.A.3, the design review process is intended to encourage the construction of residences that are diverse and innovative in design yet compatible with the City's forest setting as well as the site design and materials used in surrounding structures. The Planning Commission has determined that the 100 series Fibrex windows are an innovative environmentally responsible material composed of 40 percent reclaimed wood fiber by weight, most of which is reclaimed from manufacturing Andersen wood windows. Further, Fibrex blocks thermal transfer nearly 700 times better than aluminum which helps to reduce heating and cooling bills. Therefore, the project meets this objective; and

WHEREAS, pursuant to CMC Section 17.58.010.A.4, the design review process is intended to promote residential design that respects the privacy, solar, access, and private views of neighboring properties. The project meets this objective as it does not include changes to the original window openings or an increase of floor area; and

WHEREAS, pursuant to CMC Section 17.58.010.A.5, the design review process is intended to maintain a tradition of architectural diversity that enhances the character of the commercial district and adds a lively sense of history to Carmel's village ambiance by promoting commercial building design that respect these traditions. The project consists of the modification of a single family residence within a residential district. Therefore, this objective does not apply; and

WHEREAS, pursuant to CMC Section 17.58.010.A.6, the design review process is intended to encourage originality and invention so long as the results encompass the unifying values of human scale and the use of natural materials and their role in preserving village character and avoid out-of-scale or bizarre building forms or incompatible design. The Planning Commission has determined that the 100 series Fibrex windows are an appropriate material as it is an innovative produce and is compatible with the overall design of the residence. Therefore, the project meets this objective; and

WHEREAS, pursuant to CMC Section 17.58.060.B.1, the Planning Commission shall find that the project conforms to the applicable policies of the General Plan and the Local Coastal Program. General Plan Policy P1-37 states that approved designs do not disrupt the existing neighborhood character by introducing inconsistent design elements. The Planning Commission has determined that the use of 100 series Fibrex windows is consistent with this policy as the material is not a design element that disrupts the existing neighborhood character. Therefore, this finding is supported; and

WHEREAS, pursuant to CMC Section 17.58.060.B.2, the Planning Commission shall find that the project complies with all applicable provisions of this code. As demonstrated in the recitals above, the Planning Commission has determined that the use of 100 series Fibrex windows meets the design objectives set forth in CMC Section 17.58.010.A. Therefore, this finding is supported; and

WHEREAS, pursuant to CMC Section 17.58.060.B.3, the Planning Commission shall find that the project is consistent with applicable adopted design review guidelines. As demonstrated in the recitals above, the Planning Commission has determined that although the use of 100 series Fibrex windows deviates from the Design Guidelines, the material meets the design objectives. Therefore, this finding is supported; and

WHEREAS, the California Environmental Quality Act (California Public Resources Code §§ 21000, *et seq.*, "CEQA"), together with State Guidelines (14 California Code Regulations §§ 15000, *et seq.*, the "CEQA Guidelines") and City Environmental Regulations (CMC 17.60) require that certain projects be reviewed for environmental impacts and that environmental documents be prepared; and

WHEREAS, the Planning Commission found that pursuant to CEQA regulations, the Application is categorically exempt from the California Environmental Quality Act (CEQA), State CEQA guidelines, and local environmental regulations pursuant to Section 15301 (Class 1)—Existing Facilities. Class 1 exemptions include minor interior and exterior alterations to existing

structures and landscapes involving no expansion of the existing use. The proposed project does not present any unusual circumstances that would result in a potentially significant environmental impact, and no exceptions to the exemption exist pursuant to section 15300.2 of the CEQA Guidelines; and

WHEREAS, this Resolution and its findings are made based upon the evidence presented to the Commission at the hearing date, including, without limitation, the staff report and attachments submitted by the Community Planning and Building Department; and

WHEREAS, the Planning Commission did hear and consider all said reports, attachments, recommendations, and testimony herein above set forth and used their independent judgment to evaluate the project; and

WHEREAS, the facts set forth in the recitals are true and correct and are incorporated herein by reference.

NOW, THEREFORE, BE IT RESOLVED that the Planning Commission of the City of Carmel-By-The-Sea does hereby make the following findings and determinations regarding the Track One Design Study:

FINDINGS REQUIRED FOR DESIGN STUDY APPROVAL		
For each of the required findings listed below, the staff has indicated whether the application supports adopting the findings, either as proposed or with conditions. For all findings checked "no," the staff report discusses the issues to facilitate the Planning Commission's decision-making. Findings checked "yes" may or may not be discussed in the report depending on the issues.		
CMC 17.58.060.B, Findings for Design Review Approval	YES	NO
1. The project conforms to the applicable policies of the General Plan and the Local Coastal Program.	✓	
2. The project complies with all applicable provisions of the Carmel Municipal Code.	✓	
3. The project is consistent with the applicable adopted design review guidelines.	✓	
CMC 17.58.060.C, Additional Findings for Design Study Approval	YES	NO
1. The project conforms with all zoning standards applicable to the site or has received appropriate use permits, variances, or exceptions consistent with the Zoning Ordinance.	N/A	N/A
2. The project contributes to neighborhood character, including the type of forest resources present, the character of the street, the response to local topography, and the treatment of open space resources such as setbacks and landscaping.	N/A	N/A
3. The project is compatible with and sensitive to the natural features and built environment of the site and of the surrounding area. The project respects the constraints of the site and avoids excessive grading, cuts and fills. Construction on steep slopes is minimized to the extent feasible and abrupt changes in grade is minimized or mitigated.	N/A	N/A

4. The project maintains the City's principles of modesty and simplicity and preserves the City's tradition of simple homes set amidst a forest landscape. The project uses simple building forms and simple roof forms without complexity that would attract undue attention to the site.	N/A	N/A
5. The project does not present excess visual mass or bulk to public view or to adjoining properties. The project relates to a human scale in form, elements, and in the detailing of doors, windows, roofs, and walkways.	✓	
6. Project details and materials (e.g., windows, doors, chimneys, roofs, and stonework) are fully integrated and consistent throughout the design. Building materials are used in a manner that is visually consistent with the proposed architecture. All fenestration is appropriate in size and consistent with a human scale.	✓	
7. The project is consistent with the City's design objectives for protection and enhancement of the urbanized forest and open space resources. Open space is distributed around buildings to provide visual relief from structural bulk and a distinct separation from buildings on adjacent sites.	N/A	N/A
8. All demolitions, remodels, and substantial alterations are consistent with the following findings: a. The design uses simple/modest building forms and a limited number of roof planes, and a restrained employment of offsets and appendages consistent with the City's design objectives. b. The mass of the building relates to the context of other homes in the vicinity that are in conformance with the City's design guidelines related to mass and scale. c. The development is similar in size, scale, and form to buildings on the immediate block and neighborhood. d. The development does not require removal of any significant trees unless necessary to provide a viable economic use of the property or protect public health and safety. All moderately significant trees have been protected to the maximum extent feasible. All buildings and structures will be set back at least six feet from significant trees.	N/A	N/A

BE IT FURTHER RESOLVED that the Planning Commission of the City of Carmel-by-the-Sea does hereby APPROVE Design Study application DS 25071 (Morsello) for the installation of composite Fibrex windows at a single-family residence located at the northeast corner of 8th Avenue & Santa Fe Street in the Single-Family Residential (R-1) District. APN: 010-044-007-000, subject to the following Conditions of Approval:

CONDITIONS OF APPROVAL	
No.	Standard Conditions
1.	Authorization. This approval of Design Study application DS 25071 (Morsello) authorizes the installation of 100 series by Renewal by Andersen composite Fibrex windows at a single-family residence located at the northeast corner of 8th Avenue & Santa Fe Street in the Single-Family Residential (R-1) District as depicted in the plans and documents approved by the Planning Commission on June 11, 2025, and stamped approved and on file in the Community Planning & Building Department unless modified by the conditions of approval contained herein.
2.	Codes and Ordinances. The project shall be constructed in conformance with all requirements of the R-1 zoning district. All adopted building and fire codes shall be adhered to when preparing the working drawings. If any codes or ordinances require design elements to be changed, or if any other changes are requested when such plans are submitted, such changes may require additional environmental review and subsequent approval by the Planning Commission.
3.	Permit Validity. In accordance with CMC Section 17.52.170 (Time Limits on Approvals and Denials), a residential design study approval remains valid for a period of 12 months from the date of action. During this time, the project must be implemented, or the approval becomes void. Implementation is effected by erecting, installing, or beginning the installation of the improvement authorized by the permit, as determined by the Director. Extensions to this approval may be granted consistent with CMC 17.52.170.C.
4.	Modifications. The Applicant shall submit in writing, with revised plans, to the Community Planning and Building staff any proposed changes to the approved project plans prior to incorporating those changes. If the Applicant changes the project without first obtaining City approval, the Applicant will be required to submit the change in writing, with revised plans, within two weeks of the City being notified. A cease work order may be issued at any time at the discretion of the Director of Community Planning and Building until a) either the Planning Commission or Staff has approved the change, or b) the property owner has eliminated the change and submitted the proposed change in writing, with revised plans, for review. The project will be reviewed for its compliance with the approved plans prior to the final inspection.
5.	Exterior Revisions to Planning Approval Form. All proposed modifications that affect the exterior appearance of the building or site elements shall be submitted on the "Revisions to Planning Approval" form on file in the Community Planning and Building Department. Any modification incorporated into the construction drawings not listed on this form shall not be deemed approved upon issuance of a building permit.
6.	Conflicts Between Planning Approvals and Construction Plans. It shall be the responsibility of the Owner, Applicant, and Contractor(s) to ensure consistency between the project plans approved by the Planning Staff, the Planning Commission, or the City Council on appeal and the construction plans submitted to the Building Division as part of the Building Permit review. Where inconsistencies between the Planning approval and the construction plans exist, the Planning approval shall govern unless otherwise approved in writing by the Community Planning & Building Director or their designee.

	When changes or modifications to the project are proposed, the Applicant shall clearly list and highlight each proposed change and bring each change to the City's attention. Changes to the project incorporated into the construction drawings that were not clearly listed or identified as a proposed change shall not be considered an approved change. Should conflicts exist between the originally approved project plans and the issued construction drawings that were not explicitly identified as a proposed change, the plans approved as part of the Planning Department Review, including any Conditions of Approval, shall prevail.
7.	Indemnification. The Applicant agrees, at his or her sole expense, to defend, indemnify, and hold harmless the City, its public officials, officers, employees, and assigns from any liability; and shall reimburse the City for any expense incurred, resulting from, or in connection with any project approvals. This includes any appeal, claim, suit, or other legal proceedings to attack, set aside, void, or annul any project approval. The City shall promptly notify the Applicant of any legal proceeding and cooperate fully in the defense. The City may, at its sole discretion, participate in any such legal action, but participation shall not relieve the Applicant of any obligation under this condition. Should any party bring any legal action in connection with this project, the Superior Court of the County of Monterey, California, shall be the situs and have jurisdiction for resolving all such actions by the parties hereto.
Landscape Conditions	
8.	Tree Removal is Prohibited. Throughout construction, the Applicant shall protect all trees identified for preservation by methods approved by the City Forester. Trees on or adjacent to the site shall only be removed upon the approval of the City Forester or the Forest and Beach Commission.
Special Conditions	
9.	Notice of Authorized Work Required. Prior to commencing work on-site, the applicant shall obtain a Notice of Authorized Work from the Community Planning & Building Department. The Notice shall be posted at the front of the property, readily visible from the right-of-way for the project's duration.

Acknowledgment and acceptance of conditions of approval.

Property Owner Signature

Printed Name

Date

Applicant Signature

Printed Name

Date

PASSED, APPROVED, AND ADOPTED BY THE PLANNING COMMISSION OF THE CITY OF CARMEL-BY-THE-SEA this 11th day of June 2025, by the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

APPROVED:

ATTEST:

Michael LePage
Chair

Shelby Gorman
Planning Commission Secretary

LEGEND;

- [Hatched Box] = REPLACEMENT WINDOW / DOOR LOCATION
 (PW) = PICTURE / FIXED WINDOW
 (XO) = SLIDER WINDOW

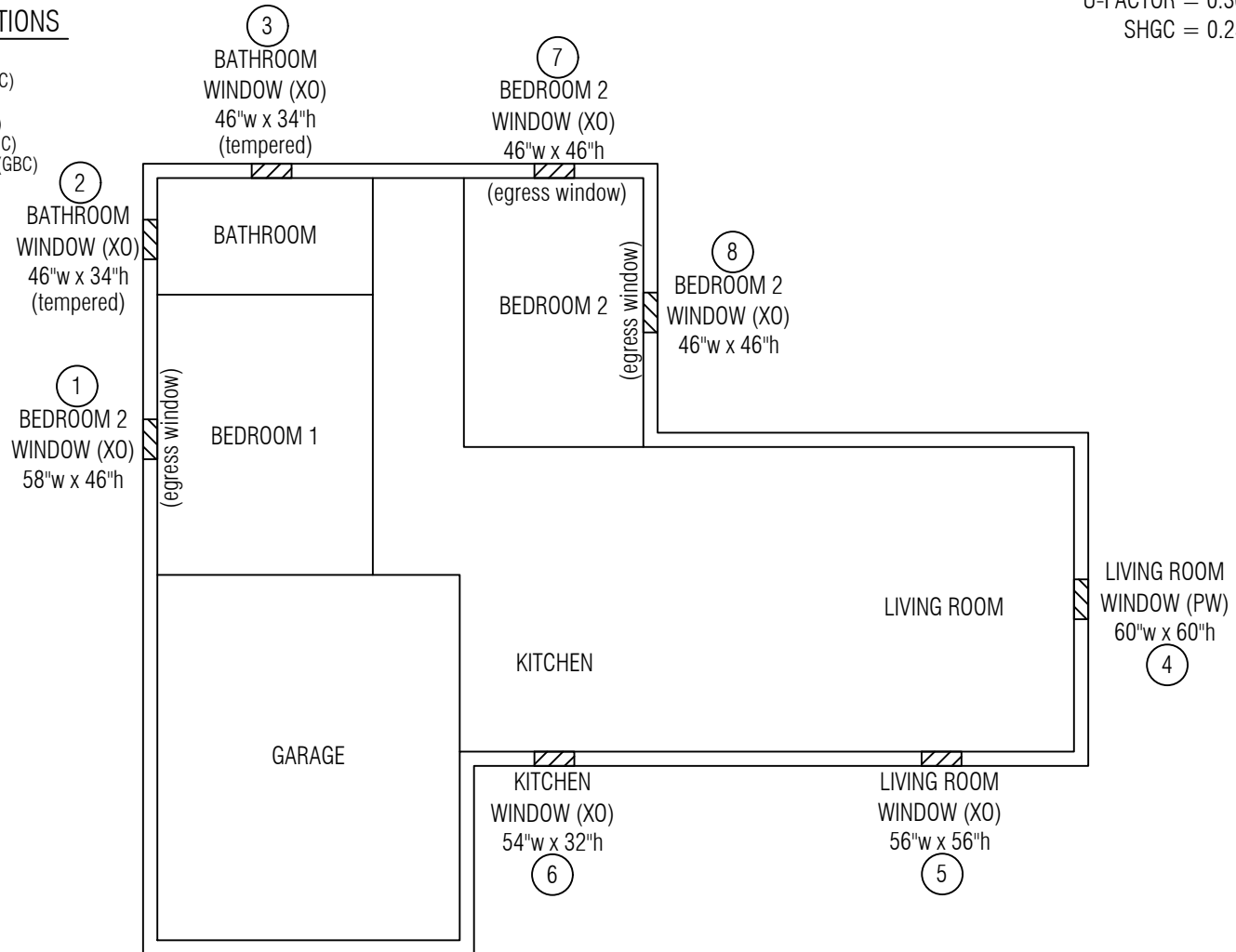
APPLICABLE CODES AND REGULATIONS

CALIFORNIA BUILDING CODE, 2022 EDITION (CBC)
 CALIFORNIA RESIDENTIAL CODE, 2022 EDITION (CRC)
 CALIFORNIA PLUMBING CODE 2022 EDITION (CPC)
 CALIFORNIA ELECTRICAL CODE 2022 EDITION (CEC)
 CALIFORNIA MECHANICAL CODE 2022 EDITION (CMC)
 CALIFORNIA GREEN BUILDING CODE 2022 EDITION (GBC)
 CALIFORNIA ENERGY CODE 2022 EDITION (EC)
 CALIFORNIA HISTORICAL CODE 2022 EDITION (HC)
 CALIFORNIA FIRE CODE 2022 EDITION (FC)

INCLUDING ALL AMENDMENTS AS ADOPTED
BY THE GOVERNING JURISDICTION.

SCOPE OF WORK: REPLACE / INSTALL (8) RETROFIT,
FIBREX, DUAL GLAZED, LOW E, WINDOWS. NO (N)
CONSTRUCTION / REPLACEMENT ONLY.

NOTE: WINDOWS / DOORS;
 U-FACTOR = 0.30
 SHGC = 0.23



FIRST FLOOR
FLOOR PLAN



(FRONT YARD)
8th AVENUE & SANTA FE STREET

NOTE:

1). SMOKE DETECTORS: WHEN A BUILDING PERMIT IS REQUIRED, SMOKE DETECTORS SHALL BE INSTALLED; (a) IN EACH SLEEPING ROOM, (b) OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS, (c) ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS AND HABITABLE ATTICS BUT NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS. (CRC 314)

2). CARBON MONOXIDE ALARMS: WHERE A PERMIT IS REQUIRED FOR ALTERATIONS, REPAIRS OR ADDITIONS EXCEEDING \$1,000.00, EXISTING DWELLINGS OR SLEEPING UNITS THAT HAVE ATTACHED GARAGES OR FUEL BURNING APPLIANCES SHALL BE PROVIDED WITH A CARBON MONOXIDE ALARM IN THE FOLLOWING LOCATIONS; (a) OUTSIDE OF EACH SEPARATE DWELLING UNIT SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOM(S), (b) ON EVERY LEVEL OF A DWELLING UNIT INCLUDING BASEMENTS. (CBC 420.4, CRC R315). (HOME OWNER TO PROVIDE BEFORE FINAL INSPECTION).

HOME DEPOT USA INC. (SF)
 2456 VERNA COURT
 SAN LEANDRO, CA. 94577

SoCal
 NORTH BAY
 PERMIT
 SERVICES
 FOR ALL YOUR PERMIT NEEDS
 980 HOPPER AVENUE, SANTA ROSA CA 95403
 (707) 527-7727 (PHONE), (707) 528-7663 (FAX)

LARRY MORSELLO
 8th AVENUE & SANTA FE STREET
 CARMEL BY THE SEA, CA. 93921

DATE 02.07.25

SCALE NTS

DRAWN BY DKW

JOB 5088569

SHEET A-1

















100 Series Composite

Common Features and Options Single Hung, Gliding, Casement/Awning



SmartSun™ glass

- energy efficient
- most visible light
- best UV protection

Co-extruded matte finish

- provides durable, low-maintenance interior and exterior

Precision corners

- provide rigid, sealed, attractive joints

Full perimeter weatherstrip

- provides energy efficiency

Fibrex® material frame and sash

- provide strength and rigidity

100 Series Composite

Common Features and Options Single Hung, Gliding, Casement/Awning

Exterior Colors



White Sandtone Terratone



Dark Bronze Black

Interior Colors



White Sandtone Dark Bronze Black

Sandtone, Dark Bronze, Black & Terratone are only available with the same exterior color

Grille Options

Full Divided Light



Simulated Divided Light



Removable Interior



Finelight (GBG)



Screens Options

Fiberglass screen standard

TruScene screen
-upgrade available
-50% more clarity
-stainless steel mesh

Hardware Options

Single-Hung & Gliding



Lock



Lift/Pull (Optional)

Lock automatically engages when window is closed.
Hardware color matches the window's interior. Shown in white.

Optional Slim Line Metal Hardware



Lock

Antique Brass | Black | **Dark Bronze** | Sandtone | Satin Nickel | White

Casement & Awning



Antique Brass | Black | Dark Bronze | Sandtone | Satin Nickel | White

Folding handle avoids interference with window treatments.

**SOLD BY:**

HDIS6967 Home Depot San Leandro
PO Box 105524
Atlanta, GA 30348-5524

SHIP TO:

32373|HDIS South Bay Santa Clara,
CA - Santa Clara
2880 Bowers Ave
Santa Clara, CA 95051-0918

CREATED DATE

1/10/2025

LATEST UPDATE

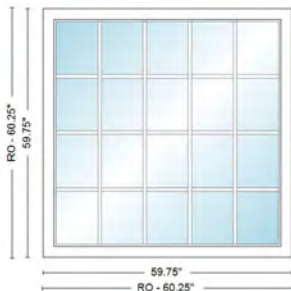
1/16/2025

OWNER

KATHERINE
WASSON

Abbreviated Quote Report

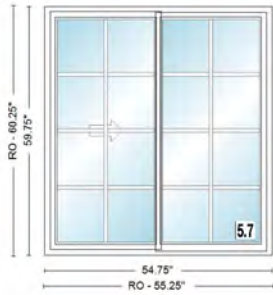
QUOTE NAME	PROJECT NAME	QUOTE NUMBER	CUSTOMER PO#	TRADE ID
53996904	MORSELLO	6932926	53996904	

ORDER NOTES:**DELIVERY NOTES:**ItemQtyOperationLocation**100****1****Fixed****LIVING****RO Size: 60 1/4" x 60 1/4"****Unit Size: 59 3/4" x 59 3/4"**

100REC 4' 11 3/4"X4' 11 3/4", Unit, 100 Series Picture/Transom-PWTR-Insert, No Flange w/Exterior Accessory Kerf (Insert), White Exterior Frame, w/White Interior Frame, Fixed, Dual Pane Low-E SmartSun Standard Argon Fill Full Divided Light (FDL) 5 Wide, 4 High, Specified Equal Light Pattern, White, w/White, 3/4" Grille Bar, Stainless Glass / Grille Spacer

Exterior Frame Extenders: 100REC 59.75 x 59.75 White 1" (PVC)

Unit #	U-Factor	SHGC	ENERGY STAR
A1	0.28	0.2	NO



<u>Item</u>	<u>Qty</u>	<u>Operation</u>	<u>Location</u>
200	1	Active/Stationary (XO)	LIVING

RO Size: 55 1/4" x 60 1/4"

Unit Size: 54 3/4" x 59 3/4"

100GXD 4' 6 3/4"X4' 11 3/4", Unit, 100 Series Gliding XO/OX-Insert, No Flange w/Exterior Accessory Kerf (Insert), White Exterior Frame, White Exterior Sash/Panel, w/White Interior Frame, w/White Interior Sash/Panel, Active/Stationary (XO), Dual Pane Low-E SmartSun Standard Argon Fill Full Divided Light (FDL) 2 Wide, 4 High, Specified Equal Light Pattern, White, w/White, 3/4" Grille Bar, Stainless Glass / Grille Spacer, Auto Lock, Andersen 100 Series, 2 Sash Locks White, White, Full Screen, Fiberglass

Exterior Frame Extenders: 100GXD 54.75 x 59.75 White 1" (PVC)

Unit #	U-Factor	SHGC	ENERGY STAR	Clear Opening/Unit #	Width	Height	Area (Sq. Ft)
A1	0.31	0.19	NO	A1	23.6640	56.2500	9.24370

<u>Item</u>	<u>Qty</u>	<u>Operation</u>	<u>Location</u>
300	1	Active/Stationary (XO)	KITCHEN



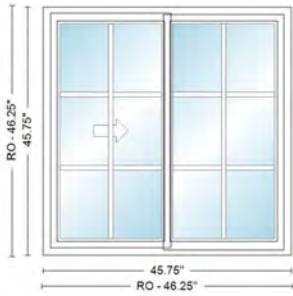
RO Size: 54 1/4" x 32 1/4"

Unit Size: 53 3/4" x 31 3/4"

100GXD 4' 5 3/4"X2' 7 3/4", Unit, 100 Series Gliding XO/OX-Insert, No Flange w/Exterior Accessory Kerf (Insert), White Exterior Frame, White Exterior Sash/Panel, w/White Interior Frame, w/White Interior Sash/Panel, Active/Stationary (XO), Dual Pane Low-E SmartSun Standard Argon Fill Full Divided Light (FDL) 2 Wide, 2 High, Specified Equal Light Pattern, White, w/White, 3/4" Grille Bar, Stainless Glass / Grille Spacer, Auto Lock, Andersen 100 Series, 1 Sash Locks White, White, Full Screen, Fiberglass

Exterior Frame Extenders: 100GXD 53.75 x 31.75 White 1" (PVC)

Unit #	U-Factor	SHGC	ENERGY STAR	Clear Opening/Unit #	Width	Height	Area (Sq. Ft)
A1	0.31	0.19	NO	A1	23.1640	28.2500	4.54430



<u>Item</u>	<u>Qty</u>	<u>Operation</u>	<u>Location</u>
400	1	Active/Stationary (XO)	BED

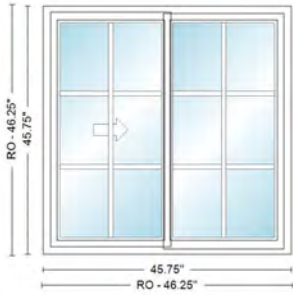
RO Size: 46 1/4" x 46 1/4"

Unit Size: 45 3/4" x 45 3/4"

100GXO 3' 9 3/4"X3' 9 3/4", Unit, 100 Series Gliding XO/OX-Insert, No Flange w/Exterior Accessory Kerf (Insert), White Exterior Frame, White Exterior Sash/Panel, w/White Interior Frame, w/White Interior Sash/Panel, Active/Stationary (XO), Dual Pane Low-E SmartSun Standard Argon Fill Full Divided Light (FDL) 2 Wide, 3 High, Specified Equal Light Pattern, White, w/White, 3/4" Grille Bar, Stainless Glass / Grille Spacer, Auto Lock, Andersen 100 Series, 1 Sash Locks White, White, Full Screen, Fiberglass

Exterior Frame Extenders: 100GXO 45.75 x 45.75 White 1" (PVC)

Unit #	U-Factor	SHGC	ENERGY STAR Clear Opening/Unit #	Width	Height	Area (Sq. Ft)
A1	0.31	0.19	NO	A1	19.1640	42.2500



<u>Item</u>	<u>Qty</u>	<u>Operation</u>	<u>Location</u>
500	1	Active/Stationary (XO)	BED

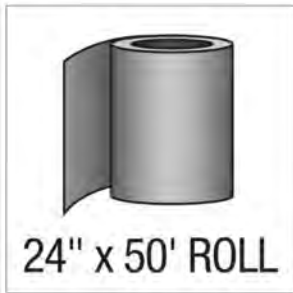
RO Size: 46 1/4" x 46 1/4"

Unit Size: 45 3/4" x 45 3/4"

100GXO 3' 9 3/4"X3' 9 3/4", Unit, 100 Series Gliding XO/OX-Insert, No Flange w/Exterior Accessory Kerf (Insert), White Exterior Frame, White Exterior Sash/Panel, w/White Interior Frame, w/White Interior Sash/Panel, Active/Stationary (XO), Dual Pane Low-E SmartSun Standard Argon Fill Full Divided Light (FDL) 2 Wide, 3 High, Specified Equal Light Pattern, White, w/White, 3/4" Grille Bar, Stainless Glass / Grille Spacer, Auto Lock, Andersen 100 Series, 1 Sash Locks White, White, Full Screen, Fiberglass

Exterior Frame Extenders: 100GXO 45.75 x 45.75 White 1" (PVC)

Unit #	U-Factor	SHGC	ENERGY STAR Clear Opening/Unit #	Width	Height	Area (Sq. Ft)
A1	0.31	0.19	NO	A1	19.1640	42.2500



<u>Item</u>	<u>Qty</u>	<u>Operation</u>	<u>Location</u>
600	5	N A	None Assigned

RO Size:

Unit Size:

24INX50FT, TRIM COIL, WHITE ALUMINUM LOW GLOSS PN:9118927

ENERGY STAR

NO



<u>Item</u>	<u>Qty</u>	<u>Operation</u>	<u>Location</u>
700	5	N A	None Assigned

RO Size:

Unit Size:

15GAX1-1/4, NAIL, WHITE TRIM QTY 1 POUND PN:9041705

ENERGY STAR

NO



<u>Item</u>	<u>Qty</u>	<u>Operation</u>	<u>Location</u>
800	10	N A	None Assigned

RO Size:

Unit Size:

10.1FLOZTUBE, SEALANT, WHITE ANDERSEN FOR INSTALLATION PN:9105774

ENERGY STAR

NO

CUSTOMER SIGNATURE_____DATE_____

* All graphics as viewed from the exterior. ** Rough opening dimensions are minimums and may need to be increased to allow for use of building wraps or flashings or sill panning or brackets or fasteners or other items.

Thank you for choosing Andersen Windows & Doors

**SOLD BY:**

HDIS6967 Home Depot San Leandro
PO Box 105524
Atlanta, GA 30348-5524

SHIP TO:

32373|HDIS South Bay Santa Clara,
CA - Santa Clara
2880 Bowers Ave
Santa Clara, CA 95051-0918

CREATED DATE

2/26/2025

LATEST UPDATE

3/11/2025

OWNER

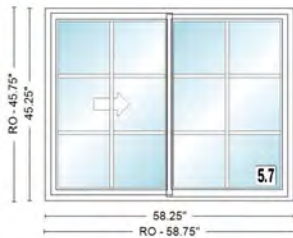
Elizabeth Madson

Abbreviated Quote Report

QUOTE NAME	PROJECT NAME	QUOTE NUMBER	CUSTOMER PO#	TRADE ID
54004843	MORSELLO	7131923	54004843	

ORDER NOTES: ATTN: JOHN BELLANGER

DELIVERY NOTES: 7-8 WEEK LEAD TIME FROM TIME OF ORDER



<u>Item</u>	<u>Qty</u>	<u>Operation</u>	<u>Location</u>
100	1	Active/Stationary (XO)	Bed

RO Size: 58 3/4" x 45 3/4"

Unit Size: 58 1/4" x 45 1/4"

100GXO 4' 10 1/4"X3' 9 1/4", Unit, 100 Series Gliding XO/OX-Insert, No Flange w/Exterior Accessory Kerf (Insert), White Exterior Frame, White Exterior Sash/Panel, w/White Interior Frame, w/White Interior Sash/Panel, Active/Stationary (XO), Dual Pane Low-E SmartSun HeatLock Standard Argon Fill Full Divided Light (FDL) 2 Wide, 3 High, Specified Equal Light Pattern, White, w/White, 3/4" Grille Bar, Stainless Glass / Grille Spacer, Auto Lock, Andersen 100 Series, 1 Sash Locks White, White, Full Screen, Fiberglass

Insect Screen 1: 100 Series Gliding XO/OX-Insert, 100GXO 58.25 x 45.25 Full Screen Fiberglass White

Exterior Frame Extenders: 100GXO 58.25 x 45.25 White 1" (PVC)

Unit #	U-Factor	SHGC	ENERGY STAR	Clear Opening/Unit #	Width	Height	Area (Sq. Ft)
A1	0.28	0.18	NO	A1	25.4140	41.7500	7.36830



<u>Item</u>	<u>Qty</u>	<u>Operation</u>	<u>Location</u>
200	1	Active/Stationary (XO)	Bath

RO Size: 46 3/4" x 34 1/8"

Unit Size: 46 1/4" x 33 5/8"

100GXO 3' 10 1/4"X2' 9 5/8", Unit, 100 Series Gliding XO/OX-Insert, No Flange w/Exterior Accessory Kerf (Insert), White Exterior Frame, White Exterior Sash/Panel, w/White Interior Frame, w/White Interior Sash/Panel, Active/Stationary (XO), Dual Pane Low-E Standard Argon Fill Full Divided Light (FDL) 2 Wide, 2 High, Specified Equal Light Pattern, White, w/White, 3/4" Grille Bar, Stainless Glass / Grille Spacer, Auto Lock, Andersen 100 Series, 1 Sash Locks White, White, Full Screen, Fiberglass, Instructions To Manufacturer: PLEASE ADD SMARTSUN TEMP OBSCURE W/HEATLOCK BAAN CODE LOWEX3TO89

Insect Screen 1: 100 Series Gliding XO/OX-Insert, 100GXO 46.25 x 33.625 Full Screen Fiberglass White

Exterior Frame Extenders: 100GXO 46.25 x 33.625 White 1" (PVC)

<u>Unit #</u>	<u>U-Factor</u>	<u>SHGC</u>	<u>ENERGY STAR</u>	<u>Clear Opening/Unit #</u>	<u>Width</u>	<u>Height</u>	<u>Area (Sq. Ft)</u>
A1	0.32	0.28	NO	A1	19.4140	30.1250	4.06140



<u>Item</u>	<u>Qty</u>	<u>Operation</u>	<u>Location</u>
300	1	Active/Stationary (XO)	Bath

RO Size: 46 3/4" x 34 1/8"

Unit Size: 46 1/4" x 33 5/8"

100GXO 3' 10 1/4"X2' 9 5/8", Unit, 100 Series Gliding XO/OX-Insert, No Flange w/Exterior Accessory Kerf (Insert), White Exterior Frame, White Exterior Sash/Panel, w/White Interior Frame, w/White Interior Sash/Panel, Active/Stationary (XO), Dual Pane Low-E Standard Argon Fill Full Divided Light (FDL) 2 Wide, 2 High, Specified Equal Light Pattern, White, w/White, 3/4" Grille Bar, Stainless Glass / Grille Spacer, Auto Lock, Andersen 100 Series, 1 Sash Locks White, White, Full Screen, Fiberglass, Instructions To Manufacturer: PLEASE ADD SMARTSUN TEMP OBSCURE W/HEATLOCK BAAN CODE LOWEX3TO89

Insect Screen 1: 100 Series Gliding XO/OX-Insert, 100GXO 46.25 x 33.625 Full Screen Fiberglass White

Exterior Frame Extenders: 100GXO 46.25 x 33.625 White 1" (PVC)

<u>Unit #</u>	<u>U-Factor</u>	<u>SHGC</u>	<u>ENERGY STAR</u>	<u>Clear Opening/Unit #</u>	<u>Width</u>	<u>Height</u>	<u>Area (Sq. Ft)</u>
A1	0.32	0.28	NO	A1	19.4140	30.1250	4.06140

CUSTOMER SIGNATURE_____DATE_____

* All graphics as viewed from the exterior. ** Rough opening dimensions are minimums and may need to be increased to allow for use of building wraps or flashings or sill panning or brackets or fasteners or other items.

Thank you for choosing Andersen Windows & Doors

100 SERIES



**THE SMART
ALTERNATIVE TO VINYL**

A BETTER CHOICE FOR YOUR HOME

Whether you're replacing, remodeling or building new, Andersen® 100 Series windows and patio doors offer many advantages over vinyl. They offer superior strength and performance because they're made of innovative Fibrex® composite material, which is 2X stronger and more durable than vinyl. They're also available in a variety of rich dark colors with finishes that are made to last and they're designed to retain their stability and rigidity in all climates. Plus, 100 Series windows and doors are environmentally responsible and energy efficient, making them a better choice for your home.



*When 100 Series products were tested against five leading competitors' painted vinyl window products.



STRENGTH & PERFORMANCE

Fibrex® material is **2X stronger than vinyl** and it retains its stability and rigidity in all climates so weathertight seals stay weathertight.

100 Series products can **withstand temperatures up to 150°F**, even in dark colors, meaning they won't warp due to sun exposure.

ENVIRONMENTALLY RESPONSIBLE

Our exclusive Andersen® Fibrex composite material is composed of **40% reclaimed wood fiber by weight**, most of which is reclaimed from the manufacturing of Andersen wood windows.



See how Andersen created Fibrex material at andersenwindows.com/fibrex

ENERGY EFFICIENT

Our weather-resistant construction seals out drafts, wind and water so well, you can relax in comfort whatever the weather. Plus, Fibrex material **blocks thermal transfer nearly 700 times better** than aluminum to help reduce heating and cooling bills.



COLORS THAT LAST

Durable, factory-finished interiors and exteriors feature a premium matte finish that isn't shiny like vinyl plus they **never need painting and won't fade, flake, blister or peel.**

On 100 Series products, **the finish is 12X thicker than that of painted vinyl windows**** resulting in superior scratch resistance so they'll look beautiful for years to come.

ADVANCED CRAFTSMANSHIP

100 Series products feature **virtually seamless corners** for a cleaner, more contemporary look.



100 Series sash corner seam



Vinyl sash corner seam

TRANSFERABLE LIMITED WARRANTY

Most other window and door warranties end when a home is sold, but our coverage — 20 years on glass, 10 years on non-glass parts — transfers from each homeowner to the next. And, because it's not prorated, the coverage offers **full benefits, year after year, owner after owner.** So it can add real value when you decide to sell your home.

OWNER2OWNER[®]
LIMITED WARRANTY

*Visit andersenwindows.com/warranty for details.

**When 100 Series products were tested against five leading competitors' painted vinyl window products.

WINDOW & DOOR TYPES

Choose the product style and frame type needed to complete your replacement, remodeling or new construction project and bring your vision to life.



SINGLE-HUNG

Single-hung windows feature a stationary upper sash and operable lower sash that slides up and down.



CASEMENT & AWNING

Casement windows are hinged on the side and open outward to the left or right, while awning windows are hinged at the top and open outward.



GLIDING WINDOWS

Gliding windows have one stationary sash and one operating sash that glides horizontally. A three-sash configuration, where two sash glide past a fixed center sash is also available.



GLIDING PATIO DOORS

Patio doors feature one stationary panel and one that glides smoothly on adjustable rollers. Add character and light with a sidelight or transom.

SPECIALTY WINDOWS

Specialty windows are stationary (non-operable) windows characterized by their special shapes, including curves and dramatic angles. A variety of shapes are available to complement your home's architecture.

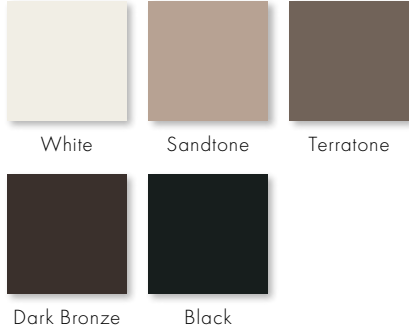
Windows and doors are available in custom sizes to fit all projects.



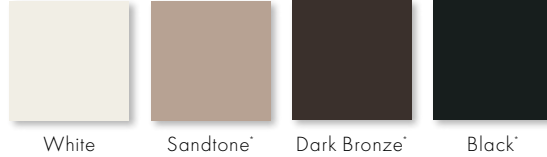
COLOR OPTIONS

100 Series windows and patio doors come in five exterior colors, including dark bronze and black — colors that are darker and richer than those of most vinyl windows. They also feature a premium matte finish inside for an attractive appearance.

EXTERIOR COLORS



INTERIOR COLORS



HARDWARE OPTIONS

Single-Hung & Gliding

STANDARD



Lock automatically engages when window is closed. Hardware color matches the window's interior. Shown in white.

OPTIONAL SLIM LINE METAL HARDWARE



Antique Brass | Black | **Dark Bronze**
Sandtone | Satin Nickel | White

Casement & Awning

STANDARD FOLDING



Antique Brass | Black | Dark Bronze
Sandtone | Satin Nickel | White

Folding handle avoids interference with window treatments.

Patio Doors

TULSA



Exterior handle matches exterior door color. Shown in dark bronze.

Interior handle matches interior door color. Shown in white.

OPTIONAL AFTON



Antique Brass | Bright Brass
Black | **Satin Nickel**

Gliding patio doors features a multi-point locking systems for enhanced security. Optional auxiliary foot lock is available to secure the gliding panel and provides an extra measure of security when the door is in a locked position. Exterior keyed lock also available.

Bold names denotes finish shown.

* Products with dark bronze, black and Sandtone interiors have matching exteriors.

Printing limitations prevent exact replication of colors and finishes. See your Andersen supplier for actual color and finish samples.

GLASS OPTIONS

Andersen has the glass you need to get the performance you want with options for every climate, project and customer. Check with your Andersen supplier for the selections that meet ENERGY STAR® requirements in your area.

GLASS	ENERGY		LIGHT	
	U-Factor How well a product prevents heat from escaping.	Solar Heat Gain Coefficient How well a product blocks heat caused by sunlight.	Visible Light Transmittance How much visible light comes through a product.	UV Protection How well a product blocks ultraviolet rays.
SmartSun™ Thermal control similar to tinted glass, with visible light transmittance similar to Low-E glass.	● ● ● ○	● ● ● ●	● ● ● ○	● ● ● ●
SmartSun with HeatLock® Coating Applied to the room-side surface, it reflects heat back into the home and improves U-Factor values.	● ● ● ●	● ● ● ●	● ● ○ ○	● ● ● ●
Low-E Outstanding overall performance for climates where both heating and cooling costs are a concern.	● ● ● ○	● ● ● ○	● ● ● ○	● ● ● ○
Low-E with HeatLock Coating Applied to the room-side surface, it reflects heat back into the home and improves U-Factor values.	● ● ● ●	● ● ● ○	● ● ● ○	● ● ● ○
Sun Outstanding thermal control in southern climates where less solar heat gain is desired.	● ● ● ○	● ● ● ●	● ○ ○ ○	● ● ● ○
Clear Dual-Pane High visibility with basic thermal performance.	● ○ ○ ○	○ ○ ○ ○	● ● ● ●	○ ○ ○ ○

Center of glass performance only. Ratings based on glass options as of May 2021. Visit andersenwindows.com/energystar for ENERGY STAR® map and NFRC total unit performance data.

ADDITIONAL GLASS OPTIONS

Tempered safety glass, standard on patio doors. Sound reducing glass options are also available.

Patterned glass lets in light while obscuring vision and adds a unique, decorative touch.



Cascade and Reed patterns can be ordered with either a vertical or horizontal orientation.

GLASS SPACER OPTIONS

Choose from stainless steel or black glass spacers to create a customized look.

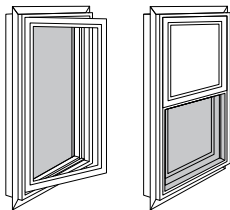


For more details on glass options, visit andersenwindows.com/glass.

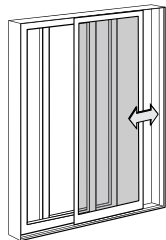


INSECT SCREEN OPTIONS

Insect screens for windows and patio doors have a fiberglass screen mesh. Optional TruScene® insect screens for windows are made with a micro-fine stainless steel mesh, providing 50% more clarity and letting in 25% more fresh air* than our conventional insect screens.



Insect screens are available for all venting windows.



Gliding insect screens are available for two-panel doors.

*TruScene insect screens let in over 25% more fresh air than standard Andersen fiberglass insect screens.

GRILLE OPTIONS

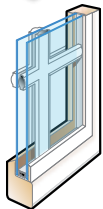
Customize the look of your windows and patio doors with a variety of grille options to complement virtually any style of home.

CONVENIENT CLEANING OPTIONS

Finelight™ grilles-between-the-glass are installed between the glass panes to make glass easy to clean. With an elegant, sculpted profile and a two-sided color scheme, they match both the interior and exterior of the window or door. Finelight grilles-between-the-glass with exterior grilles make interior glass easier to clean, while permanent exterior grilles provide architectural style and detail.



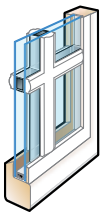
Finelight grilles-between-the-glass



Finelight grilles-between-the-glass
Permanent exterior

FULL DIVIDED LIGHT

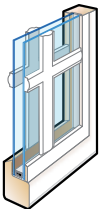
Permanently applied to the interior and exterior of your window with a spacer between the glass for an authentic look.



Permanent exterior
Permanent interior with spacer

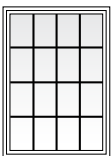
SIMULATED DIVIDED LIGHT

Permanent grilles on the exterior and interior with no spacer between the glass.

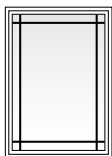


Permanent exterior
Permanent interior

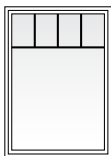
Grille Patterns



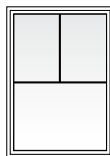
Colonial*



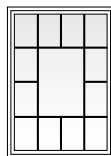
Prairie A



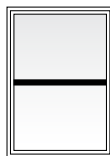
Short Fractional*



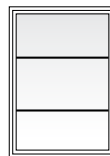
Tall Fractional*



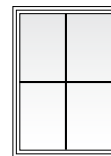
Victorian



Simulated Single-Hung



Specified Equal Light**



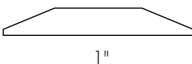
*Modified pattern also available.

**Specify number of same-size rectangles across or down.

Grille Bar Widths



3/4"



1"

Grille width for windows is 3/4".
Grille width for patio doors is 1".
A 2 1/4" simulated meeting rail is available for casement windows to replicate the look of single-hung windows.
Actual size shown.





THE ENVIRONMENT HAS A BUSINESS PARTNER

Respect for the environment is nothing new at Andersen. For more than a century, it's been part of who we are. Our commitment to recycle and reclaim materials began simply because it was good business. Now it's part of our broader commitment to sustainability and responsible stewardship of all our resources. Andersen is committed to providing you with long-lasting, energy-efficient windows and doors. Visit andersenwindows.com/sustainability for more information.



Andersen makes windows and doors with options that make them ENERGY STAR® v. 6.0 certified throughout the U.S.



Andersen is a charter member of the **U.S. Green Building Council** and a strong supporter of its LEED® (Leadership in Energy and Environmental Design) National Green Building Standard rating system.



*Visit andersenwindows.com/warranty for details.

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400 SERIES

**TIME-TESTED, CLASSIC WOOD
CRAFTSMANSHIP**





400 SERIES WINDOWS & PATIO DOORS

As our most popular and longest-standing product line, the 400 Series brings you the best overall blend of performance and style to satisfy just about any window or patio door need. With years of engineering and craftsmanship to build on, 400 Series windows and patio doors are designed to live up to your high standards. Plus, with a broad array of shapes, style and colors to choose from, you can achieve the style you've envisioned for your home while having peace of mind knowing they're backed by our renowned Owner-2-Owner® limited warranty. With Andersen® 400 Series products, have confidence knowing you will be getting the quality and performance in which Andersen built its reputation. For more information, visit andersenwindows.com/400series.





MATCH ANY HOME DESIGN

From contemporary design to traditional and classic architecture, 400 Series products offer a time-tested blend of engineering and craftsmanship, combined with a variety of style options that can elevate a classic wood window into a stunning focal point in any home style. Visit our Home Style Library at andersenwindows.com/stylelibrary.



CONTEMPORARY DESIGN

Contemporary home design embraces minimalism and simplicity – clean lines, glass that stretches floor-to-ceiling and sleek, dark colors. Large windows and combinations allow you to enjoy stunning vistas and bring the outdoors in.



CASEMENT & AWNING WINDOWS

Enhance your view and create stunning combinations by grouping together casement and/or awning windows. Casement windows hinge on the side and crank open outward allowing for full top to bottom ventilation. Awning windows are hinged at the top and open outward from the bottom allowing for ventilation and protection from the rain.

- Low-maintenance Perma-Shield® exterior cladding protects the unit and offers long-lasting* weathertight performance
- Smooth control hardware allows for easy operation with the simple turn of the handle
- Choose a contemporary or traditional profile to fit your design style
- Available in custom sizes for replacement projects
- Single-actuation lock secures casement windows at multiple points with a single handle and features a “reach out” action that pulls the sash in for a weathertight seal



SPECIALTY WINDOWS

Create large combinations with specialty windows to maximize light and view. Specialty windows are stationary windows that come in a variety of uncommon shapes, including elegant arches, striking angles and compelling curves to add curb appeal or enhance the character of your home. Flexiframe® windows are designed in nearly any shape made with straight lines, provided no angle is less than 14 degrees.

- Low-maintenance Perma-Shield exterior cladding protects the unit and offers long-lasting* weathertight performance
- Available in custom sizes
- Choose a contemporary or traditional profile to fit your design style



Examples of available shapes.

For contemporary patio door options, visit andersenwindows.com/doors.

*Visit andersenwindows.com/warranty for details.



TRADITIONAL DESIGN

Traditional home design remains true to the history, authenticity and character of home styles that date back decades or even centuries. The classic design of Andersen® 400 Series windows and patio doors complement traditional style homes.



Double-hung windows have two operating sash (glass panels) that move up and down allowing for ventilation on the top, bottom or both.

DOUBLE-HUNG WINDOWS

Bring fresh air in while not interfering with patios or walkways. Plus, with tilt-in features, cleaning double-hung windows from inside your home is easy. Woodwright® double-hung windows are built with authentic craftsmanship to help replicate the look of classic architecture. They allow you to retain or add charm to your home with beautiful wood interiors and an array of style options. Tilt-wash double-hung windows offer classic styling with thinner profiles and the perfect balance of modern and traditional design. Their classic blend of engineering and craftsmanship, along with energy efficiency, makes them our best-selling double-hung window.

- Low-maintenance exterior cladding protects the unit while wood interiors offer beauty and warmth
- Dual layer weatherstrip helps seal out dust, wind and water
- Available in custom size insert windows for easy replacement or full-frame windows for new construction and remodeling projects



PATIO DOORS

Designed to bring nature's beauty inside while enhancing the style and personality of your home. Frenchwood® hinged inswing patio doors are designed to open into a room and save space for smaller exterior areas. Frenchwood gliding patio doors are ideal for any climate, they glide horizontally so not to interfere with your room.

- Experience smooth, long-lasting* operation with adjustable ball-bearing rollers and a durable stainless-steel capped track on gliding doors. Hinged doors feature adjustable hinges, so you can easily fine tune the position of our door panel.
- Weatherstrip is designed to seal out air and water infiltration
- Secure locking systems tighten the door against the frame for improved security and weather protection
- Optional blinds-between-the-glass offer privacy and are protected from dust and damage and never need cleaning
- Available in custom sizes for replacement projects

*Visit andersenwindows.com/warranty for details.

GLASS OPTIONS

Andersen offers one of the industry's widest array of glass options, so you're sure to find the right choice for your climate and your home. Choose from these High-Performance glass options.

GLASS		ENERGY		LIGHT	
		U-Factor How well a product prevents heat from escaping.	Solar Heat Gain Coefficient How well a product blocks heat caused by sunlight.	Visible Light Transmittance How much visible light comes through a product.	UV Protection How well a product blocks ultraviolet rays.
SmartSun™	Thermal control similar to tinted glass, with visible light transmittance similar to Low-E4 glass.	● ● ● ○	● ● ● ●	● ● ● ○	● ● ● ●
SmartSun with HeatLock® Coating	Applied to the room-side surface, it reflects heat back into the home and improves U-Factor values.	● ● ● ●	● ● ● ●	● ● ○ ○	● ● ● ●
Low-E4®	Outstanding overall performance for climates where both heating and cooling costs are a concern.	● ● ● ○	● ● ● ○	● ● ● ○	● ● ● ○
Low-E4 with HeatLock Coating	Applied to the room-side surface, it reflects heat back into the home and improves U-Factor values.	● ● ● ●	● ● ● ○	● ● ● ○	● ● ● ○
Sun	Outstanding thermal control in southern climates where less solar heat gain is desired.	● ● ● ○	● ● ● ●	● ○ ○ ○	● ● ● ○
PassiveSun®	Ideal for northern, passive solar construction applications where solar heat gain is desired.	● ● ● ○	● ○ ○ ○	● ● ● ○	● ● ● ○
PassiveSun with HeatLock Coating	Applied to the room-side surface, it reflects heat back into the home and improves U-Factor values.	● ● ● ○	● ○ ○ ○	● ● ● ○	● ● ● ○
Clear Dual-Pane	High visibility with basic thermal performance.	● ○ ○ ○	○ ○ ○ ○	● ● ● ●	○ ○ ○ ○

Center of glass performance only. Ratings based on glass options as of January 2022. Visit andersenwindows.com/energystar for ENERGY STAR® map and NFRC total unit performance data.

ADDITIONAL GLASS OPTIONS

Tempered safety glass, standard on patio doors.

Laminated glass for added strength, enhanced security and sound control.

Patterned glass lets in light while obscuring vision and adds a unique, decorative touch.



Cascade



Fern



Obscure



Reed



Satin Etch

Cascade and Reed patterns can be ordered with either a vertical or horizontal orientation.

For more details on glass options, visit andersenwindows.com/glass.

GLASS SPACER OPTIONS

Choose from stainless steel, black or white glass spacers to create a customized look. Add full divided light grilles and the grille spacer bar between the glass will match the selected glass spacer color.



Black



White



Stainless Steel

STORMWATCH® PROTECTION

Most Andersen 400 Series windows are available with impact-resistant glass and structural upgrades to meet the tough building codes of hurricane-prone coastal areas. See your local code official for specific requirements.



BLINDS-BETWEEN-THE-GLASS

Blinds-between-the-glass offer privacy and convenience and are available on select Frenchwood® gliding and hinged patio doors.



ART GLASS

With art glass from Andersen, you can add interest, create focal points and make your work stand out. For more information, visit andersenwindows.com/artglass.





EXTERIOR & INTERIOR OPTIONS

Our Perma-Shield® exterior cladding system, a time-tested Andersen innovation, offers low maintenance and durability while also providing an attractive appearance. The interiors of all 400 Series windows and patio doors are available in unfinished stain-grade pine or with a long-lasting†, low-maintenance white finish. Select windows are also available with a dark bronze or black finish. 400 Series Woodwright® windows and Frenchwood® patio doors are also available with unfinished maple or oak interiors.

EXTERIOR COLORS**



INTERIOR OPTIONS**



Design your window at
andersenwindows.com/design-tool

*Visit andersenwindows.com/warranty for details.

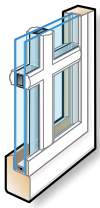
**Some products are not available in all colors or wood species. See your Andersen supplier for details.

†Products with dark bronze and black interiors have matching exteriors.

Printing limitations prevent exact replication of colors and finishes. See your Andersen supplier for actual color and finish samples.

GRILLE OPTIONS

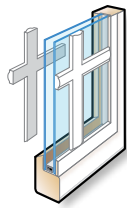
A variety of grille patterns, widths and configurations fit any architectural style and help you create your vision. When remodeling or replacing, they play an important role in preserving the style of your home which is why we also offer custom patterns.



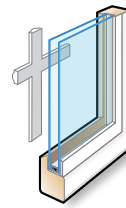
Permanent exterior
Permanent interior
with spacer



Permanent
exterior
Permanent
interior



Permanent
exterior
Removable
interior



Removable
interior



Finelight™
Grilles-
Between-
the-Glass*

FULL DIVIDED LIGHT

Permanently applied to the interior and exterior of your window with a spacer between the glass.

SIMULATED DIVIDED LIGHT

Permanent grilles on the exterior and interior with no spacer between the glass. We also offer permanent exterior grilles with removable interior grilles.

CONVENIENT CLEANING OPTIONS

Removable interior grilles come off for easy cleaning. Finelight™ grilles-between-the-glass are installed between the glass panes and feature a contoured $\frac{3}{4}$ " or 1" profile.

Grille Bar Widths



$\frac{3}{4}$ "



$\frac{7}{8}$ "



1 $\frac{1}{8}$ "



2 $\frac{1}{4}$ "

Our 2 $\frac{1}{4}$ " wide grille can be positioned horizontally across the center of a casement window to simulate the look of a double-hung window.

Cross section of grilles showing standard widths and profiles. Additional patterns available, see your Andersen supplier for details.

INSECT SCREEN OPTIONS

Choose our TruScene® insect screen for a beautifully unobstructed view with 400 Series windows. TruScene insect screens provide more than 50% greater clarity than conventional Andersen insect screens and let in 25% more fresh air;** all while keeping out unwanted small insects.

Conventional aluminum insect screens are also available for 400 Series windows. 400 Series patio doors are available with conventional fiberglass insect screens.



* $\frac{7}{8}$ ", 1 $\frac{1}{8}$ " and 2 $\frac{1}{4}$ " not available in Finelight grilles-between-the-glass.

**TruScene insect screens let in over 25% more fresh air than standard Andersen fiberglass insect screens.





WINDOW HARDWARE

Whether replacing, remodeling or building new, our hardware* options enhance your home's decor. Choose from a variety of styles ranging from traditional and classical to simple and contemporary.

Woodwright® Double-Hung

STANDARD



Antique Brass | **Black** | Bright Brass | Distressed Bronze
Distressed Nickel | Oil Rubbed Bronze | Satin Nickel
Stone | White

Double-Hung Sash Lifts

TRADITIONAL



Bar Lift



Finger Lift



Hand Lift

Antique Brass | Black | Bright Brass | Distressed Bronze | Distressed Nickel
Oil Rubbed Bronze | Satin Nickel | Stone | White

Tilt-Wash Double-Hung

STANDARD



Standard: Stone | **White**
Optional: Black

CLASSIC™



Bar Lift



Finger Lift



Hand Lift

Stone | **White**

Classic double-hung sash lifts are only available for 400 Series Woodwright double-hung windows.

ESTATE™



Antique Brass | **Bright Brass**
Distressed Bronze | Distressed Nickel
Oil Rubbed Bronze | Satin Nickel

Estate lock & keeper is available only for 400 Series tilt-wash double-hung windows.

CONTEMPORARY



Bar Lift

Antique Brass | Black
Bright Brass | Distressed Bronze
Distressed Nickel | Oil Rubbed Bronze
Satin Nickel | Stone | White

ESTATE



Hand Lift



Finger Lift

Antique Brass | **Bright Brass**
Distressed Bronze | Distressed Nickel
Oil Rubbed Bronze | Satin Nickel

Estate double-hung sash lifts are only available for 400 Series Woodwright double-hung windows.

Gliding



Antique Brass | Black | Bright Brass
Distressed Bronze | Distressed Nickel
Oil Rubbed Bronze | **Satin Nickel**
Stone | White

Casement & Awning

ESTATE



Antique Brass | Bright Brass
Distressed Bronze | Distressed Nickel
Oil Rubbed Bronze | Satin Nickel

CLASSIC



Stone | **White**

CONTEMPORARY FOLDING



Black | Bright Brass | Oil Rubbed Bronze
Satin Nickel | Stone | White

TRADITIONAL FOLDING



Antique Brass | Black | Bright Brass
Distressed Bronze | Distressed Nickel
Oil Rubbed Bronze | Satin Nickel | Stone | White

Folding handles avoid interference with window treatments.

*Hardware is sold separately, except standard lock and keeper for double-hung windows.

Bold name denotes finish shown.

Distressed bronze and oil rubbed bronze are "living" finishes that will change with time and use.

Printing limitations prevent exact finish replication. See your Andersen supplier for actual finish samples.

PATIO DOOR HARDWARE

400 Series patio door hardware* is available in a variety of designs to match virtually any style. Additional hardware options such as exterior keyed locks and matching hinge finishes are also available.

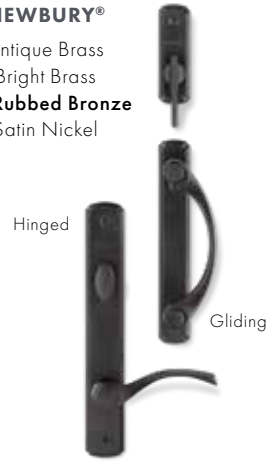
YUMA®
Distressed Bronze
Distressed Nickel



ENCINO®
Distressed Bronze
Distressed Nickel



NEWBURY®
Antique Brass
Bright Brass
Oil Rubbed Bronze
Satin Nickel



ANVERS®
Bright Brass
Oil Rubbed Bronze
Satin Nickel



ALBANY
Black
Stone
White

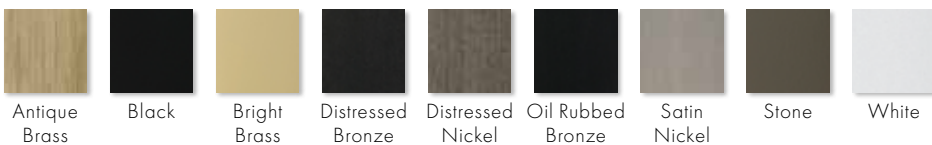


TRIBECA®
Black
Stone
White



Bold name denotes finish shown.

HARDWARE FINISHES



FSB® HARDWARE

Durable FSB hinged door hardware features clean lines and a sleek finish for a thoroughly modern look.



*Hardware sold separately.
**FSB style 1102 is not available in black anodized aluminum.
Tribeca and Albany hardware are zinc die cast with powder-coat durable finish. Yuma, Encino, Newbury and Anvers are solid forged brass. FSB hardware is stainless steel or aluminum.
Distressed bronze and oil rubbed bronze are "living" finishes that will change with time and use.
Bright brass and satin nickel finishes on patio door hardware feature a 10-year limited warranty.
Matching hinges available in most finishes for inswing patio doors, excludes FSB hardware.
Printing limitations prevent exact finish replication.
See your Andersen supplier for actual finish samples.
"FSB" is a registered trademark of Franz Schneider Brakel GmbH & Co.

COMPARISON CHART

Use the quick reference chart below to decide which Andersen® 400 Series products best fit your project needs.

		WINDOWS								PATIO DOORS	
FEATURES		Woodwright® Double-Hung Full-Frame	Woodwright Double-Hung Insert	Tilt-Wash Double-Hung Full-Frame	Tilt-Wash Double-Hung Insert	Narroline® Double-Hung Conversion Kit	Casement	Awning	Gliding	Frenchwood® Gliding	Frenchwood Hinged Inswing
Low-Maintenance Exteriors											
	White	●	●	●	●	●	●	●	●	●	●
	Canvas	●	●	●	●		●	●	●		
	Sandtone	●	●	●	●	●	●	●	●	●	●
	Terratone	●	●	●	●	●	●	●	●	●	●
	Dark Bronze	●	●	●	●		●	●	●		
	Forest Green	●	●	●	●		●	●	●	●	●
	Black	●	●	●	●		●	●	●		
Interiors											
	Pine	●	●	●	●	●	●	●	●	●	●
	Maple	●	●							●	●
	Oak	●	●							●	●
	White	●	●	●	●	●	●	●	●	●	●
	Sandtone								●		
	Dark Bronze			●	●		●	●	●		
	Black			●	●		●	●	●		
Easy Cleaning											
Tilt-to-Clean Sash		●	●	●	●	●					
Grilles & Blinds											
Full Divided Light		●	●	●	●	●	●	●	●	●	●
Simulated Divided Light		●	●	●	●	●	●	●	●	●	●
Finelight™ Grilles-Between-the-Glass		●	●	●	●	●	●	●	●	●	●
Removable Interior Grilles		●	●	●	●	●	●	●	●	●	●
Blinds-Between-the-Glass										●	●
High-Performance Glass Additional glass options are available. See page 8 for details. For patio doors, all glass options are tempered.											
Low-E4®		●	●	●	●	●	●	●	●	●	●
Low-E4 SmartSun™		●	●	●	●	●	●	●	●	●	●
Low-E4 Sun		●	●	●	●	●	●	●	●	●	●
Low-E4 PassiveSun		●	●	●	●	●	●	●	●	●	●
Clear Dual-Pane							●	●			
HeatLock® Coating		●	●	●	●	●	●	●	●	●	●
Performance Option											
Stormwatch® Protection		PG upgrade		●			●	●			
Glass Spacers											
Stainless Steel		●	●	●	●	●	●	●	●	●	●
Black or White		●	●	●	●	●	●	●	●	●	●
Standard Sizes											
Minimum Width		1'-9 5⁄8"	1'-4 1⁄2"	1'-9 5⁄8"	1'-9 1⁄4"	Fits Narroline double-hung windows made after 1967	1'-5"	2'-0 1⁄8"	2'-11 1⁄4"	4'-11 1⁄4"	2'-6 1⁄8"
Maximum Width		3'-9 5⁄8"	3'-9 5⁄8"	3'-9 5⁄8"	3'-8 7⁄8"		2'-11 15⁄16"	5'-11 7⁄8"	5'-11 1⁄4"	15'-9"	8'-11 1⁄8"
Minimum Height		3'-0 7⁄8"	2'-3 3⁄4"	3'-0 7⁄8"	3'-0 3⁄8"		2'-0 1⁄8"	1'-5"	1'-10 1⁄4"	6'-7 1⁄2"	6'-7 1⁄2"
Maximum Height		6'-4 7⁄8"	6'-5"	7'-8 7⁄8"	7'-6 5⁄8"		5'-11 7⁄8"	4'-0"	4'-11 1⁄4"	7'-11 1⁄2"	7'-11 1⁄2"
Custom Sizes		●	●	●	●		●	●		●	●



THE ENVIRONMENT HAS A BUSINESS PARTNER

Respect for the environment is nothing new at Andersen. For more than a century, it's been part of who we are. Our commitment to recycle and reclaim materials began simply because it was good business. Now it's part of our broader commitment to sustainability and responsible stewardship of all our resources. Andersen is committed to providing you with long-lasting, energy-efficient windows and doors. Visit andersenwindows.com/sustainability for more information.



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Andersen is a charter member of the **U.S. Green Building Council** and a strong supporter of its LEED® (Leadership in Energy and Environmental Design) National Green Building Standard rating system.



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CITY OF CARMEL-BY-THE-SEA PLANNING COMMISSION Staff Report

June 11, 2025
CORRESPONDENCE

TO: Chair LePage and Planning Commissioners

SUBMITTED BY:

APPROVED BY:

SUBJECT: PUBLIC CORRESPONDENCE: Public Hearings and/or other items appearing on the Agenda

Application:

APN:

Block:

Lot:

Location:

Applicant:

Property Owner:

Executive Summary:

Recommendation:

Background and Project Description:

Staff Analysis:

Other Project Components:

Attachment 1 - DS 24298 (Gonzales) Letter received 06-10-24 from Harry & Jane Herbst

Attachment 2 - DS 24298 (Gonzales) Letter received 06-10-24 from Keith Dwen & Elizabeth Gonzalez

Attachment 3 - DS 24298 (Gonzales) Letter received 06-10-24 from Keith Dwen & Elizabeth Gonzalez

From: **Harry Herbst** [REDACTED]
Date: Mon, Jun 9, 2025 at 3:36 PM
Subject: Subject: Public Comment on Proposed ADU Development Adjacent to Our...
To: <ekort@ci.carmel.ca.us>
Cc: [REDACTED]

Subject: Public Comment on Proposed ADU Development Adjacent to Our Property

Dear Evan Kort, Senior Planner

Hello Evan I hope this message finds you well.

Attached, please find our formal public comment regarding the proposed accessory dwelling unit (ADU) and structural additions planned for the property adjacent to ours. While we recognize the broader intent of increasing housing flexibility, we have serious concerns about the specific implications of this proposal for our immediate surroundings.

As detailed in the attached letter, our concerns include:

- Exceeding allowable square footage limits under existing zoning guidelines.
- Loss of privacy due to the elevated, south-facing deck.
- Disruption of our largest garden sanctuary, which sits in our front yard and will be directly exposed to the new structure.
- Anticipated noise and visual intrusion, particularly given that the new deck faces our primary bedroom.

We respectfully ask the commission to carefully evaluate not only the technical zoning compliance but also the real-world impact on neighboring properties and long-established neighborhood character.

Thank you for your consideration and for your service to our community. We are grateful for the opportunity to participate in this important review process.

Warm regards,

Harry & Jane Herbst

[REDACTED]

Carmel-by-the-Sea, CA 93921

[REDACTED]

[REDACTED]

Public Comment on Proposed ADU Development

We are writing to express our deep concern regarding the proposed development at the adjacent property, specifically the project located at the southeast corner of Santa Fe Street and 5th Avenue, Block 61, Lot 2, APN 010-038-017-000 (Proposed Action DS-24298, Gonzales). While we understand the increasing need for housing solutions such as accessory dwelling units (ADUs), we believe that the specifics of this proposal present unique challenges to the character and cohesion of our neighborhood.

We understand that the proposal involves a 134 square foot addition to the existing structure and a 457 square foot elevated accessory dwelling unit with a south-facing deck. We also note a discrepancy in the reported size of the existing home—while the public notice lists it as 1,244 square feet, another source cites 1,271 square feet. Regardless of which number is accurate, when combined with the proposed addition and ADU, the total living area would significantly exceed the 1,600 square foot maximum allowable under current zoning. Even if one were to include the 200 square foot allowance for a garage—assuming such a structure exists or is planned—the total would still be in excess of the permitted size. This raises serious concerns about compliance with both the spirit and the letter of zoning limitations intended to preserve neighborhood scale.

Beyond issues of code compliance, we are particularly troubled by the scale and configuration of the proposed ADU. Its elevated design and location raise substantial concerns about privacy, light, noise, and visual harmony within our block.

In addition, we are concerned that the elevated nature of the proposed second-story ADU—particularly with its south-facing deck—will result in direct views into adjacent backyards and windows, which would fundamentally alter the privacy we currently enjoy within our predominantly single-story neighborhood character. While it is true that a number of two-story homes exist in the area, including our own, the scale, setback, and design of those structures have generally respected the privacy of neighbors. In contrast, the proposed ADU's elevation and orientation present a far more intrusive footprint. In our case, our front yard serves as our largest and most frequently used garden space—its exposure to the second-story deck would make us feel like fish in a fish bowl, constantly observed in what has always been our garden sanctuary. Additionally, the proposed deck sits directly south of our primary bedroom, raising serious concerns about noise, conversation, and other activity disrupting what has long been a quiet and restorative space in our home.

We respectfully urge the planning commission to carefully consider the cumulative impact of this development, not only in terms of square footage and zoning regulations but also in terms of how it reshapes the lived experience of neighboring residents. Thank you for your attention to these important matters.

Elizabeth Gonzalez

Keith Dwen

[REDACTED]
Carmel-by-the-Sea, CA 9XXXX
[REDACTED]
[REDACTED]

June 9, 2025

Dear Carmel Planning Department,

We are writing to you in response of the Public Comment letter for project DS 24298. Elizabeth and I are shocked and dismayed with the comments presented by our friends and good neighbors, the Herbst. We have always had open, honest and good-natured interactions since the purchase of the property in September 2023 and initially discussed this project with Harry and Jane. We feel there is an unfortunate misunderstanding of the proposed plans, drawings and assumptions of the project.

It was actually Harry which first suggested we incorporate a second floor south-facing deck, similar to their second floor ADU with a south-facing deck, to hear the ocean at night. We are committed to reaching out to the Herbst' to have a genuinely open, positive and collaborative conversation to discuss and review the specifications of the project in order to alleviate any concerns or considerations they have currently.

We kindly request additional time to connect with the Herbst' as they visit Carmel infrequently and primarily reside in Denver Colorado. We will reach out immediately via their previously provided home contact information and schedule time including the architect, Adam Jeselnick, to fully and properly review the project specifications, assumptions and recent photos to provide additional information and rectify any misconceptions of the proposed sight lines and privacy concerns.

Additionally, Elizabeth and I plan to attend the meeting on June 11th via Zoom and will gladly speak to each of you in more depth on these comments and concerns. We kindly encourage each member to consider the following on the site tour as well as when reviewing the conceptual design. Per the Herbst' bullet point summary please see the comment and corresponding response below:

- **Comment:** Exceeding allowable square footage limits under existing zoning guidelines.
Response: We believe this is a misunderstanding of zoning guidelines as the project design specifically considered the current regulations and was designed by an accredited architect with a high-level understanding of Carmel Zoning Guidelines
- **Comment:** Loss of privacy due to the elevated, south-facing deck
Response: The addition of the second floor ADU is purposely and specifically situated on the north side of the building to incorporate a "setback" to minimize privacy concerns. The south-facing deck is not expected to have any direct view into the neighbors front yard due to a significant number of trees and foliage, existing fence-line and current existing building dimensions.

- **Comment:** Disruption of our largest garden sanctuary, which sits in our front yard and will be directly exposed to the new structure.

Response: As stated in the above response, the comment seems to be an expansion of the visual intrusion of the south-facing deck focused into the front yard sanctuary. The view is impeded by the current trees and foliage which shall remain as we value the peace and tranquility of the forest feel. The trees also help to absorb any noise level to further dampen any audial intrusion. In respect to the “fish-bowl” comment, it seems slightly misplaced as the front yard sanctuary receives more direct visual intrusion from passersby and cottage onlookers with the direct view from Santa Fe street and high foot traffic.

- **Comment:** Anticipated noise and visual intrusion, particularly given that the new deck faces our primary bedroom.

Response: There is currently no direct window on the North wall of the Herbst home looking into their primary bedroom. While a window looking into the stairwell does exist, we do not believe this proposes an immediate visual intrusion. In respect to noise intrusion, since the purchase of the home in September 2023 there have been no noise level complaints or incidents which would hopefully establish a baseline of our quiet usage and full respect of our neighbors.

Elizabeth and I are very surprised and disheartened to hear the comments from our friends and good neighbors. During the design of this project, we attempted to take specific care of the potential impact on our neighbors on all sides. We strongly feel there is some misunderstanding of the proposed project specifications and corresponding impact. We are certain a conversation with our friends the Herbst' will help to alleviate any concerns and will work diligently to ensure we are all in alignment on the project.

Thank you.

Sincerely,

Elizabeth Gonzalez (homeowner)

Keith Dwen (partner)

Elizabeth Gonzalez

Keith Dwen

[REDACTED]
Carmel-by-the-Sea, CA 9XXXX

[REDACTED]
[REDACTED]
June 5, 2025

Dear Carmel Planning Department,

We are writing to you in support of our pending Concept Design Study (DS 24298) on June 11th to express our gratitude for your time and effort to date. Thank you very much. Additionally, we would like to formally highlight our strong desire to collaborate and align with the Carmel Planning committee on any outstanding or pending questions or concerns.

It has been Elizabeth's lifelong dream to be a resident of Carmel. Her family has consistently and regularly visited Carmel since she was 6 months old. Elizabeth's mother has an endearing and very relatable story to new moms of Elizabeth as a 6-month old in the Tuck Box.

Our favorite aspect of Carmel is the "village in the forest" feel which the city and particularly the property at SE Santa Fe Street and Fifth Avenue offers. The energy and peace the trees and nature provide are very dear to our hearts and dream. We are fully committed to maintaining and even enhancing the forest feel, natural appearance and peaceful energy this property provides.

We view this renovation project as a chance to fulfill this lifelong dream giving us a truly peaceful respite from the world while enhancing the natural beauty of our little corner of Carmel. In respect to Tree #10, we are happy to work together to find the best solution in the best interest of the specific tree. We are extremely grateful to have found, work with and be guided by Adam Jeselnick. He has proven to be a wise and creative in identifying and proposing appropriate solutions to several considerations we have had over the past year in designing this project.

Our overarching goal is to be valued and trusted members of this community to build and embrace positive relationships with all residents and enjoy the remainder of our years basking in Carmel's peace and nature. We humbly look forward to collaborating and cooperating with each of you through any potential concerns or questions you may have on DS 24298.

Thank you.

Sincerely,

Elizabeth Gonzalez (homeowner)

Keith Dwen (partner)



CITY OF CARMEL-BY-THE-SEA PLANNING COMMISSION Staff Report

June 11, 2025
CORRESPONDENCE

TO:	Chair LePage and Planning Commissioners
SUBMITTED BY:	
APPROVED BY:	
SUBJECT:	PUBLIC CORRESPONDENCE: Additional items not associated with Public Hearings and/or other items appearing on the Agenda

Application:	APN:
Block:	Lot:
Location:	
Applicant:	Property Owner:

Executive Summary:

Recommendation:

Background and Project Description:

Staff Analysis:

Other Project Components:

- Attachment 1 - Letter received 06-02-25 from Carolyn White
- Attachment 2 - Letter received 06-02-25 from Lindamarie Rosier
- Attachment 3 - Letter received 06-10-25 from Karyl Hall
- Attachment 4 - Letter received 06-10-25 from Carolyn White

Attachment 5 - Letter received 06-11-25 from Carolyn White #1

Attachment 6 - Letter received 06-11-25 from Carolyn White #2

Dear Mayor, Council Members, Planning Commission, and Staff:

Re: The house on Mission 2 NE of 1st is historic. The preliminary research and determination to the contrary, as noted by the form filed by Meg Clovis is not supported by the research and conclusion that it was the home of a historic figure in Carmel's history. In the two attachments, and online, you will find the records and proof from the Assessor's office that the house should be protected under the LUP's requirement to research and protect historic structures. The demolition of this home is not permitted under the LUP, and for that reason the permit to demolish a historic home: Mission 2 NE of 1st is invalid and should be suspended at this time.

"Failure to include a property on the Carmel Inventory shall not preclude a future determination that if it qualifies as a historic resource based on new evidence." LUP

Mr. Steve Crouch, 1913-1983, a famous photographer on the Monterey Peninsula, lived in Mission 2 NW of 1st. The paperwork attached indicates that Steve Crouch was the original owner, and commissioned the construction of his home in 1941. His Monterey Peninsula and Big Sur photography can be found in the Monterey Museum of Art, among other galleries.

Not Man Apart, a book, holds 90 photographs of the Big Sur Coast and his work is featured alongside Ansel Adams, Cole Weston, and the like. His other book, *Steinbeck Country*, holds exquisite photography and is part of a special collection at the University of California, Santa Cruz. This book, originally published in 1965 under the banner Sierra Club Ballentine Books, features poems by Robinson Jeffers along with a collection of his Big Sur Photographs. *Waterfall and Mist* circa 1960, was Salmon Creek Falls located on the Big Sur coastline. People who knew him, who are still with us, said his home and garage were where he processed his photographic film.

Per Amazon: "Here is the story of the land and the people that John Steinbeck loved--told through the dramatic photographs and sensitive writing of another of its residents. This is Steinbeck Country, the fertile valleys, hills, and seacoast of Steinbeck's most novels were laid. Here, through Steve Couch's camera artistry, more than 90 photographs are reproduced in full color, and his sensitive writing about the land and its people, you can see and know what Steinbeck Country is really about. Included are some last photos taken outside of Cannery Row before it was closed, and fascinating panoramas of ethnic and cultural groups populating the land with the dramatic scenery, and the changing climate which characterizes the region."

You can see more of his photography online: <https://www.invaluable.com>

His work is also featured in Seagrave Gallery, photographs of the Monterey dunes, and southern Monterey.

Per the LUP, *“the owner has contributed to the unique sense of time and place recognized as significant in the historical sense.”*

Using the LUP guidelines to determine historic significance: This home qualifies.

1. The property was built in 1941, over 50 years old.
2. The property has not lost its historic integrity through alterations, additions, changes to the surrounding environment or other causes.
3. The property relates to historic themes for Carmel.
4. The property has an association with important events, people, or architecture that are identified in the Historic context statement or that represent the historic/cultural evolution of Carmel-by-the-Sea.
5. The architectural style of this home is similar to the First Murphy house on Dolores.
6. The neighborhood that this home is located in is one of the oldest in Carmel, originally mapped in 1908.

Land Use and Community Character Element, Subdivision Chronology Map: 1908

The property was not listed on the Carmel Inventory because no one researched it thoroughly. Steve Crouch was not listed in the historic context because no one looked. The effort to discover this historic figure was non-existent. The LUP specifically charges the planning commission to investigate possible historic sites; not being on a historical inventory is not preclusive for historic protection.

The property is located within the Archaeological Overlay Zone.

The property is identified on the Sanborn Maps. 1962

The original building permit is 1941.

According to the attached paperwork, *Crouch* is the original owner. *Kelly* was the contractor.

As far as we can tell, there have been no external alterations to the home. It did receive a new roof on 4-30-2001. An external garage was added at some point, but in coordination with the existing style of the home.

In 1995, Ethelyn Crouch sold the home to the King family.

“The home was built intentionally on an angle to face Point Lobos,” a source who lived in it says. “Beautiful beams and wood are in the living room. I’ve lived in a few houses over the years in Carmel, even the Redwood House near downtown, and this house has a magical feel of Carmel, even more so than the Redwood House. The craftsmanship is beautiful, especially the living room that faces Point Lobos.”

In conclusion, this permit has been erroneously issued and is not in conformity with the LUP, and so should be suspended until further investigation can be completed as to the historic nature of this home.

Sincerely,

Carolyn White

June 2, 2025

Asmt: 010-112-007-000 Feeparcel:010-112-007-000 Status: ACTIVE Owner: COLLINS CRAIG J & HERMLE LYNN

Owner	Primary	H/W	Notes	Granting	Releasing	R&T ...	Rel. Date	Titl...	Ownershi...	...
	<input type="checkbox"/>			1974R891 880	198014010429		04/08/1980		0.000000%	
CROUCH ETHELYN D	<input checked="" type="checkbox"/>			198014010429	199430320859		12/02/1993		100.000000...	
KING JOHN & EILEEN TRS	<input checked="" type="checkbox"/>			199430320859	199632720815		09/06/1995		100.000000...	
KING EILEEN G	<input type="checkbox"/>			199632720815	199633051179		11/28/1995		50.000000%	
KING JOHN J	<input type="checkbox"/>			199632720815	199633051179		11/28/1995		50.000000%	
KING EILEEN G	<input type="checkbox"/>			199633051179	199633080672		12/04/1995		0.500000%	
KING JOHN J	<input type="checkbox"/>			199633051179	199633080672		12/04/1995		0.500000%	
KING EILEEN G	<input type="checkbox"/>			199633051179	199633300878		02/01/1996		99.000000%	
KING JOHN J	<input type="checkbox"/>			199633051179	199633300878		02/01/1996		0.000000%	
COX STEPHANIE KING	<input type="checkbox"/>			199633080672	199633300878		02/01/1996		0.500000%	
KING KEVIN	<input type="checkbox"/>			199633080672	199633300878		02/01/1996		0.500000%	
KING FAMILY PARTNERSHIP LP...	<input checked="" type="checkbox"/>			199633300878	199835260342		06/02/1997		100.000000...	
KING EILEEN G	<input type="checkbox"/>			199835260342	199835440987		07/16/1997		50.000000%	
KING JOHN J	<input type="checkbox"/>			199835260342	199835440987		07/16/1997		50.000000%	
KING FAMILY PARTNERSHIP LP...	<input checked="" type="checkbox"/>			199835440987	200201098450	0D	11/21/2001		100.000000...	
KING JOHN J	<input type="checkbox"/>	H		200201098450	200201099339		11/26/2001		50.000000%	
KING EILEEN G	<input type="checkbox"/>	W		200201098450	200201099339		11/26/2001		50.000000%	
KING FAMILY PARTNERSHIP THE	<input checked="" type="checkbox"/>			200201099339	2008015737		03/14/2008		100.000000...	
KING JOHN J & EILEEN G TRS	<input checked="" type="checkbox"/>			2008015737	2021042638		03/27/2021		100.000000...	
KING EILEEN G	<input checked="" type="checkbox"/>		THE JOHN...	2021042638	2022010807		03/04/2022	TR ...	19.000000%	
KING EILEEN G	<input checked="" type="checkbox"/>		THE JOHN...	2021042638	2022010808		03/04/2022	TR ...	81.000000%	
KING KEVIN	<input type="checkbox"/>		THE JOHN...	2021042638	2022010808		03/04/2022	TR	0.000000%	
COX STEPHANIE KING	<input type="checkbox"/>		THE JOHN...	2021042638	2022010808		03/04/2022	TR	0.000000%	
COX STEPHANIE KING	<input type="checkbox"/>		THE STEP...	2022010807	2022010808		03/04/2022		9.500000%	
KING KEVIN	<input type="checkbox"/>		THE KEVI...	2022010807	2022010808		03/04/2022		9.500000%	

8

1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
---	---	---	---	---	---	---	---	---	----	----	----	----	----	----

TRACT *Carmel-by-the-Sea* ASSESSOR *10-112-7*

AREA 6,000

ZONE P-1

COMMENTS

Rommel Gänger

10-29-85

① In stall blank in
open Brackets Holes
in main panel

② 30. A Fuses

③ Copper gas line } w/H
④ No T/P Valve }

Attachment 1



PERMIT APPROVALS		
PLANNING:	DATE	STAFF
ROUGH	_____	_____
FINAL	_____	_____
FORESTRY:		
FINAL	_____	_____



BUILDING PERMIT
CITY OF CARMEL-BY-THE-SEA
DEPARTMENT OF COMMUNITY PLANNING & BUILDING
P.O. DRAWER G · CARMEL-BY-THE-SEA, CA 93921
PH: (831) 620-2010 · FAX: (831) 620-2014

PERMIT NO.: P05-18
DATE: 10-20-05
RECEIPT NO: 19145

ASSESSOR'S NO.: 010-112-007 Block: 8 Lot: pts 10/12 Attachment 1

Location of Work: Mission 3 SE of Vista Tract:

Owner: John King Address: 27480 Pascedero Rd, Carmel Phone: 625-2648

Contractor: Nichols Plumbing Address: 251 Olypia Ave, San City 93955 Phone: 393-3470

City Lic. No.: 15426 State Lic. No. 750567 Type of Lic.: C-everything

Eng./Arch.: Address: Phone:

Permit Extensions:

STORIES		OCCUPANCY GROUP		TYPE OF CONST.		SITE DIMENSIONS & AREA		OWNER BUILDER SURCHARGE		VALUATION	
										\$	
								A SURCHARGE OF 10% OR \$3.00 WHICHEVER IS GREATER IS REQUIRED BECAUSE OF THE INCREASED NUMBER OF INSPECTIONS NECESSARY ON OWNER BUILDER PERMITS.		Permit 70.00 Plan Check Mechanical Plumbing 15.00 Electrical Fire Dept. O/B SMIP Encr. Penalty Plan Revisions	
										Total 85.00	

SETBACKS IN FEET: FRONT, SIDE, SIDE, REAR

COVERAGE DATA: FLOOR AREA, SITE COVER. ALLOWED, EXISTING, NEW, TOTAL

TYPE OF IMPROVEMENT: ☐ BUILD ☐ DEMOLISH ☐ REPAIR ☐ REMODEL ☐ ADDITION ☒ OTHER

DESCRIPTION OF WORK: Gas Line Repair

EXPIRATION OF PERMIT	ADDITIONAL COMMENTS AND/OR CONDITIONS
<p>THIS PERMIT EXPIRES IF THE BUILDING OR WORK AUTHORIZED HEREIN IS NOT COMMENCED WITHIN 180 DAYS FROM DATE OF APPROVAL, OR IF WORK IS SUSPENDED FOR A PERIOD OF 180 DAYS OR ABANDONED AFTER EXPIRATION. THIS PERMIT MUST BE RENEWED BEFORE THE WORK MAY BE COMMENCED AGAIN.</p> <p>WARNING: TREES ON THE STREETS OF CARMEL-BY-THE-SEA ARE PUBLIC PROPERTY AND UNDER CITY CONTROL. PERMISSION TO REMOVE TREES MAY BE OBTAINED ONLY FROM THE CITY COUNCIL.</p> <p>GRADE LINES AS SHOWN ON DRAWING ACCOMPANYING THIS PERMIT ARE ASSUMED TO BE CORRECT. IF ACTUAL GRADE LINES ARE NOT THE SAME AS SHOWN, REVISED DRAWINGS SHOWING CORRECT GRADE LINES, CUTS AND FILLS, TOGETHER WITH COMPLETE DETAILS OF RETAINING WALLS AND WALL FOOTINGS REQUIRED MUST BE RESUBMITTED TO THE DEPARTMENT OF PLANNING & BUILDING FOR APPROVAL.</p> <p>IN CONFORMITY WITH THE PROVISIONS OF SECTION 3800 OF THE LABOR CODE OF THE STATE OF CALIFORNIA, APPLICANT SHALL FILE WITH THE BUILDING OFFICIAL, THE CERTIFICATES, DESIGNATED IN (1) AND (2) BELOW AND/OR SHALL INDICATE ITEM (3), (4) OR (5), WHICHEVER IS APPLICABLE.</p> <p>(1) CERTIFICATE OF CONSENT OF SELF-INSURED ISSUED BY THE DIRECTOR OF INDUSTRIAL RELATIONS. (2) CERTIFICATE (OR EXACT DUPLICATE COPY) OF WORKER'S COMPENSATION INSURANCE ISSUED BY AN ADMITTED INSURER.</p> <p><input type="checkbox"/> (3) THE COST OF THE WORK TO BE PERFORMED IS \$300 OR LESS.</p> <p><input type="checkbox"/> (4) I CERTIFY THAT IN THE PERFORMANCE OF THE WORK FOR WHICH THIS PERMIT IS ISSUED I SHALL NOT EMPLOY ANY PERSON IN ANY MANNER SO AS TO BECOME SUBJECT TO THE WORKER'S COMPENSATION LAWS OF CALIFORNIA.</p> <p><input checked="" type="checkbox"/> (5) I CERTIFY THAT THE APPLICANT IS LICENSED UNDER THE PROVISIONS OF CHAPTER 9 (COMMENCING AT SECTION 7000) OF DIVISION 3 OF THE BUSINESS AND PROFESSIONS CODE AND THE CALIFORNIA STATE CONTRACTORS BOARD.</p> <p>FULL DAY NOTICE IS REQUIRED FOR ALL INSPECTIONS.</p> <p>PERMITEE'S SIGNATURE: <i>Chad L. Chyl</i> DATE: 10-20-05</p>	<p>ISSUED BY: <i>[Signature]</i> DATE: <i>10/20/05</i></p> <p>APPROVED BY: <i>[Signature]</i> DATE: <i>10/20/05</i></p> <p>BUILDING OFFICIAL</p> <p>THE ISSUANCE OF A PERMIT BASED UPON PLANS AND SPECIFICATIONS ATTACHED HERETO SHALL NOT PREVENT THE BUILDING OFFICIAL FROM THEREAFTER REQUIRING THE CORRECTION OF ERRORS IN SAID PLANS AND SPECIFICATIONS. THE BUILDING OFFICIAL/INSPECTOR MAY SUSPEND ANY PERMIT WHEN IN VIOLATION OF ANY CODE AND/OR ORDINANCE. ANY DEVIATION AND/OR CHANGE IN THESE PLANS SHALL BE APPROVED BY THE BUILDING OFFICIAL AND/OR PLANNING AND BUILDING DIRECTOR.</p>

PROPERTY FILE

City of Carmel-by-the-Sea

Department of Community Planning & Building;
Public Works/Forestry & Beach
P.O. Drawer G
Carmel, CA 93921
(831) 620-2010 OFFICE/ (831) 620-2014 FAX

Attachment 1

MINOR - Construction Permit Application (Includes: Mechanical, Plumbing & Electrical)

City Use Only This Section

Date Rec'd.: _____ Fee: \$ _____ Receipt #: 19145 By: _____ Permit # P05-18

APPLICANT SECTION

Complete items 1-8 in this section and provide additional information and/or plans as required to describe the work proposed. SIGN THE BACK OF THIS FORM

1. Project Location: Mission between 3 SE and Vista
Street the project is on

Block: 8 Lot(s): PTS 10/12 Parcel #: 10-112-07

2. Legal Property Owner: John King

Mailing Address: 27480 Pascedero Rd. P.O. Box _____

City: Carmel State: CA Zip: 93928

Telephone # (____) 625-2648 FAX: (____) _____

3. Contractor/Agent/Contact Person: Nichols Plumbing & Heating
(Circle One)

Mailing Address: 351 Olympia Ave P.O. Box: _____

City: Sand City State: CA Zip: 93955 Phone (831) 893-3470

State Contractors Lic. #: 750567 ^{C4216} Type: C20 C34 City Business Lic # 15426
_{C36 800}

Estimated Value of work to be done: 800⁰⁰

Check the appropriate Department action proposed:

☐ **PUBLIC WORKS DEPT.:** Encroachment/Sidewalk/curb-Gutter/Driveway/Utilities

☐ **FORESTRY/BEACH:** Tree removal/Pruning/Landscaping

☐ **PLANNING/BUILDING:** Remodeling/Addition/New Construction/Grading/Re-Roofing

FULLY DESCRIBE ALL WORK PROPOSED: Repair gas leak
that is leaking in wall next to
water heater (REPAIR GAS LINE)

Applicant Acknowledgement

I understand and agree to comply with all pertinent conditions, standards and requirements as specified by the Carmel Municipal Code, State, County and Federal regulations pertaining to this permit application. I agree to properly maintain the subject work at no expense to the City and to indemnify the City from any liability arising from the permit issued. Acceptance by the City of the work described hereon is not a waiver of my obligations as stated herein.

Applicant Name (Print Clearly): Charles L. Clifton Jr.

Signature: Charles L. Clifton Jr. Date: 10-20-05

CITY USE ONLY BELOW

Action:

Public Works: Approve/Disapprove

Forestry/Beach: Approve/Disapprove

By: _____ Date: _____

By: _____ Date: _____

Planning: Approve/Disapprove

Building: Approve/Disapprove

By: _____ Date: _____

By: _____ Date: _____

Additional Requirements: (Circle each) Workers Comp/Liability Insurance/Driveway Grade & Drainage Agreement/ Hold Harmless Agreement

Comments/Conditions: _____



City of Carmel-by-the-Sea

Department of Community Planning & Building; Attachment 1

Public Works/Forestry & Beach

P.O. Drawer G

Carmel, CA 93921

(831) 620-2010 OFFICE/ (831) 620-2014 FAX

HAZARDOUS MATERIALS WASTE/DISPOSAL AND USE DISCLAIMER

Please legibly print all information

Site Location: Mission 3 SE Vista

Block: _____ Lot(s) _____ APN# _____

Owner: John King Phone#: _____

Address: 27480 Pascedon City: Carmel State: CA Zip: 93927

Contractor: Nichols Plumbing State License #: 750567

Address: 351 City: _____ State: _____ Zip: _____

I do hereby certify under penalty of perjury that I shall not come into conflict with the requirements of Sections 25505, 25533 & 25534 of the Health and Safety Code, State of California, or the requirements for permit for construction or modification from the Air Pollution Control District/Air Quality Management District exercising jurisdiction in the County of Monterey. In addition, I shall notify all agencies necessary, within this county, of any removal or use of any hazardous material upon the above described property.

Property Owner

Date

Chah L. Chah
Owner Signature



BUILDING PERMIT
CITY OF CARMEL-BY-THE-SEA
DEPARTMENT OF COMMUNITY PLANNING & BUILDING
P.O. DRAWER G · CARMEL-BY-THE-SEA, CA 93921
PH: (831) 620-2010 · FAX: (831) 620-2014

PERMIT NO.: 01-86

DATE: 4-30-01

RECEIPT NO: 984

Attachment 1

ASSESSOR'S NO.: 10-112-07 Block: 8 Lot: 10 & N 1/2 12

Location of Work: E/s Mission between Vista & Scenic Road Tract:

Owner: King Family Partnership Address: PO Box 2648 Carmel Phone: 625-2648

Contractor: Lang's Roofing Address: 873 Fir Ave, Sand City Phone: 394-8206

City Lic. No.: 18695 State Lic. No. 704199 Type of Lic.: C39

Eng./Arch.: Address: Phone:

Permit Extensions:

STORIES		OCCUPANCY GROUP		TYPE OF CONST.		SITE DIMENSIONS & AREA		OWNER BUILDER SURCHARGE		VALUATION	
1		R-1		VN		60x100 6,000		A SURCHARGE OF 10% OR \$3.00 WHICHEVER IS GREATER IS REQUIRED BECAUSE OF THE INCREASED NUMBER OF INSPECTIONS NECESSARY ON OWNER BUILDER PERMITS.		\$ 7,300.00	
SETBACKS IN FEET						COVERAGE DATA					
FRONT		SIDE		SIDE		REAR		FLOOR AREA		SITE COVER.	
								ALLOWED		ALLOWED	
								EXISTING		EXISTING	
OVERLAY		HT.		ZONE		PLANNER		NEW		NEW	
								TOTAL		TOTAL	
TYPE OF IMPROVEMENT						PLAN COMM. NO. P.C. APRVL DATE					
<input type="checkbox"/> BUILD <input type="checkbox"/> DEMOLISH <input type="checkbox"/> REPAIR											
<input type="checkbox"/> REMODEL <input type="checkbox"/> ADDITION <input type="checkbox"/> OTHER											
DESCRIPTION OF WORK: Replace shakes with Class-A composition										Total	
										63.50	

EXPIRATION OF PERMIT	ADDITIONAL COMMENTS AND/OR CONDITIONS
<p>THIS PERMIT EXPIRES IF THE BUILDING OR WORK AUTHORIZED HEREIN IS NOT COMMENCED WITHIN 180 DAYS FROM DATE OF APPROVAL, OR IF WORK IS SUSPENDED FOR A PERIOD OF 180 DAYS OR ABANDONED AFTER EXPIRATION. THIS PERMIT MUST BE RENEWED BEFORE THE WORK MAY BE COMMENCED AGAIN.</p> <p>WARNING: TREES ON THE STREETS OF CARMEL-BY-THE-SEA ARE PUBLIC PROPERTY AND UNDER CITY CONTROL. PERMISSION TO REMOVE TREES MAY BE OBTAINED ONLY FROM THE CITY COUNCIL.</p> <p>GRADE LINES AS SHOWN ON DRAWING ACCOMPANYING THIS PERMIT ARE ASSUMED TO BE CORRECT. IF ACTUAL GRADE LINES ARE NOT THE SAME AS SHOWN, REVISED DRAWINGS SHOWING CORRECT GRADE LINES, CUTS AND FILLS, TOGETHER WITH COMPLETE DETAILS OF RETAINING WALLS AND WALL FOOTINGS REQUIRED MUST BE RESUBMITTED TO THE DEPARTMENT OF PLANNING & BUILDING FOR APPROVAL.</p> <p>IN CONFORMITY WITH THE PROVISIONS OF SECTION 3800 OF THE LABOR CODE OF THE STATE OF CALIFORNIA, APPLICANT SHALL FILE WITH THE BUILDING OFFICIAL, THE CERTIFICATES, DESIGNATED IN (1) AND (2) BELOW AND/OR SHALL INDICATE ITEM (3), (4) OR (5), WHICHEVER IS APPLICABLE.</p> <p>(1) CERTIFICATE OF CONSENT OF SELF-INSURED ISSUED BY THE DIRECTOR OF INDUSTRIAL RELATIONS.</p> <p>(2) CERTIFICATE (OR EXACT DUPLICATE COPY) OF WORKER'S COMPENSATION INSURANCE ISSUED BY AN ADMITTED INSURER.</p> <p><input type="checkbox"/> (3) THE COST OF THE WORK TO BE PERFORMED IS \$300 OR LESS.</p> <p><input type="checkbox"/> (4) I CERTIFY THAT IN THE PERFORMANCE OF THE WORK FOR WHICH THIS PERMIT IS ISSUED I SHALL NOT EMPLOY ANY PERSON IN ANY MANNER SO AS TO BECOME SUBJECT TO THE WORKER'S COMPENSATION LAWS OF CALIFORNIA.</p> <p><input checked="" type="checkbox"/> (5) I CERTIFY THAT THE APPLICANT IS LICENSED UNDER THE PROVISIONS OF CHAPTER 9 (COMMENCING AT SECTION 7000) OF DIVISION 3 OF THE BUSINESS AND PROFESSIONS CODE AND THE CALIFORNIA STATE CONTRACTORS BOARD.</p> <p>FULL DAY NOTICE IS REQUIRED FOR ALL INSPECTIONS.</p>	<p>ISSUED BY: <i>Jani Abdulla</i> DATE: 4/30/01</p> <p>APPROVED BY: <i>Jani Abdulla</i> DATE: 4/30/01</p> <p>BUILDING OFFICIAL</p> <p>THE ISSUANCE OF A PERMIT BASED UPON PLANS AND SPECIFICATIONS ATTACHED HERETO SHALL NOT PREVENT THE BUILDING OFFICIAL FROM THEREAFTER REQUIRING THE CORRECTION OF ERRORS IN SAID PLANS AND SPECIFICATIONS. THE BUILDING OFFICIAL/INSPECTOR MAY SUSPEND ANY PERMIT WHEN IN VIOLATION OF ANY CODE AND/OR ORDINANCE. ANY DEVIATION AND/OR CHANGE IN THESE PLANS SHALL BE APPROVED BY THE BUILDING OFFICIAL AND/OR PLANNING AND BUILDING DIRECTOR.</p>

PERMITEE'S SIGNATURE X

DATE: 4/30/01

PROPERTY FILE

CITY OF CARMEL-BY-THE-SEA
Department of Community Planning and Building



Attachment 1

WORKERS' COMPENSATION DECLARATION

I hereby affirm under penalty of perjury one of the following declarations:

☐ I have and will maintain a certificate of consent to self-insure for workers' compensation, as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.

☒ I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:

Carrier: State Fund Policy #: _____

=====

THIS SECTION FOR PROJECTS OF \$100.00 OR LESS

I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California, and agree that I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code and I shall comply with those provisions.

Date: _____ Applicant: _____

WARNING: FAILURE TO SECURE WORKERS' COMPENSATION COVERAGE IS UNLAWFUL AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO \$100,000.00. IN ADDITION TO THE COST OF COMPENSATION DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST AND ATTORNEY'S FEES.

=====

Indicate if the intended occupancy will use chemicals. INITIALING YES acknowledges that Health & Safety Code Sections 25505, 25533, & 25534 as well as filing directions were made available to you.

HAZMAT: YES ☐ NO ☐

=====

I certify that I have read this form and state that the above information is true and correct. I agree to comply with all City, County and State ordinances and laws relating to building construction and hereby authorize representatives of the City of Carmel-by-the-Sea to enter upon the subject property attached for inspection purposes.

Date: 4/30/01 Signature: M. L.

BUILDER INFORMATION

CONTRACTOR

I hereby affirm that I am licensed under the provisions of ^{Attachment 1} Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code and my license is in full force and effect.

License#: 704199 Classification: C-39

Date: 4/30/01 Contractor: Lange Roofing
=====

OWNER BUILDER

I hereby affirm that I am exempt from the Contractor's License Law for the following reason (Sec. 7031.5, Business and Professions Code: Any city or county which requires a permit to construct, alter, improve, demolish or repair any structure prior to its issuance, also requires the applicant for such permit to file a signed statement that he is licensed pursuant to the provisions of the Contractor's License Law (Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code) or that he is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7031.5 by an applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500).):

☐ I, as owner of the property, or my employees with wages as their sole compensation will do the work, and the structure is not intended or offered for sale (Sec. 7044, Business and Professions Code: The Contractor's License Law does not apply to an owner of property provided that such improvements are not intended or offered for sale. If however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he or she did not build or improve for the purpose of sale.).

☐ I, as owner of the property am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractor's License Law.).

☐ I am exempt under Sec. _____ B&P.C. for this reason:

Date: _____ Owner: _____

CITY OF CARMEL-BY-THE-SEA

BUILDING INSPECTION DEPARTMENT

P. O. DRAWER G PHONE 624-6835

RESIDENTIAL ZONING AND BUILDING RECORDS REPORT

PRESENT OWNERS NAME & MAILING ADDRESS

Oscar Romelfanger

Post Office Box 2127

Carmel, CA 93921

Attachment 1

E/s Mission bet. Vista & Scenic Rd.

(Location)

10 & N $\frac{1}{2}$ 12

8

(Lots)

(Block)

RECEIPT # 5322

DATE: 11-29-73

SEND REPORT TO: Cross & Foster, Post Office Box 1172, Carmel, CA 93921

----- BUILDING INSPECTORS REPORT ON ZONING AND BUILDING RECORDS -----

(a) PROPERTY LOCATION East side of Mission between Vista & Scenic Road

8

10 & N $\frac{1}{2}$ 12

Addition #4

10-112-7

6,000 sq. ft.

(BLOCK)

(LOTS)

(TRACT)

(ASSESSORS #)

(LOT AREA)

(b) One single family residence with two accessory buildings

(AUTHORIZED USE OR USES)

(c) One story single family residence with detached one car garage

(OCCUPANCY OR USE AS INDICATED AND ESTABLISHED BY PERMITS OF RECORD)

(d) None

(LEGISLATIVE ACTS OF RECORD: USE PERMITS, VARIANCES OR EXCEPTIONS)

(e) RESTRICTIONS IN USE OR DEVELOPMENT:

1. Only one kitchen allowed

SAFETY NOTE:

1. Knock-out openings in main electrical panel must be blanked off
2. Sub panel has 30A fuses
3. No temperature/pressure relief valve on water heater
4. Copper gas line on water heater

Frederick R. Cunningham Dec. 5, 1973
(Signature of Inspector) (date)

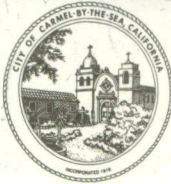
-----NEW OWNERS RECEIPT OF REPORT-----

ERRORS OR OMISSIONS IN SAID REPORT SHALL NOT BIND OR ESTOP THE CITY FROM ENFORCING ANY AND ALL BUILDING AND ZONING CODES AGAINST THE SELLER, BUYER AND ANY SUBSEQUENT OWNER. SAID REPORT DOES NOT GUARANTEE THE STRUCTURAL STABILITY OF ANY EXISTING BUILDING OR THE ADEQUACY OF THE PLUMBING AND ELECTRICAL SYSTEMS NOR DOES IT RELIEVE THE OWNER, HIS AGENT, ARCHITECT OR BUILDER FROM DESIGNING AND BUILDING A STRUCTURALLY STABLE BUILDING MEETING REQUIREMENTS OF ADOPTED BUILDING, PLUMBING AND ELECTRICAL CODES. (ORDINANCE 211 C.S.)

Stephen D. Crouch, Jr. acknowledge receipt of this report 19 January 1974
NEW OWNER SIGNATURE Date

Please print name & address of purchaser Stephen D. Crouch, Jr.
P.O. Box 2085, Carmel, Calif. 93921

NOTE ORIGINAL COPY OF THIS REPORT SIGNED BY PURCHASER MUST BE RETURNED TO THE OFFICE OF THE BUILDING INSPECTOR, P.O. DRAWER G, CARMEL, CALIF. 93921



BUILDING PERMIT
CITY OF CARMEL-BY-THE-SEA
DEPARTMENT OF COMMUNITY PLANNING & BUILDING
P.O. DRAWER G · CARMEL-BY-THE-SEA, CA 93921
PH: (831) 620-2010 · FAX: (831) 620-2014

PERMIT NO.: 01-86

DATE: 4-30-01

RECEIPT NO: 984

ASSESSOR'S NO.: 10-112-07 Block: 8 Lot: 10 & N 1/2 12 Attachment 1

Location of Work: E/s Mission between Vista & Scenic Road Tract:

Owner: King Family Partnership Address: PO Box 2648 Carmel Phone: 825-2648

Contractor: Lang's Roofing Address: 873 Fir Ave, Sand City Phone: 394-8206

City Lic. No.: 18695 State Lic. No. 704199 Type of Lic.: C39

Eng./Arch.: Address: Phone:

Permit Extensions:

STORIES		OCCUPANCY GROUP		TYPE OF CONST.		SITE DIMENSIONS & AREA		OWNER BUILDER SURCHARGE		VALUATION	
1		R-1		VN		60x100	6,000		\$ 7,800.00		
SETBACKS IN FEET				COVERAGE DATA				A SURCHARGE OF 10% OR \$3.00 WHICHEVER IS GREATER IS REQUIRED BECAUSE OF THE INCREASED NUMBER OF INSPECTIONS NECESSARY ON OWNER BUILDER PERMITS.		Permit 60.00	
FRONT	SIDE	SIDE	REAR	FLOOR AREA	SITE COVER.	ALLOWED	ALLOWED			Plan Check	
				EXISTING	EXISTING					Mechanical	
OVERLAY	HT.	ZONE	PLANNER	NEW	NEW					Plumbing	
				TOTAL	TOTAL					Electrical	
TYPE OF IMPROVEMENT				PLAN COMM. NO. P.C. APRVL DATE						Fire Dept.	
<input type="checkbox"/> BUILD <input type="checkbox"/> DEMOLISH <input type="checkbox"/> REPAIR										O/B	
<input type="checkbox"/> REMODEL <input type="checkbox"/> ADDITION <input type="checkbox"/> OTHER										SMIP 3.50	

DESCRIPTION OF WORK: Replace shakes with Class-A composition

Total 63.50

DESCRIPTION	DATE	INSP.	DESCRIPTION	DATE	INSP.
BUILDING			PLUMBING		
TREE PROTECTION			ROUGH/UNDERFLOOR		
SETBACKS			ROUGH/OVERALL		
FOUNDATION			WATER PIPING/TEST		
SLAB			WATER HEATER		
FRAMING/FLOOR			GAS PIPING/TEST		
FRAMING/WALLS			GAS METER AUTHORIZED		
FRAMING/ROOF			ELECTRICAL		
SHEATHING/ROOF			TEMPORARY POWER		
SHEAR PANEL			ROUGH/UNDERFLOOR		
VENTS/UNDERFLOOR			ROUGH/OVERALL		
VENTS/ATTIC			MAIN PANEL/GROUND BOND		
INSULATION/UNDERFLOOR			SUBPANEL(S)		
INSULATION/OVERALL			CONDUIT		
DRYWALL/LATH INTERIOR			ELECTRIC METER AUTHORIZED		
LATH/EXTERIOR			FIRE ALARM/SPRINKLERS		
HEATING/AIR COND.			ROUGH/FIRE SPRINKLERS		
ROUGH/UNDERFLOOR			FIRE ALARM SYSTEM		
ROUGH/OVERALL			FINAL/FIRE SYSTEMS		
FURNACE/HEAT UNIT			OK TO OCCUPY		
AIR CONDITIONER			FINAL INSPECTION		

SEE REVERSE FOR ADDITIONAL INSPECTION SIGN-OFFS/COMMENTS
INSPECTOR FIELD COPY

PERMIT APPROVALS		
PLANNING:	DATE	STAFF
ROUGH	_____	_____
FINAL	_____	_____
FORESTRY:		
FINAL	_____	_____

City of Carmel-by-the-Sea

Department of Community Planning & Building;
Public Works/Forestry & Beach
P.O. Drawer G
Carmel, CA 93921
(831) 620-2010 OFFICE/ (831) 620-2014 FAX

Attachment 1

MINOR - Construction Permit Application (Includes: Mechanical, Plumbing & Electrical)

City Use Only This Section

Date Rec'd.: _____ Fee: \$ _____ Receipt #: _____ By: _____ Permit # _____

APPLICANT SECTION

Complete items 1-8 in this section and provide additional information and/or plans as required to describe the work proposed. SIGN THE BACK OF THIS FORM

1. Project Location: _____ between _____ and _____
Street the project is on

Block: _____ Lot(s): _____ Parcel #: _____

2. Legal Property Owner: _____

Mailing Address: _____ P.O. Box _____

City: _____ State: _____ Zip: _____

Telephone # (____) _____ FAX: (____) _____

3. Contractor/Agent/Contact Person: _____
(Circle One)

Mailing Address: _____ P.O. Box: _____

City: _____ State: _____ Zip: _____ Phone (____) _____

State Contractors Lic. #: _____ /Type: _____ City Business Lic # _____

Estimated Value of work to be done: _____

Check the appropriate Department action proposed:

☐ **PUBLIC WORKS DEPT.:** Encroachment/Sidewalk/curb-Gutter/Driveway/Utilities

☐ **FORESTRY/BEACH:** Tree removal/Pruning/Landscaping

☐ **PLANNING/BUILDING:** Remodeling/Addition/New Construction/Grading/Re-Roofing

FULLY DESCRIBE ALL WORK PROPOSED: _____

Applicant Acknowledgement

I understand and agree to comply with all pertinent conditions, standards and requirements as specified by the Carmel Municipal Code, State, County and Federal regulations pertaining to this permit application. I agree to properly maintain the subject work at no expense to the City and to indemnify the City from any liability arising from the permit issued. Acceptance by the City of the work described hereon is not a waiver of my obligations as stated herein.

Applicant Name (Print Clearly): _____

Signature: _____ Date: _____

CITY USE ONLY BELOW

Action:

Public Works: Approve/Disapprove

Forestry/Beach: Approve/Disapprove

By: _____ Date: _____

By: _____ Date: _____

Planning: Approve/Disapprove

Building: Approve/Disapprove

By: _____ Date: _____

By: _____ Date: _____

Additional Requirements: (Circle each) Workers Comp/Liability Insurance/Driveway Grade & Drainage Agreement/ Hold Harmless Agreement

Comments/Conditions: _____



City of Carmel-by-the-Sea

Department of Community Planning & Building; Attachment 1
Public Works/Forestry & Beach
P.O. Drawer G
Carmel, CA 93921
(831) 620-2010 OFFICE/ (831) 620-2014 FAX

HAZARDOUS MATERIALS WASTE/DISPOSAL AND USE DISCLAIMER

Please legibly print all information

Site Location: _____

Block: _____ Lot(s) _____ APN# _____

Owner: _____ Phone#: _____

Address: _____ City: _____ State: _____ Zip: _____

Contractor: _____ State License #: _____

Address: _____ City: _____ State: _____ Zip: _____

I do hereby certify under penalty of perjury that I shall not come into conflict with the requirements of Sections 25505, 25533 & 25534 of the Health and Safety Code, State of California, or the requirements for permit for construction or modification from the Air Pollution Control District/Air Quality Management District exercising jurisdiction in the County of Monterey. In addition, I shall notify all agencies necessary, within this county, of any removal or use of any hazardous material upon the above described property.

Property Owner

Date

Owner Signature

CITY OF CARMEL-BY-THE-SEA
MONTEREY COUNTY CALIFORNIA

Permit No. 974

Fee Paid \$8.50 Attachment 1

APPLICATION FOR BUILDING PERMIT

Application is hereby made for a Building Permit in accordance with the description and for the purposes hereinafter set forth.

This application is made subject to all provisions of all the Ordinances and Codes of the City of Carmel-by-the-Sea and of State laws applicable thereto. The plans, specifications and statements of contemplated improvements accompanying this application are made a part hereof.

1. Site to be occupied: Lot 10-18 1/2 12 Block 8 Addition
2. Street E/S Mission, Altamira Vista & First
3. Character of Building New Residence
4. Owner's Name and Address J.K. Kelley Box 24
5. Contractor's Name and Address Self
6. Estimated Cost of Building \$3500.00
7. Height of Building One story Coverage of Lot
8. Materials to be used Frame - Rustic Ext & Int
9. Number and type of chimneys One fireplace
10. Date of Completion 120 days -
11. Number of Gas Outlets 30 Flues 2

(Height of building not to be in excess of two stories, nor more than 30 feet, except as provided in Section 1012 of the Ordinance Code).

City of Carmel-by-the-Sea, }
County of Monterey, } ss.
State of California.

X Lucretia K. Kelley being duly sworn, deposes and says that he is the owner, (or is authorized and empowered to make this affidavit by the owner).

X Lucretia K. Kelley, who makes the above application; that all the statements made in the above application are true to the best of his knowledge and belief.

Subscribed and sworn to before me this 1 day of Jan, 1941

Building Inspector.

Dear Mayor, Council Members, Planning Commission, and Staff:

Re: The house on Mission 2 NE of 1st is historic. The preliminary research and determination to the contrary, as noted by the form filed by Meg Clovis is not supported by the research and conclusion that it was the home of a historic figure in Carmel's history. In the two attachments, and online, you will find the records and proof from the Assessor's office that the house should be protected under the LUP's requirement to research and protect historic structures. The demolition of this home is not permitted under the LUP, and for that reason the permit to demolish a historic home: Mission 2 NE of 1st is invalid and should be suspended at this time.

"Failure to include a property on the Carmel Inventory shall not preclude a future determination that if it qualifies as a historic resource based on new evidence." LUP

Mr. Steve Crouch, 1913-1983, a famous photographer on the Monterey Peninsula, lived in Mission 2 NW of 1st. The paperwork attached indicates that Steve Crouch was the original owner, and commissioned the construction of his home in 1941. His Monterey Peninsula and Big Sur photography can be found in the Monterey Museum of Art, among other galleries.

Not Man Apart, a book, holds 90 photographs of the Big Sur Coast and his work is featured alongside Ansel Adams, Cole Weston, and the like. His other book, *Steinbeck Country*, holds exquisite photography and is part of a special collection at the University of California, Santa Cruz. This book, originally published in 1965 under the banner Sierra Club Ballentine Books, features poems by Robinson Jeffers along with a collection of his Big Sur Photographs. *Waterfall and Mist* circa 1960, was Salmon Creek Falls located on the Big Sur coastline. People who knew him, who are still with us, said his home and garage were where he processed his photographic film.

Per Amazon: "Here is the story of the land and the people that John Steinbeck loved--told through the dramatic photographs and sensitive writing of another of its residents. This is Steinbeck Country, the fertile valleys, hills, and seacoast of Steinbeck's most novels were laid. Here, through Steve Couch's camera artistry, more than 90 photographs are reproduced in full color, and his sensitive writing about the land and its people, you can see and know what Steinbeck Country is really about. Included are some last photos taken outside of Cannery Row before it was closed, and fascinating panoramas of ethnic and cultural groups populating the land with the dramatic scenery, and the changing climate which characterizes the region."

You can see more of his photography online: <https://www.invaluable.com>

His work is also featured in Seagrave Gallery, photographs of the Monterey dunes, and southern Monterey.

Per the LUP, *“the owner has contributed to the unique sense of time and place recognized as significant in the historical sense.”*

Using the LUP guidelines to determine historic significance: This home qualifies.

1. The property was built in 1941, over 50 years old.
2. The property has not lost its historic integrity through alterations, additions, changes to the surrounding environment or other causes.
3. The property relates to historic themes for Carmel.
4. The property has an association with important events, people, or architecture that are identified in the Historic context statement or that represent the historic/cultural evolution of Carmel-by-the-Sea.
5. The architectural style of this home is similar to the First Murphy house on Dolores.
6. The neighborhood that this home is located in is one of the oldest in Carmel, originally mapped in 1908.

Land Use and Community Character Element, Subdivision Chronology Map: 1908

The property was not listed on the Carmel Inventory because no one researched it thoroughly. Steve Crouch was not listed in the historic context because no one looked. The effort to discover this historic figure was non-existent. The LUP specifically charges the planning commission to investigate possible historic sites; not being on a historical inventory is not preclusive for historic protection.

The property is located within the Archaeological Overlay Zone.

The property is identified on the Sanborn Maps. 1962

The original building permit is 1941.

According to the attached paperwork, *Crouch* is the original owner. *Kelly* was the contractor.

As far as we can tell, there have been no external alterations to the home. It did receive a new roof on 4-30-2001. An external garage was added at some point, but in coordination with the existing style of the home.

In 1995, Ethelyn Crouch sold the home to the King family.

“The home was built intentionally on an angle to face Point Lobos,” a source who lived in it says. “Beautiful beams and wood are in the living room. I’ve lived in a few houses over the years in Carmel, even the Redwood House near downtown, and this house has a magical feel of Carmel, even more so than the Redwood House. The craftsmanship is beautiful, especially the living room that faces Point Lobos.”

In conclusion, this permit has been erroneously issued and is not in conformity with the LUP, and so should be suspended until further investigation can be completed as to the historic nature of this home.

Sincerely,

Carolyn White

June 2, 2025

Asmt: 010-112-007-000 Feeparcel:010-112-007-000 Status: ACTIVE Owner: COLLINS CRAIG J & HERMLE LYNN

Owner	Primary	H/W	Notes	Granting	Releasing	R&T ...	Rel. Date	Titl...	Ownershi...	...
	<input type="checkbox"/>			1974R891 880	198014010429		04/08/1980		0.000000%	
CROUCH ETHELYN D	<input checked="" type="checkbox"/>			198014010429	199430320859		12/02/1993		100.00000...	
KING JOHN & EILEEN TRS	<input checked="" type="checkbox"/>			199430320859	199632720815		09/06/1995		100.00000...	
KING EILEEN G	<input type="checkbox"/>			199632720815	199633051179		11/28/1995		50.000000%	
KING JOHN J	<input type="checkbox"/>			199632720815	199633051179		11/28/1995		50.000000%	
KING EILEEN G	<input type="checkbox"/>			199633051179	199633080672		12/04/1995		0.500000%	
KING JOHN J	<input type="checkbox"/>			199633051179	199633080672		12/04/1995		0.500000%	
KING EILEEN G	<input type="checkbox"/>			199633051179	199633300878		02/01/1996		99.000000%	
KING JOHN J	<input type="checkbox"/>			199633051179	199633300878		02/01/1996		0.000000%	
COX STEPHANIE KING	<input type="checkbox"/>			199633080672	199633300878		02/01/1996		0.500000%	
KING KEVIN	<input type="checkbox"/>			199633080672	199633300878		02/01/1996		0.500000%	
KING FAMILY PARTNERSHIP LP...	<input checked="" type="checkbox"/>			199633300878	199835260342		06/02/1997		100.00000...	
KING EILEEN G	<input type="checkbox"/>			199835260342	199835440987		07/16/1997		50.000000%	
KING JOHN J	<input type="checkbox"/>			199835260342	199835440987		07/16/1997		50.000000%	
KING FAMILY PARTNERSHIP LP...	<input checked="" type="checkbox"/>			199835440987	200201098450	0D	11/21/2001		100.00000...	
KING JOHN J	<input type="checkbox"/>	H		200201098450	200201099339		11/26/2001		50.000000%	
KING EILEEN G	<input type="checkbox"/>	W		200201098450	200201099339		11/26/2001		50.000000%	
KING FAMILY PARTNERSHIP THE	<input checked="" type="checkbox"/>			200201099339	2008015737		03/14/2008		100.00000...	
KING JOHN J & EILEEN G TRS	<input checked="" type="checkbox"/>			2008015737	2021042638		03/27/2021		100.00000...	
KING EILEEN G	<input checked="" type="checkbox"/>		THE JOHN...	2021042638	2022010807		03/04/2022	TR ...	19.000000%	
KING EILEEN G	<input checked="" type="checkbox"/>		THE JOHN...	2021042638	2022010808		03/04/2022	TR ...	81.000000%	
KING KEVIN	<input type="checkbox"/>		THE JOHN...	2021042638	2022010808		03/04/2022	TR	0.000000%	
COX STEPHANIE KING	<input type="checkbox"/>		THE JOHN...	2021042638	2022010808		03/04/2022	TR	0.000000%	
COX STEPHANIE KING	<input type="checkbox"/>		THE STEP...	2022010807	2022010808		03/04/2022		9.500000%	
KING KEVIN	<input type="checkbox"/>		THE KEVI...	2022010807	2022010808		03/04/2022		9.500000%	

8

1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
---	---	---	---	---	---	---	---	---	----	----	----	----	----	----

TRACT *Carmel-by-the-Sea* ASSESSOR *10-112-7*

AREA 6,000

ZONE P-1

COMMENTS

Rommel Gänger

10-29-85

① In stall blank in
open Brackets Holes
in main panel

② 30. A Fuses

③ Copper gas line } w/H
④ No T/P Valve }

Attachment 2



PERMIT APPROVALS		
PLANNING:	DATE	STAFF
ROUGH	_____	_____
FINAL	_____	_____
FORESTRY:		
FINAL	_____	_____



BUILDING PERMIT
CITY OF CARMEL-BY-THE-SEA
DEPARTMENT OF COMMUNITY PLANNING & BUILDING
P.O. DRAWER G · CARMEL-BY-THE-SEA, CA 93921
PH: (831) 620-2010 · FAX: (831) 620-2014

PERMIT NO.: P05-18
DATE: 10-20-05
RECEIPT NO: 19145

ASSESSOR'S NO.: 010-112-007 Block: 8 Lot: pts 10/12 Attachment 2

Location of Work: Mission 3 SE of Vista Tract:

Owner: John King Address: 27480 Pascedero Rd, Carmel Phone: 625-2648

Contractor: Nichols Plumbing Address: 251 Olypia Ave, San City 93955 Phone: 393-3470

City Lic. No.: 15426 State Lic. No. 750567 Type of Lic.: C-everything

Eng./Arch.: Address: Phone:

Permit Extensions:

STORIES				OCCUPANCY GROUP				TYPE OF CONST.				SITE DIMENSIONS & AREA							
SETBACKS IN FEET								COVERAGE DATA											
FRONT		SIDE		SIDE		REAR		FLOOR AREA				SITE COVER.							
								ALLOWED				ALLOWED							
								EXISTING				EXISTING							
OVERLAY		HT.		ZONE		PLANNER		NEW				NEW							
								TOTAL				TOTAL							
TYPE OF IMPROVEMENT												PLAN COMM. NO.				P.C. APRVL DATE			
<input type="checkbox"/> BUILD <input type="checkbox"/> DEMOLISH <input type="checkbox"/> REPAIR																			
<input type="checkbox"/> REMODEL <input type="checkbox"/> ADDITION <input checked="" type="checkbox"/> OTHER																			
DESCRIPTION OF WORK: Gas Line Repair																			
OWNER BUILDER SURCHARGE												VALUATION							
												\$							
A SURCHARGE OF 10% OR \$3.00 WHICHEVER IS GREATER IS REQUIRED BECAUSE OF THE INCREASED NUMBER OF INSPECTIONS NECESSARY ON OWNER BUILDER PERMITS.												Permit 70.00							
												Plan Check							
												Mechanical							
												Plumbing 15.00							
												Electrical							
												Fire Dept.							
												O/B							
												SMIP							
												Encr.							
												Penalty							
												Plan Revisions							
												Total 85.00							

EXPIRATION OF PERMIT	ADDITIONAL COMMENTS AND/OR CONDITIONS
<p>THIS PERMIT EXPIRES IF THE BUILDING OR WORK AUTHORIZED HEREIN IS NOT COMMENCED WITHIN 180 DAYS FROM DATE OF APPROVAL, OR IF WORK IS SUSPENDED FOR A PERIOD OF 180 DAYS OR ABANDONED AFTER EXPIRATION. THIS PERMIT MUST BE RENEWED BEFORE THE WORK MAY BE COMMENCED AGAIN.</p> <p>WARNING: TREES ON THE STREETS OF CARMEL-BY-THE-SEA ARE PUBLIC PROPERTY AND UNDER CITY CONTROL. PERMISSION TO REMOVE TREES MAY BE OBTAINED ONLY FROM THE CITY COUNCIL.</p> <p>GRADE LINES AS SHOWN ON DRAWING ACCOMPANYING THIS PERMIT ARE ASSUMED TO BE CORRECT. IF ACTUAL GRADE LINES ARE NOT THE SAME AS SHOWN, REVISED DRAWINGS SHOWING CORRECT GRADE LINES, CUTS AND FILLS, TOGETHER WITH COMPLETE DETAILS OF RETAINING WALLS AND WALL FOOTINGS REQUIRED MUST BE RESUBMITTED TO THE DEPARTMENT OF PLANNING & BUILDING FOR APPROVAL.</p> <p>IN CONFORMITY WITH THE PROVISIONS OF SECTION 3800 OF THE LABOR CODE OF THE STATE OF CALIFORNIA, APPLICANT SHALL FILE WITH THE BUILDING OFFICIAL, THE CERTIFICATES, DESIGNATED IN (1) AND (2) BELOW AND/OR SHALL INDICATE ITEM (3), (4) OR (5), WHICHEVER IS APPLICABLE.</p> <p>(1) CERTIFICATE OF CONSENT OF SELF-INSURED ISSUED BY THE DIRECTOR OF INDUSTRIAL RELATIONS.</p> <p>(2) CERTIFICATE (OR EXACT DUPLICATE COPY) OF WORKER'S COMPENSATION INSURANCE ISSUED BY AN ADMITTED INSURER.</p> <p><input type="checkbox"/> (3) THE COST OF THE WORK TO BE PERFORMED IS \$300 OR LESS.</p> <p><input type="checkbox"/> (4) I CERTIFY THAT IN THE PERFORMANCE OF THE WORK FOR WHICH THIS PERMIT IS ISSUED I SHALL NOT EMPLOY ANY PERSON IN ANY MANNER SO AS TO BECOME SUBJECT TO THE WORKER'S COMPENSATION LAWS OF CALIFORNIA.</p> <p><input checked="" type="checkbox"/> (5) I CERTIFY THAT THE APPLICANT IS LICENSED UNDER THE PROVISIONS OF CHAPTER 9 (COMMENCING AT SECTION 7000) OF DIVISION 3 OF THE BUSINESS AND PROFESSIONS CODE AND THE CALIFORNIA STATE CONTRACTORS BOARD.</p> <p>FULL DAY NOTICE IS REQUIRED FOR ALL INSPECTIONS.</p> <p>PERMITEE'S SIGNATURE <i>Chad L. Chaffin</i> DATE: 10-20-05</p>	<p>ISSUED BY: <i>[Signature]</i> DATE: 10/20/05</p> <p>APPROVED BY: <i>[Signature]</i> DATE: <i>[Signature]</i></p> <p>BUILDING OFFICIAL</p> <p>THE ISSUANCE OF A PERMIT BASED UPON PLANS AND SPECIFICATIONS ATTACHED HERETO SHALL NOT PREVENT THE BUILDING OFFICIAL FROM THEREAFTER REQUIRING THE CORRECTION OF ERRORS IN SAID PLANS AND SPECIFICATIONS. THE BUILDING OFFICIAL/INSPECTOR MAY SUSPEND ANY PERMIT WHEN IN VIOLATION OF ANY CODE AND/OR ORDINANCE. ANY DEVIATION AND/OR CHANGE IN THESE PLANS SHALL BE APPROVED BY THE BUILDING OFFICIAL AND/OR PLANNING AND BUILDING DIRECTOR.</p>

PROPERTY FILE

City of Carmel-by-the-Sea

Department of Community Planning & Building;
Public Works/Forestry & Beach
P.O. Drawer G
Carmel, CA 93921
(831) 620-2010 OFFICE/ (831) 620-2014 FAX

Attachment 2

MINOR - Construction Permit Application (Includes: Mechanical, Plumbing & Electrical)

City Use Only This Section

Date Rec'd.: _____ Fee: \$ _____ Receipt #: 19145 By: _____ Permit # P05-18

APPLICANT SECTION

Complete items 1-8 in this section and provide additional information and/or plans as required to describe the work proposed. SIGN THE BACK OF THIS FORM

1. Project Location: Mission between 3 SE and Vista
Street the project is on

Block: 8 Lot(s): PTS 10/12 Parcel #: 10-112-07

2. Legal Property Owner: John King

Mailing Address: 27480 Pascedero Rd. P.O. Box _____

City: Carmel State: CA Zip: 93928

Telephone # (____) 625-2648 FAX: (____) _____

3. Contractor/Agent/Contact Person: Nichols Plumbing & heating
(Circle One)

Mailing Address: 351 Olympia Ave P.O. Box: _____

City: Sand City State: CA Zip: 93955 Phone (831) 893-3470

State Contractors Lic. #: 750567 ^{C4216} Type: C34 City Business Lic # 15426
_{C36 800}

Estimated Value of work to be done: 800⁰⁰

Check the appropriate Department action proposed:

☐ **PUBLIC WORKS DEPT.:** Encroachment/Sidewalk/curb-Gutter/Driveway/Utilities

☐ **FORESTRY/BEACH:** Tree removal/Pruning/Landscaping

☐ **PLANNING/BUILDING:** Remodeling/Addition/New Construction/Grading/Re-Roofing

FULLY DESCRIBE ALL WORK PROPOSED: Repair gas leak
that is leaking in wall next to
water heater (REPAIR GAS LINE)

Applicant Acknowledgement

I understand and agree to comply with all pertinent conditions, standards and requirements as specified by the Carmel Municipal Code, State, County and Federal regulations pertaining to this permit application. I agree to properly maintain the subject work at no expense to the City and to indemnify the City from any liability arising from the permit issued. Acceptance by the City of the work described hereon is not a waiver of my obligations as stated herein.

Applicant Name (Print Clearly): Charles L. Clifton Jr.

Signature: Charles L. Clifton Jr. Date: 10-20-05

CITY USE ONLY BELOW

Action:

Public Works: Approve/Disapprove

Forestry/Beach: Approve/Disapprove

By: _____ Date: _____

By: _____ Date: _____

Planning: Approve/Disapprove

Building: Approve/Disapprove

By: _____ Date: _____

By: _____ Date: _____

Additional Requirements: (Circle each) Workers Comp/Liability Insurance/Driveway Grade & Drainage Agreement/ Hold Harmless Agreement

Comments/Conditions: _____



City of Carmel-by-the-Sea

Department of Community Planning & Building; Attachment 2

Public Works/Forestry & Beach

P.O. Drawer G

Carmel, CA 93921

(831) 620-2010 OFFICE/ (831) 620-2014 FAX

HAZARDOUS MATERIALS WASTE/DISPOSAL AND USE DISCLAIMER

Please legibly print all information

Site Location: Mission 3 SE Vista

Block: _____ Lot(s) _____ APN# _____

Owner: John King Phone#: _____

Address: 27480 Pascedon City: Carmel State: CA Zip: 93927

Contractor: Nichols Plumbing State License #: 750567

Address: 351 City: _____ State: _____ Zip: _____

I do hereby certify under penalty of perjury that I shall not come into conflict with the requirements of Sections 25505, 25533 & 25534 of the Health and Safety Code, State of California, or the requirements for permit for construction or modification from the Air Pollution Control District/Air Quality Management District exercising jurisdiction in the County of Monterey. In addition, I shall notify all agencies necessary, within this county, of any removal or use of any hazardous material upon the above described property.

Property Owner

Date

Chah L. Chah
Owner Signature



BUILDING PERMIT
CITY OF CARMEL-BY-THE-SEA
DEPARTMENT OF COMMUNITY PLANNING & BUILDING
P.O. DRAWER G · CARMEL-BY-THE-SEA, CA 93921
PH: (831) 620-2010 · FAX: (831) 620-2014

PERMIT NO.: 01- 86

DATE: 4-30-01

RECEIPT NO: 984

Attachment 2

ASSESSOR'S NO.: 10-112-07 Block: 8 Lot: 10 & N 1/2 12

Location of Work: E/s Mission between Vista & Scenic Road Tract:

Owner: King Family Partnership Address: PO Box 2648 Carmel Phone: 625-2648

Contractor: Lang's Roofing Address: 873 Fir Ave, Sand City Phone: 394-8206

City Lic. No.: 18695 State Lic. No. 704199 Type of Lic.: C39

Eng./Arch.: Address: Phone:

Permit Extensions:

STORIES		OCCUPANCY GROUP		TYPE OF CONST.		SITE DIMENSIONS & AREA		OWNER BUILDER SURCHARGE		VALUATION	
1		R-1		VN		60x100 6,000		A SURCHARGE OF 10% OR \$3.00 WHICHEVER IS GREATER IS REQUIRED BECAUSE OF THE INCREASED NUMBER OF INSPECTIONS NECESSARY ON OWNER BUILDER PERMITS.		\$ 7,300.00	
SETBACKS IN FEET						COVERAGE DATA					
FRONT		SIDE		SIDE		REAR		FLOOR AREA		SITE COVER.	
								ALLOWED		ALLOWED	
								EXISTING		EXISTING	
OVERLAY		HT.		ZONE		PLANNER		NEW		NEW	
								TOTAL		TOTAL	
TYPE OF IMPROVEMENT						PLAN COMM. NO. P.C. APRVL DATE					
<input type="checkbox"/> BUILD <input type="checkbox"/> DEMOLISH <input type="checkbox"/> REPAIR											
<input type="checkbox"/> REMODEL <input type="checkbox"/> ADDITION <input type="checkbox"/> OTHER											
DESCRIPTION OF WORK: Replace shakes with Class-A composition										Total	
										63.50	

EXPIRATION OF PERMIT	ADDITIONAL COMMENTS AND/OR CONDITIONS
<p>THIS PERMIT EXPIRES IF THE BUILDING OR WORK AUTHORIZED HEREIN IS NOT COMMENCED WITHIN 180 DAYS FROM DATE OF APPROVAL, OR IF WORK IS SUSPENDED FOR A PERIOD OF 180 DAYS OR ABANDONED AFTER EXPIRATION. THIS PERMIT MUST BE RENEWED BEFORE THE WORK MAY BE COMMENCED AGAIN.</p> <p>WARNING: TREES ON THE STREETS OF CARMEL-BY-THE-SEA ARE PUBLIC PROPERTY AND UNDER CITY CONTROL. PERMISSION TO REMOVE TREES MAY BE OBTAINED ONLY FROM THE CITY COUNCIL.</p> <p>GRADE LINES AS SHOWN ON DRAWING ACCOMPANYING THIS PERMIT ARE ASSUMED TO BE CORRECT. IF ACTUAL GRADE LINES ARE NOT THE SAME AS SHOWN, REVISED DRAWINGS SHOWING CORRECT GRADE LINES, CUTS AND FILLS, TOGETHER WITH COMPLETE DETAILS OF RETAINING WALLS AND WALL FOOTINGS REQUIRED MUST BE RESUBMITTED TO THE DEPARTMENT OF PLANNING & BUILDING FOR APPROVAL.</p> <p>IN CONFORMITY WITH THE PROVISIONS OF SECTION 3800 OF THE LABOR CODE OF THE STATE OF CALIFORNIA, APPLICANT SHALL FILE WITH THE BUILDING OFFICIAL, THE CERTIFICATES, DESIGNATED IN (1) AND (2) BELOW AND/OR SHALL INDICATE ITEM (3), (4) OR (5), WHICHEVER IS APPLICABLE.</p> <p>(1) CERTIFICATE OF CONSENT OF SELF-INSURED ISSUED BY THE DIRECTOR OF INDUSTRIAL RELATIONS.</p> <p>(2) CERTIFICATE (OR EXACT DUPLICATE COPY) OF WORKER'S COMPENSATION INSURANCE ISSUED BY AN ADMITTED INSURER.</p> <p><input type="checkbox"/> (3) THE COST OF THE WORK TO BE PERFORMED IS \$300 OR LESS.</p> <p><input type="checkbox"/> (4) I CERTIFY THAT IN THE PERFORMANCE OF THE WORK FOR WHICH THIS PERMIT IS ISSUED I SHALL NOT EMPLOY ANY PERSON IN ANY MANNER SO AS TO BECOME SUBJECT TO THE WORKER'S COMPENSATION LAWS OF CALIFORNIA.</p> <p><input checked="" type="checkbox"/> (5) I CERTIFY THAT THE APPLICANT IS LICENSED UNDER THE PROVISIONS OF CHAPTER 9 (COMMENCING AT SECTION 7000) OF DIVISION 3 OF THE BUSINESS AND PROFESSIONS CODE AND THE CALIFORNIA STATE CONTRACTORS BOARD.</p> <p>FULL DAY NOTICE IS REQUIRED FOR ALL INSPECTIONS.</p>	<p>ISSUED BY: <i>Jani Abdulla</i> DATE: 4/30/01</p> <p>APPROVED BY: <i>Jani Abdulla</i> DATE: 4/30/01</p> <p>BUILDING OFFICIAL</p> <p>THE ISSUANCE OF A PERMIT BASED UPON PLANS AND SPECIFICATIONS ATTACHED HERETO SHALL NOT PREVENT THE BUILDING OFFICIAL FROM THEREAFTER REQUIRING THE CORRECTION OF ERRORS IN SAID PLANS AND SPECIFICATIONS. THE BUILDING OFFICIAL/INSPECTOR MAY SUSPEND ANY PERMIT WHEN IN VIOLATION OF ANY CODE AND/OR ORDINANCE. ANY DEVIATION AND/OR CHANGE IN THESE PLANS SHALL BE APPROVED BY THE BUILDING OFFICIAL AND/OR PLANNING AND BUILDING DIRECTOR.</p>

PERMITEE'S SIGNATURE X

DATE: 4/30/01

PROPERTY FILE

CITY OF CARMEL-BY-THE-SEA
Department of Community Planning and Building



Attachment 2

WORKERS' COMPENSATION DECLARATION

I hereby affirm under penalty of perjury one of the following declarations:

☐ I have and will maintain a certificate of consent to self-insure for workers' compensation, as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.

☒ I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:

Carrier: State Fund Policy #: _____

=====

THIS SECTION FOR PROJECTS OF \$100.00 OR LESS

I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California, and agree that I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code and I shall comply with those provisions.

Date: _____ Applicant: _____

WARNING: FAILURE TO SECURE WORKERS' COMPENSATION COVERAGE IS UNLAWFUL AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO \$100,000.00. IN ADDITION TO THE COST OF COMPENSATION DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST AND ATTORNEY'S FEES.

=====

Indicate if the intended occupancy will use chemicals. INITIALING YES acknowledges that Health & Safety Code Sections 25505, 25533, & 25534 as well as filing directions were made available to you.

HAZMAT: YES ☐ NO ☐

=====

I certify that I have read this form and state that the above information is true and correct. I agree to comply with all City, County and State ordinances and laws relating to building construction and hereby authorize representatives of the City of Carmel-by-the-Sea to enter upon the subject property attached for inspection purposes.

Date: 4/30/01 Signature: M. L.

BUILDER INFORMATION

CONTRACTOR

I hereby affirm that I am licensed under the provisions of ^{Attachment 2} Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code and my license is in full force and effect.

License#: 704199 Classification: C-39

Date: 4/30/01 Contractor: Lange Roofing
=====

OWNER BUILDER

I hereby affirm that I am exempt from the Contractor's License Law for the following reason (Sec. 7031.5, Business and Professions Code: Any city or county which requires a permit to construct, alter, improve, demolish or repair any structure prior to its issuance, also requires the applicant for such permit to file a signed statement that he is licensed pursuant to the provisions of the Contractor's License Law (Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code) or that he is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7031.5 by an applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500).):

☐ I, as owner of the property, or my employees with wages as their sole compensation will do the work, and the structure is not intended or offered for sale (Sec. 7044, Business and Professions Code: The Contractor's License Law does not apply to an owner of property provided that such improvements are not intended or offered for sale. If however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he or she did not build or improve for the purpose of sale.).

☐ I, as owner of the property am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractor's License Law.).

☐ I am exempt under Sec. _____ B&P.C. for this reason:

Date: _____ Owner: _____

CITY OF CARMEL-BY-THE-SEA

BUILDING INSPECTION DEPARTMENT

P. O. DRAWER G PHONE 624-6835

RESIDENTIAL ZONING AND BUILDING RECORDS REPORT

PRESENT OWNERS NAME & MAILING ADDRESS

Oscar Romelfanger

Post Office Box 2127

Carmel, CA 93921

Attachment 2

E/s Mission bet. Vista & Scenic Rd.

(Location)

10 & N $\frac{1}{2}$ 12

8

(Lots)

(Block)

RECEIPT # 5322

DATE: 11-29-73

SEND REPORT TO: Cross & Foster, Post Office Box 1172, Carmel, CA 93921

----- BUILDING INSPECTORS REPORT ON ZONING AND BUILDING RECORDS -----

(a) PROPERTY LOCATION East side of Mission between Vista & Scenic Road

8

10 & N $\frac{1}{2}$ 12

Addition #4

10-112-7

6,000 sq. ft.

(BLOCK)

(LOTS)

(TRACT)

(ASSESSORS #)

(LOT AREA)

(b) One single family residence with two accessory buildings

(AUTHORIZED USE OR USES)

(c) One story single family residence with detached one car garage

(OCCUPANCY OR USE AS INDICATED AND ESTABLISHED BY PERMITS OF RECORD)

(d) None

(LEGISLATIVE ACTS OF RECORD: USE PERMITS, VARIANCES OR EXCEPTIONS)

(e) RESTRICTIONS IN USE OR DEVELOPMENT:

1. Only one kitchen allowed

SAFETY NOTE:

1. Knock-out openings in main electrical panel must be blanked off
2. Sub panel has 30A fuses
3. No temperature/pressure relief valve on water heater
4. Copper gas line on water heater

Frederick R. Cunningham Dec. 5, 1973
 (Signature of Inspector) (date)

-----NEW OWNERS RECEIPT OF REPORT-----

ERRORS OR OMISSIONS IN SAID REPORT SHALL NOT BIND OR ESTOP THE CITY FROM ENFORCING ANY AND ALL BUILDING AND ZONING CODES AGAINST THE SELLER, BUYER AND ANY SUBSEQUENT OWNER. SAID REPORT DOES NOT GUARANTEE THE STRUCTURAL STABILITY OF ANY EXISTING BUILDING OR THE ADEQUACY OF THE PLUMBING AND ELECTRICAL SYSTEMS NOR DOES IT RELIEVE THE OWNER, HIS AGENT, ARCHITECT OR BUILDER FROM DESIGNING AND BUILDING A STRUCTURALLY STABLE BUILDING MEETING REQUIREMENTS OF ADOPTED BUILDING, PLUMBING AND ELECTRICAL CODES. (ORDINANCE 211 C.S.)

Stephen D. Crouch, Jr. acknowledge receipt of this report 19 January 1974
 NEW OWNER SIGNATURE Date

Please print name & address of purchaser Stephen D. Crouch, Jr.
 P.O. Box 2085, Carmel, Calif. 93921

NOTE ORIGINAL COPY OF THIS REPORT SIGNED BY PURCHASER MUST BE RETURNED TO THE OFFICE OF THE BUILDING INSPECTOR, P.O. DRAWER G, CARMEL, CALIF. 93921



BUILDING PERMIT
CITY OF CARMEL-BY-THE-SEA
DEPARTMENT OF COMMUNITY PLANNING & BUILDING
P.O. DRAWER G · CARMEL-BY-THE-SEA, CA 93921
PH: (831) 620-2010 · FAX: (831) 620-2014

PERMIT NO.: 01-86

DATE: 4-30-01

RECEIPT NO: 984

ASSESSOR'S NO.: 10-112-07 Block: 8 Lot: 10 & N 1/2 12 Attachment 2

Location of Work: E/s Mission between Vista & Scenic Road Tract:

Owner: King Family Partnership Address: PO Box 2648 Carmel Phone: 825-2648

Contractor: Lang's Roofing Address: 873 Fir Ave, Sand City Phone: 394-8206

City Lic. No.: 18695 State Lic. No. 704199 Type of Lic.: C39

Eng./Arch.: Address: Phone:

Permit Extensions:

STORIES		OCCUPANCY GROUP		TYPE OF CONST.		SITE DIMENSIONS & AREA		OWNER BUILDER SURCHARGE		VALUATION	
1		R-1		VN		60x100	6,000		\$ 7,800.00		
SETBACKS IN FEET				COVERAGE DATA							
FRONT	SIDE	SIDE	REAR	FLOOR AREA	SITE COVER.						
				ALLOWED	ALLOWED						
				EXISTING	EXISTING						
OVERLAY	HT.	ZONE	PLANNER	NEW	NEW						
				TOTAL	TOTAL						
TYPE OF IMPROVEMENT				PLAN COMM. NO.		P.C. APRVL DATE					
<input type="checkbox"/> BUILD <input type="checkbox"/> DEMOLISH <input type="checkbox"/> REPAIR											
<input type="checkbox"/> REMODEL <input type="checkbox"/> ADDITION <input type="checkbox"/> OTHER											

DESCRIPTION OF WORK: Replace shakes with Class-A composition

Total 63.50

DESCRIPTION	DATE	INSP.	DESCRIPTION	DATE	INSP.
BUILDING			PLUMBING		
TREE PROTECTION			ROUGH/UNDERFLOOR		
SETBACKS			ROUGH/OVERALL		
FOUNDATION			WATER PIPING/TEST		
SLAB			WATER HEATER		
FRAMING/FLOOR			GAS PIPING/TEST		
FRAMING/WALLS			GAS METER AUTHORIZED		
FRAMING/ROOF			ELECTRICAL		
SHEATHING/ROOF			TEMPORARY POWER		
SHEAR PANEL			ROUGH/UNDERFLOOR		
VENTS/UNDERFLOOR			ROUGH/OVERALL		
VENTS/ATTIC			MAIN PANEL/GROUND BOND		
INSULATION/UNDERFLOOR			SUBPANEL(S)		
INSULATION/OVERALL			CONDUIT		
DRYWALL/LATH INTERIOR			ELECTRIC METER AUTHORIZED		
LATH/EXTERIOR			FIRE ALARM/SPRINKLERS		
HEATING/AIR COND.			ROUGH/FIRE SPRINKLERS		
ROUGH/UNDERFLOOR			FIRE ALARM SYSTEM		
ROUGH/OVERALL			FINAL/FIRE SYSTEMS		
FURNACE/HEAT UNIT			OK TO OCCUPY		
AIR CONDITIONER			FINAL INSPECTION		

SEE REVERSE FOR ADDITIONAL INSPECTION SIGN-OFFS/COMMENTS
INSPECTOR FIELD COPY

PERMIT APPROVALS		
PLANNING:	DATE	STAFF
ROUGH	_____	_____
FINAL	_____	_____
FORESTRY:		
FINAL	_____	_____

City of Carmel-by-the-Sea

Department of Community Planning & Building;
Public Works/Forestry & Beach
P.O. Drawer G
Carmel, CA 93921
(831) 620-2010 OFFICE/ (831) 620-2014 FAX

Attachment 2

MINOR - Construction Permit Application (Includes: Mechanical, Plumbing & Electrical)

City Use Only This Section

Date Rec'd.: _____ Fee: \$ _____ Receipt #: _____ By: _____ Permit # _____

APPLICANT SECTION

Complete items 1-8 in this section and provide additional information and/or plans as required to describe the work proposed. SIGN THE BACK OF THIS FORM

1. Project Location: _____ between _____ and _____
Street the project is on

Block: _____ Lot(s): _____ Parcel #: _____

2. Legal Property Owner: _____

Mailing Address: _____ P.O. Box _____

City: _____ State: _____ Zip: _____

Telephone # (____) _____ FAX: (____) _____

3. Contractor/Agent/Contact Person: _____
(Circle One)

Mailing Address: _____ P.O. Box: _____

City: _____ State: _____ Zip: _____ Phone(____) _____

State Contractors Lic. #: _____/Type: _____ City Business Lic # _____

Estimated Value of work to be done: _____

Check the appropriate Department action proposed:

☐ **PUBLIC WORKS DEPT.:** Encroachment/Sidewalk/curb-Gutter/Driveway/Utilities

☐ **FORESTRY/BEACH:** Tree removal/Pruning/Landscaping

☐ **PLANNING/BUILDING:** Remodeling/Addition/New Construction/Grading/Re-Roofing

FULLY DESCRIBE ALL WORK PROPOSED: _____

Applicant Acknowledgement

I understand and agree to comply with all pertinent conditions, standards and requirements as specified by the Carmel Municipal Code, State, County and Federal regulations pertaining to this permit application. I agree to properly maintain the subject work at no expense to the City and to indemnify the City from any liability arising from the permit issued. Acceptance by the City of the work described hereon is not a waiver of my obligations as stated herein.

Applicant Name (Print Clearly): _____

Signature: _____ Date: _____

CITY USE ONLY BELOW

Action:

Public Works: Approve/Disapprove

Forestry/Beach: Approve/Disapprove

By: _____ Date: _____

By: _____ Date: _____

Planning: Approve/Disapprove

Building: Approve/Disapprove

By: _____ Date: _____

By: _____ Date: _____

Additional Requirements: (Circle each) Workers Comp/Liability Insurance/Driveway Grade & Drainage Agreement/ Hold Harmless Agreement

Comments/Conditions: _____



City of Carmel-by-the-Sea

Department of Community Planning & Building; Attachment 2
Public Works/Forestry & Beach
P.O. Drawer G
Carmel, CA 93921
(831) 620-2010 OFFICE/ (831) 620-2014 FAX

HAZARDOUS MATERIALS WASTE/DISPOSAL AND USE DISCLAIMER

Please legibly print all information

Site Location: _____

Block: _____ Lot(s) _____ APN# _____

Owner: _____ Phone#: _____

Address: _____ City: _____ State: _____ Zip: _____

Contractor: _____ State License #: _____

Address: _____ City: _____ State: _____ Zip: _____

I do hereby certify under penalty of perjury that I shall not come into conflict with the requirements of Sections 25505, 25533 & 25534 of the Health and Safety Code, State of California, or the requirements for permit for construction or modification from the Air Pollution Control District/Air Quality Management District exercising jurisdiction in the County of Monterey. In addition, I shall notify all agencies necessary, within this county, of any removal or use of any hazardous material upon the above described property.

Property Owner

Date

Owner Signature

CITY OF CARMEL-BY-THE-SEA
MONTEREY COUNTY CALIFORNIA

Permit No. 974

Fee Paid 8.59 Attachment 2

APPLICATION FOR BUILDING PERMIT

Application is hereby made for a Building Permit in accordance with the description and for the purposes hereinafter set forth.

This application is made subject to all provisions of all the Ordinances and Codes of the City of Carmel-by-the-Sea and of State laws applicable thereto. The plans, specifications and statements of contemplated improvements accompanying this application are made a part hereof.

1. Site to be occupied: Lot 10-11 1/2 12 Block 8 Addition
2. Street E/S Mission, Altamira Vista & Arist
3. Character of Building New Residence
4. Owner's Name and Address J.K. Kelley Box 24
5. Contractor's Name and Address Self
6. Estimated Cost of Building 3500.00
7. Height of Building One story Coverage of Lot
8. Materials to be used Frame - Rustic Ext & Int
9. Number and type of chimneys One fireplace
10. Date of Completion 120 days -
11. Number of Gas Outlets 30 Flues 2

(Height of building not to be in excess of two stories, nor more than 30 feet, except as provided in Section 1012 of the Ordinance Code).

City of Carmel-by-the-Sea, }
County of Monterey, } ss.
State of California.

X Lucretia K. Kelley being duly sworn, deposes and says that he is the owner, (or is authorized and empowered to make this affidavit by the owner).

X Lucretia K. Kelley, who makes the above application; that all the statements made in the above application are true to the best of his knowledge and belief.

Subscribed and sworn to before me this 1 day of Jan, 1941

Building Inspector.

From: **Karyl Hall** <preservecarmel@gmail.com>

Date: Mon, Jun 9, 2025 at 2:32 PM

Subject: Letter re Mission St. Project

To: Nova Romero <nromero@ci.carmel.ca.us>

Dear Nova, please distribute the following letter to the council members. Thanks, Karyl

Dear Mayor and Council members,

You may know I have stepped back from preservation efforts in Carmel because I am tired of not being heard, and big money, modern architects, developers, wealthy owners and lawyers seem to have taken over our planning commission. In addition, I have never seen such bold disrespect for and disregard of the residents of our community as was demonstrated when the planning commissioners ignored over 60 signatures by neighbors on a petition against the Mission Street project.

The petition was not delivered to the commissioners before the meeting (a city staff mistake). When it WAS brought forth during the meeting of 11.13.24, and numerous neighbors stood up and spoke against the Mission St. project, at the next meeting in March, 2025 it was as if the earlier testimonials and promises had never happened. The minutes of the November meeting did not reflect what had occurred, no mention of the contentious meeting was reported in the *Pine Cone*, and no mention of the unfurling of an 85 foot scroll of over 1200 signatures (half residents, half visitors) decrying modern architecture IN CARMEL was reported! This does not pass the smell test, as Council member Baron would say.

Then there is the laundry list of infractions outlined by Cari White, which you have received. Dear Council members, please DO SOMETHING about the commissioners involved in this disgrace before we lose Carmel all together. Thank you for listening.

Sincerely, Karyl Hall

From: **Carolyn White DDS** [REDACTED]
Date: Sat, Jun 7, 2025 at 3:06 PM
Subject: Violations: Planning Commission Mission Project
To: Mayor Dale Byrne <dbyrne@ci.carmel.ca.us>, Robert Delves
<rdelves@ci.carmel.ca.us>, Alissandra Dramov
<adramov@ci.carmel.ca.us>, hbuder@ci.carmel.ca.us <hbuder@ci.carmel.ca.us>, Jeff
Baron <jbaron@ci.carmel.ca.us>, Nova Romero <nromero@ci.carmel.ca.us>

June 7, 2025

Dear Mayor and City Council Members,

Re: Illegal issuance of three permits for the development at Mission and 1st, Carmel, CA.

This communication represents over 60 residents who signed the petition attached. This letter requests the immediate revocation of all 3 permits related to the project at Mission and 1st.

Carmel-by-the-Sea's City Council oversees the Planning Commission if the commission does not follow the law. The residents call for the City Council's formal action for these *multiple* infractions on the part of the Planning Commission, as described below. According to the city's municipal code, the Planning Commission operates under the authority of the City Council, which appoints its members and has the power to terminate them if necessary. The Planning Commission is responsible for ensuring compliance with the Brown Act, zoning laws, Municipal Codes, transparency, environmental regulations, and the General Plan, while the City Council retains the final decision-making authority on planning matters. When the Planning Commission is found to be acting outside legal boundaries, the City Council must intervene through formal review, policy amendments, or direct corrective actions.

Based on the evidence provided in this document the residents request after council's review, city council terminate the entire plan approval for Mission and 1st- the Hermle-Collins Home demolition and remodel project due to statutory infringements, and call upon the architect and the Planning Commission to begin again, following the statutory regulations and guidelines. This letter addresses the code violations for the entire project (3 homes) on Mission and 1st. The City Council has a letter regarding the Historical home on

Mission 2 NE of 1 (see attached), connected to this project, to be dealt with separately due to its historical significance.

Planning commission meetings are governed by several key laws and principles, including the *Open Meeting Law*. When a meeting takes place outside of chambers without complete public access or adequate notice, it is considered an illegal meeting. Planning commission meetings must be open to the public and properly *agendized* to ensure transparency. In California, this falls under the *Brown Act*, which mandates that discussions and decisions occur in open public forums unless a specific exemption applies. No exemption is applicable here: Erik Dyar and/or the homeowner engaged *Lombardo Law* firm and set up a meeting outside chambers. For those residents who attended, they describe this gathering as “intimidation” with an associate from Lombardo Law present. The homebuilder and/or the architect invited *some* neighbors to attend. Chair LePage participated, but no other planning commissioner was present. Over a dozen neighbors who attended the meeting expressed their opinions, yet again: three (3) Bay Area Modern track style homes failed to meet the character of their existing historic neighborhood. However, the architect persisted with a PowerPoint-style description of what they were doing. Planning commissions must follow structured procedures, including agenda posting, public hearings, and formal decision-making processes. Legislative rules apply to ensure orderly discussions. Commissioners are required to disclose any private conversations they have with applicants, attorneys, or other stakeholders outside of official meetings. This ensures fairness and prevents undue influence.

In California, holding a Planning Commission meeting outside official chambers has serious legal repercussions. Holding private meetings undermines public confidence in the commission’s integrity. This act alone calls for resignation and the quashing of this project. Violations of open meeting laws lead to civil penalties, fines, or legal action against individual commissioners.

To summarize all of the details surrounding this project: The Planning Commission failed to adhere to: the Brown Act by violating the Open Meeting Law, Municipal Code Title 17, the General Plan Established Guidelines, and the Land Use and Character Element. They ignored public input, a petition of over 60 immediate neighbors who objected to this project, and they acted *ultra vires*, beyond the scope of their legal authority. In administrative law, their final decision to approve three (3) Bay Area Modern track style homes is characterized as *arbitrary and capricious*. Instead of following the required, legal, and predictable process established by the State of California and Carmel’s law and guidelines, the Planning Commission made a decision that is not based on all the relevant rules or procedures they are required to follow. This combination of exceeding legal

authority and dismissal of procedural safeguards is enough for judicial review by our City Council on the grounds of a procedural due process violation.

Additional data includes: The residents have photos of sinks recently installed illegally in the homes to be demolished for desired water credits to accommodate the new designs. During the hearings, Bob Delves, commissioner at the time, explicitly instructed the architect to restart the project based on objections raised by a petition signed by 64 residents. Commissioners repeatedly assured the residents they would be happy with the designs. Following Mr. Delves' departure from the Planning Commission, the remaining members approved of the project despite substantial public opposition, which had been expressed over several months. The conceptual design of all three properties was accepted at meeting # 1 after over a dozen residents notified them that the new designs failed to meet the required congruent character of their historic home designs. Furthermore, it was noted that the commission made statements at the final meeting that inaccurately suggested no objections were raised, falsely supporting their final decision.

Moreover, the architect/property owners expressed plans to carry out the redevelopment as a "single project," intending to bring about demolition and reconstruction simultaneously, as articulated by the architect Erik Dyar. However, by splitting the endeavor into three separate permits, they effectively bypassed the mandatory California Environmental Quality Act (CEQA) review process. Being aware of this strategy, the Planning Commission was legally obligated under both California and local laws to conduct a CEQA review once informed of the property owners' intentions. This is their job, not the staff. Their failure to do so represents another clear neglect of their statutory responsibilities. Note: During a hearing, the staff's consultant attorney informed the Chair the PC is responsible for a CEQA investigation, not the staff.

The Specifics:

1. Brown Act and Open Meeting Law violation as explained above.
2. Carmel's Planning Commission is required to follow the Municipal Codes it endorses.

Municipal Code Title 17.10.010 Chapter 17.10 R-1. The purpose of this chapter is to establish standards and requirements for physical development in the R-1 single-family residential district.

Neighborhood Design: **Each site shall contribute to neighborhood character**, including the type of forest resources present, the **character of the street**, the response to local topography, and the treatment of open space resources such as setbacks and landscaping. It is intended by this objective that diversity in architecture be

encouraged **while** preserving the **broader element of community design that characterizes the streetscape within each neighborhood**. Note: *This is not subjective.*

In legalese, *shall* means “mandatory obligation or duty.” *While* means “at the same time, a simultaneous event.”

Legally, this Municipal Code reads: “**Each site has a mandatory obligation to contribute to the neighborhood character**, including the type of forest resources present, the **character of the street**, the response to local topography, and the treatment of open space resources such as setbacks and landscaping. It is intended by this objective that diversity in architecture be encouraged **at the same time** preserving the broader element of community design that **characterizes the streetscape within each neighborhood**.”

“It is intended by this objective that diversity in architecture be encouraged” does not negate this first sentence legally, its significance, nor does it mean that the neighborhood character will be enhanced with 3 Bay Area Moderns in a row resembling track housing. *Diversity* in architecture is not positioning 3 Bay Area Moderns in a row into a historic neighborhood of 1908, with homes of First Murphy, Jack Calvin, Francis Whitaker, George Whitcomb, Robert Jones, Comstock, Johonnet, and Perry Newberry.

3. Pervasive throughout the *Land Use Plan and Character Element* is the guiding principle of “neighborhood character.” Architectural congruity has been dismissed, despite the LUP emphasizing “character” *163 times* and “similar” *7 times* within its text. Attached is the LUP with areas highlighted in yellow that underscore these doctrines. To save you time, the guidelines that were not adhered to are on pages 5, 7, 8, 21, 22, 23, 24, 35, 36, 37, 38, 43, 44, 45, 46, 47, 48. (see attachment)

The LUP emphasizes designs that harmonize with the surrounding community, ensuring a seamless integration of styles. The principle of neighborhood character was not adhered to as required, especially in consideration of the existing historic designs and traditional look of this neighborhood. To insert multiple modern structures that all look alike into a historically cohesive area, without regard, creates an aesthetic discord akin to placing 3 Comstock Cottages amidst a neighborhood dominated by Malibu Moderns - an outcome that would jar the senses, and the appeal of the street rather than complement the environment.

4. The General Plan includes several policies aimed at preserving the city’s unique residential character, including *Public Engagement & Advocacy*. The General Plan discusses public engagement, which emphasizes community involvement in shaping development policies and preserving neighborhood character. Widespread dissatisfaction from the local community highlights a critical failure. a) The Planning Commission

disregarded the written protests and verbal objections presented by the residents, as documented in the attached petition. Public participation is a cornerstone of the planning process in Carmel, ensuring that new designs harmonize with the existing character of the community. Despite this, the conceptual design was approved during the first meeting, overriding considerable opposition. After the initial hearing, a letter and petition were hand-delivered but were delayed in reaching the Commissioners due to an administrative error. The meeting recordings detail these events, shedding light on the commission's improper handling of the situation. Notably, after Bob Delves ceased to serve as a commissioner, the Planning Commission proceeded to advance the project without adequately addressing the residents' concerns, overriding their objections, which the neighbors describe as steamrolling. b) The Planning Commission failed to conduct due diligence regarding the historic homes within this neighborhood, neglecting its responsibility to ensure that any new developments respect and align with the existing historic and architectural significance of the area, apart from being informed by the residents, repeatedly, that many "historic" homes were within 400 feet of this project.

5. Our Planning Commissioners have three roles that were not observed:

A) In their *legislative role*, they did not adopt Municipal Code, Title 17, the General Plan's philosophies and guidelines, the Land Use Character Element's principles, or require a CEQA review when they learned this project would be handled as a "single project" by the architect to support their decision.

B) In their *quasi-judicial role*, they violated the Open Meeting Law by hosting a sequestered meeting with the chairperson outside of chambers (Brown Act violation). They were entrusted with public trust and to ensure consistency and adherence to ordinances and guiding principles regarding neighborhood character. Additionally, the repeated verbal assurance they provided to the public was not adhered to, and their review of the project lacked the required alignment with Carmel's long-established standards.

C) In their *enforcement role*, they failed significantly. They implemented their preferences for a "3-modern home track style" project with personal positive comments for development with disregard of the public opposition.

During the hearing, commissioners routinely assured the public that the developer and architect would create designs that complemented the neighborhood and would meet their expectations, and that they would be happy with the outcome. Quotes: "I think you have to start over here (architect)." "There are 12 objections you can't overcome (architect and homeowner)." "Should be consistent with the neighborhood (architect and homeowner)." "I think you have to do a do-over and include the community (architect and

homeowner).” “Reflect the character of the neighborhood (architect and homeowner).” “Give the applicant time to work something out that everyone can live with, that will be an asset to the neighborhood and continue quality of life.” These directives never came. The Planners advanced the project.

6. In California, for a singular project such as this, three homes in a row, expressed by the architect, it is the Planning Commission's responsibility to verify if a CEQA (California Environmental Quality Act) consultation is needed, not the staff. It is *mandatory* for state and local agencies in California. It requires the city to analyze and disclose the environmental impacts of proposed projects and adopt feasible mitigation measures. If this had been done when it was supposed to have been done, the historic homes would have come to light to them (again). CEQA applies to both public and private projects that require government approval, ensuring environmental protection is integrated into decision-making.

The neighbors call for the following and sincerely urge the City Council to take swift and decisive action to enforce the established laws, rules, and guidelines, ensuring that all standards are upheld without exception.

- 1) As stated in a previous correspondence, stop any building permit and demolition of a historic home, Mission 2 NE of 1st, which has already been submitted under a separate document, for vetting purposes for 180 days.
- 2) Revoking all three (3) permits granted for this Bay Area Modern track style project.
- 3) Redesign the two non-historic homes to align with the neighborhood's historic and traditional character as required by our law and guidelines.
- 4) Abide by the water credit restrictions.
- 5) Erik Dyar's dual role as both a practicing architect in Carmel and a member of the Historic Resources Board represents a clear conflict of interest, necessitating his resignation.

These actions are necessary to restore trust in our residents and integrity in our city decision-making process. It is vital to ensure accountability and to uphold the proper enforcement of standards that apply equally to all community members.

Thank you for your time and assistance in this unfortunate matter.

Sincerely, on behalf of the residents,

Carolyn White

cc: Residents

Nova, please make this a public record. Thank you.

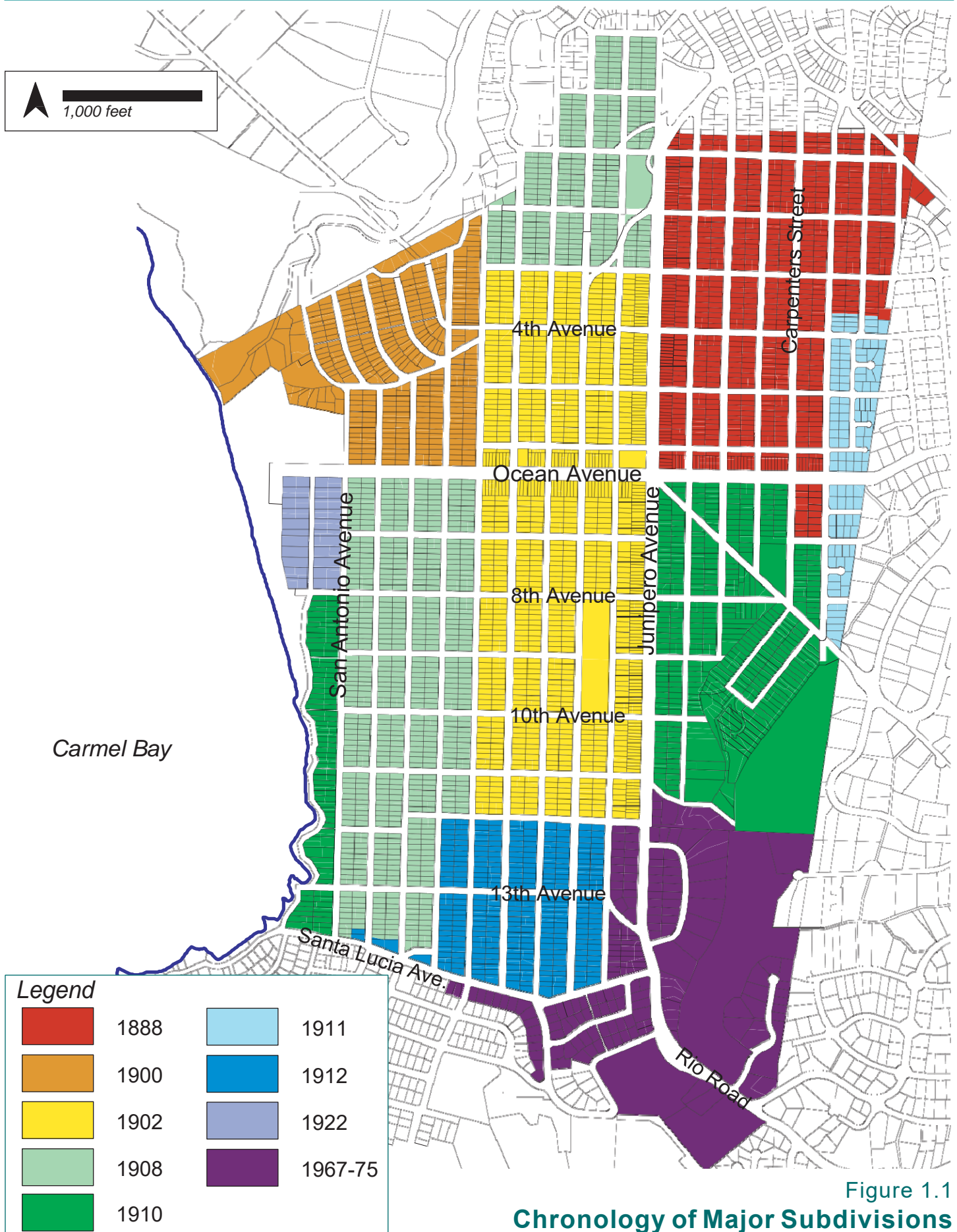
Attachments: Carmel Land Use and Character Element highlighting areas PC failed to follow at least 17 times.

Short Video: Bob Delves instructs the architect to start over.

Petition of 64 residents.

This letter in PDF format.

Letter concerning Historic home Mission 2 NE of 1, emailed to the City Council on June 3, 2025.





- Meeting the full range of local human needs, including health, safety shelter, social interaction, culture, commerce and growth, while accommodating the needs of coastal visitors;
- Designing buildings, infrastructure, and other improvements to a human scale;
- Enhancing and protecting the Monterey Pines, Coast Live oaks and other species of the natural environment that contributes to the high quality of life;
- Respecting the past as a continuing legacy that challenges each citizen to preserve the City's character in spite of on-going change;
- Preserving Carmel's primarily residential character with business and commerce subordinate to its residential character. (LUP)

Residential Development

Early Influences

The single-family residential district is characterized by its architectural diversity, its informal roads and by its forest of pines and oaks. Residential neighborhoods surround the business district and display a wide architectural variety due to age, aesthetic and architectural preferences, lot size and through each building's response to site conditions. No tracts of similar homes were constructed in Carmel, and no one block was constructed in a single period of time. See Figure 1.1: Chronology of Major Subdivisions. (LUP)

Carmel City was the vision of Santiago Duckworth who purchased part of the Las Manzanitas Rancho from Honoré Escolle in 1888. Duckworth subdivided 164 acres bounded by Monte Verde, Pescadero Canyon and First Street, Monterey Street, and Ocean Avenue. In 1902, James Devendorf and Frank Powers took over the unsold land from Duckworth and formed the Carmel Land Company. (LUP)

Although Devendorf inherited Duckworth's County-approved map of Carmel City with its conventional grid pattern, he did not hesitate to curve roads around trees or topographical features in later additions. His respect for the natural environment was in contrast to many developers who flattened hills and cleared trees. Devendorf encouraged the planting of trees so much that an illusion has been created of an area more wooded than it was originally. When he sold a lot, he threw in a few trees for good measure. If he actually got cash for the lot—which rarely happened—the buyer might have had a whole grove presented to him as a bonus. Early photographs show open meadows or coastal scrub with few trees west of Monte Verde except in natural canyons or near



In the decades that followed, Carmel embraced many other architectural traditions such as Modern, the Bay Area Tradition and other styles. The LUP includes policies to update the Context Statement periodically as future amendments to the Plan to document these and other more recent architectural expressions that continue to shape Carmel. (LUP)

Responding to Change

With its aging housing stock, the City is undergoing a remarkable turnover of housing that is likely to continue over the next several decades as older homes are replaced or remodeled to meet the needs of current owners. The City is charged with protecting and preserving the established design character of Carmel as well as its historic resources. The City must plan for this change in a way that preserves the community character. This does not mean that changes should be avoided, but that when change occurs, it should not be out of character and, indeed, can be welcomed as a neighborhood improvement. To achieve this there must be community consensus on the elements essential to the City's character. Citizens must have confidence that building, zoning, and design ordinances will preserve these essential elements through new construction and remodels. (LUP)

Were there a single architectural style that exemplified Carmel's character it would be easy to define and encourage this style in new construction. However, one of the unique strengths of Carmel has been its ability to embrace a multitude of architectural styles—indeed to encourage creativity and invention in its buildings. The result is an eclectic mix of architecture that nonetheless fits well together and with the environmental setting. There are several attributes that serve to bind these different designs together:

Scale. Underlying much of Carmel's design character is a respect for scale. Scale can be defined as a relationship of size among two or more objects. In Carmel, the scale tends to be small and related to human size. The City itself is compact, its lots are small, and its streets are narrow. The character established by existing small homes and cottages reinforces this intimate size relationship. All of these contribute to a human scale and a pedestrian-friendly, built environment. (LUP)

Site Design. Another characteristic that transcends architectural style is good site design. Houses that follow the topography tend to complement the land rather than override its constraints. A respect for trees, preserving natural drainages and carefully integrating new landscaping with belts of existing native vegetation are all examples of the good site design principles that are characteristic of Carmel. (LUP)

Sensitivity. When the City was young, few lots were developed and houses were often smaller. Under these conditions it was easy to avoid crowding neighboring buildings.



However, as each lot develops and as houses grow to maximum allowed floor area it becomes increasingly difficult to preserve a visual separation between houses. This can impact privacy, views, and neighboring properties. (LUP)

These brief descriptions are only a beginning. If the character of the residential districts is to be conserved through the coming years of rebuilding and remodeling, the City's implementing ordinances must guide rebuilding, rehabilitation and remodeling processes to ensure that new construction fits in with the design traditions and historical character that are already established. Policies in this element provide guidance to achieve this result. (LUP)

Public and Quasi-public Uses

Table 1.1 lists land uses that are located in the single-family residential district and are considered as public and quasi-public. Public uses include those lands and structures publicly owned, accordingly zoned, or dedicated to public activities. Quasi-public land uses include nonprofit organizations, churches, and other facilities. Publicly owned and operated facilities are identified and discussed in other elements of the General Plan, while park and open space lands are addressed in discussions of recreational facilities and in the Open Space/Conservation/Scenic Highways Element of this General Plan.

Existing quasi-public uses in the R-1 district such as churches, clubs and membership organizations represent both a service to the community and a potential conflict with the living environment of residential neighborhoods. Policies in the General Plan related to these uses are primarily intended to protect the values of residential neighborhoods when changes to these uses are proposed. While minor alterations or additions to existing structures may be allowed, significant additions or changes in use that would interfere with adjoining neighborhoods should not be allowed.



stone, rock or exposed aggregate to painted, carved or unfinished wood; corners often include bevels, bullnoses, cornices and moldings. (LUP)

The open spaces between buildings in the commercial district are an integral part of the design of the community. The significant buildings in this district tend to use open space, particularly courtyards, and building spaces and shapes that encourage pedestrian exploration and circulation. Courtyards invite pedestrians onto private property away from the street. These courts increase the amount of building surfaces and facades on a building, and encourage the creation of additional and smaller shop spaces. In this way, the building design within the central commercial district has subtly influenced the land use patterns and economic vitality of the City as a whole. (LUP)

Courtyards also tend to conceal many open spaces and building forms from the direct view of pedestrians along the street. Through such concealment, pedestrians are encouraged to explore the limits of these open spaces and discover hidden shops off the beaten path. This alternative pedestrian circulation pattern is encouraged in the City's commercial buildings through the use of arches to define building openings, inviting textures on pedestrian walking surfaces, directory signs at court entrances to identify what lies within, and the unfolding mystery of revealed open spaces and new building forms as pedestrians wander through the commercial courts and walkways. These courtyards are even more effective when they are linked from street to street, or from one property to another. Through-block interconnections also serve as shortcuts for local residents who, by knowing these alternate routes, can avoid crowded sidewalks. These unique open spaces and intra-block connections are an important part of the design character of the commercial district and, when associated with significant buildings, should be protected in a similar manner as the buildings to which they relate. (LUP)

Protection of Historic Resources

Although the Coastal Act does not specifically discuss historic preservation, this topic is related to the preservation of character required by sections 30251 and 30253 of the Act. The purpose of this component of the Land Use Plan is to provide a framework for policies that address the preservation of the diverse and valuable historic resources in Carmel. Its primary goals are to educate residents and visitors about the unique architectural, cultural and historic identity of Carmel-by-the-Sea, and to promote the identification and preservation of structures and sites that best represent this history. The addition of this component to the Coastal Plan reflects Carmel's commitment to the preservation of its important historic resources and the City's recognition of the role that historic resources play in defining community character. (LUP)

When evaluating resources for potential historic value, the threshold of 50 years old is often used by historic resource professionals as a trigger that such a review is needed.



The passing of fifty years provides sufficient time for evaluators to determine whether a particular resource may have become significant in a particular context. Of course, it is also important that decision makers have the discretion and ability based on the recommendation of a qualified professional to determine that resources less than 50 years old are historic, as sometimes a younger resource does rise to a level of historic significance. The Carmel LCP provides the appropriate policies and procedures to allow evaluation of potential historic resources, whether older than 50 years or not. (LUP)

The types of historic resources in Carmel are classified using the criteria established in the California Register of Historic Resources.¹ These range from architecturally significant historic buildings and collections of residences that form distinctive neighborhoods to those associated with important persons or events in Carmel's history. It also includes street features, landscaping, and both prehistoric and historic archaeological resources. (A more definitive discussion of historic resources found in Carmel is contained in the Historic Context Statement. See Appendix-F.) All these significant historic resources contribute to the City and its Sphere of Influence. They help to create a unique identity for the City that promotes Carmel as an attractive place for both residents and visitors. These buildings and sites serve as important reminders of Carmel's rich history and the patterns in which it developed. Extending beyond its contributions to the quality of life in Carmel, preservation of cultural resources also provides direct economic benefits by maintaining the character and charm that makes this an attractive visitor destination. The character of Carmel, while being diverse and eclectic, also provides an established historical context for contemporary architects and builders to work within so that their designs can become new, compatible contributions to the community. (LUP)

To be most effective, historic preservation efforts should be integrated with the City's other permit processes such as design review and land use development approvals. This plan contains policies that respond to the Coastal Act through a combined approach of conservation and preservation. *Conservation* allows change and new construction as long as it is consistent with established character. This approach is appropriate for new buildings, remodels, façade changes and public way improvements involving non-historic

¹ The California Register has four criteria for historic significance. These are: (1) the resource is associated with events that have made a significant contribution to broad patterns of local or regional history or the cultural heritage of California or the United States; or (2) the resource is associated with the lives of persons important to local, California or national history; or (3) the resource embodies the distinctive characteristics of a type, period, region, or method of construction or represents the work of a master or possesses high artistic values; or (4) the resource has yielded, or has the potential to yield, information important to the prehistory or history of the local area, California or the nation.



resources. The City implements conservation of its character through its Design Guidelines for the residential district, the commercial district and for the public way. The overall character of the City can be conserved through appropriate policies related to the urbanized forest, roadway design and building design. *Preservation* requires that historic resources be protected and rehabilitated without changes that would damage their integrity². Specific historic resources will be preserved after identification through an ongoing survey and then implementing preservation programs that are effective. Only changes consistent with the Secretary of the Interior's Standards for the Treatment of Historic Properties will be allowed unless environmental review demonstrates that this is not feasible. (LUP)

A greater understanding of and appreciation for the cultural heritage of Carmel can be fostered through a comprehensive historic preservation program. This includes the preservation of local architectural resources and archaeological artifacts and sites, as well as conservation of the landscape features such as the parks, seashore, roadside greenbelts and natural setting that have played an integral role in making Carmel what it is today. This program will help to promote an ethic of cultural stewardship, encouraging the entire community to become actively involved in retaining and protecting these special resources of Carmel-by-the-Sea. (LUP)

The initial step in an historic preservation program is a reconnaissance survey of potential historic resources. This is followed by thorough research and documentation in an intensive survey using the themes established in the Carmel Historic Context Statement

that explore the historic people, periods, places and events important to Carmel.³ This survey process identifies all resources that have historic significance and are eligible for

² Integrity is based on why a property is significant. Ultimately, the question of integrity is answered by whether or not the property retains the identity for which it is significant. The steps in assessing integrity are (1) defining the physical features that must be present for a property to represent its significance, (2) determining whether these features are still visible enough to convey significance, (3) determining whether the property needs to be compared to other similar properties to understand its significance and (4) determine which aspects of integrity are vital if the property is to qualify as a resource (adapted from the National Register of Historic Resources, Bulletin #15).

³ An historic context is a body of information about historic properties organized by theme, place and time. A single historic context describes one or more important aspects of the development of an area relating to its history, architecture, archaeology and culture. A context may be based on one or a series of events, patterns of community development, or associations with the lives of a person or group of persons that influenced the destiny and character of a place or region (from National Register Bulletin #24). Currently there are five themes developed in Carmel's Historic Context Statement. They are: (1) Prehistory and Hispanic Settlement, (2) Economic Development, (3) Government, Civic and Social Institutions (4) Architectural Development in Carmel and (5) Development of Art and Culture.



listing on the California Register of Historic Resources. These sites, structures and objects are then listed on the Carmel Inventory of Historic Resources. Those properties not listed in the Inventory shall be considered not historically significant unless additional information or the passage of time initiates the need for re-evaluation. The Carmel Inventory of Historic Resources shall be updated on an ongoing basis as new resources are surveyed. Properties not yet surveyed shall be evaluated on a case-by-case basis as the need arises (e.g., including for all site assessments, etc.). (LUP)

Complementary policies and programs which will further the preservation of Carmel's cultural resources include:

- Study and resolve possible existing conflicts between Building, Fire, Health and Housing Codes. Allow use of the State Historic Building Code.
- Initiate measures to take advantage of state and federal Capital Improvement Programs for the preservation and enhancement of Carmel's cultural resources.
- Delineate tax advantages and tax incentives within the private and public sectors.
- Study zoning codes and coordinate land use planning with historic preservation goals.
- Explore public funding opportunities at the federal, state, regional or local levels, to underwrite preservation activities.
- Investigate private sector funding and lending policies detailing less restrictive preservation code requirements.
- Encourage citizen support of the preservation of its cultural resources by cooperating with and encouraging local historic preservation programs. (LUP)

In addition to the Inventory, the City also will establish a local Register of Historic Resources. Owners may voluntarily request listing on the register as a way to provide public recognition of their historic resource and to receive enhanced benefits. Registered properties will receive a plaque that can be mounted on the property to identify its historic significance. Registered properties also will appear on any maps of cultural resources that are used to publicize and celebrate the City's rich history. Finally, registered properties may access enhanced financial benefits that are established for historic resources such as fee reductions for building permits and participation in Mills Act programs that reduce property taxes. It is desirable to place on the local register as



P1-30 Prohibit any further subdivision and/or creation of new building sites west of San Antonio Avenue and within any block fronting on North San Antonio Avenue or Scenic Road. (LUP)

P1-31 Discourage any future subdivision of land or lot-line adjustment unless it can be demonstrated that the character of the block and neighborhood will be maintained. (LUP)

P1-32 Preserve significant areas of vegetation and open space when approving subdivisions and lot line adjustments through the appropriate siting of buildings and other allowed improvements. (LUP)

P1-33 Evaluate and minimize the impacts of proposed lot line adjustments and subdivisions on traffic, access, trees, topography, utilities and public services through the approval process. (LUP)

P1-34 Inventory all building sites that contain portions of lots or lot fragments left over from previous subdivisions. Consolidate all lots or portions of lots with adjoining lands within the same building site through the filing of lot merger or lot line adjustment documents when additional development is proposed. (LUP)

P1-35 Establish criteria for evaluating lot line adjustments and subdivisions that will protect environmental resources, and ensure that proposed lots will be consistent with the pattern of existing parcel sizes within the surrounding neighborhood. (LUP)

P1-36 Avoid the creation of land use and design nonconformities through approvals of lot line adjustments, subdivisions and the creation of building sites.

Residential Development

O1-8 Preserve the traditional characteristics of scale, good site design and sensitivity to neighboring sites in the single-family residential district through the design approval of new homes, additions and exterior remodeling. Encourage the construction of residences that are diverse and innovative in design yet compatible with the forest setting, site design and materials established by other structures within the neighborhood and adopted Residential Design Guidelines. (LUP)



- P1-37** Require design review for new homes and second story additions in the residential district. Require design review for exterior remodeling that significantly affects the character or appearance of structures and sites in the R-1 District. Ensure that approved designs do not disrupt the existing neighborhood character by introducing inconsistent design elements.
- P1-38** Each site shall contribute to neighborhood character including the type of forest resources present, the character of the street, the response to local topography and the treatment of open space resources such as setbacks and landscaping. It is intended by this policy that diversity in architecture be encouraged while preserving the broader elements of community design that characterize the streetscape within each neighborhood. (LUP)
- P1-39** Site improvements shall be compatible with, and sensitive to, the natural features and built environment of the site and of the surrounding area. Design solutions should relate to and take advantage of site topography, vegetation and slope. Designs shall recognize the limitations of the land and work with these limitations rather than ignoring them or trying to override them. (LUP)
- P1-40** Residential designs shall maintain Carmel's enduring principles of modesty and simplicity and preserve the City's tradition of simple homes set amidst a forest landscape. Buildings shall not present excess visual mass or bulk to public view or to adjoining properties. Buildings shall relate to a human scale in their forms, elements and in the detailing of doors, windows, roofs, and walkways. Oversized design elements make structures appear dominating and monumental. This out-of-scale character represents a poor fit to the human form, vitiates the more intimate, rural charm and village character of Carmel-by-the-Sea and should be avoided. (LUP)
- P1-41** The design of structures shall be coordinated with open space to enhance the park-like environment of the City. Open space should be distributed around buildings to provide visual relief from structural bulk and a distinct separation from buildings on adjacent sites. Designs shall coordinate structural elements with landscaping to achieve a pleasing overall site design. (LUP)



- P1-42** Prior to submittal of design plans for new development that will alter the building footprint, add a second story or involve excavation, a site plan shall be prepared by a qualified professional to document topography, drainage features, existing trees and structures, street edge, and existing conditions on adjacent properties. Using this site plan, the City's planning staff and City Forester shall prepare a preliminary site assessment that includes an evaluation of the design character, streetscape attributes, potential historic resources, and forest resources of the block and neighborhood as well as the resource constraints of the site. Submittal of a Forest Enhancement and Maintenance Plan shall be required from project applicants in response to the site assessment. The Plan shall address the impacts of the proposed development on the existing forest conditions of the site. Site Plan designs shall recognize the constraints of the land and work within these limitations. Minimize the extent of excavation and fill on a site to avoid adverse impacts on trees and ensure that new development follows the natural contours of the site. (LUP)
- P1-43** Maintain and enhance the informal, vegetated, open space character of the City's rights-of-way. Trees in the rights-of-way shall not be removed to provide parking. With the exception of driveways, installation of new paving in the rights-of-way by private property owners is prohibited. (LUP)
- P1-44** Prohibit the removal of significant trees (as determined by the City Forester) unless it would prevent a reasonable economic use of the site or pose a threat to health and safety. Locate buildings and other site structures to avoid removal and pruning and otherwise minimize damage to existing significant trees. Avoid impacts to trees by avoiding/minimizing impacts to the root protection zone identified by the City Forester during the preliminary site assessment. Establish continuity of landscape elements throughout each neighborhood. Replace trees removed for construction with appropriate trees of the urbanized forest. Require that they be nurtured until well established. (LUP)
- P1-45** All demolitions, rebuilds, remodels, and substantial alterations shall be consistent with the following findings:



- The design uses simple/modest building forms and a limited number of roof planes, and a restrained employment of offsets and appendages consistent with the City's Design Objectives.
- Mass of the building relates to the context of other homes in the vicinity.
- The development is similar in size, scale, and form to buildings on the immediate block and neighborhood.
- The development does not require removal of any significant trees unless necessary to provide a viable economic use of the property or protect public health and safety. All buildings and structures will be setback a minimum of 6 feet from significant trees. (LUP)

P1-46 Require design review of proposed developments in the residential districts that are near designated parkland or that involve severe slopes, large structures or unusual design, to protect the character of individual neighborhoods and avoid inharmonious or out-of-scale development. (LUP)

P1-47 Apply the City's Residential Design Guidelines that explain the qualities that are characteristic of the community to assist in the preparation and approval of plans for residential development through the design review process. Include provisions for scale, mass, bulk, height, setbacks, open space, landscaping, exterior materials, lighting and community character. Establish procedures for using the guidelines that will allow flexibility and creativity in architectural expression yet maintain continuity in the design character of the residential district. (LUP)

P1-48 Establish maximum limits on site coverage and floor area in order to preserve open space and avoid excessive mass and bulk. Establish provisions for a smaller ratio of allowable coverage and floor area on larger sites and on sites constrained by environmental factors to preserve open space, vegetation, natural landforms and the character of surrounding neighborhoods. (LUP)



- P1-49** Limit above-grade floor area on 4,000 square foot lots to a maximum of 1,800 square feet. Projects with less above-grade square footage shall be preferred. Structural coverage shall not exceed 45% of the site. Total site coverage (structural and other impermeable coverage) on 4,000 square foot lots shall not exceed 55% of the site. Locate open space so that it visually links with adjacent properties. (LUP)
- P1-50** Establish landscaping standards to preserve the urban forest of Monterey Pines, Monterey Cypress, Redwoods and Coast Live Oaks, and encourage informal gardens using native vegetation to maintain the natural character of open spaces in the residential areas. (LUP)
- P1-51** Consider the effect of proposed residential construction on the privacy, solar access and private views of neighbors when evaluating design review applications. Avoid designs that are insensitive to the designs of neighboring buildings. Attempt to achieve an equitable balance of these design amenities among all properties affected by design review decisions. (LUP)
- P1-52** Establish and enforce permit standards for properties fronting on and to the west of North San Antonio and Scenic Road (the Beach District). The standards shall address identification and preservation of possible prescriptive rights of access, securing continuous lateral access and protection of public viewsheds to and along the coast. Limit the height of buildings in this area to 18 feet. (LUP)
- P1-53** Promote the undergrounding of utilities where feasible and with minimum detriment to the root systems of trees. (LUP)
- P1-54** Limit exterior lighting to prevent glare and preserve the traditional low levels of illumination during hours of darkness.
- O1-9** Recognize the contribution of existing public and quasi-public land uses in the R-1 district that serve local needs. Allow these existing uses to continue, but limit their expansion and minimize impacts on surrounding R-1 neighborhoods. (LUP)



Cultural Resources

Historic Preservation

G1-4 Promote the identification and preservation of historic resources including buildings, structures, objects, sites, districts, and archaeological resources that represent the unique architectural, cultural, and historic and prehistoric identity of Carmel-by-the-Sea. The definition of historic resources shall include the built environment, prehistoric resources and historic archaeological resources. (LUP)

O1-14 Maintain an inventory of historic resources. (LUP)

P1-83 Conduct an ongoing historic survey to identify and document historic resources throughout the City. The City shall engage historic preservation professionals meeting the qualifications established by the State Office of Historic Preservation to conduct all research, historic evaluation and documentation using accepted methodology and standards of the profession. All surveyed resources that meet the criteria established by City policy shall be included in the Carmel Inventory of Historic Resources (Carmel Inventory). The Carmel Inventory shall include historic resources significant at a State or National level (Primary Resources), historic resources significant at a local or regional level (Local Resources) and historic resources that are contributors to a district. The Carmel Inventory shall be updated on an ongoing basis as new resources are surveyed. (LUP)

P1-84 All resources previously surveyed and evaluated by the City that meet the criteria established by the City's LCP shall, as of the date of certification of the Carmel-by-the-Sea LCP, be deemed included in the Carmel Inventory of Historic Resources. (LUP)

P1-85 Maintain an Historic Context Statement that documents the historic periods, themes, events, people, architects and builders who have contributed to the cultural and developmental history of the City. Use the Historic Context Statement to identify, document and understand the importance of historic resources. Exclusion from this document shall not preclude a finding of significance for any resource. The Historic Context Statement shall be updated at least every five years. Updates shall be submitted to the California



Coastal Commission as LCP amendments. (See Appendix F: Historic Context Statement, Carmel-by-the-Sea, 1997). (LUP)

P1-86 Apply California Register of Historical Resources (California Register) criteria⁴ to identify and document all historic resources. Use the Historic Context Statement to interpret the California Register criteria in determining the significance of Carmel's historic resources. (LUP)

P1-87 Establish procedures to add historic resources to the Carmel Inventory based on recommendations from a qualified professional, as part of the City's ongoing survey process. To qualify for listing in the Carmel Inventory, historic resources shall meet at least one of the California Register criteria, shall be representative of at least one theme included in the Historic Context Statement and shall retain substantial integrity⁵. Integrity (association, feeling, setting, location, design, materials and workmanship) shall be documented by comparing the existing condition of the resource with the original building plans or early photographs or other substantial evidence (e.g. literature review, architectural files, land records, Sanborn maps, etc.) and/or by physical inspection by a qualified historic preservation professional. (LUP)

P1-88 To qualify for listing in the Carmel Inventory, an historic resource eligible under California Register criterion #3 only, shall (1) have been designed and/or constructed by an architect, designer/builder or contractor whose work has contributed to the unique sense of time and place recognized as significant in the Historic Context Statement; (2) have been designed and/or constructed by a

⁴ The California Register has four criteria for historic significance. These (1) are associated with events that have made a significant contribution to broad patterns of local or regional history or the cultural heritage of California or the United States; or (2) are associated with the lives of persons important to local, California or national history; or (3) embody the distinctive characteristics of a type, period, region, or method of construction or represents the work of a master or possesses high artistic values; or (4) has yielded, or has the potential to yield, information important to the prehistory or history of the local area, California or the nation.

⁵ Integrity is based on why a property is significant. Ultimately, the question of integrity is answered by whether or not the property retains the identity for which it is significant. The steps in assessing integrity are (1) defining the physical features that must be present for a property to represent its significance, (2) determining whether these features are still visible enough to convey significance, (3) determining whether the property needs to be compared to other similar properties to understand its significance and (4) determine which aspects of integrity are vital if the property is to qualify as a resource (adapted from the National Register of Historic Resources, Bulletin #15).



previously unrecognized architect, designer/builder or contractor if there is substantial, factual evidence that the architect, designer/builder or contractor contributed to one or more of the historic contexts⁶ of the City to an extent consistent with other architects, designer/builders or contractors identified within the Historic Context Statement.; (3) be a good example of an architectural style or type of construction recognized as significant in the Historic Context Statement; or (4) display a rare style or type for which special consideration should be given. (LUP)

P1-89 Properties that display particularly rare architectural styles and vernacular/utilitarian types shall be given special consideration due to their particularly unusual qualities. Such rare examples, which contribute to diversity in the community, need not have been designed by known architects, design/builders or contractors. Rather, rare styles and types that contribute to Carmel's unique sense of time and place shall be deemed significant. (LUP)

P1-90 Establish a Historic Preservation Board with powers and duties to administer the City's Historic Preservation Program. Establish requirements for Board members to demonstrate historic knowledge of Carmel, knowledge of history, architecture, archaeology, or past experience with preservation. (LUP)

P1-91 Establish procedures for the Historic Preservation Board, based on recommendations from qualified professionals, to remove historic resources from the Carmel Inventory based on substantial evidence (e.g. incorrect evidence, invalid analysis, or loss of integrity of the identified historic resource). An historic resource listed on the Carmel Inventory shall be presumed historically significant and shall not be removed unless substantial evidence demonstrates that it is not an historic resource. (LUP)

⁶ An historic context is a body of information about historic properties organized by theme, place and time. A single historic context describes one or more important aspects of the development of an area relating to its history, architecture, archaeology and culture. A context may be based on one or a series of events, patterns of community development, or associations with the lives of a person or group of persons that influenced the destiny and character of a place or region (from National Register Bulletin #24). Currently there are five themes developed in Carmel's Historic Context Statement. They are: (1) Prehistory and Hispanic Settlement, (2) Economic Development, (3) Government, Civic and Social Institutions (4) Architectural Development in Carmel and (5) Development of Art and Culture.



- P1-92** Notify property owners upon identification of each historic resource included in the Carmel Inventory. Provide information to property owners on the City's preservation program and explain the benefits and responsibilities of owning an historic resource. Encourage owners to place their historic resource on National, State or Local Registers to maximize potential benefits to the owner and to the public. (LUP)
- P1-93** Use the Carmel Inventory to identify historic resources for purposes of required coastal development permit and California Environmental Quality Act (CEQA) review of proposed projects. Historic resources on the Carmel Inventory shall have a presumption of significance pursuant to CEQA § 21084.1 and shall be treated as historical resources under CEQA. Failure to include a property on the Carmel Inventory shall not preclude a future determination that it qualifies as an historic resource based on new evidence. (LUP)
- P1-94** Establish a process to help preserve and provide public recognition of historic resources. (LUP)
- P1-95** Establish a Carmel Register of Historic Resources (Carmel Register). Place all surveyed historic resources that are significant at the National or State level (i.e. Primary Resources) on the Carmel Register. (LUP)
- P1-96** Establish a process for the voluntary registration of local historic resources. Invite and encourage the owners of all local historic resources identified on the Carmel Inventory to register these resources. Provide regulatory and monetary incentives to encourage voluntary registration of local historic resources identified in the Carmel Inventory. (LUP)
- P1-97** Establish a process for the registration of historic districts identified in the Carmel Inventory. Register a district unless owners of more than 50% of the contributors within the district boundary file an objection to the registration. (LUP)
- O1-15** Protect the design character and context of the residential and commercial areas to maintain an appropriate setting for historic resources. (LUP)



P1-98 Ensure, through the City's development review processes, that new and altered buildings, whether historic resources or not, are consistent with review standards and zoning ordinances. (LUP)

P1-99 Implement guidelines for the commercial and residential areas that reflect the design context established by historic patterns of development and explain, illustrate, and establish standards to perpetuate the City's design context, setting, and community character consistent with the Secretary of the Interior's Standards for the Treatment of Historic Properties and Guidelines for Preserving, Rehabilitating and Restoring Historic Buildings (Secretary of the Interior's Standards and Guidelines). (LUP)

P1-100 Implement guidelines for civic design to preserve unique community character resources (e.g. public structures, street signs, landscape features and materials, etc.). Incorporate the concept of cultural landscapes (e.g. streets and other non-building open space features) in future revisions to the Historic Context Statement and develop guidelines for their preservation. (LUP)

P1-101 Use the State Historical Building Code for historic buildings and properties. Foster a greater understanding of this Code among architects and building professionals. (LUP)

P1-102 Minimize adverse impacts to historic resources from natural disasters by promoting seismic safety, flood protection, and other building safety programs. Ensure the preservation of historic resources identified in the Carmel Inventory through the development and implementation of an effective emergency response plan. (LUP)

G1-5 **Protect and enhance historic resources.** Ensure that City ordinances, development review processes and administrative policies support, facilitate and coordinate with preservation activities. Provide incentives for property owners to preserve and rehabilitate historic resources. (LUP)

O1-16 Pursue and support the use of appropriate Federal, State, local, and private grants, loans, tax credits, and tax relief. Develop or assist financial, technical, and legal assistance programs to encourage or assist with rehabilitation and maintenance. Participate in the State and Federal preservation process and programs. Make application to the State for



becoming a Certified Local Government (CLG), which enables the City to receive technical training. (LUP)

O1-17 Incorporate historic preservation principles into the City's project review processes. Avoid and minimize potential impacts on historic resources when developing and enforcing land use, design review, zoning, building code, fire code, environmental review, and other City regulations. (LUP)


P1-103 Use the Secretary of the Interior's Standards and Guidelines as the standard of review for development projects affecting historic resources. The City shall retain qualified professionals to evaluate and present to the Historic Preservation Board for review proposed exterior changes to historic resources to determine whether they are consistent with the Secretary of Interior's Standards and Guidelines. (LUP)

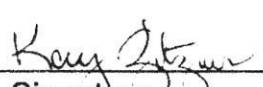
P1-104 Prohibit the demolition of all historic resources and prohibit changes to historic resources that are inconsistent with the Secretary of Interior's Standards and Guidelines unless it is determined through environmental review that alternatives consistent with the Secretary of Interior Standards are not feasible. When completing environmental review of any project affecting an historic resource, require exploration of one or more alternative designs that would be consistent with the Secretary of the Interior's Standards and Guidelines Standards. (LUP)


P1-105 Apply the Design Review Guidelines to ensure preservation, protection, enhancement, rehabilitation, reconstruction, and perpetuation of existing structures of historic significance in a manner consistent with the character of the village. Such criteria shall include, but not be limited to, architectural design, size, scale, height, spatial relationships, window, dormers, appurtenances, proportion and placement of improvements on the parcel, and landscaping, including planting or removal of vegetation. (LUP)

P1-106 Recognize existing architectural features and styles when reviewing alterations to historic resources. Strive to achieve compatibility between these historic elements and proposed changes. Allow historic resources included in the Carmel Inventory to retain existing land use and/or design nonconformities when proposed rehabilitation or repairs are found to be consistent with

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DS 24207, DS2408, and DS2409

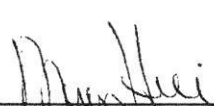
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Pasang Banata		Mission 3 NW 2 Vista

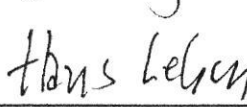
Name	Signature	Address
Kay Zitzner		3 SW Mission Alta


Name	Signature	Address
Robert Irving		Mission 3 NE Vista

Name	Signature	Address
Deborah Hwitt		Mission 3 SE Alta

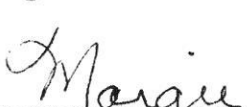
Name	Signature	Address
McMullen		Mission 2 SE Alta Ave

Name	Signature	Address
Margie		SE corner of Alta & Mission

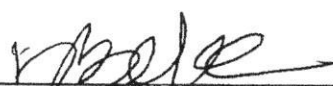
Name	Signature	Address
Hans Lehmann		544 House NE 1st on San Carlos

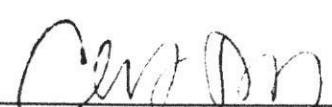
Name	Signature	Address
Charles F. Fraz		San Carlos - 4 NE of 2nd Corner, CA 93921

Name	Signature	Address
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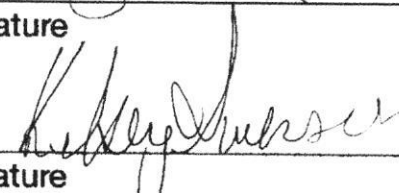
Margie Mörjig		Mission 5 NW First
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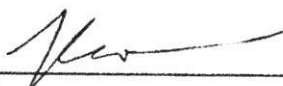
Name	Signature	Address
Dana Beebe		Vista 3 NW Mission

Name	Signature	Address
CHRISTOPHER DAY		VISTA PERRY NUMBER 1 HOUSE 3 NW JUNCTION

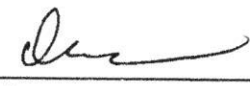
Name	Signature	Address
Betsy Durnell		Vista 2 NW Mission


Name	Signature	Address
Kelsey Swenson		San Carlos St 2 SE & VISTA

Name	Signature	Address
Kelley Biggs		San Carlos St SW Vista


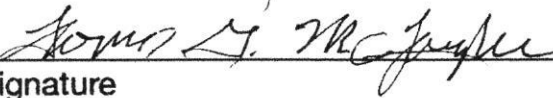



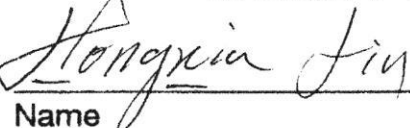

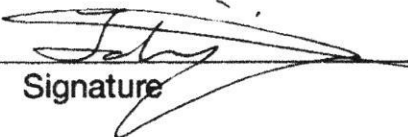
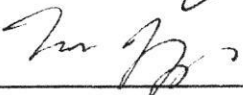
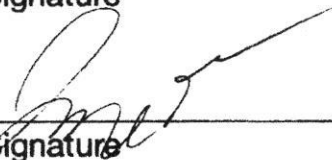
Name	Signature	Address
Kristi Cunningham		1 Mission St NE 1st Ave

Name	Signature	Address
Donavan Cunningham		1 Mission St NE 1st Ave.

Name	Signature	Address
LeMarr Cunningham		1 Mission St NE 1st Ave.

Name	Signature	Address
Vince Russo		Mission 2 nd NW

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Name	Signature	Address
MARTIN WELLINGTON		SW Corner Mission & 1st 2 SE San Carlos & 1st
TOM McLaughlin		2 SE 1st 2 SE San Carlos
Theresa McLaughlin		2 SE San Carlos & 1st
Mary Bell		1 SE Cor San Carlos 1st
Liuhx1668		2nd SE of First on San Carlos
HONGXIN JIN		2nd SE of 1st on San Carlos
JAYON WANG		2nd SE of 1st on San Carlos
Tsubasa Nakajima		2nd SE of 1st on San Carlos
TOM MORTIG		MISSION 5 NW FIRST
John Toranzo III		Juniper 2 SW 1st

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DS 24207, DS2408, and DS2409

Name	Signature	Address
<u>Hrc Costa</u>	<u>[Signature]</u>	<u>NW Corner of 1st & Mission St.</u>

Name	Signature	Address
<u>John Durr</u>	<u>[Signature]</u>	<u>" "</u>

Name	Signature	Address
<u>J. LAUREN HIA</u>	<u>[Signature]</u>	<u>1st & San Carlos</u>

Name	Signature	Address
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<u>M. GADBOIS</u>	<u>[Signature]</u>	<u>SAN CARLOS 2NE First</u>
Name	Signature	Address

<u>Tanner Combs</u>	<u>[Signature]</u>	<u>San Carlos 3NE 1st</u>
Name	Signature	Address

<u>Susan Pressentin</u>	<u>[Signature]</u>	<u>4 Mission SW Vista</u>
Name	Signature	Address

<u>Janette McQuinn</u>	<u>[Signature]</u>	<u>3 NW 1st Mission</u>
Name	Signature	Address

<u>GREG BALADJIANIAN</u>	<u>[Signature]</u>	<u>11/7/24</u>
Name	Signature	Address

<u>Chris Herbert</u>	<u>[Signature]</u>	<u>Mission 2SE Vista</u>
Name	Signature	Address

Hermle-Collins Home Demolition & Remodel Project
Mission Street 2, 3, and 4 NE of First Avenue
DS 24207, DS2408, and DS2409

Name	Signature	Address
Kevin Jordan	<i>Kevin Jordan</i>	SW corner of Mission + Vista P.O. Box 1273

Name	Signature	Address
Ruth Jordan	<i>Ruth Jordan</i>	S/W corner Mission + Vista P.O. Box 1273

Name	Signature	Address
Monty GALVAN	<i>Monty Galvan</i>	SWC Vista JUNIPERO

Name	Signature	Address
Kimberly EDWARDS	<i>Kimberly Edwards</i>	SW Junipero + Vista Ave.

Name	Signature	Address
Mary L. Lounsbury PhD	<i>Mary L. Lounsbury PhD</i>	Juniper 3 NW First

Name	Signature	Address
Didion DIAZ	<i>Didion Diaz</i>	Vista 2 NW of Junipero

Name	Signature	Address
STEVE KALLISON	<i>Steve Kallison</i>	Mission 2 NW Vista

Name	Signature	Address
Herb Beckett	<i>Herb Beckett</i>	N/W corner of Mission + Vista

Name	Signature	Address
Leslee Beckett	<i>Leslee Beckett</i>	nw corner of Mission + Vista

Name	Signature	Address
------	-----------	---------

Hermle-Collins Home Demolition & Remodel Project
Mission Street 2, 3, and 4 NE of First Avenue
DS 24207, DS2408, and DS2409

Name	Signature	Address
Paula Robichaux	P. Robichaux	San Antonio, 38W of 9th

Name	Signature	Address
Ron Banducci	Ron Banducci	San Carlos 4 SE of 1st Ave

Name	Signature	Address
Sue Banducci	Sue Banducci	San Carlos 4 SE of 1 st Ave

Name	Signature	Address
Muriel	Peter Neumeier	San Carlos 3 SE of 7 th Ave

Name	Signature	Address
William Taylor	William Taylor	San Carlos 3E of 7 th Ave

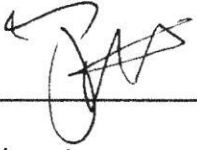
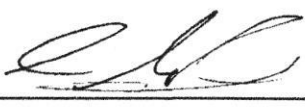

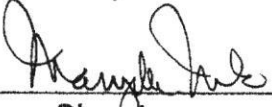
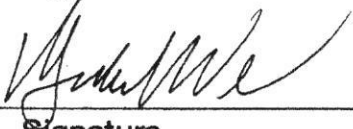
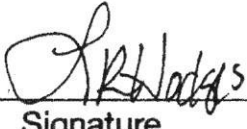


Name	Signature	Address
Karen Harris	Karen Harris	San Carlos 3 NW 2nd

Name	Signature	Address
Maria Hagan	MARIA HAGAN	9 th NE, CARMEL

Name	Signature	Address
Roy Lambert	Roy Lambert	NE corner Mission + Vista

Name	Signature	Address
Rene Lambert	Rene Lambert	NE corner Mission + Vista

Hermle-Collins Home Demolition & Remodel Project
Mission Street 2, 3, and 4 NE of First Avenue
DS 24207, DS2408, and DS2409

Name	Signature	Address
Jarilyn Lim		Mission 4th NW of Second Carmel by the sea, CA 93921
Christine HENRARD		Mission 5th Carmel CA 93921
Jordan Greene		2nd 2 SW of Mission St
Maryellen Wilson		2 SE San Carlos on 2nd
Michael Wilson		2 SE San Carlos or 2nd
Lynne Hodges		San Carlos 3 NE of 2nd
Bill Marinova		San Carlos 3 NE of 2nd
Amanda Jaramillo		Junipero SW Vista Carmel by the Sea
Name	Signature	Address

Dear Historic Resource Board,

June 4, 2025

RE: An error occurred when evaluating the home on Mission 2 NE of 1st. It is historic.

We have notified the Mayor, City Council, Staff, and Planning Department because this home was slated for demolition. Would you be so kind as to review what we have discovered and place this property on Carmel's list of historic homes? Attached to this email, you will find various records, proof positive. This home must be spared from demolition based on Carmel's Land Use Plan.

"Failure to include a property on the Carmel Inventory shall not preclude a future determination that if it qualifies as a historic resource based on new evidence." LUP

Mr. Steve Crouch, 1913-1983, a famous photographer on the Monterey Peninsula, lived in Mission 2 NW of 1st. The paperwork attached indicates that Steve Crouch was the original owner, and construction commenced in 1941. His Monterey Peninsula and Big Sur photography can be found in the Monterey Museum of Art.

Not Man Apart, a book, holds 10 photographs of the Big Sur Coast and his work is featured alongside Ansel Adams, Cole Weston, and the like. His other book, *Steinbeck Country*, holds exquisite photography and is part of a special collection at the University of California, Santa Cruz. This book, originally published in 1965 under the banner Sierra Club Ballentine Books, features poems by Robinson Jeffers along with a collection of his Big Sur Photographs. *Waterfall and Mist* circa 1960, was Salmon Creek Falls located on the Big Sur coastline. People who knew him said his home and garage were where he processed his photographic film.

A book from Amazon: "Here is the story of the land and the people that John Steinbeck loved--told through the dramatic photographs and sensitive writing of another of its residents. This is Steinbeck Country, the fertile valleys, hills, and seacoast of Steinbeck's most novels were laid. Here, through Steve Couch's camera artistry, more than 90 photographs are reproduced in full color, and his sensitive writing about the land and its people, you can see and know what Steinbeck Country is really about. Included are some last photos taken outside of Cannery Row before it was closed, and fascinating panoramas of ethnic and cultural groups populating the land with the dramatic scenery, and the changing climate which characterizes the region."

His work is also featured in Seagrave Gallery, photographs of the Monterey dunes, and southern Monterey.

Per the LUP, *"the owner has contributed to the unique sense of time and place recognized as significant in the historical sense."*

Using the LUP guidelines to determine historic significance:

1. The property was built in 1941, over 50 years old.
2. The property has not lost its historic integrity through alterations, additions, changes to the surrounding environment or other causes.
3. The property relates to historic themes for Carmel.
4. The property has an association with important events, people, or architecture that are identified in the Historic context statement or that represent the historic/cultural evolution of Carmel-by-the-Sea.

Other Information:

1. Land Use and Community Character Element, Subdivision Chronology Map: 1908
2. The property was not listed on the Carmel Inventory because no one researched it thoroughly. Steve Crouch was not listed in the historic context because no one looked.
3. The property is located within the Archaeological Overlay Zone.
4. The property is identified on the Sanborn Maps. 1962
5. The original building permit is dated 1941
6. According to the attached paperwork, *Crouch* is the original owner. *Kelly* was the contractor.
7. As far as we can tell, the only alteration associated with this home is a new roof on 4-30-2001.
8. In 1993, Ethelyn Crouch sold the home.
9. The home was built intentionally on an angle to face Point Lobos.

A source: "Beautiful beams and wood are in the living room. I have lived in a few houses over the years in Carmel, even the Redwood House near downtown, and this house has a magical feel of Carmel, even more so than the Redwood House. The craftsmanship is beautiful, especially the living room that faces Point Lobos."

The immediate neighborhood has 9 historic homes in it:

Mission 2 NW of 1st --- First Murphy

Mission 5 NW of 1st---- Jack Calvin and Francis Whitaker

Mission 6 NW of 1st----George Whitcomb

Junipero 2 SW Vista Ave---Robert Jones

NW Corner of Mission and Vista---Murphy

SW Corner of Mission and Vista---Comstock

Vista 2 NW Mission ----Francis Whitaker

SW Corner Mission and 1st Ave--- Carmel Elementary---Johonnet

3 NW Ave and Junipero---Perry Newberry.

Personal data:

Steve Crouch (1913–1983) was a photographer known for capturing the landscapes and essence of Monterey County and the Big Sur coastline. His work was featured in publications such as *Steinbeck Country*, a 1973 photography book that paired his images with John Steinbeck's writings. He also contributed to *Not Man Apart*, a collection of photographs of the Big Sur coastline alongside works by Ansel Adams, Edward Weston, and Wynn Bullock.

Crouch's photography often depicted the rugged beauty of California's coastal and inland landscapes, including the Diablo Range in southern Monterey County. His images were deeply atmospheric, reflecting the interplay of fog, sun, sea, and stone.

<https://www.steinbecknow.com>

www.huntingtonwillerill.com

www.invaluable.com

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Crouch's work appeared alongside renowned photographers like Ansel Adams and Edward Weston, suggesting he shared their meticulous approach to exposure and depth. His use of long exposure helped enhance the movement of water and mist, creating a dreamlike quality in his images. He also had a keen eye for natural patterns, often isolating elements like wind-swept trees or rock formations to emphasize their sculptural beauty.

Steve Crouch and Ansel Adams both captured the grandeur of California's landscapes, but their approaches had distinct differences. Adams was known for his precise technical mastery, particularly his use of the Zone System, which allowed him to control exposure and contrast meticulously. His images often had dramatic tonal range, deep blacks, and crisp highlights, emphasizing the grandeur of nature.

Crouch, on the other hand, leaned into atmospheric and emotional storytelling. His compositions often embraced soft light, mist, and movement, creating a more intimate and moody feel. While Adams sought perfect clarity and structure, Crouch's work had a more organic, spontaneous quality, capturing fleeting moments of coastal fog or waterfalls in motion.

Thank you for your time,

On behalf of 64 residents of the area, Carolyn White

Carmel Resident

I can be reached at the email above should you have any questions or concerns.

From: Carolyn White DDS [REDACTED]

To: City of Carmel-by-the-Sea <bswanson-cbts.us@shared1.ccsend.com>; Mayor Dale Byrne <dbyrne@ci.carmel.ca.us>; Robert Delves <rdelves@ci.carmel.ca.us>; Jeff Baron <jbaron@ci.carmel.ca.us>; hbuder@ci.carmel.ca.us <hbuder@ci.carmel.ca.us>; Alissandra Dramov <adramov@ci.carmel.ca.us>

Sent: Wednesday, June 11, 2025 at 08:55:22 AM PDT

Subject: Historic Board Investigation Mission 2 NE of 1st

Hello Mayor, Mayor Pro Tem, Council Members, and Planning Department,

The website for our HBR is not current regarding who is on it due to the recent changes.

Planning Department, are you able to forward this email to all the members of the HRB, excluding Erik Dyar, as he must recuse himself on this particular matter?

The 5 attachments contain information about Mission 2 NE of 1st: Records from the Assessor's office, and information on Steve Crouch.

Great news: A local resident has located Steve Crouch's son; we are anticipating more information to come that may be helpful. As it turns out, Ansel Adams and Steve Crouch were friends, worked together, shared a camera, and would develop their film together inside Mission 2 NE of 1st. There are signed copies of a book that contain both of their signatures when they put together the book, *Not Man Apart*, a collaborative effort of the Big Sur coastline with Robinson Jeffers poetry, published in 1965 by the Sierra Club.

Thank you kindly,

Carolyn

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June 4, 2025

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Carmel Resident

I can be reached at the email above should you have any questions or concerns.

From: **Carolyn White DDS** <[REDACTED]>
Date: Tue, Jun 10, 2025 at 6:54 PM
Subject: Brown Act/Planning Commission Meetings
To: Mayor Dale Byrne <dbyrne@ci.carmel.ca.us>, Robert Delves
<rdelves@ci.carmel.ca.us>, Jeff Baron
<jbaron@ci.carmel.ca.us>, hbuder@ci.carmel.ca.us <hbuder@ci.carmel.ca.us>,
Alissandra Dramov <adramov@ci.carmel.ca.us>, Nova Romero
<nromero@ci.carmel.ca.us>, nromeo@ci.carmel.ca.us <nromeo@ci.carmel.ca.us>, Chip
Rerig <crerig@ci.carmel.ca.us>, Brandon Swanson <bswanson@ci.carmel.ca.us>

Dear Mayor, and City Council, et al,

I sent this to you, but in a Word Document that is difficult for some to open, so I am
resending it in a pdf.

This information relates to a *second* meeting; a private meeting the architect organized,
and was held with *some* residents of Carmel, Chair LePage, the architect himself, and an
associate from Lombardo Law firm. This meeting was not made available to the public, not
agendized, etc. The letter I sent has more information in it regarding this particular meeting
per the residents.

Nova, would you please make sure this pdf is forwarded to the Planning Commissioners to
accompany the letter I sent in on Saturday, June 7, 2025 to the City Council?

Thank you kindly,

Carolyn

Brown Act and Planning Commissions

The Brown Act is California's open meetings law, ensuring transparency and public participation in local government decisions. It applies to planning commissions, as they are considered legislative bodies under the Act.

Key aspects of the Brown Act relevant to planning commissions include:

- **Public Meetings Requirement:** Planning commission meetings must be open to the public, allowing residents to attend and participate.
- **Agenda Posting:** Meeting agendas must be posted at least 72 hours in advance for regular meetings, ensuring the public is informed about upcoming discussions.
- **Restrictions on Private Discussions:** Commissioners cannot discuss commission business outside of public meetings in a way that constitutes a "serial meeting," where a majority of members deliberate outside of public view.
- **Public Comment Rights:** The public must be given an opportunity to speak on agenda items before decisions are made.
- **Closed Session Exceptions:** Certain matters, such as litigation or personnel issues, may be discussed in closed sessions, but these exceptions are narrowly defined.

*** If the chairperson of a planning commission hosts a private meeting with select residents regarding pending permits, it could violate the Brown Act, which mandates transparency in decision-making. Here's how it could impact the permitting process:

- 1. Potential Violation of Open Meeting Laws:** If the meeting involves discussions that should occur in a public forum, it may be considered a "serial meeting," which is prohibited under the Brown Act.
- 2. Risk of Permit Decisions Being Challenged:** If the meeting *influences* permit decisions outside of public scrutiny, affected parties could challenge the process, potentially leading to legal action or permit invalidation.
- 3. Loss of Public Trust:** Such meetings *can create perceptions of favoritism* or backroom dealings, undermining confidence in the commission's integrity.
- 4. Legal Consequences:** Violations of the Brown Act can result in penalties, including misdemeanor charges for intentional violations.

*** If a planning commissioner privately meets with select residents and an *architect—especially with legal representation present*—regarding pending permits, it raises serious concerns under the Brown Act. Here's how it could affect the case:

- 1. Potential Brown Act Violation:** If the meeting involves discussions that should occur in a public forum, it may constitute a "serial meeting," which is prohibited. The presence of an attorney does not exempt it from open meeting laws.
- 2. Risk of Permit Decisions Being Challenged:** If the meeting influences permit decisions outside of public scrutiny, affected parties could challenge the process, potentially leading to legal action or permit invalidation.

3. Perception of Bias or Favoritism: Selective meetings with certain residents and professionals could create the appearance of preferential treatment, undermining public trust in the commission's impartiality.

4. Legal Consequences: Violations of the Brown Act can result in decisions being voided, and intentional violations may lead to misdemeanor charges.

3. The Brown Act significantly impacts decision-making in commissions by enforcing transparency and public participation. Here's how:

1. **Public Deliberation:** Decisions must be made in open meetings, ensuring that discussions occur in a public forum rather than behind closed doors.
2. **Agenda Requirements:** Commissions must post agendas at least 72 hours before regular meetings, preventing last-minute decisions without public notice.
3. **Restrictions on Private Discussions:** Commissioners cannot engage in "serial meetings" where a majority discusses commission business outside of public meetings.
4. **Public Comment Rights:** The public has the right to provide input before decisions are made, influencing commission outcomes.
5. **Closed Session Limitations:** While some topics (like litigation) can be discussed privately, these exceptions are narrowly defined.
6. **Legal Consequences:** Violations of the Brown Act can lead to decisions being voided, reinforcing compliance.

Here are some examples of Brown Act violations:

1. **Serial Meetings:** Officials communicate in a way that avoids a quorum but still results in collective decision-making outside public meetings. For example, a planning commissioner discusses a pending permit with one resident, then separately with another, effectively creating a chain of private deliberations.
2. **Failure to Post Agendas:** A commission holds a meeting without posting the agenda 72 hours in advance, preventing public awareness and participation.
3. **Private Discussions on Public Business:** A city council or planning commission meets privately with developers or attorneys to *discuss* permit approvals, bypassing public scrutiny.
4. **Improper Closed Sessions:** Officials hold a closed meeting under the guise of discussing litigation but instead deliberate on policy matters that should be public.