



CITY OF CARMEL-BY-THE-SEA FOREST AND BEACH COMMISSION

Sarah Berling, Kelly Brezoczky, Hans Buder, Tamara
Michie, and Gerald Montmorency

All meetings are held in the City Council Chambers
East Side of Monte Verde Street
Between Ocean and 7th Avenues

REGULAR MEETING Thursday, October 10, 2024

MEETING 2:30 PM

Tour Time 1:30 pm

TOUR OF INSPECTION

Prior to calling the meeting to order, the Board/Commission will conduct an on-site tour of inspection of the properties listed on the agenda and the public is welcome to join. After the tour is complete, the Board/Commission will begin the meeting in the City Council Chambers no earlier than the time noted on the agenda.

- A. Northwest Corner of Fifth Avenue and Carpenter Street
- B. Tennis/Pickleball Court, Parking Lot on South Side of Lorca Lane

THIS MEETING WILL BE HELD IN PERSON AND VIA TELECONFERENCE. The public is welcome to attend the meeting in person or remotely via Zoom, however, the meeting will proceed as normal even if there are technical difficulties accessing zoom. The City will do its best to resolve any technical issues as quickly as possible. To view or listen to the meeting from home, you may watch the Youtube Live Stream at:

<https://www.youtube.com/@CityofCarmelbytheSea/streams>, or use the link below to view or listen to the meeting via Zoom teleconference:

<https://ci-carmel-ca-us.zoom.us/j/83575007690> Webinar ID: 835 7500 7690 Passcode: 909953

HOW TO OFFER PUBLIC COMMENT: Public comment may be given in person at the meeting, or using the Zoom teleconference module, provided that there is access to Zoom during the meeting. Zoom comments will be taken after the in-person comments. The public can also email comments to yculver@ci.carmel.ca.us. Comments must be received 2 hours before the meeting in order to be provided to the legislative body. Comments received after that time and up to the beginning of the meeting will be made part of the record.

CALL TO ORDER AND ROLL CALL

PLEDGE OF ALLEGIANCE

ANNOUNCEMENTS

PUBLIC APPEARANCES - Under the Brown Act, public comment for matters on the agenda must relate to that agenda item and public comments for matters not on the agenda must relate to the subject matter jurisdiction of this legislative body. Hateful, violent, and threatening speech is impermissible public comment as it disrupts the conduct of the public meeting. This is a warning that if a member of the public attending this meeting remotely violates the Brown Act by failing to comply with these requirements of the Brown Act the meeting, then that speaker will be muted.

Members of the public are entitled to speak on matters of municipal concern not on the agenda during Public Appearances. Each person's comments shall be limited to 3 minutes, or as otherwise established by the Commission. Matters not appearing on Commission's agenda will not receive action at this meeting but may be referred to staff for a future meeting. Persons are not required to give their names, but it is helpful for speakers to state their names so that they may be identified in the minutes of the meeting.

CONSENT AGENDA

Items on the consent agenda are routine in nature and do not require discussion or independent action. Members of the Commission or the public may ask that any items be considered individually for purposes of Commission discussion and/ or for public comment. Unless that is done, one motion may be used to adopt all recommended actions.

1. Approval of September 12, 2024 Meeting Minutes

PUBLIC HEARINGS

2. Consider the release of a Stop Work Order at The Northwest Corner of Fifth Avenue and Carpenter Street.

ORDERS OF BUSINESS

Orders of Business are agenda items that require City Council, Board or Commission discussion, debate, direction to staff, and/or action.

3. Draft Agenda for Upcoming Steering Committee Meetings for the Carmel Forest Management Plan to be held on October 28th and 29th, 2024 at the Sunset Center's Carpenter Hall
4. Pickleball Update Regarding Implementation Models and Evidence-Based Sound Data
5. City Forester's Report for September 2024
6. Public Works Director's Report for September 2024

FUTURE AGENDA ITEMS

ADJOURNMENT

This agenda was posted at City Hall, Monte Verde Street between Ocean Avenue and 7th Avenue, Harrison Memorial Library, located on the NE corner of Ocean Avenue and Lincoln Street, the Carmel-by-the-Sea Post Office, 5th Avenue between Dolores Street and San Carlos Street, and the City's webpage <http://www.ci.carmel.ca.us> in accordance with applicable legal requirements.

SUPPLEMENTAL MATERIAL RECEIVED AFTER THE POSTING OF THE AGENDA

Any supplemental writings or documents distributed to a majority of the Forest & Beach Commission regarding any item on this agenda, received after the posting of the agenda will be available at the Public Works Department located on the east side of Junipero Street between Fourth and Fifth Avenues during normal business hours.

SPECIAL NOTICES TO PUBLIC

In compliance with the Americans with Disabilities Act, if you need special assistance to participate in this meeting, please contact the City Clerk's Office at 831-620-2000 at least 48 hours prior to the meeting to ensure that reasonable arrangements can be made to provide accessibility to the meeting (28CFR 35.102-35.104 ADA Title II).



CITY OF CARMEL-BY-THE-SEA FOREST AND BEACH COMMISSION Staff Report

October 10, 2024
CONSENT AGENDA

TO: Forest and Beach Commissioners

SUBMITTED BY: Yvette Culver, Administrative Coordinator

SUBJECT: Approval of September 12, 2024 Meeting Minutes

RECOMMENDATION:

BACKGROUND/SUMMARY:

FISCAL IMPACT:

ATTACHMENTS:

FBC Meeting Minutes September 12, 2024

**City of Carmel-by-the-Sea
Forest and Beach Commission**

Regular Meeting

Thursday, September 12, 2024

CALL TO ORDER AND ROLL CALL

PRESENT: Berling, Brezoczky, Buder, Michie, Montmorency
ABSENT: None
STAFF PRESENT: Bob Harary, Public Works Director
Justin Ono, City Forester
Yvette Culver, Commission Secretary
Tom Ford, Administrative Analyst

PLEDGE OF ALLEGIANCE

Chair Brezoczky led the public in the Pledge of Allegiance

ANNOUNCEMENTS

Director Harary thanked Mary Bilse for pinch hitting for him for the past couple of months.

There will be a parade on October 31, 2024, at 4:30, this is both a Halloween Celebration and City anniversary Parade. The City Council, Commissions and other community groups will be present and participate in their vehicles. If you are interested in participating, we can get you the forms to fill out. We just wanted to get the word out to everyone.

PUBLIC COMMENT

Melanie Billig
Arlene Ichien
Nina B.
Ramie Allard

Director Harary commented on the public comment from Nina B. and the Community Wildfire Prevention Plan. Last November, the former Carmel Fire Chief made a presentation. The Commission's direction was to approve it and recommend it to the City Council. Since then, the plan has not changed and has been approved by the City of Monterey, the City of Pacific Grove, and the City of Carmel-by-the-Sea.

CONSENT AGENDA

Item 1: Approval of August 8, 2024, Meeting Minutes

Commissioner Buder moved to approve the Meeting Minutes for August 8, 2024, seconded by Commissioner Michie, and carried by the following roll call vote:

AYES: Buder, Brezoczky, Michie, Montmorency
NOES: None
ABSENT: None
ABSTAIN: None

PUBLIC HEARINGS

Item 2: Consider the removal of a Torrey pine at 26010 Ridgewood Road (TE 24-209)

Director Harary notified the Commission that earlier in the day, our staff was made aware that the applicant and their attorney would be requesting a continuance for this matter. Mr. Harary also spoke to the attorney representing the neighbor, who was not aware of this request. Mr. Harary suggested that the Commission decide to continue or postpone this item. Staff will provide a brief overview of the item and we can open up for public comment. After this, the Commission can choose to either proceed with the full discussion or agree to continue to a later date or the next meeting.

Mr. Ono updated the Commission regarding a request to remove a large, healthy Torrey Pine tree that is encroaching on a neighboring property. The tree has a 20-year history of removal requests, all of which were denied by the Forest and Beach Commission in 2001. Due to the tree's significant size and health, Mr. Ono felt unable to make a determination under the Foresters' purview and suggested that the applicant's representative provide further clarification on the matter.

Mr. Raphael described a large and beautiful tree as unsafe due to trimmed limbs on the neighbor's side, which have made it asymmetrical and prone to falling on his house. He recently had a survey conducted that revealed the tree is jointly owned by him and his neighbor. Initially believing he owned the tree; Mr. Raphael now understands that permission for removal must be obtained from both parties since it is co-owned.

Alex, the attorney for the Huers, who are neighbors of Mr. Raphael, has requested a continuance regarding the tree removal issue. They are not going to concede, based on some of the statements made by Mr. Rahael and citing a lack of notice about the matter. They believe this justifies their request for additional time to respond.

PUBLIC COMMENT

Melanie Billig

Commissioner Michie motioned to continue this item to the October 10, 2024, Forest and Beach Meeting, seconded by Commissioner Berling and carried by the following roll call vote:

AYES:	Berling, Buder, Brezoczky, Michie, Montmorency
NOES:	None
ABSENT:	None
ABSTAIN:	None

ORDERS OF BUSINESS

Item 3: Considerations Regarding Pickleball in Upper Forest Hill Park

Tom Ford, Administrative Analyst, presented a background summary to the Forest and Beach Commission and answered questions. Staff recommends the input from pickleball players, those who live near the courts, court usage, and guidelines found in the General Plan to discuss and provide direction on next steps moving forward. Information-gathering by Staff should continue in order to bring a comprehensive picture to future possible courses of action, including conducting a sound study. Staff answered questions of the Commission.

Staff has been actively meeting with various community members and pickleball players alike and will continue doing so. Rather than speaking on behalf the residents and those who use the courts, a brief summary of common themes emerged:

Exercise

Number of people / wide array of folks utilizing the park

Level of sound, and duration of sound (hours per day)

- Sound coming from the courts as it related to General Plan guidelines for noise and neighborhood character
- Signage
- Parking

Staff has also met with personnel from the City of Monterey, in addition to contacting USA Pickleball, whose website discusses at length the matter of sound relative to the sport. The City will continue discussions with other cities and USA Pickleball, should those avenues prove to be fruitful in learning more about the matter and possible courses of action.

The primary goal is to work toward a reasonable conclusion, with input from all 4 sides: local residents (especially those surrounding the courts/can hear the play from their homes), pickleball players, tennis players, and city staff (for administrative information and logistics, such as the cost of implementation of any given course of action), all while maintaining compliance with our General Plan and unique village character.

Mr. Ono, City Forester presented additional information on the Noise Element. The Noise Element is establishing compatibility guidelines for land use and noise and keeping within what is with Carmel's village character.

The Goals, Objectives and Policies are:

- To preserve Carmel's overall quiet environment; reduce noise in Carmel to levels compatible with the existing and future land uses and prevent the increase of noise levels in areas where noise sensitive uses are located.
- Support programs to reduce community noise levels where possible to levels acceptable to the community.
- The noise ordinance shall clearly address all identified sources of noise to simplify enforcement.
- Monitor sound levels on a routine basis in order to achieve, through a noise ordinance, reduction of unacceptable noise within Carmel.
- Apply the noise and land use compatibility standards as shown in Table 9.2:
- Require acoustical reports and evaluation of noise mitigation measures for projects that would substantially increase noise.
- The standard noise mitigation measures shall not preclude creative solutions addressing unique situations when there are conflicts between noise levels and land use.
- O9-3 Control unnecessary, excessive and annoying noises within the City where not preempted by Federal or State control
- Many methods have been developed for evaluating community noise to account for, among other things:
 - The variation of noise levels over time.
 - The influence of periodic individual loud events; and
 - The community response to changes in the community noise environment.

Control or abatement of a noise problem can typically be accomplished in any one or a combination of three ways: reduce or remove completely the noise source; protect the receiver

of the noise or block the path between the source of the noise and the receiver to reduce the noise level. All of these options can be used to reduce the noise exposure in Carmel.

Section 8.56 of the City's Municipal Code includes a Noise Ordinance. The purpose of this ordinance is to prohibit unnecessary, excessive and annoying noises from all sources in the City and provide guidance as to what uses fall within this group. The standards used in determining if a noise is a nuisance include, but are not limited to:

- The volume, intensity, and duration of the noise.
- The number of persons affected by the noise.
- The use and zoning of the area within which the noise emanates.
- The time of day or night the noise occurs.
- Whether the origin of the noise is natural or unnatural.
- Whether the noise is recurrent, intermittent, or constant; and
- Whether the noise is produced by a commercial or a noncommercial activity.

Mr. Harary added that the intent was we are doing today without any intention of wrapping it up today, we are not making any final decisions, let's hear issues and let's think about the game plan and come back with another discussion and possible options. At another meeting we can have an interactive process a maybe near the end of the year we will start locking in a good game plan that the community starts to feel comfortable about and package that up to present to the City Council.

PUBLIC COMMENT

John
Susie
Nancy
Mr. Diaz
Grahm Norton
Loren Hughes
City Resident
City Resident

Item 4: City Forester's Report for August 2024

Mr. Ono presented the Foresters Report to the Commission for August 2024

Forestry, Parks, and Beach Highlights:

- Carmel Forest Master Plan:
 - City Forester and Administrative Analyst met with Davey Resource Group getting a first look at the second draft of the Master Plan which we hope to get our copy the week of September 9th.
 - Official name of the document was changed to "Carmel Forest Master Plan" to eliminate confusion around the term "Urban".
- Contractors:
 - Tree Contractor West Coast Arborists were issued a task order for grinding 40 stumps. The contractor will prepare the sites after stump removal and plant native trees provided by the Forestry staff. Tree species include Monterey Pine, Coast Live Oak, Catalina Ironwood, Big Leaf Maple, and California Sycamore.
 - Tree Contractor Community Tree Service (CTS) was issued a task order for the removal of 24 trees and/or high stumps/stems. The stumps will be ground, and replanting will occur in the same location the trees and stems were removed.

- Of the 24 trees given to CTS, 15 are high stump/stem “totem poles” either removed for PG&E electrical service reliability or formerly housing utility lines.
- Tree Contractor Tope’s Tree Service was given the task of clearance pruning to allow access for equipment required for the Mission Trail Nature Preserve.
- As work is completed, task orders will continue to go out to the three contractors in an effort to catch up with the poor, very poor, and dead trees identified in the city’s tree survey.
 - Added ongoing Task Orders to the City’s landscape contractor Town & Country for additional routine work including beach cleanup along the bluffs and the entire length of the beach.
 - Tasked Town & Country to modify and relocate some irrigation components along Scenic Pathway near Thirteenth Avenue due to installation of the new redwood Barrier Railing.
- City Crews:
 - In August, Forestry crews planted 19 new trees, picked up 6 piles of logs and brush, pruned 31 trees, removed 16 dead, dangerous, or small overgrown trees impinging on the right of way, and removed 5 stumps.
 - Crews assisted in the ongoing maintenance of Mission Trail Nature Preserve by removing brush piles cut by the Friends of MTNP during trail maintenance.
 - Crew replaced two swings (one broken) at lower Forest Hill Park Playground.
 - Crew cleared branches away from City Hall roof in preparation for roof replacement project. Carmel Cares:
 - Substantially completed Ocean Avenue Medians landscaping renovation.
 - Phase 2 of the Scenic Pathway Barrier Rail installation and Pathway widening is progressing well and is over 60 feet complete

Item 5: Public Works Director’s Report for August 2024

Mr. Harary, Public Works Director presented the Directors Report to the Commission.

City Council actions related to Forestry, Parks, and Beach issues:

- Council authorized \$136,000.00 to buy a new dump truck for Public Works
- The Fire Captain presented the Community Wildfire Prevention Plan, and adopted by the City Council

City Council actions related to Forestry, Parks, and Beach issues

- For the MTNP 3 Drainage Projects, which includes drainage piping near the Rio Road entrance, an 85-foot boardwalk over a bog, and reconstruction of a large swale, 19 dusky footed woodrat nests were found within the California Department of Fish and Wildlife’s (CDFW) permit setback restriction to construction areas, temporarily halting the start of construction. Working with Dudek, our environmental consultant, the CDFW approved our request to reduce the setback to 10 feet allowing construction to proceed. Construction to begin in early September.
- For the San Antonio Pathway Repair Project, Second to Fourth Avenues, the pre-bid site tour was conducted, an addendum was issued in response to bidder questions, and three bids were received at the public Bid Opening held on August 29th. Pending bid evaluation, the low bid of \$437,000 is below the available budget and is scheduled to be awarded by the City Council at their October meeting.

- For the Shoreline Infrastructure Repair Project, which was combined with Reconstruction of the Fourth Avenue Outfall Wall Project, the selection committee evaluated three proposals received in response to the City’s RFP seeking coastal engineering and environmental firms to design and acquire environmental permitting for the repair of two structurally-damaged beach access stairs, and assess, prioritize, and provide cost estimates for all other shoreline infrastructure identified in the Coastal Engineering Study, Phase 1 Condition Assessment Report. The best qualified consultant was selected, and their fee envelope was opened; however, staff is evaluating options to reduce the fee prior to negotiating with the selected firm.

Climate Committee meetings and Climate Action Plan Implementation

- Working with consultants at EMC Planning Group, completed the Community Engagement Plan for the Coastal Engineering, Phase II Project and submitted the Plan to the California Coastal Commission.

Update on Volunteer Organizations

- Carmel Cares completed landscaping modifications at the Vista Lobos Park, partially funded by a \$3,000 City discretionary grant.
- Carmel Cares’ contractors are over 60% complete with installation of the Scenic Pathway Hardscape Project which includes barrier rail replacement/extension, pathway widening, and installation of landscape borders, a project which is joint funded with the City.

Miscellaneous Forestry, Parks, and Beach-related Public Works items

- Researched requirements to obtain a permit from the National Oceanic and Atmospheric Administration to allow the City to properly bury dead sea mammals that get washed on shore.
- Began hauling wood chips from the stockpile at the Rio Park site and spreading the chips along the main trails in the Mission Trails Nature Preserve.

FUTURE AGENDA ITEMS

Sea level rise Adaptation Community Survey

E-Bikes in Mission Trail Nature Preserve

FMTNP to propose the great opportunities to improve the Village Forest character, from Greg Di Ambrosia

Torrey Pine Item, revisited

Red Tag Clearance

Set the date for the Carmel Forest Master Plan discussion

Pickel Ball

ADJOURNMENT

Respectfully submitted,

Yvette Culver, Administrative Coordinator, Commission Secretary

Approved by: _____
Kelley Brezoczky, Chair



CITY OF CARMEL-BY-THE-SEA FOREST AND BEACH COMMISSION Staff Report

October 10, 2024
PUBLIC HEARINGS

TO:	Forest and Beach Commissioners
SUBMITTED BY:	Justin Ono, City Forester
SUBJECT:	Consider the release of a Stop Work Order at The Northwest Corner of Fifth Avenue and Carpenter Street.

RECOMMENDATION:

Allow the conditional release of the Stop Work Order issued on August 27, 2024, and require the Property Owner to pay the City:

- \$636 for the Stop Work Order investigation fee, plus
- \$1,364 for double the Tree Removal Permit fees, plus
- \$2,838.00 for the cost of the City's consulting arborist, plus
- \$14,891.46 for the depreciated value of the trees after the damage

The total of these fees is \$19,729.46.

This Stop Work Order release is dependent on the Planning and Building Department clearing violations regarding grading, and the payment of required fees.

BACKGROUND/SUMMARY:

On August 27, 2024, Forestry Staff was notified of a Stop Work Order issued at the Northwest corner of Fifth Avenue and Carpenter Street for un-shored excavation in excess of 8 feet, within 11 feet of a neighboring property, and excavation within 6 feet of trees. The site is an active jobsite where construction was underway for Building Permits BP23-0304, BP23-0305, and BP23-0306 for the construction of a new single family home, garage, and ADU on a vacant lot (see **Attachment 1** for construction drawings of the project).

The City Forester visited the site to inspect the effects of construction and found excavation within the 6-foot structural root zone, soil piled around the base of Significant oak trees, as well as cracked and ripped roots in excess of the 2-inch diameter threshold. All trees on site were deemed as Significant by the prior City Forester (**Attachment 2**)

The City Forester upheld the Stop Work Order for violation of Carmel Municipal Code (CMC) section 17.48.110 (**Attachment 3**) and the violation of the Building Permit Conditions of Approval (**Attachment 4**). The CMC specifies that cutting and filling around the base of trees shall occur at the direction of the City Forester and to the extent the City Forester deems fit. The Conditions of Approval for the Building Permit

do not allow excavation within 6 feet of a tree trunk. Additionally, any excavation for foundation work within 15 feet of Significant trees shall be performed by hand.

At the request of the City Forester, an independent Consulting Arborist conducted an assessment of the damage to the trees and their loss of appraised landscape value (**Attachment 5**). The Consulting Arborist noted that several trees were badly damaged and may need to be removed. Based on the Arborist's recommendations, and the Forester's on-site inspection, it is recommended that trees #1 and #3 be removed and their full depreciation cost be added to the depreciated value of trees #2, #4, and #5. Based on the Consulting Arborist's valuation, the combined reproduction cost for the trees is \$19,729.46. Additionally, tree #5 is in poor condition and was recommended by the Consultant that it may require removal.

This tree's health shall be periodically monitored by the City Forester and if the tree necessitates removal after a year, it will be revisited by the Forest and Beach Commission.

The Property Owner was notified of their opportunity to speak at the Public Hearing.

ENVIRONMENTAL EVALUATION:

This action does not constitute a project within the meaning of the California Environmental Quality Act under Public Resources Code Section 21065. It has no potential to cause either a direct physical change in the environment or a reasonably foreseeable indirect physical change in the environment and, therefore, does not require environmental review.

FISCAL IMPACT:

- Per the City Fee Schedule, a Stop Work Investigation is \$636.
- Per the City Fee Schedule, a Stop Work Investigation requires double the \$682 Tree Removal Permit fee (\$1,364).
- The fee for the independent Consulting Arborist's assessment and report was \$2,838.
- The change in appraisal value of the three trees was \$14,891.46, including the entire values of trees #1 and #3 due to their removals being necessary.

The Grand Total is \$19,729.46.

ATTACHMENTS:

Attachment 1 - Plan Set

Attachment 2 - PSA 21-015 (Heyermann) - Preliminary Site Assessment Report Packet

Attachment 3 - CMC Sec. 17.48.110

Attachment 4 - DS 21-243 (Heyermann) Resolution and Conditions of Approval

Attachment 5 - WCA Arborist Report

GENERAL NOTES

1. DO NOT SCALE DRAWINGS.
2. CONTRACT DOCUMENTS WHICH DESCRIBE EXISTING CONSTRUCTION HAVE BEEN BASED ON FIELD INSPECTION, BUT ARE NOT BASED ON EXTENSIVE FIELD MEASUREMENTS, OPENING OF CONCEALED CONDITIONS OR EXCAVATION OF BURIED ITEMS. NO RELIABLE CONSTRUCTION DOCUMENTS FOR THE EXISTING STRUCTURE WERE AVAILABLE. THESE DRAWINGS ARE INTENDED AS A GUIDE TO THE CONTRACTOR WHO SHALL VERIFY DIMENSIONS BEFORE PROCEEDING WITH WORK. CONTRACTOR SHALL OBTAIN APPROVAL FROM THE DESIGNER BEFORE PROCEEDING WITH WORK REGARDING CHANGES, DISCREPANCIES OR ALTERATIONS THAT ARE INCONSISTENT WITH THESE DRAWINGS. NOTIFY THE DESIGNER IMMEDIATELY OF PRE-EXISTING CONDITIONS WHICH PROHIBIT EXECUTION OF WORK AS DESCRIBED HEREIN.
3. NEW CONSTRUCTION TO MATCH EXISTING DETAILS AND FINISHES. WHERE NEW CONSTRUCTION MEETS EXISTING CONSTRUCTION, PATCH AND MATCH SURFACES AND FINISHES TO ALIGN CONSISTENTLY SO NO VISUAL EVIDENCE OF CORRECTED WORK REMAINS UPON COMPLETION.
4. FLOOR ELEVATIONS = TOP OF PLYWOOD SUB-FLOOR OR TOP OF SLAB.
5. ALL WALLS DIMENSIONED TO FACE OF STUD (UNLESS OTHERWISE NOTED).

REVISION NOTES

1. Planning adjustments based on concept meeting comments regarding:
 1. Tree limb on NE corner, adjusted roof line to avoid tree limb
 2. Minor adjustment to garage location and NW corner of building to create larger zone for drainage on site
 3. Inclusion of Drainage Plan for review
2. Planning adjustments based on volume study
 1. Adjusted grade at east side of property to eliminate retaining wall and follow natural grade.
 2. Moved main floor level down 4"
 3. Adjusted various roof slopes to lower pitch
 4. Added stairs at side yard near base of patio towards garage
3. Planning adjustments based on volume study
 1. Roof pitch adjustments

Attachment 1

CAL GREEN NOTES

- A. DUCT SYSTEMS ARE SIZED, DESIGNED, AND EQUIPMENT IS SELECTED PER SECTION 4.507.2. HVAC SYSTEM INSTALLERS MUST BE TRAINED AND CERTIFIED AND SPECIAL INSPECTORS EMPLOYED BY THE ENFORCING AGENCY MUST BE QUALIFIED. NOTE THIS REQUIREMENT ON THE PLANS.
- B. AUTOMATIC IRRIGATION SYSTEMS CONTROLLERS INSTALLED AT THE TIME OF FINAL INSPECTION SHALL BE WEATHERBASED (4.304.1).
- C. PROTECT ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS AT EXTERIOR WALLS AGAINST THE PASSAGE OF RODENTS (4.406.1)
- D. COVER DUCT OPENINGS AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS DURING CONSTRUCTION (4.504.1)
- E. ADHESIVES, SEALANTS AND CAULKS SHALL BE COMPLIANT WITH VOC AND OTHER TOXIC COMPOUND LIMITS (4.504.2.1)
- F. PAINTS, STAINS AND OTHER COATINGS SHALL BE COMPLIANT WITH VOC LIMITS (4.504.2.2)

CODE COMPLIANCE NOTES

1. THIS PROJECT SHALL COMPLY WITH THE 2019 CALIFORNIA RESIDENTIAL CODE, 2019 CALIFORNIA BUILDING CODE, 2019 CALIFORNIA FIRE CODE, 2019 CALIFORNIA ELECTRICAL CODE, 2019 CALIFORNIA PLUMBING CODE, 2019 CALIFORNIA MECHANICAL CODE, 2019 CALIFORNIA ENERGY CODE, 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE AND ANY OTHER APPLICABLE CODES.
2. A STATE LICENSED SURVEYOR SHALL CERTIFY IN WRITING THAT THE FOOTINGS/FOUNDATION ARE LOCATED IN ACCORDANCE WITH THE APPROVED PLANS PRIOR TO THE FOOTING/FOUNDATION INSPECTION; AND SHALL CERTIFY THE ROOF HEIGHT IS IN ACCORDANCE WITH THE APPROVED PLANS PRIOR TO THE ROOF SHEATHING INSPECTION. CERTIFICATION SHALL BE PROVIDED TO THE INSPECTOR AT THE TIME OF THE REFERENCED INSPECTIONS.
3. CONTRACTOR SHALL OBTAIN AN 8-1-1/DIG ALERT TICKET PRIOR TO PERMIT ISSUANCE AND SHALL MAINTAIN THE TICKET IN ACTIVE STATUS THROUGHOUT THE PROJECT. TICKET SHALL BE KEPT ON SITE FOR INSPECTOR REFERENCE.
4. TO MINIMIZE OFF-SITE VIBRATION AND DAMAGE TO NEARBY PROPERTIES, CONTRACTOR SHALL UTILIZE THE SMALLEST FEASIBLE COMPACTION EQUIPMENT CAPABLE OF ACHIEVING THE DESIRED COMPACTION LEVEL. CONTRACTOR IS RESPONSIBLE FOR ANY AND ALL OFF-SITE DAMAGE AND SHALL REPAIR ANY DAMAGE IN A TIMELY MANNER PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY FOR THE PROJECT.
5. STRUCTURAL WELDING FOR GUARDRAILS OR ANY OTHER WELDED STEEL STRUCTURAL ELEMENTS SHALL BE DONE IN A LISTED APPROVED SHOP OR IF WELDED IN THE FIELD, UNDER SPECIAL INSPECTION.

PROJECT INFORMATION

OWNER	HEYERMANN
SITE ADDRESS	NW CORNER OF 5TH AND CARPENTER
A P N	APN 010-031-021
LEGAL	Map Of Carmel City Lot 19 Blk 44
LOT/BLOCK	LOT 19 BLOCK 44
YEAR BUILT	N/A - VACANT LAND
ZONING	R-1
CONST. TYPE	V-B
OCCUPANCY	R-3
FIRE SPRINKLERS	YES (NEW)
HISTORIC	NO

LOT SIZE	4000 S.F.
NEW FIRST STORY	1125 S.F.
NEW SECOND STORY	475 S.F.
NEW GARAGE	200 S.F.
A.D.U.	373 S.F.
NEW TOTAL FLOOR AREA	2173 S.F.

PROPOSED SITE COVERAGE	
PAVER DRIVEWAY (PERMEABLE)	50 S.F.
FRONT PATIO (PERMEABLE)	331 S.F.
FRONT PAVER PATH (PERMEABLE)	90 S.F.
STAIR AND PATH TO A.D.U.	70 S.F.
REFUSE STORAGE	10 S.F.
PROPOSED TOTAL SITE COVERAGE	551 S.F.
SITE COVERAGE ALLOWED	556 S.F.

CONTACT INFORMATION

Owner- Cheryl Heyermann	831-595-5045
Designer – Alan Lehman	831-747-4718



VICINITY MAP
NO SCALE

SCOPE OF WORK

NEW 1600 S.F. SINGLE FAMILY RESIDENCE WITH 200 S.F. DETACHED GARAGE. 2.5 BATH, 3 BEDROOM AND A 373 S.F. A.D.U. WITH 1 BATH AND KITCHEN.

DRAWING INDEX

SHEET #	CONTENTS
A1	PROJECT INFORMATION
P1	SURVEY
A2	SITE PLAN
A3	FIRST FLOOR PLAN
A4	SECOND FLOOR PLAN
A5	FOUNDATION PLAN, GRADING PLAN
A6	ROOF PLAN
A7	ELEVATIONS
A8	ELEVATIONS
A9	LANDSCAPE AND LIGHTING PLAN
A10	FENCE DESIGN/ELEVATION, STREET VIEWS
A11	MATERIALS AND COLORS
C1	DRAINAGE PLAN



Attachment 1

REVISIONS	
1	08/17/22
2	11/16/22
3	12/2/22

ph 831.747.4718
26463 mission fields road
carmel CA 93923
info @ lehmandesignstudio.com

LEHMAN DESIGN STUDIO

DRAWN BY
ALAN LEHMAN

PROJECT INFORMATION

HEYERMANN Residence
NW CORNER OF 5TH AND CARPENTER
APN 010-031-021

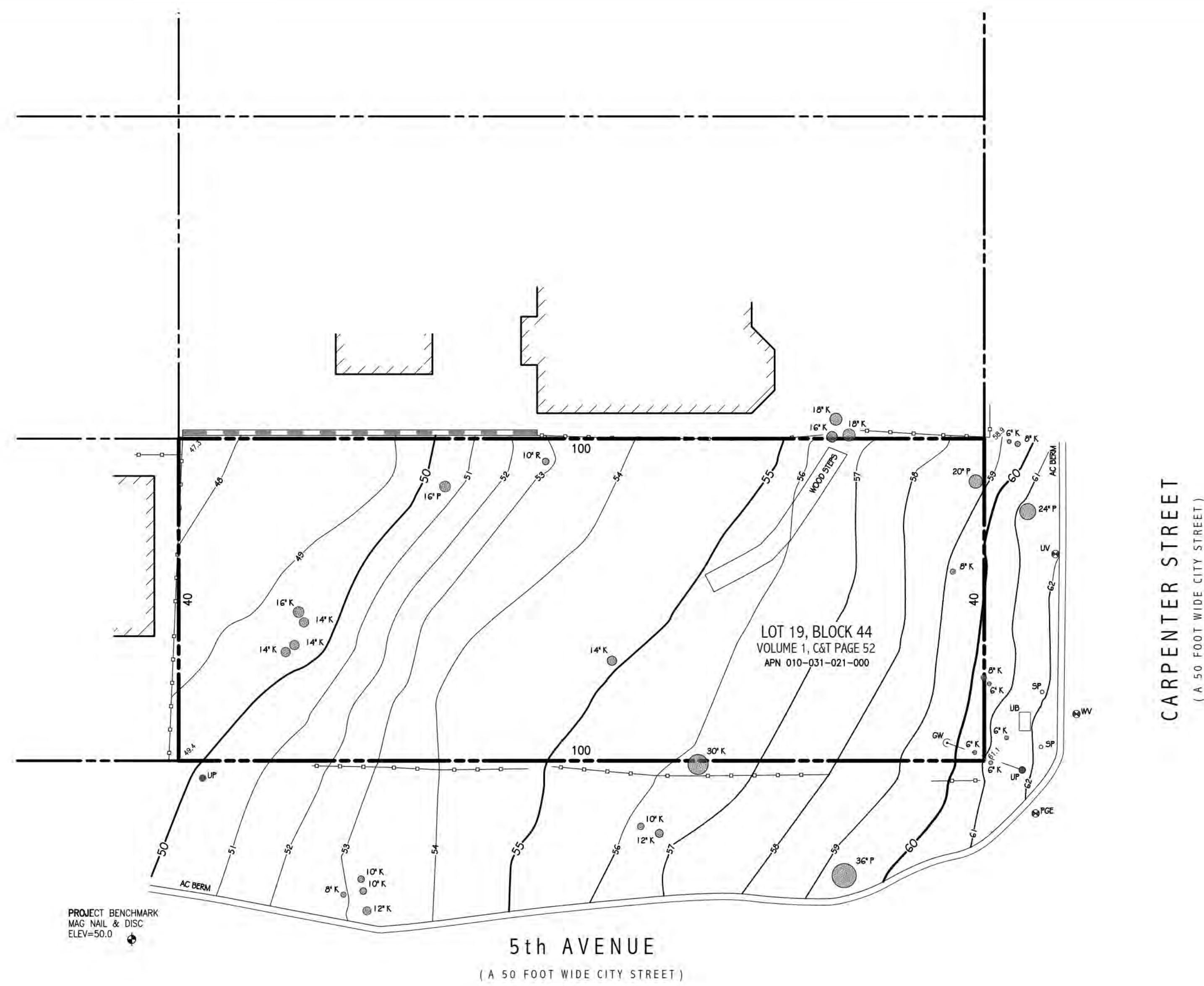
4/16/2022

SHEET

A1

LEGEND:

	RECORD BOUNDARY		WIRE FENCE
	RECORD RIGHT OF WAY		CHAIN LINK FENCE
	RECORD LOT LINE		STREET SIGN
	RECORD CENTERLINE		SIGN POST
	RECORD EASEMENT LINE		MAIL BOX
	RECORD SETBACK		BOLLARD
	OLD RECORD LINE		PILLAR
	PROJECT BENCHMARK		BLOCK WALL WITH WOOD FENCE
	SURVEY CONTROL POINT		ROCK RETAINING WALL
	CONTOUR (MAJOR)		STACKED BLOCK WALL
	CONTOUR (MINOR)		BRICK WALKWAY/PATIO
	GRADEBREAK		CARMEL STONE
	EDGE OF PAVEMENT		PCC WALKWAY/PATIO
	LIP OF GUTTER		ASPHALT CONCRETE
	FACE OF CURB		CARMEL STONE
	BACK OF CURB		CORRUGATED METAL PIPE
	BACK OF SIDEWALK		CONCRETE SLAB
	EDGE OF DRIVEWAY		DECOMPOSED GRANITE
	FLOWLINE		EXPOSED AGGREGATE
	BUILDING OUTLINE		HIGH DENSITY POLY ETHYLENE
	CHIMNEY		PORTLAND CEMENT CONCRETE
	APPROXIMATE FLOOR ELEVATION		PAVER STONE
	DECK		POLY VINYL CHLORIDE
	CONC PAD		REINFORCED CONCRETE PIPE
	STEP		TRASH ENCLOSURE
	PLANTER		EDGE OF FOLIAGE
	WATER LINE		TREE WITH SIZE AND TYPE
	WATER VALVE		ACACIA
	WATER METER		CYPRESS
	FIRE HYDRANT		OAK
	HOSE BIB		PINE
	IRRIGATION CONTROL VALVE		REDWOOD
	SANITARY SEWER LINE		TREE
	SANITARY SEWER MANHOLE		SPOT ELEVATION
	SANITARY SEWER CLEAN-OUT		
	STORM DRAIN		
	STORM DRAIN MANHOLE		
	AREA DRAIN		
	STORM DRAIN CATCH BASIN		
	ELECTRIC LINE		
	UTILITY POLE		
	GUY WIRE		
	UTILITY VALVE		
	UTILITY BOX		
	ELECTRIC METER		
	STREET LIGHT		
	LAMP POST		
	GAS LINE		
	GAS METER		
	PG&E VALVE		
	TELEPHONE LINE		
	TELEPHONE STANDARD		
	CABLE TELEVISION LINE		
	CABLE TELEVISION BOX		



BENCHMARK:

ELEVATIONS FOR THIS SURVEY ARE BASED ON AN ASSUMED DATUM. AN ELEVATION OF 50.0 HAS BEEN ASSIGNED TO A MAG NAIL & DISC SET IN THE PAVEMENT NEAR THE SOUTHWESTERLY CORNER OF THE SUBJECT PROPERTY (SAID BENCHMARK NOT SHOWN).

NOTES:

- BOUNDARY LOCATIONS SHOWN HEREON WERE DETERMINED WITH THE BENEFIT OF A FIELD SURVEY SUPPLEMENTED BY RECORD DATA. ALL BOUNDARY DATA SHOWN HEREON ARE FROM THE RECORDS, AND IS SHOWN APPROXIMATE ONLY - NOT FOR CONSTRUCTION. THIS IS NOT A BOUNDARY SURVEY.
- ENTITLEMENTS OR ENCUMBRANCES AFFECTING THIS PROPERTY MAY NOT NECESSARILY BE SHOWN.
- DISTANCES SHOWN ARE EXPRESSED IN FEET AND DECIMALS THEREOF.
- CONTOUR INTERVAL = ONE FOOT.
- TREE TYPES ARE INDICATED WHERE KNOWN. DIAMETERS OF TREES ARE SHOWN IN INCHES AND ARE APPROXIMATE ONLY. TO BE VERIFIED BY AN APPROVED ARBORIST PROVIDED BY OTHERS, PER AGREEMENT WITH THE SURVEYOR. TREES SMALLER THAN 6" IN DIAMETER MAY NOT BE NECESSARILY SHOWN. DIRECTION OF GROWTH AND DRIP LINE SHAPE TO BE VERIFIED BY OTHERS.
- POSITION AND DIMENSIONS (IF ANY) OF BUILDINGS, FENCES AND OTHER STRUCTURES ARE SHOWN HEREON APPROXIMATE ONLY DUE TO MEASUREMENT LIMITATIONS, IRREGULAR SHAPE OF BRICK FACING, POP-OUTS, BULL NOSE CORNERS, ETC.
- NOT ALL UTILITY BOXES AND/OR UTILITY STRUCTURES ARE SHOWN INCLUDING BUT NOT LIMITED TO HOSE BIBS AND IRRIGATION VALVES. ONLY THE VISIBLE UTILITY BOXES AND/OR UTILITY STRUCTURES THAT WERE CONSIDERED TO CONVEY THE GENERAL UTILITY CONDITIONS ARE SHOWN.
- THIS MAP CORRECTLY REPRESENTS A SURVEY PREPARED BY ME AND/OR UNDER MY DIRECTION, FROM FIELD DATA COLLECTED IN NOVEMBER OF 2018.



TOPOGRAPHIC SITE SURVEY

OF
 Lot 19 in Block 44
 per
 Volume 1 of Cities and Towns at Page 52
 Records of Monterey County
 PREPARED FOR
Cheryl Heyermann

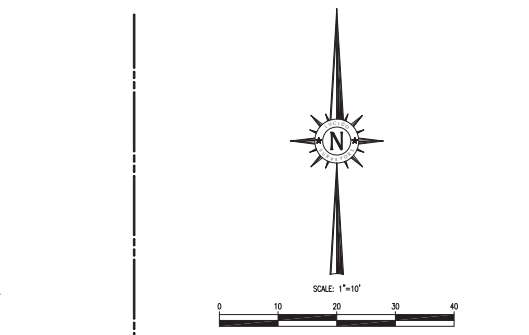
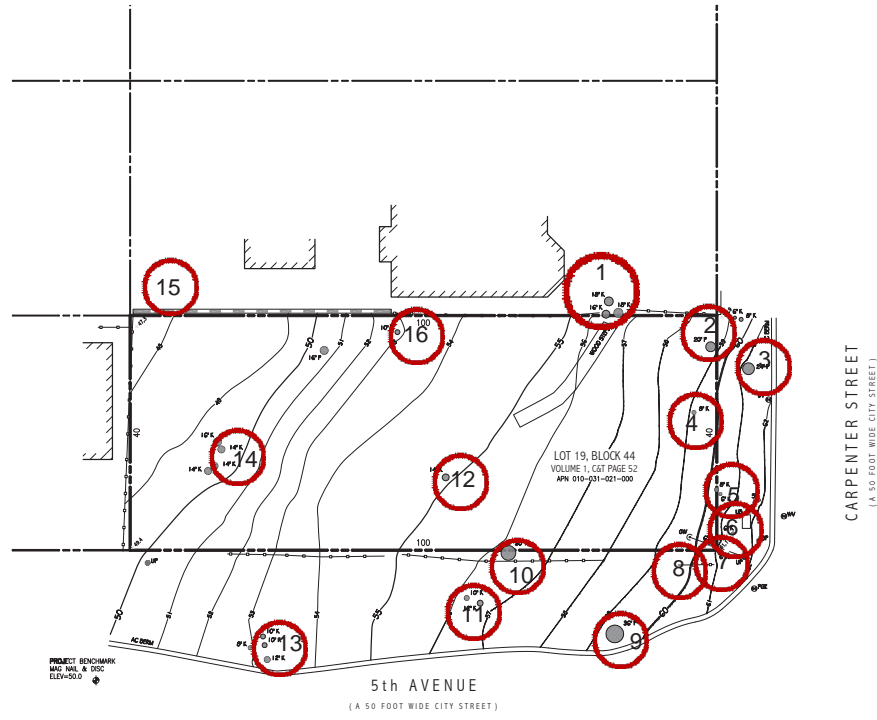
BY
LUCIDO SURVEYORS
 Boundary and Construction Surveys · Topographic and Planimetric Mapping
 ALTA Surveys and GIS Database Management · Land Planning and Consulting
 2 Saucito Avenue
 DEL REY OAKS, CALIFORNIA 93940
 info@lucidosurveyors.com
 (831) 620-5032

SCALE: 1"=10' PROJECT No. 2180 DECEMBER 2018
 CITY OF CARMEL COUNTY OF MONTEREY STATE OF CALIFORNIA

LEGEND:

- RECORD BOUNDARY
- RECORD RIGHT OF WAY
- RECORD LOT LINE
- RECORD CENTERLINE
- RECORD EASEMENT LINE
- RECORD SETBACK
- OLD RECORD LINE
- ◆ PROJECT BENCHMARK
- ▲ SURVEY CONTROL POINT
- 50 --- CONTOUR (MAJOR)
- CONTOUR (MINOR)
- GRADEBREAK
- EDGE OF PAVEMENT
- LIP OF CUTTER
- FACE OF CURB
- CURB AND GUTTER
- BACK OF CURB
- SIDEWALK
- BACK OF SIDEWALK
- DRIVEWAY
- EDGE OF DRIVEWAY
- FLOWLINE
- BUILDING OUTLINE
- CHIMNEY
- APPROXIMATE FLOOR ELEVATION
- DECK
- CONC PAD
- CONCRETE PAD
- STEP
- PLANTER
- WATER LINE
- WATER VALVE
- WATER METER
- FIRE HYDRANT
- HOSE BIB
- IRRIGATION CONTROL VALVE
- SANITARY SEWER LINE
- SANITARY SEWER MANHOLE
- SANITARY SEWER CLEAN-OUT
- STORM DRAIN
- STORM DRAIN MANHOLE
- AREA DRAIN
- STORM DRAIN CATCH BASIN
- ELECTRIC LINE
- UTILITY POLE
- GUY WIRE
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- UTILITY BOX
- ELECTRIC METER
- STREET LIGHT
- LAMP POST
- GAS LINE
- GAS METER
- PG&E VALVE
- TELEPHONE LINE
- TELEPHONE STANDARD
- CABLE TELEVISION LINE
- CABLE TELEVISION BOX

- WIRE FENCE
- CHAIN LINK FENCE
- STREET SIGN
- SIGN POST
- MAIL BOX
- BOLLARD
- PILLAR
- BLOCK WALL WITH WOOD FENCE
- ROCK RETAINING WALL
- STACKED BLOCK WALL
- BRICK WALKWAY/PATIO
- CARMEL STONE
- PCC WALKWAY/PATIO
- ASPHALT CONCRETE
- CARMEL STONE
- CORRUGATED METAL PIPE
- CONCRETE SLAB
- DECOMPOSED GRANITE
- EXPOSED AGGREGATE
- HIGH DENSITY POLY ETHYLENE
- PORTLAND CEMENT CONCRETE
- PAWER STONE
- POLY VINYL CHLORIDE
- REINFORCED CONCRETE PIPE
- TRASH ENCLOSURE
- EDGE OF FOLIAGE
- TREE WITH SIZE AND TYPE
- ACACIA
- CYPRESS
- OAK
- PINE
- REDWOOD
- TREE
- SPOT ELEVATION



BENCHMARK:
 ELEVATIONS FOR THIS SURVEY ARE BASED ON AN ASSUMED DATUM. AN ELEVATION OF 50.0 HAS BEEN ASSIGNED TO A MAG NAIL & DISC SET IN THE PAVEMENT NEAR THE SOUTHWEST CORNER OF THE SUBJECT PROPERTY (SAID BENCHMARK NOT SHOWN).

- NOTES:**
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 3. DISTANCES SHOWN ARE EXPRESSED IN FEET AND DECIMALS THEREOF.
 4. CONTOUR INTERVAL - ONE FOOT.
 5. TREE TYPES ARE INDICATED WHERE KNOWN. DIAMETERS OF TREES ARE SHOWN IN INCHES AND ARE APPROXIMATE ONLY. TO BE VERIFIED BY AN APPROVED ARBORIST PROVIDED BY OTHERS, PER AGREEMENT WITH THE SURVEYOR. TREES SMALLER THAN 6" IN DIAMETER MAY NOT BE NECESSARILY SHOWN. DIRECTION OF GROWTH AND DRIP LINE SHARP TO BE VERIFIED BY OTHERS.
 6. POSITION AND DIMENSIONS (IF ANY) OF BUILDINGS, FENCES AND OTHER STRUCTURES ARE SHOWN HEREON APPROXIMATE ONLY DUE TO MEASUREMENT LIMITATIONS. IRREGULAR SHAPE OF BRICK FACING, POP-OUTS, BULL NOSE CORNERS, ETC.
 7. NOT ALL UTILITY BOXES AND/OR UTILITY STRUCTURES ARE SHOWN INCLUDING BUT NOT LIMITED TO HOSE BIBS AND IRRIGATION VALVES. ONLY THE VISIBLE UTILITY BOXES AND/OR UTILITY STRUCTURES THAT WERE CONSIDERED TO CONVEY THE GENERAL UTILITY CONDITIONS ARE SHOWN.
 8. THIS MAP CORRECTLY REPRESENTS A SURVEY PREPARED BY ME AND/OR UNDER MY DIRECTION, FROM FIELD DATA COLLECTED IN NOVEMBER OF 2018.

TOPOGRAPHIC SITE SURVEY

OF
 Lot 19 in Block 44
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 Volume 1 of Cities and Towns at Page 52
 Records of Monterey County
 PREPARED FOR
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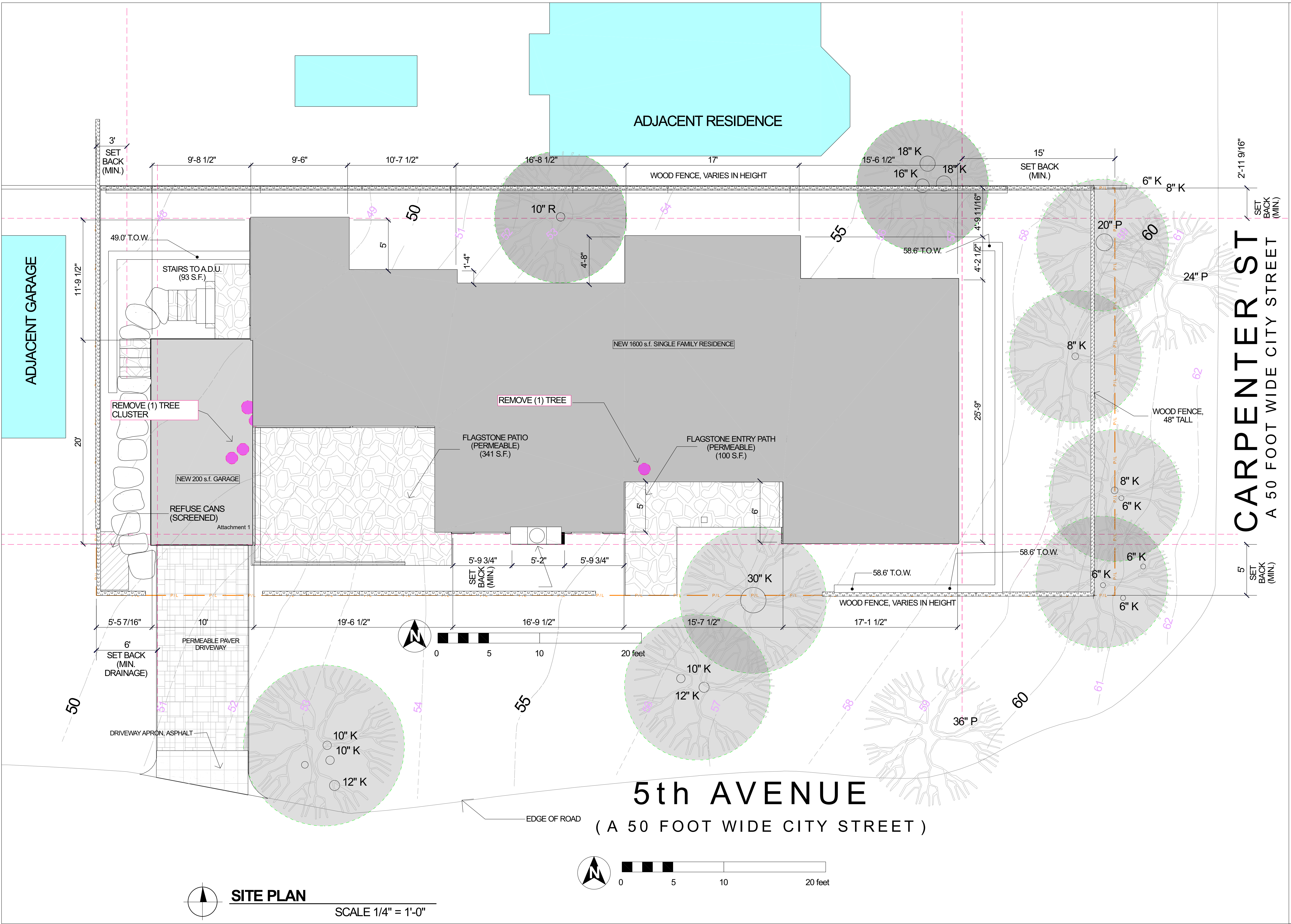
BY
LUCIDO SURVEYORS
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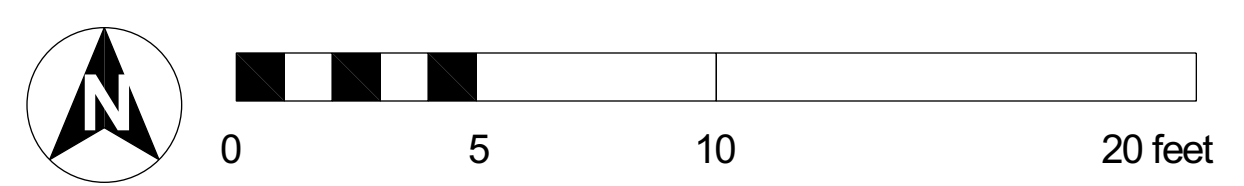
SCALE: 1"=10' PROJECT No. 2180 DECEMBER 2018
 CITY OF CARMEL COUNTY OF MONTEREY STATE OF CALIFORNIA



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SITE PLAN
SCALE 1/4" = 1'-0"



REVISIONS	
1	08/17/22
2	11/16/22
3	12/2/22

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26453 mission fields road
carmel CA 93923
info @ lehmandesignstudio.com

LEHMAN DESIGN STUDIO
DRAWN BY ALAN LEHMAN

SITE PLAN

HEYERMANN Residence
NW CORNER OF 5TH AND CARPENTER
APN 010-031-021

4/16/2022

SHEET A2

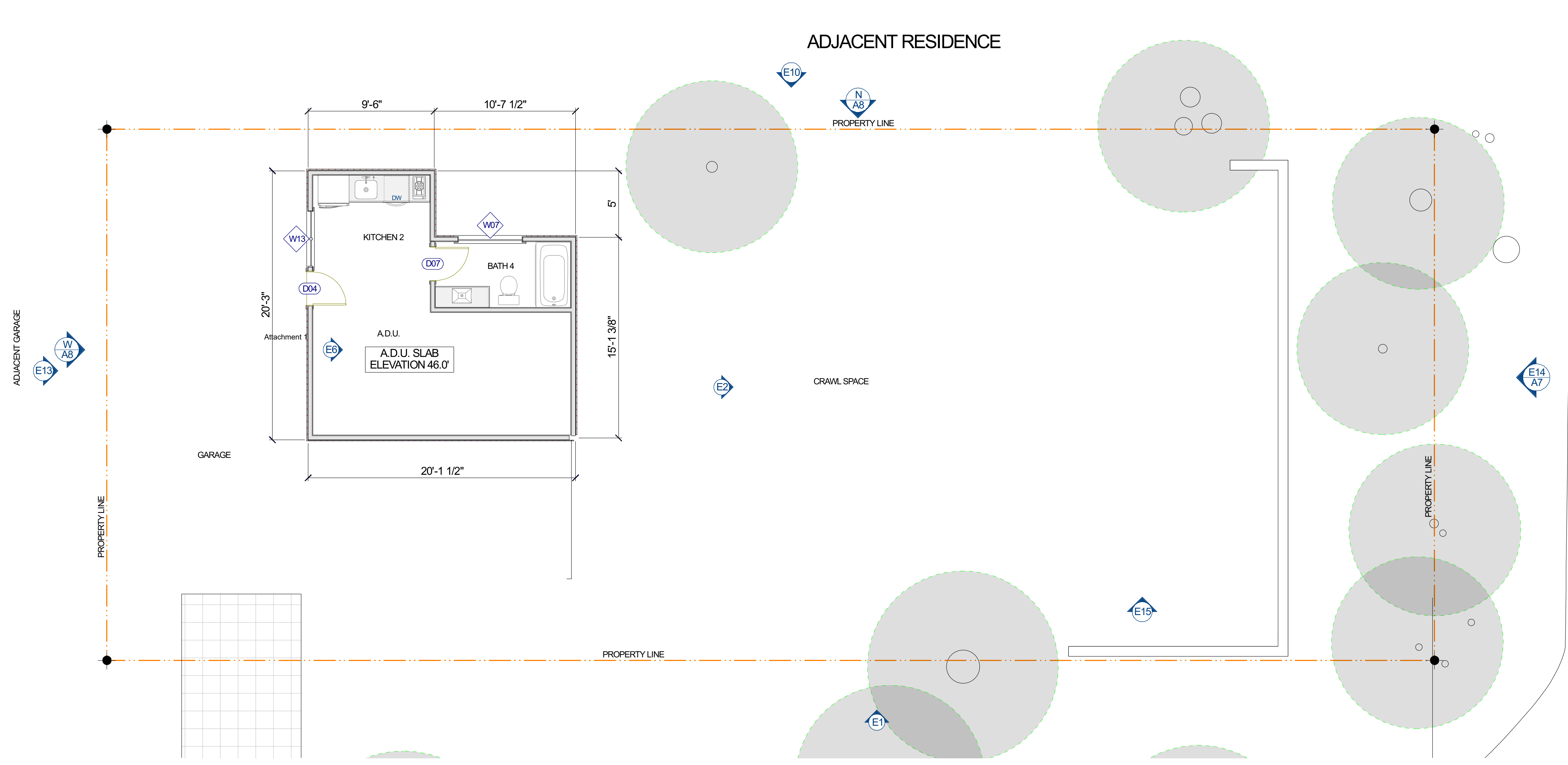
HEYERMANN BLDG V1

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DOOR SCHEDULE						
NUMBER	QTY	FLOOR	SIZE	DESCRIPTION	THICKNESS	COMMENTS
D01	1	2	21168 R	POCKET-DOOR P04	1 3/8"	
D02	1	2	1868 R IN	HINGED-DOOR P04	1 3/8"	
D03	1	2	21068 R	POCKET-DOOR P04	1 3/8"	
D04	1	1	2668 R IN	HINGED-DOOR P04	1 3/8"	
D05	1	2	2468 R IN	HINGED-DOOR P04	1 3/8"	
D06	1	2	3068 R	2 DR. BIFOLD-LOUVERED	1 3/8"	
D07	1	1	2668 L IN	HINGED-DOOR P04	1 3/8"	
D08	1	2	2668 L	POCKET-DOOR P04	1 3/8"	
D09	1	2	2668 L IN	HINGED-DOOR P04	1 3/8"	
D10	1	2	2668 R	POCKET-DOOR P04	1 3/8"	
D11	2	2	2868 L IN	HINGED-DOOR P04	1 3/8"	
D12	1	2	9670 R EX	EXT. 0+3 DR. BIFOLD-GLASS PANEL	1 3/4"	
D15	1	2	3679 R EX	EXT. HINGED-AT-GLASS PANEL	1 3/4"	
D17	1	2	4068 L IN	SLIDER-DOOR P04	1 3/8"	
D18	1	2	4068 L/R IN	DOUBLE HINGED-DOOR P04	1 3/8"	
D19	1	2	6070 L/R EX	EXT. DOUBLE HINGED-GLASS PANEL	1 3/4"	
D20	1	2	8070	GARAGE-GARAGE DOOR CHD21	1 3/4"	

WINDOW SCHEDULE							
NUMBER	QTY	FLOOR	SIZE	TEMPERED	EGRESS	DESCRIPTION	COMMENTS
W01	1	2	2020FX	YES		FIXED GLASS	
W02	1	2	41126FX			FIXED GLASS	
W03	1	2	5036DC			DOUBLE CASEMENT-LHL/RHR	
W04	2	2	2040FX			FIXED GLASS	
W05	1	2	3820FX			FIXED GLASS	
W06	1	2	50410DC			DOUBLE CASEMENT-LHL/RHR	
W07	1	1	41126FX			FIXED GLASS	
W08	2	2	2636FX			FIXED GLASS	
W09	1	2	2640FX			FIXED GLASS	
W10	1	2	2840SC			SINGLE CASEMENT-HL	
W12	1	2	31120FX			FIXED GLASS	
W13	1	1	4340DC			DOUBLE CASEMENT-LHL/RHR	
W14	2	3	3013FX			FIXED GLASS	
W16	1	2	4028DC			DOUBLE CASEMENT-LHL/RHR	
W18	1	2	2828SC	YES		SINGLE CASEMENT-HR	

NOTE: WOOD WINDOWS AND DOORS WITH CLAD EXTERIOR BY SIERRA PACIFIC OR SIMILAR



FIRST FLOOR PLAN
SCALE 1/4" = 1'-0"

REVISIONS	
1	08/17/22
2	11/16/22
3	12/2/22

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info @ lehmandesignstudio.com



DRAWN BY
ALAN LEHMAN
Alan Lehman

FIRST FLOOR PLAN

HEYERMANN Residence
NW CORNER OF 5TH AND CARPENTER
APN 010-031-021

4/16/2022

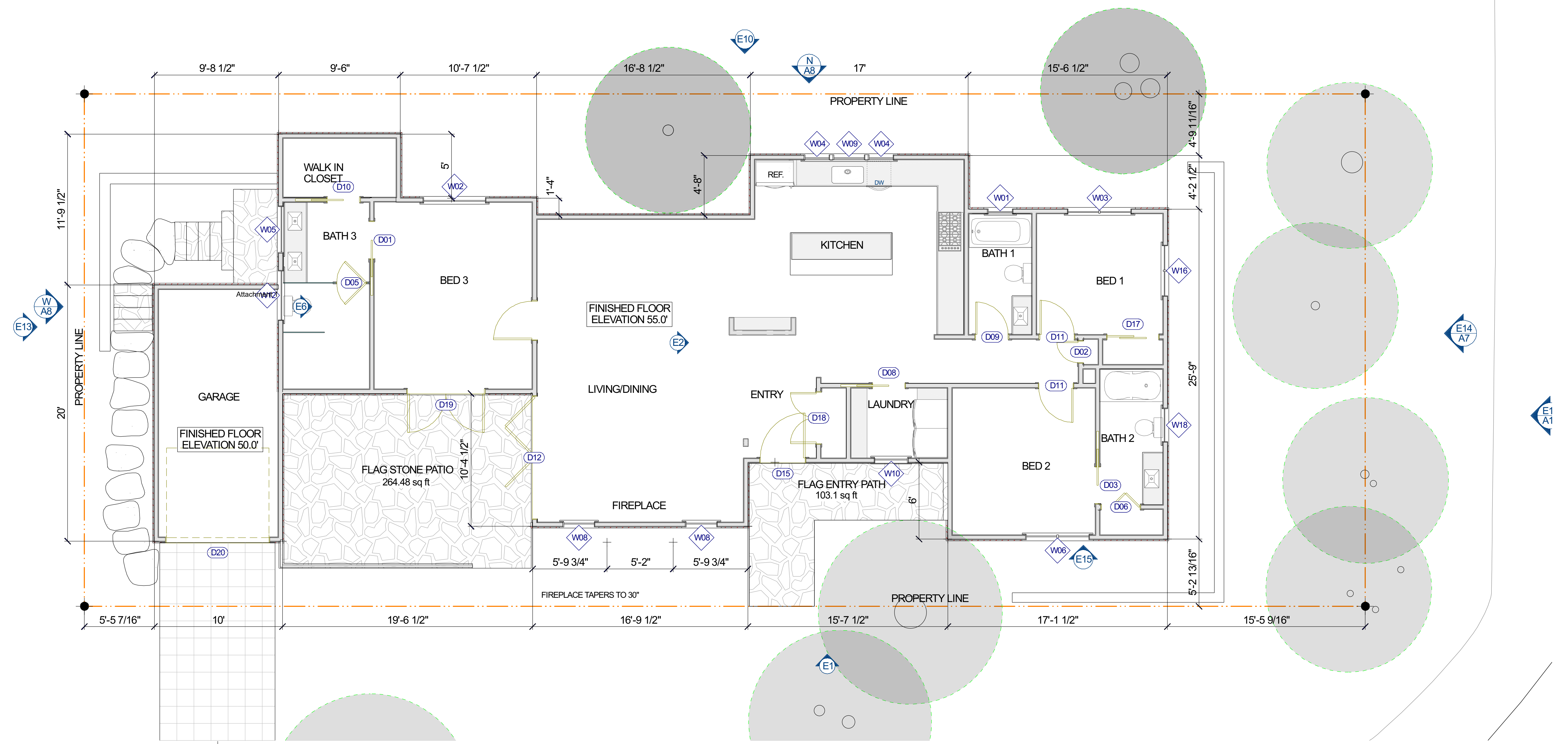
SHEET
A3

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DOOR SCHEDULE					
NUMBER	QTY	FLOOR	SIZE	DESCRIPTION	THICKNESS COMMENTS
D01	1	2	21188 R	POCKET-DOOR P04	1 3/8"
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D03	1	2	21068 R	POCKET-DOOR P04	1 3/8"
D04	1	1	2668 R IN	HINGED-DOOR P04	1 3/8"
D05	1	2	2468 R IN	HINGED-DOOR P04	1 3/8"
D06	1	2	3068 R	2 DR. BIFOLD-LOUVERED	1 3/8"
D07	1	1	2668 L IN	HINGED-DOOR P04	1 3/8"
D08	1	2	2668 L	POCKET-DOOR P04	1 3/8"
D09	1	2	2668 L IN	HINGED-DOOR P04	1 3/8"
D10	1	2	2668 R	POCKET-DOOR P04	1 3/8"
D11	2	2	2868 L IN	HINGED-DOOR P04	1 3/8"
D12	1	2	9670 R EX	EXT. 0+3 DR. BIFOLD-GLASS PANEL	1 3/4"
D15	1	2	3679 R EX	EXT. HINGED-AT-GLASS PANEL	1 3/4"
D17	1	2	4068 L IN	SLIDER-DOOR P04	1 3/8"
D18	1	2	4068 L/R IN	DOUBLE HINGED-DOOR P04	1 3/8"
D19	1	2	6070 L/R EX	EXT. DOUBLE HINGED-GLASS PANEL	1 3/4"
D20	1	2	8070	GARAGE-GARAGE DOOR CHD21	1 3/4"

WINDOW SCHEDULE							
NUMBER	QTY	FLOOR	SIZE	TEMPERED	EGRESS	DESCRIPTION	COMMENTS
W01	1	2	2020FX	YES		FIXED GLASS	
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W12	1	2	31120FX			FIXED GLASS	
W13	1	1	4340DC			DOUBLE CASEMENT-LHL/RHR	
W14	2	3	3013FX			FIXED GLASS	
W16	1	2	4028DC			DOUBLE CASEMENT-LHL/RHR	
W18	1	2	2828SC	YES		SINGLE CASEMENT-HR	

NOTE: WOOD WINDOWS AND DOORS WITH CLAD EXTERIOR BY SIERRA PACIFIC OR SIMILAR



SECOND FLOOR PLAN
SCALE 1/4" = 1'-0"

REVISIONS	
1	08/17/22
2	11/16/22
3	12/2/22

ph 831.747.4718
26463 mission fields road
carmel CA 93923
info @ lehmandesignstudio.com



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ALAN LEHMAN

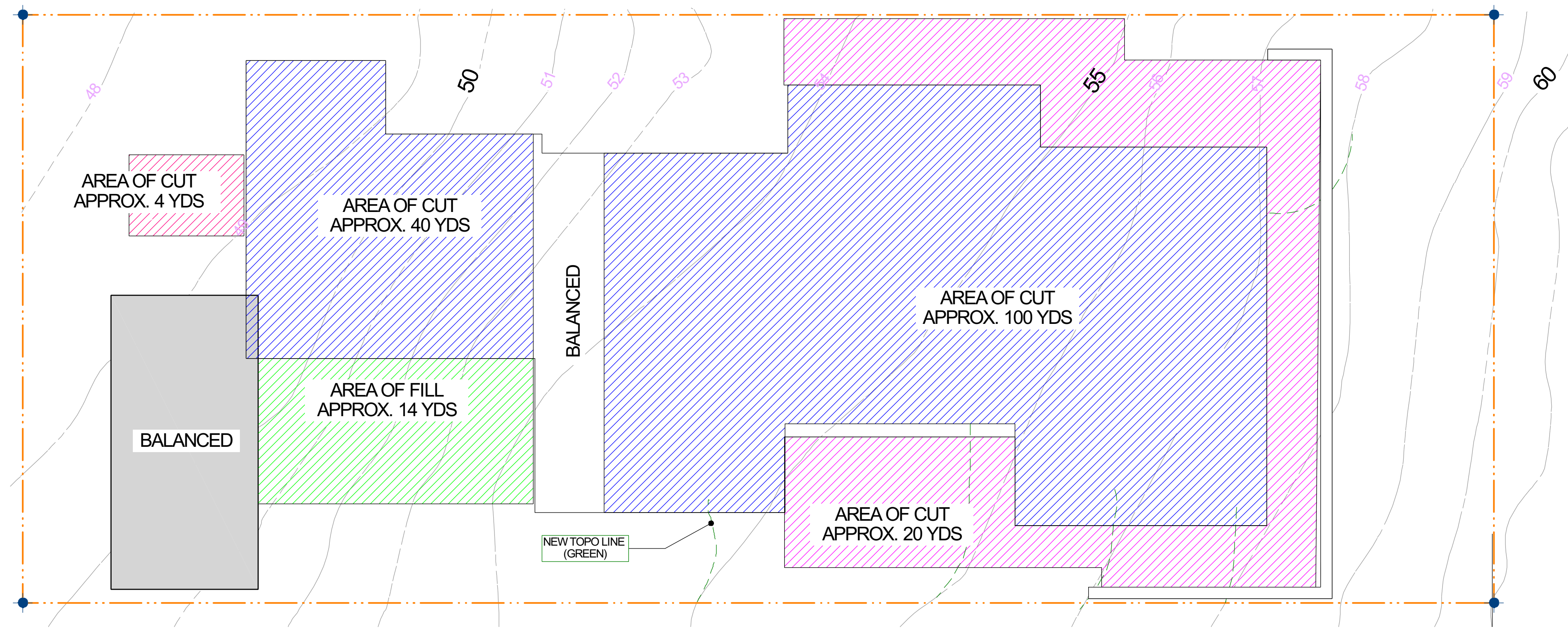
SECOND FLOOR PLAN

HEYERMANN Residence
NW CORNER OF 5TH AND CARPENTER
APN 010-031-021

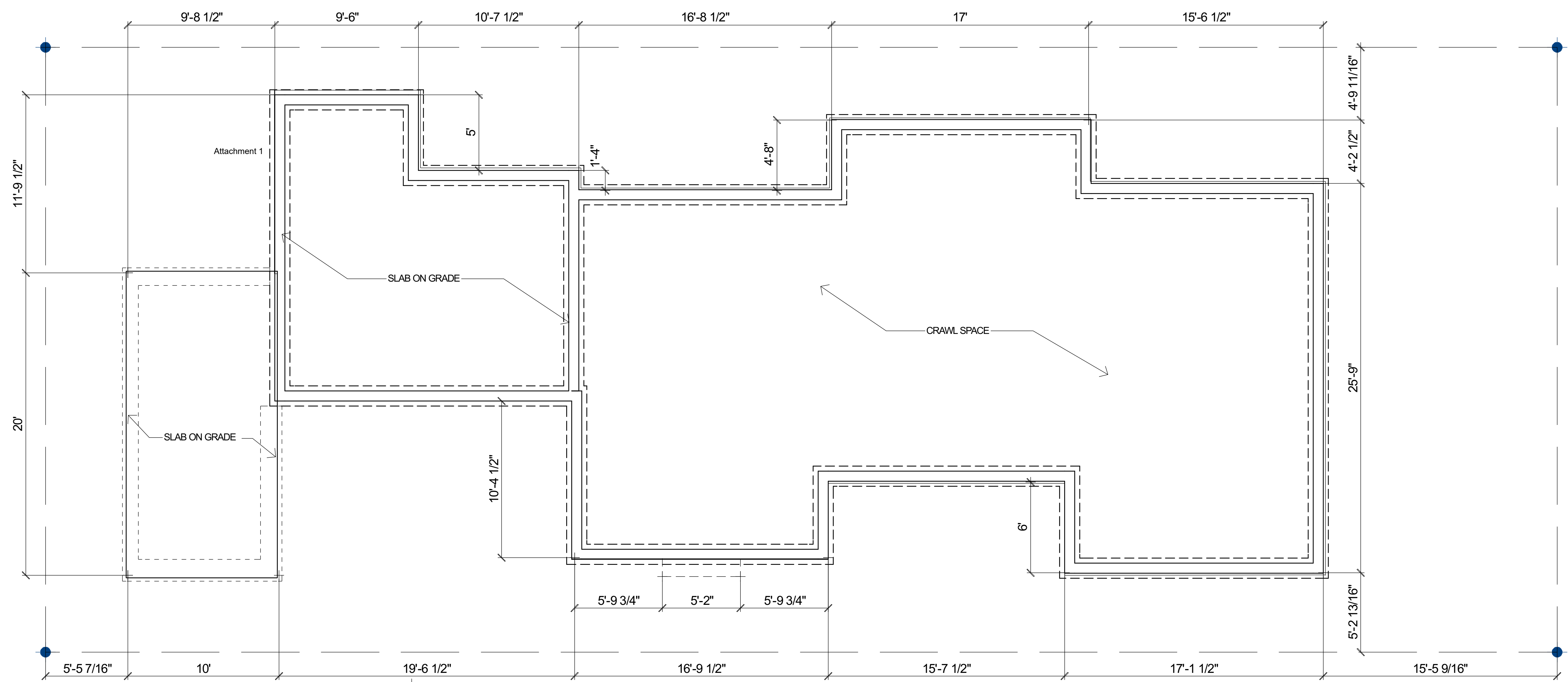
4/16/2022

SHEET
A4

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GRADING PLAN VIEW
SCALE 3/16" = 1'-0"



FOUNDATION PLAN
SCALE 1/4" = 1'-0"

REVISIONS	
1	08/17/22
2	11/16/22
3	12/2/22

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28453 mission fields road
carmel CA 93923
info @ lehmandesignstudio.com



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ALAN LEHMAN
Alan Lehman

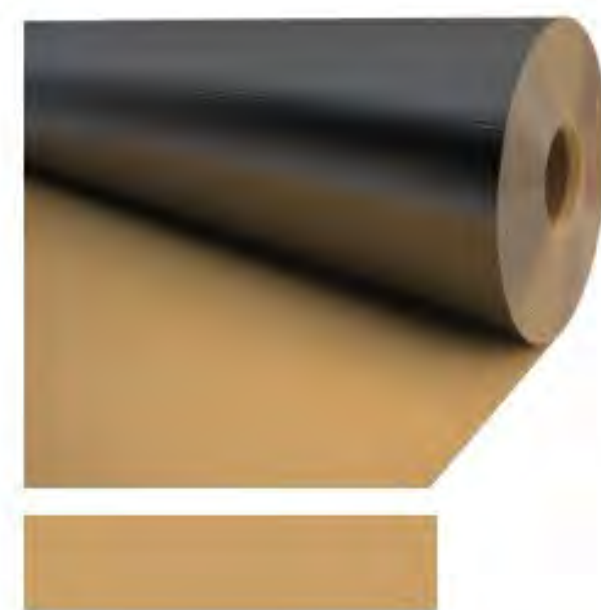
FOUNDATION PLAN,
GRADING PLAN

HEYERMANN Residence
NW CORNER OF 5TH AND CARPENTER
APN 010-031-021

4/16/2022

SHEET
A5

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TPO INFO

TAN

50mil 60mil 80mil
● ● ●

Solar Reflectance	0.366
Thermal Emittance	0.87
SRI Value Initial	39
SRI Value 3-Year Aged	N/A
LRV	30.2



CERTAINTED PRESIDENTIAL SHAKE TL

TECHNICAL INFORMATION

- Three-piece laminated fiber glass construction
- UL Class A fire resistance rating
- UL certified to meet ASTM D3462
- UL certified to meet ASTM D3018 Type I
- ASTM D3161, Class F, 110 mph wind resistance
- Conforms to CSA standard A123.5

ASPHALT COMPOSITION ROOFING

REVISIONS

1	08/17/22
2	11/16/22
3	12/2/22

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carmel CA 93923
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ALAN LEHMAN

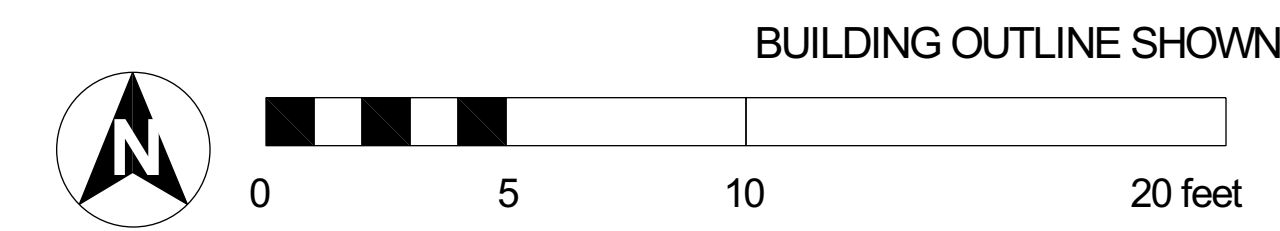
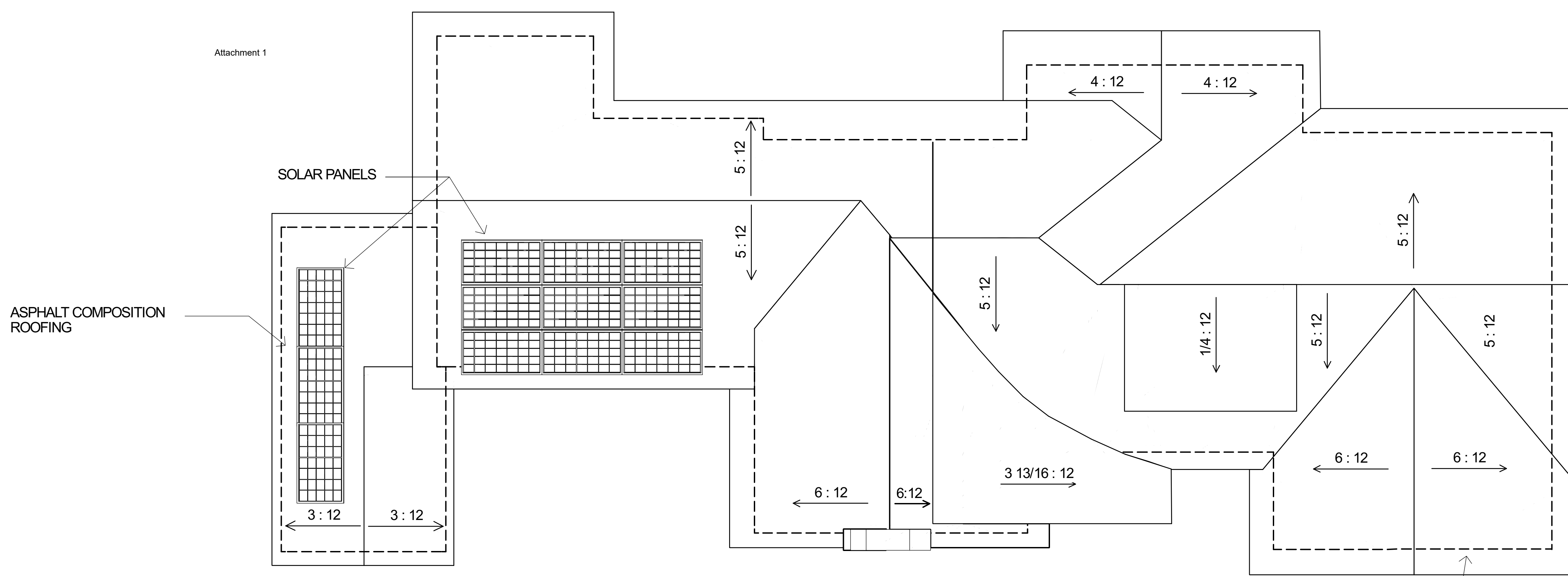
ROOF PLAN

HEYERMANN Residence
NW CORNER OF 5TH AND CARPENTER
APN 010-031-021

4/16/2022

SHEET
A6

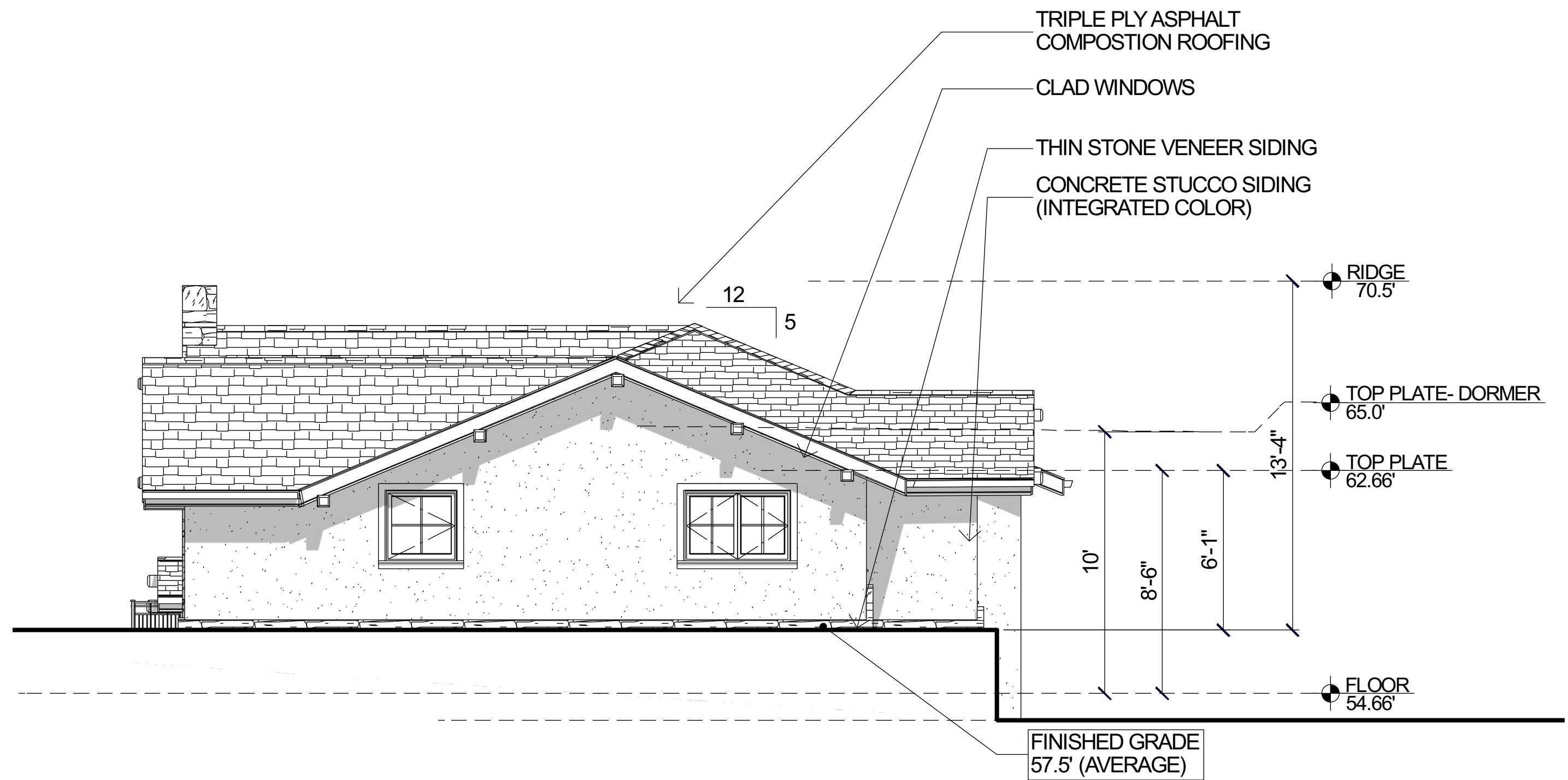
HEYERMANN BLDG V1



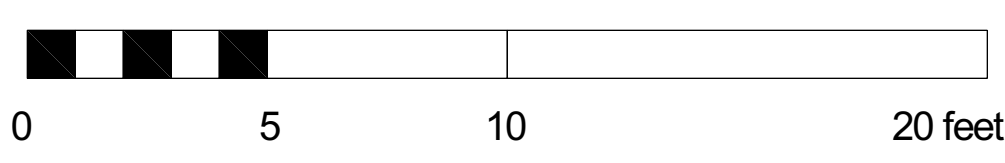
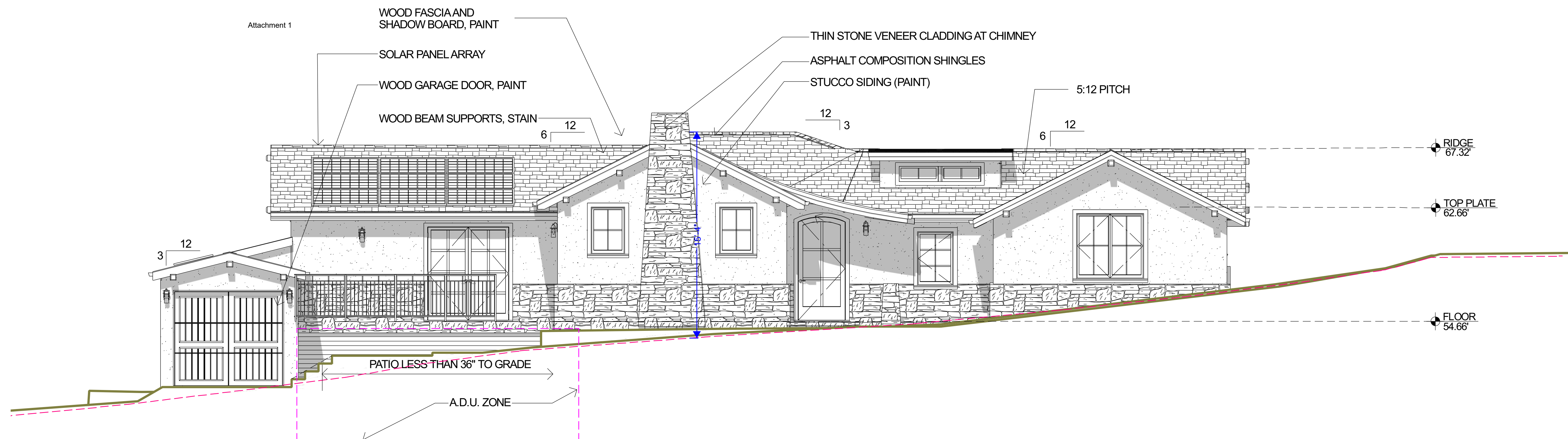
BUILDING OUTLINE SHOWN DASHED

ZINC STANDING SEAM METAL ROOFING AT WINDOW SEAT

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EAST ELEVATION
SCALE 1/4" = 1'-0"



SOUTH ELEVATION
SCALE 1/4" = 1'-0"

REVISIONS	
1	08/17/22
2	11/16/22
3	12/2/22

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carmel CA 93923
info @ lehmandesignstudio.com



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ALAN LEHMAN
Alan Lehman

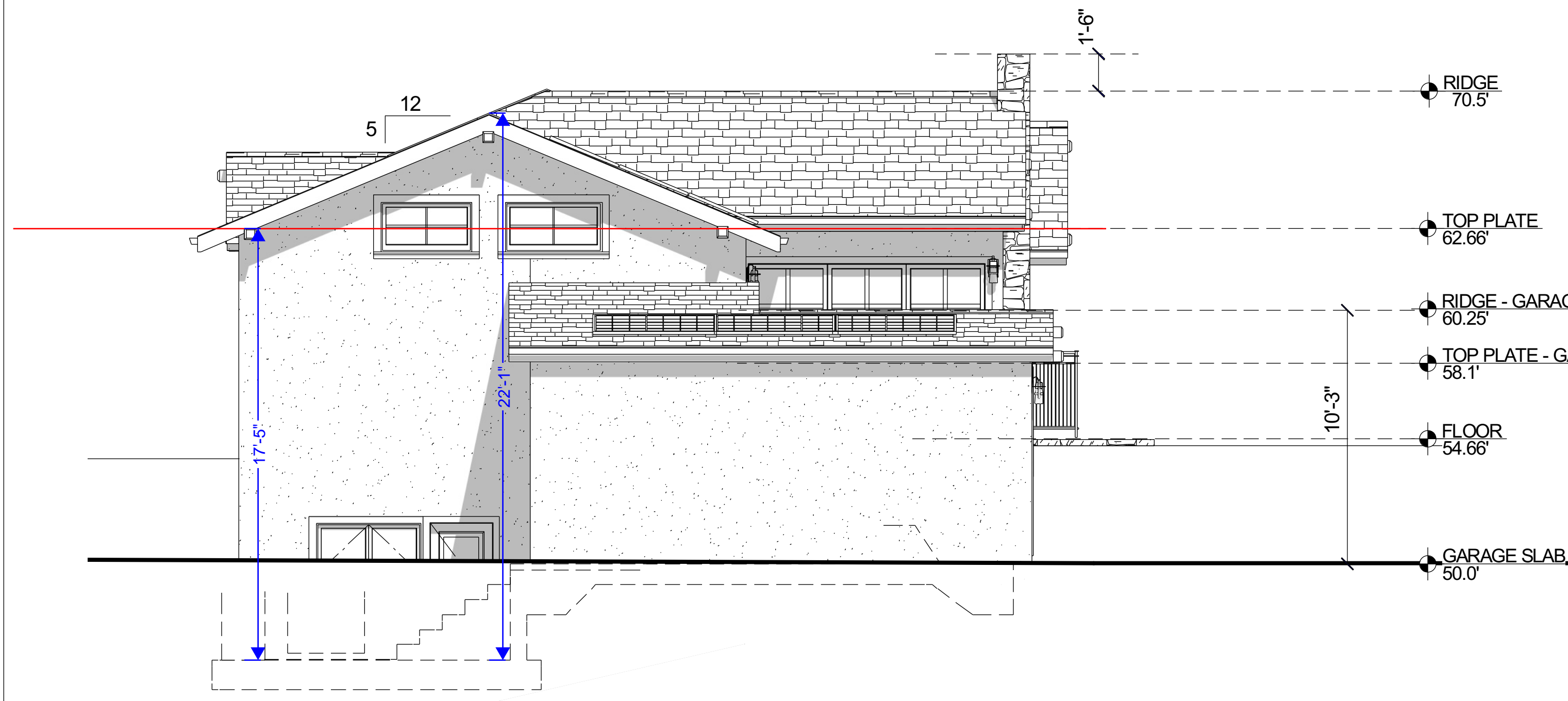
ELEVATIONS

HEYERMANN Residence
NW CORNER OF 5TH AND CARPENTER
APN 010-031-021

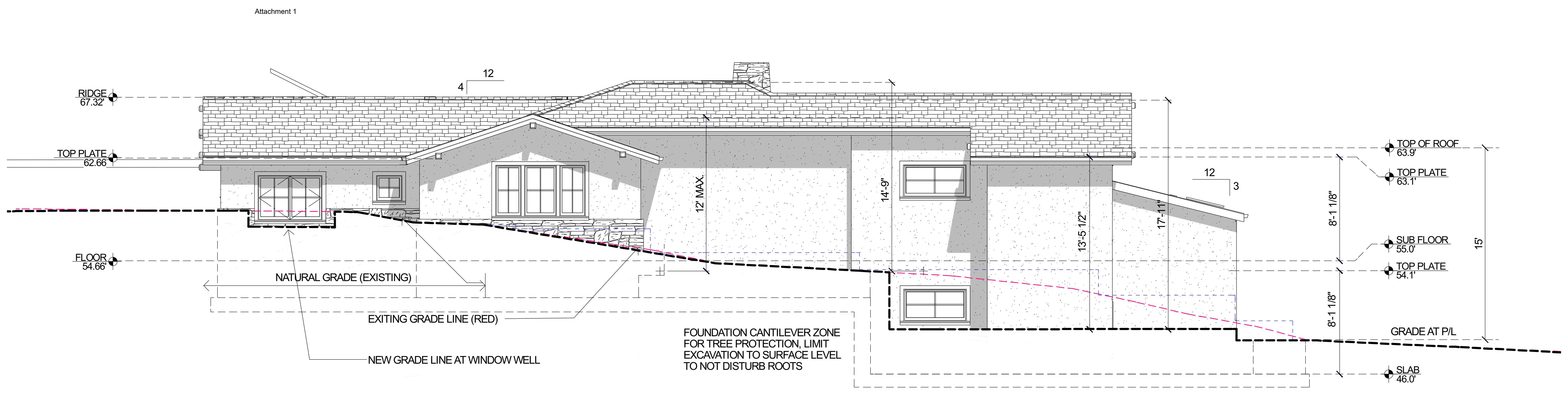
4/16/2022

SHEET
A7

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WEST ELEVATION
SCALE 1/4" = 1'-0"



NORTH ELEVATION
SCALE 1/4" = 1'-0"

0 5 10 20 feet

REVISIONS	
1	08/17/22
2	11/16/22
3	12/2/22

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28453 mission fields road
carmel CA 93923
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DRAWN BY
ALAN LEHMAN

ELEVATIONS

HEYERMANN Residence
NW CORNER OF 5TH AND CARPENTER
APN 010-031-021

4/16/2022

SHEET
A8

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Hinkley Harbor Satin Black Outdoor LED Path Light - Style # 7F216

- Sleek modern outdoor path light.
- Satin black finish.
- Cast aluminum construction.
- Etched glass diffuser.
- From the Hinkley Lighting collection.
- Includes one 2.3 watt LED module.
- Light output is 110 lumens, comparable to a 15 watt incandescent light.
- Color temperature is 3000K.
- CRI 80.
- Non-dimmable.
- Includes stake and wiring kit.
- Works with existing low-voltage lighting systems.
- Measures 21" high, 7 1/2" wide.



EXTERIOR PATH LIGHT

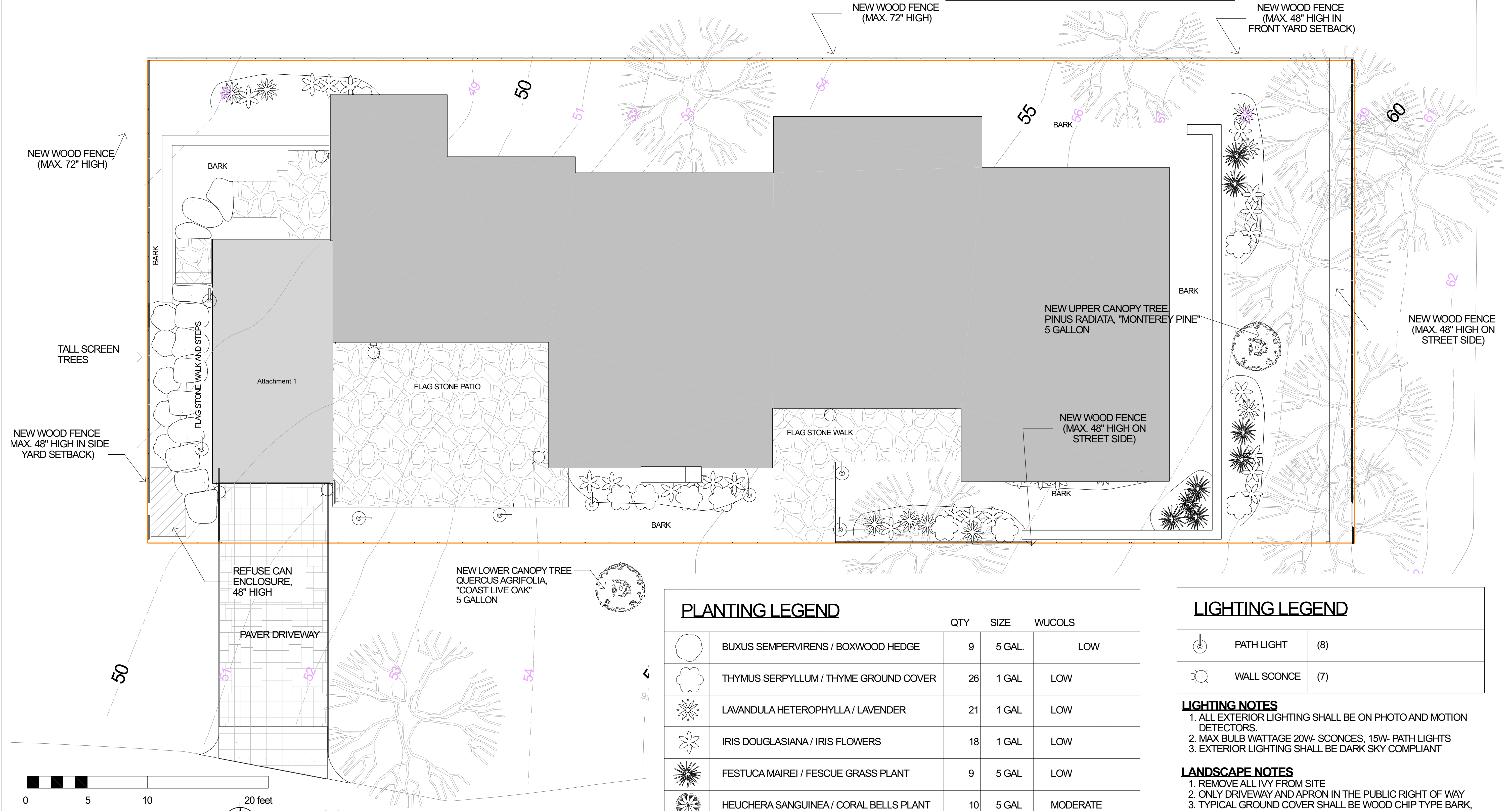
Modern Forms 'Balthus 14"'

- Features**
- Aluminum construction
 - Includes a mouth blown hammered glass shade
 - Integrated LED lighting
 - Intended for outdoor use
 - Dimmable via ELV dimming
 - ETL rated for wet locations
 - Dark Sky compliant
 - Meets California Title 24 energy standards



EXTERIOR WALL SCONCE

Model	Height	Wattage	Voltage	LED Lumens	Delivered Lumens
WS-W28514	13"	10W		800	349
WS-W28516	16 1/2"	12W	120V	1000	403
WS-W28521	21"	15W		1200	520



PLANTING LEGEND

Symbol	Plant Name	QTY	SIZE	WUCOLS
	BUXUS SEMPERVIRENS / BOXWOOD HEDGE	9	5 GAL.	LOW
	THYMUS SERPYLLUM / THYME GROUND COVER	26	1 GAL.	LOW
	LAVANDULA HETEROPHYLLA / LAVENDER	21	1 GAL.	LOW
	IRIS DOUGLASIANA / IRIS FLOWERS	18	1 GAL.	LOW
	FESTUCA MAIREI / FESCUE GRASS PLANT	9	5 GAL.	LOW
	HEUCHERA SANGUINEA / CORAL BELLS PLANT	10	5 GAL.	MODERATE

LIGHTING LEGEND

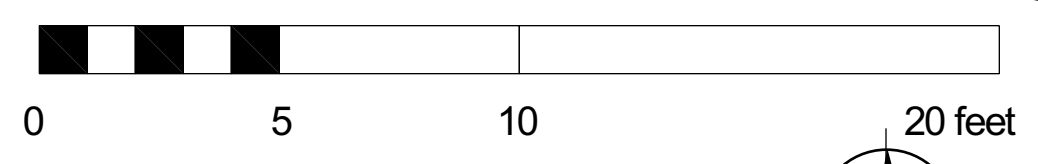
	PATH LIGHT	(8)
	WALL SCONCE	(7)

LIGHTING NOTES

1. ALL EXTERIOR LIGHTING SHALL BE ON PHOTO AND MOTION DETECTORS.
2. MAX BULB WATTAGE 20W- SCONCES, 15W- PATH LIGHTS
3. EXTERIOR LIGHTING SHALL BE DARK SKY COMPLIANT

LANDSCAPE NOTES

1. REMOVE ALL IVY FROM SITE
2. ONLY DRIVEWAY AND APRON IN THE PUBLIC RIGHT OF WAY
3. TYPICAL GROUND COVER SHALL BE WOOD CHIP TYPE BARK, NATURAL COLOR EXCEPT ADJACENT TO HOUSE FOR FIRST 24"



LANDSCAPE PLAN
SCALE 1/4" = 1'-0"

REVISIONS

1	08/17/22
2	11/16/22
3	12/2/22

ph 831.747.4718
28463 mission fields road
carmel CA 93923
info@lehmandesignstudio.com



DRAWN BY
ALAN LEHMAN

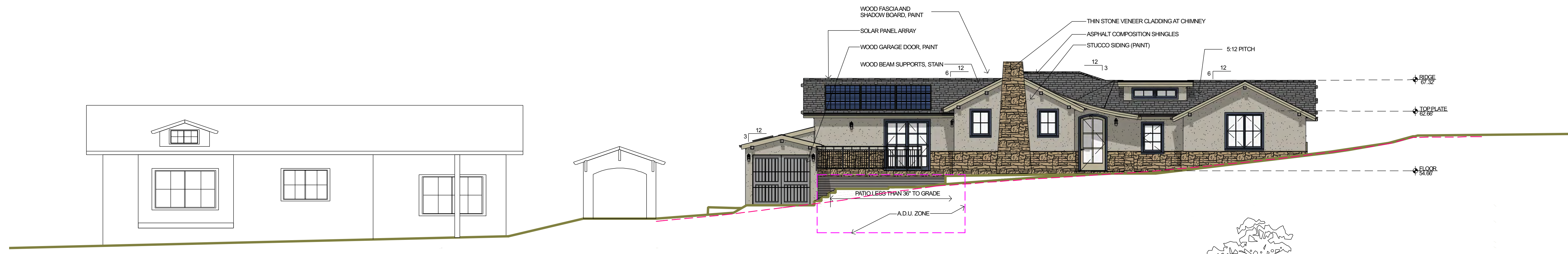
LANDSCAPE AND LIGHTING PLAN

HEYERMANN Residence
NW CORNER OF 5TH AND CARPENTER
APN 010-031-021

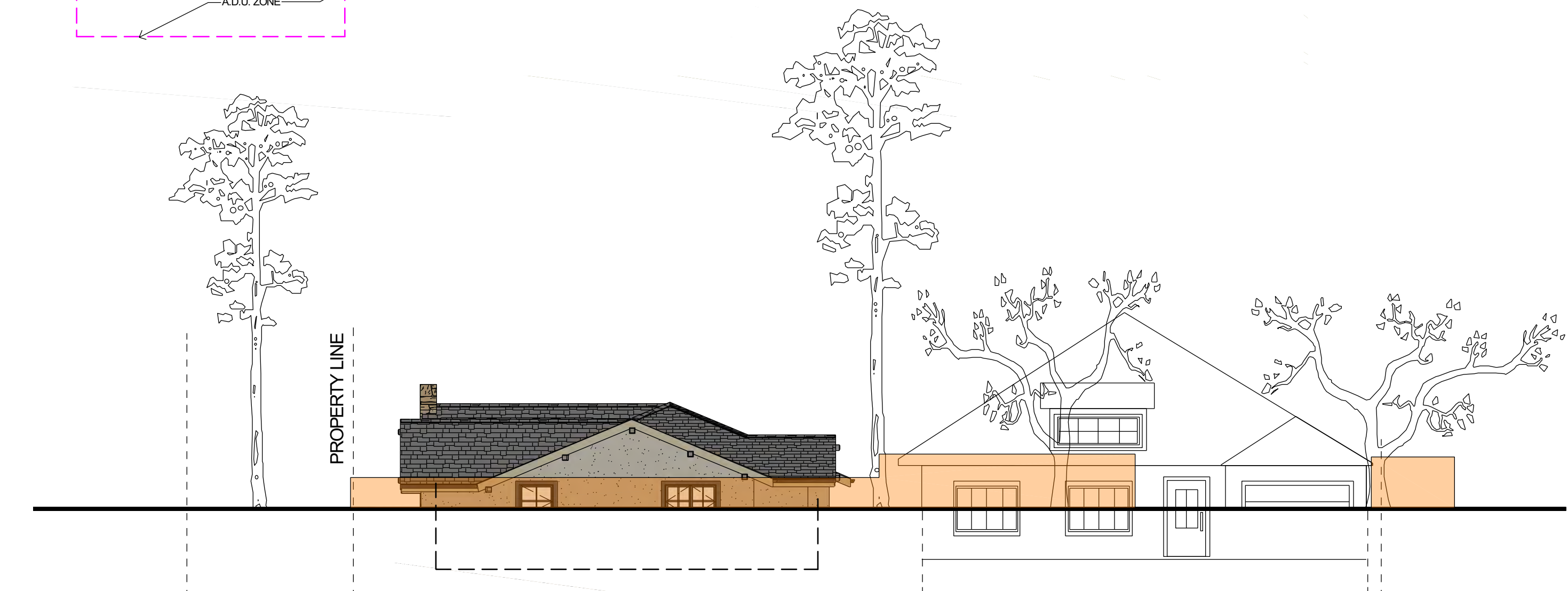
4/16/2022

SHEET
A9

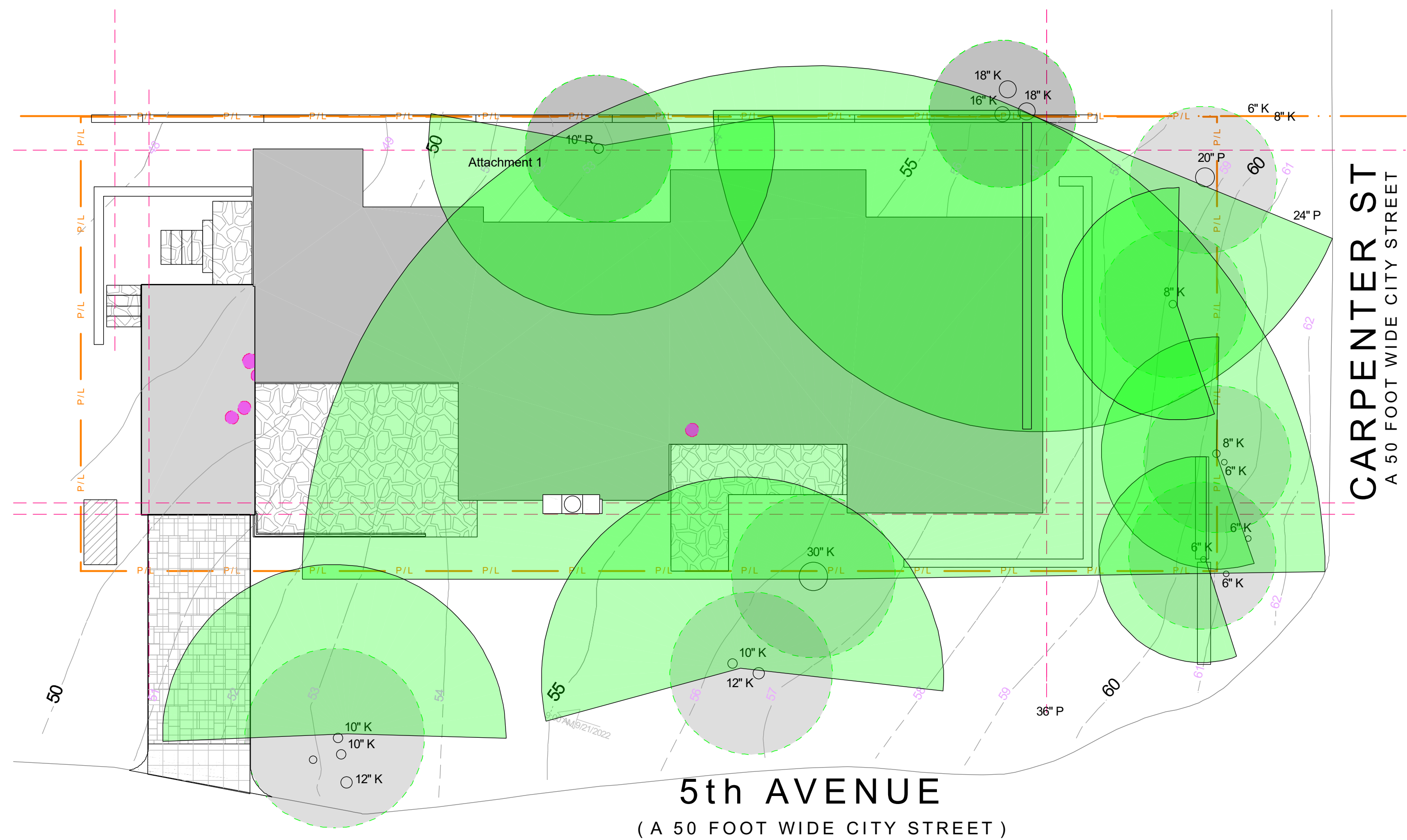
All drawings and written materials appearing herein constitute original and unpublished work and are the property of Lehman Design Studio LLC. The drawings and written materials are developed for this project only and shall not be duplicated or disclosed without the written permission of Lehman Design Studio LLC.



STREET VIEW 5TH SIDE
SCALE 1/8" = 1'-0"
0 5 10 20 feet



STREET VIEW CARPENTER SIDE
SCALE 1/8" = 1'-0"



TREE PROTECTION ZONE PLAN
SCALE 1/8" = 1'-0"



FENCE DESIGN IMAGE (SIM.)

REVISIONS	
1	08/17/22
2	11/16/22
3	12/2/22

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carmel CA 93923
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**LEHMAN
DESIGN
STUDIO**

DRAWN BY
ALAN LEHMAN
Alan Lehman

FENCE DESIGN/
ELEVATION, STREET
VIEWS

HEYERMANN Residence
NW CORNER OF 5TH AND CARPENTER
APN 010-031-021

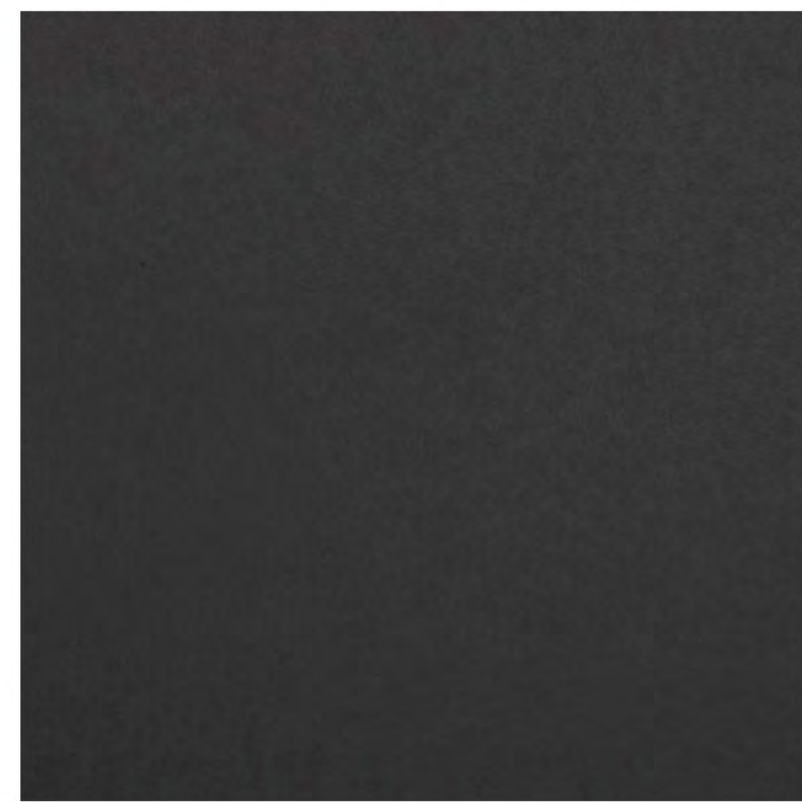
4/16/2022

SHEET
A10

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**STAINED CEDAR SOFFIT
"SILVER SONG"**



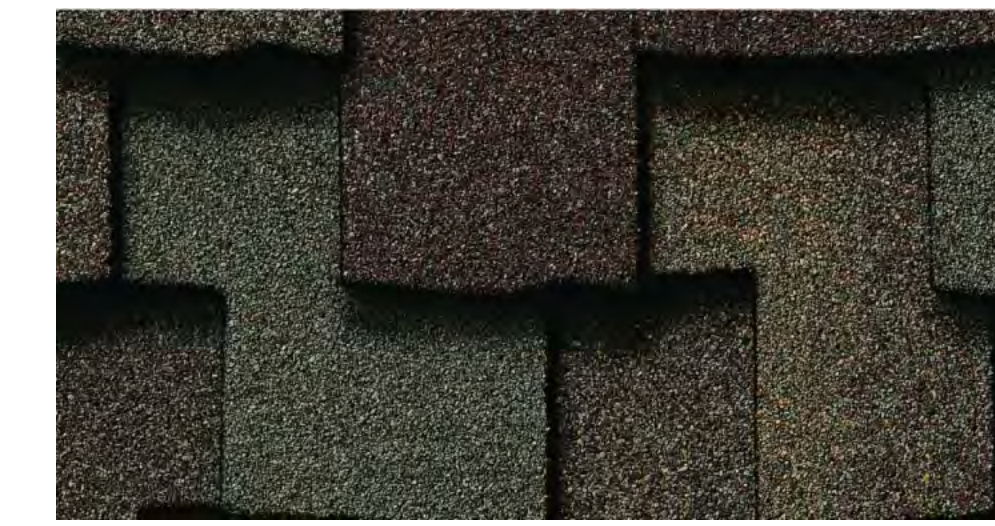
Matte Patina

PAINTED GUTTERS

Attachment 1



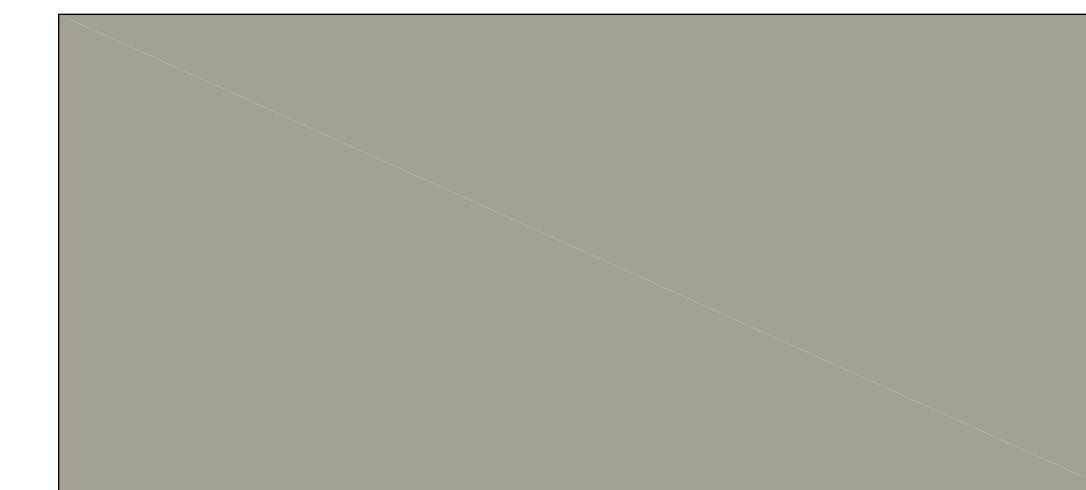
WHITE MOUNTAIN SELECT FLAG STONE



**ASPHALT COMPOSITION
SHINGLES,
"WEATHERED WOOD"**



**WINDOW AND DOOR
COLOR
"ROCKY COAST"**



**STUCCO SIDING
"RIVER REFLECTIONS"**



**STONE VENEER
(SALIDO QUARRY TAN AND GOLD)
NOTE: THIN STONE VENEER
MATERIAL TO MINIMIZE ON SITE
CUTTING OF STONE**

MATERIALS / COLORS

REVISIONS

1	08/17/22
2	11/16/22
3	12/2/22

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carmel CA 93923
info @
lehmandesignstudio.com



**DRAWN BY
ALAN LEHMAN**

**MATERIALS AND
COLORS**

**HEYERMANN Residence
NW CORNER OF 5TH AND CARPENTER
APN 010-031-021**

4/16/2022

SHEET

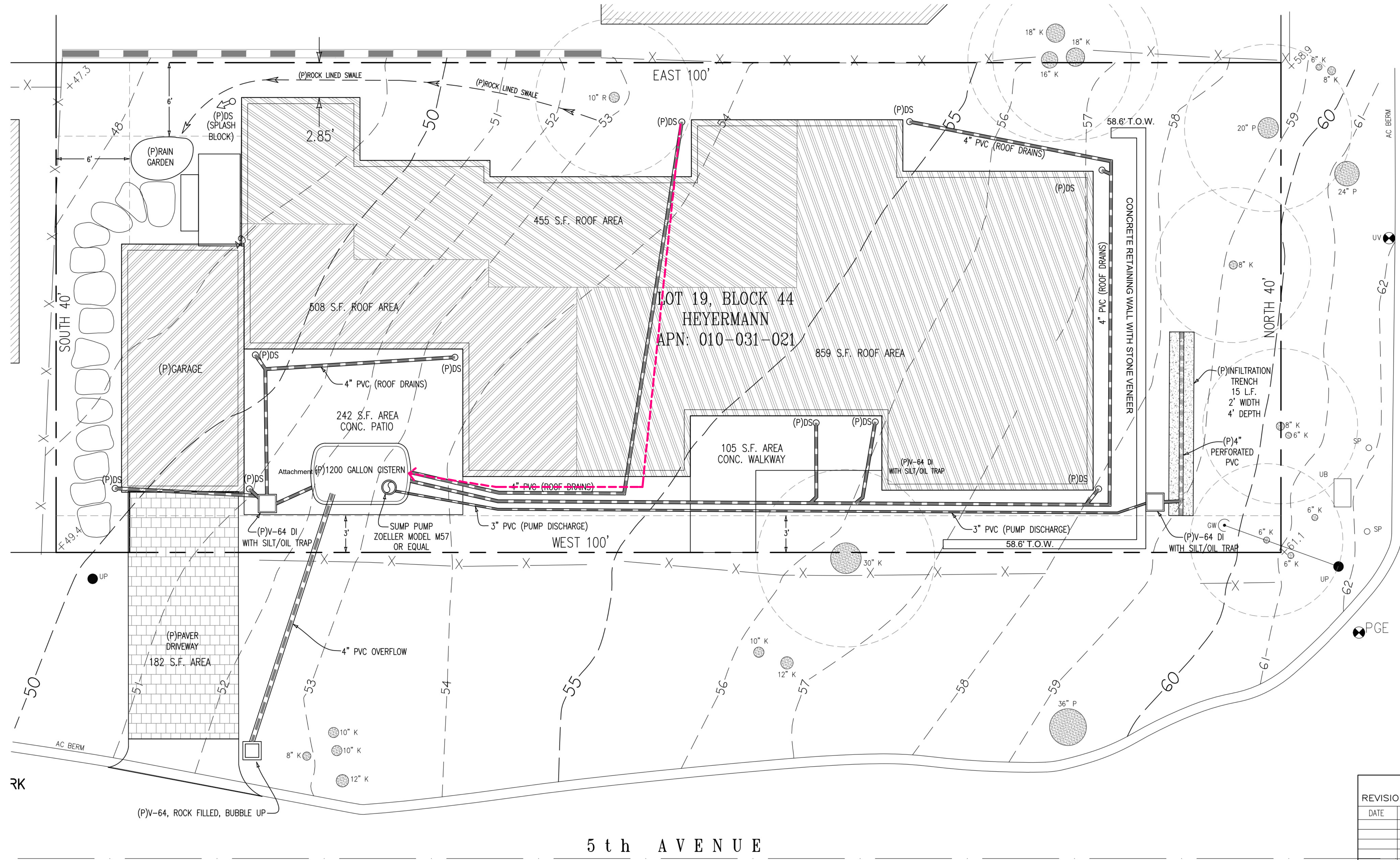
A11

DRAINAGE PLANS

PREPARED FOR
CHERYL HEYERMANN
AUGUST, 2022

NOTES:

- BOUNDARY LOCATIONS AND EASEMENTS SHOWN HEREON WERE DETERMINED WITH THE BENEFIT OF A FIELD SURVEY BY LANDSET ENGINEERS, INC.
- ALL BEARINGS AND DISTANCES ARE RECORD AND MEASURED.
- DISTANCES SHOWN ARE IN FEET AND DECIMALS THEREOF.
- CONTOUR INTERVAL = 1 FOOT.
- THIS PROPERTY MAY BE AFFECTED BY EASEMENTS THAT ARE NOT SHOWN ON THIS MAP.
- TREE TYPES ARE INDICATED WHEN KNOWN. DIAMETERS OF TREES ARE SHOWN IN INCHES.



APPLICANT INFORMATION

PROJECT APN: 010-031-021
 ADDRESS: NW CORNER OF CARPENTER & 5th STREET
 CARMEL-BY-THE-SEA, CA 93921
 OWNER: CHERYL HEYERMANN
 6 RONNOCO ROAD
 CARMEL VALLEY, CA 93924-9438
 CIVIL ENGINEER: BENJAMIN C. WILSON, RCE72928
 MONTEREY BAY ENGINEERS, INC.
 607 CHARLES AVENUE, SUITE B
 SEASIDE, CA 93955
 (831) 899-7899
 PROJECT DESIGNER: LEHMAN DESIGN STUDIO
 26453 MISSION FIELDS ROAD
 CARMEL, CA 93923
 GEOTECHNICAL ENGINEER: LANDSET ENGINEERS, INC.
 520-B CRAZY HORSE CANYON RD
 SALINAS, CA 93907
 (831)443-6970

LEGEND:

- FENCE LINE
- OVERHEAD POWER LINE
- AC ASPHALTIC CONCRETE
- BW BRICK WALL
- CO CLEAN OUT
- CONC CONCRETE
- DS DOWN SPOUT
- (E) EXISTING
- EP EDGE OF PAVEMENT
- FF FINISH FLOOR ELEVATION
- FH FIRE HYDRANT
- GM GAS METER
- HB HOSE BIB
- K OAK
- MB MAILBOX
- MRW MASONRY RETAINING WALL
- (P) PROPOSED
- P PINE TREE
- PL PLANTER
- S STUMP
- T TREE: SPECIES NOT SPECIFIED
- UP UTILITY POLE
- WM WATER METER
- WRW WOOD RETAINING WALL

FOR PLANNING USE ONLY



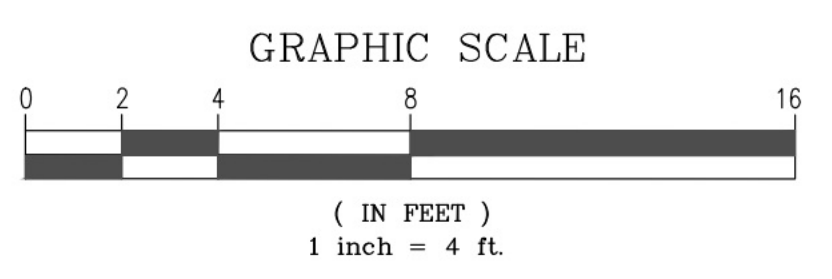
NOT FOR CONSTRUCTION

DRAINAGE PLAN

NW CORNER, CARPENTER & 5th STREET
 LOT 19, BLOCK 44
 MAP OF CARMEL CITY
 APN 010-031-021
 CARMEL-BY-THE-SEA COUNTY OF MONTEREY STATE OF CALIFORNIA
 PREPARED FOR

CHERYL HEYERMANN
 BY
MONTEREY BAY ENGINEERS, INC.
 CIVIL ENGINEERING • SUBDIVISIONS • LAND SURVEYING • CONSTRUCTION STAKING
 607 CHARLES AVE SUITE B (831) 899-7899 SEASIDE, CALIFORNIA 93955

REVISIONS	
DATE	BY



SCALE	DATE	DRAWN BY	SHEET
1" = 4'	AUG, 2022	BCW	C1 of -

RK

5th AVENUE

SCALE: 1" = 4'

JOB No. 22-053



City of Carmel-by-the-Sea

COMMUNITY PLANNING AND BUILDING DEPARTMENT

POST OFFICE DRAWER CC
CARMEL-BY-THE-SEA, CA 93921
(831) 620-2010 OFFICE

February 25, 2021

Cheryl Heyermann
6 Ronnoco Road
Carmel Valley, CA 93924

Subject: Preliminary Site Assessment Report
PSA 21-015 (Heyermann)
NW corner of 5th Avenue and Carpenter Street
Block: 44; Lot: 19; APN: 010-031-021

Dear Ms. Heyermann,

Enclosed is a copy of the Preliminary Site Assessment Checklist, Significant Tree Evaluation Worksheet and annotated tree survey from the preliminary site assessment conducted on February 3, 2021. This information has been prepared to inform you of the site opportunities and constraints that should be addressed in your design.

Please review the enclosed information and do not hesitate to contact me with any questions. Other reference materials such as Carmel's Residential Design Guidelines and Carmel Municipal Code Chapter 17.10 (R-1 District Design Regulations) are available on-line at www.ci.carmel.ca.us and at the Community Planning & Building Department.

If you have any questions I can be reached directly at (831) 620-2027 or ctarone@ci.carmel.ca.us.

Best regards,

Catherine Tarone
Assistant Planner

Encl. Site Assessment Report

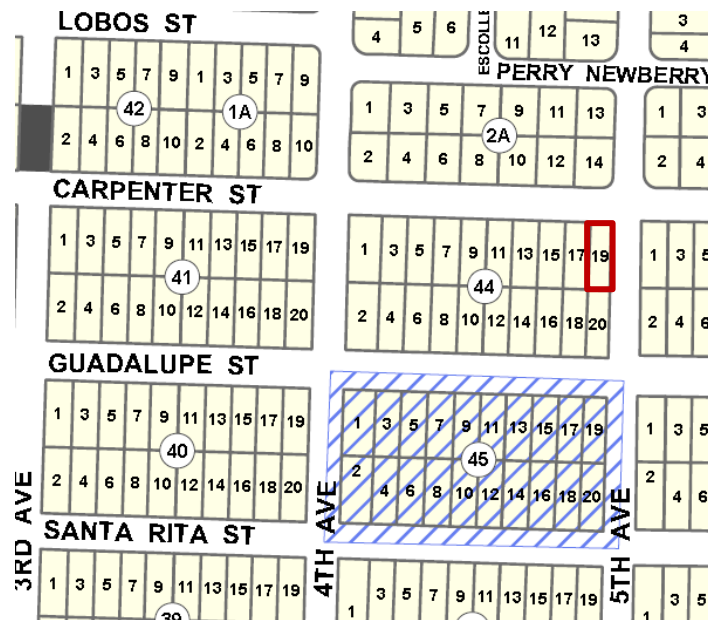
PRELIMINARY SITE ASSESSMENT CHECKLIST

Date of Site Visit: February 25, 2021 Planner: Catherine Tarone Forester: Sara Davis
 Block/Lot: 44 / 19 APN: 010-031-021
 Property Owner: Cheryl Heyermann Street Location: NW corner of 5th Ave. and Carpenter Street

Purpose: The information contained in this Preliminary Site Assessment is meant to provide input to the applicant on potential project issues prior to project submittal.

Location

Zoning District	R-1 Single Family Residential
Coastal Commission Appeal Jurisdiction Overlay	No
Archaeological Significance Overlay	No
Park Overlay	No
Very High Fire Hazard Severity Zone	No



Street and Neighborhood Character

- **Existing Vacant Lot:** This lot is a 40' x 100', 4,000-square-foot corner lot fronting on Carpenter Street with side access from 5th Avenue. The existing lot is vacant. The previously-existing residence on this lot had been a 2-story residence built in 1932. This original residence straddled the property line between lot 19 and the adjacent lot 17. In 1998, approval was granted by the Planning Commission, in association with applications DS 98-09 and RE 98-03, to demolish the original residence and develop a new residence on lot 17. This was completed and lot 19 was left vacant as there were not sufficient water credits at the time to develop

the lot. On October 8, 2018, additional water credits were purchased from the Mal Paso Water Company and this lot now contains sufficient water credits to be developed.

The only improvement on this lot is a wooden walkway leading to the north neighbor's residence via a gap in the side yard fence. Unless removed, this walkway would need to be included in the property's allowed site coverage.

- Style and materials of the neighboring residences: Design materials represented on this block consist of clapboard or shiplap wood siding (4 residences), board-and-batten (3 residences), and stucco siding (2 residences). The Residential Design Guidelines recommend not using stucco in excess. Staff recommends the use of natural siding materials such as wood shingle siding, brick or stone rather than stucco so that stucco is not used to excess on this block. Since there are not many wood shingle residences on this block, staff encourages the use of wood shingle siding to foster variety in design on this block.
- Per Residential Design Guideline 9.5, "Use "natural" building materials. Painted wood clapboard, stained or painted board and batten siding and shingles are preferred primary materials for exterior walls. Using native Carmel stone is also encouraged. Stucco, in conjunction with some natural materials, may be considered depending on neighborhood character but should not be repeated to excess within a block."
- Per Residential Design Guideline 9.7, "Provide variety in building materials along a block. When the houses to either side of a site are constructed of similar materials, use a different material, consistent with Carmel's design traditions, in order to achieve diversity in appearance."
- Right-of-way characteristics: The right-of-way directly in front of the property has been left natural and is fairly wide along 5th Avenue between 14' and 16'-6" in depth, and more narrow along Carpenter Street, between 7' and 8' in depth.

The existing fence along 5th Avenue encroaches over the property line into the City-owned right-of-way. As part of a larger project, the fence, or any new replacement fence would need to be re-located back onto the applicant's property. Front and side fencing in the front 15' of the property (fronting on Carpenter) and the side fronting on 5th Avenue is limited to 4' in height (including the portions of the north and west interior side fencing located in the front 15' and side 5' setbacks). All other fencing may be up to 6' in height.

Existing Site Conditions

- Available Water Credits: For new development on vacant land, the property will need water units. Please verify with the Monterey Peninsula Water Management District as to the number of water credits the lot has which determines how many water fixtures a new residence can have. Before a future project can be considered by the Planning

Commission, the applicant will need to submit written verification from the Water District that sufficient water credits exist to support the residence you are proposing.

- **Building Site Area:** The lot size is 40' x 100' and 4,000 square feet in area. A 4,000-square-foot lot is permitted a base floor area (residence plus garage) of 1,800 square feet, including at least 200 square feet of on-site parking per the following formula:

$$\text{Building Site Area} \times \left[0.45 - \frac{((\text{Sq. Ft. Over } 4,000) \times 0.02)}{1,000} \right] = \text{Base Floor Area}$$

Building Mass

7.1 A building's mass should relate to the context of other homes nearby.

- Larger building masses should be divided into forms that are similar in scale to houses seen in the immediate neighborhood.
- Using a detached secondary structure (garage, guest house, etc.) is encouraged to reduce the overall mass of the primary building on a site.

- **Setbacks:** Per CMC 17.06.020.N, "On corner lots with two street frontages, the shortest frontage shall be considered the front, regardless of where the driveway or front entry is located." Therefore, the minimum front 15' setback is measured from the east property line facing Carpenter Street, as it is the shortest street-facing side of the lot. The minimum, street-facing side setback is 5' and is measured from the south property line facing 5th Avenue. The minimum interior side setback is 3' measured from the north property line. The rear setback is measured at the west property line and is 3' for those portions of structures that are less than 15 feet in height, while the setback is the full 15' for portions of the structure that are 15 feet or more in height. The composite setback must be 25% of the 40' lot width, which is 10'. To meet this requirement, the north side yard plus the south side yard setbacks must equal at least 10' added together. Refer to Table 17.10-A below.

Lot Type	Front Setback (in feet)	Rear Setback* (in feet)	Side Setbacks		
			Composite** (both sides)	Minimum Setbacks (in feet)	
				Interior Side	Street Side
Interior Site	15	15	25% of site width	3	N/A
Corner Site	15	15	25% of site width	3	5
Resubdivided Corner Site	10	15	25% of site width	3	9
Double-Frontage Site	15	N/A	25% of site width	3	5 (if applicable)

* The rear setback is three feet for those portions of structures less than 15 feet in height.

** See CMC [17.10.030\(A\)\(1\)](#) and [17.06.020](#), Rules of Measurement.

- **On-Site Parking:** A new development proposal must propose at least 200 square feet (measuring 10' by 20') of on-site parking. At least 200 square feet of parking is included in the maximum floor area allowed for the residence, which translates to 1,600 sq. ft. to build with, plus 200 sq. ft. of parking.
- In locating a garage on this residence, the garage foundation must also be kept back out of the Structural Root Zone which the City Forester has calculated for each tree (refer to the attached Forester's Report).

You may propose to locate parking facing either 5th Avenue or Carpenter Street. However, if you propose a detached garage in the front setback fronting on Carpenter, since Carpenter Street is a busy street, the Planning Commission typically requests evidence that there is sufficient space to and visibility to back a car out onto Carpenter Street, despite a shorter driveway connection to the street. Since there is a stop sign at the corner this will help to ensure traffic is slowing in this area. However, if parking is located on Carpenter Street, be prepared to provide a line of sight drawing and photographs demonstrating that a car could back out safely. No line of sight drawing is needed if parking fronts on 5th Avenue since 5th Avenue is a much quieter street.

The Planning Commission may grant approval of a single-car detached garage located in the front 15 feet of the property or side 5 feet, if it does not exceed 12 feet in width, 250 square feet in floor area and 15 feet in height. On a corner lot such as this property, a detached garage can only be located at the interior side facing the street, and not at the corner intersection of two streets, since a structure at the corner can be a safety hazard and obstruct views for drivers turning from one street to the other.

Additionally, the detached garage must fulfill the following conditions:

- i. At least 50 percent of the adjacent right-of-way is landscaped or preserved in a natural and forested condition to compensate for the loss of open space;
- ii. The proposed setback encroachment would not impact significant or moderately significant trees;
- iii. Free and safe movement of pedestrians and vehicles in adjacent rights-of-way is protected;
- iv. All development on site will be in scale with adjacent properties and the neighborhood context consistent with adopted design guidelines; and
- v. Placement of the garage or carport in the setback will add diversity to the neighborhood streetscape.

- Building Height:

	R-1 District	R-1-BR District	R-1-PO District
Number of Stories Allowed	2	2	1*
Roof Height of First Story (in feet)	18	18	18
Plate Height of First Story (in feet)	12	12	12
Roof Height of Second Story (in feet)	24	18	24*
Plate Height of Second Story (in feet)	18	18	18*

It is very important that a residence designed for this lot step down to grade to follow the contour of the site since it has such a steep grade. A design for a new residence should locate the foundation slab on-grade and minimize unused tall underfloor areas since tall underfloor areas are often not able to meet the 12' plate height limit for single-story buildings. Additionally, all underfloor areas with a height of 5' or more from floor to ceiling, regardless of whether the floor is finished, are counted against the floor area for the residence. The following Residential Design Guidelines, especially 7.7 since this is a corner lot, should be employed in designing a new residence:

Building Height

7.7 A building should appear to be no more than two stories in height, as viewed from the public right-of-way.

- Presenting a one-story height to the street is encouraged.
- Locate two story elements downhill, except where this would appear dominant or out of scale when viewed from the public right-of-way or a neighboring home.

3.2 Minimize the extent of excavation and fill on a site.

- The site design should follow the natural contours of the site. Where construction is necessary on a steep slope, step the foundation and building forms to follow the contours or locate the long axis of a building to lie parallel with natural contours.

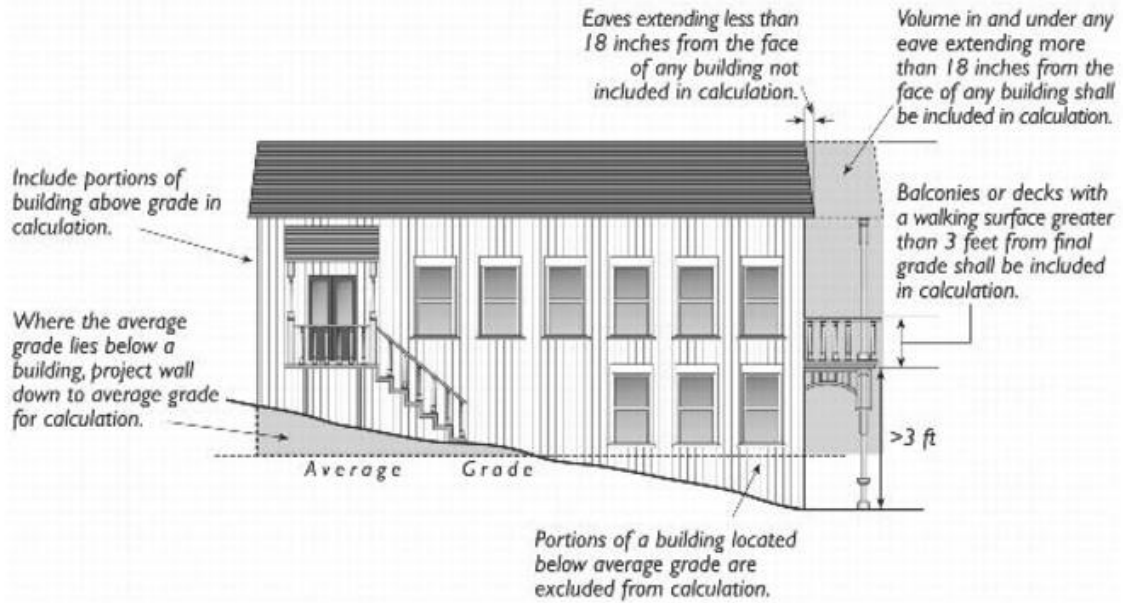
7.4 Avoid the creation of large, unused underfloor areas that increase building mass.

- On sloping lots, floor levels should be stepped to follow site grade.

b. Exterior Volume: The maximum allowable exterior volume is the total allowed base floor area for the site multiplied by the volume factors in Table 17.10-E. Exterior volume is expressed in cubic feet and is measured from the exterior wall and roof surfaces of each building. The exterior volume of the building shall be based on the height of the exterior walls above both the average existing grade and the average final grade. Where the average grade line lies below a building, the exterior walls of the building are projected down to average grade to calculate its volume. Portions of a building located below average grade are excluded from exterior volume. See Figure I-5 below.

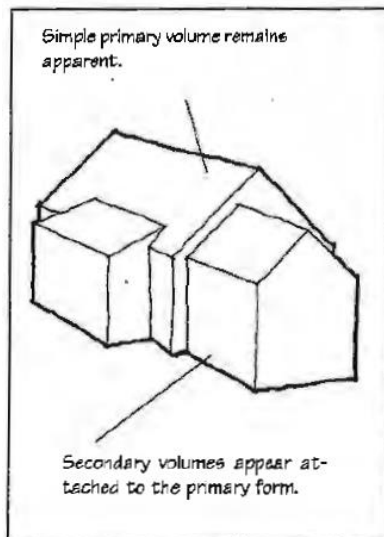
Table 17.10-E: Exterior Volume Factors for R-1 District		
	Maximum Exterior Volume (Cubic Feet) Per Square Foot of Floor Area	
	One-Story Elements of the Building	Two-Story Elements of the Building
Located under a pitched or sloping roof greater than 3:12 pitch	12	11
Located under a flat roofed area of the building 3:12 or less pitch	11	10

Figure I-5: Determining Exterior Volume

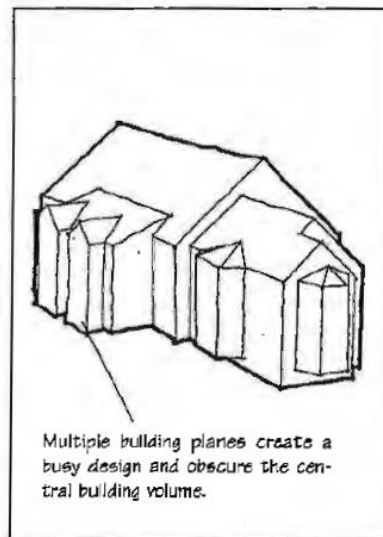


8.1 A building form should appear similar to those seen traditionally.

- Building forms should be simple. Basic rectangles, L or U-shapes are typical. Avoid “busy” building forms.
- A form with a horizontal emphasis is preferred.
- Roof forms should be composed of just a few simple planes.



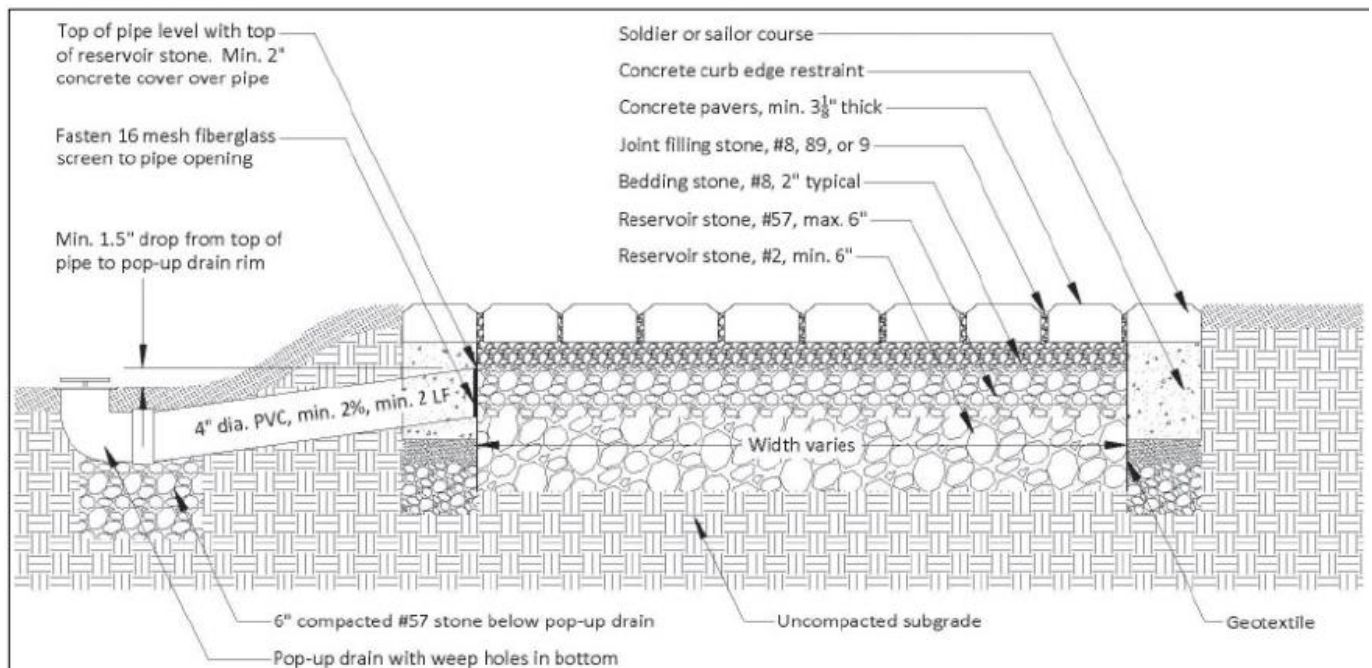
Preferred: Simple building form and a simple roof



Discouraged: Complex building form and multiple planes

- Topography and drainage features:** The Residential Design Guidelines encourage designs that follow the natural contours of the site and that avoid abrupt changes in grade on the site and between properties. Following design approval, plans that are submitted for a building permit shall include a storm water drainage plan. The drainage plan shall include applicable Best Management Practices and retain all drainage on site through the use of semi-permeable paving materials, French drains, seepage pits, etc. The property slopes approximately 11'-6" from east to west. Due to the property's steep slope, drainage should employ the City's Standard Operating Guidelines regarding retention of water on-site (see attached). All drainage must be maintained on site. Staff encourages the use of permeable paving rather than semi-permeable sand-set paving where possible.

A fairly standard cross-section for a permeable paver design for driveways is shown below. It depicts pavers that are designed to have more space between them and the space between the pavers is filled typically with small pea gravel, typically no. 8 aggregate, instead of sand. The void space between the pavers and between the stones allows this paving system to be permeable. The bedding underneath the pavers is also made of open-graded fill to allow more infiltration. This bedding is typically shallower in patio designs because patios don't need to support as much weight, and deeper in the case of a driveways.



Notes:

1. Concrete curb must be 4-8" wide and min. 9" deep (including thickness of soldier/sailor course, if used). Use CR-6 base with mortar to adjust slope.
2. Adhere curb to paver above (as shown) with mortar or polymer or construct curb level with paver surface.
3. Stabilize disturbed soil with sod or mulch. Do not use grass seed. Use sod or gravel around pop-up drain.
4. Overflow pipe must connect to pop-up drain in yard (as shown) or to adjacent storm drain.
5. Bottom of excavation must slope toward the street at 1-2%. Maximum cross-slope is 0.5%.
6. Place and compact reservoir stone in lifts up to 6" in thickness.

- Does the site contain “Steep Slope Areas” (greater than 30% slope): Not applicable.
- Site Coverage: Site coverage includes all decks, patios, stairs, covered porches, gravel or decomposed granite areas and the portion of the driveway located on the property, and does not include the footprint of the residence or garage. The permitted site coverage is 22% of the base floor area or 22% of 1,800 square feet which is 396 square feet. If more than half of all site coverage on the property is permeable, a bonus amount of site coverage is granted equal to 4% of the lot area which raises the allowable site coverage for this site to 556 square feet.

Note that areas of gravel are considered permeable site coverage. Areas of decomposed granite are considered impermeable site coverage. Areas of planting, soil and wood chips are not counted toward the property's site coverage.

Forest/Trees: The site contains sixteen (16) trees. The City Forester is not recommending planting any additional trees as this lot satisfies the City of Carmel's minimum tree density requirement. However, if one or more trees are removed, additional tree planting will be required at that time. The City Forester has classified all trees on this property as ‘Significant’. Removal of Significant-rated trees is discouraged and requires review by the Forest and Beach Commission, which is a process that must be completed before the project can be scheduled for review by the Planning Commission. Development, grading and foundation work must maintain a clearance of 6’ from the base of all trees.

Additionally, as part of the Forester’s Report, the City Forester has calculated the Structural Root Zone for each tree on the lot. When you first submit your Design Study application and plans for Planning Department review, you will need to include a separate site plan with the Structural Root Zone depicted, overlaying the site plan showing where the structural root zone is located around each tree trunk is in relation to each proposed building element.

Tree No.	Type	Status
1	Coast live oak	Significant
2	Coast live oak	Significant
3	Monterey pine	Significant
4	Coast live oak	Significant
5	Coast live oak	Significant
6	Coast live oak	Significant
7	Coast live oak	Significant
8	Coast live oak	Significant
9	Monterey Pine	Significant
10	Coast live oak	Significant
11	Coast live oak	Significant
12	Coast live oak	Significant

13	Coast live oak	Significant
14	Coast live oak	Significant
15	Coast Redwood	Significant
16	Coast Redwood	Significant

The Residential Design Guidelines state that significant upper-canopy and understory trees should be preserved and that new construction should minimize impacts on established trees. Refer to the enclosed Significant Tree Evaluation Worksheet for additional information on existing trees.

Removal of trees rated as Significant require review and approval by the Forest and Beach Commission. Per the requirements of CMC 17.48.070, *"Removal of significant trees to facilitate construction or development is prohibited unless one of the two following findings is met:*

1. That removal of the tree is required to protect public health or safety; or

2. That the following four conditions exist:

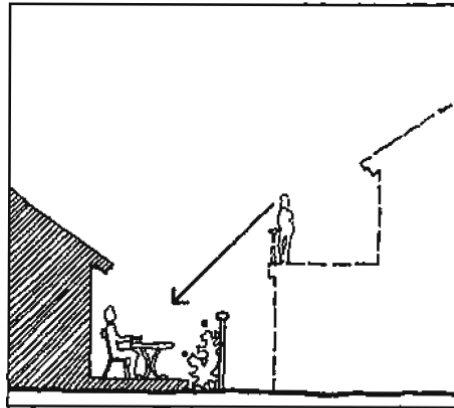
a. The existing site is vacant or is developed to an extent less than one-third of the base floor area allowed by the zoning applicable to the site; and

b. The available land area of the site not occupied by significant trees (including land within six feet of the trunk of significant trees) does not adequately and practically provide space for development of at least one-third of the base floor area allowed by the zoning for the site; and

c. The issuance of a variance for development in one or more setbacks has been considered and would not provide a remedy or would be inappropriate due to a significant overriding inconsistency with another policy or ordinance of the LCP; and

d. Failure to authorize removal of the tree(s) would deprive the owner of all reasonable economic use of the property."

Potential Neighbor Impacts



Discouraged: Overlooking active outdoor areas on adjacent properties.

- **Privacy Concerns:** The neighboring property to the north (side) is a one- and two-story residence located approximately 3' from the property line. Most windows at the front of the residence are partially obscured by existing trees. However, there are two 2nd-story windows which face the project site that are fully visible above the fence line. There is also a 2nd-story deck on the north neighbor's property with a privacy lattice installed along the majority of the deck. Future project designs should preserve the light and privacy of the existing windows on the neighboring property to the north. Additionally, a greater amount of space should be provided along the north property line, per the below Residential Design Guidelines, since the north neighboring residence is located 3' from the property line. Windows and decks on the project site should be sited and offset to maintain existing privacy to the north neighbor's upper-floor deck.

According to Residential Design Guideline 4.4: *"More open space should be provided along side yards when buildings on adjacent properties are located close to the joint property line" Variety in side yard setbacks is encouraged. Stagger setbacks with respect to adjacent properties to avoid a "canyon effect." Consider how the side yard space may relate to that of the adjoining property to maximize the perception of open space."*

Additional open space along the north side property line will also help to preserve solar access to the north neighbor's windows and clerestory windows which face the project site.



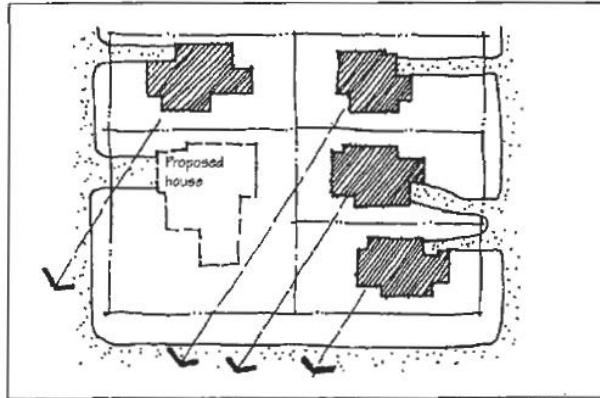
- The neighboring property to the west (rear) is a single-story residence fronting on 5th Avenue. The west neighbor's detached garage is the closest structure to the project site and it acts as a buffer between the west neighbor's residence and the project site. However there are some patio doors and windows that face the project site. New residential designs should offset new windows from neighboring windows. Properties to the rear of this project site are located at a lower grade than the project site. Building components should be located with their slab on grade to minimize the height of the building elements as seen from neighboring properties and the street.



- The neighboring property located diagonal to the rear (northwest) of the project site is a one- and two-story nonconforming residence located in the rear and composite setback of the property, 3 feet from the rear property line. Tall building elements should maintain some space from the rear northwest corner to preserve solar access to this residence and windows on the project site should be located so that the numerous skylights on the northwest neighbor's residence will not shine light at night into the project's windows.



- View Concerns: This site does not offer any views toward the ocean. Since this lot is an existing vacant lot, it currently offers additional space between the project site and neighboring properties. While development of this lot will change this appearance, staff advises that the applicant consider preserving some of this forested appearance as viewed from both Carpenter and 5th Streets. Additionally, the residential design for this residence should preserve neighboring existing views of open space and access to natural light per the below depiction in the Residential Design Guidelines.



Preferred: A new building is sited to maintain views from existing houses.

- **Neighborhood Input:** Staff strongly recommends reaching out to the adjacent property owners prior to any public hearings to explain the proposed project and address any concerns. Most project delays occur when applicants have not reached out to neighbors early in the process. This is particularly true for projects with two-story elements.

Historic Status: This property is a vacant lot and contains no existing structures. The original residence partially contained on this lot was reviewed and demolished in 1998 in association with applications DS 98-09 and RE 98-03. Additionally, this property is not located in the Archaeological Significance Overlay District. No historic review is required.

Additional Resources: For more information on the Design Review Process, Residential Design Guidelines, Carmel Municipal Code, Green Building Ordinance and Title 7A of the Building Code, please visit our website at: <http://ci.carmel.ca.us/carmel/index.cfm/government/staff-departments/community-planning-and-building/>

General Comments/Photographs:



Photo 1. Front View of the lot facing west



Photo 2. View of the lot facing northwest

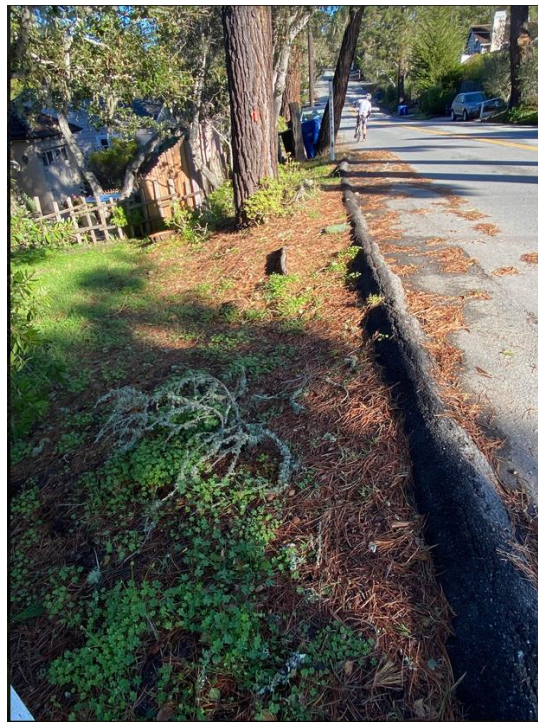


Photo 3. View of the right-of-way in front of the property (facing north) along Carpenter Street



Photo 4. View of the right-of-way to the south of the property along 5th Avenue (facing east).

Significant Tree Evaluation Worksheet

APN: 010-031-021-000

Street Location: NWC 5th and Carpenter

Planner: Catherine Tarone

City Forester: Sara Davis

Property Owner: Cheryl Heyermann

Recommended Tree Planting: 3 upper and 1 lower

Part One: Initial Screening:

Complete Part One to determine if further assessment is warranted. Trees must pass all criteria in Part One to be considered significant or moderately significant.

A. Does the tree pose an above-normal potential risk to life and property?

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16
YES																
NO	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X

Any tree with structural impairment likely to cause failure should be marked as unsafe and removed. Use page five of this worksheet to document the safety risk. Trees that have limited and specific defects that can be remedied with selective pruning or other mitigation should be marked as safe and specific recommendations should be given to the owner for tree care. Such trees may still be assessed for significance.

B. Is the tree one of the following native species on the Carmel-by-the-Sea recommended tree list?

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16
Species	CO	CO	MP	CO	CO	CO	CO	CO	MP	CO	CO	CO	CO	CO	CR	CR
YES	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X
NO																

MP-Monterey pine MC- Monterey cypress BP-Bishop pine CR -coast redwood CO- coast live oak

CI -- Catalina ironwood CS -- California sycamore BL -- big leaf maple OT -- other

(Note: Other species on the recommended tree list may be determined to be Significant Trees only if they are exceptional examples of the species. Such trees also must exhibit excellent health, form, vigor, and substantial size to rate an overall score of at least 7 points in Part Two of the assessment.)

C. Does the tree meet the minimum size criteria for significance?

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16
YES	24.5	11.5	24	7.5	9.5	4	4	6	26.5	19	16	12	20	22	13	11.5
NO																

Monterey pine, Monterey cypress, Bishop pine, Coast redwood: 6" DBH

Coast live oak – single trunk tree: 6" DBH

Coast live oak – multi-trunk tree measured per industry standard: 6" DBH

California sycamore, Big leaf maple, Catalina ironwood, other: 10" DBH

dbh = diameter at breast height or 4.5 feet above the adjacent ground surface

Part Two: Assessment For Tree Significance

For each of the criteria below assign points as shown to assess the tree. If any criteria score is zero the assessment may stop as the tree cannot qualify as significant or moderately significant.

D. What is the health and condition of the tree?

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16
score	2	2	2	2	2	2	2	2	2	2	2	2	2	2	3	3

0 points: The tree is heavily infested with pests or has advanced signs of disease that indicates the tree is declining and has very limited life expectancy.

1 point: The tree shows some pests or disease that impair its condition, but which does not immediately threaten the health of the tree. The tree may recover on its own, or with appropriate intervention.

2 points: The tree appears healthy and in good condition.

3 points: The tree shows excellent health, is free of pests and disease and is in very strong condition.

E. What is the overall form and structure of the tree?

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16
score	2	2	2	2	2	2	2	2	2	2	2	2	2	2	3	3

0 points: Prior pruning, disease or growth habit have left the tree deformed or unsound to an extent that it cannot recover or will never be a visual asset to the neighborhood or will likely deteriorate into a structural hazard.

1 point: The tree has poor form or structure but (a) can recover with proper maintenance or (b) it provides visual interest in its current form, and does not have structural defects that are likely to develop into a safety

2 points: The tree has average form and structure for the species but does not exhibit all the qualities of excellent form and structure.

3 points: The tree exhibits excellent form and structure. For all species there will be a good distribution of foliage on multiple branches with no defects. For conifers, the tree will have a single straight leader with balanced branching and with good taper. Oaks will exhibit a well-developed canopy with no suppressed branches. Oaks may be single-trunked or multi-trunked and will have a balanced distribution of foliage on each

F. What is the age and vigor of the tree?

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16
score	2	2	2	2	2	3	3	3	2	2	2	2	2	2	3	3

0 points: The tree is over-mature or shows signs of poor or declining vigor such as die-back of major limbs or of the crown, small leaves/needles and/or minimal new growth.

1 point: The tree is mature but retains normal vigor and is likely to continue as a forest asset for a substantial period into the future.

2 points: The tree is young to middle age and shows normal vigor.

3 points: The tree is young to middle age and shows exceptional vigor.

Items to note:**Required Structural Root Zone**

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16
Feet	12.3	6	12	6	6	6	6	6	13.3	9.5	8	6	10	11	6.5	6

Required Tree Protection Zone

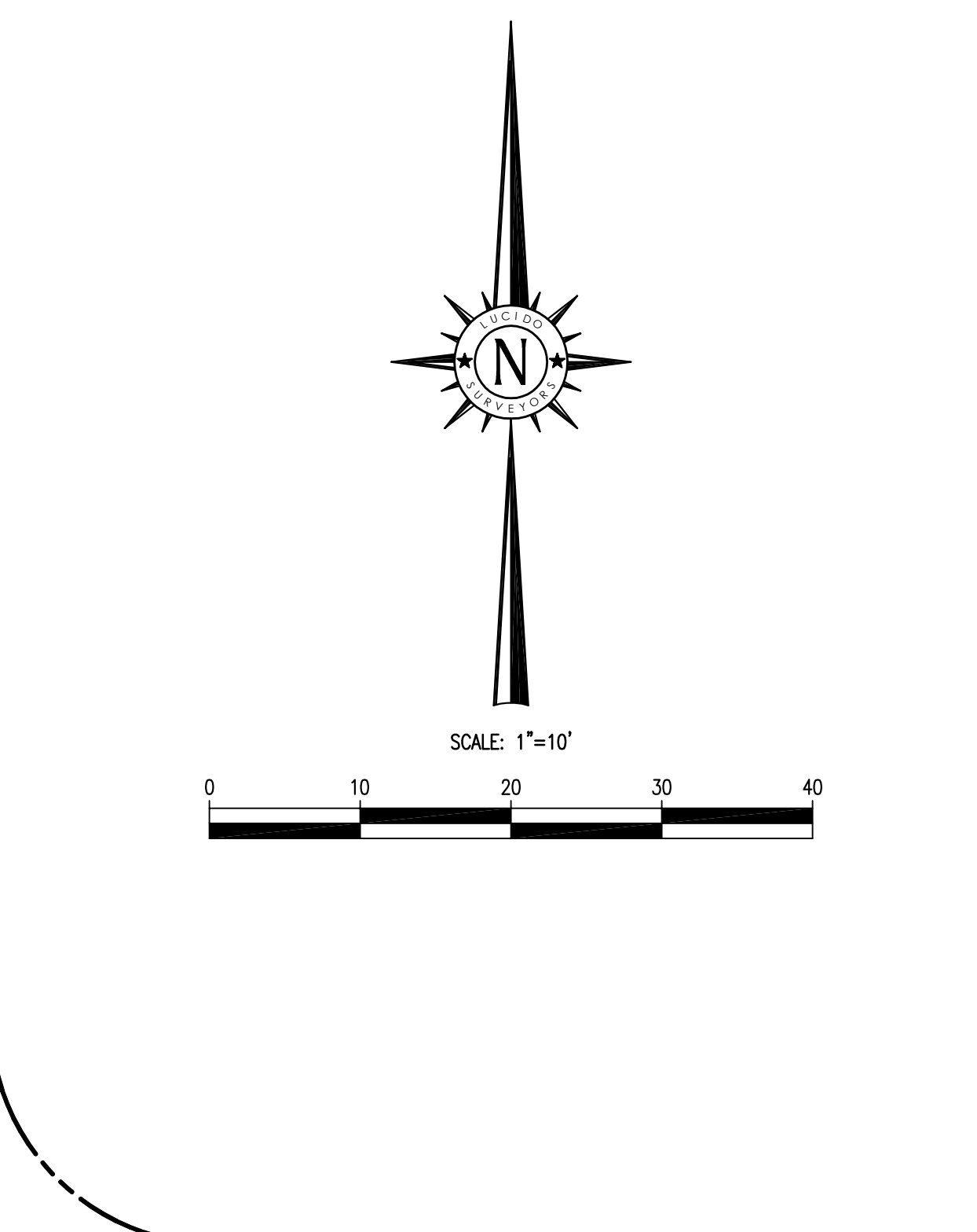
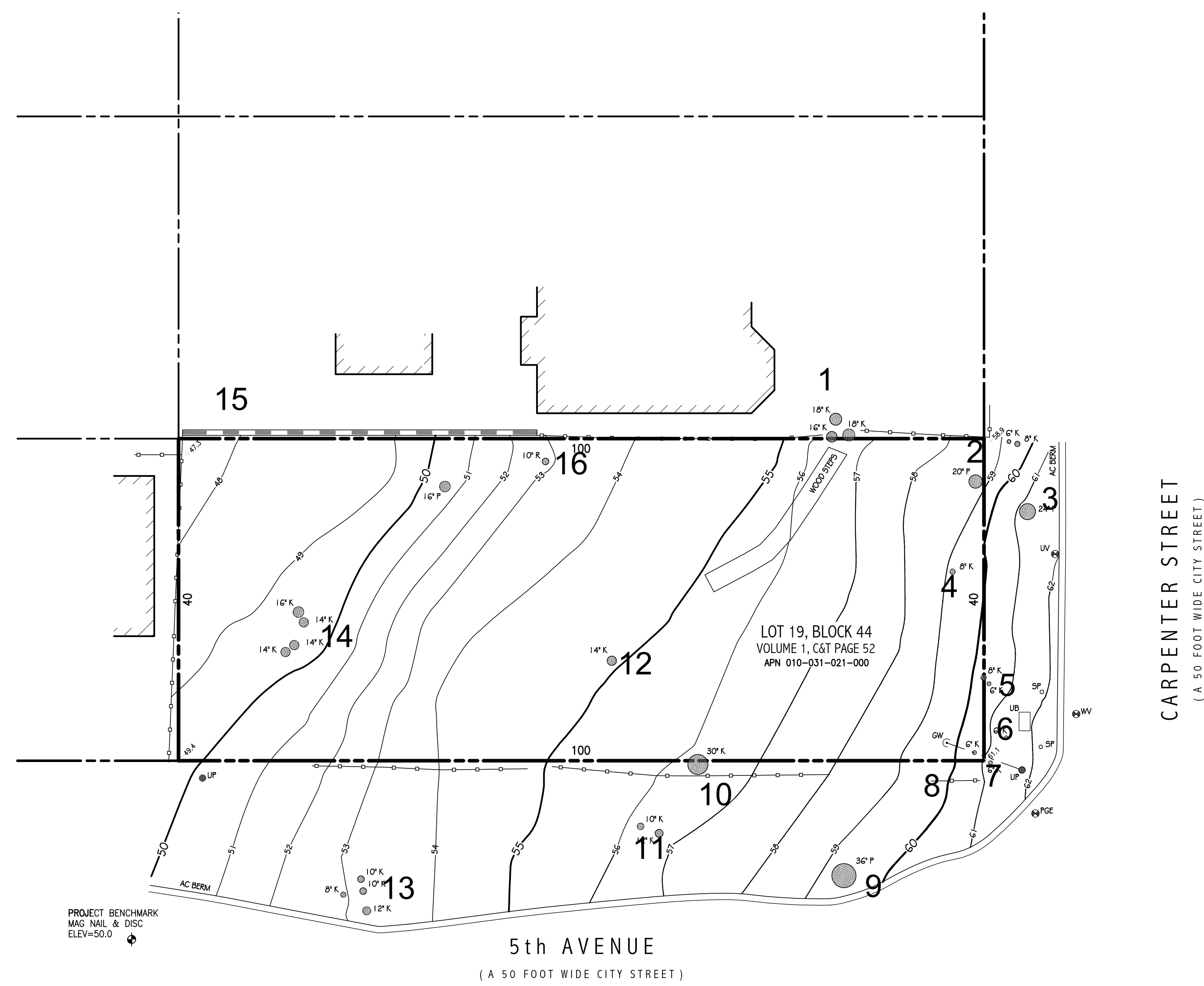
Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16
YES	24.5	11.5	24	7.5	9.5	6	6	6	26.5	19	16	12	20	22	13	11.5

Requirements for tree preservation shall adhere to the following tree protection measures on construction site.

- Prior to grading, excavation, or construction, the developer shall clearly tag or mark all trees to be preserved.
- Excavation within 6 feet of a tree trunk is not permitted.
- No attachments or wires of any kind, other than those of a protective nature shall be attached to any tree.
- Per Municipal Code Chapter 17.48.110 no material may be stored within the dripline of a protected tree to include the drip lines of trees on neighboring parcels.
- Tree Protection Zone -- The Tree Protection Zone shall be equal to dripline or 18 inches radially from the tree for every one inch of trunk diameter at 4.5 feet above the soil line, whichever is greater. Minimum of 4 foot high transparent fencing is required unless otherwise approved by the City Forester. Tree protection shall not be resized, modified, removed, or altered in any manner without written approval. The fencing must be maintained upright and taught for the duration of the project. No more than 4 inches of wood mulch shall installed within the Tree Protection Zone. When the Tree Protection Zone is at or within the drip line, no less than 6 inches of wood mulch shall be installed 18 inches radially from the tree for every one inch of trunk diameter at 4.5 feet above the soil line outside of fencing.
- The Structural Root Zone -- Structural Root Zone shall by 6 feet from the trunk or 6 inches radially from the tree for every one inch of trunk diameter at 4.5' above the soil line, whichever is greater. Any excavation or changes to the grade shall be approved by the City Forester prior to work. Excavation within the Structural Root Zone shall be performed with pneumatic excavator, hydrovac at low pressure, or other method that does not sever roots.
- If roots greater than 2 inches in diameter or larger are encountered within the approved Structural Root Zone the City Forester shall be contacted for approval to make any root cuts or alterations to structures to prevent roots from being damaged.
- If roots larger than 2 inches in diameter are cut without prior City Forester approval or any significant tree is endangered as a result of construction activity, the building permit will be suspended and all work stopped until an investigation by the City Forester has been completed and mitigation measures have been put in place.

LEGEND:

	RECORD BOUNDARY		WIRE FENCE
	RECORD RIGHT OF WAY		CHAIN LINK FENCE
	RECORD LOT LINE		STREET SIGN
	RECORD CENTERLINE		SIGN POST
	RECORD EASEMENT LINE		MAIL BOX
	RECORD SETBACK		BOLLARD
	OLD RECORD LINE		PILLAR
	PROJECT BENCHMARK		BLOCK WALL WITH WOOD FENCE
	SURVEY CONTROL POINT		ROCK WALL
	CONTOUR (MAJOR)		ROCK RETAINING WALL
	CONTOUR (MINOR)		STACKED BLOCK WALL
	GRADEBREAK		BRICK WALKWAY/PATIO
	EDGE OF PAVEMENT		CARMEL STONE
	LIP OF GUTTER		PCC WALKWAY/PATIO
	FACE OF CURB		ASPHALT CONCRETE
	BACK OF CURB		CARMEL STONE
	BACK OF SIDEWALK		CORRUGATED METAL PIPE
	EDGE OF DRIVEWAY		CONCRETE SLAB
	FLOWLINE		DECOMPOSED GRANITE
	BUILDING OUTLINE		EXPOSED AGGREGATE
	CHIMNEY		HIGH DENSITY POLY ETHYLENE
	APPROXIMATE FLOOR ELEVATION		PORTLAND CEMENT CONCRETE
	DECK		PAVER STONE
	CONCRETE PAD		POLY VINYL CHLORIDE
	STEP		REINFORCED CONCRETE PIPE
	PLANTER		TRASH ENCLOSURE
	WATER LINE		EDGE OF FOLIAGE
	WATER VALVE		TREE WITH SIZE AND TYPE
	WATER METER		ACACIA
	FIRE HYDRANT		CYPRESS
	HOSE BIB		OAK
	IRRIGATION CONTROL VALVE		PINE
	SANITARY SEWER LINE		REDWOOD
	SANITARY SEWER MANHOLE		TREE
	SANITARY SEWER CLEAN-OUT		SPOT ELEVATION
	STORM DRAIN		
	STORM DRAIN MANHOLE		
	AREA DRAIN		
	STORM DRAIN CATCH BASIN		
	ELECTRIC LINE		
	UTILITY POLE		
	GUY WIRE		
	UTILITY VALVE		
	UTILITY BOX		
	ELECTRIC METER		
	STREET LIGHT		
	LAMP POST		
	GAS LINE		
	GAS METER		
	PG&E VALVE		
	TELEPHONE LINE		
	TELEPHONE STANDARD		
	CABLE TELEVISION LINE		
	CABLE TELEVISION BOX		



BENCHMARK:

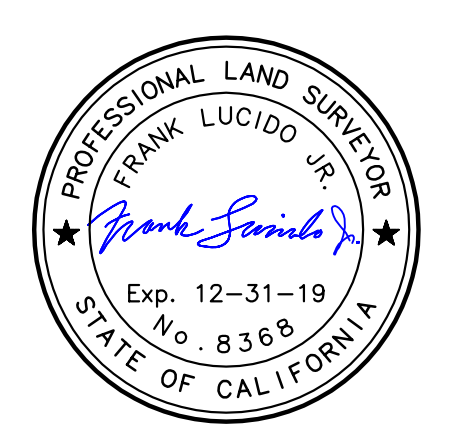
ELEVATIONS FOR THIS SURVEY ARE BASED ON AN ASSUMED DATUM. AN ELEVATION OF 50.0 HAS BEEN ASSIGNED TO A MAG NAIL & DISC SET IN THE PAVEMENT NEAR THE SOUTHWESTERLY CORNER OF THE SUBJECT PROPERTY (SAID BENCHMARK NOT SHOWN).

NOTES:

- BOUNDARY LOCATIONS SHOWN HEREON WERE DETERMINED WITH THE BENEFIT OF A FIELD SURVEY SUPPLEMENTED BY RECORD DATA. ALL BOUNDARY DATA SHOWN HEREON ARE FROM THE RECORDS, AND IS SHOWN APPROXIMATE ONLY - NOT FOR CONSTRUCTION. THIS IS NOT A BOUNDARY SURVEY.
- ENTITLEMENTS OR ENCUMBRANCES AFFECTING THIS PROPERTY MAY NOT NECESSARILY BE SHOWN.
- DISTANCES SHOWN ARE EXPRESSED IN FEET AND DECIMALS THEREOF.
- CONTOUR INTERVAL = ONE FOOT.
- TREE TYPES ARE INDICATED WHERE KNOWN. DIAMETERS OF TREES ARE SHOWN IN INCHES AND ARE APPROXIMATE ONLY, TO BE VERIFIED BY AN APPROVED ARBORIST PROVIDED BY OTHERS, PER AGREEMENT WITH THE SURVEYOR. TREES SMALLER THAN 6" IN DIAMETER MAY NOT BE NECESSARILY SHOWN. DIRECTION OF GROWTH AND DRIP LINE SHAPE TO BE VERIFIED BY OTHERS.
- POSITION AND DIMENSIONS (IF ANY) OF BUILDINGS, FENCES AND OTHER STRUCTURES ARE SHOWN HEREON APPROXIMATE ONLY DUE TO MEASUREMENT LIMITATIONS, IRREGULAR SHAPE OF BRICK FACING, POP-OUTS, BULL NOSE CORNERS, ETC.
- NOT ALL UTILITY BOXES AND/OR UTILITY STRUCTURES ARE SHOWN INCLUDING BUT NOT LIMITED TO HOSE BIBS AND IRRIGATION VALVES. ONLY THE VISIBLE UTILITY BOXES AND/OR UTILITY STRUCTURES THAT WERE CONSIDERED TO CONVEY THE GENERAL UTILITY CONDITIONS ARE SHOWN.
- THIS MAP CORRECTLY REPRESENTS A SURVEY PREPARED BY ME AND/OR UNDER MY DIRECTION, FROM FIELD DATA COLLECTED IN NOVEMBER OF 2018.

TOPOGRAPHIC SITE SURVEY

OF
 Lot 19 in Block 44
 per
 Volume 1 of Cities and Towns at Page 52
 Records of Monterey County
 PREPARED FOR
Cheryl Heyermann



BY
LUCIDO SURVEYORS
 Boundary and Construction Surveys · Topographic and Planimetric Mapping
 ALTA Surveys and GIS Database Management · Land Planning and Consulting
 2 Saucito Avenue info@lucidosurveyors.com
 DEL REY OAKS, CALIFORNIA 93940 (831) 620-5032

SCALE: 1"=10' PROJECT No. 2180 DECEMBER 2018
 CITY OF CARMEL COUNTY OF MONTEREY STATE OF CALIFORNIA

17.48.110 Protection of Trees During Construction.

For the purpose of safeguarding trees during construction, demolition or tree removal, the following conditions shall apply to all trees other than trees for which a removal permit has been issued:

A. Protection of Existing Trees.

1. Prior to the commencement of construction, demolition or tree removal, all trees on the building site shall be inventoried by the owner or contractor as to size, species and location on the lot, and the inventory shall be submitted on a topographical map to the Building Official. This condition may be waived by the Building Official for tree removal and minor demolition.

2. Damage to any tree during construction, demolition or tree removal shall be immediately reported by the person causing the damage, the responsible contractor or the owner to the City Forester, and the contractor and/or owner shall treat the tree for damage in the manner specified by the City Forester.

3. Oil, gasoline, chemicals and other construction materials shall not be stored within the dripline of any tree. All compaction of soils, construction of building walls, or placement of impermeable surfaces must be setback a minimum of six feet from all significant trees. Grading ruts and fills around significant trees shall be limited to areas outside the root projection zone identified by the City Forester in any preliminary site assessment (see Chapter [17.58](#) CMC, Design Review.) Drains shall be installed according to City specifications so as to avoid harm to trees due to excess watering or ponding. No wires, signs or other similar items shall be attached to trees. Cutting and filling around the base of trees shall be done only after consultation with the City Forester, and then only to the extent authorized by the City Forester. No paint thinner, paint, plaster or other liquid or solid excess or waste construction materials or wastewater shall be dumped on the ground or into any grate between the dripline and the base of the tree, or uphill from any tree where such substance might reach the roots through a leaching process.

4. The property owner/contractor shall erect protective barricades around all trees on a private building site. These barricades shall be in place prior to the start of any construction or demolition activities. Barricades shall be upright, two-inch by four-inch planks standing a minimum of eight feet vertically, conforming to the tree, tied with wire or rope forming a

maximum of one-inch space between the planks. If the tree's configuration or site conditions do not lend themselves to the installation of this type barricade, the City Forester will designate alternate tree protection methods. Under certain conditions where soil compaction is probable, fences may also be required around a tree or grouping of trees. The use of recycled lumber, synthetic lumber or similar materials approved by the City Forester for tree protection is encouraged.

5. Wherever cuts are made in the ground near the roots of trees, appropriate measures shall be taken to prevent exposed soil from drying out and causing damage to tree roots.

6. Trimming cuts shall conform to arboricultural standards and shall be made along the branch bark ridge.

7. Prior to the start of any construction or demolition activities, the property owner/contractor is required to spray or have a certified applicator spray the lower six feet of all pine tree trunks with a pesticide approved by the California Department of Food and Agriculture for the treatment of bark beetles.

8. The property owner is responsible for care of all trees that are to remain on the site. This includes the treatment of bark beetles as designated by the City Forester.

9. Failure to protect or maintain trees on construction/demolition sites is a violation of the municipal code and grounds for suspension of the building permit.

CITY OF CARMEL-BY-THE-SEA
PLANNING COMMISSION

PLANNING COMMISSION RESOLUTION NO. 2022-048-PC

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF CARMEL-BY-THE-SEA APPROVING DESIGN STUDY DS 21-243 (HEYERMANN) AND ASSOCIATED COASTAL DEVELOPMENT PERMIT FOR THE CONSTRUCTION OF AN 1,800-SQUARE-FOOT TWO-STORY RESIDENCE AND ASSOCIATED SITE IMPROVEMENTS LOCATED ON THE NORTHWEST CORNER OF CARPENTER STREET AND 5TH AVENUE IN THE SINGLE-FAMILY RESIDENTIAL (R-1) DISTRICT
APN 010-031-021

WHEREAS, Alan Lehman, Lehman Design Studio ("Applicant") submitted an application on behalf of Cheryl Heyermann requesting approval of a Track 2 Design Study application DS 21-243 (Heyermann) described herein as ("Application"); and

WHEREAS, the Application has been submitted for the property located on the northwest corner of Carpenter Street and 5th Avenue in the Single-Family Residential (R-1) Zoning District (Block 44, Lot 19); and

WHEREAS, the Applicant is requesting to construct a 1,800-square-foot two-story residence with an attached garage; and

WHEREAS, in accordance with Carmel Municipal Code (CMC) Section 17.58.040 (Residential Design Review), the construction of new dwellings requires approval of a Residential Track Two Design Study by the Planning Commission; and

WHEREAS, a Coastal Development Permit is also required in accordance with CMC 17.52.090 (Coastal Development Permit Required); and

WHEREAS, CMC Section 17.58.040.B requires a design concept review by the Planning Commission at a public hearing prior to consideration of the final details review for project approval; and

WHEREAS, on December 8, 2021, the Planning Commission held a duly noticed public hearing to receive public testimony regarding the Concept Design Study, including, without limitation, the information provided to the Planning Commission by City staff and through public testimony on the conceptual design of the project; and

WHEREAS, the Planning Commission continued the project and directed the applicant to make several design revisions; and

WHEREAS, on March 9, 2022, the Planning Commission held a duly noticed public hearing to receive public testimony regarding a revised Concept Design Study, including, without limitation,

the information provided to the Planning Commission by City staff and through public testimony on the conceptual design of the project; and

WHEREAS, at their March 9, 2022 hearing, the Planning Commission adopted Resolution 2022-008-PC accepting the revised concept design; and

WHEREAS, a notice of December 14, 2022, public hearing was published in the Carmel Pine Cone on December 2, 2022, in compliance with State law (California Government Code 65091), and mailed to owners of real property within a 300-foot radius of the project indicating the date and time of the public hearing; and

WHEREAS, on or before December 4, 2022, the Applicant posted the public notice on the project site and hand-delivered a copy of the public notice to each property within a 100-foot radius of the project site indicating the date and time of the public hearing; and

WHEREAS, on or before December 9, 2022, the meeting agenda was posted in three locations in compliance with State law indicating the date and time of the public hearing; and

WHEREAS, on December 14, 2022, the Planning Commission held a duly noticed public hearing to receive public testimony regarding the Final Design Study, including, without limitation, the information provided to the Planning Commission by City staff and through public testimony on the final design of the project; and

WHEREAS, this Resolution and its findings are made based upon the evidence presented to the Commission at the hearing date, including, without limitation, the staff report and attachments submitted by the Community Planning and Building Department; and

WHEREAS, the Planning Commission did hear and consider all said reports, attachments, recommendations, and testimony herein above set forth and used their independent judgment to evaluate the project; and

WHEREAS, the California Environmental Quality Act (California Public Resources Code §§ 21000, et seq., "CEQA"), together with State Guidelines (14 California Code Regulations §§ 15000, et seq., the "CEQA Guidelines") and City Environmental Regulations (CMC 17.60) require the review of certain projects for environmental impacts and preparation of environmental documents; and

WHEREAS, the Planning Commission finds that pursuant to CEQA regulations, the Application is categorically exempt under Section 15303 (Class 3) – New Construction or Conversion of Small Structures, and no exceptions to the exemption exist pursuant to section 15300.2 of the CEQA Guidelines; and

WHEREAS, the facts set forth in the recitals are true and correct and are incorporated herein by reference.

NOW, THEREFORE, BE IT RESOLVED that the Planning Commission of the City of Carmel-By-The-Sea does hereby make the following findings and determinations regarding the **Final Design Study**:

FINDINGS REQUIRED FOR DESIGN STUDY APPROVAL		
For each of the required findings listed below, the staff has indicated whether the application supports the adoption of the findings. For all findings checked "no," the staff report discusses the issues to facilitate the Planning Commission's decision-making. Findings checked "yes" may or may not be discussed in the report depending on the issues.		
CMC 17.64.080.A, Final Details Phase Approval	YES	NO
1. The proposed architectural style and detailing are simple and restrained in character, consistent and well-integrated throughout the building, and complementary to the neighborhood without appearing monotonous or repetitive in context with designs on nearby sites.	✓	
2. The proposed exterior materials and their application rely on natural materials, and the overall design will add to the variety and diversity along the streetscape.	✓	
3. Design elements such as stonework, skylights, windows, doors, chimneys, and garages are consistent with the adopted design guidelines and will complement the character of the structure and the neighborhood.	✓	
4. Proposed landscaping, paving treatments, fences, and walls are carefully designed to complement the urbanized forest, the approved site design, adjacent sites, and the public right-of-way. The design will reinforce a sense of visual continuity along the street.	✓	

NOW, THEREFORE, BE IT RESOLVED that the Planning Commission of the City of Carmel-By-The-Sea does hereby make the following findings and determinations regarding the **Coastal Development Permit**:

FINDINGS REQUIRED FOR COASTAL DEVELOPMENT PERMITS		
For each of the required findings listed below, the staff has indicated whether the application supports the adoption of the findings. For all findings checked "no," the staff report discusses the issues to facilitate the Planning Commission's decision-making. Findings checked "yes" may or may not be discussed in the report depending on the issues.		
CMC 17.64.010.B, Coastal Development Permits	YES	NO
1. The project, as described in the application and accompanying materials, as modified by any conditions of approval, conforms with the certified City of Carmel-by-the-Sea Local Coastal Program.	✓	
2. If the project is located between the first public road and the sea, the project conforms with the public access and recreation policies of Chapter 3 of the Coastal Act of 1976 (commencing with Sections 30200 of the Public Resources Code).	✓	

BE IT FURTHER RESOLVED that the Planning Commission of the City of Carmel-by-the-Sea does hereby APPROVE the Design Study application DS 21-243 (Heyermann) and associated Coastal Development Permit for the construction of a 1,800-square-foot two-story residence with attached garage located on the northwest corner of Carpenter Street and 5th Avenue in the Single-Family Residential (R-1) District (APN 010-031-021), subject to the following Conditions of Approval:

CONDITIONS OF APPROVAL		
No.	Standard Conditions	
1.	Authorization. Approval of Design Study application DS 21-243 (Heyermann) and associated Coastal Development Permit authorizes the construction of a 1,800-square-foot two-story residence with an attached garage on a vacant lot located on the northwest corner of Carpenter Street and 5 th Avenue in the Single-Family Residential (R-1) Zoning District as depicted in the plans prepared by Lehman Design Studio approved by the Planning Commission on December 14, 2022, stamped approved and on file in the Community Planning & Building Department unless modified by the conditions of approval contained herein.	✓
2.	Codes and Ordinances. The project shall be constructed in conformance with all requirements of the R-1 zoning district. All adopted building and fire codes shall be adhered to in preparing the working drawings. If any codes or ordinances require design elements to be changed, or if any other changes are requested when such plans are submitted, such changes may require additional environmental review and subsequent approval by the Planning Commission.	✓
3.	Permit Validity. This approval shall be valid for one year from the date of action unless an active building permit has been issued and maintained for the proposed construction.	✓
4.	Water Use. Approval of this application does not permit an increase in water use on the project site without adequate supply. Should the Monterey Peninsula Water Management District determine that sufficient water is not available for this site, this permit will be scheduled for reconsideration, and appropriate findings will be prepared for review and adoption by the Planning Commission.	✓
5.	Setback and Height Certifications. A State licensed surveyor shall survey and certify the following in writing: <ul style="list-style-type: none"> • The footing locations are in conformance with the approved plans prior to footing/foundation inspection; • The roof height and plate height are in conformance with the approved plans prior to the roof sheathing inspection. Written certifications prepared, sealed, and signed by the surveyor shall be provided prior to the footing/foundation inspection and the roof sheathing inspection. In the event that multiple footing/foundation pours are required, a survey letter shall be submitted for each separate section.	✓

6.	<p>Service Laterals. Prior to final inspection, all electrical service laterals to any new building or structure, or to any building or structure being remodeled when such remodeling requires the relocation or replacement of the main service equipment, shall be placed underground on the premises upon which the building or structure is located. Undergrounding will not be required when the project valuation is less than \$200,000, or the City Forester determines that undergrounding will damage or destroy significant trees(s) (CMC 15.36.020).</p>	✓
7.	<p>Fire Sprinklers - Residential. Additions, alterations, or repairs to existing structures that involve the addition, removal, or replacement of 50 percent or more of the linear length of the walls (interior and exterior) within a 5-year period shall require the installation of an automatic residential fire sprinkler system in accordance with the California Building and Fire Codes (CMC 15.08.135).</p>	✓
8.	<p>Modifications. The Applicant shall submit in writing, with revised plans, to the Community Planning and Building staff any proposed changes to the approved project plans prior to incorporating those changes. If the Applicant changes the project without first obtaining City approval, the Applicant will be required to submit the change in writing, with revised plans, within two weeks of the City being notified. A cease work order may be issued at any time at the discretion of the Director of Community Planning and Building until: a) either the Planning Commission or Staff has approved the change, or b) the property owner has eliminated the change and submitted the proposed change in writing, with revised plans, for review. The project will be reviewed for its compliance with the approved plans prior to the final inspection.</p>	✓
9.	<p>Exterior Revisions to Planning Approval Form. All proposed modifications that affect the exterior appearance of the building or site elements shall be submitted on the "Revisions to Planning Approval" form on file in the Community Planning and Building Department. Any modification incorporated into the construction drawings that are not listed on this form shall not be deemed approved upon issuance of a building permit.</p>	✓
10.	<p>Conflicts Between Planning Approvals and Construction Plans. It shall be the responsibility of the Owner, Applicant, and Contractor(s) to ensure consistency between the project plans approved by Planning Staff, the Planning Commission, or the City Council on appeal and the construction plans submitted to the Building Division as part of the Building Permit review. Where inconsistencies between the Planning approval and the construction plans exist, the Planning approval shall govern unless otherwise approved in writing by the Community Planning & Building Director or their designee.</p> <p>When changes or modifications to the project are proposed, the Applicant shall clearly list and highlight each proposed change and bring each change to the City's attention. Changes to the project that are incorporated into the construction drawings that were not clearly listed or identified as a proposed change shall not be considered an approved change. Should conflicts exist between the originally</p>	✓

	approved project plans and the issued construction drawings that were not explicitly identified as a proposed change, the plans approved as part of the Planning Department Review, including any Conditions of Approval, shall prevail.	
11.	<p>Exterior Lighting. Prior to the issuance of a building permit, the Applicant shall include in the construction drawings the manufacturer's specifications, including illumination information, for all exterior light fixtures. All fixtures shall be shielded and down-facing.</p> <p>Exterior wall-mounted lighting shall be limited to 25 watts or less (incandescent equivalent or 375 lumens) per fixture and shall be installed no higher than 10 feet above the ground or walking surface.</p> <p>Landscape lighting shall not exceed 18 inches above the ground nor more than 15 watts (incandescent equivalent or 225 lumens) per fixture and shall be spaced no closer than 10 feet apart. Landscape lighting shall not be used as accent lighting, nor shall it be used to illuminate trees, walls, or fences. The purpose of landscape lighting is to safely illuminate walkways and entrances to the subject property and outdoor living spaces.</p>	✓
12.	<p>Skylights & Skylight Shades. Prior to the issuance of a building permit, the Applicant shall include in the construction drawings the manufacturer's specifications for all skylights and skylight shades.</p> <p>Skylights shall be low-profile and use non-reflective glass to minimize the amount of light and glare visible from adjoining properties. Skylight flashing shall match the roof color.</p> <p>Manual or automatic shades shall be installed in each skylight to reduce visible light transmission during the hours of darkness.</p>	✓
13.	<p>Stone Facades (including chimneys). Prior to the issuance of a building permit, the Applicant shall clearly identify in the construction drawings the masonry pattern for all stonework.</p> <p>Stone facades shall be installed in a broken course/random or similar masonry pattern. Setting the stones vertically on their face in a cobweb pattern shall not be permitted. All stonework shall be wrapped around building corners and terminated at an inside corner or a logical stopping point that provides a finished appearance. Termination of stonework shall be subject to review and approval by the Community Planning & Building Director or their designee.</p>	✓
14.	<p>Aluminum-Clad Wood Frame Windows and Doors. Prior to the issuance of a building permit, the Applicant shall include the manufacturer's specifications for the aluminum-clad wood windows and doors. The window style shall be consistent with authentic wood windows and doors with divided lights that appear to be true divided light, including internal and external mullions and</p>	✓

	muntins on insulated windows. Any window pane dividers, which are snap-in or otherwise superficially applied, are not permitted. The painted finish shall be matte or low gloss.	
15.	Asphalt Shingle Roofing. Prior to the issuance of a building permit, the Applicant shall include the manufacturer's specifications for the approved asphalt shingle roofing. The material shall convey color and texture similar to that of wood shingles.	✓
16.	Indemnification. The Applicant agrees, at their sole expense, to defend, indemnify, and hold harmless the City, its public officials, officers, employees, and assigns from any liability; and shall reimburse the City for any expense incurred, resulting from, or in connection with any project approvals. This includes any appeal, claim, suit, or other legal proceedings to attack, set aside, void, or annul any project approval. The City shall promptly notify the Applicant of any legal proceeding and shall cooperate fully in the defense. The City may, at its sole discretion, participate in any such legal action, but participation shall not relieve the Applicant of any obligation under this condition. Should any party bring any legal action in connection with this project, the Superior Court of the County of Monterey, California, shall be the situs and have jurisdiction for the resolution of all such actions by the parties hereto.	✓
17.	Driveway. Prior to the issuance of a building permit, the Applicant shall clearly identify on the construction drawings the driveway material and asphalt connection to the paved street edge. The driveway material shall be extended beyond the property line into the public right-of-way to connect to the paved street edge. A minimal asphalt connection at the street edge may be required by the Superintendent of Streets or the Building Official, depending on site conditions, to accommodate the drainage flow line of the street. If the driveway material is proposed to be sand set, a dimensioned construction detail showing the base material shall be included in the construction drawings.	✓
18.	Hazardous Materials Waste Survey. Prior to the issuance of a demolition permit, the Applicant shall submit a hazardous materials waste survey to the Building Division in conformance with the Monterey Bay Unified Air Pollution Control District.	✓
19.	Archaeological Report. Prior to the issuance of a building permit, the Applicant shall submit an archaeological reconnaissance report prepared by a qualified archaeologist or another person(s) meeting the standards of the State Office of Historic Preservation. The Applicant shall adhere to any recommendations set forth in the archaeological report. All new construction involving excavation shall immediately cease if materials of archaeological significance are discovered on the site and shall not be permitted to recommence until a mitigation and monitoring plan is approved by the Planning Commission.	✓
20.	Cultural Resources. Throughout construction, all activities involving excavation shall immediately cease if cultural resources are discovered on the site, and the Applicant shall notify the Community Planning & Building Department within 24	✓

	hours. Work shall not be permitted to recommence until such resources are properly evaluated for significance by a qualified archaeologist. If the resources are determined to be significant, prior to the resumption of work, a mitigation and monitoring plan shall be prepared by a qualified archaeologist and reviewed and approved by the Community Planning and Building Director. In addition, if human remains are unearthed during the excavation, no further disturbance shall occur until the County Coroner has made the necessary findings regarding origin and distribution pursuant to California Public Resources Code (PRC) Section 5097.98.	
21.	Truck Haul Route. Prior to the issuance of a building permit, the Applicant shall submit for review and approval by the Community Planning & Building Director, in consultation with the Public Works and Public Safety Departments, a truck-haul route and any necessary traffic control measures for the grading activities. The Applicant shall ensure adherence to the truck-haul route and implementation of any required traffic control measures.	✓
22.	USA North 811. Prior to any excavation or digging, the Applicant shall contact the appropriate regional notification center (USA North 811) at least two working days, but not more than 14 calendar days, prior to commencing that excavation or digging. No digging or excavation is authorized to occur on-site until the Applicant has obtained a Ticket Number and all utility members have positively responded to the dig request. (Visit USANorth811.org for more information)	✓
23.	Conditions of Approval. Prior to the issuance of a building permit, the Applicant shall print a copy of the Resolution adopted by the Planning Commission and signed by the property owner(s) on a full-size sheet within the construction plan set submitted to the Building Safety Division.	✓
Landscape Conditions		
24.	Landscape Plan Required. Prior to the issuance of a building permit, the Applicant shall submit a landscape plan for review and approval by the Community Planning & Building Department and the City Forester. The landscape plan shall be included in the construction drawings and will be reviewed for compliance with the landscaping standards contained in the Zoning Code, including, but not limited to, the following: 1) All new landscaping shall be 75% drought-tolerant; 2) Landscaped areas shall be irrigated by a drip/sprinkler system set on a timer; and 3) The project shall meet the City's recommended tree density standards unless otherwise approved by the City based on on-site conditions. The landscape plan shall identify the location where new trees will be planted when new trees are required to be planted by the City code, the Forest and Beach Commission, or the Planning Commission.	✓

25.	<p>Tree Planting Requirements. Prior to issuance of a building permit, the Applicant shall identify on the landscape plan the location, size, and species of required tree plantings. All new trees shall be installed prior to the final inspection. Trees shall be recorded and monitored for at least five years to ensure their establishment and growth to maturity. Trees that do not survive or are removed shall be replaced with new trees that are equivalent in size to the measured or projected growth of the original trees and shall be planted in the same location unless otherwise directed by the City Forester or Forest & Beach Commission.</p>	✓
26.	<p>Tree Removal Prohibited. Throughout construction, the Applicant shall protect all trees identified for preservation by methods approved by the City Forester. Trees on or adjacent to the site shall only be removed upon the approval of the City Forester or Forest and Beach Commission.</p>	✓
27.	<p>Tree Protection Measures. Requirements for tree preservation shall adhere to the following tree protection measures on the construction site.</p> <ul style="list-style-type: none"> ● Prior to grading, excavation, or construction, the developer shall clearly tag or mark all trees to be preserved. ● Excavation within 6 feet of a tree trunk is not permitted. ● No attachments or wires of any kind, other than those of a protective nature, shall be attached to any tree. ● Per Municipal Code Chapter 17.48.110, no material may be stored within the dripline of a protected tree, including the drip lines of trees on neighboring parcels. ● Tree Protection Zone -- The Tree Protection Zone shall be equal to dripline or 18 inches radially from the tree for every one inch of trunk diameter at 4.5 feet above the soil line, whichever is greater. Unless otherwise approved by the City Forester, a minimum of 4-foot-high transparent fencing is required. Tree protection shall not be resized, modified, removed, or altered in any manner without written approval. The fencing must be maintained upright and taught for the duration of the project. No more than 4 inches of wood mulch shall be installed within the Tree Protection Zone. When the Tree Protection Zone is at or within the drip line, no less than 6 inches of wood mulch shall be installed 18 inches radially from the tree for every one inch of trunk diameter at 4.5 feet above the soil line outside of the fencing. ● The Structural Root Zone -- Structural Root Zone shall be 6 feet from the trunk or 6 inches radially from the tree for every one inch of trunk diameter at 4.5' above the soil line, whichever is greater. The City Forester shall approve any excavation or changes to the grade prior to work. Excavation within the Structural Root Zone shall be performed with a pneumatic excavator, hydro-vac at low pressure, or another method that does not sever roots. ● If roots greater than 2 inches in diameter or larger are encountered within the approved Structural Root Zone, the City Forester shall be 	✓

	<p>contacted for approval to make any root cuts or alterations to structures to prevent roots from being damaged.</p> <ul style="list-style-type: none"> If roots larger than 2 inches in diameter are cut without prior City Forester approval or any significant tree is endangered as a result of construction activity, the building permit will be suspended, and all work stopped until an investigation by the City Forester has been completed, and mitigation measures have been put in place. 	
28.	<p>Foundation Work Near Significant Trees. All foundations within 15 feet of significant trees shall be excavated by hand. If any tree roots larger than two inches (2”) are encountered during construction, the City Forester shall be contacted before cutting the roots. The City Forester may require the roots to be bridged or may authorize the roots to be cut. If roots larger than two inches (2”) in diameter are cut without prior City Forester approval or any significant tree is endangered as a result of construction activity, the building permit will be suspended and all work stopped until an investigation by the City Forester has been completed. Six inches (6”) of mulch shall be evenly spread across the inside the dripline of all trees prior to the issuance of a building permit.</p>	✓
ENVIRONMENTAL COMPLIANCE CONDITIONS		
29.	<p>Drainage Plan. Prior to the issuance of a building permit, the Applicant shall submit for review and approval by the Community Planning & Building and Public Works Departments a drainage plan that meets the requirements of the City's drainage guidance, SOG 17-07. At a minimum, new and replaced impervious area drainage must be dispersed around the site rather than focused on one corner of the property, infiltration features must be sized appropriately and must be located at least 6 feet from neighboring properties. The drainage plan shall include information on drainage from new impervious areas and semi-pervious areas.</p>	✓
30.	<p>BMP Tracking Form. Prior to issuance of a building permit, the Applicant shall submit for review and approval by the Community Planning & Building and Public Works Departments a completed BMP Tracking form.</p>	✓
31.	<p>Semi-Permeable Surfaces. Prior to issuance of a building permit, the Applicant shall submit for review and approval by the Community Planning & Building and Public Works Departments cross-section details for all semi-permeable surfaces.</p>	✓
32.	<p>Erosion and Sediment Control Plan. Prior to issuance of a building permit, the Applicant shall submit for review and approval by the Community Planning & Building and Public Works Departments an erosion and sediment control plan that includes locations and installation details for erosion and sediment control BMPs, material staging areas, and stabilized access.</p>	✓
33.	<p>Erosion Control in the Right-of-Way. Prior to issuance of a building permit, the Applicant shall identify on the landscape plan any natural slope within the right-of-way immediately adjacent to the property where parking is not practical. Jute netting and a drought-tolerant ground cover shall be installed to manage post-construction erosion control. Plants installed within the drip line of trees shall be selected from the City's "List of Compatible Plants Under and Around Native</p>	✓

	Trees” located in the Forest Management Plan. The Public Works Director, or their designee, may waive this requirement.	
SPECIAL CONDITIONS		
34.	Pre-Construction Meeting. Prior to the issuance of a building permit, the contractor overseeing the project shall schedule a pre-construction meeting with the <u>Project Planner</u> to review the conditions of approval and expectations during construction.	✓
35.	Condition of Approval Acknowledgement. Prior to the issuance of a building permit, the Applicant shall include a signed copy of the Condition of Approval Acknowledgment form in the construction drawings. The Condition of Approval Acknowledgment form, available from the Community Planning and Building Department, shall be signed by ALL parties prior to the issuance of a building permit.	✓
36.	Required Tree Plantings: Location. Prior to the issuance of a building permit, the applicant shall submit a final landscape plan for review and approval by the Planning Division and City Forester, identifying an alternate location for the upper canopy tree that is not under existing power lines. The maximum mature height of a lower canopy tree under power lines shall not exceed 25 feet. The final location of required tree plantings is at the discretion of the City Forester.	✓
37.	Required Tree Plantings: One Upper & One Lower Canopy Tree. Prior to the issuance of a building permit, the applicant shall submit a final landscape plan for review and approval by the Planning Division and City Forester, showing the required tree plantings to be a minimum size of 15 gallons.	✓

Acknowledgment and acceptance of conditions of approval.

<p>DocuSigned by:  <small>3A11620789834AD...</small></p>	 <p>Cheryl Heyermann</p>	<p>6/25/2023</p>
Property Owner Signature	Printed Name	Date

PASSED, APPROVED, AND ADOPTED BY THE PLANNING COMMISSION OF THE CITY OF CARMEL-BY-THE-SEA this 14th day of December 2022, by the following vote:

AYES: BOLTON, DELVES, LEPAGE

NOES:

ABSENT: LOCKE

ABSTAIN: ALLEN

APPROVED:

ATTEST:

DocuSigned by:

4FF97D7E0A3D499...
Michael LePage
Chair

DocuSigned by:

2960DA9BEC1C495...
Leah Young
Planning Commission Secretary

City of Carmel
Carpenter Street and 5th Avenue
Assessment and Appraisal of Five Trees

SUBMITTED TO:

Justin Ono
City of Carmel

PREPARED BY:

Leonardo Tuchman
Plant Health Care Arborist



ISA Board Certified Master Arborist WE-
12453B
ASCA Registered Consulting Arborist #771
ISA Tree Risk Assessment Qualified
California DPR QAL #146294

SEPTEMBER 20TH, 2024



Contents

Summary 1

Introduction..... 1

Background and History..... 1

Assignment..... 1

Limits of the Assignment..... 1

Purpose and Use of the Report..... 2

Observations..... 2

Site Description 2

Tree Condition 2

Site Condition..... 4

Impact Assessment..... 4

Appraisal Methodology..... 5

Appraisal Charts 8

Tree Condition Ratings Table..... 14

Bibliography..... 15

Appendix A Map..... 15

Appendix B Images 16

Appendix C Assumptions and Limiting Conditions..... 21

Appendix D Certificate of Performance 22

Summary

West Coast Arborist Inc. (WCA) was contacted by the City of Carmel regarding the assessment and appraisal of five trees, four coast live oak (*Quercus agrifolia*) and one coast redwood (*Sequoia sempervirens*). The trees were located on a lot being developed for residential use at the corner of Carpenter Street and 5th Avenue. Overall, I concluded that the trees have been significantly impacted by construction activity, reducing their appraised value.

Introduction

Background and History

The request made by Justin Ono via email was used to create West Coast Arborist, Inc. (WCA) Proposal #92069 to give the City the cost for this assignment.

The City of Carmel requested the impact assessment and appraisal be conducted due to recent construction that took place near the subject trees. Excavation work was done in close proximity to the trees' during construction of a new residential home on the lot the subject trees are growing on and are adjacent to. As such, this assessment and appraisal was asked to be conducted in order to determine the value of the trees pre and post construction damage. Currently, a stop work order is in place to prevent any further construction activity that could cause damage to the trees.

Assignment

The assignment per the Scope of Work provided by Justin Ono is to provide an impact assessment of the subject trees that describes the damage that has taken place due to construction activity. Additionally, it was requested that an appraisal be done to assign a value to the trees prior to construction damage, as well as a value after construction damage. The deliverable is this report which is a summary of the assessment and appraisal with images.

Limits of the Assignment

The assignment, being a visual inspection of the subject trees, was limited to that which could be observed from the ground. Only exposed or easily exposed parts above ground level were inspected.

Subsurface soil conditions and tree parts below ground were not disturbed or observed. No testing of soil or plant tissue for fertility or nutrient deficiency was requested. The report is not intended to be legal advice and does not represent legal advice as such.

An additional limit to this assignment is that only the trees and their immediate surroundings within and around the dripline of the trees were visually observed as part of the observations in that section of this report.

The trees had tree protective slats wrapped around their trunks, preventing me from taking accurate trunk measurements during my visit. As such, trunk diameters were based off of the Significant Tree Evaluation Worksheet in the Preliminary Site Assessment Report provided by Justin Ono.

Pre-construction appraisal is based off of onsite observations, as well as provided photographs and Google Streetview images. The trees were not directly observed by the arborist prior to construction activity taking place.

Purpose and Use of the Report

The purpose of this report is to provide City of Carmel staff with my professional evaluation and appraised value of the trees based on Council of Tree and Landscape Appraisers 10th Edition Guide for Plant Appraisal.

Observations

To provide City of Carmel with information to make decisions about the trees I offer these observations.

Site Description

The site consists of a residential lot at the northwest corner of Carpenter Street and 5th Avenue. Neighboring properties are present on the north and west sides of this property. Construction is taking place to build a home here. Prior to construction, this was a vacant lot with trees and ground cover present.

Tree Condition

Coast redwood #1 (Photos 1-3)

- Trunk diameter is 11.5 inches.
- Tree is growing on the north perimeter of the lot. It is in close proximity to the neighboring property to its north.

- It has good form and structure with a healthy canopy overall. Some minor browning foliage is present in the tree canopy.
- Some lower canopy limbs have been removed recently.
- Soil and roots have been removed by excavation activity on the south and east sides of the tree. On the south side of the tree, it has been removed up to 3.5 feet from the base of the tree, and on the east side it has been removed up to 4.5 feet from the base of the tree.

Coast live oak #2 (Photos 4-6)

- Three codominant leaders are growing from the base of the tree. Trunk diameter is calculated to be 24.5 inches.
- Tree is growing outside the subject property on the northern neighbor's property. The canopy overhangs into the subject property.
- Southern codominant leader is leaning significantly into the subject property. The different leaders are crowding one another.
- Foliage is sparse throughout the canopy, however the foliage that is present is healthy.
- Hardscape is present on the north side of the tree.
- Soil and roots have been removed by excavation activity on the south side of the tree, 6-feet away from the tree base.

Coast live oak #3 (Photos 7-9)

- Trunk diameter is 11.5 inches.
- Tree has a major eastward lean and is crowded by nearby coast live oak #2.
- Healthy foliage is present in the canopy; however, foliage is beginning to brown.
- Main scaffold limb has suffered severe mechanical damage. This wound is causing the browning foliage as this section of the tree is dying. Due to this damage, the tree will lose almost all of its foliage when this limb fully dies.
- Soil and roots have been removed by excavation activity on the south side of the tree, 3.5-feet away from the tree base.

Coast live oak #4 (Photos 10-12)

- Trunk diameter is 7.5 inches.
- Subject tree is growing just outside the perimeter fencing and is considered a City of Carmel tree.
- Healthy dense foliage is present throughout the canopy with very minor necrotic foliage present.
- Tree has a single trunk that branches into codominant attachments at 6.5-feet.
- Soil and roots have been removed by excavation activity on the west side of the tree, 6-feet away from the tree base.

Coast live oak #5 (Photos 13-15)

- Codominant trunks are growing from the tree base at 3-feet. Trunk diameter is calculated to be 19-inches.
- Eastside upper canopy limb has suffered mechanical damage and will likely require removal.
- Healthy foliage is present in the canopy; however, it is somewhat sparse.
- Included bark is present at some branch attachments.
- Excavation activity has taken place at least 4-feet from the tree base on the east side of the tree, however due to backfill present in this area the full extent of excavation activity around this tree is unknown.
- Root damage has occurred on the west and north sides of the tree. Roots up to 3-inches in diameter were torn, with chunks of roots still present on site.
- Backfill soil has been placed on top of the subject tree's root zone.

Site Condition

No irrigation appears present on site. Trees are partially protected from the wind by one another, as well as other trees on site and nearby homes. Excavation activity has removed a significant amount of soil from the project area. Torn roots can be seen around the perimeter of the excavated area.

Impact Assessment

Impacts were assessed based on my visual inspection of the subject property during the site visit. Extensive excavation has taken place throughout the property for construction of the house. This excavation ranges between 3.5 – 6 feet from the base of the subject trees. This activity has significantly impacted the root systems of the trees on site.

Prior to construction, this was a vacant lot with only the trees, shrubs, and ground cover present in this area. Roots did not have any conflict with hardscape other than that on the neighboring properties and streets. As such, roots likely grew extensively in the lot area. This is reflected in the numerous torn roots found on the perimeter of the excavated area. By excavating this area, the root systems of the subject trees have been reduced to varying degrees depending on the size and location of trees. Tree #4 which is smaller and farther from excavation activity was less impacted than larger trees that are closer, such as trees #1, 2, and 5.

Severing these roots impacts the trees in a variety of ways. First, severing these roots reduces the trees' abilities to take up water and nutrients from the soil. Fewer and smaller roots mean there is less surface area for water and nutrients to be absorbed. Furthermore, with a house going on the

lot, the amount of landscape area that the trees can grow into will be significantly reduced. Additionally, severing all these roots can open the trees up to infection from pathogens. Severed roots become wounds that are open to the air and soil, where bacteria, fungi, and viruses can enter the woody tissue of the trees. This can have long-term negative health impacts on the trees as once these pathogens are in their hosts, they are often times impossible to remove from the trees. Excavation activity could have structurally impacted the trees as well. The largest root found on site was a severed 3-inch root by tree #5. While one severed root is not enough to compromise the structure of the tree, because I was not on-site during excavation activity, the full extent of damage to large roots is unknown. Should multiple large roots have been severed from the trees on site, the trees may have had their structure and stability negatively impacted.

Areas on site that were not excavated may have also been impacted by construction activity. Heavy equipment moving around can compact the soil with its weight. Compacted soil is not good for tree health and development for multiple reasons. Compacted soil is more difficult for water to penetrate and percolate through. This can limit the amount of water that is available for trees to take up. Furthermore, tree roots have a more difficult time growing into and expanding in compacted soil. As such, root development in areas that are compacted may be stunted.

Appraisal Methodology

Each tree was appraised two times, once based on approximated tree conditions prior to construction activity, and a second time based on current tree and site conditions. This is to allow the City of Carmel to compare the pre and post construction impact appraisal values. This technique is limited as I am not able to directly observe site and tree conditions prior to construction activity outside of provided photographs and Google Streetview.

The approach taken for appraising the subject trees was the cost approach. Because they are bigger than the largest commonly available transplantable tree, I deemed it appropriate to use an extrapolation formula to appraise the cost of procuring them. One of the reproduction cost method techniques provided in *The Guide for Plant Appraisal 10th Edition* is the Trunk Formula Technique of appraisal, abbreviated here:

Trunk Formula Technique's theory is to scale up the cost of the largest commonly available nursery tree relative to the total cross-sectional area of the tree trunk. The unit cost per square inch of nursery stock is calculated for the Largest Commonly Available Nursery Tree (LCANT), and it is multiplied by the cross-sectional area of the subject tree being appraised. This is the basic reproduction cost of the tree. It represents the cost to reproduce a defect-free copy of the tree with one of the same size and species.

After calculating the basic cost of the tree, depreciating factors may be introduced. Since hand-selected nursery stock is, in theory, the best quality, the basic cost may be adjusted downward by a Condition rating to reflect any defects in health, structure, and form. The Condition rating is a

subjective rating between 0% and 100% as determined by the appraising arborist. Guidance is given as a framework for general ratings in Table 4.1 of the Guide for Plant Appraisal 10th Edition, Second Printing (CTLA 2019, p. 44). Functional Limitations reflect the features of the tree/site interaction that restrict or constrain growth or function due to poor placement or size. External Limitations reflect restrictions to the tree involving legal, biological, or environmental conditions external to the property (CTLA 2019, p. 9). Functional Limitations and External Limitations are also subjective ratings ranging between 0% and 100% as determined by the appraising arborist.

The final appraised Trunk Formula Technique Reproduction Cost of the tree is the product of the total cross-sectional area, the unit cost of trunk area, and the three depreciating factors: Condition, Functional Limitations, and External Limitations. Finally, any associated additional costs can be added to the results to arrive at the depreciated replacement cost using the Trunk Formula Technique.

Trunk Area – The diameter of trunks is conventionally taken at 4.5 feet above natural grade (some exceptions). If the subject tree has multiple trunks, the diameter of each individual trunk is measured. The cross-sectional area (A) is calculated by the formula $A = \pi/4 d^2$. Then the cross-sectional area of each trunk is added together to arrive at the total trunk cross-sectional area. Cross-sectional area was derived from trunk diameters provided by the City of Carmel.

Unit Cost – This is the theoretical cost of producing one square inch of trunk cross-sectional area. It is the basis for extrapolation in the Trunk Formula Technique of appraisal. It's calculated by determining the size and median wholesale nursery price of the LCANT followed by dividing the median price by the cross-sectional area of the LCANT (See a-d below for unit cost details).

- a) Determining the size of the LCANT - The Guide for Plant Appraisal 10th (pg. 146) provides data supporting a conclusion that the LCANT for the West Coast is a 24" box which is the size selected for this appraisal report.
- b) Obtaining Wholesale Nursery Prices of the LCANT – Several reputable local nurseries were queried to obtain median tree prices.
- c) Calculate the Trunk Cross-Sectional Area of the LCANT – In the western U.S., trees are sold by container size, not trunk size. The caliper sizes of the nursery stock trees were obtained from the above-mentioned nurseries in order to obtain a median nursery tree diameter.
- d) Divide the Median Price by the Cross-sectional Area – I divide the median LCANT price by the cross-sectional area of the LCANT to calculate the unit cost for each tree which is expressed as dollars per square inch of cross-sectional area.

Condition Rating – This has three subcomponents: health, structure, and form. Health rates the attributes that limit the ability of the tree to undergo the processes of photosynthesis, including attributes of the vascular system, leaf density, wound closure, insect infestation, and abiotic disorders. Structure is the tree's ability to support itself from falling or breaking apart. Form describes the tree's habit, shape, or silhouette as it develops from the interaction between the tree's genetics, site, and management. The three subcomponents are subjectively rated on a scale

from 0% to 100% by the appraising arborist. Since some attributes hold greater relevance in determining the condition of a tree than other attributes, the arborist is given further discretion to assign a relative weighting of importance to each of these three factors. One example is if a tree had excellent form and structure (100%) but was dead (0% health) then a 67% average of the three would indicate the tree was in good condition even though it was dead. The process of computing the overall condition rating should be thoughtful and credible, not arbitrary and mechanical.

The condition of all subject trees ranged from poor to good, however prior to construction impacts some trees on site were rated as being in excellent condition. While healthy foliage is present in all tree canopies, some had sparse rather than dense foliage. Mechanical damage to trees #3 significantly impacted the amount of healthy foliage in the tree's canopy, while tree #5 was also impacted by mechanical damage though less severely. Excavation activity has significantly impacted the root systems of the subject trees, though some trees are more severely impacted by this activity than others depending on their size and location.

Functional Limitations - Functional limitations reflect the restriction on tree growth or intended use in the landscape based on the interactions of site and species. The wrong tree for the site, fruit, excess shading, failure pattern, thorns, water incompatibilities, utilities, and root conflicts are all examples of functional limitations.

Prior to construction, functional limitations for the subject trees include the powerlines overhead along the streetside perimeters of the property, as well as the neighboring house north of the subject property. Post-construction, the pre-construction functional limitations will still be in place, as well as those created by the newly constructed house limiting the amount of landscape area and increasing the amount of hardscape onsite.

External Limitations –External limitations are the restrictions on tree growth or intended use with respect to attributes outside of the control of the property owner. Known fatal pests, drought restrictions, invasive species status, and utility easement conflict are all examples of external limitations.

No external limitations were identified.

Additional Costs – Basic or depreciated costs may be added to the appraisal to account for associated costs such as tree removal, LCANT installation, site preparation, irrigation, structural pruning, pest management, and/or otherwise restoring the tree landscape to pre-damage conditions.



Appraisal Charts

Coast redwood #1

Pre-Construction Appraisal

Species	<i>Sequoia sempervirens</i> (Coast redwood)
Trunk Diameter (inches)	11.5 in.
Trunk Area in Square Inches (A x A x 0.7854)	103.87 sq. in.
Unit Tree Cost (Based on local pricing)	\$30 / sq in.
Basic Tree Cost (B x C)	\$3,116.10
Health Rating	90%
Structure Rating	95%
Form Rating	80%
Condition Rating (Average of E,F,&G)	88%
Functional Limitations Rating	75%
External Limitations Rating	100%
Depreciated Cost (D x H x I x J)	\$2,056.63
Additional Cost #1 Removal & Stump Grinding @ \$55 per inch DSH	\$632.50
Additional Cost #2	\$0.00
Additional Cost #3	\$0.00
Final Appraised Cost Solution (K+L+M+N Rounded to nearest \$100 if over \$5,000 or nearest \$10 if less)	\$2,689.13

Post-Construction Appraisal

Species	<i>Sequoia sempervirens</i> (Coast redwood)
Trunk Diameter (inches)	11.5 in.
Trunk Area in Square Inches (A x A x 0.7854)	103.87 sq. in.
Unit Tree Cost (Based on local pricing)	\$30 / sq in.
Basic Tree Cost (B x C)	\$3,116.10
Health Rating	45%
Structure Rating	95%
Form Rating	80%
Condition Rating (Average of E,F,&G)	73%
Functional Limitations Rating	35%
External Limitations Rating	100%
Depreciated Cost (D x H x I x J)	\$796.16
Additional Cost #1 Removal & Stump Grinding @ \$55 per inch DSH	\$632.50
Additional Cost #2	\$0.00
Additional Cost #3	\$0.00
Final Appraised Cost Solution (K+L+M+N Rounded to nearest \$100 if over \$5,000 or nearest \$10 if less)	\$1,428.66

Scientific Name	Container Size	Nursery Price 1 and Caliper Size	Nursery Price 2 and Caliper size	Nursery Price 3 and Caliper Size	Median Price per unit (wholesale)	Median Caliper Size	Unit Cost by Trunk Area (\$/in squared)
<i>Sequoia sempervirens</i>	24" box	\$145.00 and 2.5"	\$195.00 and 3.5"	\$163.00 and 2"	\$167.70	2.67"	\$30.00



Coast live oak #2

Pre-Construction Appraisal

Species	<i>Quercus agrifolia</i> (Coast live oak)
Trunk Diameter (inches)	24.5 in.
Trunk Area in Square Inches (A x A x 0.7854)	471.44 sq. in.
Unit Tree Cost (Based on local pricing)	\$36.15 / sq in.
Basic Tree Cost (B x C)	\$17,042.56
Health Rating	80%
Structure Rating	80%
Form Rating	70%
Condition Rating (Average of E,F.&G)	77%
Functional Limitations Rating	70%
External Limitations Rating	100%
Depreciated Cost (D x H x I x J)	\$9,185.94
Additional Cost #1 Removal & Stump Grinding @ \$55 per inch DSH	\$1,347.50
Additional Cost #2	\$0.00
Additional Cost #3	\$0.00
Final Appraised Cost Solution (K+L+M+N Rounded to nearest \$100 if over \$5,000 or nearest \$10 if less)	\$10,533.44

Post-Construction Appraisal

Species	<i>Quercus agrifolia</i> (Coast live oak)
Trunk Diameter (inches)	24.5 in.
Trunk Area in Square Inches (A x A x 0.7854)	471.44 sq. in.
Unit Tree Cost (Based on local pricing)	\$36.15 / sq in.
Basic Tree Cost (B x C)	\$17,042.56
Health Rating	45%
Structure Rating	80%
Form Rating	70%
Condition Rating (Average of E,F.&G)	65%
Functional Limitations Rating	45%
External Limitations Rating	100%
Depreciated Cost (D x H x I x J)	\$4,984.95
Additional Cost #1 Removal & Stump Grinding @ \$55 per inch DSH	\$1,347.50
Additional Cost #2	\$0.00
Additional Cost #3	\$0.00
Final Appraised Cost Solution (K+L+M+N Rounded to nearest \$100 if over \$5,000 or nearest \$10 if less)	\$6,332.45

Scientific Name	Container Size	Nursery Price 1 and Caliper Size	Nursery Price 2 and Caliper size	Nursery Price 3 and Caliper Size	Median Price per unit (wholesale)	Median Caliper Size	Unit Cost by Trunk Area (\$/in squared)
<i>Quercus agrifolia</i>	24" box	\$205.00 and 2.875"	\$133.90 and 2.5"	\$160.00 and 1.875"	\$166.30	2.42"	\$36.15



Coast live oak #3

Pre-Construction Appraisal

Species	<i>Quercus agrifolia</i> (Coast live oak)
Trunk Diameter (inches)	11.5 in.
Trunk Area in Square Inches (A x A x 0.7854)	103.87 sq. in.
Unit Tree Cost (Based on local pricing)	\$36.15 / sq in.
Basic Tree Cost (B x C)	\$3,754.90
Health Rating	90%
Structure Rating	70%
Form Rating	40%
Condition Rating (Average of E,F,&G)	67%
Functional Limitations Rating	80%
External Limitations Rating	100%
Depreciated Cost (D x H x I x J)	\$2,012.63
Additional Cost #1 Removal & Stump Grinding @ \$55 per inch DSH	\$632.50
Additional Cost #2	\$0.00
Additional Cost #3	\$0.00
Final Appraised Cost Solution (K+L+M+N Rounded to nearest \$100 if over \$5,000 or nearest \$10 if less)	\$2,645.13

Post-Construction Appraisal

Species	<i>Quercus agrifolia</i> (Coast live oak)
Trunk Diameter (inches)	11.5 in.
Trunk Area in Square Inches (A x A x 0.7854)	103.87 sq. in.
Unit Tree Cost (Based on local pricing)	\$36.15 / sq in.
Basic Tree Cost (B x C)	\$3,754.90
Health Rating	15%
Structure Rating	40%
Form Rating	40%
Condition Rating (Average of E,F,&G)	32%
Functional Limitations Rating	35%
External Limitations Rating	100%
Depreciated Cost (D x H x I x J)	\$420.55
Additional Cost #1 Removal & Stump Grinding @ \$55 per inch DSH	\$632.50
Additional Cost #2	\$0.00
Additional Cost #3	\$0.00
Final Appraised Cost Solution (K+L+M+N Rounded to nearest \$100 if over \$5,000 or nearest \$10 if less)	\$1,053.05

Scientific Name	Container Size	Nursery Price 1 and Caliper Size	Nursery Price 2 and Caliper size	Nursery Price 3 and Caliper Size	Median Price per unit (wholesale)	Median Caliper Size	Unit Cost by Trunk Area (\$/in squared)
<i>Quercus agrifolia</i>	24" box	\$205.00 and 2.875"	\$133.90 and 2.5"	\$160.00 and 1.875"	\$166.30	2.42"	\$36.15



Coast live oak #4

Pre-Construction Appraisal

Species	<i>Quercus agrifolia</i> (Coast live oak)
Trunk Diameter (inches)	7.5 in.
Trunk Area in Square Inches (A x A x 0.7854)	44.18 sq. in.
Unit Tree Cost (Based on local pricing)	\$36.15 / sq in.
Basic Tree Cost (B x C)	\$1,597.11
Health Rating	95%
Structure Rating	75%
Form Rating	90%
Condition Rating (Average of E,F.&G)	87%
Functional Limitations Rating	90%
External Limitations Rating	100%
Depreciated Cost (D x H x I x J)	\$1,250.54
Additional Cost #1 Removal & Stump Grinding @ \$55 per inch DSH	\$412.50
Additional Cost #2	\$0.00
Additional Cost #3	\$0.00
Final Appraised Cost Solution (K+L+M+N Rounded to nearest \$100 if over \$5,000 or nearest \$10 if less)	\$1,663.04

Post-Construction Appraisal

Species	<i>Quercus agrifolia</i> (Coast live oak)
Trunk Diameter (inches)	7.5 in.
Trunk Area in Square Inches (A x A x 0.7854)	44.18 sq. in.
Unit Tree Cost (Based on local pricing)	\$36.15 / sq in.
Basic Tree Cost (B x C)	\$1,597.11
Health Rating	70%
Structure Rating	75%
Form Rating	90%
Condition Rating (Average of E,F.&G)	78%
Functional Limitations Rating	75%
External Limitations Rating	100%
Depreciated Cost (D x H x I x J)	\$934.31
Additional Cost #1 Removal & Stump Grinding @ \$55 per inch DSH	\$412.50
Additional Cost #2	\$0.00
Additional Cost #3	\$0.00
Final Appraised Cost Solution (K+L+M+N Rounded to nearest \$100 if over \$5,000 or nearest \$10 if less)	\$1,310.87

Scientific Name	Container Size	Nursery Price 1 and Caliper Size	Nursery Price 2 and Caliper size	Nursery Price 3 and Caliper Size	Median Price per unit (wholesale)	Median Caliper Size	Unit Cost by Trunk Area (\$/in squared)
<i>Quercus agrifolia</i>	24" box	\$205.00 and 2.875"	\$133.90 and 2.5"	\$160.00 and 1.875"	\$166.30	2.42"	\$36.15



Coast live oak #5

Pre-Construction Appraisal

Post-Construction Appraisal

Species	<i>Quercus agrifolia</i> (Coast live oak)
Trunk Diameter (inches)	19 in.
Trunk Area in Square Inches (A x A x 0.7854)	298.65 sq. in.
Unit Tree Cost (Based on local pricing)	\$36.15 / sq in.
Basic Tree Cost (B x C)	\$10,796.20
Health Rating	80%
Structure Rating	80%
Form Rating	75%
Condition Rating (Average of E.F.&G)	78%
Functional Limitations Rating	85%
External Limitations Rating	100%
Depreciated Cost (D x H x I x J)	\$7,157.88
Additional Cost #1 Removal & Stump Grinding @ \$55 per inch DSH	\$1,045.00
Additional Cost #2	\$0.00
Additional Cost #3	\$0.00
Final Appraised Cost Solution (K+L+M+N Rounded to nearest \$100 if over \$5,000 or nearest \$10 if less)	\$8,202.88

Species	<i>Quercus agrifolia</i> (Coast live oak)
Trunk Diameter (inches)	19 in.
Trunk Area in Square Inches (A x A x 0.7854)	298.65 sq. in.
Unit Tree Cost (Based on local pricing)	\$36.15 / sq in.
Basic Tree Cost (B x C)	\$10,796.20
Health Rating	25%
Structure Rating	70%
Form Rating	75%
Condition Rating (Average of E.F.&G)	57%
Functional Limitations Rating	35%
External Limitations Rating	100%
Depreciated Cost (D x H x I x J)	\$2,153.84
Additional Cost #1 Removal & Stump Grinding @ \$55 per inch DSH	\$1,045.00
Additional Cost #2	\$0.00
Additional Cost #3	\$0.00
Final Appraised Cost Solution (K+L+M+N Rounded to nearest \$100 if over \$5,000 or nearest \$10 if less)	\$3,198.84

Scientific Name	Container Size	Nursery Price 1 and Caliper Size	Nursery Price 2 and Caliper size	Nursery Price 3 and Caliper Size	Median Price per unit (wholesale)	Median Caliper Size	Unit Cost by Trunk Area (\$/in squared)
<i>Quercus agrifolia</i>	24" box	\$205.00 and 2.875"	\$133.90 and 2.5"	\$160.00 and 1.875"	\$166.30	2.42"	\$36.15

Appraisal Overview

This appraisal is an independent, objective, and unbiased opinion on the value of the subject trees. Trees provide numerous valuable benefits that generally increase with size/age. These include increased real estate values, conserving energy, removing atmospheric contaminants, moderating stormwater runoff, sequestering carbon, wildlife habitat, improving physical/ mental aspects of human health, and increasing social capital. The table below shows the total pre-construction and post-construction appraisal values, as well as the change in value between them. Refer to the Appraisal Methodology and Chart on previous pages for more details.

Appraisal Summary Table

Tree #	Pre-Construction Value	Post-Construction Value	Change in Value
1	\$2,689.13	\$1,428.66	\$1,260.47
2	\$10,533.44	\$6,332.45	\$4,200.99
3	\$2,645.13	\$1,053.05	\$1,592.08
4	\$1,663.04	\$1,310.87	\$352.17
5	\$8,202.88	\$3,198.84	\$5,004.04
Total	\$25,733.62	\$13,323.87	\$12,409.75

Tree Condition Ratings Table

Rating Category	Health	Structure	Form
Excellent	High vigor and nearly perfect health with little or no twig dieback, discoloration, or defoliation.	Nearly ideal and free of defects.	Nearly ideal for species. Generally symmetric. Consistent with the intended use.
Good	Vigor is normal for the species. No significant damage due to disease or pests. Any twig dieback, definition, or discoloration is minor	Well-developed structure. Defects are minor and can be corrected.	Minor asymmetries/deviations from species norm. Mostly consistent with the intended use. Function and aesthetics are not compromised.
Fair	Reduced vigor. Damage due to insects or disease may be significant and associated with defoliation but is not likely to be fatal. Twig dieback, defoliation, discoloration, and/or dead branches may comprise up to 50% of the crown.	A single defect of a significant nature or multiple moderate defects. Defects are not practical to correct or would require multiple treatments over several years.	Major asymmetries/deviations from species norm and/or intended use. Function and/or aesthetics are compromised.
Poor	Unhealthy and declining in appearance. Poor vigor. Low foliage density and poor foliage color are present. Potentially fatal pest infestation. Extensive twig and/or branch dieback.	A single serious defect or multiple significant defects. Recent change in orientation. Observed structural problems cannot be corrected. Failure may occur at any time.	Large asymmetric/abnormal. Detracts from intended use and/or aesthetics to a significant degree.
Very Poor	Poor vigor. Appears to be dying and in the last stages of life. Little live foliage.	Single or multiple severe defects. Failure is probable or imminent.	Visually unappealing. Provides little or no function in the landscape.

Bibliography

Council of Tree and Landscape Appraisers. Guide for Plant Appraisal, 10th Edition 2018 CTLA

Western Chapter of the International Society of Arboriculture Species Classification Book. A Regional Supplement to the CTLA Guide for Plant Appraisal. 2004 by WC-IS

Appendix A Map



The subject trees are numbers on the above map.

Appendix B Images



Photo 1 (Top Left): Coast redwood tree #1 growing on the north perimeter of the lot. It has healthy foliage throughout the canopy.

Photo 2 (Top Right): Excavation has taken place 3.5-feet from the base of the tree on the south side and 4.5-feet on the east side.

Photo 3 (Bottom Left): Torn roots behind the soil support. Numerous roots were damaged during this excavation activity.



Photo 4 (Top Left): Coast live oak #2 growing north of the subject property on the neighboring property.

Excavation has taken place 6-feet from the base of the tree on the south side.

Photo 5 (Top Right): While foliage present is healthy, the canopy overall is thin.

Photo 6 (Bottom Left): Hardscape is present on the north side of the tree up to the tree base.



Photo 7 (Top Left): Coast live oak #3 growing along the northeast perimeter of the property. It has a significant eastward lean and is crowded by tree #2.

Photo 8 (Top Right): Browning foliage is present in the tree canopy. Excavation activity has taken place 3.5-feet from the tree base.

Photo 9 (Bottom Left): A severe mechanical wound on the main scaffold limb. This wounding will likely require removal, and the tree will lose the majority of its canopy.



Photo 10 (Top Left): Coast live oak #3 growing on the east perimeter of the property outside the construction area. It is a City tree. Healthy foliage is present throughout the canopy.

Photo 11 (Top Right): Multiple codominant attachments at 6.5-feet from the tree canopy.

Photo 12 (Bottom Left): Excavation activity on the east side of the tree is 6-feet away from the base of the subject tree.



Photo 13 (Top Left): Coast live oak #5 growing on the south side of the property. It is growing directly beneath powerlines.

Photo 14 (Top Right): Mechanical damage to a limb on the east side of the canopy (red circle).

Photo 15 (Bottom Left): Torn roots on the east side of the tree, approximately 3-inches in diameter (red circle).

Appendix C Assumptions and Limiting Conditions

1. Care has been taken to obtain all information from reliable sources. All data has been verified insofar as possible; however, the Consultant can neither guarantee nor be responsible for the accuracy of information provided by others. Standard of Care has been met with regards to this project within reasonable and normal conditions.
2. The Consultant will not be required to give testimony or to attend court due to this report unless subsequent contractual arrangements are made, including payment of an additional fee for such services as described in the fee schedule and contract of engagement.
3. Loss or alteration of any part of this report invalidates the entire report.
4. Possession of this report or a copy thereof does not imply right of publication or use for any purpose by any other than the person to whom it is addressed, without the prior written consent of the Consultant.
5. This report and any values expressed herein represent the opinion of the Consultant, and the Consultant's fee is in no way contingent upon the reporting of a stipulated result, a specified value, the occurrence of a subsequent event, nor upon any finding to be reported.
6. Unless expressed otherwise: 1) information contained in this report covers only those items that were examined and reflects the condition of those items at the time of inspection; and 2) the inspection is limited to visual examination of accessible items without dissection, excavation, or coring, unless otherwise stated. There is no warranty or guarantee, expressed or implied, that problems or deficiencies of the tree(s) or property in question may not arise in the future.
7. Arborists are tree specialists who use their education, knowledge, training, and experience to examine trees, recommend measures to enhance the beauty and health of trees, and attempt to reduce the risk of living near trees. It is highly recommended that you follow the arborist recommendations; however, you may choose to accept or disregard the recommendations and/or seek additional advice.
8. Arborists cannot detect every condition that could possibly lead to the structural failure of a tree. Trees are living organisms that fail in ways we do not fully understand. Conditions are often hidden within trees and below ground. Arborists cannot guarantee that a tree will be healthy or safe under all circumstances, or for a specific period.
9. Any recommendations and/or performed treatments (including, but not limited to, pruning or removal) of trees may involve considerations beyond the scope of the arborist's services, such as property boundaries, property ownership, site lines, disputes between neighbors, and any other related issues. Arborists cannot take such considerations into account unless complete and accurate information is disclosed to the arborist. An arborist can then be expected to consider and reasonably rely on the completeness and accuracy of the information provided.
10. The author has no personal interest or bias with respect to the subject matter of this report or the parties involved. He/she has inspected the subject tree(s) and to the best of their knowledge and belief, all statements and information presented in the report are true and correct.

Appendix D Certificate of Performance

I, Leonardo Tuchman certify that:

- I have personally inspected the trees referred to in this report and have stated my findings accurately. The extent of the assessment is stated in the attached report and the Limits of the Assignment.
- I have no current or prospective interest in the tree or the property that are the subject of this report and have no personal interest or bias with respect to the parties involved.
- The analysis, opinions, and conclusions stated herein are my own and are based on current scientific procedures and facts.
- My analysis opinions, and conclusions were developed, and this report has been prepared according to commonly accepted arboricultural practices.
- No one provided significant professional assistance to me, except as indicated within the report.
- My compensation is not contingent upon the reporting of a predetermined conclusion that favors the cause of the client or any other party nor upon the results of the assessment, the attainment of stipulated results, or the occurrence of any subsequent events.

I further certify that I am a member of good standing of the International Society of Arboriculture. I have been involved in the field of municipal arboriculture in a full-time capacity for a period of more than six years.

Respectfully,

Leonardo Tuchman

Leonardo Tuchman
ISA Board Certified Master Arborist WE-12453B
ASCA Registered Consulting Arborist #771
ISA Tree Risk Assessment Qualified
California DPR QAL #146294
Plant Health Care Arborist
West Coast Arborists Inc.



CITY OF CARMEL-BY-THE-SEA FOREST AND BEACH COMMISSION Staff Report

October 10, 2024
ORDERS OF BUSINESS

TO:	Forest and Beach Commissioners
SUBMITTED BY:	Justin Ono, City Forester
SUBJECT:	Draft Agenda for Upcoming Steering Committee Meetings for the Carmel Forest Management Plan to be held on October 28 th and 29 th , 2024 at the Sunset Center's Carpenter Hall

RECOMMENDATION:

Discuss and set the agenda for the upcoming Steering Committee meetings.

BACKGROUND/SUMMARY:

The Steering Committee is a 10-member group comprised of the five Forest & Beach Commissioners and five members of the public who were selected by the Commission to help guide, or "steer," the Carmel Forest Management Plan (Plan).

The Administrative Draft of the Plan is set to be released to the public on October 10th, 2024, over two weeks in advance of the upcoming public meetings, in order to allow the public sufficient time to review the document prior to the Steering Committee's meetings.

These meetings are intended to be working session where members of the Steering Committee, local consulting Ecologist Nicole Nedeff, and City Forester Justin Ono, will come prepared to discussed the Administrative Draft Plan, section by section, over the course of two days.

The meeting will be at the Sunset Center's Carpenter Hall, and will be video recorded, as well as made available live via Zoom.

The exact timing of the Committee's discussions during the meeting may fluctuate; however the following outline is proposed:

Monday, October 28th 1 pm – 6 pm

- 1:00 pm – 1:15 pm Welcome, Intros, Roll Call
- 1:15 pm – _____ Public Comment
- _____ – 3:30 pm Commissioner Discussion
- 3:30 pm – 4:00 pm Break (30 min)

4:00 pm – 5:30 pm Commissioner Discussion (1 hr 30 min)
5:30 pm – 6:00 pm Pubic comment (30 min)

Tuesday, October 29th 11 am - 5 pm

11:00 am – 11:15 am Welcome, Intros, Roll Call
11:15 am – _____ Public Comment
_____ – 1:30 pm Commissioner Discussion
1:30pm – 2:15pm Break (45 min)
2:15pm – 4:15pm Commissioner Discussion (2 hrs)
4:15pm – 5:00pm Public Comment (45 min)

At the October 10, 2024 meeting, the Commission will be asked to review the manner, format, and tentative timeline of these meetings to review the Administrative Draft of the Plan.

FISCAL IMPACT:

The cost of the multimedia team is \$1,500 to set up microphones, sound system, and live video recording.

ATTACHMENTS:



CITY OF CARMEL-BY-THE-SEA FOREST AND BEACH COMMISSION Staff Report

October 10, 2024
ORDERS OF BUSINESS

TO:	Forest and Beach Commissioners
SUBMITTED BY:	Justin Ono, City Forester
SUBJECT:	Pickleball Update Regarding Implementation Models and Evidence-Based Sound Data

RECOMMENDATION:

Discuss and advise staff regarding the matter of temporary mitigation measures at Forest Hill Park.

Provide continued direction regarding the study of noise data and efforts of local and comparable jurisdictions.

BACKGROUND/SUMMARY:

Following City Council's motion on 08/06/2024 to refer this matter to the Forest and Beach Commission, City Staff provided an overview of the matter at the 09/12/2024 meeting of the Forest and Beach Commission meeting, the result of which was the Commission recommending Staff look into:

1. Implementation models of how other jurisdictions have handled this matter
2. Evidence-based data regarding sound measurements, that account for number of players on the court, with pre-implementation and post-implementation comparison data.

The following updates on these avenues of research are as follows:

Implementation Models

- Staff and Chairwoman Brezoczky met with Yountville administrative staff to gather what they perceived were successes, effective measures, stumbling blocks, how they came to the decisions they did, and how the implementation process was received by the community.
- A recurring mitigation measure of numerous jurisdictions is sound barriers. However, these barriers all have a certain degree of opaque or partially-opaque material. With that in mind, Staff has reached out to our City Police Department to gauge whether the level of transparent visibility would affect possible lines of sight for police. Staff will report on this at the following meeting to determine if this is a possible sound mitigation strategy for our city to consider.
- The City of Pacific Grove set play times to be 9:00 am – Dusk on Tuesdays, Thursdays, and Saturdays.
- In the City of Monterey at Via Paraiso Park, pickleball players are asked to “use only USA Pickleball recommended pickleballs and paddles for quiet play.” City Staff met with City of Monterey personnel in their Parks & Recreation Department. The City of Monterey provides web links and a QR code to

recommended paddles and balls, found on their city website.

Evidence-Based Sound Data

- In a Noise Impact Assessment and Abatement Planning document prepared for the City of Centennial in Colorado, prepared by Spendinarian & Willis, an acoustics and noise control company, reported that measurements “comparing foam pickleballs to common regulation balls has shown that the foam balls can be 8 to 9 decibels quieter than regulation balls.” With that said, Spendinarian & Willis also stated, “While the use of foam balls is an effective noise abatement measure, it is undesirable for pickleball players as the foam balls play very differently from the regulation balls and cannot be used in tournaments.”
- Determining where to measure sound, including the distance from that location to the location of measurement, are important parameters to maintain consistency in standardized practices across the City. Our Planning & Building Department, who has lent Public Works Staff a sound meter, uses this meter as a general guide regarding noise, however it is not used to determine policy. For sound readings which may influence policy, or decisions regarding regulation of materials in residential areas throughout the City, the City contracts the work to sound engineers. Therefore, regarding the study of pickleball sound, the City obtained a quote from Sonics ESD, a local acoustical consulting firm. See the Fiscal Impact section for further information on pricing.

Staff will continue research in the coming month(s) and expects to have a more comprehensive picture of best practices and implementation models, along with sound data.

In the meantime, Staff and the Commission, in accordance with the Municipal Code and the Forest & Beach Rules of Procedure, has requested clarification from the City Attorney regarding whether the Forest & Beach Commission can establish temporary mitigation measures (e.g. hours of play) prior to a final recommendation to City Council, or whether any mitigation effort, even temporary, must be recommended to City Council for action. The result of the City Attorney’s response may allow – or not – for the Forest & Beach Commission to take action at any meeting prior to a final recommendation to City Council.

FISCAL IMPACT:

An estimate from Sonics ESD to conduct a sound study was:

- a one-time charge of \$795 for a Sound Compliance Test + \$200 for calibration.
- The City would be charged each time the firm visits to record sound. This typically takes several hours each visit, which there would need to be 3-4 visits to account for data during peak time and other times with less court activity. Analysis and reporting are additional time charged.

ATTACHMENTS:



CITY OF CARMEL-BY-THE-SEA FOREST AND BEACH COMMISSION Staff Report

October 10, 2024
ORDERS OF BUSINESS

TO: Forest and Beach Commissioners

SUBMITTED BY: Justin Ono, City Forester

SUBJECT: City Forester's Report for September 2024

RECOMMENDATION:

Receive the City Forester's Report for September 2024

BACKGROUND/SUMMARY:

Environmental Evaluation

This action does not constitute a project within the meaning of the California Environmental Quality Act under Public Resources Code Section 21065. It has no potential to cause either a direct physical change in the environment or a reasonably foreseeable indirect physical change in the environment and, therefore, does not require environmental review.

FISCAL IMPACT:

ATTACHMENTS:

September 2024 Forester's Report



CITY OF CARMEL-BY-THE-SEA

Monthly Report

City Forester's Report

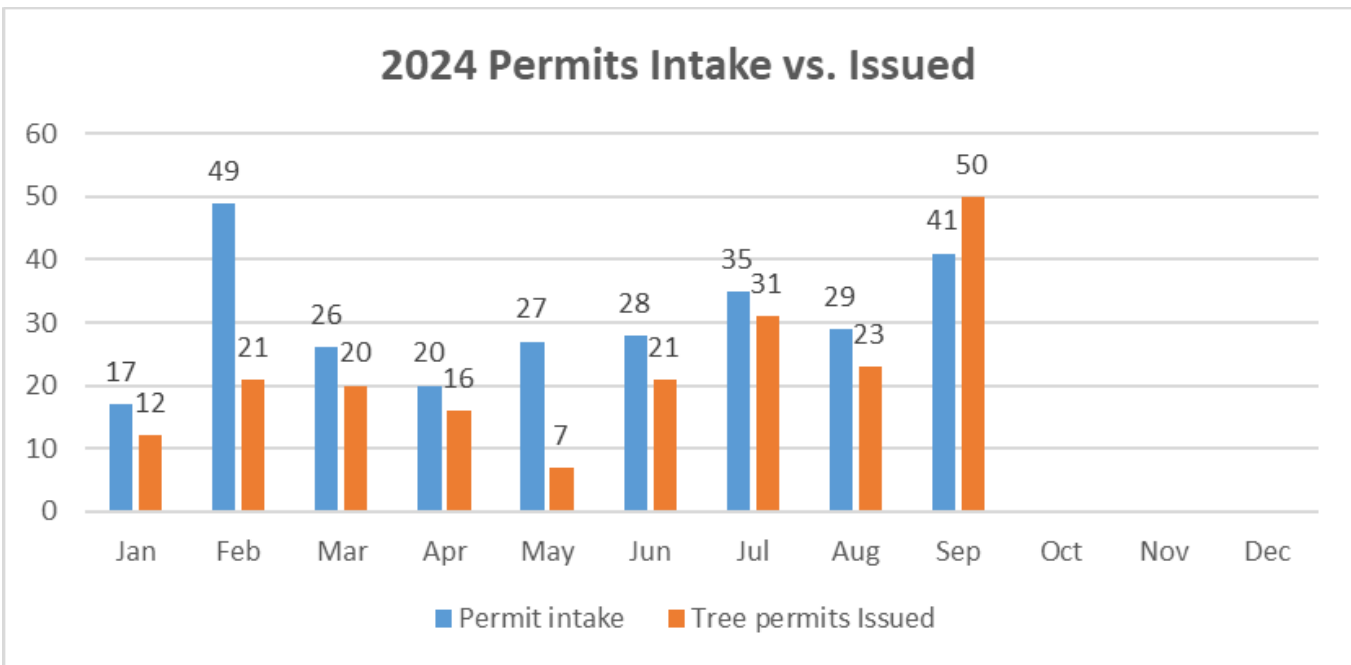
TO:	Forest and Beach Commissioners
FROM:	Justin Ono, City Forester
SUBJECT:	September 2024 Forester's Report

Forestry, Parks, and Beach Highlights:

- Carmel Forest Master Plan:
 - Steering Committee meeting scheduled for October 28th and 29th.
 - Consulting Ecologist Nikki Nedeff signed contract amendment to review and provide input on administrative draft as well as attending both days of Steering Committee meeting.
 -
- Contractors:
 - Tree Contractor West Coast Arborists completed their task order to grind 40 stumps. The contractor prepared the sites after stump removal occurred and planted native trees provided by the Forestry staff. Tree species planted were Monterey Pine and Coast Live Oak. Local nursery stock has been limited recently and Catalina Ironwood, Big Leaf Maple, and California Sycamore were not available as originally planned.
 - Following completion of the recent paving project and bicycle route along San Carlos Street, between Eighth and Thirteenth Avenues, as part of their task order, West Coast Arborists removed a number of stumps along both sides of the street, and began planting new trees. A total of 10 new trees are planned.
 - Tree Contractor Tope's Tree Service performed clearance for traffic line of sight at the northwest corner of Junipero and 11th.
 - As work is completed, task orders will continue to go out to the three contractors in an effort to catch up with the poor, very poor, and dead trees identified in the city's tree survey.
- City Crews:
 - In September, Forestry crews planted 20 new trees, pruned 14 trees, and removed 12 dead, dangerous, or small overgrown trees impinging on the right of way. Trees planted were comprised of 15 Monterey Pines, 3 Coast live oaks, and 2 Monterey cypress.
 - Reached out to new nurseries to expand local plant availability.
 - City crew performed weed mitigation at the scout house prior to transitioning the work to Town and Country.
 - Ross Playground provided recommendations for repairs and safety upgrades in the Forest Hill Park Playground.
 - A Monterey Cypress trunk was cut into a bench to be installed along the Scenic Pathway.
 - At the North Dunes Habitat Restoration site, City crews cleared out fallen limbs, dead and invasive vegetation, and debris under the direction of the project ecologist.
- Carmel Cares:
 - Save Our Shores 40th Anniversary 9/21 beach cleanup resulted in 50.5 lbs of trash.
 - At the North Dunes Habitat Restoration site, 25 Stevenson school students worked with Joey Canepa to pull invasive plants.

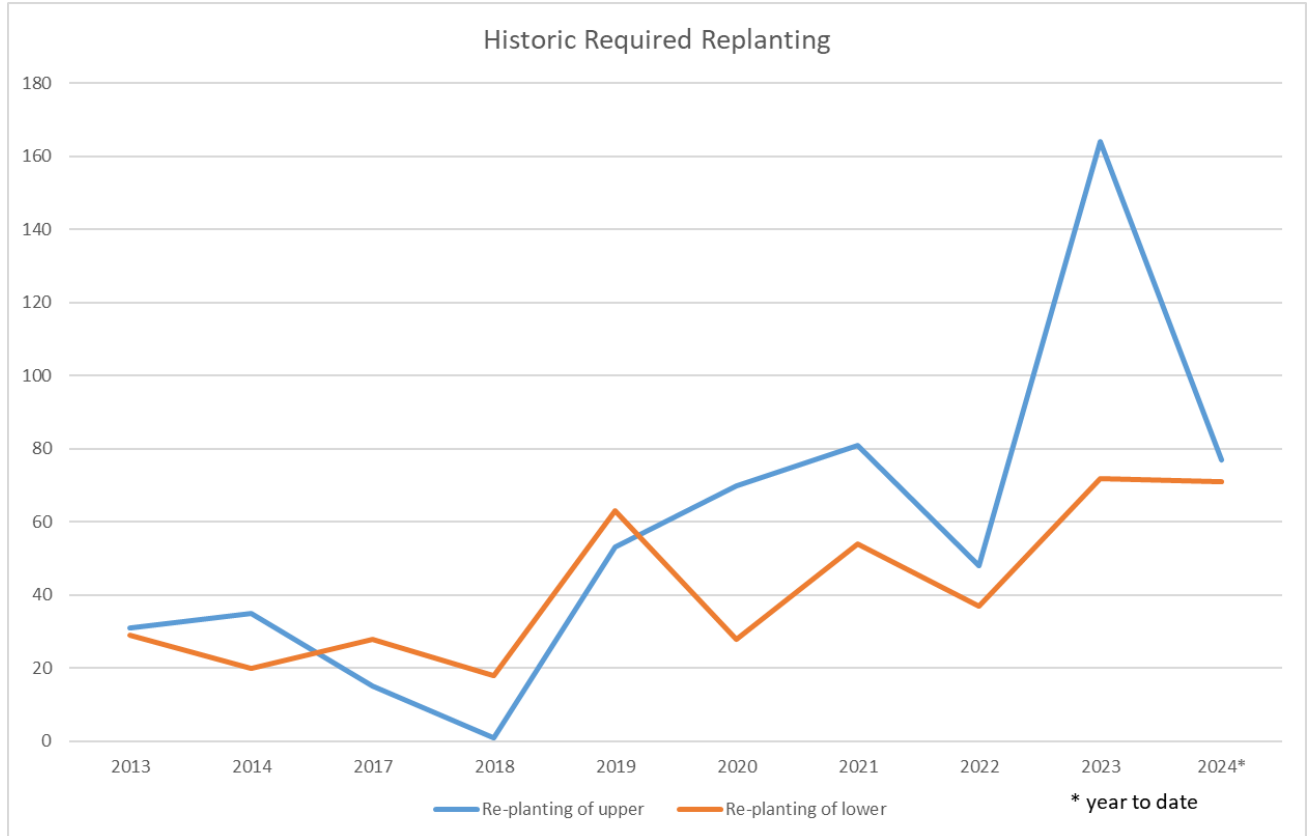
Permit Information

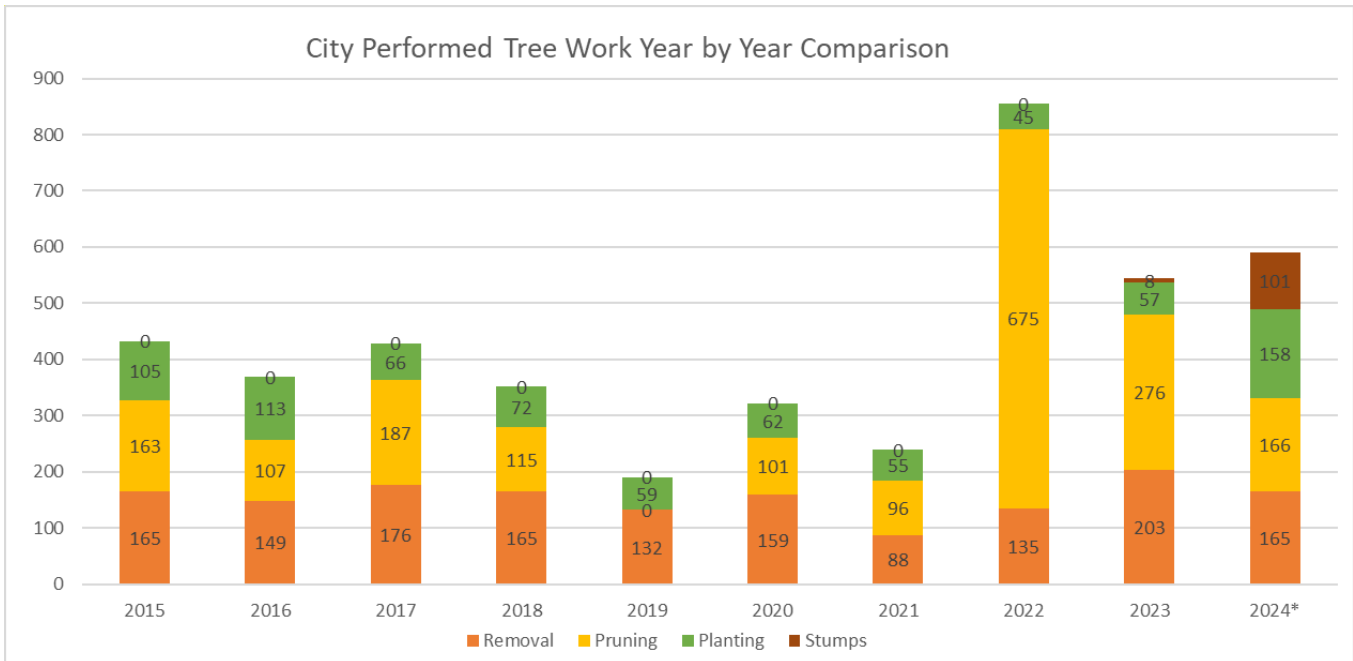
2024 Permitted removals, pruning, and required planting												
	Tree permits received	Tree permits Issued	Site Inspections Performed	Total Prunings	Total Removals	Removal of Upper	Removal of Lower	Required to Plant Upper	Required to Plant Lower	No room for new tree	Meets Density Rec.	Total Number of Trees Required
January	17	12	1	4	8	6	2	5	1	0	2	6
February	49	21	4	6	21	11	10	3	3	0	0	6
March	26	20	3	5	27	14	13	4	7	0	0	11
April	20	16	3	3	15	8	7	5	5	0	0	10
May	27	7	4	3	8	5	3	2	1	0	0	3
June	28	21	8	17	21	5	16	4	5	2	11	9
July	35	31	9	5	16	8	8	11	15	0	1	26
August	29	21	8	13	13	8	5	7	9	0	1	16
September	41	35	15	22	46	16	30	36	25	0	1	51
October												
November												
December												
2024 Totals	272	184	55	78	175	81	94	77	71	2	16	138



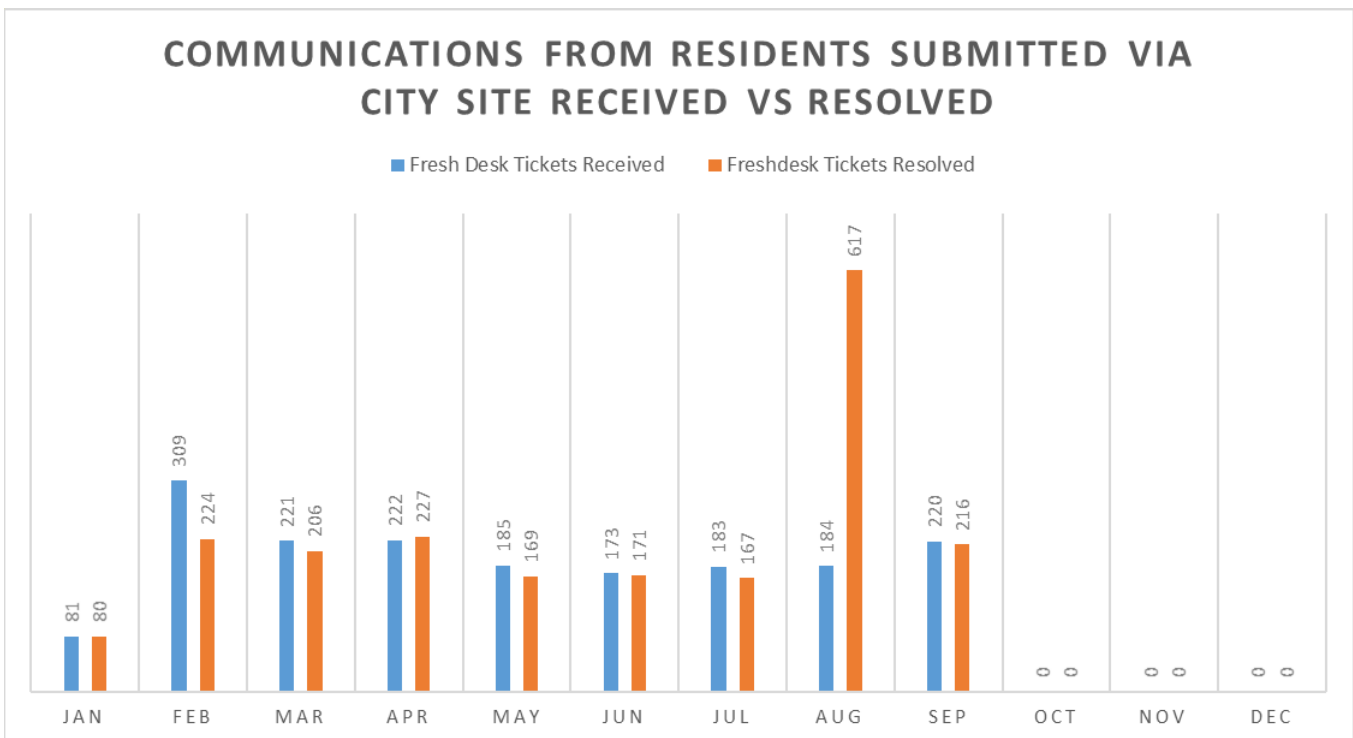
Historic permitted removals and required planting		
	Re-planting of upper	Re-planting of lower
2013	31	29
2014	35	20
2017	15	28
2018	1	18
2019	53	63
2020	70	28
2021	81	54
2022	48	37
2023	164	72
2024*	77	71
	*year to date	

Historic permitted removals and required planting								
Year	Permitted removals	Removal of upper	Removal of lower	Replanting Required	Replanting of upper	Replanting of lower	Replanting %	Applications processed
2021	204	81	123	135	81	54	66.18%	213
2022	149	82	67	85	48	37	57.05%	155
2023	324	211	113	223	164	72	68.83%	336
2024	175	81	94	138	77	71	78.86%	287





*Year to date – Includes work performed by City crew as well as on call tree contractors.



*Numbers only represent correspondences received via the City’s website and do not include live calls, voicemails, drop-in visitors, and emails sent directly to employees from residents, nor return calls and emails from staff. (Spike in resolutions partly due to large ticket cleanup project undertaken by Forestry support staff.)



Nursery Stock ready for planting.



CITY OF CARMEL-BY-THE-SEA FOREST AND BEACH COMMISSION Staff Report

October 10, 2024
ORDERS OF BUSINESS

TO: Forest and Beach Commissioners

SUBMITTED BY: Robert M. Harary, P.E., Director of Public Works

SUBJECT: Public Works Director's Report for September 2024

RECOMMENDATION:

Receive the Public Works Director's Report for September 2024

BACKGROUND/SUMMARY:

The Public Works Director's Report will include:

- A. City Council actions related to Forestry, Parks, and Beach issues
- B. Forestry, Parks, and Beach-related Capital Improvement Projects
- C. Climate Committee meetings and Climate Action Plan Implementation
- D. Update on Volunteer Organizations
- E. Miscellaneous Forestry, Parks, and Beach-related Public Works items

Environmental Evaluation

This action does not constitute a project within the meaning of California Environmental Quality Act under Public Resources Code Section 21065. It has no potential to cause either a direct physical change in the environment or a reasonably foreseeable indirect physical change in the environment and therefore, does not require environmental review.

FISCAL IMPACT:

None.

ATTACHMENTS:

Attachment #1 - Public Works Report for September 2024



CITY OF CARMEL-BY-THE-SEA

Public Works Department September 2024 Report

TO:	Honorable Mayor and City Council Members
SUBMITTED BY:	Robert Harary, P.E., Director of Public Works
SUBMITTED ON:	October 2, 2024
APPROVED BY:	Chip Rerig, City Administrator

City Council Special Meeting of September 9, 2024

- Adopted Resolution 2024-070, authorizing the City Administrator to execute an Amendment to the Professional Services Agreement (PSA) with Wallace Group, for a fee increase of \$39,770, for final design and design support services during construction of the \$2.8M Conglomerate Paving Project for Fiscal Year (FY) 2024/25, plus on-call map checking services by a surveyor.
- Adopted Resolution 2024-076, approving a Purchase Order in the amount of \$135,825 to National Automotive Fleet Group for a new, 5-yard, Ford F-750 dump truck.

City Council Special Meeting of September 10, 2024

- Adopted Resolution 2024-077 accepting the Community Wildfire Protection Plan (CWPP). The CWPP includes a number of fuel reduction projects and other ongoing forestry maintenance recommendations to minimize wildfire risk in the Village.

Forest and Beach Commission Meeting of September 12, 2024

- Announcements included:
 - Inquired about the Commissioner's interest in being in the Halloween/City Birthday Parade on October 31st.
 - Thanked Environmental Programs Manager Mary Bilse for filling in as Acting Public Works Director for the past two Commission meetings.
- A Public Hearing regarding the requested removal of a Torrey Pine at 26010 Ridgewood Road was postponed at the last minute when the applicant's counsel notified staff that a survey just found the subject tree to be on the property line with a neighbor – Continued to next meeting.
- Administrative Analyst Tom Ford introduced Pickleball Considerations at Upper Forest Hill Park. Background information included the 2021 pickleball survey and Commission's approval to restripe the second tennis court, and a summary of common concerns, such as noise, from public testimony at the August City Council meeting, at which time Council requested the Commission to review and recommend a policy to balance pickleball play within the residential surroundings. City Forester Justin Ono then reviewed the General Plan's Noise Element. Public comments were supportive of finding a reasonable solution to allow pickleball play with reduced hours or other method(s) to reduce noise impacts. Information on other agencies approach to this issue, a sound survey, and potential mitigation options, with pros and cons, will be forthcoming over the next few Commission meetings.
- The City Forester presented the Forester's Report for August 2024, which noted: a) the current status of the Administrative Draft Carmel Forest Master Plan, b) Carmel Cares and City crews completed the final tasks associated with the Ocean Avenue Medians Landscaping Project,

and c) began to remove the first round of tall stumps (“totem poles”) now that the Attorneys are starting to relocate their electrical lines off of these stumps, with more to follow.

- The Public Works Director presented the Public Works Report for August 2024, which noted: a) Update on the beach access stairs recently opened at Ninth Avenue, and the remaining closed stairs, at Tenth North and Twelfth Avenues, which need structural repairs, b) after a hold up for dusky footed woodrat nests found near the construction areas, construction was able to begin on the three drainage improvement projects near the south of the Mission Trails Nature Preserve (MTNP), and c) an upcoming topic will be for the Commission to review a draft Community Survey regarding Sea Level Rise adaptation strategies.

Administration

- Compiled links for Master Plans and other key infrastructure documents to distribute to all candidates running for Mayor and City Council.
- Prepared updated staff report and presentation slides for the follow-up of the Wave Astound Broadband Fiber Optic Project for the October 1st Council meeting.
- Continued to support the Library by responding to technical questions asked by potential proposers to the Harrison Memorial Library Renovation Project’s Architectural Services RFP.
- Coordinated with Finance to review transportation project funding from Measure X, SB1, Gas Tax, Maintenance of Effort, Local Streets and Roads Program, RTP, and other sources.
- Conducted panel interviews with 4 Project Manager candidates. An offer was made to a candidate but was subsequently rejected. Departmental interviews with others in progress.
- Conducted panel interviews with 5 candidates for the Environmental Analyst/Technician position. Departmental interviews with the top candidates scheduled for early October.

Carmel Cares, Friends of Mission Trail Nature Preserve, and Other Volunteer Groups

- Carmel Cares’ contractor is over 85% complete with installation of the Scenic Pathway Hardscape Project which includes barrier rail replacement/extension and pathway widening, a CIP project which is joint-funded with the City.
- A request to slightly adjust the location of five benches associated with Scenic Pathway widening are in review for a modified encroachment permit.

Environmental Programs

- For the Coastal Engineering, Phase II Project, EMC, Integral, and staff prepared a draft Community Survey associated with Sea Level Rise. Also, the consultants prepared a draft economic analysis technical memorandum and are compiling adaptation strategies for which their long-term recommendations will be tied to the results of the Community Survey.
- Continued to compile data and prepare reports for the tedious Annual Stormwater Quality Report which must be submitted to the Water Quality Control Board by mid October.
- Prepared staff report and resolution for the 5-year Cal Recycle Grant program for the September 30th Council meeting.
- For the North Dunes Habitat Restoration Site, continued to work with a consultant who is overseeing ice plant and invasive removals, as well as coordinating with Forestry for acacia trimming. Also began to review the feasibility of upgrading post and cable fencing protecting sensitive habitat areas with the Dunes to cedar post and rail fencing.
- Researched conclude that no permits are required from the National Oceanic and Atmospheric Administration to allow the City to bury dead sea mammals that get washed on shore; however, NOAA and the Moss Landing Marine Laboratories wish to be notified of any unusual mammal deaths on the beach.
- Coordinated with Finance and Streets regarding upgrading bus stop parking and other City signs along Junipero Street at the Carmel Plaza.

- Prepared for the Blue City Forum for early October.
- Public service messages in August included: Seeking 1st Flush Event volunteers, Stormwater Awareness Week (September 23-27), and Edible Food Recovery Program grant opportunity.

Facility Maintenance

- At Sunset Center, completed emergency repairs and restoration associated with a broken fire suppression pipe and patching the walls and roof. The revised cost of \$30,000 is a significant reduction of the original \$50-\$100,000 ballpark estimate.
- For the Norton Court Parking Garage Security Access (CIP) Project, the vendor installed the new system, and FOBs were issued to all tenants who rent parking spaces from the City. However, the installation triggered problems with the old motor of the rollup door. Staff is negotiating a settlement with the vendor to potentially split the cost of the replacement motor.
- For the ADA Upgrades Project, Year 6 (CIP), the Planning and Building Departments approved the proposed stone design of an ADA drinking fountain to be installed on the Devendorf Park restrooms.
- An electrical contractor installed additional circuits tied to the emergency generator in the Park Branch Library. These circuits can be used while the library is serving as a shelter during storms.
- A contractor renovated the Library Director and Executive Assistant's suite in the Park Branch Library by creating a small conference room with separate door.
- Two electrical contractors were used to troubleshoot the exhaust fan for the City Hall basement restroom. It was determined that both the fan and motor had to be replaced.
- The Underwriters Laboratory (UL) supporting our security contractor, Sentry Alarms, conducted a survey of wiring at all City buildings protected by Sentry equipment. UL found a number of wires that were not properly insulated per code. Sentry will have these repairs made at no cost to the City.
- Quotes were received for additional office space for new Public Works employees. Quotes obtained to create 4 offices in the Vista Lobos main room proved to be considerably more cost-effective than converting the existing Project Manager's office and adjacent storage room into only 3 offices. Revisions to the lowest quote are in progress with the contractor based on Building Code, safety, and other issues. Quotes are also being pursued from furniture and modular cubicle space vendors.

Project Management for the Capital Improvement Program

4 Leaf Projects:

- For the Police Building Project, several meetings were held with Indigo Architects and the Project Team to discuss initial schematic design concepts to rehabilitate and expand the existing building on-site. As part of this effort, basic programming needs for the Public Works side of the building and Corporation Yard were reviewed.
- An initial Conceptual Design was unveiled by the Architect and reviewed by the Project Team. The Concept does fit all needs of the Police Department, expands professional offices and most shop spaces of the Public Works Department, and thus merits further review. However, to make this concept work, Public Works equipment, material bays, and some shops would have to be relocated offsite, and both departments would need to vacate during construction.

Ausonio, Inc. Projects:

- For the City Hall Roof Replacement Project, California Constructors completed removal of the old shingles and repaired roof plywood damaged by dry rot and termites. On September 13th, new roof shingles were delivered and hoisted onto the roof by a crane. Allegedly, the subcontractor lifting and distributing these shingles damaged the new protective felt over the

plywood exposing the building to rain. Rain on the morning of September 16th entered into the City Hall building in numerous locations causing the building's electrical system to be shut down, and three public meetings had to be cancelled. The moisture intrusion in numerous locations throughout the building prompted immediate remediation measures by Disaster Kleenup Specialits. All costs for cleanup will be charged to the contractor. By the end of the month, over 75% of the new shingles were installed, and final roofing and new gutters and downspouts are scheduled to be complete by mid-October.

- For the Sunset Center Cottage Window Repairs Project, a preconstruction meeting was held with the contractor, Pro-Ex Construction, and arrangements were made with the hazardous materials monitoring firm. Sunset Center was successful in having their tenants temporarily vacant the cottages during the window repairs. Construction to begin in mid-October.
- For the San Antonio Pathway Repair Project, Second to Fourth Avenues, the three bid proposals were evaluated, and the low bid of \$437,000, submitted by Sharp Engineering & Construction of Carmel, is scheduled to be awarded by the City Council at the October 1st meeting. In addition, a PSA was prepared with Moore Twining to provide special welding and anchor testing during construction, as required by the Building Code, and a Notice to Proceed was issued to Haro Kashunich & Associates for geotechnical and concrete testing.
- For the Sunset Center Retaining Walls Repair Project, staff proposed ADA upgrades including 8 stair rail extensions, 2 contrasting stair noses, and an ADA bench, to partially meet the requirement of 20% of the value of the Project to meet ADA. The proposal was accepted by the Building Official. Also, ZFA Engineering submitted final plans, specifications, and calculations in response to Building Permit review comments, and bidding and construction contract documents were compiled by Ausonio. Bidding is anticipated later this Fall.
- For the Lincoln Street Trestle Bridge Evaluation Project, an Amendment to the PSA with ZFA Engineering was prepared for a fixed fee of \$25,000. A staff report and resolution were also prepared for Council approval of the Amendment at the September 30th meeting.

Wallace Group Projects:

- Wallace Group submitted 95% complete plans, specifications, and costs estimates for the FY 2024/25 Conglomerate Paving Project. Over the next two months, the design documents will be restructured to identify additive bid items, the plans will be checked, and the bidding and contract documents will be assembled by staff. Bidding is forecasted by late 2024/early 2025 with construction commencing in the Spring of 2025.
- For the Shoreline Infrastructure Repair Project, which was combined with Reconstruction of the Fourth Avenue Outfall Wall Project, negotiations are underway with the best qualified firm; however, their proposed fee was higher than anticipated and budgeted. The Project Team requested, and received, additional backup materials from the selected consultant which can now be used to slightly reduce the scope of services, phase certain services for a later time, and renegotiate certain fees and hourly rates. The selected firm also requested a number of modifications to the PSA, many of which were rejected by the City Attorney's office.

Additional Capital Improvement Projects:

- For CalAm Water's Dolores Water Main Replacement Project between Santa Lucia and Eighth Avenues, CalAm's contractor repaved the water main trench. In October, City street crews will install additional asphalt drainage berms, after which, CalAm's contractor will slurry seal the entire width of the street, thus concluding this project.
- For the Mission Trail Nature Preserve (MTNP) 3 Drainage Projects, which includes drainage piping near the Rio Road entrance, an 85-foot boardwalk over a bog, and reconstruction of a large swale, construction began in early September. By the end of the month, the drainage piping and large swale were substantially completed, and the new redwood boardwalk was roughly 75% complete. Construction will conclude in early October followed by revegetation

and final permit inspections by the regulatory agencies. A change order is being processed to use remaining contingency funds to repair a drainage sink hole located near the intersection of Eighth Avenue and Scenic Road; however, State Park grant funds will not be eligible for this urgent repair.

- For the 4 City-wide Drainage Improvements Project, four bids were received at the public bid opening held on September 5th. All bids were found to be responsive and responsible. The Base Bid amount for three of the highest priority drainage improvements was over budget and requires a considerable allocation of CIP Contingency account funds to award the bid. The bids include one additive item for a nuisance drainage problem which could be resolved by a headwall and paving at Acacia Way; however, this bid would further tap into contingency funds and may be deferred. Award of the contract is anticipated at the November or December Council meeting.
- For the Rule 20A Undergrounding Project, the Ad Hoc Committee decided to remove a prior the option of undergrounding overhead lines along the Willow Trail in the MTNP and focus on a proposed underground district boundary within the Del Mar parking lot site. Staff knocked on doors and met with some residents within the boundary to discuss the project and answer questions. A Public Meeting on the matter, scheduled for September 16th, had to be rescheduled to October 7th.
- Kyler Engineering reviewed the current conditions of the closed beach access stairs at Tenth Avenue North and Twelfth Avenue, and determined that structural repairs are necessary before they can be reopened to the public. Their report included repair recommendations to provide for short term use while permanent repairs are pursued under the Shoreline Infrastructure Repair Project and its associated permits. Staff will be posting signs advising of the structural damage at these stairs, and meet with local contractors for expediting repairs.

Street Maintenance

- Labor Day holiday weekend activities included: setting up No Parking signs and barricades, supporting the Police and Community Activities Departments with traffic control and other logistical needs, providing additional trash bins, and additional staffing.
- The new 5-yard Dump Truck was ordered and was equipped with a back-up safety camera and an automatic tarp cover prior to delivery to the City. It was immediately put to use.
- At the direction of the Traffic Safety Committee, the following modifications were made to the intersection of Torres Street and Sixth Avenue: relocated the existing Stop sign for westbound Sixth Avenue closer to the intersection, restriped the stop bar and legend for eastbound Sixth Avenue to be closer to the intersection, and removed the first two diagonal parking spaces on Torres on the southwest corner to improve driver visibility.
- Began the Annual Storm Drain Inspection Program. This program includes inspecting every drainage pipe, culvert, open channel, inlet, and other drainage infrastructure throughout the City. All lines are cleared out prior to the winter storms, and repairs are made where needed.
- Reconstructed the concrete pad at the top of the CDS unit located in the Del Mar parking lot at Ocean Avenue.
- Continued making priority repairs for sidewalks, split rail fences, and traffic signs.

Forestry, Parks, and Beach

- See separate City Forester's Report for September 2024.