

CITY OF CARMEL-BY-THE-SEA PLANNING COMMISSION

Christopher Bolton, Robert Delves, Gail Lehman, Michael LePage, Stephanie Locke All meetings are held in the City Council Chambers East Side of Monte Verde Street Between Ocean and 7th Avenues

REGULAR MEETING Wednesday, March 9, 2022

TOUR - 2:00 p.m.

Governor Newsom's Executive Order N-29-20 has allowed local legislative bodies to hold public meetings via teleconference and to make public meetings accessible telephonically or otherwise electronically to all members of the public seeking to observe and to address the local legislative body. Also, see the Order by the Monterey County Health Officer issued March 17, 2020. The health and well-being of our residents is the top priority for the City of Carmel-by-the-Sea. To that end, this meeting will be held via teleconference and web-streamed on the City's website ONLY.

MEETING 4:00 PM

To attend via Zoom click the following link (or copy and paste the link into your browser); https://zoom.us/j/97793575109? pwd=ZStFQndQM3plbUNXWldxVjdHQUN1Zz09 Meeting ID (if needed): 977 9357 5109, Passcode (if needed): 818959; To attend via telephone, dial 1-301-715-8592

The public can email comments to bswanson@ci.carmel.ca.us. Comments must be received 2 hours before the meeting in order to be provided to the legislative body. Comments received after that time and up to the beginning of the meeting will be added to the agenda and made part of the record.

Shortly after roll call, the Board/Commission will leave the Council Chambers for an on-site tour of inspection of the properties listed on the agenda. Prior to the beginning of the tour, the Board/Commission may eliminate one or more property. The public is welcome to join the tour. The Board/Commission will return to the Council Chambers after completing the tour to begin the meeting no earlier than the time noted below.

A. TOUR OF INSPECTION

- 1. DS 21-243 (Heyermann), Northwest corner of Carpenter Street & 5th Avenue
- 2. DS 21-264, VA 22-050 (Kolsch), Escolle Way 2 Southeast of Perry Newberry
- 3. DR 20-350 (Ulrika Plaza), Southwest corner of Dolores Street & 5th Avenue

4. DS 20-323 (Le Chiffre Holdings, LLC), Northeast corner of San Antonio & Ocean Avenues

5. DS 21-211 (Rachleff), Scenic Road 3 northeast of 13th Avenue

ROLL CALL AND CALL TO ORDER

PUBLIC APPEARANCES

Members of the public are entitled to speak on matters of municipal concern not on the agenda during Public Appearances. Each person's comments shall be limited to 3 minutes, or as otherwise established by the Chair. Matters not appearing on the agenda will not receive action at this meeting and may be referred to staff. Persons are not required to provide their names, and it is helpful for speakers to state their names so they may be identified in the minutes of the meeting.

ANNOUNCEMENTS

CONSENT AGENDA

Items on the consent agenda are routine in nature and do not require discussion or independent action. Members of the Commission or the public may ask that any items be considered individually for purposes of Commission discussion and/ or for public comment. Unless that is done, one motion may be used to adopt all recommended actions.

- 1. February 9, 2022 Minutes
- 2. Monthly Report January 2022
- 3. Monthly Report February 2022

ORDERS OF BUSINESS

4. Consider if/when to return to in-person Planning Commission meetings, and provide direction to staff.

PUBLIC HEARINGS

- DS 21-180 (Janz): Consideration of a Concept Design Study for single-story additions totaling 545 square feet to a 1,385 square-foot single-story residence located at the northeast corner of Carpenter Street and 4th Avenue in the Single-Family Residential (R-1) District. APN 010-014-010-000 - CONTINUED TO APRIL 13, 2022
- 6. DS 21-264/VA 22-050 (Kolsch): Consideration of a Final Design Study (DS 21-264, Kolsch) and associated Coastal Development Permit for a partial demolition and 368 square foot net addition to an existing 1,816 square foot one story residence inclusive of an approximately 279 square foot attached garage including the construction of a new 544 square foot second story and new 200 square foot garage in the front setback and Variance (VA 22-050, Kolsch) to allow for second story plate heights exceeding the 18-foot height limit, located on Escolle Way 2 southeast of Perry Newberry Way in the Single-Family Residential (R-1) Zoning District. APN: 009-161-011-000
- 7. DR 20-350 (Ulrika Plaza): Consideration of a Preliminary Review for the construction of an approximately 23,200 square foot two-story mixed-use building with 12 apartment units and 15 commercial spaces, and an approximately 15,200 square foot basement containing 27 below ground parking spaces located at the southwest corner of 5th & Dolores in the Service Commercial (SC) Zoning District. APNs: 010-138-021-000 & 010-138-003-000
- 8. DS 21-243 (Heyermann): Consideration of a continued CONCEPT Design Study for the construction of a 1,600 square foot two-story residence and 200 square foot

detached garage on a vacant lot located at the northwest corner of Carpenter Street and 5th Avenue in the Single-Family Residential (R-1) District. APN 010-031-021-000

- 9. DS 21-211 (Rachleff): Consideration of a CONCEPT Design Study for additions totaling 530 square feet to a 1,650 square-foot two-story residence located on a double frontage lot on San Antonio Avenue and Scenic Road 3 north of 13th Avenue in the Single-Family Residential (R-1), Archaeological Significance Overlay (AS), Park Overlay (P), Beach & Riparian Overlay (BR), and Coastal Commission Appeal Jurisdiction. APN 010-292-007-000
- DS 20-323 (Le Chiffre Holdings, LLC): Consideration of an after-the-fact increase in plate height limited to the northwest corner of a residence located on the northeast corner of San Antonio Avenue and Ocean Avenue in the Single-Family Residential (R-1), Archaeological Significance Overlay (AS), Park Overlay (P), Beach & Riparian Overlay (BR), and Coastal Commission Appeal Jurisdiction. APN 010-253-009-000

DIRECTORS REPORT

FUTURE AGENDA ITEMS

11. Next Regular Meeting April 13, 2022

ADJOURNMENT

12. LATE CORRESPONDENCE

This agenda was posted at City Hall, Monte Verde Street between Ocean Avenue and 7th Avenue, outside the Park Branch Library, NE corner of Mission Street and 6th Avenue, the Carmel-by-the-Sea Post Office, 5th Avenue between Dolores Street and San Carlos Street, and the City's webpage http://www.ci.carmel.ca.us in accordance with applicable legal requirements.

SUPPLEMENTAL MATERIAL RECEIVED AFTER THE POSTING OF THE AGENDA

Any supplemental writings or documents distributed to a majority of the Planning Commission regarding any item on this agenda, received after the posting of the agenda will be available at City Hall located on Monte Verde Street between Ocean and Seventh Avenues during regular business hours.

SPECIAL NOTICES TO PUBLIC

In compliance with the Americans with Disabilities Act, if you need special assistance to participate in this meeting, please contact the City Clerk's Office at 831-620-2000 at least 48 hours prior to the meeting to ensure that reasonable arrangements can be made to provide accessibility to the meeting (28CFR 35.102-35.104 ADA Title II).



March 9, 2022

The public can email comments to bswanson@ci.carmel.ca.us. Comments must be received 2 hours before the meeting in order to be provided to the legislative body. Comments received after that time and up to the beginning of the meeting will be added to the agenda and made part of the record.

Application: Block: Location: Applicant:	APN: Lot: Property Owner:
SUBJECT:	 TOUR OF INSPECTION 1. DS 21-243 (Heyermann), Northwest corner of Carpenter Street & 5th Avenue 2. DS 21-264, VA 22-050 (Kolsch), Escolle Way 2 Southeast of Perry Newberry 3. DR 20-350 (Ulrika Plaza), Southwest corner of Dolores Street & 5th Avenue 4. DS 20-323 (Le Chiffre Holdings, LLC), Northeast corner of San Antonio & Ocean Avenues 5. DS 21-211 (Rachleff), Scenic Road 3 northeast of 13th Avenue
APPROVED BY:	
SUBMITTED BY:	
то:	Chair LePage and Planning Commissioners

Executive Summary:

Recommendation:

Background and Project Description:

Staff Analysis:



March 9, 2022 CONSENT AGENDA

то:	Chair LePage and Planning Commissioners	
SUBMITTED BY:		
APPROVED BY:		
SUBJECT:	February 9, 2022 Minutes	
Application:	APN:	
Block:	Lot:	
Location:		
Applicant:	Property Owner:	
Executive Sur	mmary:	

Recommendation:

Background and Project Description:

Staff Analysis:

Other Project Components:

February 9, 2022 Minutes

REGULAR MEETING Wednesday, February 9, 2022

CALL TO ORDER

The following Planning Commissioners were present Christopher Bolton, Robert Delves, Gail Lehman, Stephanie Locke, and Michael LePage

PUBLIC APPEARANCES - No Public Appearances

ANNOUNCEMENTS – No announcements

CONSENT AGENDA

- Item 1: Minutes of the February, 2022 Regular Meeting
- Item 2: DS 21-356 (Foley): Consideration of a Final Design Study for a 385 square-foot single-story addition to an existing 1,157 square-foot single-story residence, inclusive of an attached garage, located on Casanova Street 3 southwest of 13th Avenue in the Single-Family Residential (R-1) District. APN 010-282-003

It was moved by Commissioner Lehman and seconded by Commissioner Locke to approve the consent agenda as submitted. The motion passed by the following roll call vote:

AYES:	Commissioners: Bolton, Delves, Lehman, Locke, LePage
NOES:	Commissioners: None
ABSTAINED:	Commissioners: None
ABSENT:	Commissioners: None

ORDERS OF BUSINESS

Item 3: Driveway Gates (This item was notice in the Carmel Pine Cone, but has been pulled from the agenda and will be placed on a future agenda for discussion)

PUBLIC HEARINGS

Item 4: DS 21-233 (Escobedo): Consideration of a Final Design Study (DS 21-233) and associated Coastal Development Permit for a partial demolition and 855 square foot net addition to an existing 945 square foot one story residence inclusive of a 203 square foot attached garage including the construction of a new 445 square foot second story and new 240 square foot detached carport in the front setback located on San Carlos Street 3 southwest of 9th Avenue in Single-Family Residential (R-1) Zoning District. APN: 010-156-003-000

Evan Kort, Associate Planner presented the staff report and addressed questions of the Commission.

William Medfford, Architect and representative for the property owner gave a presentation and addressed questions of the Commission.

Chair LePage opened the public hearing, no public appearances and the public hearing was closed.

It was moved by Commissioner Lehman and seconded by Commission Locke to adopt a Resolution approving the Final Design Study (DS 21-233, Escobedo) and associated Coastal Development Permit for a partial demolition and 855 square foot net addition to an existing 945 square foot one story residence inclusive of a 203 square foot attached garage including the construction of a new 445 square foot second story and new 240 square foot detached carport in the front setback with staff's special conditions and the addition of Special Condition #32, that the second story of the house be moved two feet to the south and Special Condition #33 the planting of pittosporum trees be eliminated and an alternative species be submitted to staff for approval. The motion passed by the following roll call vote:

AYES:	Commissioners: Bolton, Delves, Lehman, Locke, LePage
NOES:	Commissioners: None
ABSTAINED:	Commissioner: None
ABSENT:	Commissioners: None

Item 5: DS 21-291 (Paboojian) Consideration of a Concept Design Study for the demolition of a 1,524 square foot single story residence inclusive of an attached carport and construction of a 1,580 square foot two story residence, 200 square foot detached garage and 899 square foot attached accessory dwelling unit located on Scenic Road 3 southwest of Ocean Avenue in the Single-Family Residential (R-1) District, Archaeological Significance (AS) Overlay, and Beach & Riparian (AB) Overlay/Coastal Commission Appeal Jurisdiction. APN 010-312-004-000

Marnie Waffle, Principal Planner presented the staff report and addressed questions of the Commission

James Smit, Architect and representative for the property owners gave a presentation and addressed questions of the Commission.

Chair LePage opened the public hearing. The following members of the public appeared before the Commission: Sally Edsall, Bill Heill and Joann Gearherd. There being no further appearances, the public hearing was closed.

It was moved by Commissioner Lehman and seconded by Commissioner Bolton to adopt a Resolution approving the Concept Design for the demolition of a 1,524 square foot single story residence inclusive of an attached carport and construction of a 1,580 square foot two story residence, 200 square foot detached garage and 899 square foot attached accessory dwelling unit, with staff's draft conditions and the addition of Special Condition #7 the interior stairs from the ADU to the 1st floor laundry room be removed and eliminated; Special Condition #8 All fireplaces must be gas not wood burning and Special Condition #9 the Architect consider a roof design to mitigate view impacts to the neighbors. The motion passed by the following roll call vote:

AYES:	Commissioners: Bolton, Lehman, Locke, LePage
-------	--

NOES: Commissioners: Delves

ABSTAINED: Commissioners: None

ABSENT: Commissioners: None

Item 6: APP 21-232 (Cress) - Appeal of a Track 1 Design Study (DS 21-078, Cress) for the removal and replacement of a 625 square-foot patio, the addition of seat wall, landscape lighting, and a new fire pit located on Lincoln Street 2 NW of 10th Avenue.

Marnie Waffle, Principal Planner presented the staff report and addressed questions of the Commission.

Alan Silbergh, appellant, discussed the project and addressed why he filed the appeal and presented possible mitigation efforts.

Chair LePage opened the public hearing. Hayley Charnaw, property owner and Ben Wilson appeared before the Commssion. There being no further appearances the public hearing was closed.

It was moved by Chair LePage and seconded by Commissioner Locke, to continue the appeal and have the property owner return to the Commission with a Design Review application that is in compliance with the Residential Design Guidelines and incorporates a drainage plan, redesign of the patio area with permeable pavers and an 8 foot privacy fence between the two neighbors. The motion passed by the following roll call vote:

- AYES: Commissioners: Bolton, Delves, Lehman, Locke, LePage
- NOES: Commissioners: None

ABSTAINED: Commissioners: None

ABSENT: Commissioners: None

Item 7: DS 21-224 (White-Cox): Consideration of a Concept Design Study for additions to the historic 'Comstock Studio' totaling 247 square feet and a 267 square-foot detached accessory dwelling unit located at the northwest corner of Santa Fe Street and 6th Avenue in the Single-Family Residential (R-1) District. APN 010-092-007-000

Marnie Waffle, Principal Planner presented the staff report and addressed questions of the Commission

Thomas Hood, Architect and representative for the property owners gave a presentation and addressed questions of the Commission.

Chair LePage opened the public hearing. The following members of the public appeared before the Commission: Ann Maupin and Kevin Verner.

It was moved by Commissioner Delves and seconded by Commissioner Locke to adopt a Resolution approving a Concept Design Study for additions to the historic 'Comstock Studio' totaling 247 square feet and a 267 square-foot detached accessory dwelling unit located at the northwest corner of Santa Fe Street and 6th Avenue with staff's draft special conditions and one additional condition #5 to move the ADU 1-2 feet to the northwest and condition #5 the removal of three large boulders that have been placed in the right-of-way. The motion passed by the following roll call vote:

AYES:	Commissioners:	Bolton, Delves, Lehman, Locke, LePage
NOES:	Commissioners:	None
ABSTAINED:	Commissioners:	None
ABSENT:	Commissioners:	None

DIRECTORS REPORT

Brandon Swanson, Planning and Building Director thanked the Commission for a job well done and gave kudo's to Marnie Waffle, Principal Planner for presenting the projects today.

- He provided an update on the Building Inspector position, an offer has been made and the person is going through background and reference checks now.
- A temp-hire, Leah Young, will be starting on February 14th to fill the vacancy of administrative coordinator, she will be introduced at the next meeting.
- Interviews are underway for the Associate Planner position that will concentrate on long range planning.
- A Contract with Winter and Company was continued by the City Council and the finalized contract will go to them in March for approval.
- He provided an update regarding the Verizon Wireless lawsuit
- Following questions from the Commission, he provided an update on the digitizing of property files.

FUTURE AGENDA ITEMS

Item 8: Regular meeting - March 9, 2022 Changing the time the Planning Commission convenes.

ADJOURNMENT

APPROVED:

ATTEST:

Michael LePage, Chair

Margi Perotti, Recording Secretary Brandon Swanson, Director



March 9, 2022 CONSENT AGENDA

TO:	Chair LePage and Planning Commissioners	
SUBMITTED BY:	Margi Perotti, Administrative Coordinator	
APPROVED BY:		
SUBJECT:	Monthly Report - January 2022	
Application:	APN:	
Block:	Lot:	
Location:		
Applicant:	Property	Owner:
Executive Sun	mmary:	

Recommendation:

Background and Project Description:

Staff Analysis:

Other Project Components:

Monthly Report - January 2022



CITY OF CARMEL-BY-THE-SEA Monthly Report

January 2022

Community Planning and Building Department

TO: Planning Commissioners

SUBMITTED BY: Margi Perotti, Administrative Coordinator

SUBMITTED ON: February 7, 2022

APPROVED BY: Brandon Swanson, Community Planning & Building Director

JANUARY 2022 - DEPARTMENT ACTIVITY REPORT

I. PLANNING APPLICATIONS:

In January 2022, **38** planning permit applications were received.

II. BUILDING PERMIT APPLICATIONS:

In January 2022, 49 Building Permit applications were received.

III. CODE COMPLIANCE CASES:

In January 2022, **16** new code compliance cases were created.

IV. ENCROACHMENT APPLICATIONS:

In January 2022 **15** encroachment permit applications were received.

V. YEAR-TO-DATE TRENDS

Table 1 includes the January 2022 totals, for planning and building permit applications, encroachments and code compliance cases with a comparison to January 2021 totals. As shown in the table, in 2022 there was a **38% increase** in planning permit applications, an **112% increase** in building permit applications, **100% increase** in code compliance cases, and a **16% decrease** in encroachment permit applications compared to the same period 2021.

Table 1. Permit Application Totals ** Percentage calculations corrected, program was not capturing all
permits previously.

	<u>Planning</u>	<u>Building</u>	Code Compliance	Encroachments
2021 Totals	34	23	8	18
2022 Totals	38	49	16	15
% Difference	12%	112%	100%	-16%



March 9, 2022 CONSENT AGENDA

TO:	Chair LePage and Planning Commissioners	
SUBMITTED BY:		
APPROVED BY:		
SUBJECT:	Monthly Report - February 2022	
Application:		APN:
Block:		Lot:
Location:		
Applicant:		Property Owner:
Executive Sur	nmary:	

Recommendation:

Background and Project Description:

Staff Analysis:

Other Project Components:

Monthly Report for February 2022



CITY OF CARMEL-BY-THE-SEA Monthly Report

Community Planning and Building Department

TO: Planning Commissioners

SUBMITTED BY: Margi Perotti, Administrative Coordinator

SUBMITTED ON: March 2, 2022

APPROVED BY: Brandon Swanson, Community Planning & Building Director

FEBRUARY 2022 - DEPARTMENT ACTIVITY REPORT

I. PLANNING APPLICATIONS:

In February 2022, 26 planning permit applications were received.

II. BUILDING PERMIT APPLICATIONS:

In February 2022, **34** Building Permit applications were received.

III. CODE COMPLIANCE CASES:

In February 2022, **26** new code compliance cases were created.

IV. ENCROACHMENT APPLICATIONS:

In February 2022 **20** encroachment permit applications were received.

V. YEAR-TO-DATE TRENDS

Table 1 includes the February 2022 totals, for planning and building permit applications, encroachments and code compliance cases with a comparison to February 2021 totals. As shown in the table, in 2022 there was a **12% increase** in planning permit applications, a **.03% increase** in building permit applications, **42% increase** in code compliance cases, and a **37% decrease** in encroachment permit applications compared to the same period 2021.

Table 1. Permit Application Totals ** Percentage calculations corrected, program was not capturing all	
permits previously.	

	<u>Planning</u>	<u>Building</u>	Code Compliance	Encroachments
2021 Totals	32	33	5	32
2022 Totals	26	34	26	20
% Difference	12%	.03%	42%	-37%



Planning Permit Report

02/01/2022 - 02/28/2022

Permit #	Permit Type	Project Description	Address/Location	Date Received	Date Approved	Status
	Historic Determination	Historic Evaluation	San Carlos 2 southeast of Seventh Avenue	2/23/2022		Pending Assignment
22063	Design Study	Remove (e) concrete unit paver driveway, replace with monolithic stone pavers - gaps to be planted with native grass all (e) trees to remain. Remove (e) understory planting, replace with contextually appropriate, drought- tolerant, native and Mediterranean- climate planting scheme, no additional lighting is proposed. Remove (e) concrete pad in garbage/utility enclosure, replace with gravel. Remove (e) timber fence around garbage/utility enclosure, replace with stone wall. (N) stone veneer over (e) lower stucco walls.	1 Sand & Sea	2/28/2022		Pending Assignment
22062	Historic Evaluation	Historic evaluation in association with DS 21-433	Dolores 3 NE of 13th	2/28/2022		Pending Assignment
22061		VOID, APPLICANT SUBMITTED IN ERROR				Closed
22060	Design Study	Add 45 square foot bay window to an existing living room.	Carmelo 4 SW of 7th	2/25/2022		Pending Assignment
22059	Design Study	Installation of new outdoor gas fireplace	SW Corner of Santa Fe & 8th	2/28/2022		Pending Assignment
22058	Preliminary Site Assessment	Demo of existing single story SFR, construction of new two story SFR- 1 tree removal proposed.	Casanova 2 SE Palou			Pending Assignment
22057	Design Study	Demo of an existing single story SFR and construction of new 2 story SFR	Casanova 2 SE of Palou			Pending Assignment

22056	Use Permit	442 square foot coffee shop	Dolores Street southeast of Ocean Avenue	2/22/2022	F	Pending Assignment
22055	Business License	New business license for Janaka's Art and Books	Southwest Corner of Ocean and Mission	2/24/2022	F	Pending Assignment
22054	Design Review	DR for new Condenser's and SES	Camino Real at Eight Street		F	Pending Assignment
	Preliminary Site Assessment	Preliminary Site Assessment	2SW Santa Fe & Mt. View		F	Pending Assignment
	Preliminary Site Assessment	Demolition of an existing single story family residence and detached garage. Construction of a new two story, single family residence with attached garage and new paver driveway.	13th 2SE of Mission		I	In Review
22051	Design Study	Demolition of an existing single story family residence and detached garage. Construction of a new two story, single family residence with attached garage and new paver driveway and fencing	13th 2SE of Mission		[In Review
22050	Variance	Variance for DS 21-264			9	Scheduled for PC
22049	Design Review	Installation of redwood/cedar fence along five center medians at Ocean Ave from Junipero to Monte Verde.	Ocean Ave Median from Junipero to Monte Verde	2/17/2022	I	In Review
22048	Design Review	Nicolas is an elevated Mexican cuisine restaurant that seeks to occupy the 4,938 SF space formerly occupied by Sur La Table. The tenant requests the approval of rear storefront modifications to allow a required second fire exit. The tenant requests the approval of new exterior signage as provided herewith.	Carmel Plaza, STE III, SW Corner Ocean and Junipero]	in Review
22047	Design Study	Installation of a new hot tub.	2905 Franciscan Way	2/16/2022]	In Review
22046	Sign	Nicolas is an elevated Mexican cuisine restaurant that seeks to occupy the 4,938 SF space formerly occupied by Sur	Carmel Plaza, STE III, SW Corner Ocean and Junipero]	in Review

	Historic	La Table. The tenant requests the approval of rear storefront modifications to allow a required second fire exiit. The tenant requests the approval of new exterior signage as provided herewith. Historic evaluation for associated DS 22- 035	Lobos 3 SE of 3rd	2/16/2022	In Review
	Design Study		Lincoln Street 2SE of 12th Avenue		In Review
22043	•	Installation of temporary vinyl window cling sign	San Carlos St and 6th Ave, PO Box 7360	2/10/2022	In Review
22042		Enclose 63 SF of existing raised deck. All materials, details and colors to match existing	Casanova 3 NW of 9th	2/9/2022	In Review
	Check/Inspection	New landscaping planting of the entire lot with the addition of an area of synthetic turf.	Camino Real 5 SW of 13th	2/8/2022	In Review
22040	Bench Dedication	Bench Dedication			In Review
22039		Full home remodel (interior/exterior) Add second story	NW Corner of Carpenter & 4th	2/1/2022	In Review

Total Records: 26

3/1/2022



Building Permit Report

02/01/2022 - 02/28/2022

Permit #	Date Submitted	Date Approved	Project Description	Valuation	Permit Type	Property Location
220083	2/28/2022		emergency repair of pipes and fixture shutoff valve, replacement of vanity/damaged plywood walls	0	Building	Dolores 2 SW of 8th
220082	2/28/2022	2/28/2022	Replace water heater with new tankless water heater. Contact: Monterey Bay Plumbing Inc (831) 393- 9777	5,000	Plumbing	Camino Real 5 NE of Ocean
220081	2/25/2022	2/25/2022	Replace 3 furnaces in the same location. Contact: 72 Degrees Cooper Brother (408) 649-2008	16,930	Mechanical	SE Corner of Lincoln & 8th
220080	2/25/2022	2/25/2022	Add 30 amp 220 circuit for dyer, 20 amp circuit for washer. Contact: Searle Electric (831) 435-0458	1,000	Electrical	SE Corner of Ocean & San Antonio
220079	2/24/2022		Remove (e) deck membrane and install new fully adhered Tufdek 60 mil single ply PVC membrane. Approx 200sf. Work to take place on patio deck at rear of building. Contact: Scudder Roofing (831) 373-7212	13,225	Roofing	Dolores 3 NE of 8th
220078	2/24/2022		Construction of 4' wall with 2' lattice on southern property boundary	0	Exempt Work	Monte Verde 2 NW of 13th

220077	2/23/2022	2/23/2022	In-kind replacement of rotted deck boards and rail post. Contact: Potter Construction (831) 915- 3696	0	Exempt Work	7th 2 NW of Monte Verde
220076	2/23/2022	2/23/2022	Replace existing 1" Febco 825Y RP backflow with a new 1" Febco LF825Y RP backflow. Replumb as necessary. Contact: A & R Plumbing (831) 394-7221	3,000	Plumbing	SW Corner of Mission & 6th
220075	2/22/2022		Install PV system - 10 LG 360 watt panels & Enphase microinverters. System to be sized at 3950W. Contact: Ross Roofing & Solar (831) 394- 8581	15,100	Electrical	5th 2 NW of San Carlos
220074	2/22/2022	2/22/2022	Remove & replace two 40- gallon water heaters. Install two State GS640 natural gas heaters. Contact: A & R Plumbing (831) 394-7221	5,500	Plumbing	Carmelo 5 NE of 4th
220073	2/22/2022	2/24/2022	Relocate plumbing for automatic washer only, move from closet to garage. Cap off (e) plumbing. Contact: A & R Plumbing (831) 394-7221	2,500	Plumbing	SE Corner of Ocean & San Antonio
220072	2/22/2022		Rebuild portion of (e) subordinate unit due to mold & dryrot damage. Same area was rebuilt in 2019 due to same cause. Contact: Max Gabriel (831) 750-8044	80,000	Building	Camino Real 2 SW of Ocean

220071	2/22/2022		Rebuild carport destroyed by tree and convert into closed garage	30,000	Building	Lincoln 2 NW of 5th
220070	2/22/2022		Installation of energy storage systems and small scale roof-mounted solar PV system.	38,940	Electrical	Camino Real 3 NW of 4th
220069	2/21/2022	2/22/2022	Tesla charger installation in garage. 60 amp 240 volt. Contact: Scheiber Electric (831) 229-2155	800	Electrical	Crespi 7 SE of Mountain View
220068	2/18/2022	2/18/2022	Remove wood shakes and replace with composition shingles. CertainTeed Presidential Shake TL in 'Shadow Gray'. Contact: D Cooper Roofing (831) 455- 9168	15,800	Roofing	Mission 4 SW of 10th
220067	2/16/2022		Bathroom remodel of units 106, 107, 210, 211, and 212. Remove tubs and install walk-in showers. Contact: Brad Stenvick (831) 402-5855	60,000	Building	San Carlos 2 SE of 7th
220066	2/16/2022	2/16/2022	Remove (e) wood shake roof and replace with (n) wood shake roof. Contact: Premo Roofing (831) 443- 3605	18,870	Roofing	26018 Ridgewood Road
220065	2/15/2022		New 50amp circuit to connect hot tub. Install 50amp disconnect switch 5' from hot tub. Install one new circuit breaker. Contact: Wright Electrical (888) 681-2609	2,300	Electrical	2905 Franciscan Way

220064	2/14/2022		Tear off (e) gray composition shingle and install new "Like for like" Certainteed Landmark TL gray composition shingles. Contact: Scudder Roofing (831) 373-7212	28,576	Roofing	Torres 10 SW of 10th
220063	2/10/2022	2/24/2022	Replace (e) garage window with new wood window. Contact: McMahan Construction (831) 915-1505	2,500	Building	Dolores 2 SW of 13th
220062	2/8/2022		Replacing an automatic transfer switch and generator. Contact: Cal Coast Electric, Inc (408) 887-8576	19,000	Electrical	NE Corner of Mission & 6th
220061	2/8/2022	2/8/2022	Replace (e) rotted fence on east and south property lines. Contact: Maureen Maguire (917) 495-7538	0	Exempt Work	25904 Ridgewood Road
220060	2/8/2022		Kitchen remodel, Split (e) Master bathroom into 2 spaces to add new 1/2 bath.	48,000	Building	Casanova 5 SE of 13th
220059	2/8/2022		Replace existing heating system with new Bryant 926TB30040, 40k BTU, 96% Efficient. Contact: R&S Heating & Sheetmetal (831) 641-0508	10,263	Mechanical	Dolores 2 NW of 3rd
220058	2/8/2022		Replace (e) window in garage with (n) to match. Convert laundry room to bathroom and add utility sink. Relocate (e) washer & dryer to garage. Contact: Hansen	12,000	Building	NE Corner of Lincoln & 5th

			Construction (831) 214- 5996			
220057	2/7/2022	2/8/2022	Tear off (e) asphalt shingle roof and install (n) asphalt shingles, Landmark Pro in color Heather Blend. Contact: Noble Pride Roofing (831) 751-3131	13,000	Building	Junipero 2 SW of 11th
220056	2/7/2022	2/24/2022	Kitchen: Replace countertops and backsplash. Refinish wood floors. Bathroom: Remove tub and replace shower tile. Contact: Lewis Builders (831) 250-7168	25,000	Building	San Carlos 6 SW of 8th
220055	2/7/2022	2/7/2022	Remove (e) comp shingle roof and replace with 40 year comp shingles in color Moire Black, Landmark PRO. Contact: D Cooper Roofing (831) 455- 9168	7,726	Building	Junipero 2 SW of 8th
220054	2/4/2022	2/7/2022	Replace (e) comp roof with (n) composition roof. Contact: Ineguez Roofing (408) 316-4787	9,600	Roofing	San Carlos 4 NE of 3rd
220053	2/4/2022		Exterior garden walls new concrete patio new paver driveway new roof interior remodel change three bathrooms one kitchen paint new flooring	375	Building	Mission 4 SW of 10th
220052	2/3/2022		Repair of upstairs master bedroom balcony on west side due to water intrusion, replacement of waterproofing, drainage, lath and stucco on parapet	7,500	Building	8th 3 SE of Monte Verde

		walls, mortar and tile replacement			
220051	2/3/2022	Interior remodel of (e) kitchen and bathroom. Contact: Jade Coast Construction (831) 236- 8437	45,000	Building	Santa Rita 5 NW of 4th
220050	2/1/2022	Kitchen, Master Bath & Guest Bath Remodel	80,000	Building	Guadalupe 5 SW of Ocean

Total Records: 34

3/1/2022



Code Compliance Report

02/01/2022 - 02/28/2022

Case #	Case Type:	Status	Location	Problem Description	Date Received	Date Closed
22042	Short-term Rental	STR verified	San Carlos 2 SW of 13th	Transient Rental	2/15/2022	
22041	Right of way Violation	Closed	Monte Verde SE of Ocean	Trash cans in street	2/15/2022	
22040	Right of way Violation	Open	Ocean NW of Dolores	Construction parking	2/16/2022	
22039	Short-term Rental	1st NOV sent	Ocean and Del Mar	Transient Rental	2/11/2022	
22038	Sign Violation	Closed	Ocean SW of Junipero	Exterior signage	2/14/2022	2/14/2022
22037	Business License Violation	Open	Mission SW of 5th	Lapsed business license	2/14/2022	
22036	Business License Violation	Open	Dolores NE of 6th	Lapsed business license	2/14/2022	
22035	Right of way Violation	Open	Torres 3 NW of 10th	Boulders/tape in ROW	2/8/2022	
22034	Fire Code Violation	Open	Lincoln NE of 6th	Propane storage	2/4/2022	
22033	Short-term Rental	Closed	Dolores 5 NW of 8th	Transient Rental	2/10/2022	2/10/2022
22032	Sign Violation	Closed	Mission NW of 7th	Exterior signage	2/10/2022	2/10/2022
22031	Sign Violation	Closed	Ocean NE of San Carlos	Sign in sidewalk	2/10/2022	2/10/2022
22030	Right of way Violation	Closed	Dolores NE of 6th	Cone in parking space	2/9/2022	2/9/2022
22029	Sign Violation	Closed	Ocean NE of Dolores	Exterior signage	2/9/2022	2/9/2022
22028	Right of way Violation	Closed		Advertising in streets	2/4/2022	2/7/2022
22027	Sign Violation	Closed	San Carlos SW of Ocean	Sign in ROW	2/4/2022	2/4/2022
22026	Right of way Violation	Closed	Casanova NE of Ocean	Waste in ROW	2/1/2022	2/4/2022
22025	Right of way Violation	Closed	Camino Real 6 NW of 2nd	Construction Waste in ROW	2/1/2022	2/2/2022

Short-term Rental	Closed	Dolores 5 NW of 8th	Transient Rental	2/3/2022	
Building Violation	Open	Mission 4 SW of 10th	Demolition without permit	2/3/2022	
Right of way Violation	Closed		Blocked parking stalls	2/1/2022	2/2/2022
Right of way Violation	Closed	Mission 4 NE of 10th	Portable toilet in street	2/3/2022	2/11/2022
Right of way Violation	Open	NEC Torres and 5th	Landscaping RoW	1/24/2022	1/1/1900
Planning Violation	Open	SWC Monte Verde and 9th	Landscaping without permit	2/1/2022	
Sign Violation	Open	Dolores NW of 7th	Sign violation	1/31/2022	1/1/1900
Short-term Rental	Open	Junipero 2 SE 11th	Transient Rental	2/1/2022	
	Building Violation Right of way Violation Right of way Violation Right of way Violation Planning Violation Sign Violation	Building ViolationOpenRight of way ViolationClosedRight of way ViolationClosedRight of way ViolationOpenRight of way ViolationOpenSign ViolationOpen	Building ViolationOpenMission 4 SW of 10thRight of way ViolationClosedRight of way ViolationClosedMission 4 NE of 10thRight of way ViolationOpenNEC Torres and 5thRight of way ViolationOpenSWC Monte Verde and 9thSign ViolationOpenDolores NW of 7th	Building ViolationOpenMission 4 SW of 10thDemolition without permitRight of way ViolationClosedBlocked parking stallsRight of way ViolationClosedMission 4 NE of 10thPortable toilet in streetRight of way ViolationOpenNEC Torres and 5thLandscaping RoWPlanning ViolationOpenSWC Monte Verde and 9thLandscaping without permitSign ViolationOpenDolores NW of 7thSign violation	Building ViolationOpenMission 4 SW of 10th Mission 4 SW of 10thDemolition without permit2/3/2022Right of way ViolationClosedMission 4 NE of 10thBlocked parking stalls2/1/2022Right of way ViolationClosedMission 4 NE of 10thPortable toilet in street2/3/2022Right of way ViolationOpenNEC Torres and 5thLandscaping RoW1/24/2022Planning ViolationOpenSWC Monte Verde and 9th PermitLandscaping without permit2/1/2022Sign ViolationOpenDolores NW of 7thSign violation1/31/2022

Total Records: 26

3/1/2022



Permit Report

02/01/2022 - 02/28/2022

Permit #	Permit Date	Permit Type	Owner Name	Date Submitted	Project Description	Parcel #
220037	2/25/2022	Perm Ench	Fred O'Such	2/25/2022	Installation of new 3/4" PVC schedule 40 pipe from drain pipes at fence to storm drain. Pipe will follow fence and empty directly to drain.	010302014000
220036	2/23/2022	Temp Ench	Pacific Gas & Electric	2/23/2022	Applicant to trench, backfill & install electric substructures. PG&E to trench for betterment. PG&E to extend overhead primary, install new overhead transformers, underground secondary conduit/cable & enclosures. Contact: PG&E (408) 478-1894	
220035	2/22/2022	Temp Ench	Stacy Talbert	2/22/2022	Replace sewer lateral using pipe bursting. Contact: Rooter King (831) 394-5315	009353012000
220034	2/22/2022	Temp Ench	Steve Gleitsmann	2/22/2022	Replace sewer lateral using pipe bursting. 811 #: X205201919. Contact: Rooter King (831) 394-5315	010221003000
220033	2/22/2022	Temp Ench	Marliz Estate/Sade's Cocktails	2/22/2022	Replace a carmel p-trap with a new clean out & install new BWV. Contact: Roto Rooter (831) 242-0087	010147013000
220032	2/22/2022	Temp Ench	Susan Willey	2/22/2022	Trenchless sewer line repair from inside property going out to the street. Excavate a 4'x4' square in street. Contact: Roto Rooter (831) 242-0087	010074007000
220031	2/22/2022	Temp Ench	Rainstory LTD	2/22/2022	Patch and Pave 9'x22' asphalt area. Contact: Coastal Paving & Excavating (831) 262-1425	009151002000
220030	2/22/2022	Driveway	Joseph DiNucci	2/22/2022	Demo (e) asphalt driveway. Replace with Calstone pavers. No change to grading. Contact: Gold Stone Masonry (831) 521-3662	010071001000
220029	2/22/2022	Temp Ench	PG&E	2/22/2022	Applicant to trench and backfill. PG&E to replace secondary box. PM#35247942. Contact: PG&E (408) 478-1894	
220028	2/21/2022	Perm Ench	City of Carmel-By- The-Sea		Removal of DG pathway and replace with red permeable pavers. Updating landscaping as well	

220027	2/21/2022	Temp Ench	City of Carmel-By- The-Sea		Removal of DG pathway and replacing with brick walkway. Refreshing landscape	
220026	2/17/2022	Temp Ench	Jean Claude Mouton	2/17/2022	Supply and set up scaffolding to safeguard pedestrians and workers. Approx 100' of open breezeway scaffolding. Reservation of 7 parking spaces that would be blocked by scaffolding. Contact: Scudder Roofing (831) 384-1500	010146007000
220025	2/15/2022	Driveway	Mathew Martin	2/15/2022	Replace current asphalt driveway with new paver driveway. Contact: P.M. Landscaping Services, LLC (831) 324-0637	010015002000
220024	2/15/2022	Temp Ench	Le Chiffre Holdings, LLC	2/15/2022	Replace sewer lateral using pipe bursting. 811# X204501286. Contact: Rooter King (831) 394-5315	010162025000
220023	2/15/2022	Temp Ench	Matt Weld	2/15/2022	Replace sewer lateral using pipe bursting. 811# W204500216. Contact: Rooter King (831) 394-5315	010041016000
220022	2/14/2022	Temp Ench	California American Water	2/14/2022	Excavate a 3'x2' and 5'x5' pit of damaged asphalt due to water service repair. Contact: West Valley Construction (408) 640-8913	
220021	2/14/2022	Temp Ench	California American Water	2/14/2022	Excavate a 9'x11' pit to repair asphalt due to water leak. Contact: West Valley Construction (408) 640- 8913	
220020	2/10/2022	Temp Ench	California American Water	2/10/2022	3'x3' asphalt patch for CalAm job #1100. Contact: Coastal Paving & Excavating (831) 262-1425	
220019	2/9/2022	Temp Ench	Isabel Agnes Martin, LLC	2/9/2022	Add 2 new lines from east side of Dolores connecting to City line on west side of Dolores. Contact: Ramirez Plumbing (831) 809-4707	010146014000
220018	2/8/2022	Driveway	Jeanne Potter Trust	2/8/2022	Replacement of driveway apron. Contact: Michael O'Bryant (310) 849-9906	009151002000

Total Records: 20

3/1/2022



March 9, 2022 ORDERS OF BUSINESS

TO:	Chair LePage and Planning Commissioners			
SUBMITTED BY:	Brandon Swanson, Community Planning and Building Director			
APPROVED BY:				
SUBJECT:	Consider if/when to return to in-person Planning Commission meetings, and provide direction to staff.			
Application:	APN:			
Block:	Lot:			
Location:				
Applicant:	Property Owner:			

Executive Summary:

Recommendation:

Provide direction to staff regarding if/when the Planning Commission would like to return to in-person/hybrid meetings in the Council Chambers

Background and Project Description:

On March 1st, the City Council began holding in-person/hybrid meetings again in the Council Chambers, subject to the requirements of an Urgency Ordinance that was adopted on February 28th. This Urgency Ordinance set ground rules for conducting in-person meetings such as mask and vaccination requirements. The Urgency Ordinance applies to all public meetings held by the City.

All other Boards and Commissions in the City have been empowered by the Council to determine if/when they would like to return to in-person meetings that would be subject to the current Urgency Ordinance. Staff will be requesting a consensus decision of the Planning Commission as to if/when they would like to return in-person.

Other Project Components:



March 9, 2022 PUBLIC HEARINGS

то:	Chair LePage and Planning Commissioners	
SUBMITTED BY:		
APPROVED BY:		
SUBJECT:	DS 21-180 (Janz): Consideration of a Concept Design Study for single-story additions totaling 545 square feet to a 1,385 square-foot single-story residence located at the northeast corner of Carpenter Street and 4th Avenue in the Single-Family Residential (R-1 District. APN 010-014-010-000 - CONTINUED TO APRIL 13, 2022	
Application:	APN:	
Block:	Lot:	
Location:		
Applicant:	Property Owner:	
Executive Sur	nmary:	
Recommenda	tion:	
Background a	and Project Description:	

Staff Analysis:

Other Project Components:



March 9, 2022 PUBLIC HEARINGS

TO:	Chair LePage and Planning Commissioners
SUBMITTED BY:	Evan Kort, Associate Planner
APPROVED BY:	Brandon Swanson, Community Planning and Building Director
SUBJECT:	DS 21-264/VA 22-050 (Kolsch): Consideration of a Final Design Study (DS 21-264, Kolsch) and associated Coastal Development Permit for a partial demolition and 368 square foot net addition to an existing 1,816 square foot one story residence inclusive of an approximately 279 square foot attached garage including the construction of a new 544 square foot second story and new 200 square foot garage in the front setback and Variance (VA 22-050, Kolsch) to allow for second story plate heights exceeding the 18-foot height limit, located on Escolle Way 2 southeast of Perry Newberry Way in the Single-Family Residential (R-1) Zoning District. APN: 009-161-011-000

Application: DS 21-264/VA 22-050 (Kolsch)	APN: 010-161-011-000			
Block:2B	Lot:10			
Location: Escolle Way 2 southeast of Perry Newberry Way				
Applicant: John Mandurrago, Agent	Property Owner: Mattias Kolsch			

Executive Summary:

The applicant is proposing a 368 square foot net addition to accommodate a new second story to an existing 1-story, 1,537 square foot single-family residence. The project also requires a Variance to allow for second story plate heights exceeding the 18-foot height limit. This item was previously considered at a Concept Design hearing, and generally received support. The major piece of information requested by the Commission was further justification for the requested Variance. This additional justification is included with the report, and staff is supporting the Variance request.

Recommendation:

Adopt a Resolution (Attachment 1) approving a Final Design Study, and associated Coastal Development Permit for a partial demolition and 368 square foot net addition to an existing 1,816 square foot one story residence inclusive of an approximately 279 square foot attached garage including the construction of a new 544 square foot second story and new 200 square foot garage in the front setback and Variance to allow for second story plate heights exceeding the 18-foot height limit, located on Escolle Way 2 southeast of Perry

Newberry Way in Single-Family Residential (R-1) Zoning District, APN: 010-161-011.

Background and Project Description:

The project site is a 5,106 square foot lot located at Escolle Way 2 southeast of Perry Newberry Way. The property contains an existing 1,537 square foot single-family residence with a 279 square foot attached garage. The applicant is proposing to demolish 164 square feet of the existing residence as well as the garage to accommodate a 532 square foot second story addition and construction of a new detached garage in the front setback (net increase of 368 square feet for the site).

The existing residence is a combination of board and batten and stucco, however, the applicant is proposing to refinish the exterior of the residence with HardieBoard horizontal siding throughout. The residence is proposed to have a composition shingle roof and the existing aluminum windows are proposed to be replaced throughout –both the new and replaced windows will be aluminum clad wood windows. The applicant is also proposing to remove the majority of the existing site coverage improvements on site and incorporate new walkways, a patio, landings into the site.

The project was previously considered at the December 8, 2021 Planning Commission hearing and the Concept Design Study was accepted with the adoption of Resolution 2021-65-PC.

Staff Analysis:

Previous Hearing: The following items were discussed at the December 8, 2021 Planning Commission hearing and listed as draft conditions of approval to address the concerns.

1. **Volume Study.** The required Volumetric Study shall be successfully completed prior to scheduling for Final Details Review.

<u>Staff Analysis</u>: The required volume study was successfully completed. The development is allowed 26,208 cubic feet of volume and proposed 25,828.54 cubic feet.

2. **Plate Heights.** The applicant shall provide a greater explanation/clarification as to the ground for the variance request for 2nd story plate heights exceeding 18', or the applicant shall revise the plans so the plate heights comply with the zoning regulations.

<u>Staff Analysis</u>: Both the applicant and the property owner have provided written statements providing further explanation as to the grounds for the variance request. Both statements are included as Attachment 3.

Finish Details: The existing residence is a combination of board and batten and stucco, however, the applicant is proposing to refinish the exterior of the residence with a HardieBoard horizontal siding throughout. The residence is proposed to have a composition shingle roof throughout and the existing aluminum windows are proposed to be replaced throughout –both the new and replaced windows will be aluminum clad wood. The applicant is also proposing to remove the majority of the existing site coverage improvements on site and incorporate new walkways, a patio, landings, and driveway into the site (refer to Attachment 5, Sheet D10).

The applicant has noted the residence is proposed to be painted "Chantilly Lace" by Benjamin Moore with the windows, doors, and trim painted "Chantilly Lace" and a "Black Magic" front door, also by Benjamin Moore (refer to Attachment 5, Sheet D10). Consistent with past direction by the Planning Commission and

the recommended colors suggested by the Residential Design Guidelines, staff recommends an alternative color scheme be proposed with a building color that is not primarily a stark, or bright white.

The Residential Design Guidelines state, "Traditionally, builders used muted colors in Carmel. In many cases, the natural earth tones of stone and the dark tans of stained siding dominated a site. Even when buildings were painted, muted earth tones were used to help blend with the forest. This tradition should be continued."

The existing residence is a cream color which would be an appropriate finish, however, if the applicant would like to propose a softer white as an alternative, a "creamier" white should be used as opposed to a stark, or bright, white. As such, staff as included Condition of Approval #31 stating: "The applicant shall work with staff to propose an alternative building color –not a stark white as presented to the Planning Commission."

The applicant is proposing two styles of light fixtures to be used throughout the site, a wall sconce, and a pathway light (refer to Attachment 5, Sheet D9). The wall sconce will be fitted with a 15-watt bulb and is consistent with the lighting code requirements and Residential Design Guidelines. The pathway light, however, exceeds the allowable lumen output. According to the manufacture's specifications listed on their website, the LED path light outputs 270 lumens, where 225 are permitted for pathway/landscape lights. Condition of Approval #32 is included stating the proposed landscape light shall be revised to comply with Condition of Approval #14.

Landscaping/Site Coverage: Other than the required tree planting, new landscaping is not proposed for the site. Should landscaping be proposed at a later time, Condition of Approval #9 requires the forester's approval of the landscape plan prior to Building Permit issuance.

The applicant is proposing to reconfigure the site coverage throughout the property and reduce the nonconforming site coverage by 469 square feet from approximately 929 square feet to 460 square feet bringing the site into compliance with the zoning requirements pertaining to site coverage. The new site coverage improvements include stone walkways and porches, and new stairs and landings.

At the previous hearing, the removal of existing encroachments was discussed and the property owner indicated their desire to maintain the existing right-of-way encroachments (existing garden walls). The commission's position in the past has been to require the removal of encroachments as a condition of the project, however, the owner may apply for an encroachment permit to maintain said encroachments. As such Condition of Approval #30 has been included stating, "An encroachment permit for the garden walls in the right-of-way shall be obtained prior to the issuance of a building permit. Should an encroachment permit not be approved by the decision making body, all existing encroachments shall be removed from the right-of-way and the plans submitted for building permit approval shall be revised to reflect the removed encroachments and subsequent landscape improvements to the subject area." The commission did note that they were generally supportive of maintaining of the existing encroachment, however, the Commission is not the decision making body in respect to encroachment permits. The resolution (Attachment 1) does state that the Commission is supportive of maintaining the encroachment and recommends approval to the decision making body.

Variance: The applicant has requested a Variance to allow the plate heights to exceed the maximum allowable 18' two story plate height limit. The Variance is being requested for the new second story plates at the rear of the residence with the tallest plate being 18'10" at the southeast corner of the lot. The total building height will not exceed the maximum 24' height for a two story building –the variance is only being requested for the plate heights.

The grounds for the request stated by the applicant include the topography of the site that slopes down away from the street and the fact that existing structure of ground floor is being maintained at the rear of the residence. The slope of the lot, along with the finished floor level and plate heights of the existing residence being maintained has limited the plate height for the new second story elements. A design with compliant second story plate heights would limit the interior plate to approximately 6 feet tall at multiple points within the interior of the new second floor. Per the applicant, approval of the Variance would allow for the new second floor to maintain a more useable interior floor space with minimum interior plate heights of approximately 7' tall. Both the applicant and the property owner have provided letters further explaining the grounds for the request and have been included as Attachment 3.

In accordance with CMC 17.64.210, the following findings are required for approval of a variance:

A. That due to special physical circumstances applicable to the property, the strict application of the Zoning Ordinance will deprive the property of privileges enjoyed by other properties in the vicinity which were developed under the same limitations of the Zoning Ordinance;

<u>Staff Response</u>: The existing site condition and topography has the building site sloping away from the street with the ground elevation of the site at the front of the residence approximately 3' above the ground elevation at the rear of the residence. This change in slope limits the height at the rear and the ability to accommodate a usable second story.

B. That the variance will not constitute a grant of special privilege inconsistent with limitations on other property in the vicinity and within the same zone;

<u>Staff Response</u>: The request meets the finding listed above. The variance request is based on the site being located on a sloping lot where the majority of the existing one story residence is being maintained to accommodate a new second story addition. As a result of the topography, the finished floor of the existing residence (proposed to be maintained) at the rear of the residence is approximately 3'6" above grade which limits the plate height of the new second floor as the residence is unable to be stepped with the topography of the site.

Surrounding properties are either developed with an existing second story or do not appear to have the same physical site constraint of a sloping topography. Due to the orientation of the lot and siting of the existing residence relative to topography of the surrounding area and the sites location on a cul-de-sac, the subject property appears to be impacted by the topography where other properties may not have the same constraint.

C. That the variance will not be detrimental to adjacent property or injurious to public health, safety or welfare;

<u>Staff Response</u>: The request meets the finding listed above. The additional plate height requested does would not be detrimental to adjacent properties or injurious to public health, safety, or welfare. The plans reviewed at the concept hearing show the same plate heights as requested with this variance and it was determined the proposed massing did not create any privacy or view impacts to adjacent or surrounding neighbors. The proposed structure would still be compliant with the maximum building height with a variance only being requested for the plate heights at the rear of the property.

D. That the condition or situation of the property for which the variance is sought is not so general or recurrent in nature as to make reasonable or practical the formulation of a general regulation to address such condition or situation;

<u>Staff Response</u>: The request meets the finding listed above. The request is predicated on an existing physical site conditions related to the topography of the site –see finding B, above.

E. That the situation or condition for which the variance is sought was not the result of actions of the existing or any prior owner of the property; and

<u>Staff Response</u>: The request meets the finding listed above. While the request for the variance is in part due to the fact that the floor level of the existing residence is being maintained and there is currently an existing large underfloor area, the primary basis for the request is due to the natural

topography of the site. The existing development was legally constructed in 1971 with building techniques and design methodology consistent with development practices at the time of construction.

F. That granting the variance will not be in conflict with the General Plan, or the general zoning objectives of the district within which the affected property lies.

<u>Staff Response</u>: The request meets the finding listed above. The granting of the variance does not conflict with policies, goals, or objectives of the General Plan and meets the design objective for the R-1 Zoning District established in CMC 17.10.010 including preservation of open space, relating the building site to the human scale, and maintaining the existing neighborhood character.

Further, staff believes granting the Variance better archives consistency with the Residential Design Guidelines and zoning objective and creates an overall better design. An earlier version of the project which complied with the plate heights presented a busier appearance with multiple complex roof forms, asymmetrical gables, and unbalanced window placement in an effort to achieve consistency with the plate heights.

An alternative to a variance may be to relocate the footprint of the second floor, however if the design of the proposed second story were to be pulled toward the front of the residence (uphill, which would reduce the plate height), the mass of the structure would be located closer to the street which is

discouraged by the Residential Design Guidelines (Design Guidelines state 2nd story elements should be located downhill and mass should be kept away from the street). In the current proposal (variance proposed) when viewed from the street, the plates closest to the right of way comply with the 18' height limit with only the plate heights at the rear of the residence exceeding the prescribed height limit which in turn has provided a similar design that is more consistent with the Residential Design Guidelines.

Other Project Components:

Staff recommends the project be found categorically exempt from the California Environmental Quality Act (CEQA), State CEQA guidelines and local environmental regulations, pursuant to Section 15301 (Class 1) – Existing Facilities. Class 1 exemptions include, alterations to existing private structures involving negligible or no expansion of the existing or former use such as additions to existing structures provided that the addition will not result in an increase of more than 50 percent of the existing floor area or 2,500 square feet, whichever is less. The project consists of interior and exterior alterations and additions to an existing single-family residence. The 368 square-foot increase in floor area for the site represents a 20% increase in floor area of the existing site. The project does not change the existing or former use of the property as a single-family residence and the project does not present any unusual circumstances that would result in a potentially significant environmental impact, and no exceptions to the exemption exists pursuant to Section 15300.2 of the CEQA Guidelines.

Attachment 1 - Resolution Attachment 2 - Data Table Attachment 3 - Site Photographs Attachment 4 - Project Plans

CITY OF CARMEL-BY-THE-SEA PLANNING COMMISSION

PLANNING COMMISSION RESOLUTION NO. 2022-XX-PC

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF CARMEL-BY-THE-SEA APPROVING A FINAL DESIGN STUDY, AND ASSOCIATED COASTAL DEVELOPMENT PERMIT FOR A PARTIAL DEMOLITION AND 368 SQUARE FOOT NET ADDITION TO AN EXISTING 1,816 SQUARE FOOT ONE STORY RESIDENCE INCLUSIVE OF AN APPROXIMATELY 279 SQUARE FOOT ATTACHED GARAGE INCLUDING THE CONSTRUCTION OF A NEW 544 SQUARE FOOT SECOND STORY AND NEW 200 SQUARE FOOT GARAGE IN THE FRONT SETBACK AND VARIANCE TO ALLOW FOR SECOND STORY PLATE HEIGHTS EXCEEDING THE 18-FOOT HEIGHT LIMIT, LOCATED ON ESCOLLE WAY 2 SOUTHEAST OF PERRY NEWBERRY WAY IN SINGLE-FAMILY RESIDENTIAL (R-1) ZONING DISTRICT, APN: 010-161-011

WHEREAS, the property owner ("Owner") is KOLSCH MATHIAS N; and

WHEREAS, John Mandurrago, ("Applicant") submitted an application on behalf of the Owner requesting the approval of a Design Study "DS 21-264" described herein ("Application"); and

WHEREAS, project site is a comprised of a 5,601 square-foot lot of record located at Escolle Way 2 southeast of Perry Newberry Way; and

WHEREAS, the site is currently developed with an existing 1,537 square foot single family residence with a 279 square foot attached garage; and

WHEREAS, a Design Study Application is required in accordance with CMC 17.58.040. Approval of a Concept and Final Design Study hearing is required in accordance with CMC 17.58.040.B; and

WHEREAS, the applicant is seeking approval of a Design Study application to demolish 164 square feet of the existing residence as well as the garage to accommodate a 532 square foot second story addition and construction of a new detached garage in the front setback (net increase of 368 square feet for the site); and

WHEREAS, on December 8, 2021, the Planning Commission held a duly noticed public hearing in accordance with CMC 17.58.040.B to receive public testimony regarding the Concept Design Study, including without limitation, information provided to the Planning Commission by City staff and through public testimony on the conceptual design of the project and adopted Resolution 2021-65-PC accepting a Concept Design Study; and

WHEREAS, a Coastal Development Permit is required in accordance with CMC 17.52.090; and

WHEREAS, notice of the public hearing for a Final Design Study was published on March 4, 2022 in compliance with State law (California Government Code 65091), as well as handdelivery of the public notice by the Applicant to each property owner within a 100-foot radius of the project site indicating the date and time of the public hearing; and

WHEREAS, on March 9, 2022, the Planning Commission held a public hearing to receive public testimony regarding the Final Design Study, including without limitation, information provided to the Planning Commission by City staff and through public testimony on the conceptual design of the project; and

WHEREAS, this Resolution and its findings are made based upon evidence presented to the Commission at the hearing date including, without limitation, the staff report and attachments submitted by the Community Planning and Building Department; and

WHEREAS, the Planning Commission did hear and consider all said reports, attachments, recommendations and testimony herein above set forth and used their independent judgement to evaluate the project; and

WHEREAS, the California Environmental Quality Act (California Public Resources Code §§ 21000, *et seq.*, "CEQA"), together with State Guidelines (14 California Code Regulations §§ 15000, *et seq.*, the "CEQA Guidelines") and City Environmental Regulations (CMC 17.60) require that certain projects be reviewed for environmental impacts and that environmental documents be prepared; and

WHEREAS, project consists of a partial demolition and 855 square- foot net addition to an existing 945 square foot one-story single family residence in the single-family (R-1) zone district. Therefore, pursuant to CEQA regulations, the project is categorically exempt under Section 15303 (New Construction or Conversion of Small Structures); and

WHERAS, pursuant to Section 15300.2 of the CEQA Guidelines, the proposed project does not present any unusual circumstances that would result in a potentially significant environmental impact, and there are no exceptions to the exemption; and

WHEREAS, the facts set forth in the recitals are true and correct and are incorporated herein by reference.

NOW THEREFORE, BE IT RESOLVED, that the Planning Commission of the City of Carmel-By-The-Sea does hereby recommend to the Appropriate Authority, the approval of an encroachment permit to allow the property owner to maintain an existing garden wall encroachment located at the front of the property, as described in Condition of Approval #30 below.

BE IT FURTHER RESOLVED, that the Planning Commission of the City of Carmel-By-The-Sea does hereby make the following findings and determinations regarding the Design Study:

FINDINGS REQUIRED FOR DESIGN STUDY APPROVAL (CMC 17.64.80 and LUP P	olicy P	1-45 <u>)</u>
For each of the required design study findings listed below, staff has indicated	whethe	r the
submitted plans support adoption of the findings. For all findings checked "no" the	e staff re	eport
discusses the issues to facilitate the Planning Commission decision-making. Findi	ngs che	ecked
"yes" may or may not be discussed in the report depending on the issues.		
Municipal Code Findings	YES	NO
1. The project conforms with all zoning standards applicable to the site, or has	\checkmark	
received appropriate use permits and/or variances consistent with the zoning		
ordinance.		
2. The project is consistent with the City's design objectives for protection and	\checkmark	
enhancement of the urbanized forest, open space resources and site design. The		
project's use of open space, topography, access, trees and vegetation will		
maintain or establish a continuity of design both on the site and in the public right		
of way that is characteristic of the neighborhood.		
3. The project avoids complexity using simple/modest building forms, a simple	\checkmark	
roof plan with a limited number of roof planes and a restrained employment of		
offsets and appendages that are consistent with neighborhood character yet will		
not be viewed as repetitive or monotonous within the neighborhood context.		
4. As conditioned, the project is adapted to human scale in the height of its roof,	\checkmark	
plate lines, eave lines, building forms, and in the size of windows doors and		
entryways. The development is similar in size, scale, and form to buildings on the		
immediate block and neighborhood. Its height is compatible with its site and		
surrounding development and will not present excess mass or bulk to the public		
or to adjoining properties. Mass of the building relates to the context of other		
homes in the vicinity.		
5. The project is consistent with the City's objectives for public and private views	\checkmark	
and will retain a reasonable amount of solar access for neighboring sites. Through		
the placement, location and size of windows, doors and balconies the design		
respects the rights to reasonable privacy on adjoining sites.		
6. The design concept is consistent with the goals, objectives and policies related	\checkmark	
to residential design in the general plan.		
7. The development does not require removal of any significant trees unless	\checkmark	
necessary to provide a viable economic use of the property or protect public		
health and safety. All buildings are setback a minimum of 6 feet from significant		
trees unless otherwise agreed upon by the City Forester.		
8. The proposed architectural style and detailing are simple and restrained in	\checkmark	
character, consistent and well integrated throughout the building and		
complementary to the neighborhood without appearing monotonous or		
repetitive in context with designs on nearby sites.		
9. The proposed exterior materials and their application rely on natural materials	\checkmark	
and the overall design will add to the variety and diversity along the streetscape.		

10. Design elements such as stonework, skylights, windows, doors, chimneys and garages are consistent with the adopted Design Guidelines and will complement the character of the structure and the neighborhood.	~	
11. Proposed landscaping, paving treatments, fences and walls are carefully designed to complement the urbanized forest, the approved site design, adjacent sites, and the public right of way. The design will reinforce a sense of visual continuity along the street.	\checkmark	
12. Any deviations from the Design Guidelines are considered minor and reasonably relate to good design principles and specific site conditions.	\checkmark	

BE IT FURTHER RESOLVED, that the Planning Commission of the City of Carmel-By-The-Sea does hereby make the following findings and determinations regarding the Variance Application:

FINDINGS REQUIRED FOR VARIANCE APPROVAL (CMC 17.64.210) For each of t	he req	uired		
Variance findings listed below, staff has indicated whether the submitted plans support				
adoption of the findings. For all findings checked "no" the staff report discusses t	he issu	es to		
facilitate the Planning Commission decision-making. Findings checked "yes" may	or ma	y not		
be discussed in the report depending on the issues.				
Municipal Code Findings. The following special findings are required for	YES	NO		
approval of a variance:				
A. That due to special physical circumstances applicable to the property, the strict	\checkmark			
application of the Zoning Ordinance will deprive the property of privileges				
enjoyed by other properties in the vicinity which were developed under the same				
limitations of the Zoning Ordinance;				
B. That the variance will not constitute a grant of special privilege inconsistent	\checkmark			
with limitations on other property in the vicinity and within the same zone;				
C. That the variance will not be detrimental to adjacent property or injurious to	~			
public health, safety or welfare;				
D. That the condition or situation of the property for which the variance is sought	~			
is not so general or recurrent in nature as to make reasonable or practical the				
formulation of a general regulation to address such condition or situation;				
E. That the situation or condition for which the variance is sought was not the \checkmark				
result of actions of the existing or any prior owner of the property; and				
F. That granting the variance will not be in conflict with the General Plan, or the	\checkmark			
general zoning objectives of the district within which the affected property lies.				

BE IT FURTHER RESOLVED, that the Planning Commission of the City of Carmel-By-The-Sea does hereby make the following findings and determinations regarding the Coastal Development Permit:

COASTAL DEVELOPMENT FINDINGS (CMC 17.64.010.B.1):			
1. Local Coastal Program Consistency: The project conforms to the certified Local	\checkmark		
Coastal Program of the City of Carmel-by-the Sea.			
2. Public access policy consistency: The project is not located between the first public road and the sea, and therefore, no review is required for potential public	\checkmark		
access.			

BE IT FURTHER RESOLVED that the Planning Commission of the City of Carmel-by-the-Sea does hereby APPROVE a Design Study Application for the partial demolition and 368 square foot net addition to an existing 1,816 square foot one story residence inclusive of an approximately 279 square foot attached garage including the construction of a new 544 square foot second story and new 200 square foot garage in the front setback and Variance to allow for second story plate heights exceeding the 18-foot height limit, located on Escolle Way 2 southeast of Perry Newberry Way in Single-Family Residential (R-1) Zoning District, subject to the following Conditions of Approval:

	CONDITIONS OF APPROVAL	
No.	Standard Conditions	
1.	Authorization. This approval of Design Study (DS 21-274) authorizes for a partial demolition and 368 square foot net addition to an existing 1,816 square foot one story residence inclusive of an approximately 279 square foot attached garage including the construction of a new 544 square foot second story and new 200 square foot garage in the front setback and Variance to allow for second story plate heights exceeding the 18-foot height limit located in the Single Family Residential (R-1) Zoning District as depicted in the plans prepared by John Mandurrago as approved by the Planning Commission on March 9, 2022 unless modified by the conditions of approval contained herein.	~
2.	Codes and Ordinances. The project shall be constructed in conformance with all requirements of the R-1 zoning district. All adopted building and fire codes shall be adhered to in preparing the working drawings. If any codes or ordinances require design elements to be changed, or if any other changes are requested at the time such plans are submitted, such changes may require additional environmental review and subsequent approval by the Planning Commission.	~
3.	Permit Validity. This approval shall be valid for a period of one year from the date of action unless an active building permit has been issued and maintained for the proposed construction.	~
4.	Water Use. Approval of this application does not permit an increase in water use on the project site without adequate supply. Should the Monterey Peninsula Water Management District determine that adequate water is not available for this site, this permit will be scheduled for reconsideration and appropriate findings prepared for review and adoption by the Planning Commission.	✓ ✓

-		
5.	Setback and Height Certifications. A State licensed surveyor shall survey and	\checkmark
	certify the following in writing:	
	 The footing locations for conformance with the approved plans prior to facting (foundation increation). 	
	footing/foundation inspection;	
	 The roof height and plate height for conformance with the approved plans 	
	prior to roof sheathing inspection.	
	Written certifications prepared, sealed and signed by the surveyor shall be	
	provided prior to footing/foundation inspection and roof sheathing inspection. In	
	the event that multiple footing/foundation pours are required, a survey letter	
6	shall be submitted for each separate section.	
6.	Service Laterals. All electrical service laterals to any new building or structure, or	\checkmark
	to any building or structure being remodeled when such remodeling requires the	
	relocation or replacement of the main service equipment, shall be placed	
	underground on the premises upon which the building or structure is located. Undergrounding will not be required when the project valuation is less than	
	\$200,000 or when the City Forester determines that undergrounding will damage	
	or destroy significant trees(s) (CMC 15.36.020).	
7.	Fire Sprinklers - Residential. Additions, alterations or repairs to existing	\checkmark
/.	structures that involve the addition, removal or replacement of 50 percent or	v
	more of the linear length of the walls (interior and exterior) within a 5-year period	
	shall require installation of an automatic residential fire sprinkler system in	
	accordance with the California Building and Fire Codes (CMC 15.08.135)	
8.	Modifications. The applicant shall submit in writing, with revised plans, to the	\checkmark
	Community Planning and Building staff any proposed changes to the approved	•
	project plans prior to incorporating those changes. If the applicant changes the	
	project without first obtaining City approval, the applicant will be required to	
	submit the change in writing, with revised plans, within 2 weeks of the City being	
	notified. A cease work order may be issued any time at the discretion of the	
	Director of Community Planning and Building until: a) either the Planning	
	Commission or Staff has approved the change, or b) the property owner has	
	eliminated the change and submitted the proposed change in writing, with	
	revised plans, for review. The project will be reviewed for its compliance to the	
	approved plans prior to final inspection.	
	Landscape Conditions	
9.	Landscape Plan. All new landscaping shall be shown on a landscape plan and shall	\checkmark
	be submitted to the Community Planning & Building Department and to the City	
	Forester prior to the issuance of a building permit. The landscape plan will be	
	reviewed for compliance with the landscaping standards contained in the Zoning	
	Code, including the following requirements: 1) all new landscaping shall be 75%	
	drought-tolerant; 2) landscaped areas shall be irrigated by a drip/sprinkler system	
	set on a timer; and 3) the project shall meet the City's recommended tree density	
	standards, unless otherwise approved by the City based on-site conditions. The	
	landscaping plan shall show where new trees will be planted when new trees are	

	required to be planted by the Forest and Beach Commission or the Planning Commission.			
10.	City Forester or Forest and Beach Commission, as appropriate; all remaining trees shall be protected during construction by methods approved by the City Forester.			
11.	11. Significant Trees. All foundations within 15 feet of significant trees shall be excavated by hand. If any tree roots larger than two inches (2") are encountered during construction, the City Forester shall be contacted before cutting the roots. The City Forester may require the roots to be bridged or may authorize the roots to be cut. If roots larger than two inches (2") in diameter are cut without prior City Forester approval or any significant tree is endangered as a result of construction activity, the building permit will be suspended and all work stopped until an investigation by the City Forester has been completed. Twelve inches (12") of mulch shall be evenly spread inside the dripline of all trees prior to the issuance of a building permit.			
12.	Tree Planting Requirements. Prior to issuance of a building permit, the applicant shall submit for review and approval by the Community Planning & Building Department and the City Forester, a final landscape and irrigation plan that shows the location, size and species of required tree plantings. All new trees shall be installed prior to final inspection. Trees shall be recorded and monitored for at least five years to ensure their establishment and growth to maturity. Trees that do not survive or are removed shall be replaced with new trees that are equivalent in size to the measured or projected growth of the original trees and shall be planted in the same location unless otherwise directed by the City Forester and/or Forest & Beach Commission.	~		
13.	 Tree Protection Measures. Requirements for tree preservation shall adhere to the following tree protection measures on the construction site. Prior to grading, excavation, or construction, the developer shall clearly tag or mark all trees to be preserved. Excavation within 6 feet of a tree trunk is not permitted. No attachments or wires of any kind, other than those of a protective nature shall be attached to any tree. Per Municipal Code Chapter 17.48.110 no material may be stored within the dripline of a protected tree to include the drip lines of trees on neighboring parcels. Tree Protection Zone The Tree Protection Zone shall be equal to dripline or 18 inches radially from the tree for every one inch of trunk diameter at 4.5 feet above the soil line, whichever is greater. A minimum of 4-foot-high transparent fencing is required unless otherwise approved by the City Forester. Tree protection shall not be resized, modified, removed, or altered in any manner without written approval. The fencing must be maintained upright and taught for the duration of the project. No more than 4 inches of wood mulch shall be installed within the Tree Protection Zone. When the Tree Protection Zone is at or within the drip 			

	 line, no less than 6 inches of wood mulch shall be installed 18 inches radially from the tree for every one inch of trunk diameter at 4.5 feet above the soil line outside of the fencing. The Structural Root Zone Structural Root Zone shall be 6 feet from the trunk or 6 inches radially from the tree for every one inch of trunk diameter at 4.5' above the soil line, whichever is greater. Any excavation or changes to the grade shall be approved by the City Forester prior to work. Excavation within the Structural Root Zone shall be performed with a pneumatic excavator, hydro-vac at low pressure, or another method that does not sever roots. If roots greater than 2 inches in diameter or larger are encountered within the approved Structural Root Zone the City Forester shall be contacted for approval to make any root cuts or alterations to structures to prevent roots from being damaged. If roots larger than 2 inches in diameter are cut without prior City Forester approval or any significant tree is endangered as a result of construction activity, the building permit will be suspended and all work stopped until an investigation by the City Forester has been completed and mitigation measures have been put in place. 	
14.	Exterior Lighting. Exterior lighting shall be limited to 25 watts or less (incandescent equivalent, i.e., 375 lumens) per fixture and shall be no higher than 10 feet above the ground. Landscape lighting shall not exceed 18 inches above the ground nor more than 15 watts (incandescent equivalent, i.e. 225 lumens) per fixture and shall be spaced no closer than 10 feet apart. Landscape lighting shall not be used for tree, wall, fence or accent lighting of any type. The purpose of landscape lighting is to safely illuminate walkways and entrances to the subject property. All fixtures shall be shielded and down facing. The manufacturer's specifications, including illumination information, for each exterior light fixture shall be included in the construction drawings submitted with the building permit application.	✓
15.	Aluminum-Clad Wood Frame Windows and Doors. The applicant shall submit product information for the aluminum-clad wood windows and doors prior to issuance of a building permit. The window style shall be consistent with authentic wood windows and doors with divided lights that appear to be true divided light including the use of internal and external mullions and muntins on insulated windows. The painted finish shall be matte or low gloss. Removable, snap-in or internal only mullions and muntins are prohibited.	✓
16.	Asphalt Shingle Roofing. The applicant shall submit product information for the asphalt shingle roofing prior to issuance of a building permit. The material shall convey a color and texture similar to that of wood shingles.	~
17.	Indemnification. The applicant agrees, at his or her sole expense, to defend, indemnify, and hold harmless the City, its public officials, officers, employees, and assigns, from any liability; and shall reimburse the City for any expense incurred, resulting from, or in connection with any project approvals. This includes any	✓

	appeal, claim, suit, or other legal proceeding, to attack, set aside, void, or annul	
	any project approval. The City shall promptly notify the applicant of any legal proceeding, and shall cooperate fully in the defense. The City may, at its sole	
	discretion, participate in any such legal action, but participation shall not relieve the applicant of any obligation under this condition. Should any party bring any	
	legal action in connection with this project, the Superior Court of the County of	
	Monterey, California, shall be the situs and have jurisdiction for the resolution of	
10	all such actions by the parties hereto.	/
18.	Driveway. The driveway material shall extend beyond the property line into the public right of way as needed to connect to the paved street edge. A minimal asphalt connection at the street edge may be required by the Superintendent of Streets or the Building Official, depending on site conditions, to accommodate the drainage flow line of the street. The driveway material and asphalt connection shall be clearly identified on the construction drawings submitted with the building permit application. If a driveway is proposed to be sand set a dimensioned construction detail showing the base material shall be included in	~
	the construction drawings.	
19.	Hazardous Materials Waste Survey. A hazardous materials waste survey shall be required in conformance with the Monterey Bay Unified Air Pollution Control District prior to issuance of a demolition permit.	✓
20.		/
	Cultural Resources. All new construction involving excavation shall immediately cease if cultural resources are discovered on the site, and the applicant shall notify the Community Planning & Building Department within 24 hours. Work shall not be permitted to recommence until such resources are properly evaluated for significance by a qualified archaeologist. If the resources are determined to be significant, prior to resumption of work, a mitigation and monitoring plan shall be prepared by a qualified archaeologist and reviewed and approved by the Community Planning and Building Director. In addition, if human remains are unearthed during excavation, no further disturbance shall occur until the County Coroner has made the necessary findings as to origin and distribution pursuant to California Public Resources Code (PRC) Section 5097.98.	
21.	Truck Haul Route. Prior to Building Permit issuance, the applicant shall provide for City (Community Planning and Building Director in consultation with the Public Services and Public Safety Departments) review and approval, a truck-haul route and any necessary temporary traffic control measures for the grading activities. The applicant shall be responsible for ensuring adherence to the truck-haul route and implementation of any required traffic control measures.	1
22.	USA North 811. Prior to any excavation or digging, the applicant shall contact the	\checkmark
	appropriate regional notification center (USA North 811) at least two working days, but not more than 14 calendar days, prior to commencing that excavation or digging. No digging or excavation is authorized to occur on site until the applicant has obtained a Ticket Number and all utility members have positively	
	responded to the dig request. (Visit USANorth811.org for more information)	

23.	Conditions of Approval. All conditions of approval for the Planning permit(s) shall	\checkmark
	be printed on a full-size sheet and included with the construction plan set	
	submitted to the Building Safety Division.	
	ENVIRONMENTAL COMPLIANCE CONDITIONS	
24.	Drainage Plan. Prior to issuance of a building permit, the applicant shall provide	\checkmark
	a drainage plan that meets the requirements of the City's drainage guidance, SOG	
	17-07. At a minimum, new and replaced impervious area drainage must be	
	dispersed around the site rather than focused into one corner of the property,	
	infiltration features must be sized appropriately and must be located at least 6	
	feet from neighboring properties. The drainage plan shall include information on	
	drainage from new impervious areas and semi-pervious areas.	
25.	BMP Tracking Form. Prior to issuance of a building permit, the applicant shall	\checkmark
	submit a completed BMP Tracking form for review and approval by the City of	
	Carmel.	_
26.	Semi-Permeable Surfaces. Prior to issuance of a building permit, the applicant	\checkmark
	shall provide cross-section details for semi-permeable surfaces.	
27.	Erosion and Sediment Control Plan. Prior to issuance of a building permit, the	\checkmark
	applicant shall provide an erosion and sediment control plan that includes	
	locations and installation details for erosion and sediment control BMPs, material	
	staging areas, and stabilized access for review and approval by the City of Carmel.	
	SPECIAL CONDITIONS	
28.	Copper Gutters and Downspouts. Prior to the issuance of a building permit, the	\checkmark
	Applicant shall identify the material of all gutters and downspouts. Copper shall	
	not be used for any portion of the roof, gutter, downspout, or other affiliated	
	parts of the rainwater system due to increasing environmental impacts on Carmel bay. All gutter and downspout materials shall be clearly identified on the building	
	plan set.	
29.	Tree Planting. Three upper canopy trees shall be planted on site prior to the	\checkmark
29.	scheduling of the final inspection -the species of the trees shall be approved by	v
	the City Forester. The trees shall be, at a minimum, a 15 gallon container or a	
	24" box. Should either tree die within 5 years, a new replacement tree of the same	
	size and species shall be planted on site as a replacement unless otherwise	
	approved by the City Forester.	
30.	Encroachment Permit. An encroachment permit for the garden walls in the right-	√
	of-way shall be obtained prior to the issuance of a building permit for the	v
	residence. Should an encroachment permit not be approved by the decision	
	making body, all existing encroachments shall be removed from the right-of-way,	
	and the plans revised and submitted for building permit approval to reflect the	
	removed encroachments and subsequent landscape improvements to the subject	
	area.	
31.	Building Color. The applicant shall work with Community Planning an Building	\checkmark
	staff to propose an alternative building color –not a stark white as presented to	-
	the Planning Commission. Staff approval shall be obtained in writing before the	
	house is painted.	

32.	Landscape Light. The proposed landscape light shall be revised to comply with	\checkmark
	Condition of Approval #14	

*Acknowledgement and acceptance of conditions of approval.

Property Owner Signature

Printed Name

Date

Once signed, please return to the Community Planning and Building Department

PASSED, APPROVED AND ADOPTED BY THE PLANNING COMMISSION OF THE CITY OF CARMEL-BY-THE-SEA this 9th day of March, 2022, by the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

APPROVED:

ATTEST:

Michael LePage Chair Leah Young Planning Commission Secretary

PROJECT DATA FOR A 5,106 SQUARE-FOOT SITE				
Site Considerations	Allowed	Existing	Proposed	
Floor Area	2,184 SF (42%)	1,816 SF	2,184 SF	
Site Coverage	480 SF/684 SF	929 SF	460 SF	
Trees (Upper/Lower)	3/1	0/3	3/3	
Ridge Height (1 st /2 nd)	18'/24'	17'6"	16'6"/23'11"	
Plate Height (1 st /2 nd)	12'/18'	10'11"	10'11"/18'10"*	
Setbacks	Minimum Required	Existing	Proposed	
Front	15'	44'8"	27'4"	
Composite Side Yard	13'6" (25%)	12'	12'	
Minimum Side Yard	3'	4'9"	4'9"	
Rear	15'/3'**	9'3"	24'11"	

Variance Requested. Refer to Mass and Bulk Section of Staff Report
 ** The rear setback is three feet for those portions of structures less than 15 feet in height.
 *** Addition to meet minimum 3' setback



Figure 1. Front Elevation. View from Escolle Way.



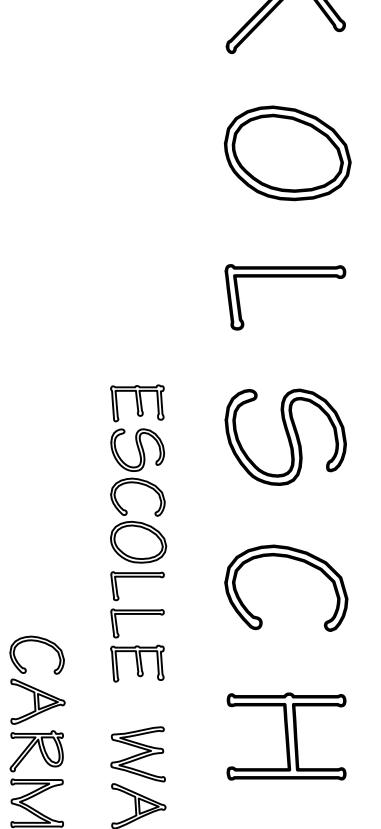
Figure 2. Partial rear (south) elevation. Approximate area of new 2nd floor deck shown in red.



Figure 3. Partial rear (south) elevation. Approximate area of new 2nd floor deck shown in red.



Figure 4. Approximate area of proposed second story deck shown in red. Deck either overlooks rooftops or is screened by landscaping.





ROJECT INFORMATION

LCTION

\mathbb{N} () $\begin{bmatrix} & & \\ & & \\ & & \end{bmatrix}$ $\begin{bmatrix} \Pi \\ \Pi \end{bmatrix}$ NEWBERRY ß 0

PROPOSED MAN LEVEL UPPER LEVEL	EXISTING (E) REAR STRUCTURE	ALLOWED 5,106 LOT X 42.788% =	FLOOR AREA
1,652 SQ FT 532 SQ FT 2,184 SQ FT	1,816 SQ FT 240 SQ FT 2,056 SQ FT	2,184 SQ FT	

HARDSCAPE COVERAGE

22% ALLOWED PERMEABLE BO

EAST STEPPING STONES	EAST WALK	East stairs	REAR STAIRS	FRONT WALKS	FRONT PORCH	DRIVEWAY	PROPOSED ALLOWED		REQUIRED REDUCTION		SE CARMEL STONE PATIO	EAST BRICK PATIO	EAST REAR STAIRS & LANDING	REAR DECK AND STAIRS	FRONT WALKWAY AND PORCH	DRIVEWAY	EXISTING (NON-PERMEABLE)		22% of allowed floor area = 2,196 × 22% = PERMEABLE BONUS = 5,106 × 4% =
14 SQ FT	41 SQ FT	62 SQ FT	41 90 FT	149 SQ FT	72 SQ FT	81 SQ FT	687 SQ FT	649 SQ FT	280 SQ FT	929 SQ FT	322 SQ FT	265 SQ FT	36 SQ FT	TI SQ FT	124 SQ FT	235 SQ FT	ABLE)	5 00+ 0+	



00

-

59.24

175

لى

175

12

00

7

16

Ś

*

5

2

125

P

5

PZ

3)

N.

N

N 1

PL.

-1

9

15

0

2 VI

N

اب

P

S

6

~

00

10163 05 13 · 10 + + +

9

126 51

3

- -

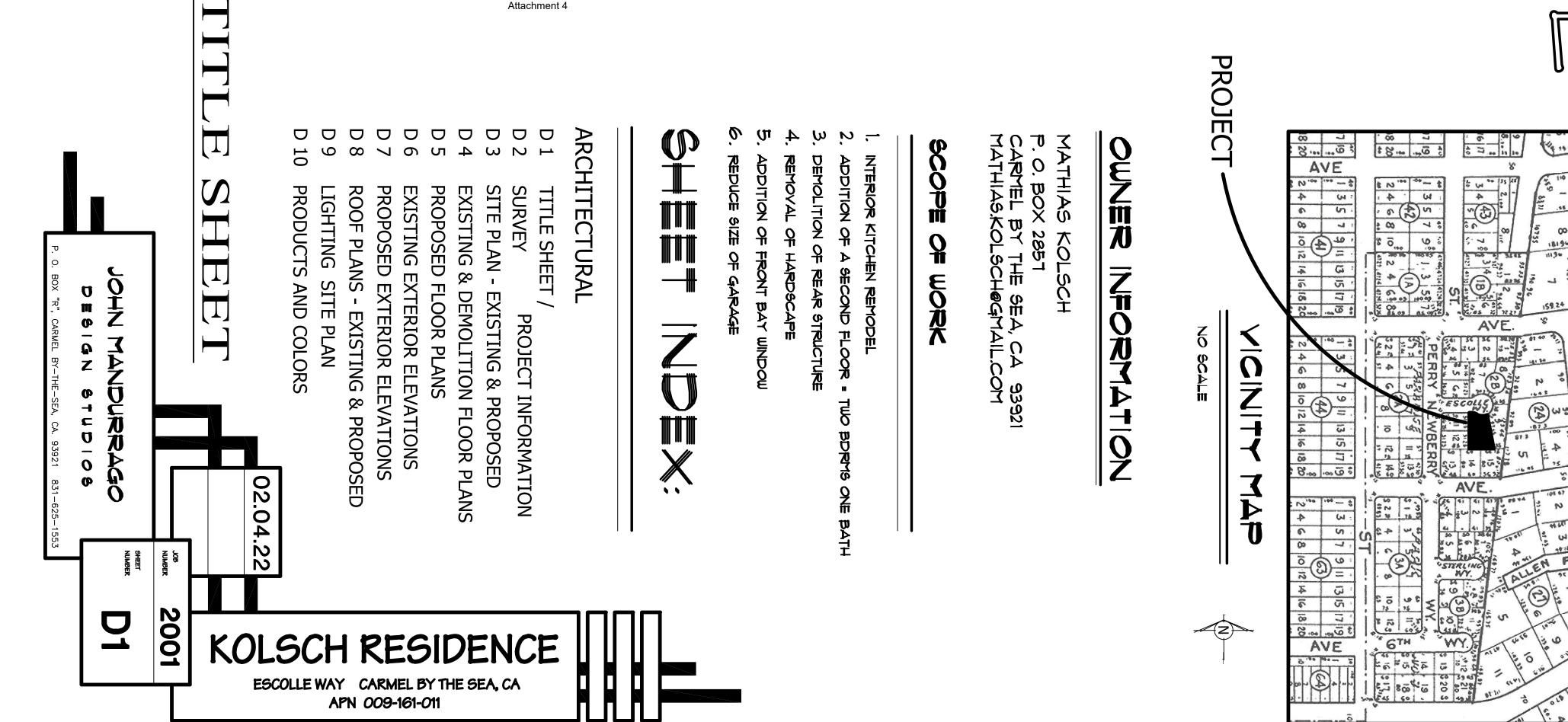
127

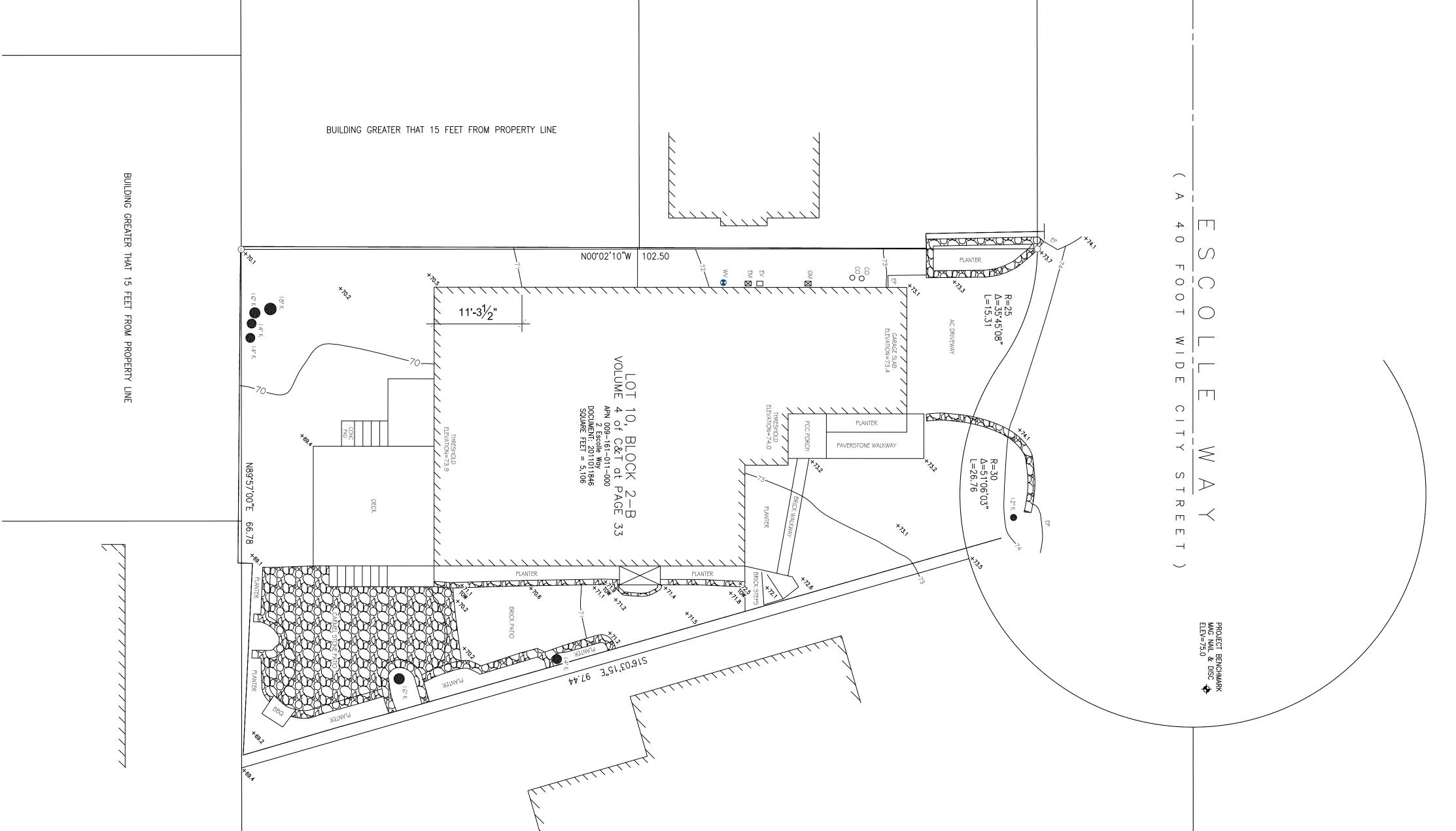
ST

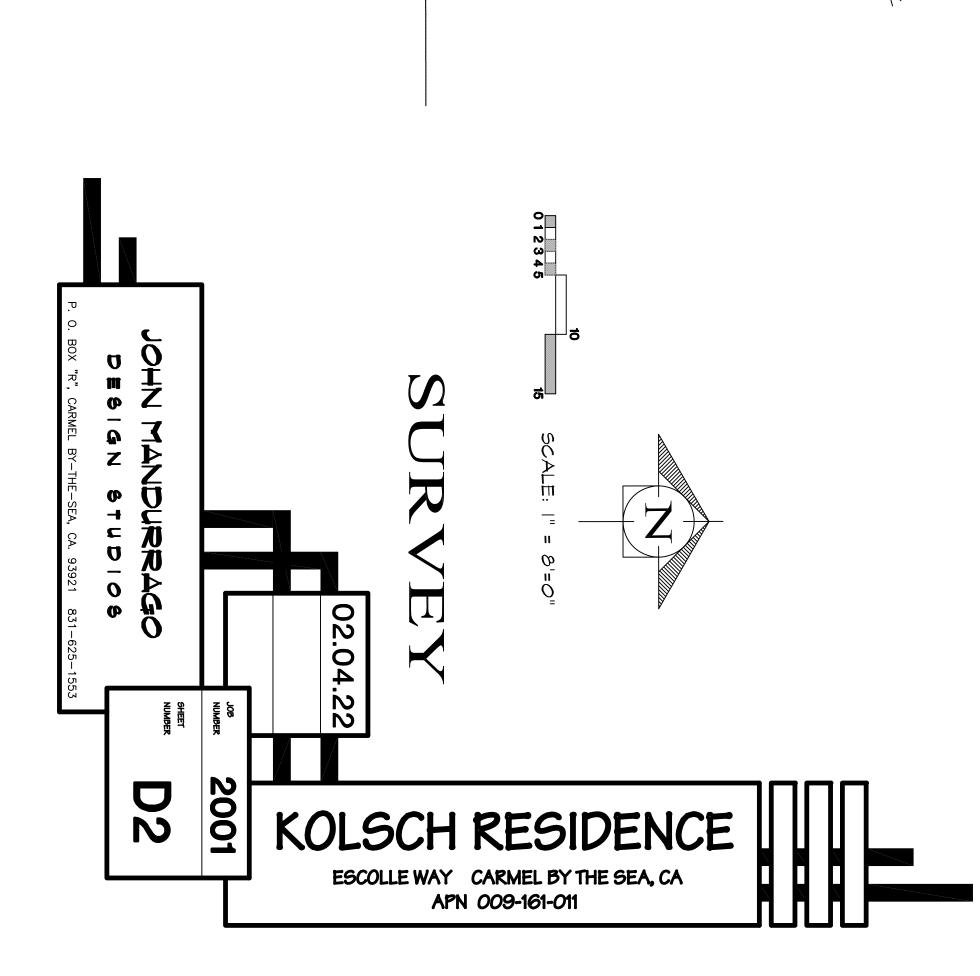
46Ø sq ft

PERMEABLE PERMEABLE

PERMEABLE



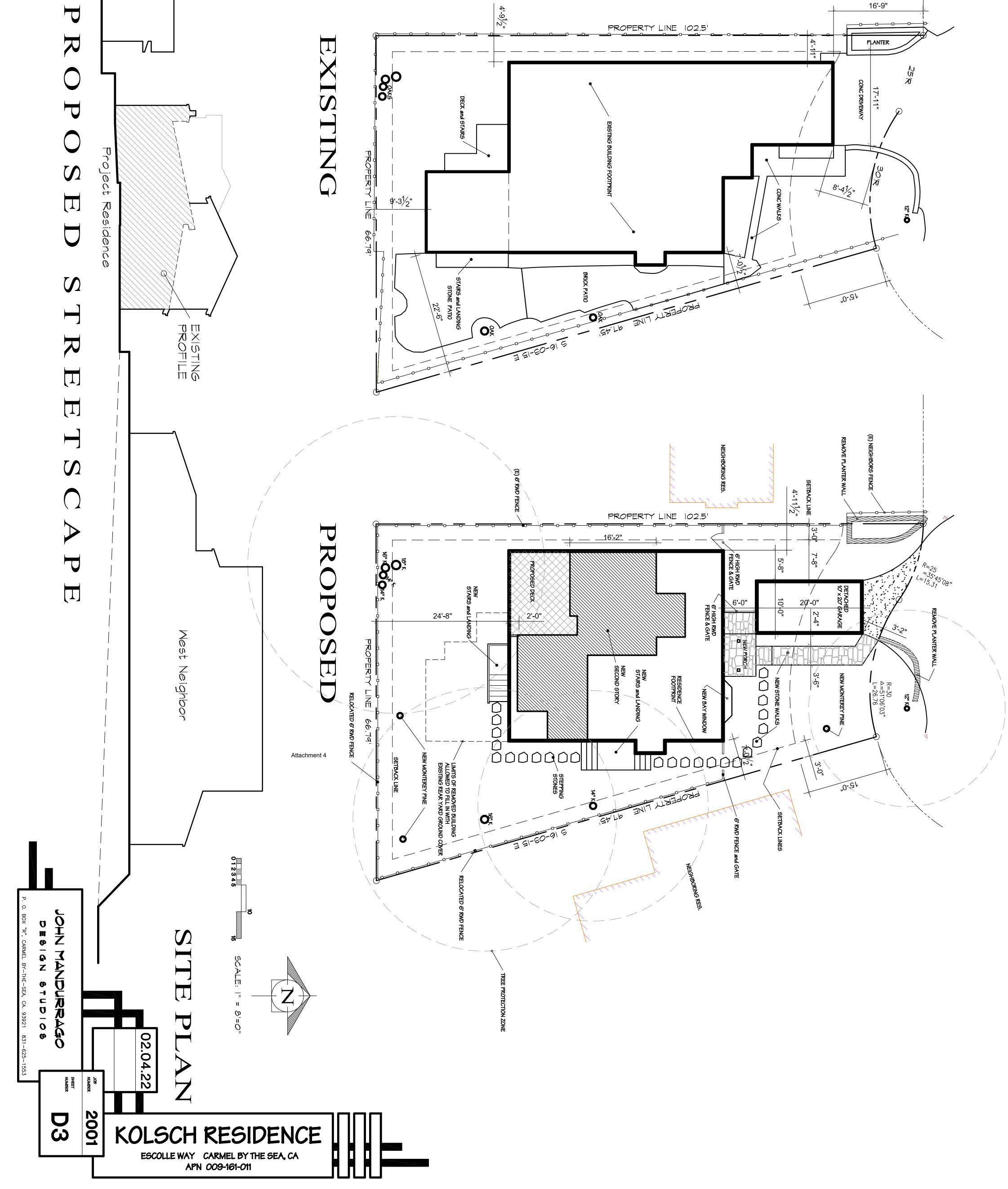




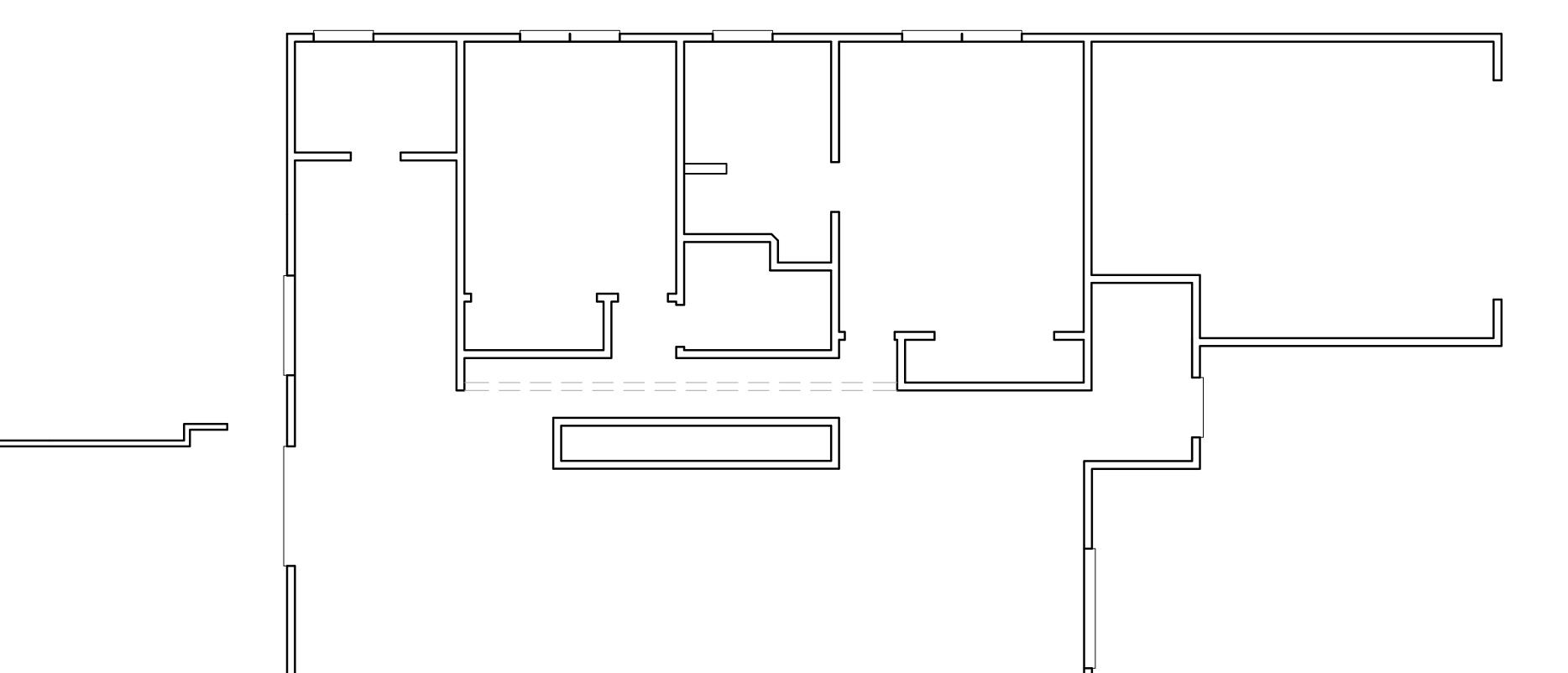
Attachment 4



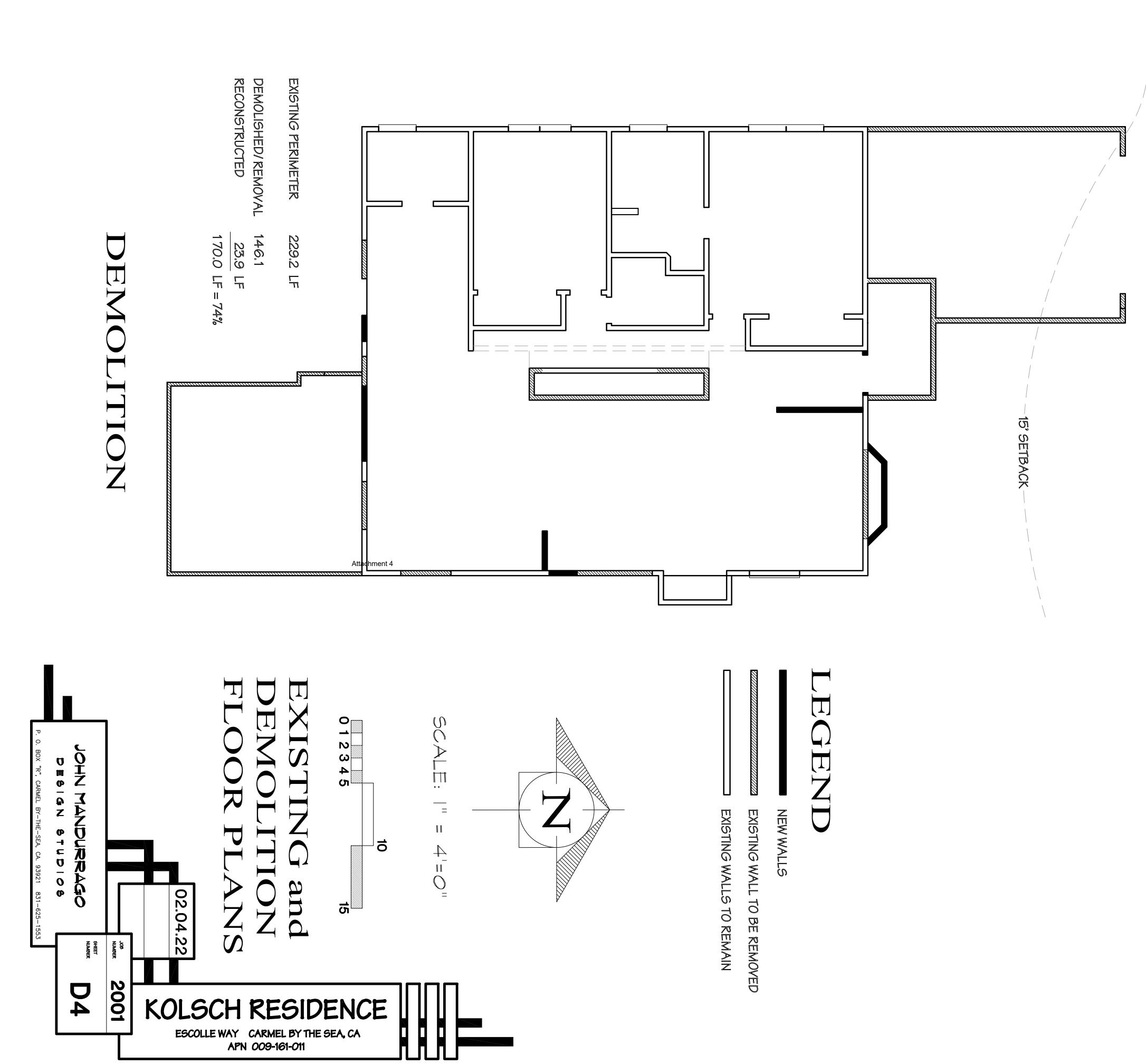


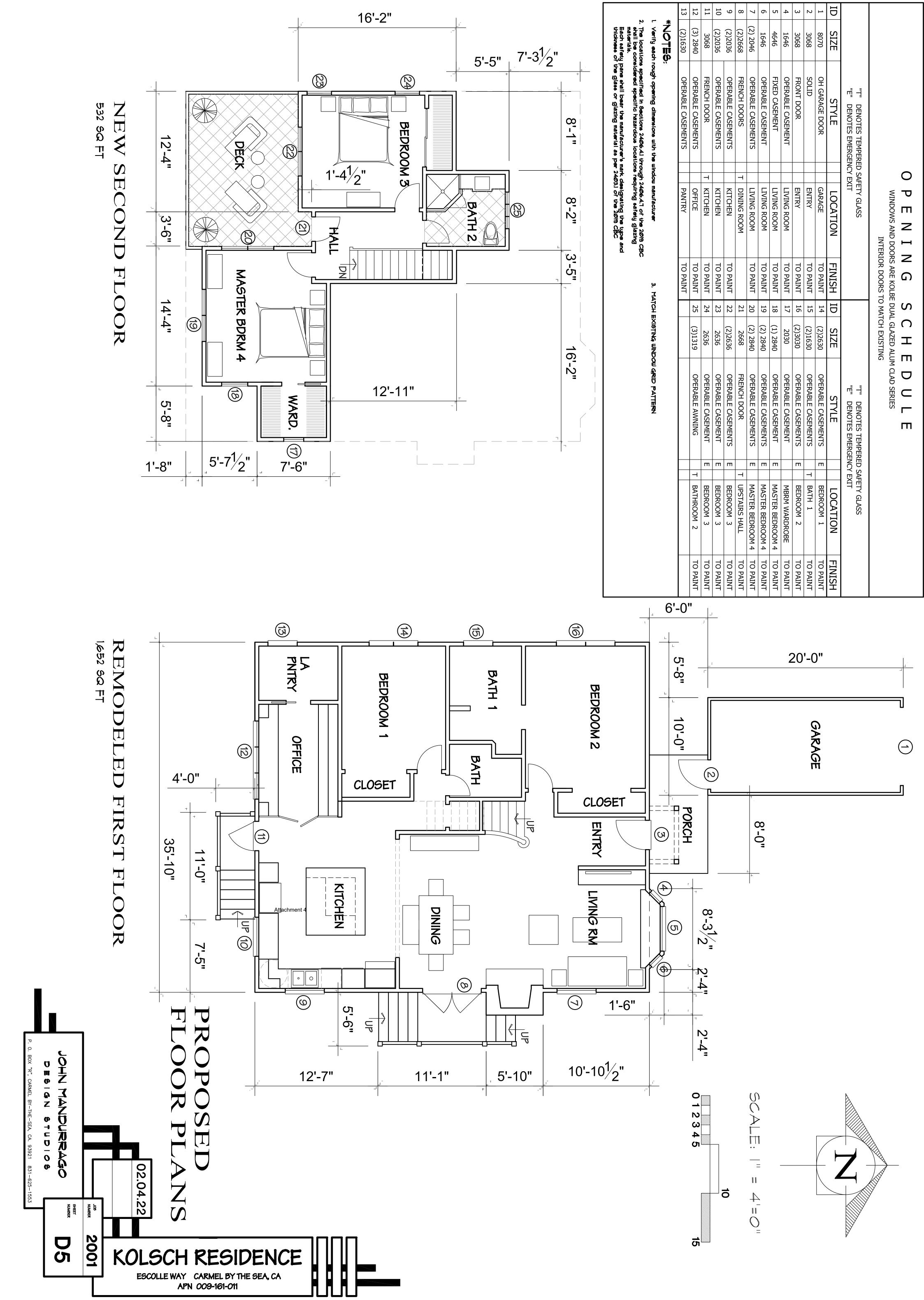


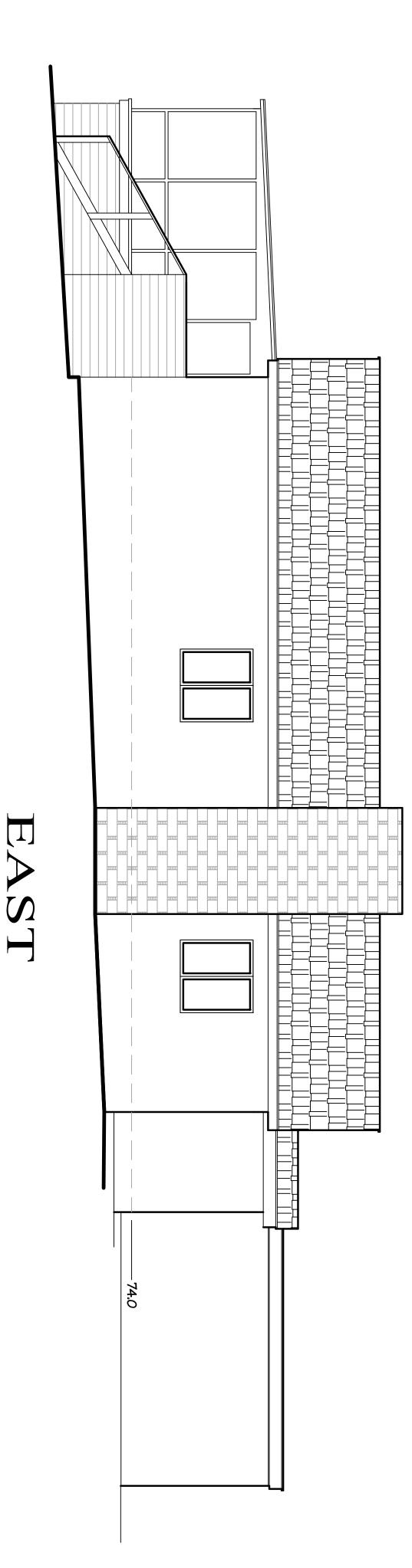




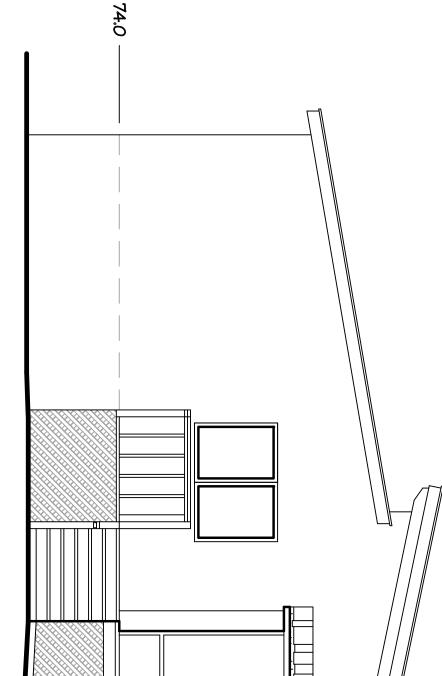
EMOL



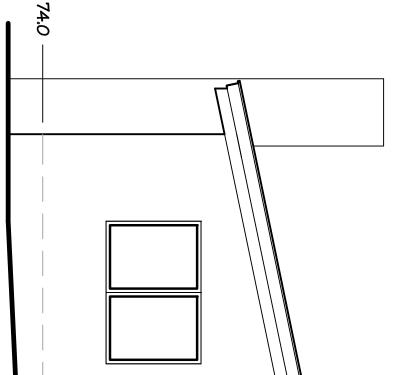


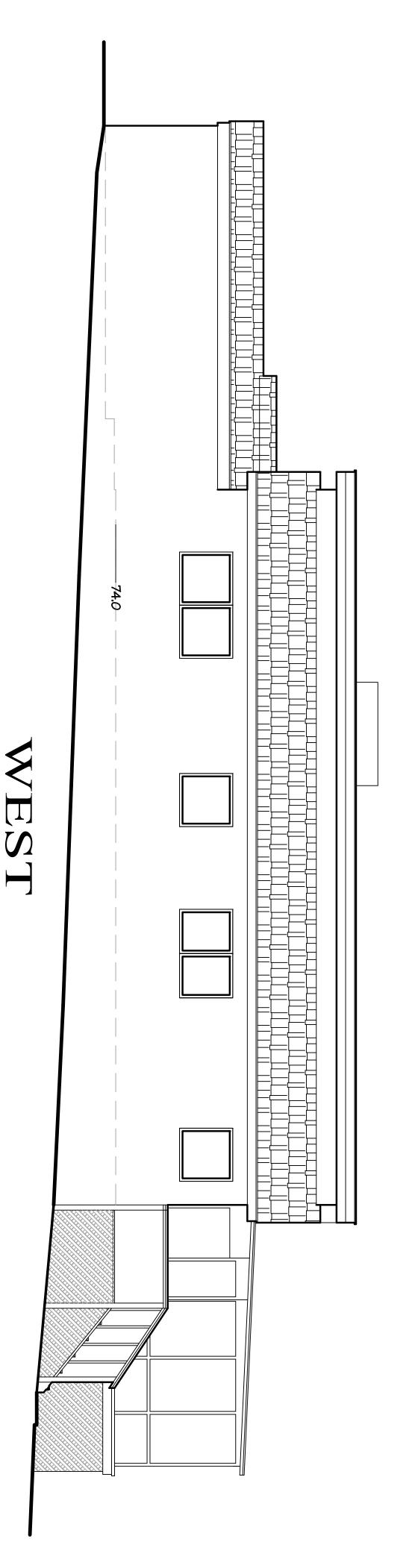


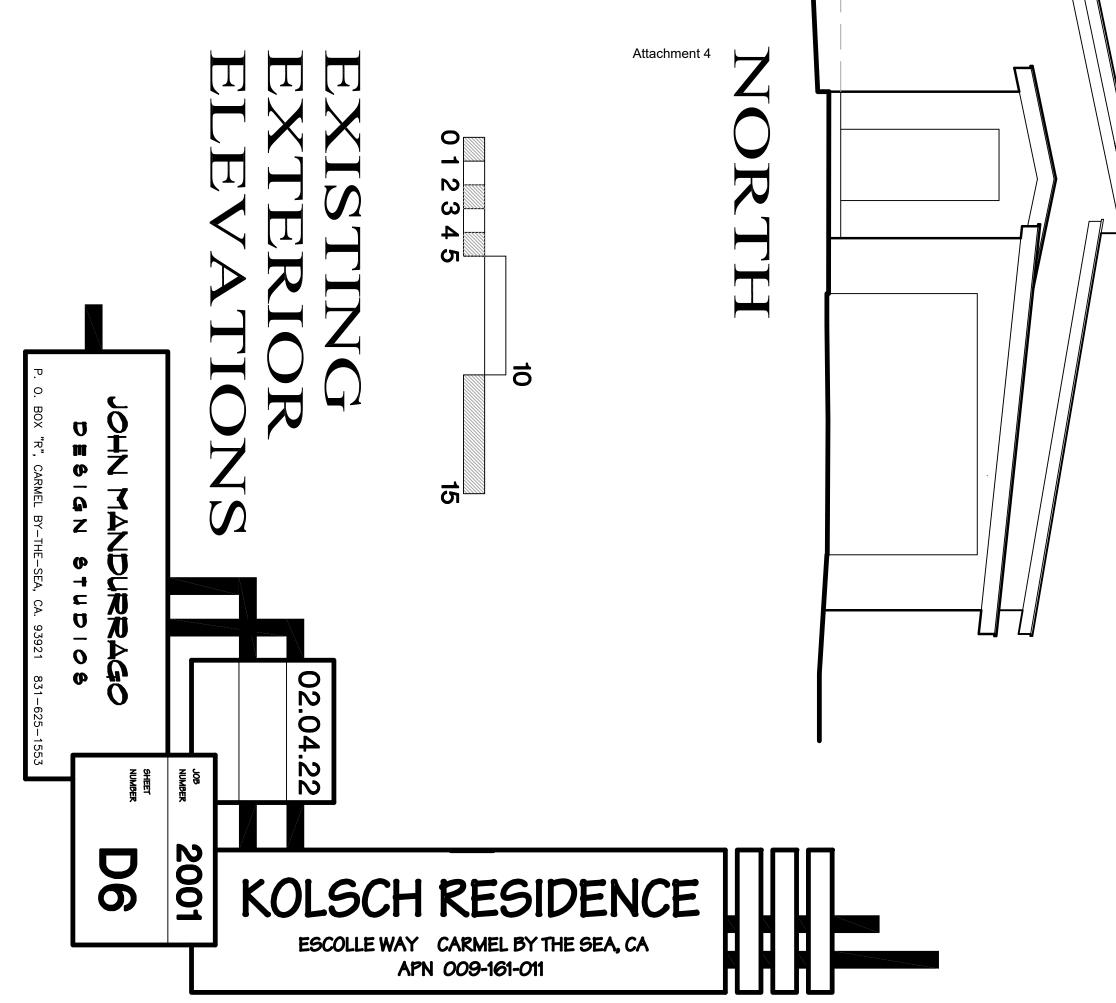
SOUTH

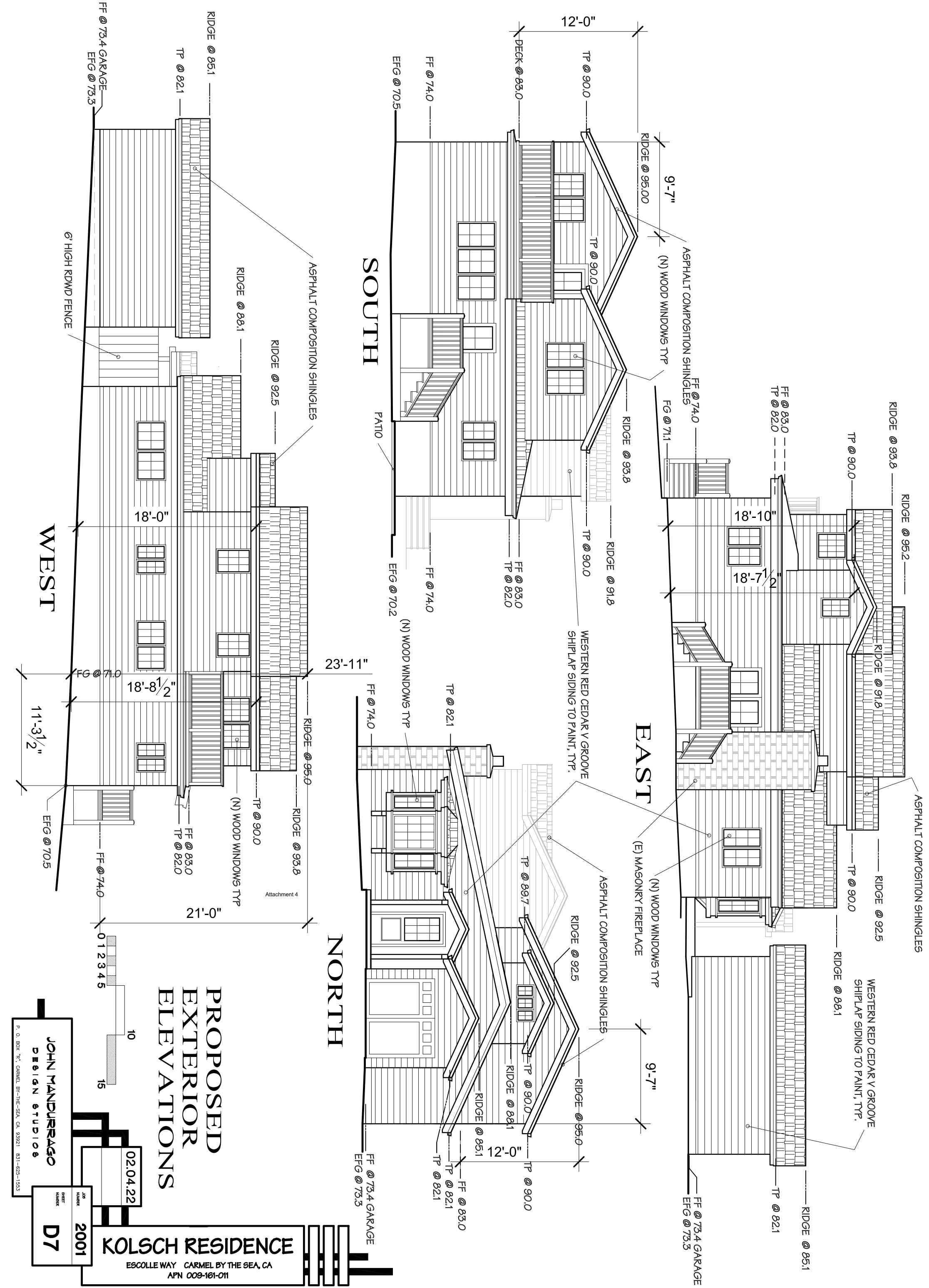


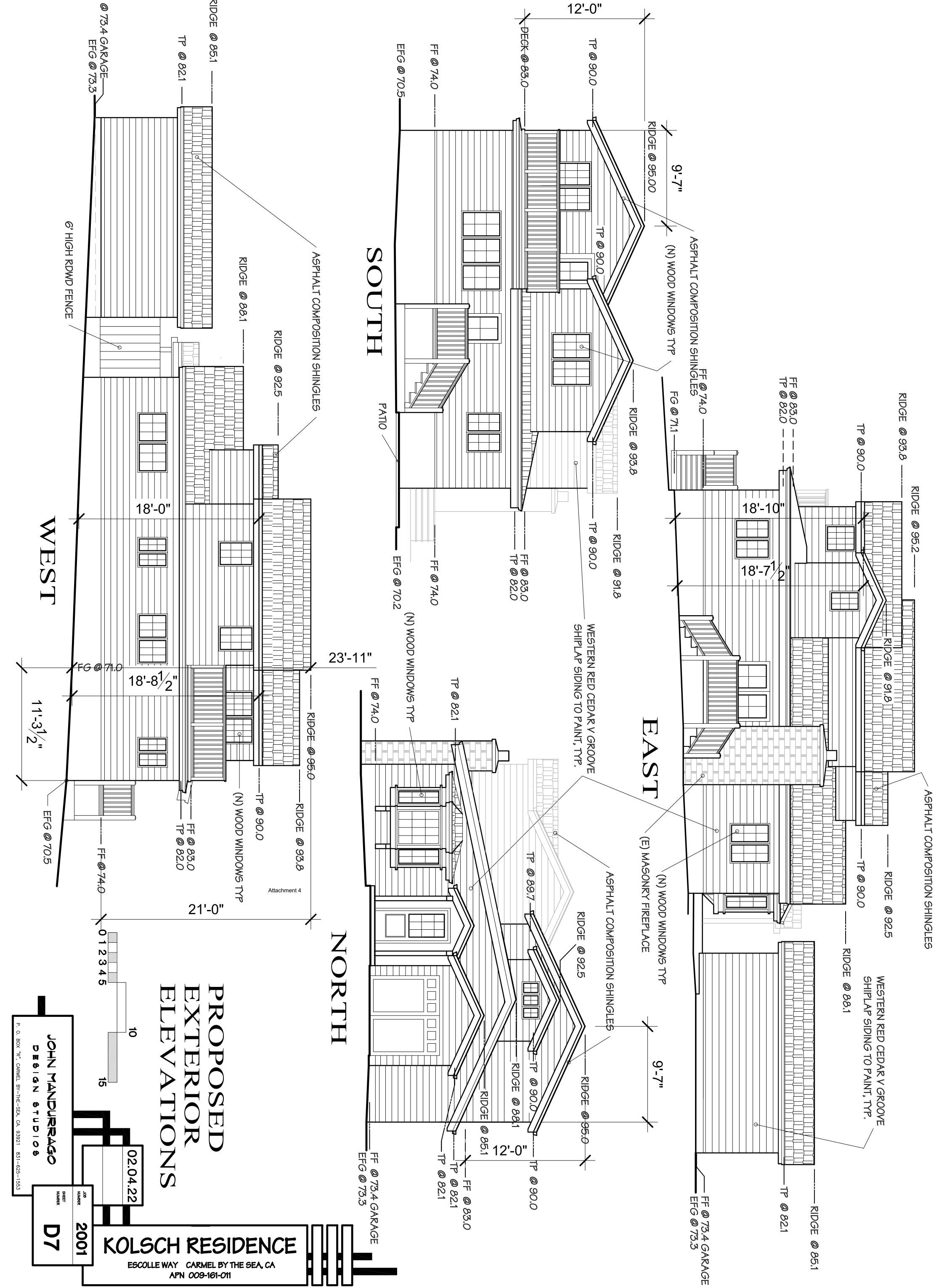
Щ

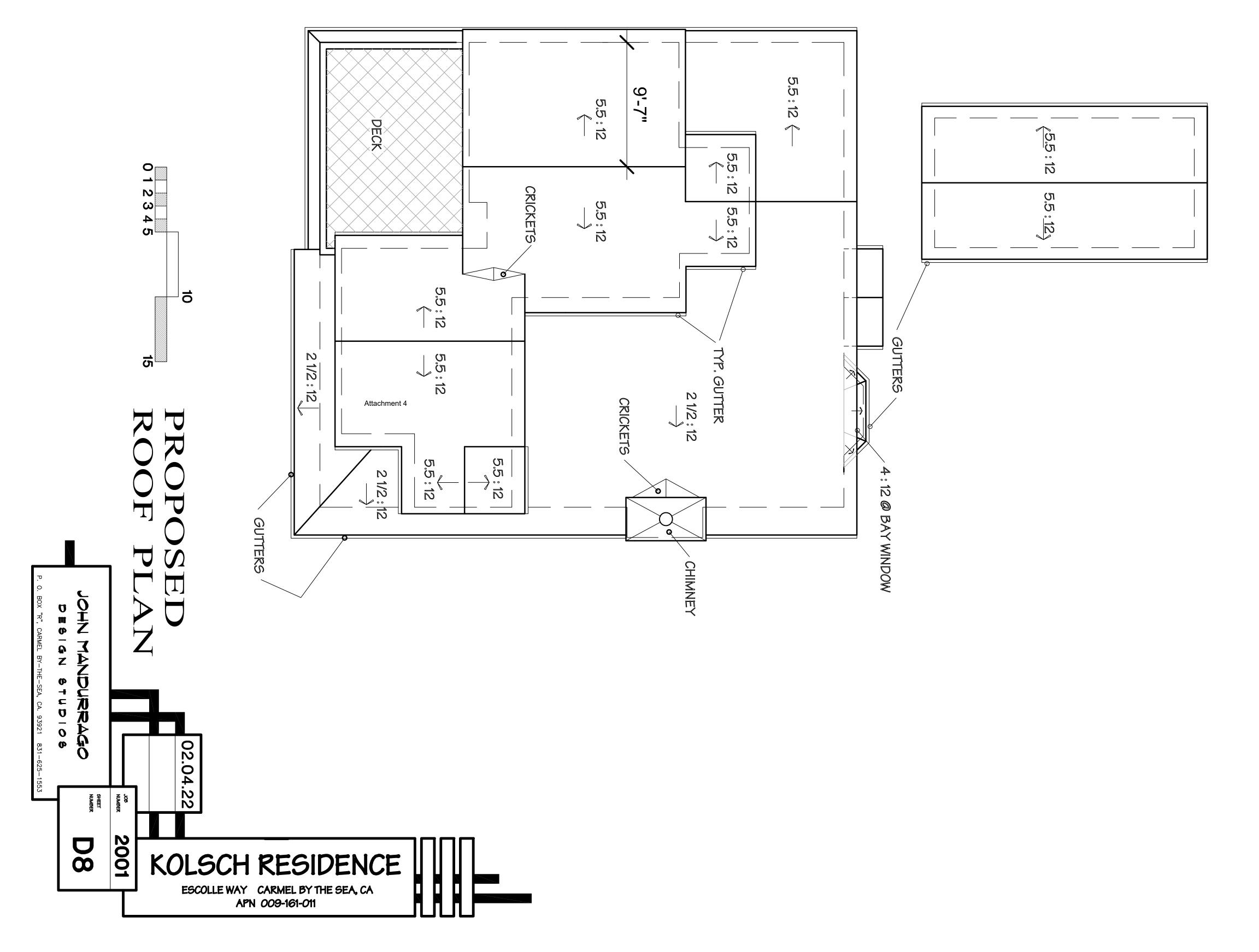


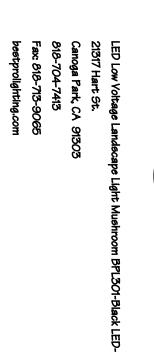












FIXTURE Notage Landscape Light Mushroom BPL301-Black LED-BPL301-BLK | Path Lights

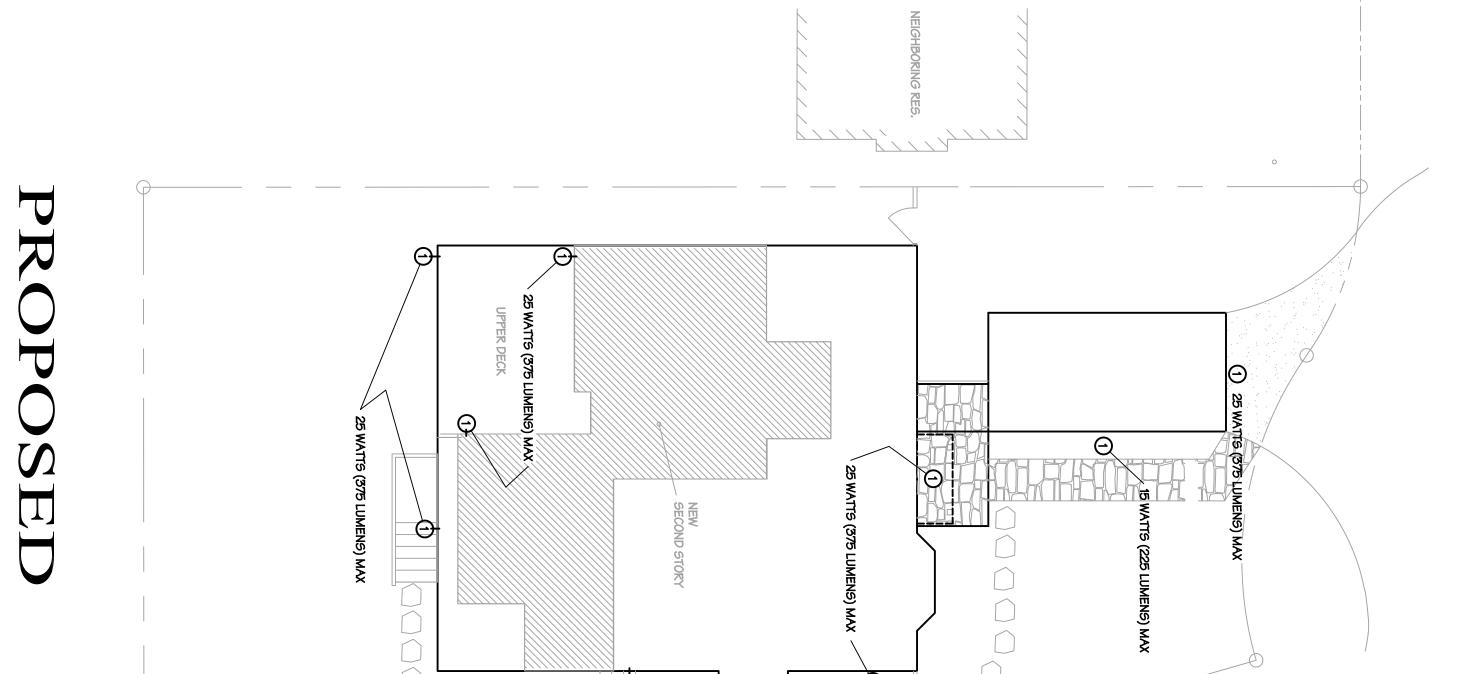


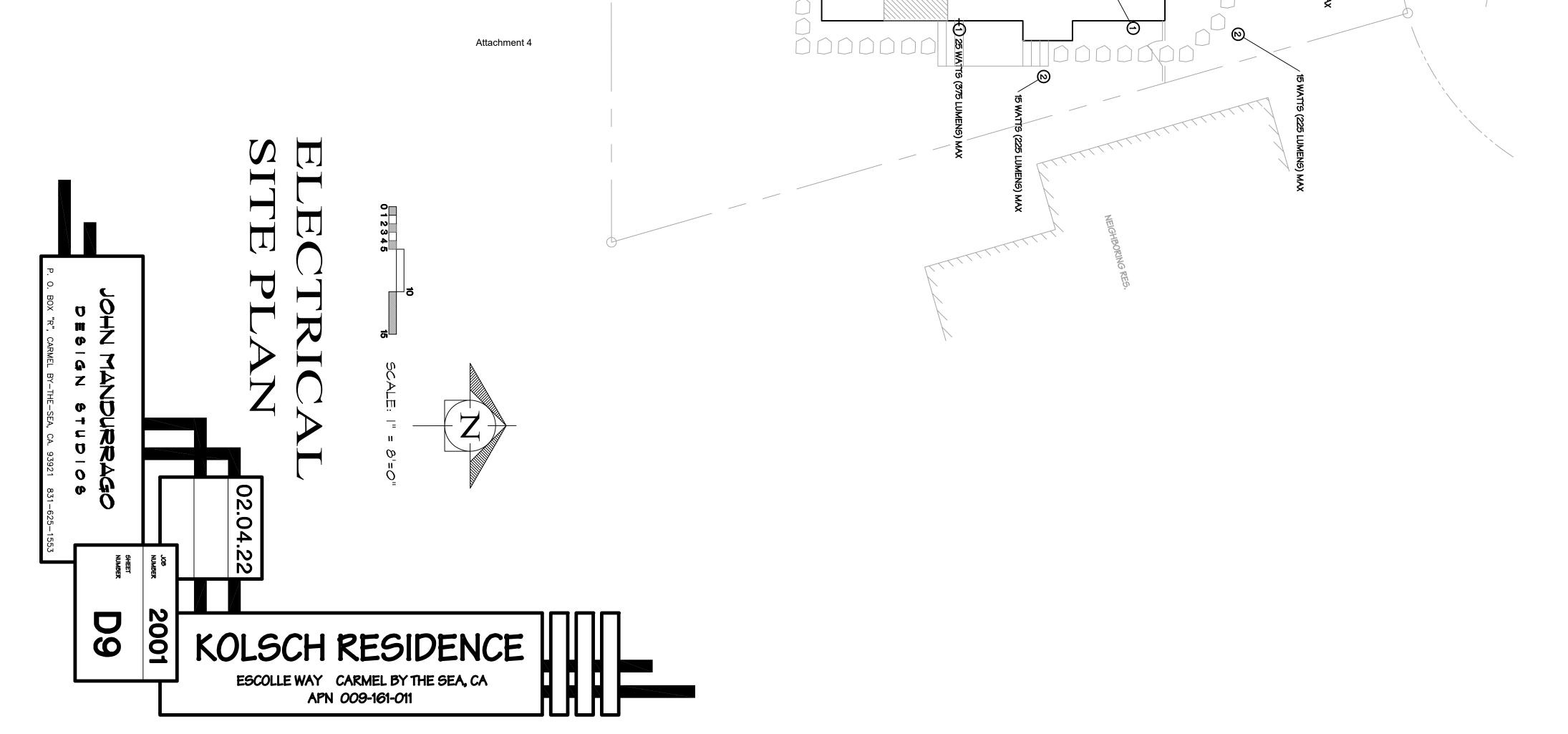
RH VINTAGE BARN OUTDOOR SCONCE 10" DIA BLACK FINISH DARK SKY MAXIMUM 15 WATTS





+





STEL GREY SLATE **FEPPING STONES**



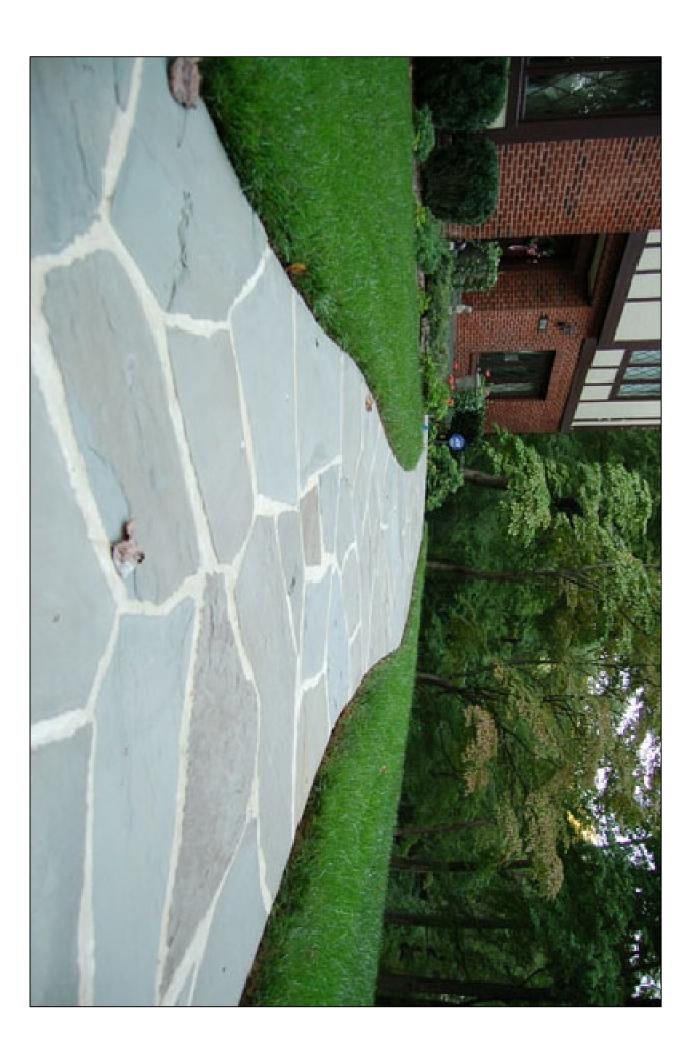


ア

GAF Timberline HDZ asphalt -lifetime-shingles pewter-gray

anc \mathcal{T}

GREY SLATE 入 KS/ **PORCH**

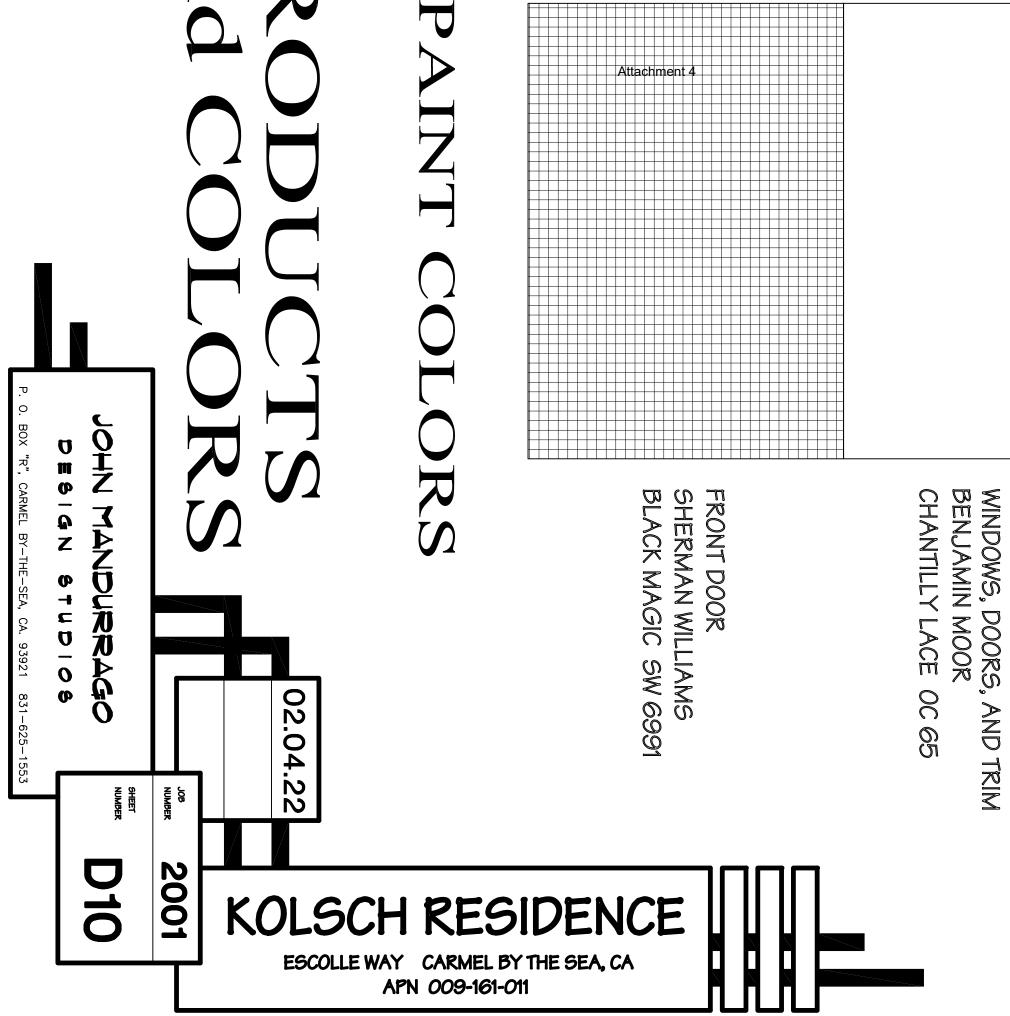






SIDIN

Hardie® Siding Products - Hardie® Fiber Cement Siding Class A rated





CITY OF CARMEL-BY-THE-SEA PLANNING COMMISSION Staff Report

March 9, 2022 PUBLIC HEARINGS

то:	Chair LePage and Planning Commissioners					
SUBMITTED BY:	Evan Kort, Associate Planner					
APPROVED BY:	Brandon Swanson, Community Planning and Building Director					
SUBJECT:	 DR 20-350 (Ulrika Plaza): Consideration of a Preliminary Review for the construction of an approximately 23,200 square foot two-story mixed-use building with 12 apartment units and 15 commercial spaces, and an approximately 15,200 square foot basement containing 27 below ground parking spaces located at the southwest corner of 5th & Dolores in the Service Commercial (SC) Zoning District. APNs: 010-138-021-000 & 010-138-003-000 					
Application: DR 20-350 (Ulrika Plaza) Block:55		APN: 010-138-021/003 Lot: 1A				
Location: Southwest corner of 5th Avenue & Dolores Street						
Applicant:Hen	ry Ruhnke, Architect	Property Owner: Esperanza Carmel Residential, LLC				

Executive Summary:

On April 14, 2021, the Planning Commission held a Preliminary Review Workshop to review drawings for a development known as "Ulrika Plaza." The Commission was not supportive of the initial concept plans, and gave direction to the applicant to revise the design. The applicant has returned with a revised design and is requesting the Commission review and provide feedback on the preliminary design concept prior to returning for a formal Design Review hearing.

Recommendation:

Staff recommends that the Planning Commission review the preliminary project and provide feedback to the applicant.

Background and Project Description:

The project site is located at the southwest corner of Dolores Street and 5th Avenue in the Service Commercial (SC) Zoning District. The site has been partially developed from two previously approved projects (DR 16-032 & DR 17-482 –referred herein as "Del Dono") which allowed for the construction of

two mixed use building on a merged building site, although construction was halted in 2019 and ownership of the property was later transferred.

On December 15, 2020, a Design Review Application was submitted for the construction of a 20,451 square foot two-story mixed use building with 12 apartment units and 15 retail spaces and a 15,211 square foot basement containing 27 below ground parking spaces. A preliminary review was held on April 14, 2021 to allow the Planning Commission and the public an opportunity to comment on the proposed design. The public and Commission were unsupportive of the initial design and gave feedback and direction to the applicant to return with a revised design.

The applicant has returned with a revised design addressing the feedback and direction received at the previous hearing. The applicant has submitted a letter responding to the comments of the Planning Commission (refer to Attachment 2) and has prepared preliminary drawings for review. As part of the application process, staff is continuing to work with the applicant refine the project to ensure a complete plan set be presented when the formal Design Review hearing is scheduled for consideration by the Planning Commission. The revised drawings (Attachment 1) do not constitute a complete plan set, but rather illustrate the conceptual design of the project.

Staff has provided a cursory review of the project in order to provide a general analysis and address potential issues. The items discussed below are not intended to provide a comprehensive list of outstanding or correction items or to be used as a determination of consistency with adopted codes and design guidelines, but rather as discussion topics to guide the discussion of the Commission. This Preliminary Review by the Planning Commission is intended to provide feedback to the applicant on the design of the proposed project and does not constitute a guarantee of future approval. No action will be taken at this hearing and a formal Design Review hearing will be required prior to action being taken on the project by the Planning Commission.

Staff Analysis:

Standard of Review and Design Guidelines:

In accordance with CMC 17.14.110, "to assist in the design and review process, the City Council has adopted commercial design guidelines. Proposed projects need not strictly comply with every guideline to be approved but deviations should be minor and reasonably related to good design principles and site conditions. When a proposed project involves construction of a new building or the replacement, significant enlargement, or modification of an existing building, applicants are encouraged, first, to consult the design guidelines and then to prepare and submit conceptual or preliminary drawings for review by the Planning Commission. This preliminary review can promote communication between project applicants and the City's staff and decision-makers, facilitating an understanding of applicable design regulations and avoiding unnecessary expenditures in detailed plans."

In considering the proposed plans the Commission should take into consideration that the *proposed projects need not strictly comply with every guideline to be approved but deviations should be minor and reasonably related to good design principles and site conditions.* Some deviations may be acceptable when determined appropriate for the site and maintaining good design principals. While no approvals are to be granted at this hearing, the Commission should provide feedback as to where appropriate deviations are acceptable, should they exist, and where strict adherence to the guidelines are preferred.

Zoning District: This site is zoned Service Commercial (SC). City Municipal Code Section 17.14.010.B states that the purpose of the SC Zoning District is: *"To provide an appropriate location for services, offices, residential and limited retail activities that primarily serve local needs. This district is intended to provide a distinct transition between the more intense activities in the CC district and the less intense activities in the districts on its periphery. Mixed uses of commercial and residential activities are appropriate throughout this district."*

General Plan – Housing Element Policy P3-2.1 states to: "Continue to encourage mixed-use developments (second-floor housing over first-floor commercial uses) as a preferred development form contributing to the village character in all Commercial Districts."

General Plan – Land Use Element Policy P1-8 states to: "Continue to encourage mixed land uses that create new second floor apartments located over ground floor retail and service uses in the commercial district on streets where a pattern of second story buildings already exists."

Like the project that was reviewed by the Commission in April 2021, the proposed building would be a mixed-use building with 12 apartments (no condominium units are proposed) on the second floor and 15 commercial spaces on the ground floor. At the April 14, 2021 hearing, the Commission gave feedback to reduce the amount of commercial space provided in the project. The applicant has responded stating (refer to Attachment 2):

We have not reduced the overall square footage of commercial space in the new design [approx. 8,900 square feet]. We are providing small commercial spaces ranging in size between 414 square feet and 1,000 square feet in order to support small size neighborhood serving commercial uses. There is no demand for large retail spaces in Carmel, nor would these be suitable for the look and feel of the town. They would also attract larger national retailers which is not what Carmel is looking for.

The proposed size of the commercial spaces are consistent with the municipal code requirements that outline the appropriate size for retail spaces. CMC 17.14.040.A.1 states, *'No new structure or modification to an existing structure shall be permitted nor shall any business license be issued that would allow the creation of publicly accessible retail space occupying fewer than 200 square feet or more than 5,000 square feet unless approved through a use permit."* As the square footage of each retail/commercial space is within the permitted range. However, a Conditional Use Permit is required, and will be considered at the formal Design Review hearing, for an increase in commercial floor area (CMC 17.14.050.E).

The subject project proposes approximately 8,900 square feet of commercial floor area. The initial project reviewed by the Commission also proposed approximately 8,900 square feet of floor area, and the Del Dono project was approved for 5,399 square feet between the two buildings with the remainder of the ground floor area being dedicated to residential uses or amenities for the building. While formal findings are not being made at this preliminary review, it appears the proposed project will be consistent with the required findings for an increase in floor area as prescribed in CMC 17.64.100.

In staff's opinion, the use of the building complies with the intent of the SC Zoning District and related policies of the General Plan. Despite the increase in commercial floor area, the project meets the goals of the General Plan by providing a mix of commercial and residential uses. Further, the zoning code provides a list of appropriate land uses in the Service Commercial District that are appropriate uses for the transitional and less intense nature of the SC Zoning District. Examples of permitted and conditionally permitted uses include: animal grooming, full-line restaurants, clothing stores, home furnishing stores, stationary stores, laundry services, business and professional offices, and medical offices. Examples of prohibited uses include: antique stores, art galleries, jewelry stores, specialty restaurants, and commercial recreation facilities.

Residential Density and Uses: CMC Section 17.14 establishes the range of permitted and conditional uses that are allowed in the SC Zoning District. Multi-family projects between 0 and 22 dwelling units per acre (du/acre) are a permitted use. Projects between 22-33 du/acre require a conditional use permit and projects with densities between 34-44 du/acre require a conditional use permit with a finding that the project complies with State Density Bonus Law (Gov. Code Section 65915).

The applicant is proposing 12 residential (apartment) units on a 16,000 square foot site, which is a density

of 33 du/acre and is therefore requires issuance of a Conditional Use Permit by the Planning Commission. Due to the number of units proposed, there is no required affordable housing requirement associated with the proposed residential density and requiring affordable units cannot be imposed. All 12 units are proposed to be long-term rental apartments with none being used as transient (short-term) rental units. The rental units range in size with three of the units being a one bedroom units that are 650 square feet or less (CMC 17.14.040.N requires 25% of the units shall be 400 to 650 square feet in size) and the largest being a 1,576 square foot two-bedroom unit. While still market rate units, the smaller units become more "affordable by design" due to the smaller square footage of each unit.

Each apartment is proposed to have a small deck or balcony on the main living level (2nd floor of building). Most balconies will face the exterior of the building, however, units 2 and 12 will have a private patio overlooking the interior courtyard that is integrated into the egress balcony that partially covers the courtyard. Seven of the units will also have a private terrace accessed off the mezzanine level. At the prior hearing, the Commission expressed concerns regarding the inclusion of a large roof deck that would be accessible to all tenants of the building siting that it would create privacy concerns to neighbors. The applicant has responded stating, "The public roof deck has been eliminated. Smaller, private roof decks have been added at individual units. The roof decks are hidden and not visible from the streets and will have heavy planting/ landscaping."

Floor Area: Floor area (FAR) is defined as the total combined area included within the surrounding exterior walls of all floor levels. Floor area includes all floor spaces used for commercial, manufacturing, residential and miscellaneous land uses including space occupied by mezzanine floors, interior walkways, storage areas above ground, hallways, restrooms, and both interior and exterior wall thicknesses.

While the FAR is typically limited to 135% of the site, a 10% floor area bonus is available for sites providing a courtyard or intra-block walkway with additional floor area bonuses available for projects providing affordable housing, up to a maximum of 150% of FAR for the site. The project is proposed to be approximately 23,200 square feet, or a FAR of 145% (maximum allowed for the site based on applicable bonuses), between the approximately 8,900 square foot first level, approximately 11,500 square foot second level, and approximately 2,700 mezzanine level. An approximately 15,200 square foot basement containing 27 parking spaces, mechanical equipment and storage is also proposed, although, in accordance with CMC 17.14.140, the basement is excluded from the FAR for the building site.

The previous project reviewed by the Commission proposed a FAR of 143% of the site area and Del Dono was approved for a FAR 147% of the site area (Del Dono I – DR 16-032: 150% FAR; Del Dono II - DR 17-482: 146% FAR).

Building Coverage: Building coverage is defined as the total ground area of a site occupied by any building or structure as measured from the outside of its surrounding external walls or supporting members. Building coverage includes exterior structures such as stairs, arcades, bridges, permanent structural elements protruding from buildings such as overhanging balconies, oriel windows, stories which overhang a ground level story, and covered carports.

The building coverage is proposed be approximately 13,300 square feet (~83% of lot area) in area. The allowed building coverage for a two-story building in the SC Zoning District is typically 80% of the site area for projects that fully implement Commercial Guidelines III-A., although CMC 17.14.130.A states, *exceptions may be granted up to a maximum building coverage of 95 percent.* The exception described allows for a commensurate amount of bonus building coverage to be added to the site for any bonus floor area granted (for example: a 10% floor area bonus allows for an additional 10% building coverage bonus).

While up to 95% of the building site may be occupied by building coverage improvements, the site is proposed to only be 83% covered. The prior project proposed building coverage of 88% and Del Dono was approved for building coverage of 95%.

The remaining area of the site that is not building coverage is considered open space. A minimum of 50%

of the required open space on each site shall be landscaped which may include nonliving materials such as garden benches, water features and patterned paving treatments as long as the combined total area of such plant alternatives is not used as more than 25 percent of the required landscaping on any site. All landscaping improvements is required to include upper canopy trees on-site and/or in the sidewalk in front of the property whenever possible. A complete landscape plan is currently being developed, however a preliminary landscape plan has been included on Sheet A201 of the project plans.

Height/Massing: Per CMC 17.14.150, the maximum allowable building height shall be determined primarily by the design context established by the prevailing heights of nearby structures facing the same street or intersection and within the same pedestrian field of view (i.e., generally, within 100 feet to either side of, or across the street from the proposed structure). In the CC and SC districts the main building and roof form of all structures shall be limited to a maximum of 30 feet.

The structure is proposed to be a maximum of 30' tall which matches the maximum height of the previously approved Del Dono project. The previous proposal reviewed by the Commission included a number of architectural projections that exceeded the 30' height limit that may have been approved by the Commission. The Commission, however, was not supportive of the projecting elements and the applicant has revised the design to not include any projections exceeding the 30' height limit.

The Commission also gave the feedback that the building initially reviewed looked too big, particularly along the Dolores Street frontage where most buildings are single story. Parts of building appear three stories in appearance. The applicant has responded, stating (refer to Attachment 2):

The project has been completely redesigned to push the building's mass away from Dolores Street and 5th Avenue and provides for a two story appearance from both streets. The building's courtyard now faces Dolores Street which provides for a large break in the building's bulk and mass while providing for public open space, now at the front rather than an interior courtyard as before. The building's exterior now has the appearance of six small buildings in order to reduce the building's bulk and mass. The appearance is far less imposing than the previously approved Del Dono Court development on the same site.

The new location of the courtyard has improved the site condition and affords for a break in the building's mass along the Dolores Street frontage (refer to Attachment 1, Sheets A401-A404). Additionally, the building forms that comprise the storefronts and the ends of the buildings are typically 24' tall, as opposed to the 30' tall elements located more centrally on the site with pitched roofs to the highest points of the roof sit away from the street. By primarily locating the taller building elements at the center of the site and breaking the mass of the building by the central courtyard and building finishes, the massing of the building better relates to the context of the smaller one story building and storefronts that surround the subject site.

While the massing and height of the building does appear to be appropriate for the site conditions, staff is concerned about the finished appearance of some of the taller building elements projecting above the lower building elements. Based on the current preliminary drawings, it is unclear how the taller mezzanine level and roof and building form will interact with the adjunct lower roof forms.

The areas of the roof created by the mezzanine level appears to create an unfinished appearance to the building (refer to Attachment 1, Sheet A404 – see red roofed building element with taller adjacent roof structure at the corner of the building). While this area many not be visible from the adjacent sidewalk, this would be apparent when viewed from across the street, or up the hill on 5th avenue with a similar impact expected on the southern side of the building as the building presents a similar roof form. The taller roof forms extend well above the lower roof forms and creates a vertical wall face that would be visible from the street and adjacent properties.

The taller roof areas that are used for the mezzanine level partially enclose the roof terrace area but is open toward the street that potentially give the roof an awkward and unfinished appearance to the site. Even if

finished with architectural treatments, windows, doors, etc., the exposed vertical wall may still not be appropriate as the roof form presented on one elevation is not complete when viewed from the other side. While a finished appearance is maintained from the courtyard, the same treatment should be used for the street facing sides of the building. Design Guideline A7 states, "Roof forms should be complete and not present false fronts." A false front should not be used, but the inclusion of a false front is even more inappropriate when the unfinished side of the false front would be visible from the street. While the overall building concept appears to be appropriate, staff has identified the proposed element as an item the Commission should take into consideration. Staff has already shared this feedback with the applicant ahead of the hearing.

Building Finishes/Details: A comprehensive material sample list has yet to be provided, however, the applicant had identified the proposed building materials on the building elevations (refer to Attachment 1, Sheet A401). The building is designed to have the appearance of six small buildings that look like "quaint shops", with some of the store fronts opening to Dolores Street and others accessed via the courtyard. The applicant has responded to the Planning Commission's comment that the prior design failed to meet the Residential Design Guidelines, specifically in regarding to the building finishes and details stating in part:

The [new] design compliments the rhythm of the streetscape; the design provides for separate business identities; the design has visual interest and roof forms compatible to the block; the design creates a "pedestrian wall" and entrance to intra-block walkway; the design has a balanced relationship between wall space and openings; the design has window patterns and wood doors consistent with the architectural design; the design has built-in planter boxes, flower boxes and street furnishings; the design shall have discrete lighting consistent with the architectural style; the design has a landscaped courtyard with connections to the intra-block walkway; the design's colors are consistent with colors of other businesses located directly across on Dolores Avenue.

While the applicant has addressed many of the design guidelines, staff has identified certain areas that warrant Planning Commission discussion and/or direction.

• **Building Color.** In respect to the Commercial Design Guidelines pertaining to materials, textures, and colors, the guidelines state:

Building materials and colors should respect the traditions already established in the commercial district. The use of richly detailed wood, tile, moldings, corbels, brick, and stone, as well as landscaping are encouraged.

- 1. Paint should be applied as a solid color, without texture or motting. Antiquated and faux finished are inappropriate.
- 2. Muted paint colors, which blend with the natural surroundings, are appropriate. Bright and primary colors should be avoided. Contrasting colors should be saturated and earthened.

The proposed building colors and materials are consistent in the fact that they are solid without texture of motting and do not include antique or faux finishes, however, the color scheme is mostly comprised of primary colors, which is discouraged by the Design Guidelines. Further, the majority of the colors have a pastel appearance which is characterized as having a high luminance (amount of light) and low saturation (intensity of color). While the design guidelines do not speak to luminance, more saturated colors are preferred. Staff recommends the Commission consider the proposed building colors and the design guidelines that recommend the colors not be primary colors, saturated and earthened, and blend with the natural surroundings. Staff has already shared this feedback with the applicant ahead of the hearing.

• Courtyard and Intra-Block Walkway and Exterior Building Appearance. With respect to the Commercial Design Guidelines pertaining to materials, textures, and colors, the guidelines state:

Courtyards and intra-block walkways are important design features of the commercial district. They provide pedestrians the anticipation of the unusual, swift and gratifying shifts in prospect, and often intriguing connection roots between two or more streets defining a block.

- 1. A courtyard should maintain continuity of architecture, colors, and materials.
- 2. The area of the courtyard could be compatible with the size of the building site.

Based on the preliminary drawings, the size of the courtyard appears to be compatible with the size of the building and the intra-block walkways that connect the project site to Lincoln Street and access from both Dolores Street and 5th Avenue are consistent with the Design Guidelines for courtyards and intra-block walkways. One area of concern, however, is the consistency of the finishes throughout. The design guidelines state, a courtyard should maintain continuity of architecture, colors and materials and therefore a strict interpretation of the design guidelines would suggest the design, colors, and materials of the building should be consistent throughout the courtyard.

The applicant has responded to the previous comments and direction of the Commission stating "the building's exterior now has the appearance of six small buildings with "quaint shops" facing Dolores Street and other quaint shops within the courtyard that is open to Dolores Street."

While the exterior of the building does appear to be comprised of smaller buildings with individual store-fronts, this design treatment (appearance of multiple buildings and finishes) also continues into the courtyard which conflicts with the Commercial Design Guidelines as, a courtyard should maintain continuity of architecture, colors, and materials.

For example, Sheet A401 of the project plans shows a section of the courtyard and where the building finishes would transition from one style to another. In the section, the building element closest to the street is finished with sloped beige tile roof, white wood cladding on the second floor, and a beige stucco face before transitioning to a pink horizontal wood building element on the second floor with no distinguishing roof feature and a covered walkway below. While the plans do not show all elevations within the courtyard, it is assumed similar treatments and transitions would appear throughout. The covered egress walkway for the apartments maintains a consistent appearance throughout however and wraps the perimeter of the courtyard on the second floor.

Similarly, the northern building elevation (5th Avenue) presents an stark and abrupt transition between the two styles of buildings (refer to Attachment 1, Sheet A401). The corner building (pink building) cantilevers over the next style building (blue building) at the second level. This is an inappropriate transition between different building styles as it does not appear visually logical. While the changes in building appearance is more appropriate for the exterior of the building over an interior courtyard, the way this transition is proposed is not consistent when trying to maintain the appearance of completely separate or individual buildings.

Staff is seeking direction from the Commission regarding the treatment of the building finishes within the courtyard and the appropriateness of the transitions between building finishes within the courtyard, and also the areas accessible within the covered walkways between tenant spaces. A strict interpretation of the design guidelines would suggest that the full courtyard should be consistent throughout and should maintain the same appearance whether looking at the north, south, or west elevations of the courtyard. A less strict interpretation may be that if the finishes are used throughout the remainder of the project site, continuity of the courtyard is consistency with the remainder of the building.

Lastly, while not specifically addressed in the Design Guidelines, staff has identified additional design elements to be considered. CMC 17.14.220.B states, *Roofing materials shall be selected that are*

consistent with the design character of the buildings on which they are placed. Roofing materials should be consistent in color and composition on each roof plane of the building and on the roofs of each building within a single complex or courtyard.

As a result of the proposed design comprised of 6 smaller buildings, the project is proposed to have multiple roof forms and multiple roof materials. The code section above suggests the roofing material should be consistent on each building within a complex, however, the Commission should consider whether a more appropriate interpretation is whether the roof treatment may vary as long as the roofing is consistent with the design treatment of the building finish it is placed upon.

Public Correspondence. At the time of writing this report, staff has received only one item of written correspondence (refer to Attachment 3). The correspondence, in summary, raises issues regarding view impacts assessed by the story poles. The code section sited in the letter refers to regulations for the Residential Districts and the Commercial Districts do not have language regarding protection of views incorporated into the Municipal Code or Commercial Design Guidelines though General Plan Policy P1-27 states: *Continue to ensure that development, whether commercial or residential, does not diminish the village character by excessively blocking important public or private views and disturbing natural topography, mature trees, or native growth.* In respect to the proposed height, as discussed in the "Height/Mass" section above, the height is the same height as the previously approved Del Dono project which reached the maximum 30' height limit across the full width of the lot.

Additional correspondence received prior to the hearing will be forwarded to the Commission and attached to the meeting agenda as late correspondence.

Other Project Components:

Not a Project; no further action required under CEQA. A project is defined as an activity which may cause either a direct physical change in the environment, or a reasonably foreseeable indirect physical change in the environment, and which is any of the following: (a) An activity directly undertaken by any public agency, (b) An activity undertaken by a person which is supported, in whole or in part, through contracts, grants, subsidies, loans, or other forms of assistance from one or more public agencies, (c) An activity that involves the issuance to a person of a lease, permit, license, certificate, or other entitlement for use by one or more public agencies. This preliminary review is intended to provide preliminary feedback and direction to the applicant and will not result in a direct or reasonably foreseeable indirect physical change in the environment.

Attachment 1 - Preliminary Project Plans Attachment 2 - Applicant's Response to Comments Attachment 3 - Site Photographs Attachment 4 - Public Correspondence

Corne Carmel-

ABBREVIATIONS

I.C.C. INTERNATIONAL CODE

CONDITIONING

AND ANGLE AT CENTERLINE DIAMETER OR ROUND PERPENDICULAR PROPERTY LINE POUND OR NUMBER ANCHOR BOLT A.B. ACRYLONITRILE BUTADIENE A.B.S. ABOVE ASPHALTIC CONCRETE ABV. A.A. A/C ACOUS. ADJ. A.F.F. AGGR. ALUM. ANOD. A.P.A AIR CONDITIONING ACOUSTICAL ADJUSTABLE ABOVE FINISH FLOOR AGGREGATE ALUMINUM ANODIZED AMERICAN PLYWOOD ASSOCIATION APPROX. APPROXIMATE ARCH. ARCHITECTURAL A.S. ADJUSTABLE SHELF BD. BIT. BLDG. BLK. BLKG. BM. BM. BOT. BRG. BTWN. B.U.R. B.W. BOARD BITUMINOUS BUILDING BLOCK BLOCKING BEAM BENCH MARK BOTTOM BEARING BETWEEN BUILD-UP ROOFING BOTH WAYS CAB. C.B. CBC CEM. CABINET CATCH BASIN CALIFORNIA BUILDING CODE CEMENT CERAMIC CONTRACTOR FURNISHED, CER. CFCI. CONTRACTOR INSTALLED CUBIC FEET CAST IRON CONTROL JOINT CLOSET C.F. CL. CLG. CLKG. CLR. CON.U. COL. COMP. CONSTR. CONSTR. CONSTR. CONT. CON. CON. CON. CON. CO.T.G. CSMT. CSMT. CSMT. CSMT. CSMT. C.T. CTR. CTSK. C.Y. CEILING CAULKING CLEAR(ANCE) CONCRETE MASONRY UNIT COLUMN COMPOSITION CONCRETE CONNECTION CONSTRUCTION CONSTRUCTION CONTINUOUS CORRUGATED CLEAN-OUT TO GRADE CASEMENT CASEWORK CERAMIC TILE COUNTER COUNTERSINK CUBIC YARD CEILING DOUBLE DEPARTMENT DETAIL DRINKING FOUNTAIN DOUGLAS FIR DECOMPOSED GRANITE DBL DEPT. DET. DF. D.F. DOUGLAS FIR D.G. DECOMPOSED GRANITE D.H. DOUBLE HUNG DIAG. DIAGONAL DIA. DIAMETER DIMEN. DIMENSION DISP. DISPENSER/DISPOSER DN. DOWN DR. DOOR DRWG. DRAWING D.S.B. DBL. STRENGTH B GRADE (GLASS) D S DOWNSPOUT D.S. DWR. D.W. DOWNSPOUT DRAWER DISH WASHER EAST EACH EXPANSION JOINT ELEVATION, ELEVATOR ELEV. ELEC. EMER. ENCL. EQUIP. EWC. ELECTRIC(AL) EMERGENCY ENCLOSURE EQUIPMENT N.I.C. W/ WITH ELECTRIC WATER COOLER EXISTING ÈŃH. EXP. EXT. **EXHAUS** EXPOSED/EXPANSION EXTERIOR FIRE ALARM FASTEN(ER) FLAT BAR FLOOR DRAIN F.A. FAST. F.A. FIRE EXTINGUISHER CABINET FINISH GRADE FOUNDATION FIRE EXTINGUISHER F.E. FIBERGLASS F. FIBERGLASS FIN. FINISH(ED) F.H.M.S. FLATHEAD MECHANICAL SCREW F.H.W.S. FLATHEAD WOOD SCREW FLASH. FLASHING FLOR. FLOOR(ING) FLUOR. FLOOR(ING) FLUOR. FLUORESCENT F.O. FACE OF F.O.B. FACE OF BLOCK F.O.C. FACE OF BLOCK F.O.C. FACE OF BLOCK FLATHEAD WOOD SCREW FLASHING FLOOR(ING) FLUORESCENT FACE OF FACE OF BLOCK FACE OF FINISH FACE OF FINISH FACE OF FINISH FACE OF STUD FIREPLACE FIBERGLASS REINF. PANEL FULL SIZE FOOT/FEET FOOTING FURRED(ING) FUTURE F.O.C. F.O.F. F.O.M. F.O.S. F.P. F.R.P. F.S. FTG. FTG. FURR. FUT. GAUGE/GAGE GALVANIZED GRAB BAR GALVANIZED IRON GLASS/GLAZING GLUE-LAM BEAM GRADE(ING) GYPSUM WALLBOARD GA. GALV. G.B. G.I. GL. GR. GR. G.W.B. HOSE BIB HARDBOARD HOLLOW CORE HEADER HARDWARE HOLLOW METAL HORIZONTAL HEAVY SHEET HEIGHT HEATING HOT WATER HARDWOOD HEATING/VENTILATING/AIR H.B. H.D. H.A. HDWR. H.M. HORZ. H.S. HT. HTG. H.W. HWD. HVAC.

COUNCIL INSIDE DIAMETER INCLUDE(D) (ING) INSULATE(D) (ING) INTERIOR INVERT ID. INCL. INSUL. INT. INV. W/ W.C. WD. WDW. W.H. WI. WINDOW JANITOR JOIST HANGER JOINT JAN. J.H JT. W/O W.P. W.R. KIT. KITCHEN W.S. WSCT. WT. LENGTH WAINSCOT LENGTH LAMINATE LAVATORY LAG BOLT LOCATE(ION) LAMINATED VENEER LUMBER LIGHTWEIGHT WEIGHT LAM. LAV. L.B. W.W.M. WELDED WIRE MESH LOC. L.V.L. L.W. MAS. MAT. MASONRY MASONKT MATERIAL(S) MAXIMUM MAX. M.B. M.C. MECH. MECH. MERZ. MFR. MIN. MIR. MISC. MISC. M.I.W. M.O. MACHINE BOLT MEDICINE CABINET MAN HOLE MECHANICAL MEMBRANE MEZZANINE MANUFACTURE(ER) MINIMUM MIRROR MISCELLANEOUS MOLDING/MOULDING MALLEABLE IRON WASHER MASONRY OPENING MOUNTED METAL MULLION MTD. MET. MULL. NORTH NEW NATURAL NOT IN CONTRACT (N) NAT N.I.C. NOM. N.T.S. NOMINAL NOT TO SCALE OVER Ω OBSCURE ON CENTER(S) OUTSIDE DIAMETER OBS. O.C. O D OFFICE OWNER FURNISHED, CONTRACTOR INSTALLED OFCI. OFOI. OWNER FURNISHED, OWNER INSTALLED OWNER INSTALLED O.H. OVER HANG O.H.M.S. OVALHEAD MACHINE SCREW O.H.W.S. OVALHEAD WOOD SCREW OPNG. OPENING OPP. OPPOSITE P.A.F. POWDER ACTUATED FASTEN P.B. PANIC BAR PART. TBD. PARTICLE BOARD PCF. POUNDS PER CUBIC FOOT P.D. POWDER DRIVEN P.C. PANEL CRADE POWDER ACTUATED FASTENER Attachment 1 P.G. PERF. PLF PAINT GRADE PERFORATE POUNDS PER LINEAR FOOT PLAS. LAM. PLASTIC LAMINATE PLAS. PLASTIC LAMINATE PLAS. PLASTER PLYWD. PLYWOOD PR. PAIR PSF POUNDS PER SQUARE FOOT PSI POUNDS PER SQUARE INCH P.T. PRESSURE TREATED PART. PARTITION P.T. DISP. PAPER TOWEL DISPENSER P.V.C. POLYVINYL CHLORIDE POUNDS PER SQUARE FOOT POUNDS PER SQUARE INCH PRESSURE TREATED RISER RETURN AIR RADIUS ROOF DRAIN REGISTER REFRIGERATOR R.A. RAD. R.D. REG. REF. REINF REQ'D REQMT. RESIL REINFORCED REQUIRED REQUIREMENT RESIL REQUIREMENT RESIL RESILIENT REV. REVERSED R.H.M.S. ROUNDHEAD MACHINE SCREW R.H.W.S. ROUNDHEAD WOOD SCREW RM ROUNDHEAD WOOD SCREW ROOM ROUGH OPENING RIGHT OF WAY RI R.O. R.O.W. RESAWN RUBBER R.S. RUB. REDWOOD RAIN WATER LEADER RWD. R.W.L. SOUTH SOLID BLOCKING SOLID CORE SCHEDULE STORM DRAIN SECTION SERVICE SQUARE FOOT SCHED. SECT. SERV. S.F. SQUARE FOOT STAIN GRADE SHELF/SHELVING SHOWER SHEET SHEATHING SIMILAR STAINLESS STEEL SERVICE SINK SEE STRUCTURAL DRAWINGS SHEET METAL SHEET METAL SHEET METAL SCREW SPECIFICATION SQUARE STEEL STANDARD STAGGERED STORAGE STORAGE STRUCTURAL SUSPENDED SYMMETRY(ICAL) SYSTEM S.G. SH. SHWR. SHT. SHT'G. SIM. S.S. S.S.D. S.M.S. SPEC. SQ. STL. STD. STAG. STOR. STRUCT. SUSP. SYM. SYS. TREAD TOWEL BAR TO BE DETERMINED TOP OF CURB TELEPHONE TEMPERED TYPICAL EDGE NAILING TONGUE & GROOVE THICK(NESS) THRESHOLD TRUSS JOIST INTERNATIONAL TOP OF TOILET PAPER HOLDER TOP OF PAVEMENT TELEVISION TOP OF WALL TYPICAL T.B. T.B.D. TEL. TEMP. T.E.N. T & G THK. THRESH. T.J.I. T.O. T.P.H. T.Q. T.V. T.W. TYP. U/L UNDERWRITER'S LABORATORY U.N.O. UNLESS NOTED OTHERWISE

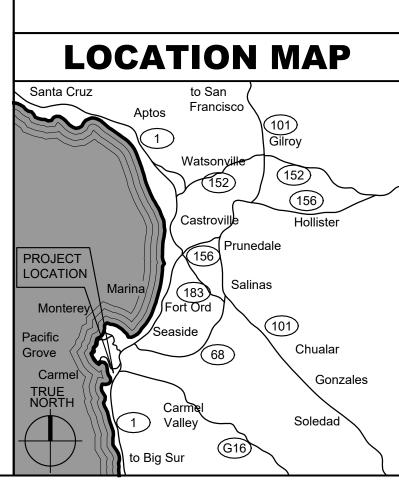
U.O.N. UNLESS OTHERWISE NOTED UR. URINAL VERIFY IN FIELD WEST/WIDTH/WIDE WITH WATER CLOSET WOOD WATER HEATER WATER HEATER WOODWORK INSTITUTE WITHOUT WATERPROOF(ING) WATER RESISTANT WOOD SCREW

V.I.F.

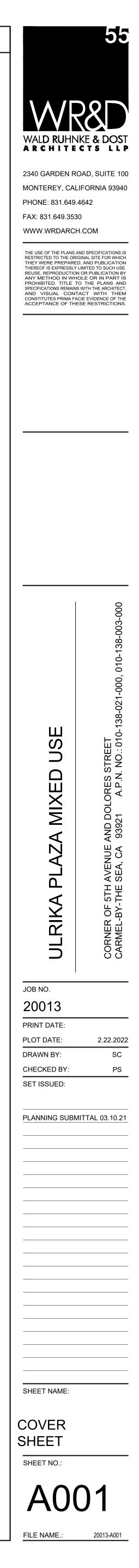
ROCK SAND, MORTAR, PLASTER ____ CONCRETE BLOCK -----_____ ____ ____ ------_____ \ge

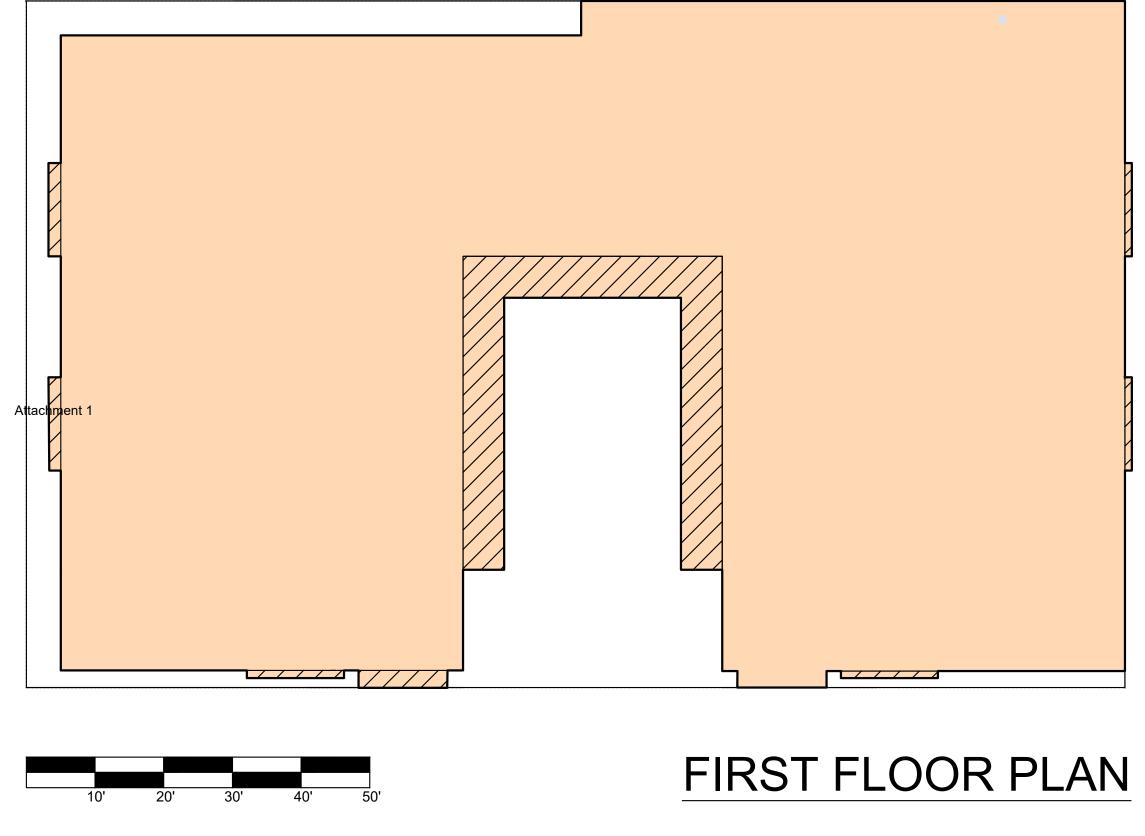
LEGEND EARTH

	CAST-IN-PLACE (C.I.P.) CONCRETE
	(E) STUD WALL
	(N) STUD WALL
	(E) STUD WALL TO BE REMOVED
	SOUND INSULATED STUD WALL
<u>// // // // // //</u>	METAL
	WOOD FINISH
\ge	WOOD FRAMING CONTINUOUS MEMBER
	WOOD BLOCKING
	WOOD BLOCKING PLYWOOD
	PLYWOOD
	PLYWOOD GYPSUM WALLBOARD
	PLYWOOD GYPSUM WALLBOARD



			PROJECT INFORMATION PROJECT ADDRESS: CORNER OF 5TH AVENUE & DOLORES ST.		SHEET TITLE
LRIKA PI	_AZA		A.P.N.010-138-021-000, 010-138-003-000ZONING:SC - SERVICE COMMERCIAL DISTRICTLOT SIZE:16,000 SF (0.37 ACRES)PROPOSED BUILDING AREA:BASEMENT FIRST FLOOR SECOND FLOOR TOTAL11,501 SF 35,685 SF	A002 A003 A004 A005 A006 ARCHITECT A200 A201	BASEMENT FLOOR PLAN FIRST FLOOR PLAN
			BUILDING COVERAGE: MAX. ALLOWABLE BUILDING COVERAGE 14,400 SF (90% OF LOT SIZE, BASED UPON COMPLIANCE WITH CORE COMMERCIAL DESIGN GUIDELINES) PROPOSED BUILDING COVERAGE 12,987 SF PROJECT DESCRIPTION: NEW MIXED-USE BUILDING WITH TWELVE (12) APARTMENT UNITS (SEVEN (7) OF WHICH HAVE MEZZANINES), FIFTEEN (15) RETAIL SPACES AND TWENTY-SEVEN (27) UNDERGROUND CAR PARKING SPACES. CONSTRUCTION: TYPE VA SPRINKLERED MAX. FLOOR AREA RATIO: 16,000 SF x 145% = 23,200 SF (INCLUDES 10% INTRA-BLOCK WALKWAY BONUS) PROVIDED FLOOR AREA: 23,200 SF OFF-STREET PARKING ANALYSIS: RESIDENTIAL REQUIRED (1 PER UNIT): RESIDENTIAL REQUIRED (1 PER UNIT): 12 2,964 SF RETAIL AREA / 600 = 15 TOTAL REQUIRED PARKING: 27 SPACES MAXIMUM COMPACT SPACES REQUIRED: 1 STANDARD ACCESSIBLE SPACES REQUIRED: 1 VAN ACCESSIBLE SPACES REQUIRED: 2 NONRESIDENTIAL EVCS SPACES REQUIRED: 2 NO	A202 A203 A204 A401 A402 A403 A404	SECOND FLOOR PLAN MEZZANINE PLAN ROOF PLAN EXTERIOR ELEVATIONS STREETSCAPE ELEVATIONS EXISTING SITE PERSPECTIVE NEW SITE PERSPECTIVE
SYMBOLS	PROJECT TEAM	GENERAL NOTES	APPLICABLE CODES & STANDARDS 2019 NFPA 13, AUTOMATIC SPRINKLER SYSTEMS (CA AMENDED) 2019 NFPA 72, NATIONAL FIRE ALARM AND SIGNALLING CODE (CA AMENDED)		
Image: Straight of the second symbol Image: Straigh	<section-header><section-header><section-header><section-header><section-header><text><text><text><text><text><text></text></text></text></text></text></text></section-header></section-header></section-header></section-header></section-header>	 THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE VERIFICATION OF ALL DIMENSIONS GRADES AND OTHER CONTRACTOR SHALL REPORT ANY DISCREPANCIES TO THE ARCHITECT FOR CLARIFICATION AND CORRECTION PRIOR TO BEGINNING ANY WORK. THE CENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE WORK AND THE COORDINATION OF ALL TRADES AND GOVERNING AGENCIES. AND SHALL REPOVIDE ALL MATERIALS AND LABOR (SHOWN OR INFERRED) ON THESE PLANS TO RENDER THE WORK COMPLETE. IT SHALL BE THE GENERAL CONTRACTORS RESPONSIBILITY FOR THE SUPERVISION OF THE WORK. THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR THE SUPERVISION OF THE WORK OR THE PROPER EXECUTION OF THE SAME. WHITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. ANY AND ALL DISCREPANCIES SHALL BE ONSIDE TO THE ARCHITECT INMEDIATELY. PRIOR TO COMMENCEMENT OF WORK. THESE DRAWINGS SHALL BE CONSIDERED SUBSTANTIALLY COMPLETE IT IS THE RESPONSIBILITY OF THE SAME. WEITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. ANY AND ALL DISCREPANCES SHALL BE CONSIDERED SUBSTANTIALLY COMPLETE. IT IS THE RESPONSIBILITY OF THE SHOWN OR INFERED HEREIN, THROUGH PROPER AND ESTABLISHED CONSTRUCTION PACTOR. THESE DRAWINGS, EITHER SHOWN OR INFERED BERSTANTIALLY COMPLETE IT IS THE RESPONSIBILITY OF THE ONE COMPLEXITY OF THE ACTUAL COMPTON. THE SUBSTANTIALLY CORRECT AND MAY NOT PROPER THE ACTUAL COMPTON THE SECONTINGS, EITHER SHOWN OR INFERED HEREIN, THROUGH PROPER AND ESTABLISHED CONSTRUCTION PACTOR. EXISTING CONSTRUCTION OF CLALL SHOWN OR INFERED HEREIN, THROUGH PROPER AND ESTABLISHED CONSTRUCTION OF CLALS ANY PROPOSED SHUT TOWN OF UTILITIES SHALL BE REGISTERED IN WRITING AT LEAST BEYMING. ANY PROPOSED SHUT DOWN OF UTILITIES SHALL BE REGISTERED IN WRITING AT LEAST BEYMING. PROVIDE ALL REQUIRED FIRE BLOCKING IN ACCORDANCE WITH SECTION 708 OF THE CURRENT ADOPTED EDITION OF CLB.C. 	2019 CALFORNIA BUILDING CODE (GEO), CCR TITLE 24, PART 2, OULMES 1 AMD 2 2019 CALFORNIA BUILDING CODE (GEO), CCR TITLE 24, PART 3 2019 CALFORNIA ELCETRICAL CODE (CCC), CCR TITLE 24, PART 3 2019 CALFORNIA ELCETRICA CODE (CCC), CCR TITLE 24, PART 6 2019 CALFORNIA ELCETRICA BUILDING CODE (CHEC), CCR TITLE 24, PART 6 2019 CALFORNIA HISTORICAL BUILDING CODE (CHEC), CCR TITLE 24, PART 8 2019 CALFORNIA HISTORICAL BUILDING CODE (CHEC), CCR TITLE 24, PART 9 2019 CALFORNIA HISTORICAL BUILDING CODE (CHEC), CCR TITLE 24, PART 9 2019 CALFORNIA EXISTING BUILDING CODE (CHEC), CCR TITLE 24, PART 10 2019 CALFORNIA EXISTING BUILDING CODE (CHEC), CCR TITLE 24, PART 10 2019 CALFORNIA EXISTING BUILDING CODE (CHEC), CCR TITLE 24, PART 10 2019 CALFORNIA EXISTING BUILDING CODE (CHEC), CCR TITLE 24, PART 10 2019 CALFORNIA EXISTING BUILDING CODE (CHEC), CCR TITLE 24, PART 10 2019 CALFORNIA EXISTING BUILDING CODE (CHEC), CCR TITLE 24, PART 10 2019 CALFORNIA EXISTING BUILDING STANDARDS CODE (CALGeen), CCR TITLE 24, PART 10 2019 CALFORNIA EXISTING BUILDING CODE CODE, TITLE 24, PART 10 2019 CALFORNIA EXISTING BUILDING CODE STANDARDS CODE (CRC) TITLE 24, PART 12 CCR TITLE 10, PUBLIC SAFETY, DIVISION 1, STATE FIRE MARSHAL		
VICINITY MAP		FIRE SPRINKLER NOTES			
<image/>		 THIS BUILDING SHALL BE PROTECTED BY AN AUTOMATIC FIRE SPRINKLER 2019 NFPA 13 AND FIRE ALARM SYSTEM PER CBC 903 & 907 RESPECTIVELY. DRAWINGS AND SUPPORTIVE CALCULATIONS FOR SPRINKLER AND FIRE ALARM SYSTEMS ARE REQUIRED TO BE SUBMITTED BY THE INSTALLING LICENSED FIRE SPRINKLER CONTRACTOR (C-16) TO THE FIRE PREVENTION DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO FABRICATION & INSTALLATION. ANY INCLUDED FIRE ALARM OR FIRE SPRINKLER PROTECTION PLANS CONTAINED WITHIN THESE DOCUMENTS IS FOR REFERENCE ONLY; A SEPARATE SUBMITTAL IS REQUIRED. FIRE SERVICE UNDERGROUND, SYSTEM PLANS & FIRE ALARM SYSTEMS SHALL BE SUBMITTED SEPARATELY BY THE INSTALLING LICENSED (C-16) CONTRACTOR AND APPROVED BY THE FIRE DEPARTMENT & STATE FIRE MARSHALL AS APPLICABLE BEFORE A FRAMING INSPECTION MAY BE GRANTED BY THE BUILDING INSPECTION DEPARTMENT. 			
	SYMBOLS SYMBOLS SYMBOLS Image: Symbol		SYMBOLS PROJECT TEAM GENERAL NOTES SYMBOLS PROJECT TEAM PROJECT TEAM PROJECT TEAM SYMOLS PROJECT TEAM PROJECT TEAM PROJECT TEA		VICINITY MAP FILE SPRINKLER NOTES VICINITY MAP FILE SPRINKLER NOTES







16,000 SF PARCEL 12,987 SF BUILDING COVERAGE

BUILDING COVERAGE

13,343 / 16,000 = 83.39%

80% PLUS INTRA-BLOCK WALKWAY 10% BONUS = 90% MAX.

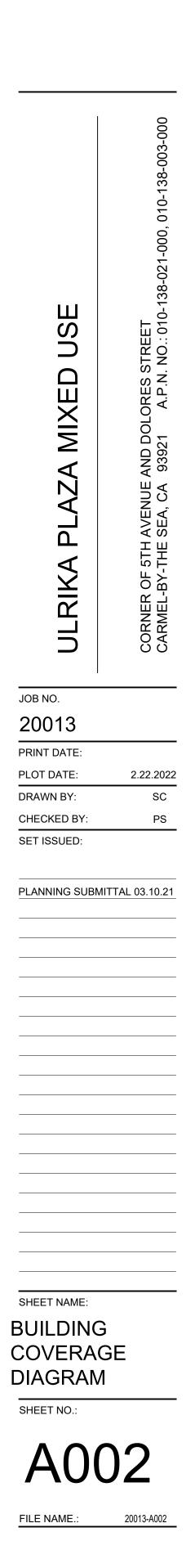
PLAN NORTH BUILDING COVERAGE DIAGRAM



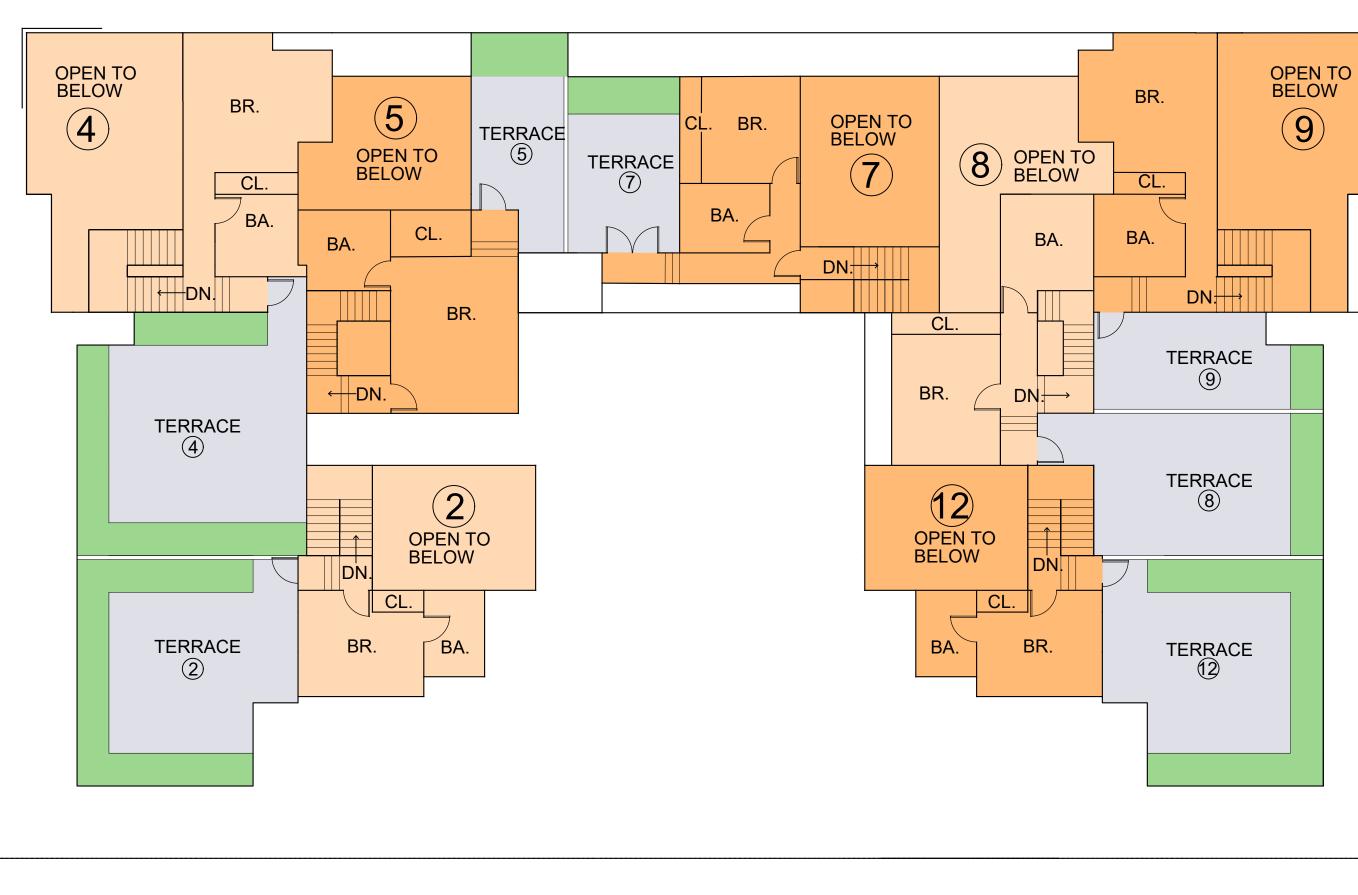
2340 GARDEN ROAD, SUITE 100 MONTEREY, CALIFORNIA 93940 PHONE: 831.649.4642 FAX: 831.649.3530

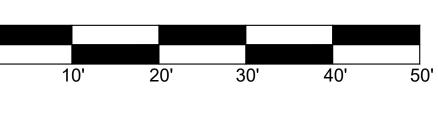
WWW.WRDARCH.COM

THE USE OF THE PLANS AND SPECIFICATIONS IS RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED, AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE. REUSE, REPRODUCTION OR PUBLICATION BY ANY METHOD IN WHOLE OR IN PART IS PROHIBITED. TITLE TO THE PLANS AND SPECIFICATIONS REMAINS WITH THE ARCHITECT, AND VISUAL CONTACT WITH THEM CONSTITUTES PRIMA FACIE EVIDENCE OF THE ACCEPTANCE OF THESE RESTRICTIONS.









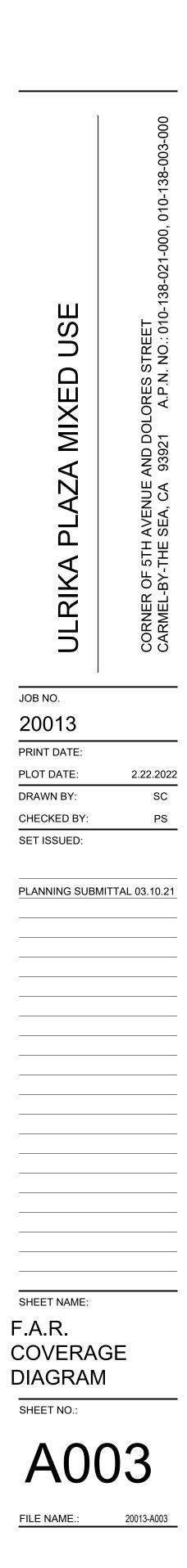
15,241 S.F.

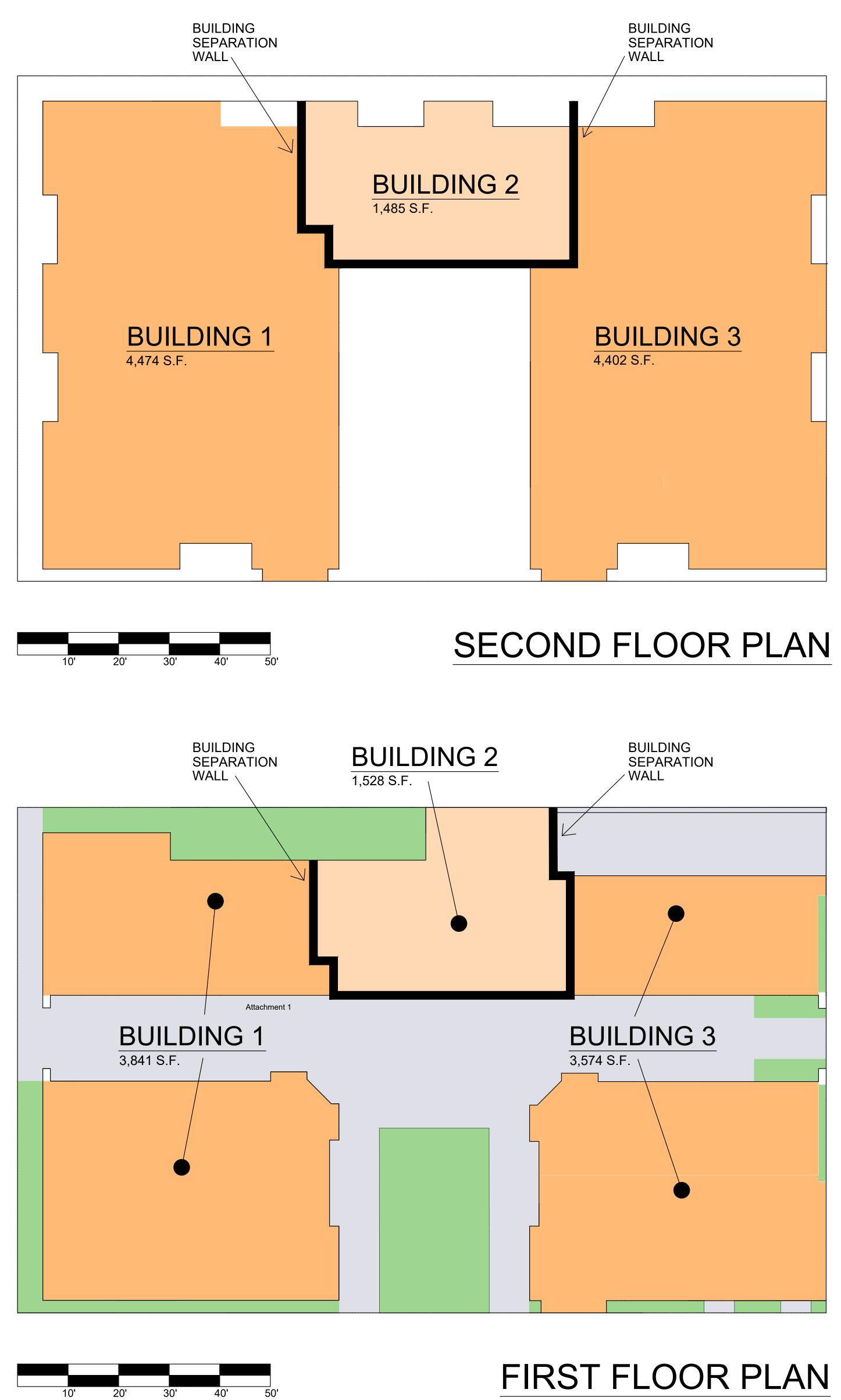


2340 GARDEN ROAD, SUITE 100 MONTEREY, CALIFORNIA 93940 PHONE: 831.649.4642 FAX: 831.649.3530

WWW.WRDARCH.COM

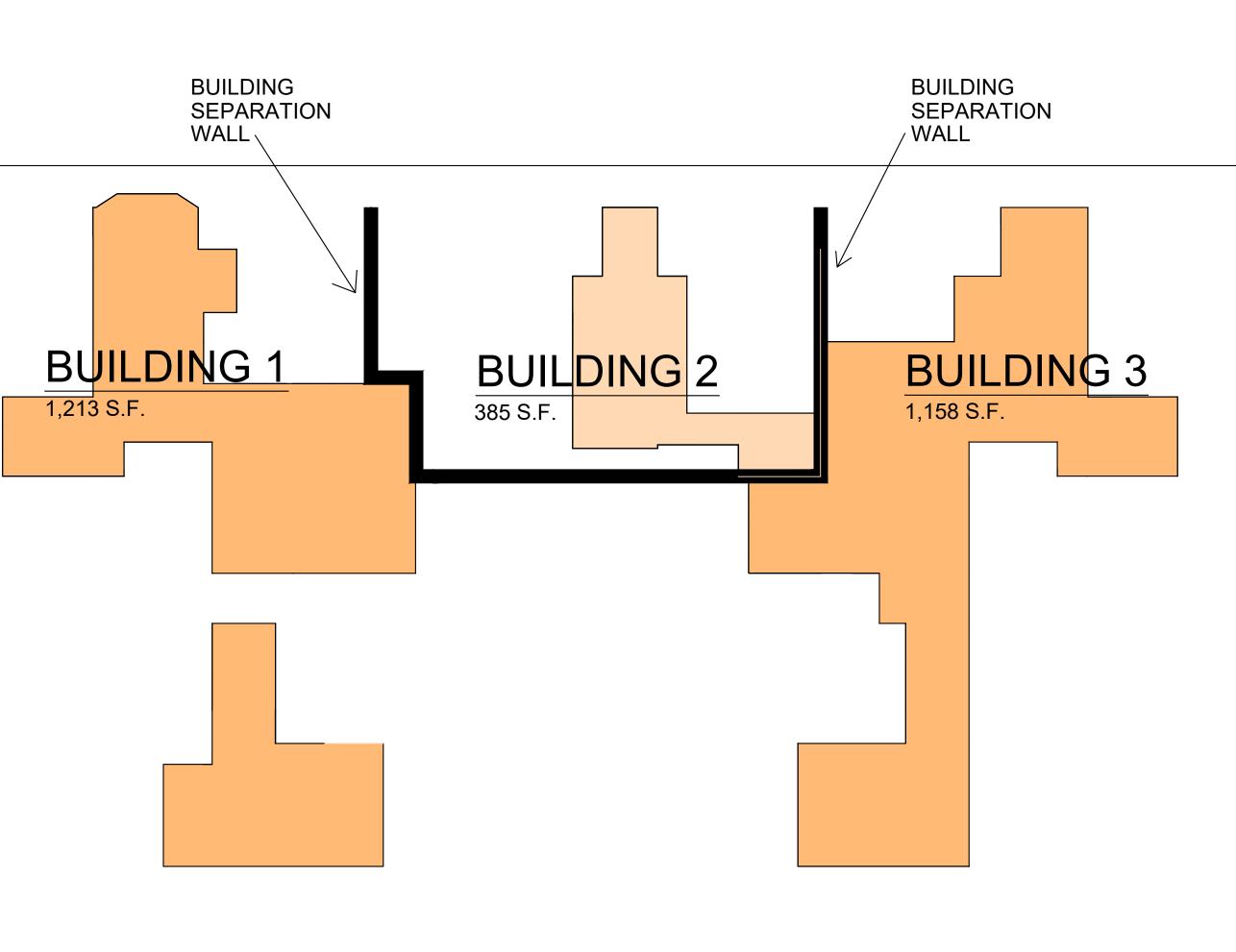
THE USE OF THE PLANS AND SPECIFICATIONS IS RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED, AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE. REUSE, REPRODUCTION OR PUBLICATION BY ANY METHOD IN WHOLE OR IN PART IS PROHIBITED. TITLE TO THE PLANS AND SPECIFICATIONS REMAINS WITH THE ARCHITECT, AND VISUAL CONTACT WITH THEM AND VISUAL CONTACT WITH THEM CONSTITUTES PRIMA FACIE EVIDENCE OF THE ACCEPTANCE OF THESE RESTRICTIONS.

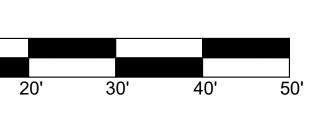




BUILDING AREAS BUILDING 1: 9,528 S.F. BUILDING 2: 3,398 S.F.

10'





MEZZANINE PLAN

- BUILDING 3: 9,134 S.F.



2340 GARDEN ROAD, SUITE 100 MONTEREY, CALIFORNIA 93940 PHONE: 831.649.4642 FAX: 831.649.3530

WWW.WRDARCH.COM

THE USE OF THE PLANS AND SPECIFICATIONS IS RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED, AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE. REUSE, REPRODUCTION OR PUBLICATION BY ANY METHOD IN WHOLE OR IN PART IS PROHIBITED. TITLE TO THE PLANS AND SPECIFICATIONS REMAINS WITH THE ARCHITECT, AND VISUAL CONTACT WITH THEM CONSTITUTES PRIMA FACIE EVIDENCE OF THE ACCEPTANCE OF THESE RESTRICTIONS.



RESIDENTIAL FLOOR AREA TABULATION					
UNIT NO.	TYPE	SECOND FLOOR AREA	SECOND FLOOR UNENCLOSED AREA	MEZZANINE AREA	TOTAL AREA
UNIT 1	ONE BEDROOM	1,006 S.F.			1,006 S.F.
UNIT 2	TWO BEDROOM	704 S.F.	613 S.F.	280 S.F.	984 S.F.
UNIT 3	ONE BEDROOM	650 S.F.			650 S.F.
UNIT 4	TWO BEDROOM	1,092 S.F.	968 S.F.	484 S.F.	1,576 S.F.
UNIT 5	TWO BEDROOM	1,022 S.F.	925 S.F.	449 S.F.	1,471 S.F.
UNIT 6	ONE BEDROOM	611 S.F.			611 S.F.
UNIT 7	TWO BEDROOM	874 S.F.	769 S.F.	385 S.F.	1,259 S.F.
UNIT 8	TWO BEDROOM	977 S.F.	869 S.F.	424 S.F.	1,401 S.F.
UNIT 9	TWO BEDROOM	1,065 S.F.	907 S.F.	454 S.F.	1,519 S.F.
UNIT 10	ONE BEDROOM	650 S.F.			650 S.F.
UNIT 11	ONE BEDROOM	1,006 S.F.			1,006 S.F.
UNIT 12	TWO BEDROOM	704 S.F.	613 S.F.	280 S.F.	984 S.F.
	CORRIDOR/STAIRS	1,140 S.F.			1,140 S.F.
TOTAL		11,501 S.F.	5,510 S.F.	2,756 S.F.	14,257 S.F.

Attachment 1

COMMERCIAL FLOOR AREA TABULATION			
UNIT NO.	FIRST FLOOR AREA		
UNIT 1	860 S.F.		
UNIT 2	784 S.F.		
UNIT 3	784 S.F.		
UNIT 4	1,000 S.F.		
UNIT 5	413 S.F.		
UNIT 6	458 S.F.		
UNIT 7	533 S.F.		
UNIT 8	537 S.F.		
UNIT 9	352 S.F.		
UNIT 10	664 S.F.		
UNIT 11	469 S.F.		
UNIT 12	414 S.F.		
UNIT 13	414 S.F.		
UNIT 14	665 S.F.		
UNIT 15	596 S.F.		
TOTAL	8,943 S.F.		

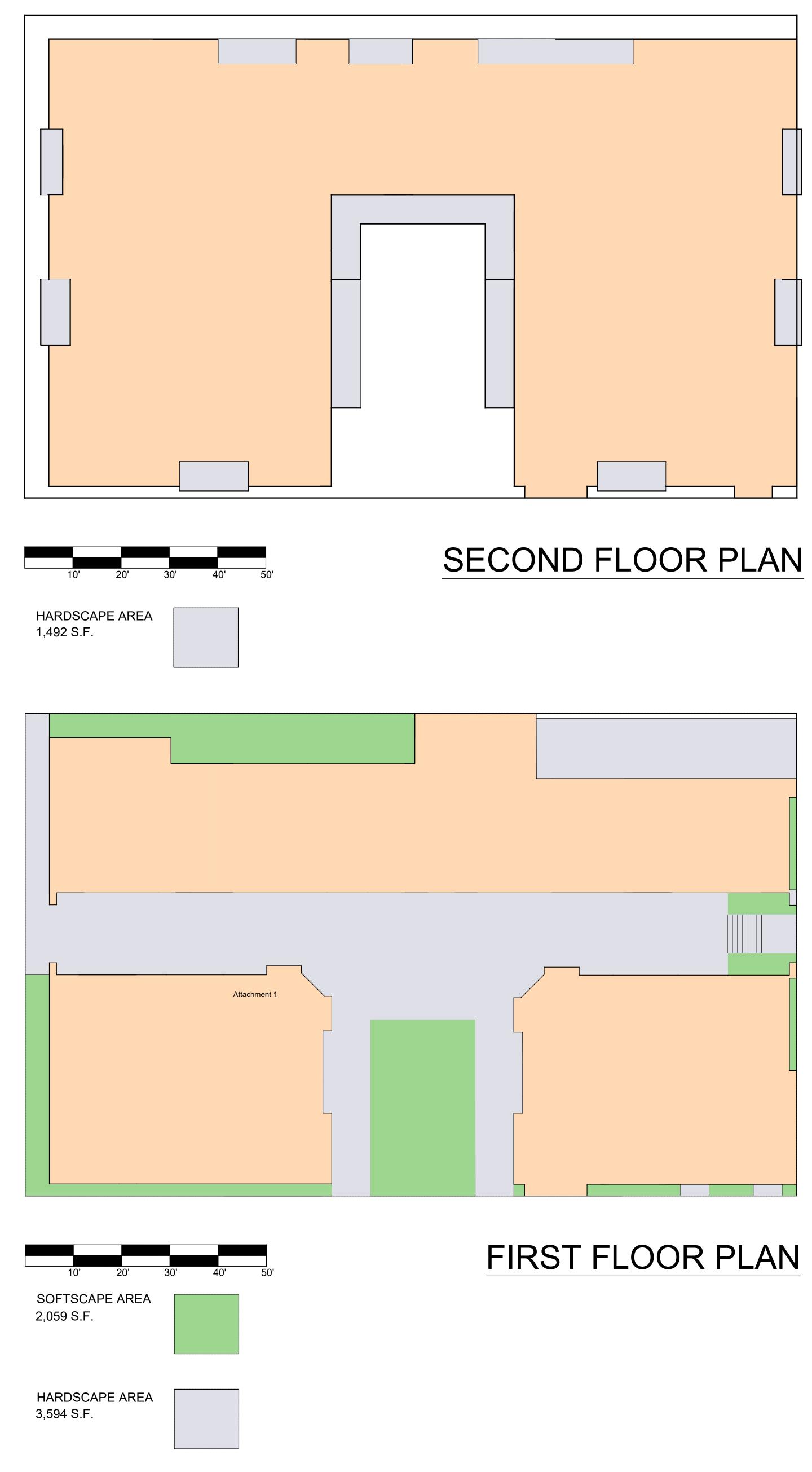


2340 GARDEN ROAD, SUITE 100 MONTEREY, CALIFORNIA 93940 PHONE: 831.649.4642 FAX: 831.649.3530

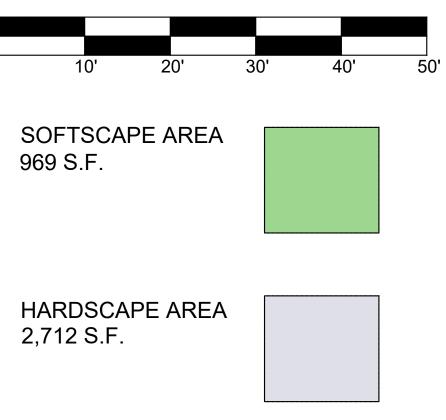
WWW.WRDARCH.COM

THE USE OF THE PLANS AND SPECIFICATIONS IS RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED, AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE. REUSE, REPRODUCTION OR PUBLICATION BY ANY METHOD IN WHOLE OR IN PART IS PROHIBITED. TITLE TO THE PLANS AND SPECIFICATIONS REMAINS WITH THE ARCHITECT, AND VISUAL CONTACT WITH THEM CONSTITUTES PRIMA FACIE EVIDENCE OF THE ACCEPTANCE OF THESE RESTRICTIONS.









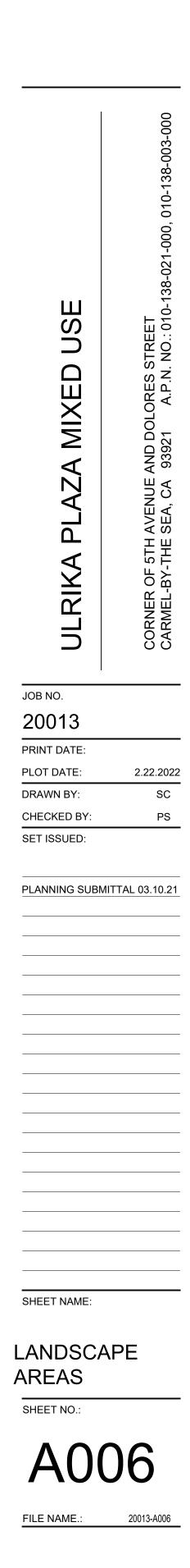
MEZZANINE PLAN

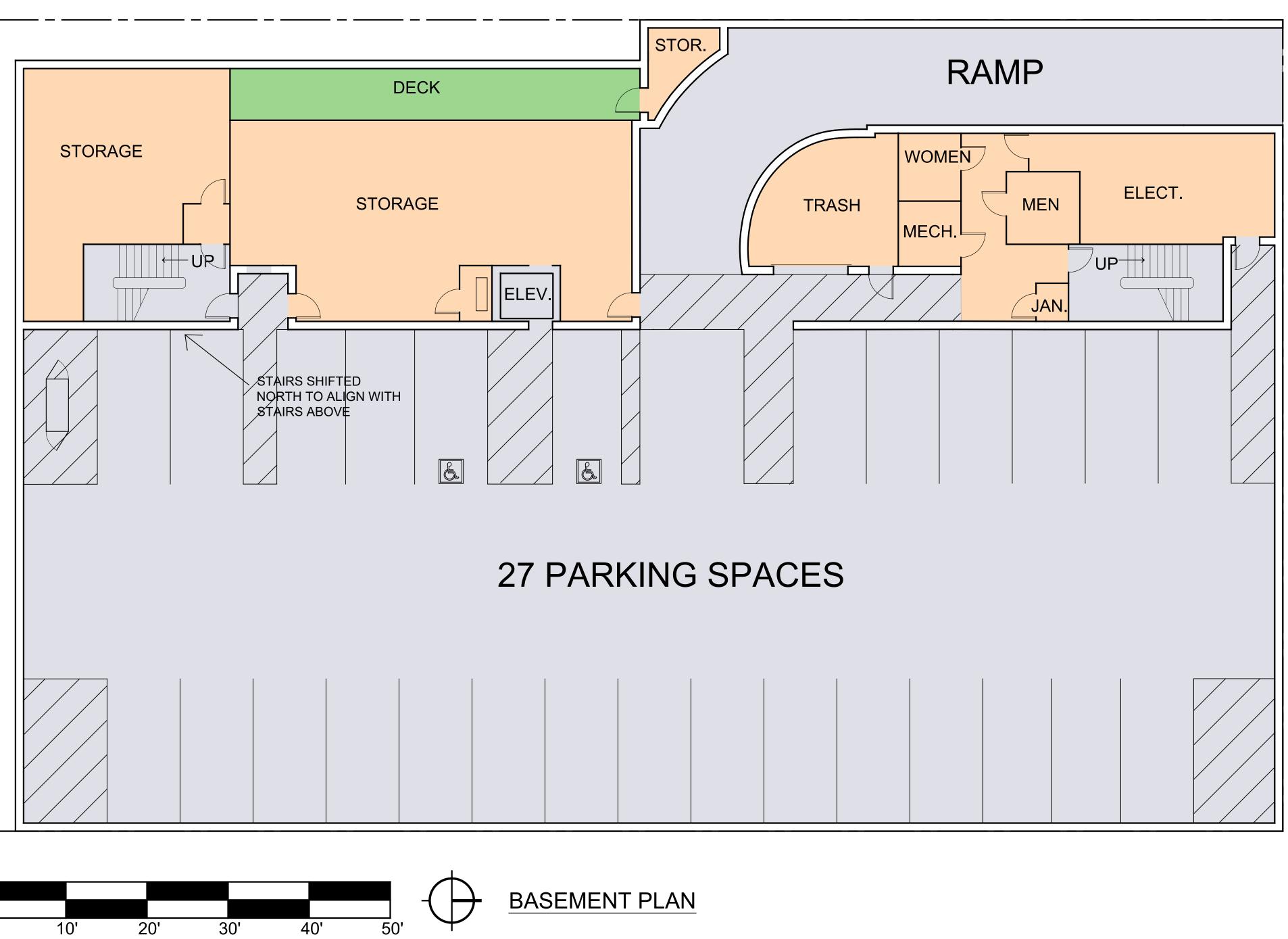


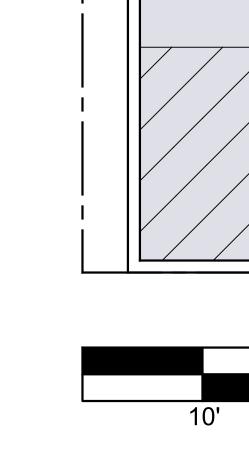
2340 GARDEN ROAD, SUITE 100 MONTEREY, CALIFORNIA 93940 PHONE: 831.649.4642 FAX: 831.649.3530

WWW.WRDARCH.COM

THE USE OF THE PLANS AND SPECIFICATIONS IS RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED, AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE. REUSE, REPRODUCTION OR PUBLICATION BY ANY METHOD IN WHOLE OR IN PART IS PROHIBITED. TITLE TO THE PLANS AND SPECIFICATIONS REMAINS WITH THE ARCHITECT, AND VISUAL CONTACT WITH THEM CONSTITUTES PRIMA FACIE EVIDENCE OF THE ACCEPTANCE OF THESE RESTRICTIONS.







40'

30'

20'

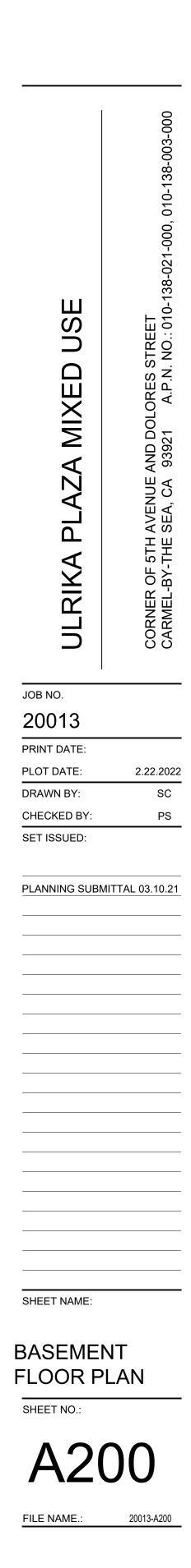
Attachment 1

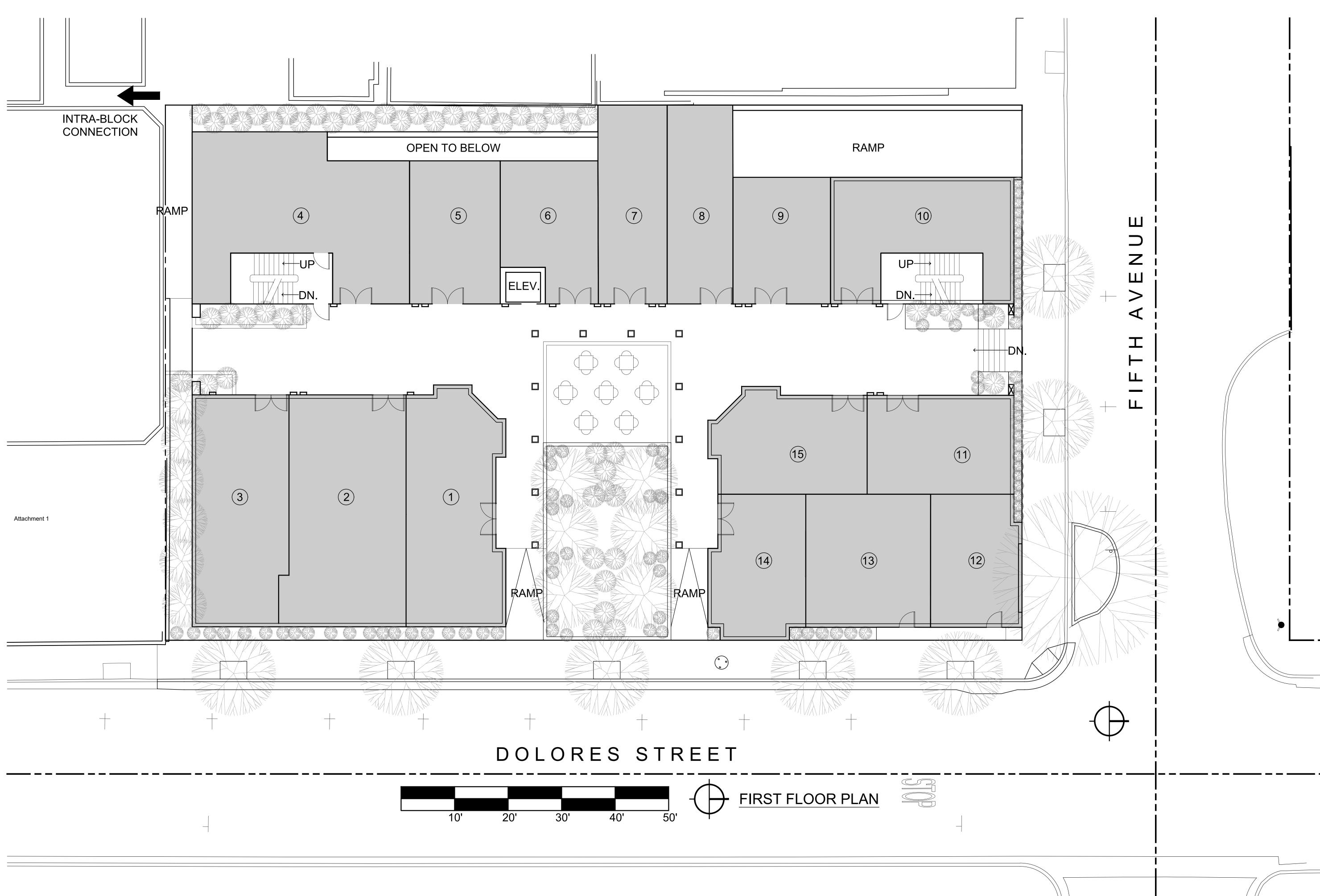


2340 GARDEN ROAD, SUITE 100 MONTEREY, CALIFORNIA 93940 PHONE: 831.649.4642 FAX: 831.649.3530

WWW.WRDARCH.COM _____

THE USE OF THE PLANS AND SPECIFICATIONS IS RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED, AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE. REUSE, REPRODUCTION OR PUBLICATION BY ANY METHOD IN WHOLE OR IN PART IS PROHIBITED. TITLE TO THE PLANS AND SPECIFICATIONS REMAINS WITH THE ARCHITECT, AND VISUAL CONTACT WITH THEM CONSTITUTES PRIMA FACIE EVIDENCE OF THE ACCEPTANCE OF THESE RESTRICTIONS.

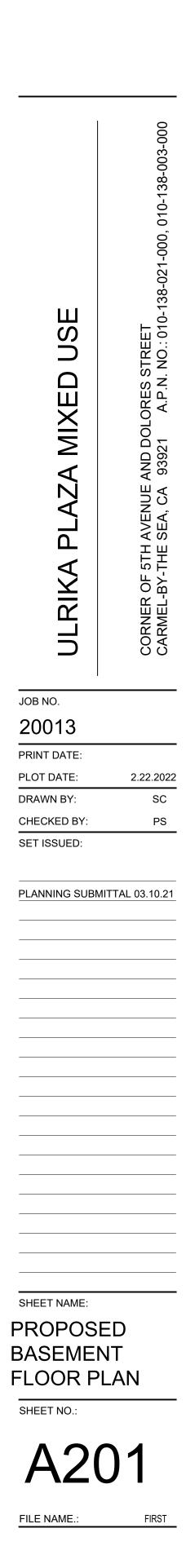






WWW.WRDARCH.COM _____

THE USE OF THE PLANS AND SPECIFICATIONS IS RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED, AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE. REUSE, REPRODUCTION OR PUBLICATION BY ANY METHOD IN WHOLE OR IN PART IS PROHIBITED. TITLE TO THE PLANS AND SPECIFICATIONS REMAINS WITH THE ARCHITECT, AND VISUAL CONTACT WITH THEM CONSTITUTES PRIMA FACIE EVIDENCE OF THE ACCEPTANCE OF THESE RESTRICTIONS.



_ _ _ _





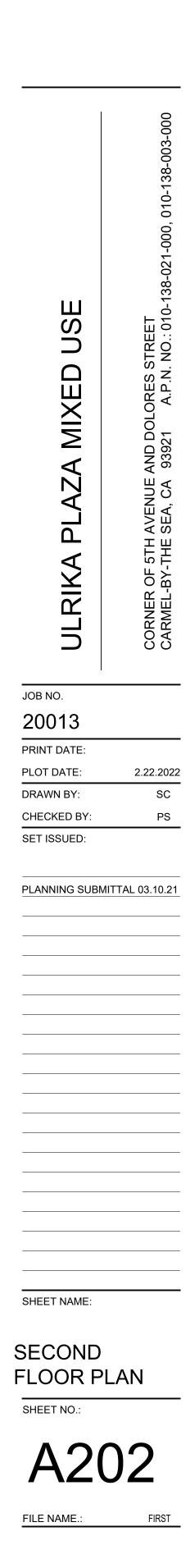
Attachment 1

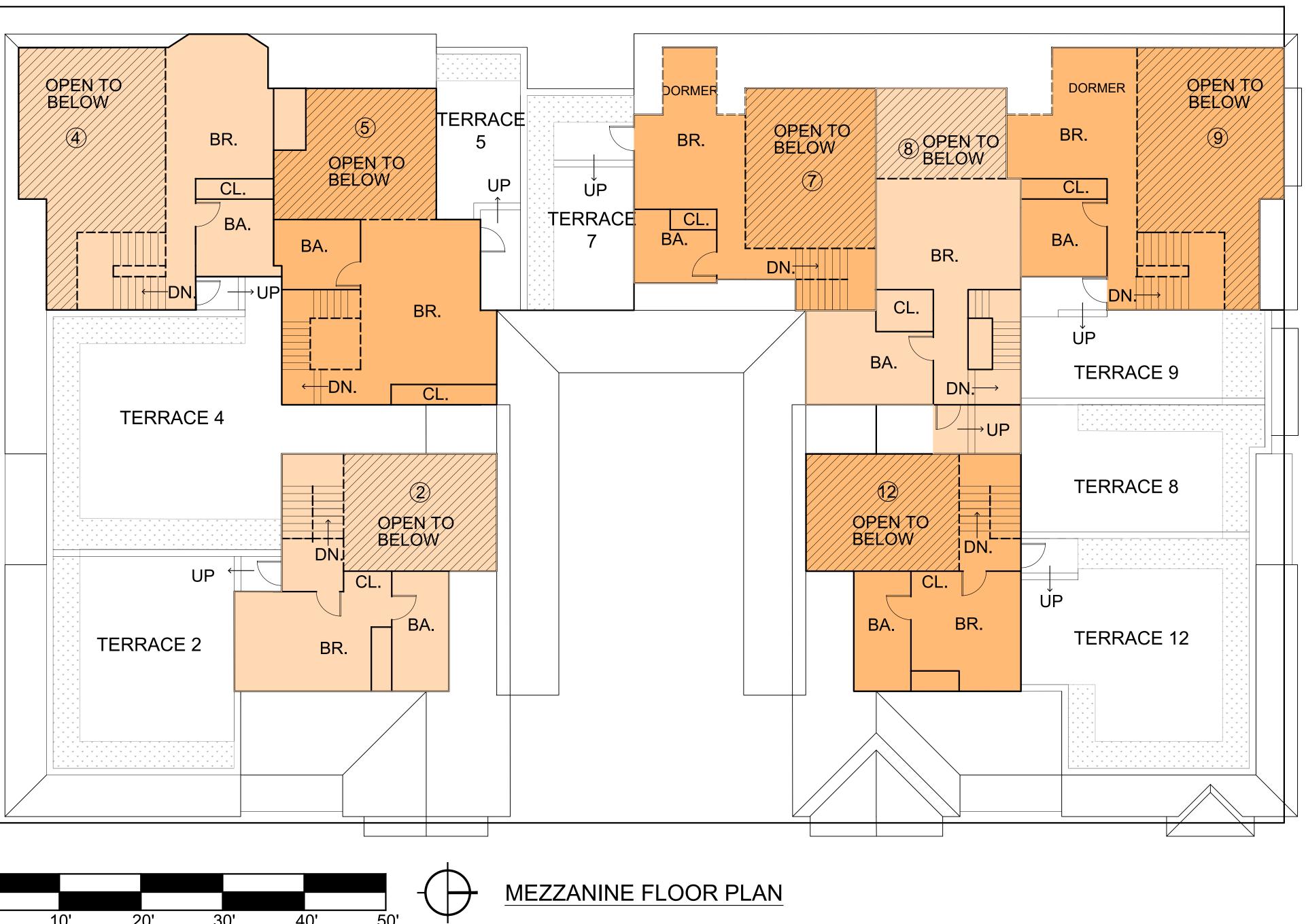


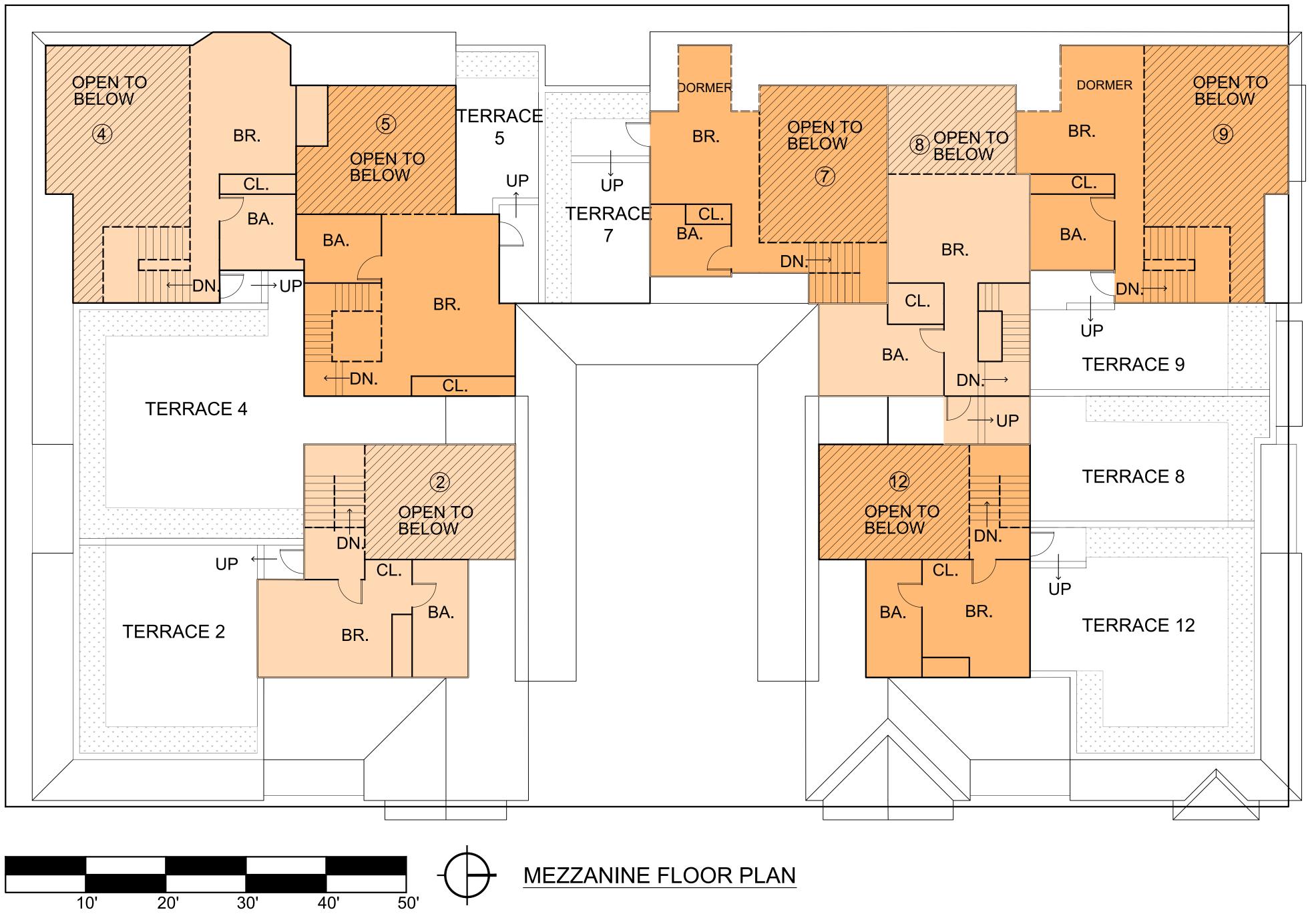
2340 GARDEN ROAD, SUITE 100 MONTEREY, CALIFORNIA 93940 PHONE: 831.649.4642 FAX: 831.649.3530

WWW.WRDARCH.COM _____

THE USE OF THE PLANS AND SPECIFICATIONS IS RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED, AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE. REUSE, REPRODUCTION OR PUBLICATION BY ANY METHOD IN WHOLE OR IN PART IS PROHIBITED. TITLE TO THE PLANS AND SPECIFICATIONS REMAINS WITH THE ARCHITECT, AND VISUAL CONTACT WITH THEM CONSTITUTES PRIMA FACIE EVIDENCE OF THE ACCEPTANCE OF THESE RESTRICTIONS.







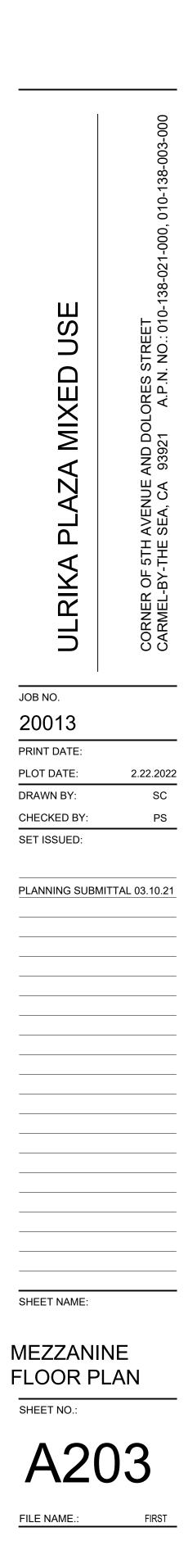
Attachment 1

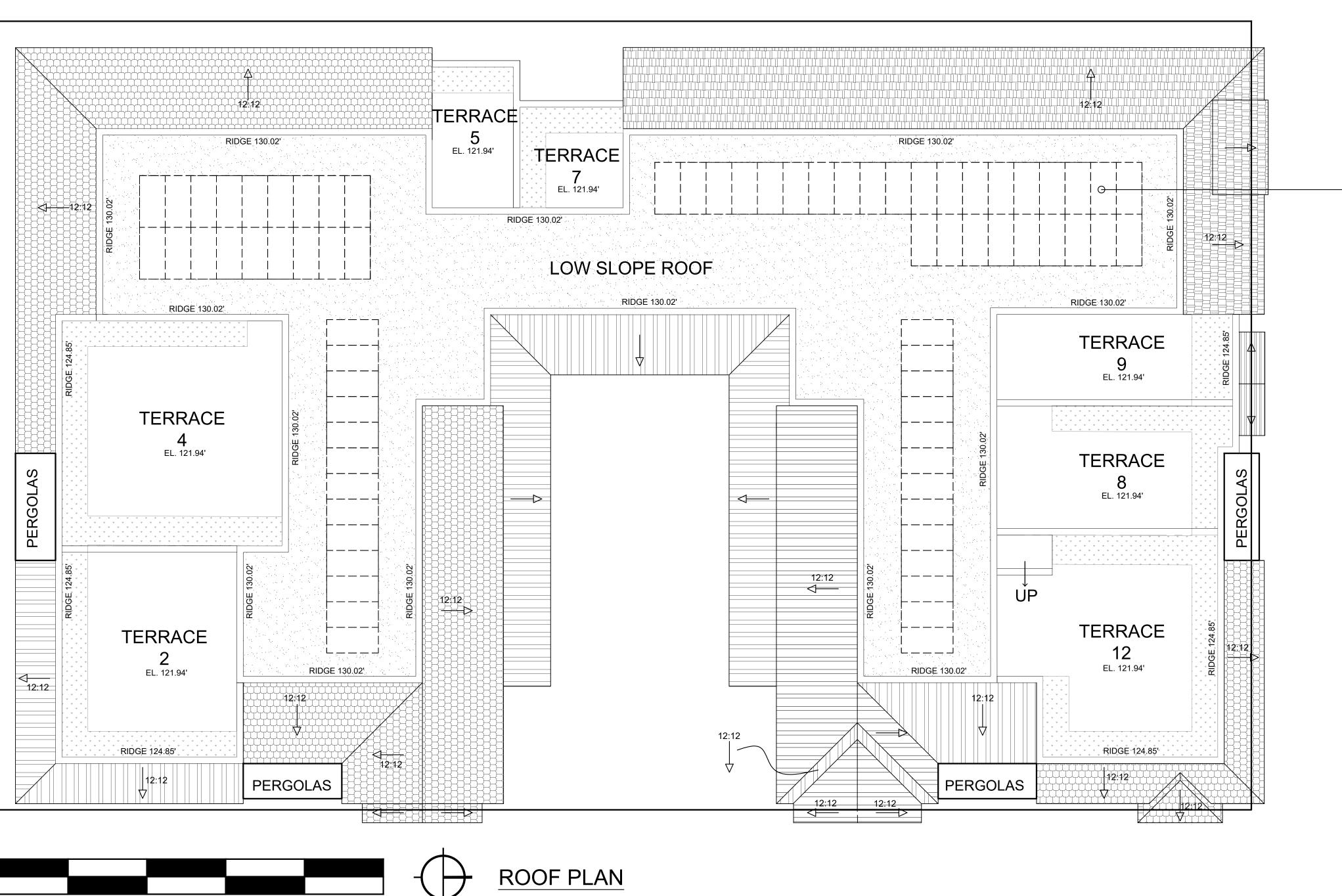


2340 GARDEN ROAD, SUITE 100 MONTEREY, CALIFORNIA 93940 PHONE: 831.649.4642 FAX: 831.649.3530

WWW.WRDARCH.COM _____

THE USE OF THE PLANS AND SPECIFICATIONS IS RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED, AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE. REUSE, REPRODUCTION OR PUBLICATION BY ANY METHOD IN WHOLE OR IN PART IS PROHIBITED. TITLE TO THE PLANS AND SPECIFICATIONS REMAINS WITH THE ARCHITECT, AND VISUAL CONTACT WITH THEM CONSTITUTES PRIMA FACIE EVIDENCE OF THE ACCEPTANCE OF THESE RESTRICTIONS.





10'

20'

30'

40'

50'

Attachment 1

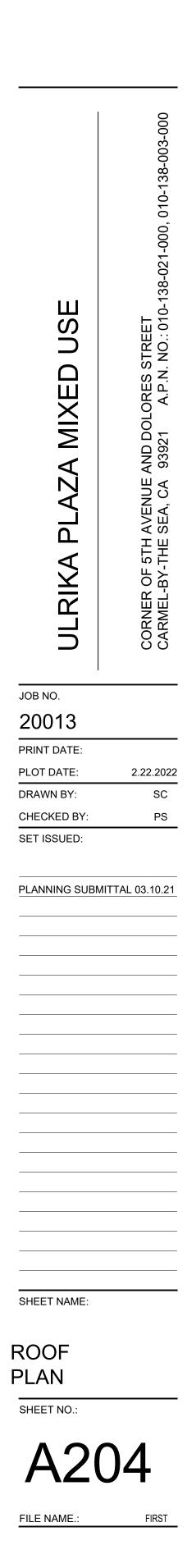
SOLAR PANELS



2340 GARDEN ROAD, SUITE 100 MONTEREY, CALIFORNIA 93940 PHONE: 831.649.4642 FAX: 831.649.3530

WWW.WRDARCH.COM _____

THE USE OF THE PLANS AND SPECIFICATIONS IS RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED, AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE. REUSE, REPRODUCTION OR PUBLICATION BY ANY METHOD IN WHOLE OR IN PART IS PROHIBITED. TITLE TO THE PLANS AND SPECIFICATIONS REMAINS WITH THE ARCHITECT, AND VISUAL CONTACT WITH THEM CONSTITUTES PRIMA FACIE EVIDENCE OF THE ACCEPTANCE OF THESE RESTRICTIONS.





P	
AL JOINTS	
	✓ NATURAL WOOD SHINGLES
	← HORIZONTAL WOOD SIDING
Φ	LIGHT GREY CIMENT COATING
	CARMEL STONE PLANTER
P	₩ .L.
	•
	•
	•
	•



WWW.WRDARCH.COM

THE USE OF THE PLANS AND SPECIFICATIONS IS RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED, AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE. REUSE, REPRODUCTION OR PUBLICATION BY ANY METHOD IN WHOLE OR IN PART IS PROHIBITED. TITLE TO THE PLANS AND SPECIFICATIONS REMAINS WITH THE ARCHITECT, AND VISUAL CONTACT WITH THEM CONSTITUTES PRIMA FACIE EVIDENCE OF THE ACCEPTANCE OF THESE RESTRICTIONS.



SHEET NAME:

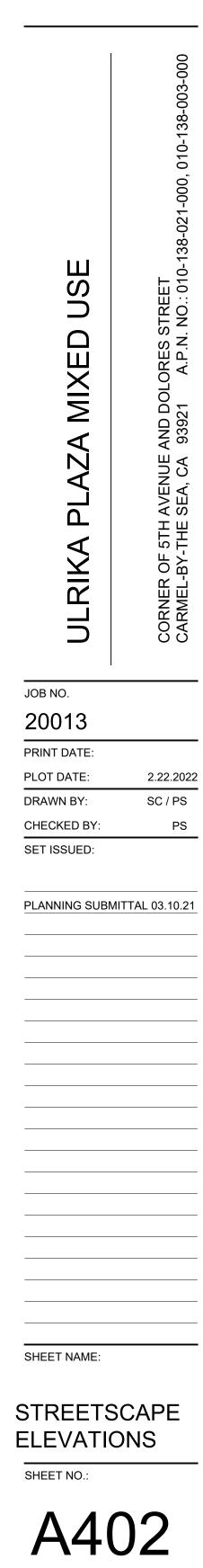






WWW.WRDARCH.COM

THE USE OF THE PLANS AND SPECIFICATIONS IS RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED, AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE. REUSE, REPRODUCTION OR PUBLICATION BY ANY METHOD IN WHOLE OR IN PART IS PROHIBITED. TITLE TO THE PLANS AND SPECIFICATIONS REMAINS WITH THE ARCHITECT, AND VISUAL CONTACT WITH THEM CONSTITUTES PRIMA FACIE EVIDENCE OF THE ACCEPTANCE OF THESE RESTRICTIONS.

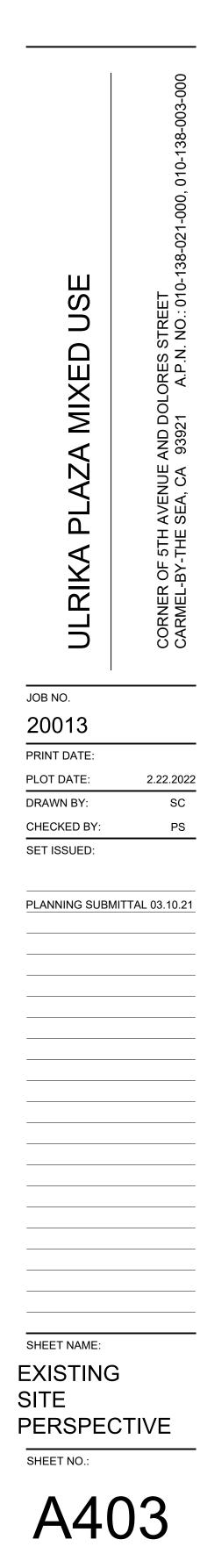




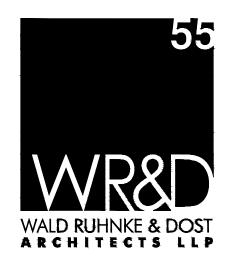


WWW.WRDARCH.COM

THE USE OF THE PLANS AND SPECIFICATIONS IS RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED, AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE. REUSE, REPRODUCTION OR PUBLICATION BY ANY METHOD IN WHOLE OR IN PART IS PROHIBITED. TITLE TO THE PLANS AND SPECIFICATIONS REMAINS WITH THE ARCHITECT, AND VISUAL CONTACT WITH THEM CONSTITUTES PRIMA FACIE EVIDENCE OF THE ACCEPTANCE OF THESE RESTRICTIONS.

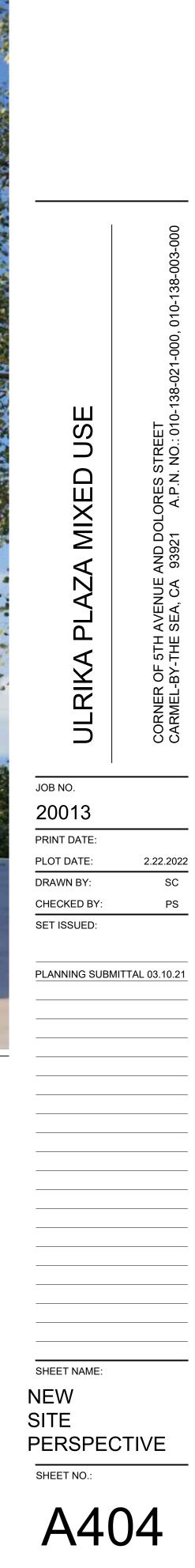






WWW.WRDARCH.COM

THE USE OF THE PLANS AND SPECIFICATIONS IS RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED, AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE. REUSE, REPRODUCTION OR PUBLICATION BY ANY METHOD IN WHOLE OR IN PART IS PROHIBITED. TITLE TO THE PLANS AND SPECIFICATIONS REMAINS WITH THE ARCHITECT, AND VISUAL CONTACT WITH THEM CONSTITUTES PRIMA FACIE EVIDENCE OF THE ACCEPTANCE OF THESE RESTRICTIONS.







2340 Garden Road Suite 100 Monterey, CA 93940-5347 T: (831) 649-4642 F: (831) 649-3530 www.wrdarch.com Brandon Swanson Director, Community Planning and Building City of Carmel (831) 620-2024

Re: Response to Planning Commission Comments

At the April 28, 2021 Planning Commission there was a consensus by the Planning Commission and several of the public speakers that the project should be completely redesigned.

The comments made include:

- Building looks too big, particularly along the Dolores Street frontage where most buildings are single story. Parts of building appear three stories in appearance.
- The project looks like a shopping mall similar to Carmel Plaza.
- The building's design should be a design that transitions between commercial and residential zones.
- Appearance should look like multiple buildings with "quaint shops".
- Reduce the amount of commercial space in the building.
- Eliminate high tower element.
- Include provision to prohibit "short term" rentals.
- Design fails all commercial guidelines.
- Mural on side of building insufficient connection to Carmel Art Association property.
- Include more Carmel Art Association work.
- Add more landscaping.
- No projections past property line.
- Include solar panels and other "green" measures.
- Building's exterior should be redesigned to reflect current architectural styles and not copy architectural style of the past.
- Affordable housing should be included.
- Intra-block walkway missing.
 - Remove gates into courtyard area.
- The roof deck at the rear should be removed. Roof deck is too large and creates privacy issues for neighbors.
- The use of mezzanine space was questioned by a couple of the Commission members.

The latest submittal is a complete redesign as suggest by the Planning Commission and we have responded to all of the Planning Commission's comments in the following manner.

• Building looks too big, particularly along the Dolores Street frontage where most buildings are single story. Parts of building appear three stories in appearance.

> Response- The project has been completely redesigned to push the building's mass away from Dolores Street and 5th Avenue and provides for a two story appearance from both streets. The building's courtyard now faces Dolores Street which provides for a large break in the building's bulk and mass while providing for public open space, now at the front rather than an interior courtyard as before. The building's exterior now has the appearance of six small buildings in order to reduce the building's bulk and mass. The appearance is far less imposing than the previously approved Del Dono Court development on the same site.

• The project looks like a shopping mall similar to Carmel Plaza

➢ Response-The project has been redesigned to have storefronts along Dolores Street and surrounding the open courtyard that from on Dolores Street. By one side of the courtyard to Dolores Street we have eliminated the "shopping mall" feel. We would also point out that the Carmel Plaza site is 4 times larger therefore not comparable in anything other than name.

• The building's design should be a design that transitions between commercial and residential zones.

➢ Response- We have reduced the scale of the building façades on both Dolores Street and 5th Avenue to better transition between the residential and commercial zones. The building's exterior now has the appearance of six residential scale buildings in order blend with the adjoining residential neighborhood. The massing is also significantly less than the previously approved Del Dono Court development.

• Appearance should look like multiple buildings with "quaint shops".

> Response- The building's exterior now has the appearance of six small buildings with "quaint shops" facing Dolores Street and other quaint shops within the courtyard that is open to Dolores Street.

• Reduce the amount of commercial space in the building.

➢ Response- We have not reduced the overall square footage of commercial space in the new design. We are providing small commercial spaces ranging in size between 414 square feet and 1,000 square feet in order to support small size neighborhood serving commercial uses. There is no demand for large retail spaces in Carmel, nor would these be suitable for the look and feel of the town. They would also attract larger national retailers which is not what Carmel is looking for.

• Eliminate high tower element.

 \succ Response- We have eliminated the tower element from the design.

• Include provision to prohibit "short term" rentals

Response- No need. "Short term" rentals are not allowed for this project based on the City's Municipal Code, not does our client have any aspirations of conducting short-term rentals from the property. They are developing to provide high quality, long-term rental apartments of varied sizes to the local community. Which are desperately needed.

• Design fails all commercial guidelines.

Response-Revised design responds to Commercial Design Guidelines. The design is pedestrian oriented and residential in character; the design achieves compatibility with existing building design styles; the design compliments the rhythm of the streetscape; the design provides for separate business identities; the design has visual interest and roof forms compatible to the block; the design creates a "pedestrian wall" and entrance to intra-block walkway; the design has a balanced relationship between wall space and openings; the design has window patterns and wood doors consistent with the architectural design; the design has built-in planter boxes, flower boxes and street furnishings; the design shall have discrete lighting consistent with the architectural style; the design has a landscaped courtyard with connections to the intra-block walkway; the design's colors are consistent with colors of other businesses located directly across on Dolores Avenue.

• Mural on side of building insufficient connection to Carmel Art Association property.

➢ Response- Mural on side of building has been removed. However Esperanza Carmel are very open to working with the Carmel Art Association on any collaboration which might make sense for them. We can study the feasibility of a physical connection between the proposed intra-block walkway and the Art Association parcel. There appears to be room to make a connection; however, there is significant grade change and mature eucalyptus trees along the property line which may make this connection infeasible.

• Include more Carmel Art Association work.

> The new courtyard facing Dolores Avenue will have public art along a with a large sculptural element. Esperanza Carmel would look to work with the Carmel Art Association on any elements such as this as they like.

• Add more landscaping.

> Response- Significantly more landscaping has been added to the project. Hardscape has been removed from the courtyard and is now dedicated to landscaping. The roofs are heavily landscaped also.

• No projections past property line.

> Response- Most property line projects have been eliminated. A few roof overhangs project beyond the property line, as allowed by code.

• Include solar panels and other "green" measures.

> Response-Solar panels are and were always part of the project as well as other "green" design measures. We have incorporated into the design per state and local green building code requirements. It is important to Esperanza Carmel that they deliver a green building.

• Building's exterior should be redesigned to reflect current architectural styles and not copy architectural style of the past.

➤ Response-The building's exterior has been redesigned completely. There are now six distinct different façades which do not repeat old architectural styles of the past.

• Affordable housing should be included.

> Response-Based on the number of housing units provided there is no City requirement to provide affordable housing, nor should or can this be imposed as a condition.

• Intra-block walkway missing

> Response- An intra-block walkway connecting to the neighboring intra-block walkway has always been included, in both the previous and the current design.

• Remove gates into courtyard area.

 \succ Response- All gates have been eliminated. The courtyard is entirely open to Dolores Avenue.

• The roof deck at the rear should be removed. Roof deck is too large and creates privacy issues for neighbors.

>The public roof deck has been eliminated. Smaller, private roof decks have been added at individual units. The roof decks are hidden and not visible from the streets and will have heavy planting / landscaping.

• The use of mezzanine space was questioned by a couple of the Commission members.

➢ Response- The Planning Commission already approved the use of mezzanine space under the previously approved design. Our revised design still includes some mezzanine space but locates these spaces away from the streets and hidden from public view.

Henry Ruhnke Wald, Ruhnke & Dost Architects, LLP











Attachment 4

(p) 925.954.6366
(f) 925.433.2119
www.josephmotta.com

JOSEPH A. MOTTA

ATTORNEY AT LAW February 23, 2022 1196 Boulevard Way Suite 20 Walnut Creek, CA 94595

Planning Division City of Carmel-by-the-Sea P.O. Box CC Carmel by the Sea, CA 93921

Re: Proposed roof line on new construction at S.W. Fifth Ave and Delores

Dear Carmel Planning Division,

I am the trustee of the Motta Family Trust which owns the Serra Building, located 2 SW San Carlos St. and Fifth Ave. The building was built by my grandparents, who migrated from thaly when they were very young. I can vividly remember as a child when my grandmother and I watched the sunset from the second floor of the Serra building. She was beaming with pride that she and my grandfather built that for their family, and made me promise to never let anyone sell or take it away. Fast forward, my father sold everything except for this remaining asset of the trust which now supports my elderly mother who is in assisted care.

The proposed roofline at S.W. Fifth Ave. and Delores St., as exhibited by the red flag line, wipes out all views from the apartments on the second floor. The proposed roofline would remove views of the ocean, trees, sunsets, and weather. I have always been under the impression that Carmel prides itself in controlling development and the size and breadth of that building certainly does not match the character and quality of the last century. A quick search sent me to District Design Regulations Chapter 17.10 (K), which states:

"Private Views. Designs should respect views enjoyed by neighboring parcels. This objective is intended to balance the private rights to views from all parcels that will be affected by a proposed building or addition. No single parcel should enjoy a greater right than other parcels except the natural advantages of each site's topography. Buildings which substantially eliminate an existing significant view enjoyed on another parcel should be avoided."

Please pardon my ignorance, but I haven't seen a scheduled public hearing and am unaware of the process. Could you please let me know if there is a public hearing scheduled? Please also include this letter in the application file. As the trustee of the Serra Building, I have a fiduciary duty to do whatever is in my abilities to prevent the taking of the views which will certainly affect the value of the Trust asset.

Respectfully Yours,

Joseph A. Motta



CITY OF CARMEL-BY-THE-SEA PLANNING COMMISSION Staff Report

March 9, 2022 PUBLIC HEARINGS

TO:	Chair LePage and Planning Commissioners
SUBMITTED BY:	Marnie R. Waffle, AICP, Principal Planner
APPROVED BY:	Brandon Swanson, Community Planning & Building Director
SUBJECT:	DS 21-243 (Heyermann): Consideration of a continued CONCEPT Design Study for the construction of a 1,600 square foot two-story residence and 200 square foot detached garage on a vacant lot located at the northwest corner of Carpenter Street and 5th Avenue in the Single-Family Residential (R-1) District. APN 010-031-021-000
Application: D	S 21-243 (Heyermann) APN: 010-031-021-000
Block:44	Lot :19

Location: Northwest Corner of Carpenter Street & 5th Avenue

Applicant: Alan Lehman, Designer

Property Owner: Cheryl Heyermann

Executive Summary:

The proposed project is the construction of a new 1,600 square-foot residence, a 200 square-foot detached garage located in the rear and street side yard setbacks, and associated site improvements on a vacant 4,000 square-foot lot. The applicant is also proposing a 373 square-foot attached accessory dwelling unit located under the proposed residence on the west side of the lot. The Forest & Beach Commission approved the removal of two Coast live oak trees at their November 17, 2021 meeting, with conditions. The Planning Commission reviewed a concept design study at their December 9, 2021 meeting and continued the project with direction to the applicant to return with another concept design to address concerns about the location of the detached garage, the number of different exterior materials and finishes, the top heavy appearance of the east elevation windows, and the building mass on Carpenter Street.

Recommendation:

Adopt a Resolution (Attachment 1) accepting a Concept Design Study, with conditions, for the construction of a new 1,600 square-foot residence, a 200 square-foot detached garage in the rear and street side yard setbacks, and associated site improvements on a vacant 4,000 square-foot lot located at northwest corner of Carpenter Street and 5th Avenue in the Single-Family Residential (R-1) District. APN 010-031-021

Background and Project Description:

The project site is a vacant 4,000 square-foot lot. The proposed project is the construction of a 1,600 square-foot residence, a 200 square-foot detached garage located in the rear and street side yard setbacks, and associated site improvements. The project has two street frontages, Carpenter Street to the east and 5th Avenue to the south. While the frontage on Carpenter Street is considered the front of the property, the entry to the residence and the detached garage would be accessed off of 5th Avenue.

The proposed residence appears as a one-story with 1,125 square feet located at the main level. On the west side of the property, 475 square feet of living space would be located over a 373 square-foot accessory dwelling unit, making this portion of the residence a two-story element. Also on the west side of the property, a 200 square foot detached garage is proposed and would be located in the rear yard and street side yard setbacks. A 341 square-foot patio is proposed between the southwest corner of the residence and the detached garage that would provide outdoor living space for the occupants.

The exterior colors, finishes, and materials include painted stucco, stone, a composition shingle roof, metal shed roof accents, TPO on the flat roof portion, aluminum clad wood windows, and grape stake fencing around the perimeter. The Planning Commission is considering acceptance of the concept design but may also provide direction on final details.

Staff Analysis:

Forest Character: Residential Design Guidelines 1.1 through 1.4 encourages preserving significant trees and minimizing impacts on established trees; protecting the root systems of all trees to be preserved; and, maintaining a forested image on the site.

<u>Staff Response</u>: The City Forester identified 16 trees on, or adjacent to, the property. All trees have been rated significant. The applicant submitted a tree removal application to remove tree no. 12 and a cluster of trees labeled as tree no. 14. At a special meeting of the Forest & Beach Commission on November 17, 2021, the Commission approved the tree removal request with a condition of approval requiring that one upper canopy tree and one lower canopy tree be planted. Recommendation/Draft Condition of Approval No. 1 sets forth the tree planting requirement.

Upon installation of the story poles, it was noted that the northeast corner of the residence remains in conflict with a multi-trunk oak tree located on the north property line. This tree has been rated as significant by the City Forester and approval to remove one of the trunks would need to be approved by the Forest & Beach Commission. At the first concept hearing, the Planning Commission did not support removal of this limb. Recommendation/Draft Condition of Approval No. 2 requires the applicant to redesign the northeast corner of the residence to avoid the oak limb. Alternatively, the Planning Commission could direct the applicant to apply for a tree removal permit to be acted upon by the Forest & Beach Commission prior to final details review.

At the northwest corner of the kitchen, the building encroaches into the 6 foot tree protection zone of a Redwood tree (no. 16). Recommendation/Draft Condition of Approval No. 3 requires the applicant to revise the site plan to maintain the required 6 foot setback prior to final details review. Additionally, Recommendation/Draft Condition of Approval No. 4 requires the applicant to include the tree protection zones on the proposed site plan as defined by the City Forester in the preliminary site assessment.

Privacy and Views: Residential Design Guidelines 5.1 through 5.3 encourages designs that preserve reasonable privacy for adjacent properties and maintain view opportunities to natural features.

<u>Staff Response</u>: The project site is a vacant lot with a generous tree canopy. Staff did not identify any ocean views during the preliminary site assessment. As a vacant site, the property offers the adjacent neighbors views of a forested, open space area. In response to the Planning Commission's direction at the initial concept design review, the applicant has shifted the two-story building mass from the east side of the property (Carpenter Street) to the west (rear) and behind the detached garage. This reduces the visible mass from the public way but presents more mass to the north neighbor. To mitigate this, the project maintains a 4 foot north side yard setback with an eight-and-a-half foot deep recess at the north neighbors south facing deck.

Staff identified a potential privacy impact to the north neighbor as the windows in bedroom #3 appear to align with existing windows on the south elevation of the northern neighbor's residence. Because the proposed windows are not required for emergency egress, staff is proposing Recommendation/Draft Condition of Approval No. 5 requiring the two windows be replaced with a single high window to allow for some natural light or elimination of the two windows entirely.

Parking and Access: Residential Design Guidelines 6.1 through 6.7 encourages subordinate parking facilities that do not dominate the design of the house or site; minimizing the amount of paved surface for a driveway; positioning garages to maximize open space, views and privacy; and, minimizing visual impacts.

<u>Staff Response</u>: The project includes a 200 square-foot detached garage located on the west side of the property in the rear yard and street side yard setbacks with driveway access off of 5th Avenue. The location of the garage and driveway furthest from the corner of Carpenter Street and 5th Avenue creates the safest location for on-site parking. The proposed garage would have a 6 foot rear yard setback and a 10 inch street side yard setback. The Carmel Municipal Code allows detached garages to encroach into the rear setback if,

- 1) The garage does not exceed 15 feet in height,
- 2) The encroachment would not impact significant or moderately significant trees, and
- 3) The location and design complies with the design guidelines.

The proposed garage would be 10 feet, 3 inches in height and therefore complies with the height restriction of 15 feet. However, the encroachment into the rear yard setback would impact a significant cluster of oak trees (tree no. 14). A request to remove these trees was approved by the Forest & Beach Commission on November 17, 2021. Last, the location and design complies with the design guidelines in that, 1) the detached garage is subordinate to the main residence and located at the rear of the lot; 2) it is a single-car garage, 200 square feet in size, which is the minimum required for off-street parking; and, 3) the driveway does not exceed 9 feet in width.

Additionally, the Code allows detached garages to encroach into the street side yard setback if,

1) At least 50 percent of the adjacent right-of-way is landscaped or preserved in a natural and forested condition to compensate for the loss of open space.

<u>Staff Response</u>: With the exception of the proposed driveway, the entire right-of-way along 5th Avenue would remain in a natural and forested condition including preservation of three oak trees (no. 10, 11, & 13) and one pine (tree no. 9).

2) The proposed setback encroachment would not impact significant or moderately significant trees.

- <u>Staff Response</u>: As discussed above, the proposed garage would impact a significant cluster of oak trees (tree no. 14) and the removal of these trees has been approved by the Forest & Beach Commission.
- 3) Free and safe movement of pedestrians and vehicles in adjacent rights-of-way is protected.
- <u>Staff Response</u>: While the garage would be located only 10 inches from the street side yard property line, the depth of the unimproved right-of-way would allow for 19 feet of back up distance before a vehicle enters the roadway. At the initial concept review hearing, the Planning Commission expressed concerns with the location of the garage and requested it be shifted to the north. With the redesign and the placement of a two-story building element behind the garage, the garage has been shifted further south, rather than to the north.

4) All development on site will be in scale with adjacent properties and the neighborhood context consistent with adopted design guidelines.

<u>Staff Response</u>: As discussed above, the proposed garage complies with adopted design guidelines.

5) Placement of the garage or carport in the setback will add diversity to the neighborhood streetscape.

<u>Staff Response</u>: The short block of 5th Avenue between Carpenter Street and Guadalupe Street contains 4 residential lots, two of which have detached garages (south east and due west) and one with an attached garage (south west). The setback from 5th Avenue varies among the three garages. The proposed detached garage would add to the diversity of setbacks on 5th Avenue but would also add a fourth driveway adjacent to and across from the other three driveways currently on the block. Despite the grouping of the driveways at the center of the block, the safest and most feasible location for the project driveway is on 5th Avenue farthest from the corner at Carpenter Street.

Mass and Bulk: Residential Design Guidelines 7.1 through 7.7 encourages a building's mass to relate to the context of other homes nearby; minimize the mass of a building as seen from the public way or adjacent properties; and, relate to a human scale in its basic forms.

<u>Staff Response</u>: The project site slopes down 11 feet from east to west. At the direction of the Planning Commission during the initial concept design review, the two-story portion of the residence has been relocated from the east side of the lot (Carpenter Street) to the west side which slopes downhill and is partially screened by the detached garage. The front yard setback on Carpenter Street remains at 15 feet.

For a single story building element, the maximum allowed plate height is 12 feet and the ridge height is 18 feet. The proposed single-story plate height is 9 feet, 6 inches. The plate height increases to 11 feet at the shed roof/dormers on the east elevation. The ridge height is 16 feet, 9 inches. On the south elevation, the single story plate height is 10 feet, 8 inches and the ridge height is 17 feet, 1 inch. The proposed plate height on the west elevation at the two story building element is 17 feet, 2 inches and the flat roof height is 17 feet 10 inches.

The northern neighbor has expressed concerns regarding the building mass extending the full length of her home, the blocking of her southern exposure, and the number of windows facing her residence. Staff identified a privacy impact from the bedroom 3 windows which is discussed above in the section on Privacy and Views. The northern neighbor requests that bedroom 3 be relocated to maintain her existing view from her south facing deck.

Building and Roof Form: Residential Design Guidelines 8.1 through 8.5 encourages traditional building forms; using restraint with variations in building planes; using simple roof forms that are in proportion to the scale of the building; and, roof eave lines that are low in scale.

<u>Staff Response</u>: Residential Design Guideline 7.6 states, a building should relate to a human scale in its basic forms. Roof forms that dominate the body of the building and wide chimney structures should be avoided. Guideline 8.1 states, a building form should appear similar to those seen traditionally and should be composed of just a few simple planes. Guideline 8.3 states, use simple roof forms and limit the number of subordinate attachments to avoid a cluttered design. Guideline 8.4 states, a roof form should be in proportion to the scale of the building. In general, moderately pitched roofs (4:12 to 6:12) are preferred.

The roof form is comprised of three primary gables, two cross gables, a flat roof, a hipped roof at the detached garage, and seven subordinate attachments including a curved roof form over the front entry, a south facing dormer above the entry, a south facing projecting bay window in bedroom and bathroom 2, two east facing shed roofs over proposed windows in bedroom 1 and bath 2, a north facing projecting bay window in bedroom 1, and a north facing shed roof above a kitchen window. Recommendation/Condition of Approval No. 6 requires the applicant to further evaluate and reduce the number of subordinate roof elements which could include eliminating the dormer and simplifying the eave line on the east elevation.

The three main gable roof forms are pitched at 9:12. Two cross gables are pitched at 8:12 and 7:12. Smaller shed roof elements are pitched at 3:12. On the west side of the residence, the roof form is flat and is the proposed location of solar panels. The detached garage has a hipped roof form pitched at 4:12. Recommendation/Draft Condition of Approval No. 7 requires the applicant to reduce the roof pitch to 6:12.

While finish materials are not part of concept review, the project is proposing a combination of composition shingles, metal shed roofs, and a TPO membrane on the flat portion of the roof. At the initial concept hearing, the Planning Commission did not support the use of TPO as a roof material. Residential Design Guideline 9.8 encourages roof materials to be consistent with the architectural style of the building and the context of the neighborhood. Appropriate roof materials include wood shingles and shakes, composition shingles that convey a color and texture similar to that of wood shingles, or clay tile, slate, and concrete tile depending on the architectural style. Metal, plastic, and glass are seen as generally inappropriate. Recommendation/Draft Condition of Approval No. 8 requires that the TPO membrane on the flat roof be replaced with a material that conveys the color and texture of a gravel which is a more traditional roof material.

CONSIDERATIONS FOR FINAL DETAILS REVIEW

Exterior Lighting: Carmel Municipal Code Section 15.36.070.B.1 states that all exterior lighting attached to the main building or any accessory building shall be no higher than 10 feet above the ground and shall not exceed 25 watts (incandescent equivalent; i.e., approximately 375 lumens) in power per fixture, and that landscape lighting shall not exceed 18 inches above the ground nor more than 15 watts (incandescent equivalent; i.e., approximately 275 lumens) in power per fixture.

In addition, Residential Design Guideline 11.8, states that projects should, "preserve the low nighttime

lighting character of the residential neighborhoods. Use lights only where needed for safety and at outdoor activity areas."

The applicant has identified a wall mounted light fixture and path light for the project. Two wall fixtures are proposed at the front entry, two on the front of the detached garage, and three at the stairs leading to the lower level accessory dwelling unit (seven lights total). The wall sconce is shielded and directs light downwards. The finish color would be "architectural bronze". The integrated LED light is 900 lumens per fixture and exceeds the allowed 375 lumens. Recommendation/Condition of Approval No. 9 requires an alternative fixture be selected prior to final details review. Additionally, Recommendation/Condition of Approval No. 10 requires the applicant to further evaluate whether additional wall mounted fixtures at exterior doors are required by the California Building Code and if so, to identify them on the lighting plan.

Eleven path lights are proposed along the south and west sides of the property. The proposed path light is cast aluminum construction with a satin black finish. The light output is 110 lumens which is below the allowed 225 lumens. The fixture is shielded and directs light downward.

Building Materials & Finishes: Residential Design Guideline 9.2 states, "visual complexity should be avoided and that too many different materials or excessive details create a busy appearance and should be simplified." Guideline 9.3 encourages details that relieve blank surfaces and achieve a scale compatible with the building's forms and its architecture." Guideline 9.4 states, "design details and surface materials…should be used throughout the full exterior of the building to maintain consistency. Avoid the application of special materials or design treatments to just the street façade."

The two-story building form would be finished with a painted stucco in "River Reflections" and the one-story form would be clad with a combination of painted stucco, and stone veneer in tan and gold. The detached garage would be clad with stone on all four sides. The chimney shroud and gutters are proposed to be a painted metal in a matte finish. The roof material is proposed to be a combination of composition shingles, standing seam metal in "vintage zinc gray" and tan TPO. Recommendation/Draft Condition of Approval No. 11 requires the applicant to clearly identify all exterior materials and finishes prior to final details review.

Site Coverage: The project is allowed 556 square feet of site coverage if at least 278 square feet is permeable or semi-permeable. The project includes the following site coverage elements:

Paver driveway	9 square feet	Semi-Permeable
Front patio	341 square feet	Semi-Permeable
Front pathway	100 square feet	Semi-Permeable
ADU Stairs/Path	93 square feet	Impermeable
Trash enclosure	10 square feet	Impermeable
Total	553 square feet	

The applicant is proposing 553 square feet of site coverage of which 450 square feet would be semipermeable.

Fencing: Residential Design Guideline 11.1 encourages considering designing without a fence or wall along the street first. Where a sense of enclosure or privacy is desired, shrubs, hedges or other vegetation is encouraged instead of a fence or wall. When designing a fence or wall, Residential Design Guideline 11.2 encourages respecting the neighborhood context. Fences should convey a simple, hand-crafted design. Guideline 11.3 encourages preserving open space resources when designing a fence or wall along a street, keeping an openness into the site, and maintaining open, transparent qualities.

The project proposes a 48 inch tall wood fence along Carpenter Street with vertical pickets of varying widths, height, and spacing for a handcrafted appearance. A similar fence is proposed on 5th Avenue and would vary in height as the fence steps down incrementally to follow the grade. The wood fence that varies in height is also proposed for the northern property line of a similar style.

The Municipal Code limits the height of fences in the front yard setback and street side yard setback to no more than 4 feet; fences in the interior side yard and rear yard are permitted to be up to 6 feet unless additional height is approved by the Planning Commission. Fence height is measured from the lowest adjacent grade. Recommendation/Condition of Approval No. 12 requires the applicant to provide fence details including the height and material for all fences proposed prior to final details review.

Grading and Drainage: The applicant is proposing approximately 180 cubic yards of cut and 20 cubic yards of fill for the project (refer to Attachment 3, Sheet A5). Staff has concerns regarding the amount of building coverage and site coverage that there is insufficient room for stormwater capture and retention onsite. Recommendation/Draft Condition of Approval No. 13 requires a drainage plan to be submitted and reviewed by the Environmental Compliance Manager prior to final details review.

Public Correspondence: The north neighbor submitted a letter expressing concerns with privacy, loss of sunlight, and views. The west neighbor also submitted comments expressing concerns with the building mass, views and sunlight, drainage, safety, and tree planting (Attachment 4).

Other Project Components:

Staff recommends that acceptance of a Concept Design Study be found to be "not be a project" pursuant to section 15378 of the CEQA Guidelines. Acceptance of a Concept Design Study does not grant any permits or entitlements approving a project which would result in a direct or indirect physical change in the environment. CEQA analysis and determination of exemption status will be done as part of the Final Design Study hearing.

Attachment 1 – Resolution 2022-XX-PC Attachment 2 – Project Data Table Attachment 3 – Project Plans Attachment 4 – Public Comments

CITY OF CARMEL-BY-THE-SEA PLANNING COMMISSION

PLANNING COMMISSION RESOLUTION NO. 2022-XX-PC

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF CARMEL-BY-THE-SEA ACCEPTING A CONCEPT DESIGN STUDY FOR THE CONSTRUCTION OF A 1,600 SQUARE-FOOT SINGLE FAMILY RESIDENCE WITH A 200 SQUARE-FOOT DETACHED GARAGE ON A VACANT LOT LOCATED AT THE NORTHWEST CORNER OF CARPENTER STREET AND 5TH AVENUE APN 010-031-021

WHEREAS, Lehman Design Studio ("Applicant") submitted an application on behalf of Cheryl Heyermann requesting approval of a Design Study (DS 21-243, Heyermann) described herein as ("Application"); and

WHEREAS, the Application has been submitted for the property located at the northwest corner of Carpenter Street and 5th Avenue in the Single-Family Residential (R-1) Zoning District (Block 44, Lot 19); and

WHEREAS, the Applicant is requesting to construct a 1,600 square-foot residence with a 200 square-foot detached garage in accordance with Carmel Municipal Code (CMC) Section 17.58.040 (Residential Design Review) requires approval of a Track Two Design Study by the Planning Commission; and

WHEREAS, a Coastal Development Permit is required in accordance with CMC 17.52.090 (Coastal Development Permit Required) and will be considered at the Final Details hearing; and

WHEREAS, on December 8, 2021, the Planning Commission held a duly noticed public hearing to receive public testimony regarding the Concept Design Study, including without limitation, information provided to the Planning Commission by City staff and through public testimony on the conceptual design of the project; and

WHEREAS, at the December 8, 2021 meeting, the Planning Commission voted to continue the project with direction to the applicant to revise the design of the project; and

WHEREAS, notice of the second Concept Design Study public hearing was published on February 25, 2022 in compliance with State law (California Government Code 65091), and handdelivered by the Applicant to each property within a 100-foot radius of the project site indicating the date and time of the public hearing; and

WHEREAS, on March 9, 2022, the Planning Commission held a duly noticed public hearing to receive public testimony regarding the Concept Design Study, including without limitation, information provided to the Planning Commission by City staff and through public testimony on the conceptual design of the project; and

WHEREAS, this Resolution and its findings are made based upon evidence presented to the Commission at the hearing date including, without limitation, the staff report and attachments submitted by the Community Planning and Building Department; and

WHEREAS, the Planning Commission did hear and consider all said reports, attachments, recommendations and testimony herein above set forth and used their independent judgement to evaluate the project; and

WHEREAS, the California Environmental Quality Act (California Public Resources Code §§ 21000, *et seq.*, "CEQA"), together with State Guidelines (14 California Code Regulations §§ 15000, *et seq.*, the "CEQA Guidelines") and City Environmental Regulations (CMC 17.60) require that certain projects be reviewed for environmental impacts and that environmental documents be prepared; and

WHEREAS, pursuant to CEQA regulations, the Application is "not be a project" pursuant to section 15378 of the CEQA Guidelines. Acceptance of a Concept Design Study does not grant any permits or entitlements approving a project which would result in a direct or indirect physical change in the environment; and

WHEREAS, a CEQA analysis and determination will be conducted as part of the Final Details hearing; and

WHEREAS, the facts set forth in the recitals are true and correct and are incorporated herein by reference.

NOW, THEREFORE, BE IT RESOLVED, that the Planning Commission of the City of Carmel-By-The-Sea does hereby make the following findings and determinations regarding the **Concept Design Study**:

FINDINGS REQUIRED FOR DESIGN STUDY APPROVAL			
For each of the required findings listed below, staff has indicated whether the application			
supports adoption of the findings. For all findings checked "no" the staff report dis	cusses	the	
issues to facilitate the Planning Commission decision-making. Findings checked "yes" may or			
may not be discussed in the report depending on the issues.			
CMC 17.64.080.A, Concept Phase Approval Findings	YES	NO	
1. The project conforms with all zoning standards applicable to the site, or has	\checkmark		
received appropriate use permits and/or variances consistent with the zoning			
ordinance.			
2. The project is consistent with the City's design objectives for protection and		\checkmark	
enhancement of the urbanized forest, open space resources and site design. The			
project's use of open space, topography, access, trees and vegetation will maintain			

or establish a continuity of design both on the site and in the public right of way that		
is characteristic of the neighborhood.		
3. The project avoids complexity using simple/modest building forms, a simple roof		\checkmark
plan with a limited number of roof planes and a restrained employment of offsets		
and appendages that are consistent with neighborhood character yet will not be		
viewed as repetitive or monotonous within the neighborhood context.		
4. As conditioned, the project is adapted to human scale in the height of its roof,		\checkmark
plate lines, eave lines, building forms, and in the size of windows doors and		
entryways. The development is similar in size, scale, and form to buildings on the		
immediate block and neighborhood. Its height is compatible with its site and		
surrounding development and will not present excess mass or bulk to the public or		
to adjoining properties. Mass of the building relates to the context of other homes		
in the vicinity.		
5. The project is consistent with the City's objectives for public and private views and		\checkmark
will retain a reasonable amount of solar access for neighboring sites. Through the		
placement, location and size of windows, doors and balconies the design respects		
the rights to reasonable privacy on adjoining sites.		
6. The design concept is consistent with the goals, objectives and policies related to	\checkmark	
residential design in the general plan.		
7. The development does not require removal of any significant trees unless		\checkmark
necessary to provide a viable economic use of the property or protect public health		
and safety. All buildings are setback a minimum of 6 feet from significant trees unless		
otherwise agreed upon by the City Forester.		
8. The proposed architectural style and detailing are simple and restrained in	\checkmark	
character, consistent and well integrated throughout the building and		
complementary to the neighborhood without appearing monotonous or repetitive		
in context with designs on nearby sites.		
9. The proposed exterior materials and their application rely on natural materials	<	
and the overall design will add to the variety and diversity along the streetscape.		
10. Design elements such as stonework, skylights, windows, doors, chimneys and	<	
garages are consistent with the adopted Design Guidelines and will complement the		
character of the structure and the neighborhood.		
11. Proposed landscaping, paving treatments, fences and walls are carefully	\checkmark	
designed to complement the urbanized forest, the approved site design, adjacent		
sites, and the public right of way. The design will reinforce a sense of visual continuity		
along the street.		
12. Any deviations from the Design Guidelines are considered minor and reasonably	\checkmark	
relate to good design principles and specific site conditions.		

BE IT FURTHER RESOLVED that the Planning Commission of the City of Carmel-by-the-Sea does hereby ACCEPT the Concept Design Study (DS 21-243, Heyermann) for the construction of a 1,600 square-foot single family residence with a 200 square-foot detached garage on a vacant lot

located at the northwest corner of Carpenter Street and 5th Avenue in the Single-Family Residential (R-1) District (APN 010-031-021), subject to the following Conditions of Approval:

	DRAFT CONDITIONS OF APPROVAL	
No.		
1.	Tree Planting Required. Prior to final details review, the applicant shall submit a preliminary landscape plan identifying the size, species, and location of one upper canopy tree and one lower canopy tree, and any additional tree planting as may be required by the Forest & Beach Commission.	✓
2.	Oak Tree Limb. Prior to final details review, the applicant shall redesign the northeast corner of the residence to avoid the oak tree limb.	\checkmark
3.	Coast Redwood (Tree No. 16). Prior to final details review, the applicant shall submit a revised site plan that maintains a minimum six (6) foot setback between the proposed residence and the Coast Redwood tree (tree no. 16).	~
4.	Tree Protection Zones. Prior to final details review, the applicant shall include the tree protection zones on the proposed site plan as defined by the City Forester in the preliminary site assessment.	\checkmark
5.	North Elevation Window Revision. Prior to final details review, the applicant shall either replace the two north elevation windows in bedroom 3 with one high window or eliminate both windows.	
6.	Subordinate Roof Elements. Prior to final details review, the applicant shall reduce the number of subordinate roof elements which could include eliminating the dormer and simplifying the eave line on the east elevation.	~
7.	Roof Pitch. Prior to final details review, the applicant shall reduce the roof pitch to 6:12.	√
8.	TPO Roofing Material. Prior to final details review, the applicant shall replace the TPO membrane with another material that conveys the color and texture of gravel.	√
9.	Exterior Wall Sconce. Prior to final details review, the applicant shall identify an alternative exterior light fixture that does not exceed 375 lumens.	\checkmark
10.	Lighting Plan. Prior to final details review, the applicant shall further evaluate whether additional wall mounted fixtures at exterior doors are required by the Building Code and if so, identify them on the lighting plan.	√
11.	Finish Materials. Prior to final details review, the applicant shall clearly identify all exterior building materials and finishes on the elevations.	\checkmark
12.	Fence Details. Prior to final details review, the applicant shall provide fence details including the height and material for all fences proposed.	\checkmark
13.	Grading & Drainage Plan. Prior to final details review, the applicant shall submit a preliminary grading and drainage plan for review by the Environmental Compliance Manager. The drainage plan shall comply with the City's drainage policy SOG 17-07. At a minimum, new impervious area drainage must be dispersed around the site rather than focused into one corner of the property, infiltration features must be sized appropriately and must be located at least 6 feet from neighboring properties.	✓

The drainage plan shall include information on drainage from new impervious areas and semi-pervious areas.

PASSED, APPROVED AND ADOPTED BY THE PLANNING COMMISSION OF THE CITY OF CARMEL-BY-THE-SEA this 9th day of March, 2022, by the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

APPROVED:

ATTEST:

Michael LePage Chair Leah Young Planning Commission Secretary

PROJECT DATA FOR A 4,000 SQUARE FOOT SITE				
Site Considerations	Allowed	Existing	Proposed	
Floor Area	1,800 SF (45%)	Vacant Lot	1,800 SF	
FIUUL ALEA			373 SF ADU	
Site Coverage	396 SF/556 SF	N/A	553 SF	
Trees (Upper/Lower)	3/1	2/12**	3/11***	
Ridge Height (1 st /2 nd)	18'/24'	N/A	16.75′ /	
Plate Height (1 st /2 nd)	12'/18'	N/A	11' /	
Setbacks	Minimum Required	Existing	Proposed	
Front	15'	Vacant Lot	15′	
Composite Side Yard	10' (25%)	N/A	10'	
Interior Side Yard	3'	N/A	3'-5"	
Street Side Yard	5′	N/A	5' to chimney	
Street Slue Yard			6' to residence	
Rear	15'/3'*	N/A	4'-2"	

*The rear setback is three feet for those portions of structures less than 15 feet in height.

**Two lower canopy trees approved for removal by the Forest & Beach Commission on 11/17/21.

***One lower canopy and one upper canopy tree required per the Forest & Beach Commission.

GENERAL NOTES

1.DO NOT SCALE DRAWINGS.

2.CONTRACT DOCUMENTS WHICH DESCRIBE EXISTING CONSTRUCTION HAVE BEEN BASED ON FIELD INSPECTION, BUT ARE NOT BASED ON EXTENSIVE FIELD MEASUREMENTS, OPENING OF CONCEALED CONDITIONS OR EXCAVATION OF BURIED ITEMS. NO RELIABLE CONSTRUCTION DOCUMENTS FOR THE EXISTING STRUCTURE WERE AVAILABLE. THESE DRAWINGS ARE INTEDED AS A GUIDE TO THE CONTRACTOR WHO SHALL VERITY DIMENSIONS BEFORE PROCEEDING WITH WORK. CONTRACTOR SHALL OBTAIN APPROVAL FROM THE DESIGNER BEFORE PROCEEDING WITH WORK REGARDING CHANGES, DISCREPANCIES OR ALTERATIONS THAT ARE INCONSISTENT WITH THESE DRAWINGS. NOTIFY THE DESIGNER IMMEDIATELY OF PRE-EXISTING CONDITIONS WHICH PROHIBIT EXECUTION OF WORK AS DESCRIBED HEREIN.

3..NEW CONSTRUCTION TO MATCH EXISTING DETAILS AND FINISHES. WHERE NEW CONSTRUCTION MEETS EXISTING CONSTRUCTION, PATCH AND MATCH SURFACES AND FINISHES TO ALIGN CONSISTENTLY SO NO VISUAL EVIDENCE OF CORRECTED WORK REMAINS UPON COMPLETION.

4.FLOOR ELEVATIONS = TOP OF PLYWOOD SUB-FLOOR OR TOP OF SLAB.

5.ALL WALLS DIMENSIONED TO FACE OF STUD (UNLESS OTHERWISE NOTED).

REVISION NOTES

Attachment 3

CAL GREEN NOTES

A. DUCT SYSTEMS ARE SIZED, DESIGNED, AND EQUIPMENT IS SELECTED PER SECTION 4.507.2. HVAC SYSTEM INSTALLERS MUST BE TRAINED AND CERTIFIED AND SPECIAL INSPECTORS EMPLOYED BY THE ENFORCING AGENCY MUST BE QUALIFIED. NOTE THIS REQUIREMENT ON THE PLANS.

B. AUTOMATIC IRRIGATION SYSTEMS CONTROLLERS INSTALLED AT THE TIME OF FINAL INSPECTION SHALL BE WEATHERBASED (4.304.1).

C. PROTECT ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS AT EXTERIOR WALLS AGAINST THE PASSAGE OF RODENTS (4.406.1)

D. COVER DUCT OPENINGS AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS DURING CONSTRUCTION (4.504.1)

E. ADHESIVES, SEALANTS AND CAULKS SHALL BE COMPLIANT WITH VOC AND OTHER TOXIC COMPOUND LIMITS (4.504.2.1)

F. PAINTS, STAINS AND OTHER COATINGS SHALL BE COMPLIANT WITH VOC LIMITS (4.504.2.2)

CODE COMPLIANCE NOTES

1. THIS PROJECT SHALL COMPLY WITH THE 2019 CALIFORNIA RESIDENTIAL CODE, 2019 CALIFORNIA BUILDING CODE, 2019 CALIFORNIA FIRE CODE, 2019 CALIFORNIA ELECTRICAL CODE, 2019 CALIFORNIA PLUMBING CODE, 2019 CALIFORNIA MECHANICAL CODE, 2019 CALIFORNIA ENERGY CODE, 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE AND ANY OTHER APPLICABLE CODES.

2. A STATE LICENSED SURVEYOR SHALL CERTIFY IN WRITING THAT THE FOOTINGS/FOUNDATION ARE LOCATED IN ACCORDANCE WITH THE APPROVED PLANS PRIOR TO THE FOOTING/FOUNDATION INSPECTION; AND SHALL CERTIFY THE ROOF HEIGHT IS IN ACCORDANCE WITH THE APPROVED PLANS PRIOR TO THE ROOF SHEATHING INSPECTION. CERTIFICATION SHALL BE PROVIDED TO THE INSPECTOR AT THE TIME OF THE REFERENCED INSPECTIONS.

3. CONTRACTOR SHALL OBTAIN AN 8-1-1/DIG ALERT TICKET PRIOR TO PERMIT ISSUANCE AND SHALL MAINTAIN THE TICKET IN ACTIVE STATUS THROUGHOUT THE PROJECT. TICKET SHALL BE KEPT ON SITE FOR INSPECTOR REFERENCE.

4. TO MINIMIZE OFF-SITE VIBRATION AND DAMAGE TO NEARBY PROPERTIES, CONTRACTOR SHALL UTILIZE THE SMALLEST FEASIBLE COMPACTION EQUIPMENT CAPABLE OF ACHIEVING THE DESIRED COMPACTION LEVEL. CONTRACTOR IS RESPONSIBLE FOR ANY AND ALL OFF-SITE DAMAGE AND SHALL REPAIR ANY DAMAGE IN A TIMELY MANNER PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY FOR THE PROJECT.

5. STRUCTURAL WELDING FOR GUARDRAILS OR ANY OTHER WELDED STEEL STRUCTURAL ELEMENTS SHALL BE DONE IN A LISTED APPROVED SHOP OR IF WELDED IN THE FIELD, UNDER SPECIAL INSPECTION.



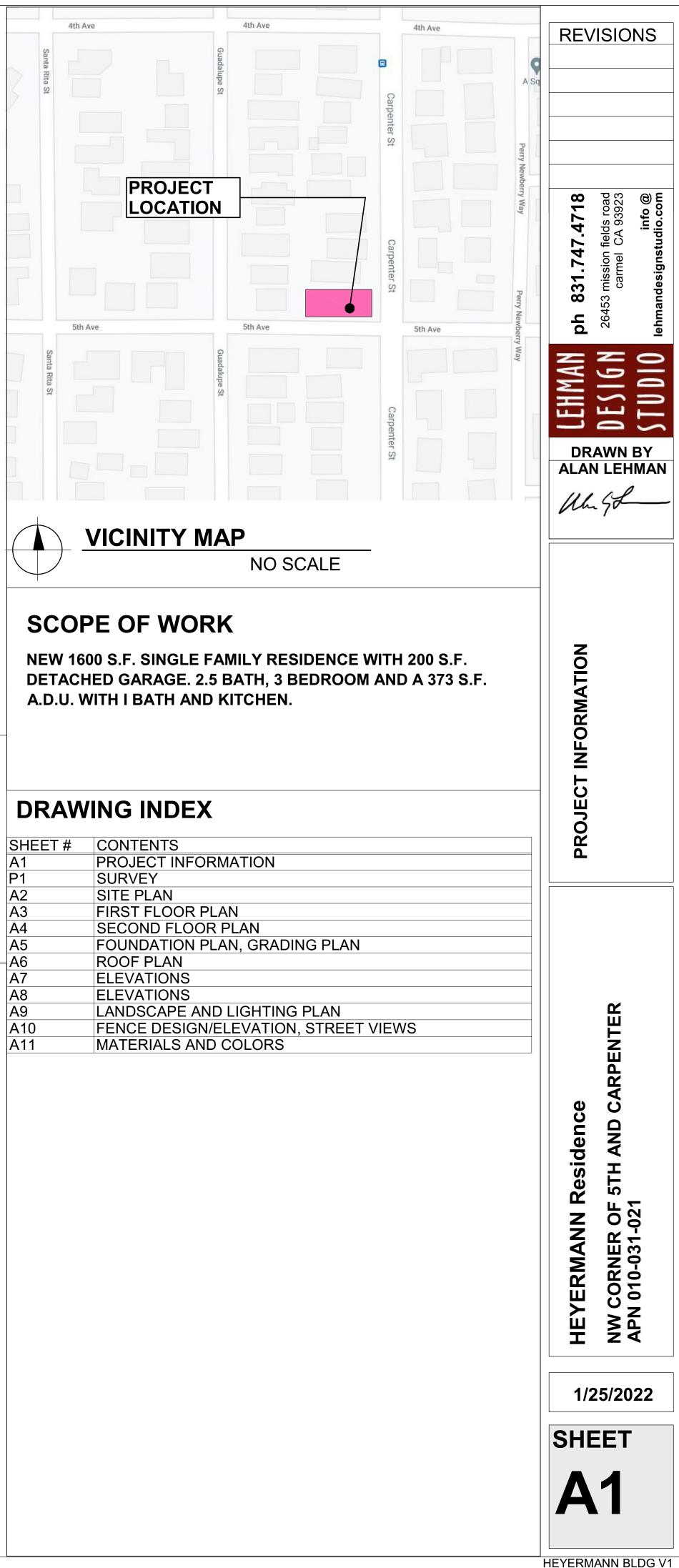
PROJECT INFORMATION

OWNER	HEYERMANN
SITE ADRESS	NW CORNER OF 5TH AND
	CARPENTER
APN	APN 010-031-021
LEGAL	Map Of Carmel City Lot 19 Blk 44
LOT/BLOCK	LOT 19 BLOCK 44
YEAR BUILT	N/A - VACANT LAND
ZONING	R-1
CONST. TYPE	V-B
OCCUPANCY	R-3
FIRE SPRINKLERS	YES (NEW)
HISTORIC	NO

LOT SIZE	4000 S.F.
NEW FIRST STORY	1125 S.F.
NEW SECOND STORY	475 S.F.
NEW GARAGE	200 S.F.
A.D.U.	373 S.F.
NEW TOTAL FLOOR AREA	<u>2173 S.F</u>
PROPOSED SITE COVERAGE	
PAVER DRIVEWAY (PERMEABLE)	9 S.F.
FRONT PATIO (PERMEABLE)	341 S.F.
FRONT PAVER PATH (PERMEABLE)	100 S.F.
STAIR AND PATH TO A.D.U.	93 S.F.
REFUSE STORAGE	10 S.F.
PROPOSED TOTAL SITE COVERAGE	<u>553 S.F</u>
SITE COVERAGE ALLOWED	<u>556 S.F.</u>

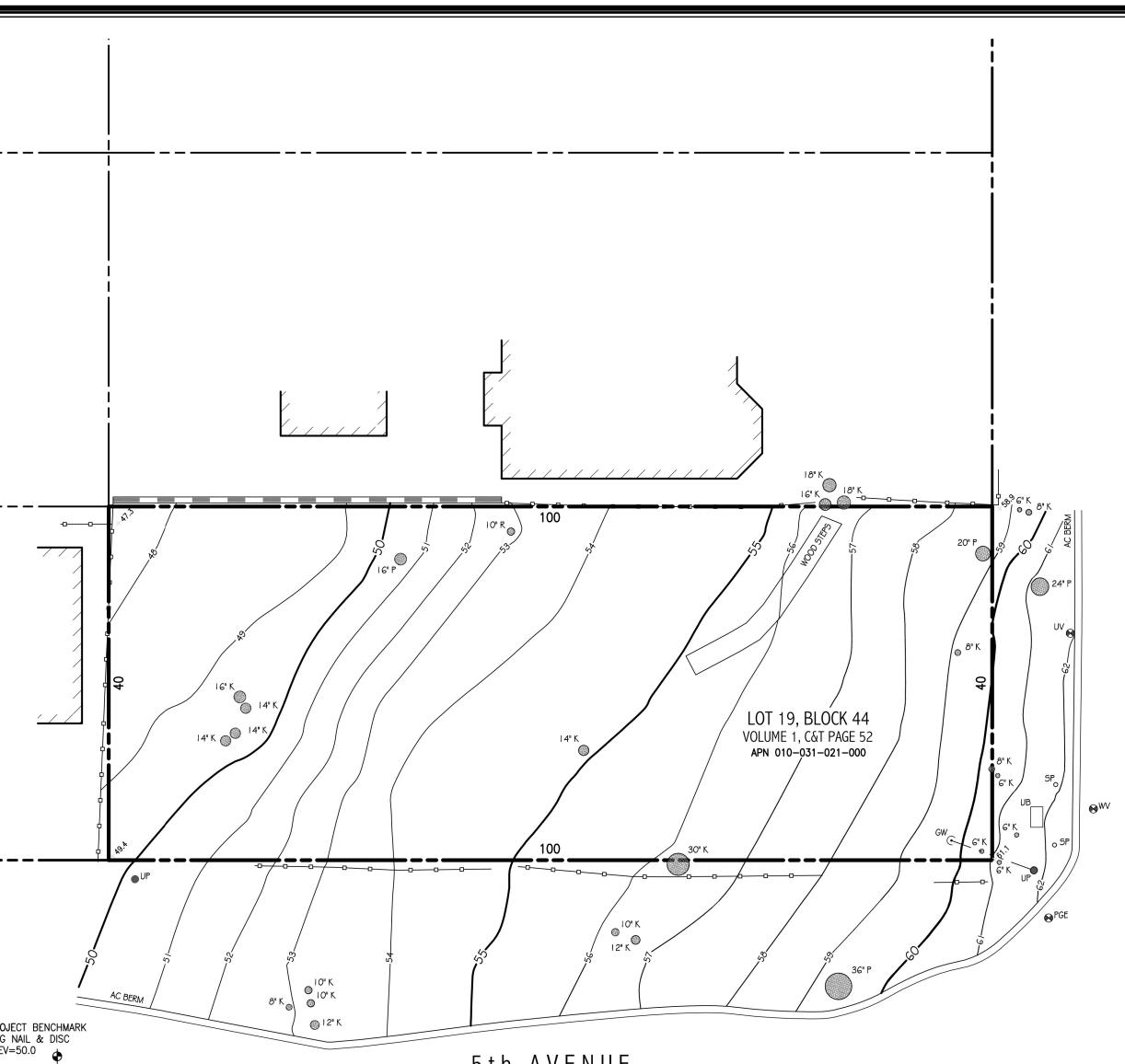
CONTACT INFORMATION

Owner- Cheryl Heyermann831-595-5045Designer – Alan Lehman831-747-4718



	RECORD BOUNDARY			
	RECORD RIGHT OF WAY	x x x	WIRE FENCE	
	RECORD LOT LINE	0 0 0	CHAIN LINK FENCE	
	RECORD CENTERLINE	STS	STREET SIGN	
	RECORD EASEMENT LINE	o SP	SIGN POST	
	RECORD SETBACK	☐ MB	MAIL BOX	
	OLD RECORD LINE	оB	BOLLARD	
+	PROJECT BENCHMARK	P	PILLAR	
۵	SURVEY CONTROL POINT		BLOCK WALL WITH WOOD FENCE	
	CONTOUR (MAJOR)	ROCK WALL	ROCK RETAINING WALL	
	CONTOUR (MINOR)	~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~	STACKED BLOCK WALL	
GB	GRADEBREAK		BRICK WALKWAY/PATIO	
EP	EDGE OF PAVEMENT		CARMEL STONE	
	LIP OF GUTTER		PCC WALKWAY/PATIO	
	FACE OF CURB	AC	ASPHALT CONCRETE	
CURB AND GUTTER	BACK OF CURB	C5	CARMEL STONE	
SIDEWALK	BACK OF SIDEWALK	CMP	CORRUGATED METAL PIPE	
DRIVEWAY	EDGE OF DRIVEWAY	CONC	CONCRETE SLAB	
FLOWLINE	FLOWLINE	DG	DECOMPOSED GRANITE	
BUILDING	BUILDING OUTLINE	EX AGG	EXPOSED AGGREGATE	
	CHIMNEY	HDPE	HIGH DENSITY POLY ETHYLENE	<u> </u>
THRESHOLD ELEVATION	APPROXIMATE FLOOR ELEVATION	PCC	PORTLAND CEMENT CONCRETE	
DECK	DECK	P3	PAVER STONE	
CONC PAD	CONCRETE PAD	PVC	POLY VINYL CHLORIDE	
STEP	STEP	RCP	REINFORCED CONCRETE PIPE	
PLANTER	PLANTER	TE	TRASH ENCLOSURE	
w	WATER LINE	ιL.	INASH ENCLOSURE	
€	WATER VALVE	. <u>M</u> .	EDGE OF FOLIAGE	
⊠ WM	WATER METER			
₩ ©	FIRE HYDRANT	∭ I 2" T	TREE WITH SIZE AND TYPE	
©HB	HOSE BIB	Α	ACACIA	
OICV	IRRIGATION CONTROL VALVE	C	CYPRESS	PROJECT BENCH MAG NAIL & DIS ELEV=50.0
-	SANITARY SEWER LINE	K	OAK	Φ
	SANITARY SEWER MANHOLE	P	PINE	
0	SANITARY SEWER CLEAN-OUT	Attachment 3	REDWOOD	
		T	TREE	
— — — — SD — — — — — —		\$ ³		
	STORM DRAIN MANHOLE	×ĸ,	SPOT ELEVATION	
— — — — — О ^{АД} — СВ	AREA DRAIN			
□ ^{CB}	STORM DRAIN CATCH BASIN			
E	ELECTRIC LINE			
UP	UTILITY POLE			
GW	GUY WIRE			
	UTILITY VALVE			
UB	UTILITY BOX			
⊠ ^{EM}	ELECTRIC METER			
-¥ ^{SL}	STREET LIGHT			
-¢- ^{LP}	LAMP POST			
G G	GAS LINE			
GM	GAS METER			
e PGE	PG&E VALVE			
T	TELEPHONE LINE			
CTS	TELEPHONE STANDARD			
TV	CABLE TELEVISION LINE			
□СТѴВ	CABLE TELEVISION BOX			

LEGEND:



5th AVENUE

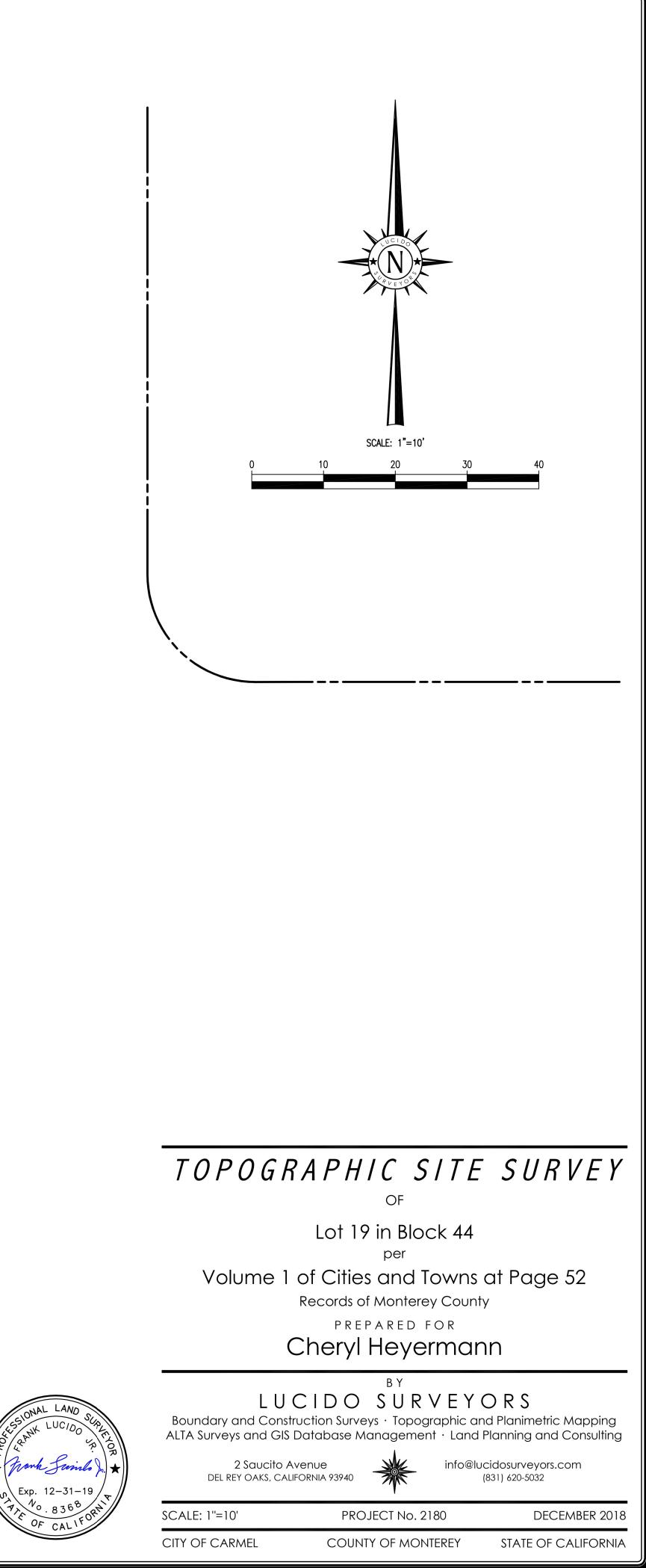
(A 50 FOOT WIDE CITY STREET)

BENCHMARK:

ELEVATIONS FOR THIS SURVEY ARE BASED ON AN ASSUMED DATUM. AN ELEVATION OF 50.0 HAS BEEN ASSIGNED TO A MAG NAIL & DISC SET IN THE PAVEMENT NEAR THE SOUTHWESTERLY CORNER OF THE SUBJECT PROPERTY (SAID BENCHMARK NOT SHOWN).

<u>NOTES:</u>

- 1. BOUNDARY LOCATIONS SHOWN HEREON WERE DETERMINED WITH THE BENEFIT OF A FIELD SURVEY SUPPLEMENTED BY RECORD DATA. ALL BOUNDARY DATA SHOWN HEREON ARE FROM THE RECORDS, AND IS SHOWN APPROXIMATE ONLY - NOT FOR CONSTRUCTION. THIS IS NOT A BOUNDARY SURVEY.
- 2. ENTITLEMENTS OR ENCUMBRANCES AFFECTING THIS PROPERTY MAY NOT NECESSARILY BE SHOWN.
- 3. DISTANCES SHOWN ARE EXPRESSED IN FEET AND DECIMALS THEREOF.
- 4. CONTOUR INTERVAL = ONE FOOT.
- 5. TREE TYPES ARE INDICATED WHERE KNOWN. DIAMETERS OF TREES ARE SHOWN IN INCHES AND ARE APPROXIMATE ONLY, TO BE VERIFIED BY AN APPROVED ARBORIST PROVIDED BY OTHERS, PER AGREEMENT WITH THE SURVEYOR. TREES SMALLER THAN 6" IN DIAMETER MAY NOT BE NECESSARILY SHOWN. DIRECTION OF GROWTH AND DRIP LINE SHAPE TO BE VERIFIED BY OTHERS.
- 6. POSITION AND DIMENSIONS (IF ANY) OF BUILDINGS, FENCES AND OTHER STRUCTURES ARE SHOWN HEREON APPROXIMATE ONLY DUE TO MEASUREMENT LIMITATIONS, IRREGULAR SHAPE OF BRICK FACING, POP-OUTS, BULL NOSE CORNERS, ETC.
- 7. NOT ALL UTILITY BOXES AND/OR UTILITY STRUCTURES ARE SHOWN INCLUDING BUT NOT LIMITED TO HOSE BIBS AND IRRIGATION VALVES. ONLY THE VISIBLE UTILITY BOXES AND/OR UTILITY STRUCTURES THAT WERE CONSIDERED TO CONVEY THE GENERAL UTILITY CONDITIONS ARE SHOWN.
- 8. THIS MAP CORRECTLY REPRESENTS A SURVEY PREPARED BY ME AND/OR UNDER MY DIRECTION, FROM FIELD DATA COLLECTED IN NOVEMBER OF 2018.



ш

ΤRΕ

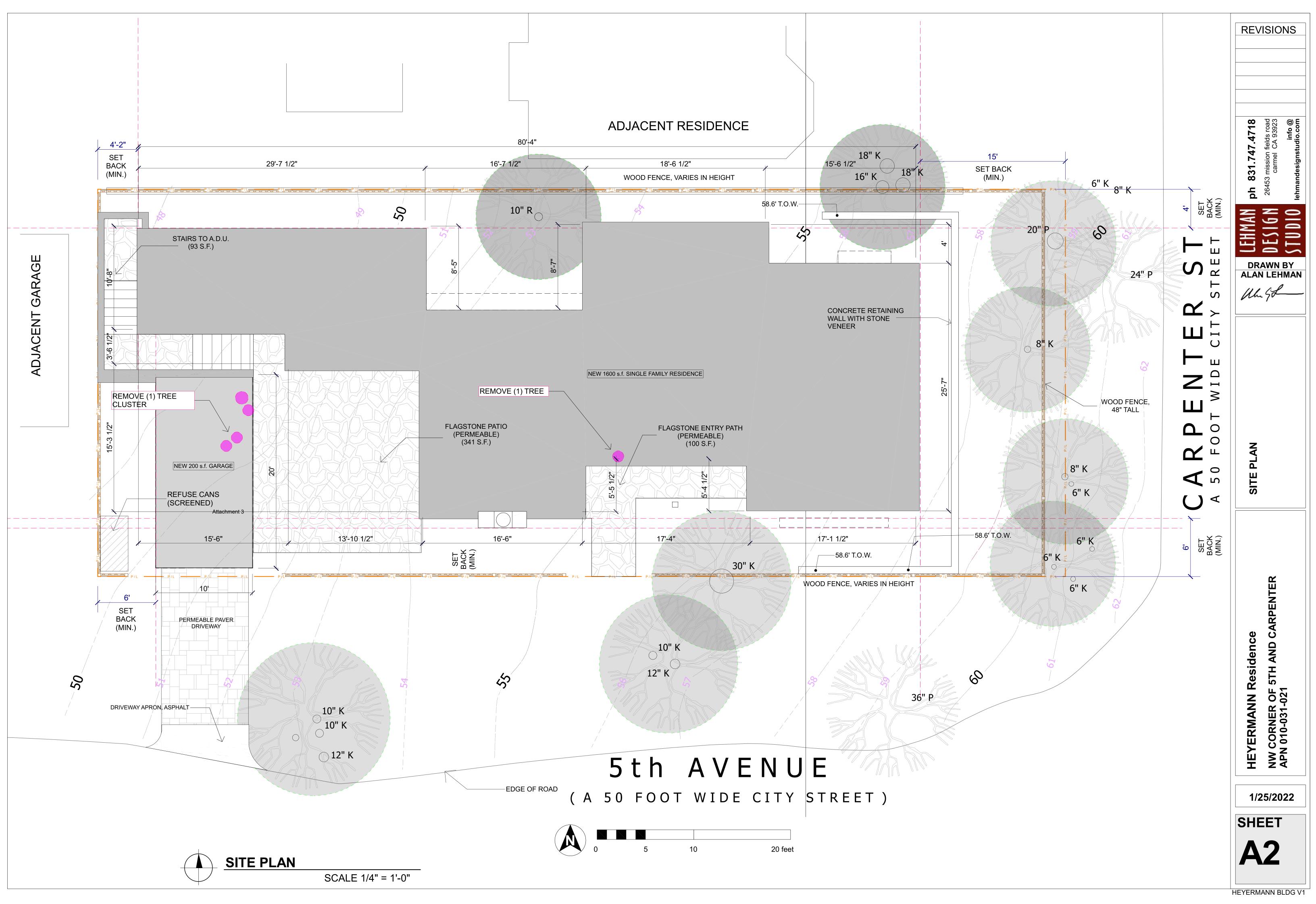
S

К

ARPENTE

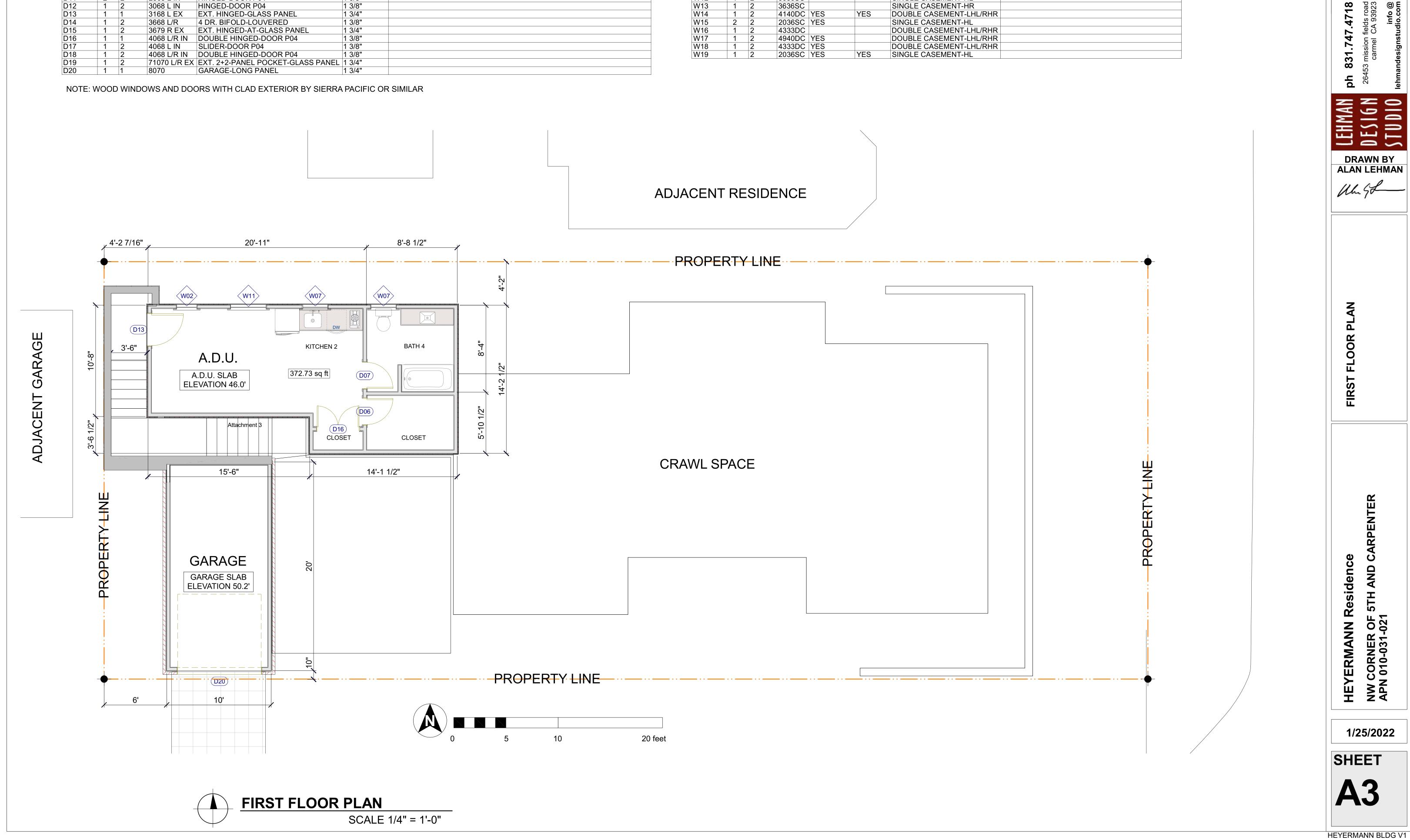
()

ONE SHEET ONLY





				DOOF	R SCHEDULE
NUMBER	QTY	FLOOR	SIZE	DESCRIPTION	THICKNESS COMMENTS
D01	1	2	11380 L/R EX		1 3/4"
D02	1	2	2068 R IN	HINGED-DOOR P04	1 3/8"
D03	1	2	21068 R		1 3/8"
D04	1	2	2368 L IN	HINGED-DOOR P04	1 3/8"
D05	1	2	2368 R IN	HINGED-DOOR P04	1 3/8"
D06	1	1	2668 L IN	HINGED-DOOR P04	1 3/8"
D07	1	1	2668 R IN	HINGED-DOOR P04	1 3/8"
D08	2	2	2668 L	POCKET-DOOR P04	1 3/8"
D09	1	2	2668 L IN	HINGED-DOOR P04	1 3/8"
D10	1	2	2668 L/R IN	DOUBLE HINGED-DOOR P04	1 3/8"
D11	2	2	2868 L IN	HINGED-DOOR P04	1 3/8"
D12	1	2	3068 L IN	HINGED-DOOR P04	1 3/8"
D13	1	1	3168 L EX	EXT. HINGED-GLASS PANEL	1 3/4"
D14	1	2	3668 L/R	4 DR. BIFOLD-LOUVERED	1 3/8"
D15	1	2	3679 R EX	EXT. HINGED-AT-GLASS PANEL	1 3/4"
D16	1	1	4068 L/R IN	DOUBLE HINGED-DOOR P04	1 3/8"
D17	1	2	4068 L IN	SLIDER-DOOR P04	1 3/8"
D18	1	2	4068 L/R IN	DOUBLE HINGED-DOOR P04	1 3/8"
D19	1	2	71070 L/R EX	EXT. 2+2-PANEL POCKET-GLASS PANEL	1 3/4"
D20	1	1	8070	GARAGE-LONG PANEL	1 3/4"

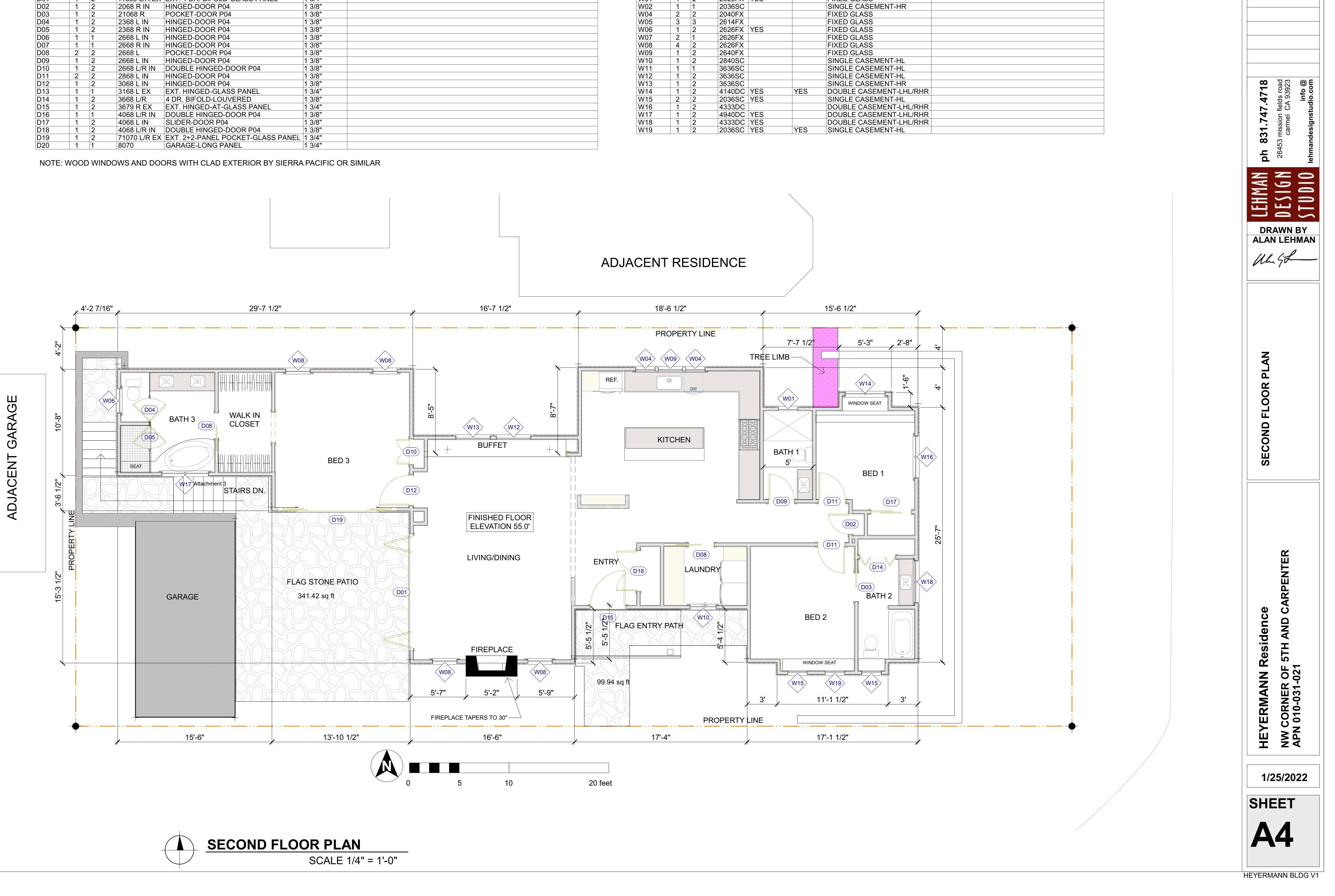


						WINDOW SCHEDULE	
NUMBER	QTY	FLOOR	SIZE	TEMPERED	EGRESS	DESCRIPTION	COMMENTS
W01	1	2	2020FX	YES		FIXED GLASS	
W02	1	1	2036SC			SINGLE CASEMENT-HR	
W04	2	2	2040FX			FIXED GLASS	
W05	3	3	2614FX			FIXED GLASS	
W06	1	2	2626FX	YES		FIXED GLASS	
W07	2	1	2626FX			FIXED GLASS	
W08	4	2	2626FX			FIXED GLASS	
W09	1	2	2640FX			FIXED GLASS	
W10	1	2	2840SC			SINGLE CASEMENT-HL	
W11	1	1	3636SC			SINGLE CASEMENT-HL	
W12	1	2	3636SC			SINGLE CASEMENT-HL	
W13	1	2	3636SC			SINGLE CASEMENT-HR	
W14	1	2	4140DC	YES	YES	DOUBLE CASEMENT-LHL/RHR	
W15	2	2	2036SC	YES		SINGLE CASEMENT-HL	
W16	1	2	4333DC			DOUBLE CASEMENT-LHL/RHR	
W17	1	2	4940DC	YES		DOUBLE CASEMENT-LHL/RHR	
W18	1	2	4333DC	YES		DOUBLE CASEMENT-LHL/RHR	
W19	1	2	2036SC	YES	YES	SINGLE CASEMENT-HL	



REVISIONS

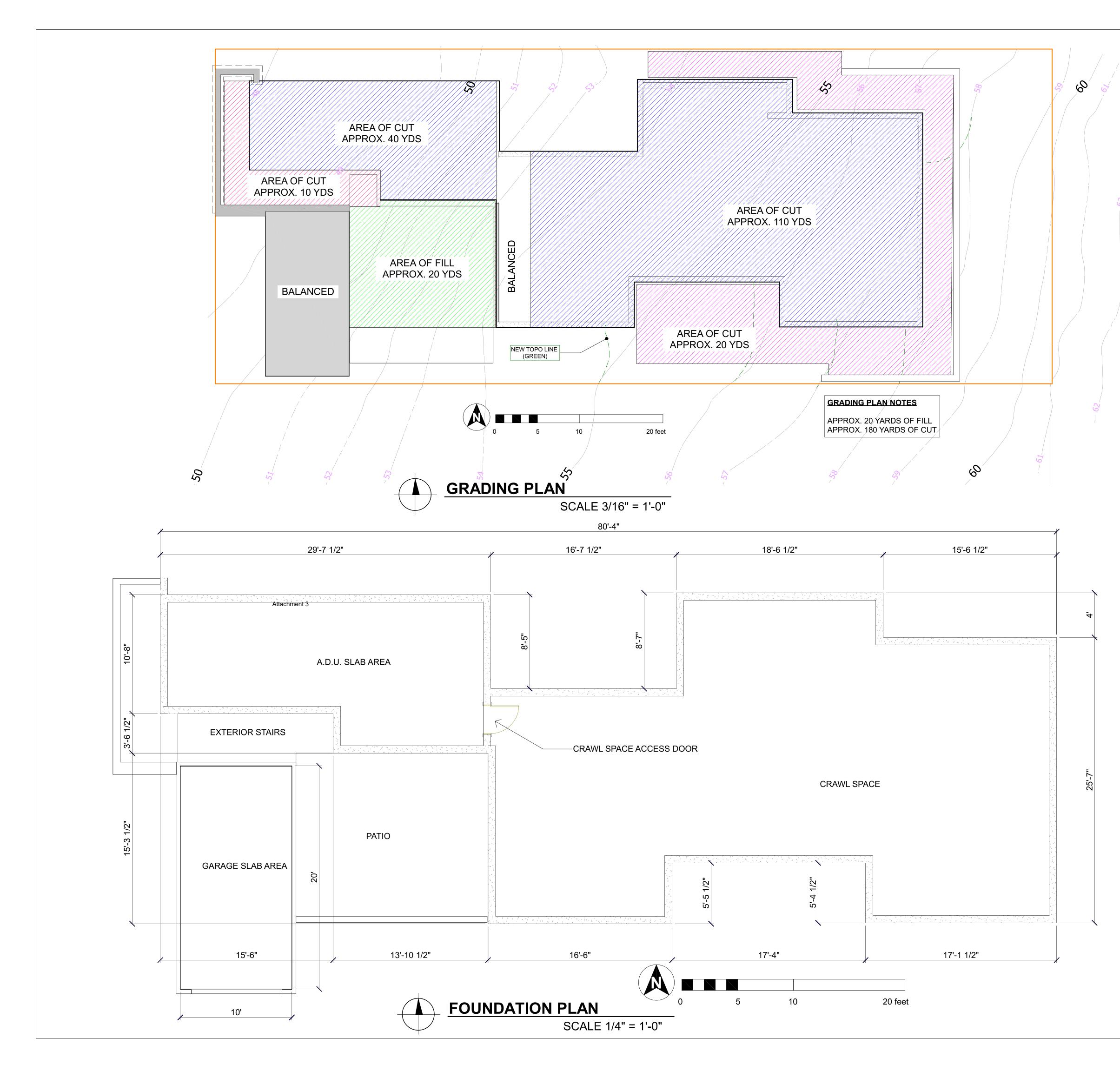
				DOOI	R SCHEDULE	
NUMBER	QTY	FLOOR	SIZE	DESCRIPTION	THICKNESS	COMMENTS
D01	1	2	11380 L/R EX	EXT. 4 DR. BIFOLD-GLASS PANEL	1 3/4"	
D02	1	2	2068 R IN	HINGED-DOOR P04	1 3/8"	
D03	1	2	21068 R	POCKET-DOOR P04	1 3/8"	
D04	1	2	2368 L IN	HINGED-DOOR P04	1 3/8"	
D05	1	2	2368 R IN	HINGED-DOOR P04	1 3/8"	
D06	1	1	2668 L IN	HINGED-DOOR P04	1 3/8"	
D07	1	1	2668 R IN	HINGED-DOOR P04	1 3/8"	
D08	2	2	2668 L	POCKET-DOOR P04	1 3/8"	
D09	1	2	2668 L IN	HINGED-DOOR P04	1 3/8"	
D10	1	2	2668 L/R IN	DOUBLE HINGED-DOOR P04	1 3/8"	
D11	2	2	2868 L IN	HINGED-DOOR P04	1 3/8"	
D12	1	2	3068 L IN	HINGED-DOOR P04	1 3/8"	
D13	1	1	3168 L EX	EXT. HINGED-GLASS PANEL	1 3/4"	
D14	1	2	3668 L/R	4 DR. BIFOLD-LOUVERED	1 3/8"	
D15	1	2	3679 R EX	EXT. HINGED-AT-GLASS PANEL	1 3/4"	
D16	1	1	4068 L/R IN	DOUBLE HINGED-DOOR P04	1 3/8"	
D17	1	2	4068 L IN	SLIDER-DOOR P04	1 3/8"	
D18	1	2	4068 L/R IN	DOUBLE HINGED-DOOR P04	1 3/8"	
D19	1	2	71070 L/R EX	EXT. 2+2-PANEL POCKET-GLASS PANEL	1 3/4"	
D20	1	1	8070	GARAGE-LONG PANEL	1 3/4"	



	WINDOW SCHEDULE						
NUMBER	QTY	FLOOR	SIZE	TEMPERED	EGRESS	DESCRIPTION	COMMENTS
W01	1	2	2020FX	YES		FIXED GLASS	
W02	1	1	2036SC			SINGLE CASEMENT-HR	
W04	2	2	2040FX			FIXED GLASS	
W05	3	3	2614FX			FIXED GLASS	
W06	1	2	2626FX	YES		FIXED GLASS	
W07	2	1	2626FX			FIXED GLASS	
W08	4	2	2626FX			FIXED GLASS	
W09	1	2	2640FX			FIXED GLASS	
W10	1	2	2840SC			SINGLE CASEMENT-HL	
W11	1	1	3636SC			SINGLE CASEMENT-HL	
W12	1	2	3636SC			SINGLE CASEMENT-HL	
W13	1	2	3636SC			SINGLE CASEMENT-HR	
W14	1	2	4140DC	YES	YES	DOUBLE CASEMENT-LHL/RHR	
W15	2	2	2036SC	YES		SINGLE CASEMENT-HL	
W16	1	2	4333DC			DOUBLE CASEMENT-LHL/RHR	
W17	1	2	4940DC	YES		DOUBLE CASEMENT-LHL/RHR	
W18	1	2	4333DC	YES		DOUBLE CASEMENT-LHL/RHR	
W19	1	2	2036SC	YES	YES	SINGLE CASEMENT-HL	

REVISIONS





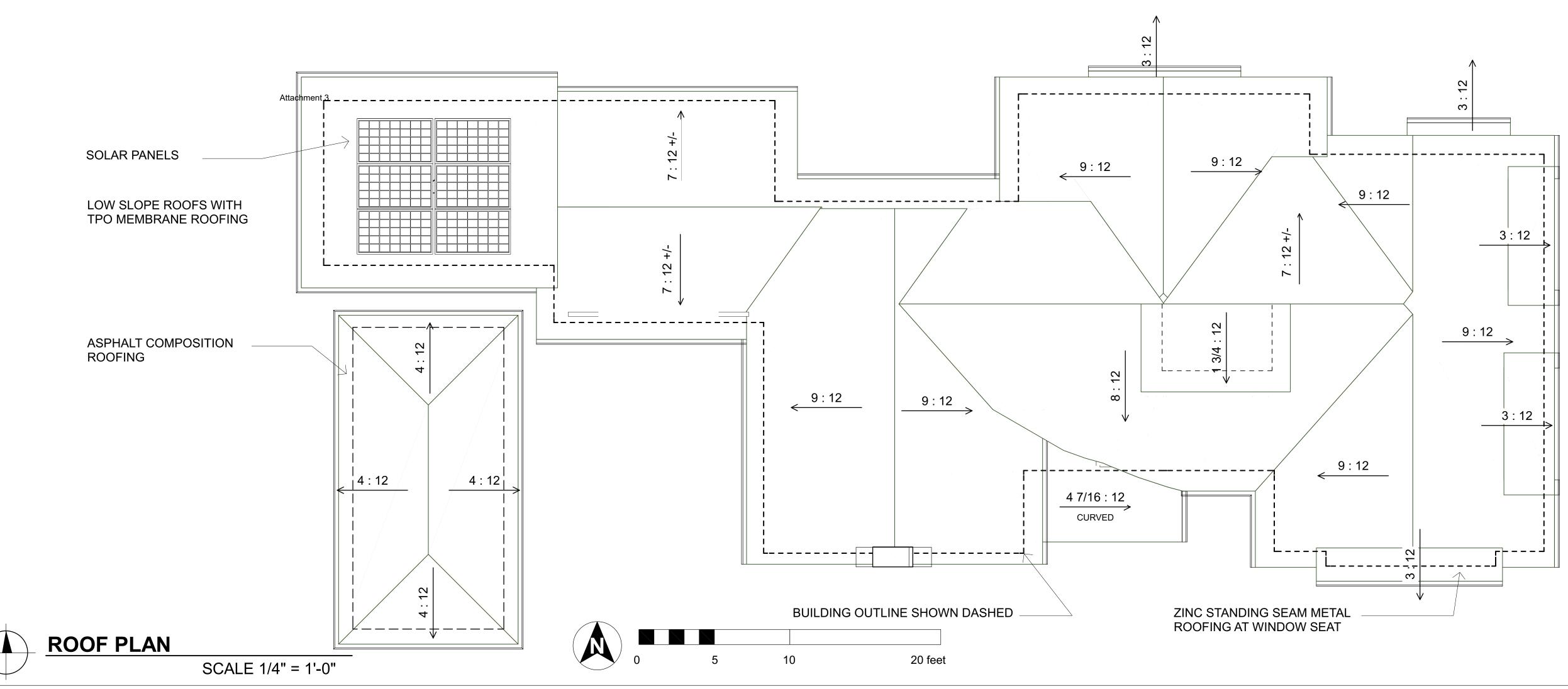
REVISIONS
MMM Bh B31.747.4718DE B1.747.4718MMM B1 <b< th=""></b<>
FOUNDATION PLAN, GRADING PLAN
HEYERMANN Residence NW CORNER OF 5TH AND CARPENTER APN 010-031-021 1/52/2055
1/25/2022 SHEET
A5 HEYERMANN BLDG V1



STANDING SEAM METAL ROOFING



TPO INFO





CERTAINTEED PRESIDENTIAL SHAKE TL **TECHNICAL INFORMATION**

- UL Class A fire resistance rating

- Conforms to CSA standard A123.5

ASPHALT COMPOSITION ROOFING



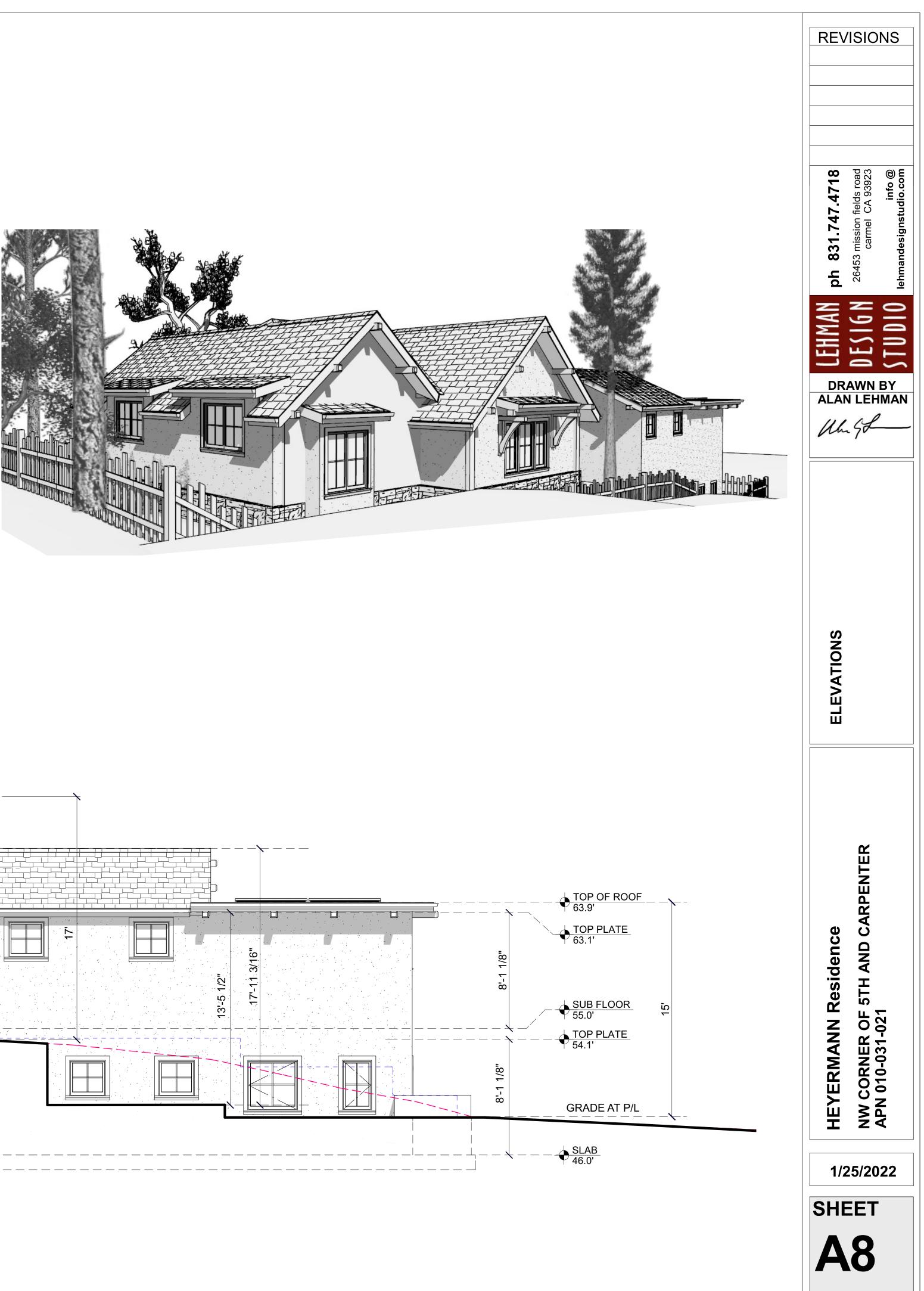
Three-piece laminated fiber glass construction

- UL certified to meet ASTM D3462
- UL certified to meet ASTM D3018 Type I
- ASTM D3161, Class F, 110 mpl wind resistance

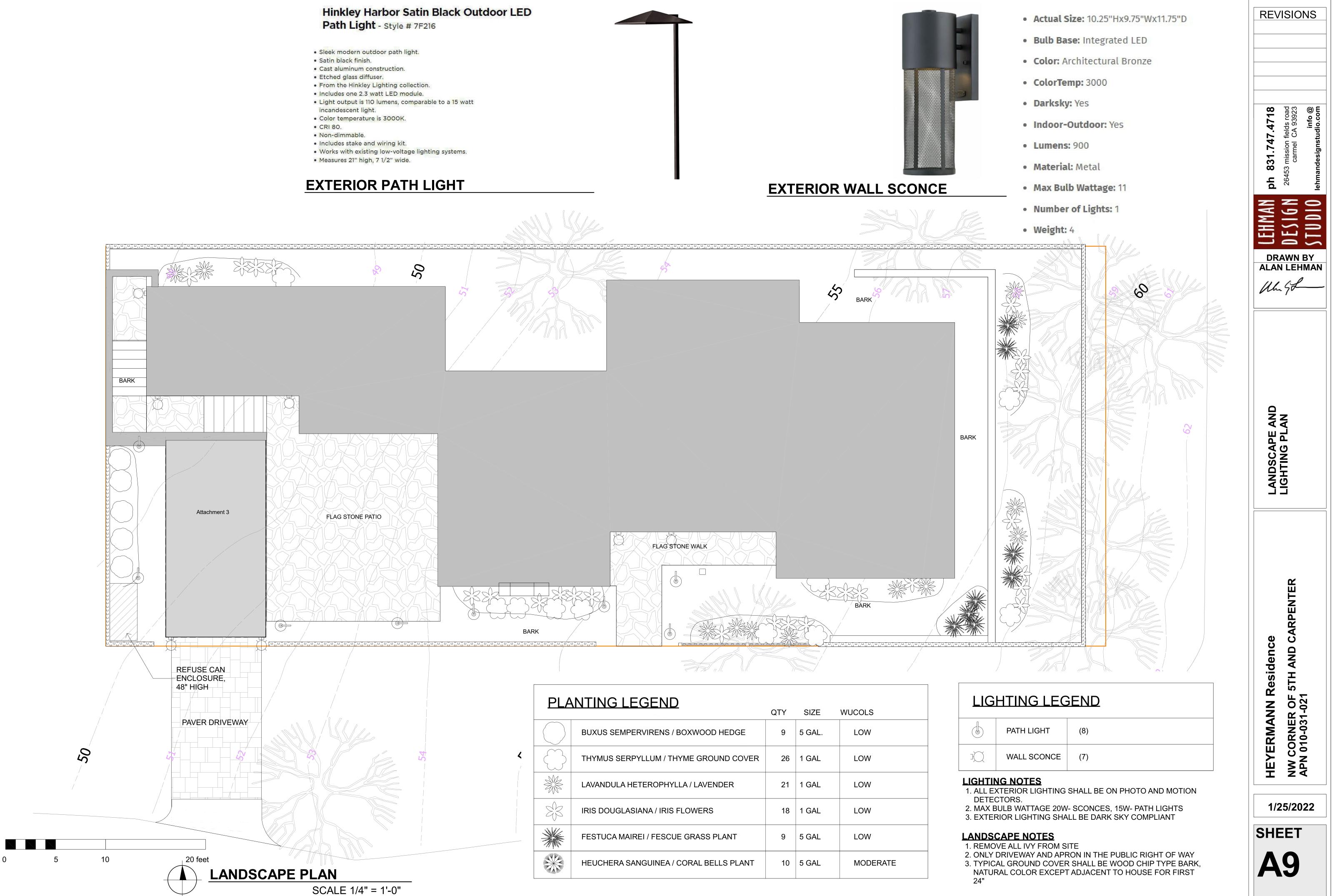
REV	ISIO	NS
M ph 831.747.4718	DIN 26453 mission fields road carmel CA 93923	info @ lehmandesignstudio.com
DR/ ALAN		
ROOF PLAN		
HEYERMANN Residence	NW CORNER OF 5TH AND CARPENTER	
1/2 SHE	25/20 EET	22
	6	







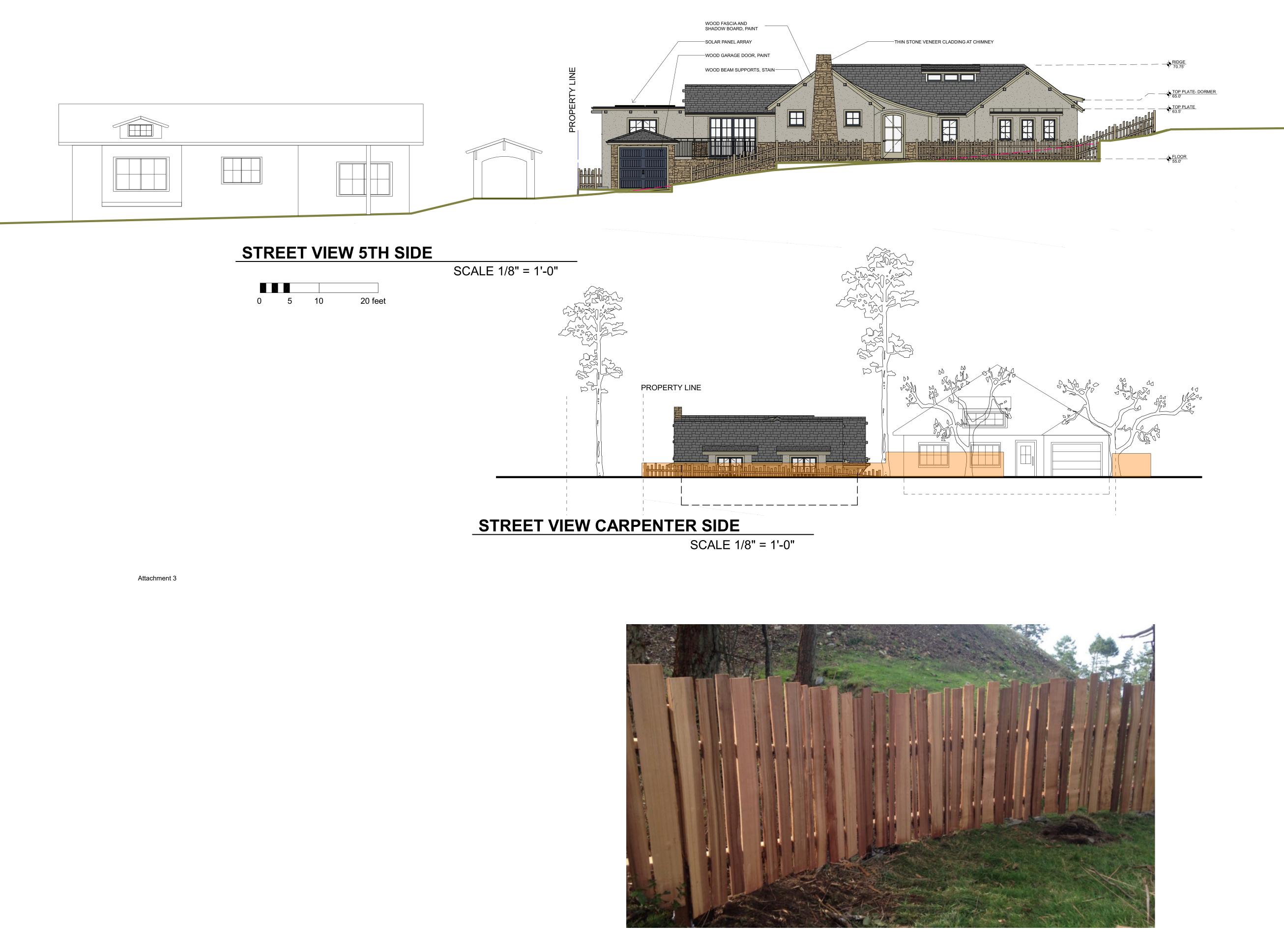
HEYERMANN BLDG V1

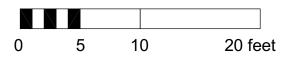


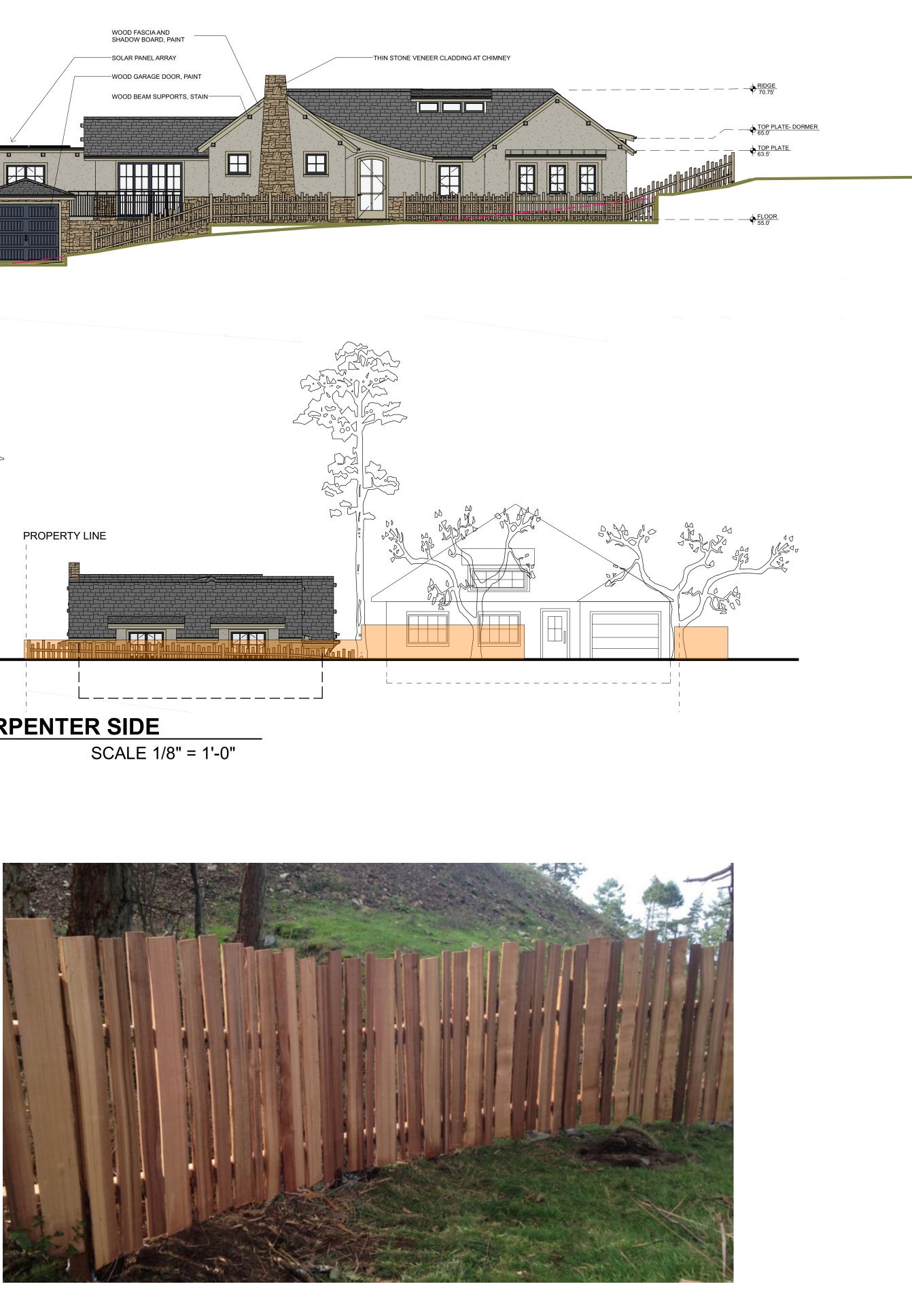
0

PI ANTI	ING I	

		QTY	SIZE	WUCOLS
	BUXUS SEMPERVIRENS / BOXWOOD HEDGE	9	5 GAL.	LOW
\bigcirc	THYMUS SERPYLLUM / THYME GROUND COVER	26	1 GAL	LOW
	LAVANDULA HETEROPHYLLA / LAVENDER	21	1 GAL	LOW
ZZ	IRIS DOUGLASIANA / IRIS FLOWERS	18	1 GAL	LOW
	FESTUCA MAIREI / FESCUE GRASS PLANT	9	5 GAL	LOW
	HEUCHERA SANGUINEA / CORAL BELLS PLANT	10	5 GAL	MODERATE

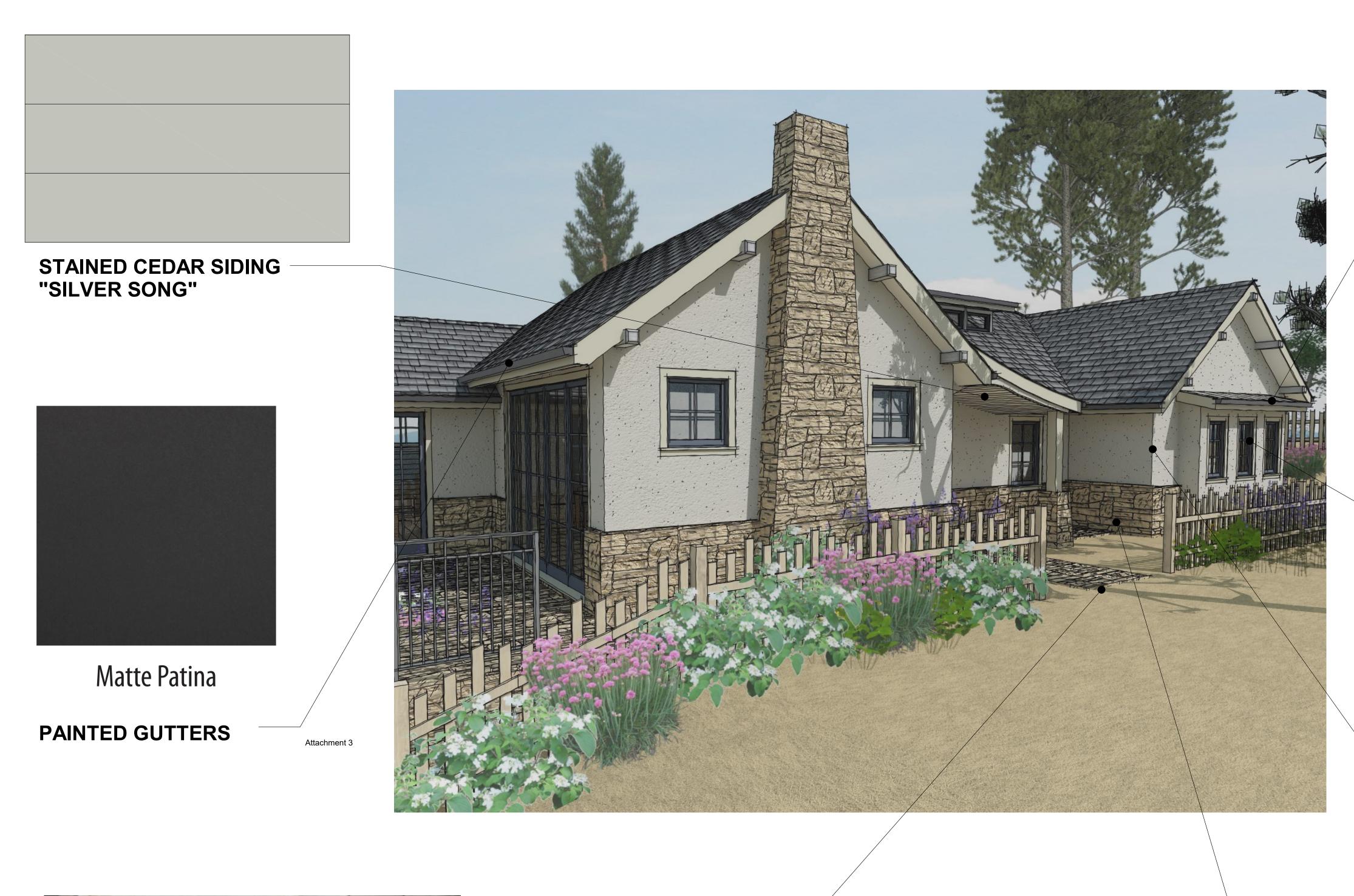






FENCE DESIGN IMAGE (SIM.)







WHITE MOUNTAIN SELECT FLAG STONE

MATERIALS / COLORS



PAINTED STANDING SEAM METAL ROOFING, "VINTAGE ZINC GRAY", MATTE FINISH



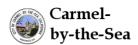
WINDOW AND DOOR COLOR "ROCKY COAST"

STUCCO SIDING "RIVER REFLECTIONS"



STONE VENEER (SALIDO QUARRY TAN AND GOLD) NOTE: THIN STONE VENEER MATERIAL TO MINIMIZE ON SITE CUTTING OF STONE





Fwd: construction on 5th & Carpenter

Marnie R. Waffle <mwaffle@ci.carmel.ca.us> To: Marnie Waffle <mwaffle@ci.carmel.ca.us> Thu, Mar 3, 2022 at 10:01 AM

------ Forwarded message ------From: **Alison McDaniel** <REDACTED> Date: Wed, Mar 2, 2022 at 4:36 PM Subject: Fwd: construction on 5th & Carpenter To: Waffle Marnie <mwaffle@ci.carmel.ca.us>

Sent from my iPhone

-----Original Message-----From: REDACTED To: mwaffle@ci.carmel.ca.us <mwaffle@ci.carmel.ca.us> Sent: Wed, Mar 2, 2022 4:29 pm Subject: construction on 5th & Carpenter

To: Marnie Waffle, senior planner Carmel planning commission mwaffle@ci.carmel.ca.us 3-2-22

From: Alison McDaniel REDACTED cell: REDACTED

Dear Marnie,

Greetings. Here we are in round 2 of 5th and Carpenter. I weary of it all, but must weigh in on the current plans. While they are considerably more acceptable visually and more in keeping with Carmel, I find the idea of a 4 bedroom, 4 bathroom house, plus patio and garage (ADU included here as a bedroom, and yes, I do understand the ramifications of the ADU concept) to be quite disconcerting,...in fact downright disturbing. Goodbye trees, goodbye parking which is precious little up here, and for me, goodbye privacy and goodbye sunlight. This huge dwelling, seeming more like a sort of rooming house, or apartment complex is way too big for that little lot. Most of the houses in this neighborhood are on lots this size and consist of 3 bedrooms and 2 baths; some only 2 bedrooms and 1 or 2 baths. Why this need for 'enormous?'

I guess bigger merits a bigger price tag, but considering this noisy corner, I would think that to build on that lot AT ALL, one would be wise to build within the compatible ramifications of the neighborhood, a classy, quality Carmel Charmer, with good solid bones, and set back far enough from the street(s) to provide a little buffer from traffic and to provide room for shrubs and trees for same reason. At the going prices of homes here in Carmel, a house of sensible size and desirable construction will make enough money for the builder-seller.

The runoff from rain onto the Stevens' Property next door to the west on 5th, a house this large covering so much earth with hard, impermeable material could be quite worrisome for these neighbors.

I am noting that, on the plans I am seeing (A8, 13 or 14 windows; one is probably a door) facing north, my house. What might be the reason for that?

So, in summation here, I say simply, my privacy is threatened, and a good portion of my sunlight will be occluded. At very least, remove the bedroom over the ADU which blocks a good portion of the view off my deck and put it up to the Carpenter side.

I say further, send them back to the drawing board to come up with a winner that will also be a design respectful of the neighbors. A win-win for all. I have been here almost 18 years and I believe the Stevens have owned their property for 20. We do, as well as the rest of the neighbors, deserve the respect of the new comers. The respect will be mutual when we are shown good faith, not just a plan to max out a small lot in the name of personal gain of one person.

TO:	Carmel Planning Commissioners
FROM:	Concerned Neighbors
SUBJECT:	5 th & Carpenter Proposal #2
DATE:	March 2, 2022
CC:	Carmel Forest & Beach Commissioners
	Ramie Allard
	Paul Miller
	Sara Davis

We appreciate the opportunity to express our thoughts about this proposal.

The applicant and designer did a good job in listening to the feedback from the commissioners on the review of their first proposal. The revised design is much more Carmel-like but it is BIG. It includes a 1600 sq ft house, a 200 sq ft garage, a 373 sq ft ADU and a 341 sq ft hard surface patio. Putting all this on a 4,000 sq ft lot creates problems which we will discuss below.

NORTHEAST CORNER

The proposal calls for a two-story structure 4 ft from the property line to the west (Stevens) and 4 ft from the property line to the north (McDaniel). In order to keep the height of structure below 15 ft and hence enjoy the minimum setback it (a) is sunken into the ground by about 3 ft and (2) has a flat roof.

This flat roof creates a very unattractive box appearance that completely conflicts with the style of the rest or the house. All the other roofs on this proposal are slanted to a peak which is the norm on Carmel – type homes. The city should reject this portion of the design.

Sinking this structure is also problematic. The fence at this corner serves as a retaining wall for a sharp, precipitous drop in the dirt level of about 4 ft. The fence behind the Stevens's garage is about 10 ft high. – 6 ft above dirt level. Putting a 2-story sunken structure so close will surely require extensive, new retaining walls to prevent the collapse of the Stevens's garage and dirt into the neighbor to the north.

VIEW, SUNLIGHT & PRIVACY

Unlike the first proposal this one has a structure running along almost the entire north property line. This blocks almost all of the view and sunlight of the neighbor to the north (McDaniel). She currently has an outside porch that looks out upon a vacant lot with beautiful trees. No longer. Completely gone. So is her privacy with 13 windows looking at the east side of her house. Ali McDaniel will be writing a separate letter to the Commissioners as well as requesting a shade study.

DRAINAGE

The lot in question has a pretty significant slope or grade. The entire neighbor has a history of significant water drainage issues. The house to the north of the Stevens's has had to deal with constant rainwater running thru their 1st floor. The city has had to install special drainage pipes to help alleviate the problem. The Stevens had to install French drains and water protective barriers way below the dirt line to protect their 1st floor.

Currently, the vacant lot, trees and vegetation help absorb the rain and prevent run offs. The new design has over 55% of the lot covered with structures and hardscape. This is particularly so on the west end of the property. There is little room for the rain and its runoff to soak in. In addition, the entrance to the ADU is sunken which most likely will collect water.

All of this raises great concern that the new design will exasperate an already tenuous drainage situation. It is best to resolve this issue now before a problem arises resulting in serious litigation.

SAFETY

The design calls for the garage to be within 1 foot of the 5th property line. Code is a 4 ft setback. The Commissioners can either allow or deny this variance.

The garage and resulting driveway are at a particularly dangerous location. It is on 5th just 100 ft from the intersection of 5th and Carpenter. Carpenter is a busy street and many locals turn west on 5th as a short cut to downtown – avoids Ocean. 5th is about 21 ft wide at the intersection. It then narrows to 16 ft to avoid an oak tree on the north side of the street. The proposed garage and driveway are located just after this tree. Three other garages and driveways are in the same immediate vicinity – within 15 ft of each other. There is heavily used off street parking on both sides of the street between Carpenter and the garages. This will only get worse with the addition of a 3-bedroom house with an ADU with limited driveway space for parking.

It is safe to conclude that the area in question will be quite congested. A garage on the property line gives west bound cars limited time and visibility to cars backing out of the garage. The same is true for cars backing up out of the 4 driveways.

It is important that the Commissioners examine this concern when they visit the site. The congestion can be partially mitigated by not allowing the requested variance and having the garage pushed back as far as possible to enhance the visibility of cars backing up.

REPLACEMENT TREES

The lot has many beautiful trees. The applicant applied for and received permission from the Forestry & Beach Commission to remove one single tree and a cluster of 4 trees. They applicant showed the original design of the house and argued that the only practical location for the garage required the removal of the 4 trees. The Commission agreed and ruled that the failure to remove the trees would deprive the owner of reasonable use. The Commission further decided to reduce the required number of high canopy replacement trees from 3 to 1.

All this was done during November of 2021. The neighbors were not contacted before or after these decisions. The neighbors had no input to the process. There was a 30-day challenge period but since the neighbors knew nothing, it was of no avail.

The applicant is now required to plant an upper and a lower canopy tree. Uppers can grow to be 60-100 ft high. Lowers are in the 20-30 ft range.

The original proposal designated areas for the replacement trees. The new proposal has these areas covered by structures and a hardscape patio, Furthermore, the current proposal does not show where these trees would go and it isn't apparent that there actually is sufficient space. Given the number of trees that are being requested to be removed and the reduction of the number of replacement trees granted, it just doesn't make sense to even consider a conceptual design without making sure the applicant intends to leave sufficient space for healthy trees. Why show the location of shrubbery and not the replacement trees?

CONCLUSION

The proposal is just too big. It results in:

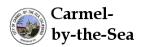
- 1. An unattractive 2cd story
- 2. Structures that block views and sunlight
- 3. Drainage problems
- 4. Safety concerns
- 5. No apparent space for replacement trees

The City facilitated the applicant's desire to build a reasonably sized house by allowing 5 trees to be removed. Now the applicant is reciprocating with a proposal that is just too big with too many problems. The applicant can still make a very nice profit with smaller structures that respects the neighbors. Hopefully, she will decide to do this.

If not, the Commissioners certainly have the latitude and authority to request a complete redesign.

Respectfully,

Tom Stevens	NE Corner 5 th & Guadalupe
Nancy Stevens	NE Corner 5 th & Guadalupe
Ali McDaniel	1 NW Corner 5 th & Carpenter
J.J. Berthelot	1 NW Corner 5 th & Carpenter
Sharon de St Jeor	SE Corner 5 th & Carpenter
Suzanne Quinlan	NE Corner 5 th & Carpenter
Tom Quinlan	NE Corner 5 th & Carpenter



5th & Carpenter Proposal

Marnie R. Waffle <mwaffle@ci.carmel.ca.us> To: Marnie Waffle <mwaffle@ci.carmel.ca.us> Thu, Mar 3, 2022 at 6:00 PM

------ Forwarded message ------From: **kimberly scheingart** <REDACTED> Date: Thu, Mar 3, 2022 at 4:07 PM Subject: 5th & Carpenter Proposal To: mwaffle@ci.carmel.ca.us <mwaffle@ci.carmel.ca.us>

Date: 3/3/22

Hi Marnie -

We just wanted to communicate that we totally support the neighborhood concerns about size of the structures being proposed. It is just too tall and too big. We have read the letter submitted by the neighborhood (Tom & Nancy Stevens, Ali McDaniel, Sharon de St. Jeor and Suzanne & Tom Quinlan) and are in agreement with all the issues raised. These are serious issues and it would be great if the city encourages the applicant to resubmit a plan that eliminates these concerns and respects all of us.

Please add our name to this neighborhood letter.

All the best,

Roy and Kim Scheingart

REDACTED



CITY OF CARMEL-BY-THE-SEA PLANNING COMMISSION Staff Report

March 9, 2022 PUBLIC HEARINGS

Property Owner: Andrew S. and Debra S. Rachleff

то:	Chair LePage and Planning Commissioners			
SUBMITTED BY:	Marnie R. Waffle, AICP, Principal Planner			
APPROVED BY:	Brandon Swanson, Community Planning & Building Director			
SUBJECT:	DS 21-211 (Rachleff): Consideration of a CONCEPT Design Study for additions totaling 530 square feet to a 1,650 square-foot two-story residence located on a double frontage lot on San Antonio Avenue and Scenic Road 3 north of 13th Avenue in the Single-Family Residential (R-1), Archaeological Significance Overlay (AS), Park Overlay (P), Beach & Riparian Overlay (BR), and Coastal Commission Appeal Jurisdiction. APN 010-292-007-000			
Application: D	S 21-211 (Rachleff) APN: 010-292-007-000			
Block:A5	Lot: 5			
Location: Sce	nic Road & San Antonio Avenue 3 North of 13th Avenue			

Executive Summary:

Applicant: Braden Sterling, Architect

The project is a substantial alteration of a nonconforming 1,650 square-foot two-story residence including additions totaling 530 square feet, a new detached garage on San Antonio, basement, and associated site improvements on a 4,622 square-foot lot. The residence was reviewed for historical significance and was ineligible for the Carmel Historic Inventory on December 29, 2020. No trees are proposed for removal.

Recommendation:

Adopt a Resolution (Attachment 1) accepting the Concept Design Study for additions totaling 530 square feet to a 1,650 square-foot two-story residence located on a double frontage lot on Scenic Road and San Antonio Avenue 3 north of 13th Avenue in the Single-Family Residential (R-1), Archaeological Significance (AS), Park (P), Beach & Riparian (BR), and Coastal Commission Appeal Jurisdiction Overlay Districts.

Background and Project Description:

The residence was designed by Thomas S. Elston, Jr. in the mid-century modern style for James W.

Lawson and constructed in 1950. The residence has been highly altered and was ineligible for the local historic inventory. The residence is located in several zoning overlay districts, including the Beach and Riparian Overlay, and is legal-nonconforming with respect to building height. The maximum permitted building height in the overlay district is 18 feet, and the residence is 20 feet tall. The applicant is proposing a substantial remodel that preserves the existing nonconformity and adds 530 square feet of floor area to the residence, including a basement on the east side of the lot.

Staff Analysis:

Beach and Riparian Overlay (CMC 17.20.120 to .200): The purpose of the beach and riparian overlay is to ensure development is compatible with the public enjoyment of the City's coastal resources. In the event of conflicts between overlay districts, the regulations of this district shall prevail. The development shall be sited and designed to protect public views to and along the ocean and scenic coastal areas and be visually compatible with the character of the surrounding area. All utilities between the property and the source in the right-of-way shall be placed underground. A drainage system shall be provided to minimize erosion and runoff, and to infiltrate and filter stormwater prior to conveyance off-site.

<u>Staff Response</u>: The project site is developed with a two-story single-family residence. There is no existing public access through the property to the beach. Protection of private views is discussed below in the section, *Privacy and Views*. Standard conditions of approval regarding undergrounding of service laterals and preparation of a drainage plan are typically included at final details but are included as Recommendation/Draft Condition of Approval No. 's 2 and 3 (Attachment 1). With the application of conditions of approval, the project is consistent with the purpose of the Beach and Riparian Overlay District.

Park Overlay (CMC 17.20.070 to .110): The purpose of the park overlay district is to implement the General Plan/Coastal Plan Land Use Plan and ensure the development of private property adjacent to parks and open spaces is compatible with their continued enjoyment. Construction activity within the Park Overlay must adhere to the following standards: 1) the site design must include a drainage plan that is adequate to prevent erosion and excess runoff; 2) sites must be connected to the sanitary sewer system; 3) trees cannot be removed without written approval from the City Forester; 4) all construction must be set back 15 feet from a property line that also constitutes a park boundary; and, 5) the site design shall include a landscaping plan.

<u>Staff Response</u>: The project site is currently developed with a two-story single-family residence and is connected to the sanitary sewer system. Preparation of a preliminary drainage plan before final details review is included as Recommendation/Draft Condition of Approval No. 3 (Attachment 1). A preliminary landscape plan has been included with the Concept review (Attachment 3, Sheets L-1.0 thru L-3.0) and will be reviewed by the City Forester prior to final details review. No trees are proposed for removal, and the project site does not share a property line with a park boundary. With the application of conditions of approval, the project is consistent with the purpose of the Park Overlay District.

Archaeological Significance Overlay (CMC 17.20.020 to .060): Applications for new construction or additions, alterations, and remodels involving excavation of undisturbed earth shall include an Archaeological Resource Management Report (ARMR), prepared according to the guidelines established in CMC 17.32.060. Additionally, if any human remains are found at any time during construction, work shall stop, and the applicant or his/her agent on the site shall immediately notify the Monterey County Coroner in compliance with applicable State requirements.

<u>Staff Response</u>: The project site is developed with a two-story single-family residence surrounded by other single-family homes. The proposed residence is substantially the same footprint as the existing home.

Therefore, an ARMR is not required as existing development has already disturbed the ground. In addition, a standard condition of approval regarding the unearthing of human remains is typically included at final details but has also been included as Recommendation/Draft Condition of Approval No. 4 (Attachment 1). With the application of conditions of approval, the project is consistent with the purpose of the Archaeological Significance Overlay District.

Coastal Commission Appeal Jurisdiction Overlay: The project site is within the Coastal Commission Appeal Jurisdiction. After all local remedies have been exhausted, the project may be appealed by any aggrieved party to the Coastal Commission for consideration. The grounds for appeal are limited to an allegation that the project does not conform to the City's certified Local Coastal Program or the public access policies outlined in the Coastal Act.

Legal Nonconforming Status

The existing two-story residence is legal-nonconforming with respect to building height. The Beach & Riparian Overlay District restricts the height of structures to 18 feet, and the residence is 20 feet. Therefore, the following code sections apply to the project:

CMC 17.36.020.A. A building or structure that was lawfully established, but does not conform to existing zoning regulations, shall be deemed a **nonconforming structure** and may be used and maintained as provided in this chapter [17.36].

CMC 17.36.030.A & B. A lawful nonconforming structure may be **maintained, repaired, or altered** as long as such maintenance, repair, or alteration **does not increase the nonconformity** and all work performed conforms to all of the requirements of this chapter. And, alterations, repairs or remodeling that enlarge, extend or increase a nonconforming feature of a building shall be prohibited.

CMC 17.36.040.D & E. The **demolition** of any nonconforming building or structure shall require that all new construction on the site meet all requirements for new buildings and structures. And, the **substantial alteration** of any nonconforming building or structure, **that includes removal of any nonconforming building element or structural element**, shall require correction of that specific nonconforming building element or structural element in conformance with all requirements for new construction. The removed nonconformity shall not be rebuilt or reestablished at that location on the site or elsewhere on the site.

Recommendation/Draft Condition of Approval No. 5 states, *If the existing second-story ridge beam or structural roof framing is removed, the height of the building shall be lowered to a maximum of 18 feet from existing or final grade, whichever is more restrictive.* With the application of conditions, the project is consistent with chapter 17.36, nonconforming uses and buildings.

The following is an analysis of the project's consistency with the Residential Design Guidelines.

Forest Character: Residential Design Guidelines 1.1 through 1.4 encourages preserving significant trees and minimizing impacts on established trees; protecting the root systems of all trees to be preserved; and, maintaining a forested image on the site.

<u>Staff Response</u>: The City Forester identified seven Monterey cypress trees on the property. Six trees are rated significant and one not significant (tree no. 3). The zoning code (CMC Section 17.34.070 - *Landscaping Standards for Residential Districts*) requires that upper and lower canopy trees be planted as a component of development projects if needed. Therefore, the City Forester recommends planting three lower canopy trees. This requirement is included as Recommendation/Draft Condition of Approval

No. 6 (Attachment 1). With the application of conditions of approval, the project meets the objectives of forest character.

Privacy and Views: Residential Design Guidelines 5.1 through 5.3 encourages designs that preserve reasonable privacy for adjacent properties and maintain view opportunities to natural features.

<u>Staff Response</u>: The project includes minor window modifications on the north elevation. The proposed windows are modest and located on the first floor except for one taller window located at the internal staircase connecting the first and second floors. Staff does not anticipate a privacy impact to the northern neighbor. As of the writing of this report, staff has not been contacted by the north neighbor regarding any privacy concerns.

On the south elevation, the applicant is proposing to replace the modest-sized windows with larger expanses of glass. However, staff did not identify any potential privacy impacts to the southern neighbor, and as of the writing of this report, staff has not been contacted by the southern neighbor. Recommendation/Draft Condition of Approval No. 7 requires submittal of a window schedule prior to final details review (Attachment 1).

Staff did not identify any view impacts and, as of the writing of this report, has not been contacted by any neighbors with view impact concerns. The existing 471 square-foot second floor would remain in the current location with a slight reduction in floor area (34 square feet) by excluding the square footage of the internal staircase connecting the first and second floors. To preserve the nonconformity, the existing roof structure must be retained in its current form. Removal of the ridge beam or structural members of the roof would require that the height of the residence be reduced from 20 feet to 18 feet.

A 150 square-foot second-floor master deck is proposed on the south and east sides of the residence. The deck is proposed to have a glass railing on the south side and a solid railing on the east side. This deck could pose a privacy impact to the southern neighbor; however, it is difficult to tell whether the deck would provide views into the southern neighbor's residence with the amount of existing vegetation. As of the writing of this report, staff has not been contacted by the southern neighbor.

With the application of conditions of approval, the project meets the objectives of privacy and views.

Parking and Access: Residential Design Guidelines 6.1 through 6.7 encourages subordinate parking facilities that do not dominate the design of the house or site; minimizing the amount of paved surface for a driveway; positioning garages to maximize open space, views and privacy; and, minimizing visual impacts.

<u>Staff Response</u>: The existing 399 square-foot attached garage is accessed from San Antonio Avenue and would be demolished and replaced with a 237 square-foot detached garage. The minimum square footage for required parking is 200 square feet. The garage would maintain a 15-foot setback from the front property line on San Antonio Avenue, would be 20 feet deep, and both 11 feet, 10 inches wide and tall. As proposed, the garage presents as a subordinate structure to the residence. The driveway design consists of impermeable stepping stone paving blocks spaced at equal intervals to allow water to permeate the soil between the stones. As proposed, the garage and driveway meet the requirements for parking and access.

Garage Finish Details: The garage is proposed to be finished with a combination of board-formed concrete and horizontal aged cedar siding. The roof is proposed to be a combination of flat and gable roof forms, with an awning over the garage door. The front and rear gables are proposed to have cedar in-lay roof louvers. The gable roof material is proposed to be standing seam metal in a bronze color.

Recommendation/Draft Condition of Approval No. 8 requires that a 3-dimensional colored rendering of the San Antonio Avenue streetscape be provided before final details review.

Mass and Bulk: Residential Design Guidelines 7.1 through 7.7 encourages a building's mass to relate to the context of other homes nearby; minimize the mass of a building as seen from the public way or adjacent properties; and, relate to a human scale in its basic forms.

<u>Staff Response</u>: The existing two-story residence would not substantially change in massing. Due to the nonconforming building height, the second story would remain in its current location and form except for the addition of the master deck on the south elevation. The additions would occur on the first floor and a new 416 square-foot basement level that would be entirely below grade. The project is consistent with the objectives of mass and bulk.

Building and Roof Form: Residential Design Guidelines 8.1 through 8.5 encourages traditional building forms; using restraint with variations in building planes; using simple roof forms that are in proportion to the scale of the building; and, roof eave lines that are low in scale.

<u>Staff Response</u>: The existing building form is irregular in plan, and this would not change substantially with the proposed additions/alterations. A recess in the building wall on the north elevation would be filled in, and the entry courtyard on the south elevation would be replaced with new floor area (Attachment 3, Sheet A-1.1).

The gable roof form on the first floor and cross gable on the second floor would remain largely the same. Recommendation/Draft Condition of Approval No. 9 requires the applicant to provide an existing and proposed roof plan with roof pitch callouts before final details review (Attachment 1). The roof eaves vary in depth from 15 inches to 3 feet and are differentiated from the metal roof with cedar in-lay roof louvers. With the application of conditions of approval, the project meets the objectives of building and roof form.

Right-of-way Character: Residential Design Guidelines 1.5 through 1.7 encourages maintaining an informal open space character of the right-of-way; maintaining trees and natural vegetation; and, designing parking areas to reinforce the forest image.

<u>Staff Response</u>: As a double frontage lot, the property has right-of-way on San Antonio Avenue and Scenic Road, both of which are attractively landscaped. The right-of-way on San Antonio Avenue provides for offstreet parking. Large rocks loosely define the edge of the parking area. The Monterey cypress trees are located on the project site. The Scenic Road frontage is sloped and includes a mix of plants as well as a few large boulders and a stepping stone path. No parking is permitted at this location on Scenic Road. The preliminary landscape plan submitted for Concept review does not identify the existing landscaping in the right-of-way or any proposed changes. Recommendation/Draft Condition of Approval No. 10 requires all right-of-way encroachments to be removed before Planning final inspection after construction (Attachment 1). With the application of conditions of approval, the project is consistent with the objectives of right-of-way character.

Exterior Lighting: Carmel Municipal Code Section 15.36.070.B.1 states that all exterior lighting attached to the main building or any accessory building shall be no higher than 10 feet above the ground and shall not exceed 25 watts (incandescent equivalent; i.e., approximately 375 lumens) in power per fixture, and that landscape lighting shall not exceed 18 inches above the ground nor more than 15 watts (incandescent equivalent; i.e., approximately 375 lumens) in power per fixture, and that landscape lighting shall not exceed 18 inches above the ground nor more than 15 watts (incandescent equivalent; i.e., approximately 225 lumens) per fixture. In addition, Residential Design Guideline 11.8 states that projects should "preserve the low nighttime lighting character of the residential neighborhoods. Use lights only where needed for safety and at outdoor activity areas."

<u>Staff Response</u>: The landscape lighting proposed includes two drive lights on the north side of the driveway on San Antonio Avenue and nine wall-mounted path lights. The drive lights are mounted flush with the ground, shielded, and direct light horizontally to illuminate the driveway's surface. The LED light is 3 watts and is expected to be less than the 225 lumens permitted for landscape lighting; however, the lumen level was not included. Recommendation/Draft Condition of Approval No. 11 requires additional lighting information be provided for final details review. The wall-mounted path light is a 3.4 watt LED that emits 9 lumens. Wall-mounted lighting at the residence's exterior doors will be provided at the final details review.

Fencing/Walls/Gate: Residential Design Guidelines 11.1 through 11.7 encourage designing without a fence or wall along the street frontage; respecting the neighborhood context when designing a fence or wall; preserving the open space resources of the immediate neighborhood; designing garden walls to be low in scale with a matte, masonry finish; and, gates that create a sense of entry by distinguishing them from an adjoining fence or wall.

<u>Staff Response</u>: The preliminary landscape plan identifies a new 6-foot high metal wall and powder-coated metal entry gate on the San Antonio Avenue frontage. Recommendation/Draft Condition of Approval No. 12 requires additional details for the wall and gate to be provided at the final details review. The existing wood fence is proposed to remain on the Scenic Road frontage and a new 48-inch tall gate installed on the north end. 48-inch high "fence infill side panels" are proposed at the middle portion of the fence. Recommendation/Draft Condition of Approval No. 13 requires additional details for the fence panels and gate to be provided at final details review.

Site Coverage: Carmel Municipal Code Section 17.10.030 limits the amount of site coverage to 22 percent of the base floor area. A bonus of 4 percent of the lot size is allowed when at least half of all site coverage is permeable/semi-permeable. Permeable/semi-permeable materials include *gravel*, *spaced decking*, and *exterior stairs*, *sand-set bricks or pavers*, *garden walkways of small paving stones*, *and arbors*. Impermeable materials include *asphalt*, *concrete*, *mortared brick and stone*, *decomposed granite*, *unspaced decking and balconies at any level*, *garden walls*, *solariums*, *bridges*, *sheds not counted as floor area*, *ponds*, *hot tubs*, and *swimming pools*.

Carmel Municipal Code Section 17.10.030.C.2 (Nonconforming Site Coverage) states that sites not in compliance with site coverage limits shall not be authorized to increase site coverage. Sites with excess coverage may only add floor area when 1) the site complies with the R-1 district tree density provisions, and there is sufficient space to protect root zones and provide for new growth; and 2) excess site coverage will be reduced at a rate equal to two times the amount of floor area added to the site or to an amount that complies with site coverage limits, whichever is less.

<u>Staff Response</u>: The site is nonconforming concerning site coverage. Maximum permitted site coverage is 630 square feet if 315 square feet is permeable/semi-permeable and the site contains 1,726 square feet of site coverage, all of which is impermeable. Based on a net increase in floor area of 530 square feet, the project is required to reduce site coverage by 1,060 square feet. The applicant is proposing 239 square feet of impermeable site coverage and 403 square feet of permeable/semi-permeable site coverage for a total of 642 square feet, a reduction of 1,084 square feet. As proposed, the project meets the requirements of site coverage.

Skylights: No skylights are proposed as part of this project.

Staff recommends pursuant to CEQA regulations, the application be found "not be a project" pursuant to section 15378 of the CEQA Guidelines. Acceptance of a Concept Design Study does not grant any permits or entitlements approving a project which would result in a direct or indirect physical change in the environment. A CEQA analysis and determination will be conducted as part of the Final Details hearing.

Attachment 1 - Resolution 2022-XX-PC Attachment 2 - Project Data Table Attachment 3 - Project Plans

CITY OF CARMEL-BY-THE-SEA PLANNING COMMISSION

PLANNING COMMISSION RESOLUTION NO. 2022-XX-PC

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF CARMEL-BY-THE-SEA ACCEPTING A CONCEPT DESIGN STUDY FOR ADDITIONS TOTALING 530 SQUARE FEET TO A 1,650 SQUARE-FOOT TWO-STORY RESIDENCE LOCATED ON A DOUBLE FRONTAGE LOT ON SCENIC ROAD AND SAN ANTONIO AVENUE 3 NORTH OF 13TH AVENUE APN 010-292-007

WHEREAS, Braden Sterling, Architect ("Applicant") submitted an application on behalf of Andrew S. and Debra S. Rachleff ("Owner") requesting approval of a Track 2 Design Study (DS 21-211, Rachleff) described herein as ("Application"); and

WHEREAS, the project site is a 4,622 square-foot double frontage lot located on Scenic Road and San Antonio Avenue 3 north of 13th Avenue in the Single-Family Residential (R-1), Archaeological Significance (AS), Park (P), Beach & Riparian (BR), and Coastal Commission Appeal Jurisdiction Overlay Districts (Block A5, Lot 5); and

WHEREAS, the Applicant is requesting to construct additions totaling 530 square feet to a 1,650 square-foot two-story residence and in accordance with Carmel Municipal Code (CMC) Section 17.58.040 (Residential Design Review) requires approval of a Design Study by the Planning Commission; and

WHEREAS, a Coastal Development Permit is required in accordance with CMC 17.52.090 (Coastal Development Permit Required) and will be considered at the Final Details hearing; and

WHEREAS, the California Environmental Quality Act (California Public Resources Code §§ 21000, *et seq.*, "CEQA"), together with State Guidelines (14 California Code Regulations §§ 15000, *et seq.*, the "CEQA Guidelines") and City Environmental Regulations (CMC 17.60) require that certain projects be reviewed for environmental impacts and that environmental documents be prepared; and

WHEREAS, pursuant to CEQA regulations, the Application is "not be a project" pursuant to section 15378 of the CEQA Guidelines. Acceptance of a Concept Design Study does not grant any permits or entitlements approving a project which would result in a direct or indirect physical change in the environment; and

WHEREAS, a CEQA analysis and determination will be conducted as part of the Final Details hearing; and

WHEREAS, notice of the public hearing was published on February 25, 2022 in compliance with State law (California Government Code 65091), and was posted on the project site and hand-

Resolution No. 2022-XX-PC Page 2 of 5

delivered by the Applicant to each property within a 100-foot radius of the project site indicating the date and time of the public hearing; and

WHEREAS, on March 9, 2022, the Planning Commission held a duly noticed public hearing to receive public testimony regarding the Concept Design Study, including without limitation, information provided to the Planning Commission by City staff and through public testimony on the conceptual design of the project; and

WHEREAS, this Resolution and its findings are made based upon evidence presented to the Commission at the hearing date including, without limitation, the staff report and attachments submitted by the Community Planning and Building Department; and

WHEREAS, the Planning Commission did hear and consider all said reports, attachments, recommendations and testimony herein above set forth and used their independent judgement to evaluate the project; and

WHEREAS, the facts set forth in the recitals are true and correct and are incorporated herein by reference.

NOW, THEREFORE, BE IT RESOLVED, that the Planning Commission of the City of Carmel-By-The-Sea does hereby make the following findings and determinations regarding the **Concept Design Study**:

FINDINGS REQUIRED FOR ACCEPTANCE OF THE CONCEPT DESIGN STUDY		
For each of the required findings listed below, staff has indicated whether the application		
supports adoption of the findings. For all findings checked "no" the staff report dis	•••	
issues to facilitate the Planning Commission decision-making. Findings checked "ye		
may not be discussed in the report depending on the issues.		,
CMC 17.64.080.A, Concept Phase Approval Findings	YES	NO
1. The project conforms with all zoning standards applicable to the site, or has	\checkmark	
received appropriate use permits and/or variances consistent with the zoning	•	
ordinance.		
2. The project is consistent with the City's design objectives for protection and	√	
enhancement of the urbanized forest, open space resources and site design. The		
project's use of open space, topography, access, trees and vegetation will maintain		
or establish a continuity of design both on the site and in the public right of way that		
is characteristic of the neighborhood.		
3. The project avoids complexity using simple/modest building forms, a simple roof	\checkmark	
plan with a limited number of roof planes and a restrained employment of offsets		
and appendages that are consistent with neighborhood character yet will not be		
viewed as repetitive or monotonous within the neighborhood context.		
4. As conditioned, the project is adapted to human scale in the height of its roof,	\checkmark	
plate lines, eave lines, building forms, and in the size of windows doors and		

entryways. The development is similar in size, scale, and form to buildings on the immediate block and neighborhood. Its height is compatible with its site and surrounding development and will not present excess mass or bulk to the public or to adjoining properties. Mass of the building relates to the context of other homes in the wisinity.		
in the vicinity.		
5. The project is consistent with the City's objectives for public and private views and	\checkmark	
will retain a reasonable amount of solar access for neighboring sites. Through the		
placement, location and size of windows, doors and balconies the design respects		
the rights to reasonable privacy on adjoining sites.		
6. The design concept is consistent with the goals, objectives and policies related to	\checkmark	
residential design in the general plan.		
7. The development does not require removal of any significant trees unless	\checkmark	
necessary to provide a viable economic use of the property or protect public health		
and safety. All buildings are setback a minimum of 6 feet from significant trees unless		
otherwise agreed upon by the City Forester.		
8. The proposed architectural style and detailing are simple and restrained in	\checkmark	
character, consistent and well integrated throughout the building and		
complementary to the neighborhood without appearing monotonous or repetitive		
in context with designs on nearby sites.		
9. The proposed exterior materials and their application rely on natural materials	1	
and the overall design will add to the variety and diversity along the streetscape.	•	
10. Design elements such as stonework, skylights, windows, doors, chimneys and	\checkmark	
garages are consistent with the adopted Design Guidelines and will complement the	v	
character of the structure and the neighborhood.		
11. Proposed landscaping, paving treatments, fences and walls are carefully	√	
	▼	
designed to complement the urbanized forest, the approved site design, adjacent		
sites, and the public right of way. The design will reinforce a sense of visual continuity		
along the street.		
12. Any deviations from the Design Guidelines are considered minor and reasonably relate to good design principles and specific site conditions.	\checkmark	
	1	

BE IT FURTHER RESOLVED that the Planning Commission of the City of Carmel-by-the-Sea does hereby **ACCEPT** the Concept Design Study (DS 21-211, Rachleff) for additions totaling 530 square feet to a 1,650 square-foot two-story residence located on a double frontage lot on Scenic Road and San Antonio Avenue 3 north of 13th Avenue (APN 010-292-007), subject to the following Recommendations/Draft Conditions:

Recommendations/Draft Conditions		
No.		
1.	Volume Study. The required Volumetric Study shall be successfully completed prior	\checkmark
	to scheduling for Final Details Review. The applicant shall provide one full size	
	printed set of plans following Concept Hearing to the Community Planning and	
	Building Department as part of the required Volume Study. Any additional changes	

	required by the Planning Commission at the Concept Hearing that would affect volume (changes in massing, heights, site planning, grading, etc.) shall be incorporated into the plans submitted for the volume study.	
2.	Service Laterals. All electrical service laterals to any new building or structure, or to any building or structure being remodeled when such remodeling requires the relocation or replacement of the main service equipment, shall be placed underground on the premises upon which the building or structure is located. Undergrounding will not be required when the project valuation is less than \$200,000 or when the City Forester determines that undergrounding will damage or destroy significant trees(s) (CMC 15.36.020).	✓
3.	Drainage Plan. Prior to final details review, the applicant shall provide a preliminary drainage plan consistent with the City's drainage guidance, SOG 17-07 for review by the Environmental Compliance Manager. At a minimum, new and replaced impervious area drainage must be dispersed around the site rather than focused into one corner of the property, infiltration features must be sized appropriately and must be located at least 6 feet from neighboring properties. The drainage plan shall include information on drainage from new impervious areas and semi-pervious areas.	✓
4.	Cultural Resources. All new construction involving excavation shall immediately cease if cultural resources are discovered on the site, and the applicant shall notify the Community Planning & Building Department within 24 hours. Work shall not be permitted to recommence until such resources are properly evaluated for significance by a qualified archaeologist. If the resources are determined to be significant, prior to resumption of work, a mitigation and monitoring plan shall be prepared by a qualified archaeologist and reviewed and approved by the Community Planning and Building Director. In addition, if human remains are unearthed during excavation, no further disturbance shall occur until the County Coroner has made the necessary findings as to origin and distribution pursuant to California Public Resources Code (PRC) Section 5097.98.	✓
5.	Nonconforming Second Story Roof Ridge. If the existing second story ridge beam or structural roof framing is removed, the height of the building shall be lowered to a maximum of 18 feet from existing or final grade, whichever is more restrictive.	✓
6.	Tree Planting Requirement. Prior to final details review, the applicant shall provide a preliminary landscape plan that identifies the size, location, and species of three lower canopy trees for review by the City Forester.	\checkmark
7.	Window and Door Schedule. Prior to final details review, the applicant shall submit a window and door schedule including the make, style, location, and material of all windows and doors for review by the Planning Division.	√
8.	San Antonio Avenue Color Streetscape Elevations. Prior to final details review, the applicant shall submit a color 3-dimensional renderings of the streetscape on San Antonio Avenue for review by the Planning Division.	✓
9.	Roof Plans. Prior to final details review, the applicant shall provide existing and proposed roof plans with roof pitch callouts for review by the Planning Division.	✓

10.	Right-of-Way Encroachments. Prior to Planning Final Inspection at the completion	\checkmark
	of construction, the applicant shall remove all rocks, boulders, and stepping stones	
	from the right-of-way on San Antonio Avenue and Scenic Road.	
11.	Landscape Lighting Product Information. Prior to final details review, the applicant	\checkmark
	shall submit additional product information for the landscaping lighting that	
	includes the maximum lumen level.	
12.	Metal Wall and Gate. Prior to final details review, the applicant shall submit an	<
	elevation drawing, rendering, representative photo and/or specification cut sheet	
	of the metal wall and gate on the San Antonio Avenue frontage.	
13.	Wood Fence Panels and Gate. Prior to final details review, the applicant shall submit	\checkmark
	an elevation drawing, rendering, representative photo and/or specification cut	
	sheet of the fence panels and gate on the Scenic Road frontage.	

PASSED, APPROVED AND ADOPTED BY THE PLANNING COMMISSION OF THE CITY OF CARMEL-BY-THE-SEA this 9th day of March, 2022, by the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

APPROVED:

ATTEST:

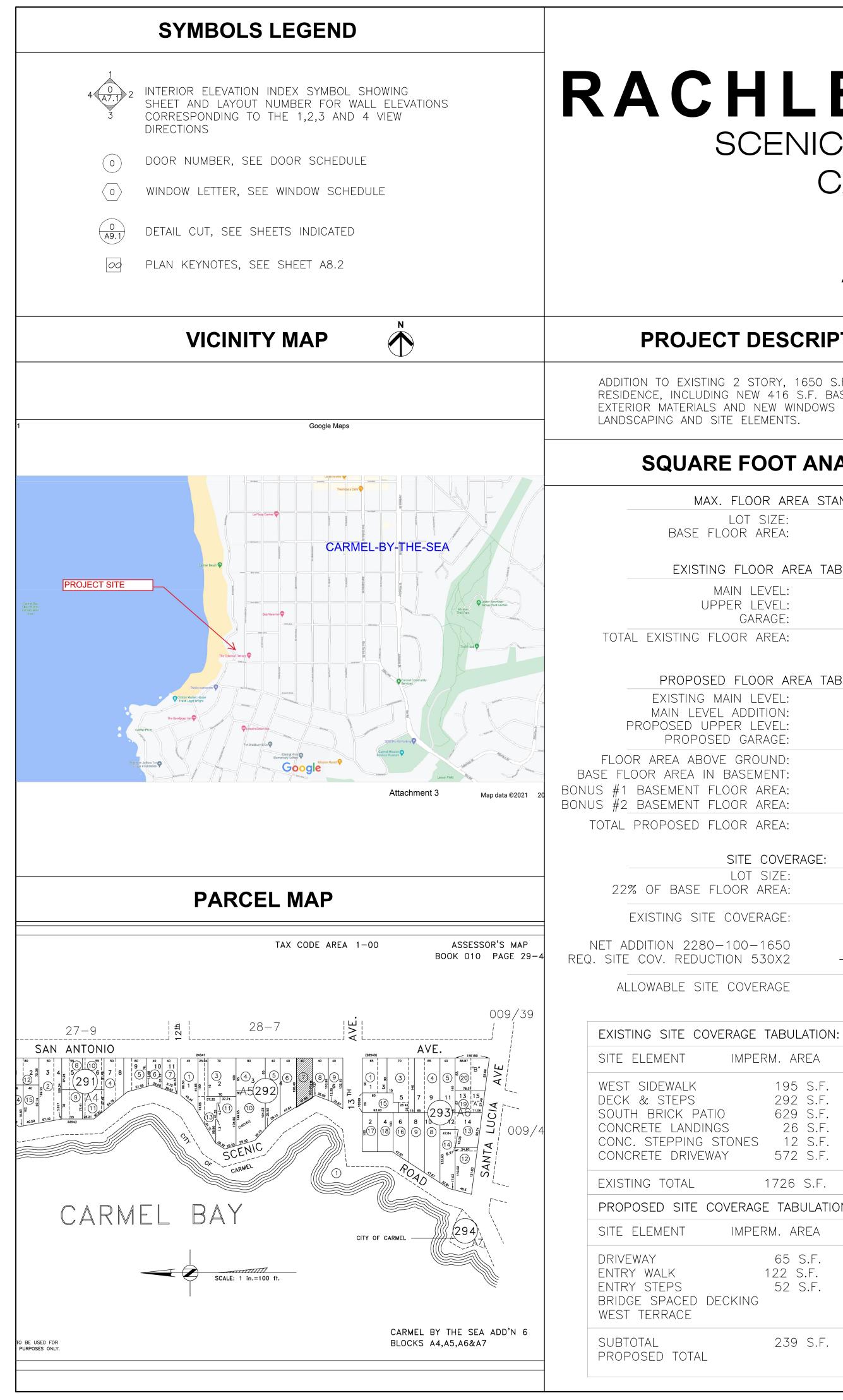
Michael LePage Chair

Leah Young Planning Commission Secretary DS 21-211 (Rachleff) March 9, 2022 Project Data Table Page 1 of 1

PROJECT DATA FOR A <mark>4,622</mark> SQUARE FOOT SITE			
Site Considerations	Allowed	Existing	Proposed
Floor Area	2,022 SF (44%)	1,650 SF	2,180 SF
Site Coverage	445 SF/630 SF	1,726 SF	642 SF
Trees (Upper/Lower)	4/3	7/0	7/3
Ridge Height (1 st /2 nd)	18'/18'	13' / 20'*	14'-2" (N.) / 20'-2" (N.)
Plate Height (1 st /2 nd)	12'/18'	9'-7"/ 17'-10"	9'-5" (N.) / 17'-10" (N.)
Setbacks	Minimum Required	Existing	Proposed
Front-Scenic Road	15′	9'-4" to stairs 10'5" to deck 15'-11" to house	2'-10" to terrace** 15'-11" to house
Front-San Antonio Ave	15'	21'-4"	15'-8" to garage 40'-4" to house
Composite Side Yard	10' (25%)	12'-9"	10'-3"
Side Yard	3'	8'-8" south 4'-1" north	6' south 4'-3" north

*The existing two-story ridge height is at an elevation of 88.46'.

**Terraces are permitted to encroach into all required setbacks with no limits. A terrace is defined as, an open, often unpaved area, at a single level and at grade, serving as an outdoor living area. N. = North Elevation



RACHLEFF RESIDENCE SCENIC ROAD, 3NE 13TH AVENUE CARMEL-BY-THE-SEA

A.P.N. 010-292-007

PROJECT DESCRIPTION

ADDITION TO EXISTING 2 STORY, 1650 S.F. SINGLE FAMILY RESIDENCE, INCLUDING NEW 416 S.F. BASEMENT. CHANGE IN EXTERIOR MATERIALS AND NEW WINDOWS AND DOORS. NEW

SQUARE FOOT ANALYSIS

FLOOR AREA	STANDARDS:	
LOT SIZE: DOR AREA:	4622 S.F. 2022 S.F.	
FLOOR AREA	TABULATION:	

AIN LEVEL:	780 S.F.
PER LEVEL:	471 S.F.
GARAGE:	399 S.F.
DOR AREA:	1650 S.F.

FLOOR AREA TA	ABULATION:	
AIN LEVEL: ADDITION: ER LEVEL: D GARAGE:	780 S.F. 410 S.F. 437 S.F. 237 S.F.	(-34 S.F.
GROUND: BASEMENT: DOR AREA: DOR AREA:	1864 S.F. 158 S.F. 100 S.F. 158 S.F.	
OOR AREA:	2280 S.F.	
LOT SIZE: DOR AREA:	4622 S.F. 445 S.F.	
COVERAGE:	1726 S.F.	
100-1650 ON 530X2	530 S.F. -1060 S.F.	
COVERAGE	666 S.F.	

IMPERM. AREA	PERM. AREA
195 S.F. 292 S.F. 629 S.F. S 26 S.F. TONES 12 S.F. Y 572 S.F.	
1726 S.F.	
VERAGE TABULATION:	
IMPERM. AREA	PERM. AREA
65 S.F. 122 S.F. 52 S.F. CKING	65 S.F. 338 S.F.
239 S.F.	403 S.F. 642 S.F.

ZONING DATA/BUILDING CODE

A.P.N.: LOT SIZE .: ZONING: OCCUPANCY GROUP: DESCRIPTION OF USE: TYPE OF CONSTRUCTION: SPRINKLERS: STORIES: HEIGHT LIMIT: BUILDING HEIGHT: TREE REMOVAL: PARKING REQUIRED: PARKING PROVIDED: GRADING: WATER PROVIDER: SEWER PROVIDER: FIRE DEPARTMENT:

010-292-007, POR. LOT 5, BLK A-5 4622 S.F. R-1, PARK OVERLAY, BEACH OVERLAY R-3 SINGLE FAMILY RESIDENTIAL TYPE V-B NO 2 W/ BASEMENT 18'-0" 20'-0" (EXISTING - NO CHANGE) NONE 1 SPACE 1 COVERED NONE CAL-AM WATER CAWD CARMEL FIRE DEPARTMENT

GENERAL NOTES

1. THIS PROJECT SHALL COMPLY WITH 2019 CALIFORNIA CODE OF REGULATIONS, TITLE 24 TO INCLUDE: CALIFORNIA RESIDENTIAL CODE (CRC), CALIFORNIA MECHANICAL CODE (CMC), CALIFORNIA PLUMBING CODE (CPC), CALIFORNIA ELECTRICAL CODE (CEC) CALIFORNIA ENERGY CODE (CEnC) AND CALIFORNIA GREEN CODE (CalGreen).

2. CONSTRUCTION WASTE MANAGEMENT: RECYCLE AND/OR SALVAGE FOR REUSE A MINIMUM OF 65 PERCENT OF THE NON-HAZARDOUS CONSTRUCTION AND DEMOLITION WASTE IN ACCORDANCE WITH THE CALIFORNIA GREEN BUILDING CODE, CHAPTER 4, DIVISION 4.4.

3. PRIOR TO BUILDING PERMIT FINAL APPROVAL, T HE PROPERTY SHALL BE IN COMPLIANCE WITH THE VEGETATION MANAGEMENT REQUIREMENTS PRESCRIBED IN CALIFORNIA FIRE CODE SECTION 4906, INCLUDING CALIFORNIA PUBLIC RESOURCES CODE 4291 OR CALIFORNIA GOVERNMENT CODE SECTION 51182 PER CRC R327.1.5.

PROJECT DIRECTORY

SITE ADDRESS: SCENIC ROAD, 3NE 13TH AVENUE

OWNER:

- CARMEL-BY-THE-SEA
 - ANDREW & DEBRA RACHLEFF 1125 WESTRIDGE DRIVE PORTOLA VALLEY, CA 94028
- ARCHITECTURE: STERLING HUDDLESON ARCHITECTURE P.O. BOX 221092 CARMEL, CA 93923 831.624.4363

SHEET INDEX

- SHEET NO. DESCRIPTION
- PROJECT DATA, DRAWING INDEX, VICINITY MAP T-1.1
- TOPOGRAPHIC SURVEY A - 1.0
- SITE PLAN
- A-1.1.1 GRADING QUANTITIES
- A-1.2 SITE ASSESSMENT

LANDSCAPE:

L1.0	LANDSCAPE SITE PLAN
L2.0	LANDSCAPE LIGHTING PLAN
L3.0	PLANTING PALETTE

ARCHITECTURAL:

- A-2.0 EXISTING FLOOR PLANS
- D-2.0 DEMOLITION PLAN
- A-2.1 PROPOSED FLOOR PLANS
- A-3.1 PROPOSED ROOF PLAN
- A-5.1 PROPOSED BUILDING SECTIONS
- A-6.0 EXISTING EXTERIOR ELEVATIONS
- PROPOSED EXTERIOR ELEVATIONS A-6.1
- EXISTING AND PROPOSED STREETSCAPE A-6.2
- A-6.3 EXISTING AND PROPOSED STREETSCAPE



STERLING | HUDDLESON

P.O. BOX 221092 CARMEL, CA. 93922 TEL. 831.624.4363

www.sterlinghuddleson.com

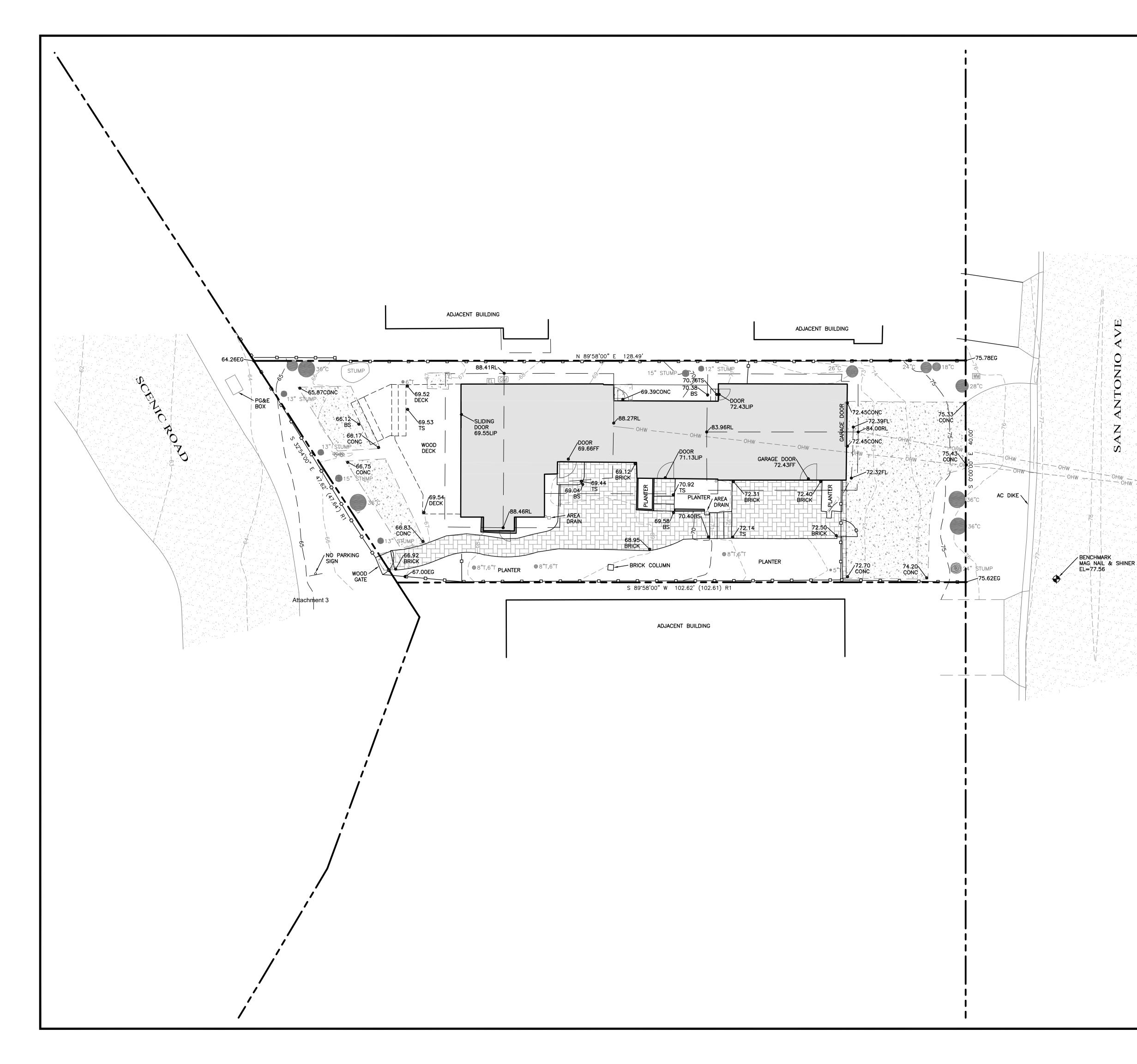
В С 9392 Ζ Ш . € ₹ C S Ζ Ш \mathbf{M} \square C NS Ш SCI C 4 4 Ú M

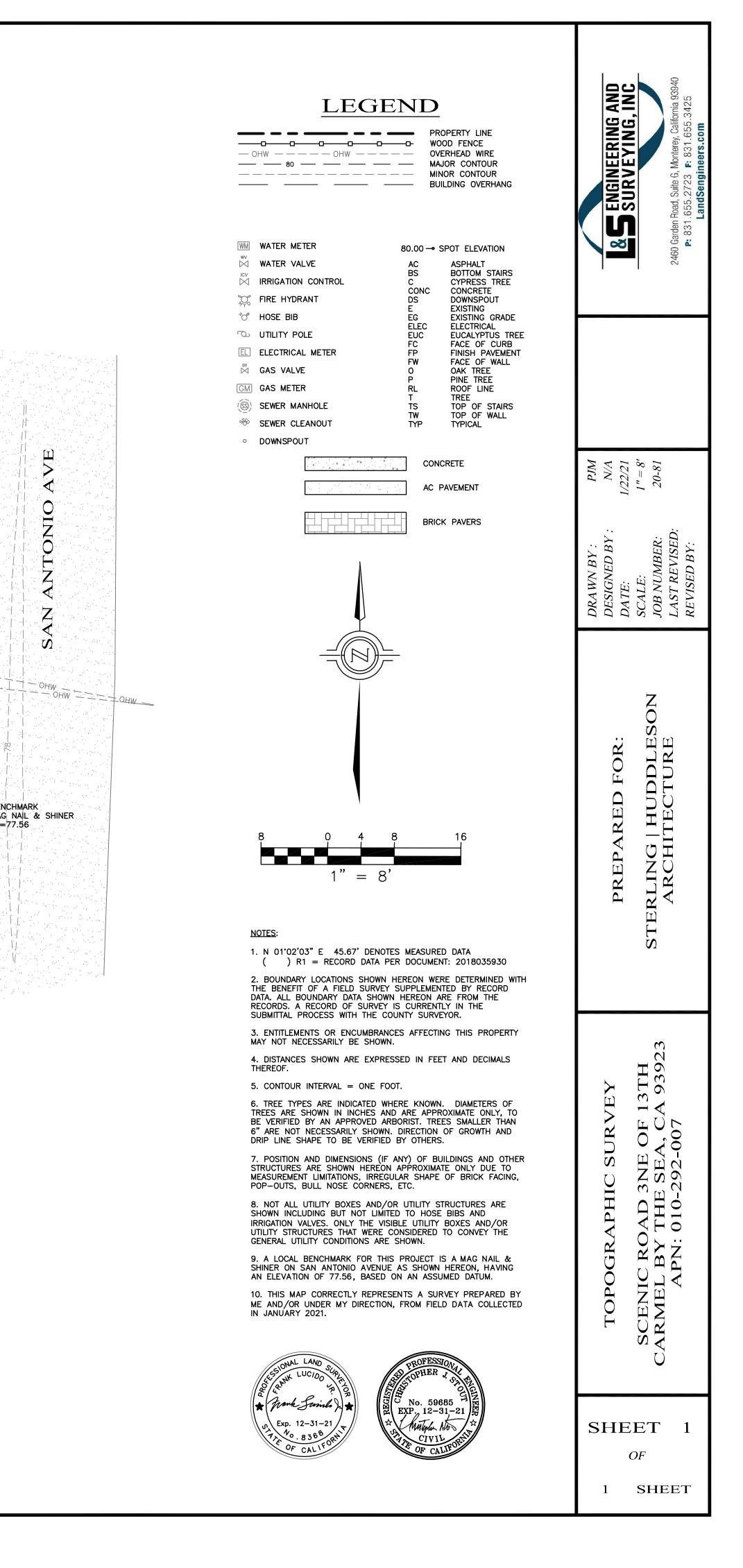
Prepared by:

PRELIMINARY

All ideas, designs and plans indicated o represented by these drawings are owned by and are the property of Sterling | Huddles and were created and developed for use in connection with the specified project. None of such ideas, designs or plans shall be used for any purpose without the written permission of Sterling | Huddleson Copyright 2020-2021. All rights reserved. Sterling | Huddleso

Action:	
01.26.22	PLANNING SUBMITTAL
Date:	01.25.22
Scale:	NONE
Drawn:	
Description	:
TITL	E SHEET
Sheet No:	
T-	1.1





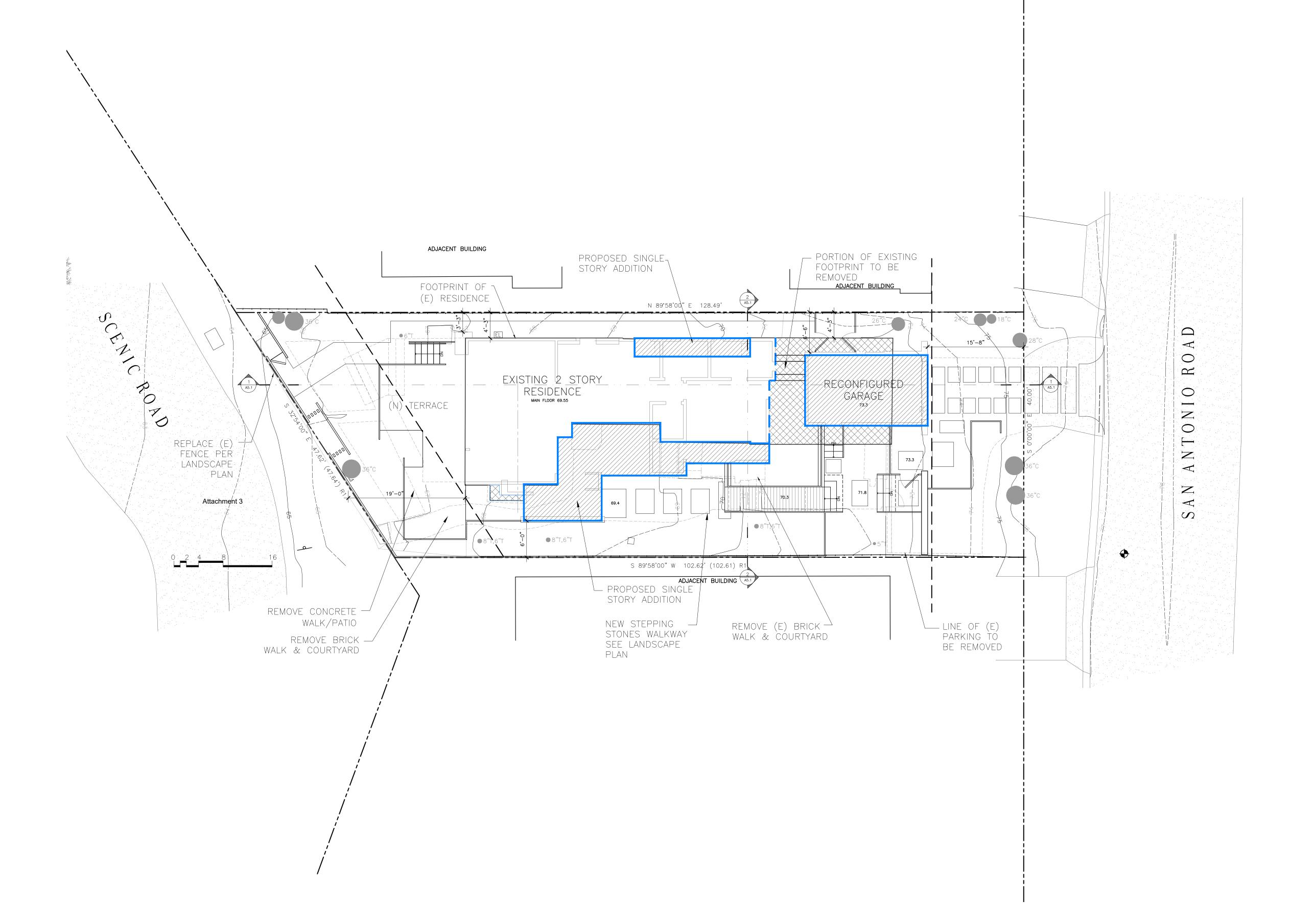
>

OINO

Ζ

Ζ

S





PROPOSED SITE PLAN

SCALE: 1/8"=1'-0"



STERLING | HUDDLESON

P.O. BOX 221092 CARMEL, CA. 93922 TEL. 831.624.4363

www.sterlinghuddleson.com

RACHLEFF RESIDENCE SCENIC ROAD, 3NE 13TH CARMEL-BY-THE-SEA, CA 93921 A.P.N. 010-292-007

Prepared by:

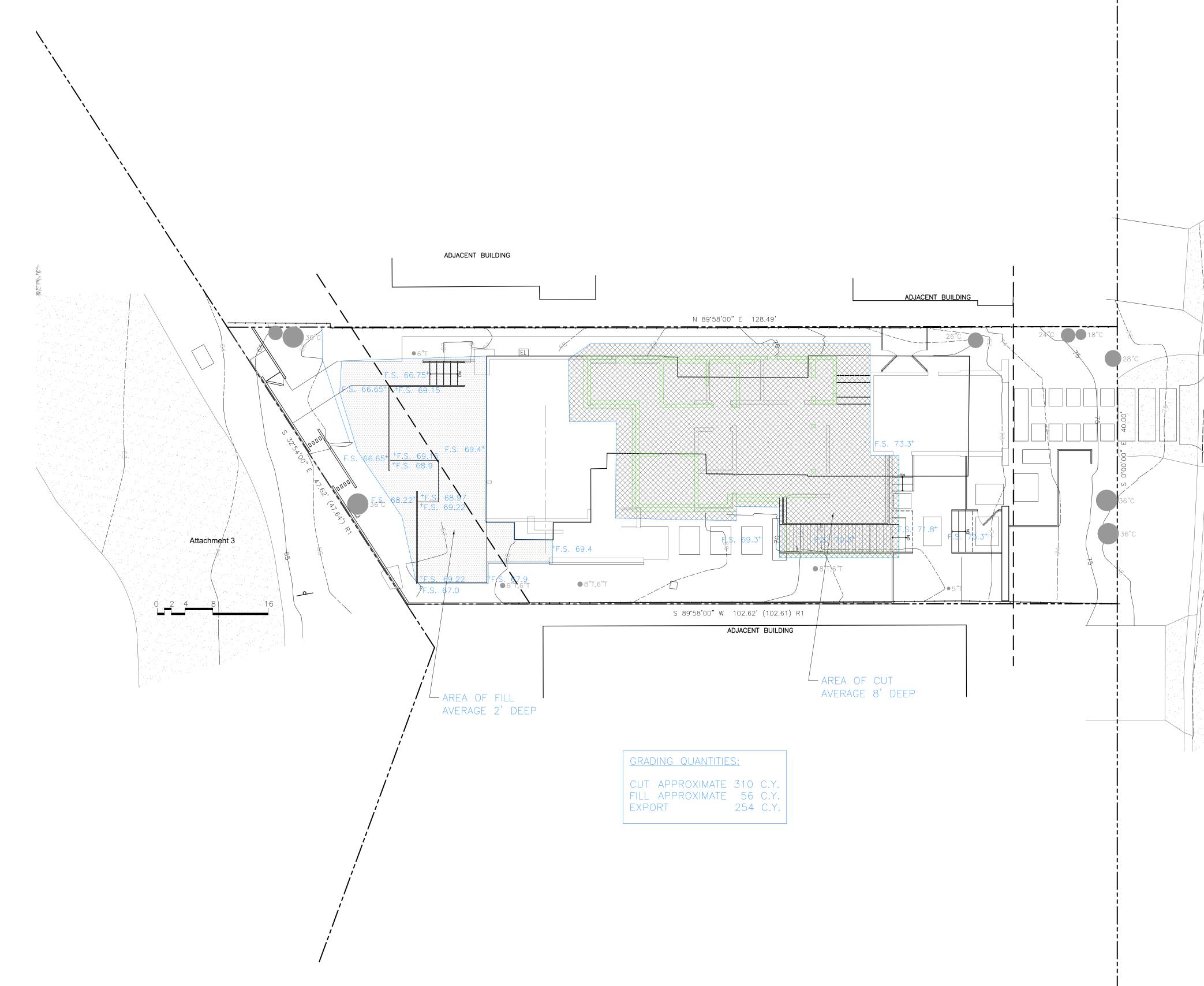
PRELIMINARY

All ideas, designs and plans indicated or represented by these drawings are owned by and are the property of Sterling | Huddleson and were created and developed for use in connection with the specified project. None of such ideas, designs or plans shall be used for any purpose without the written permission of Sterling | Huddleson Copyright 2020-2021. All rights reserved. Sterling | Huddleson

Action:

01.26.22 PLANNING SUBMITTAL

Date: 10.14.2021 Scale: 1/8"=1'-0" Drawn: Description: PROPOSED SITE PLAN Sheet No: A-1.1





PROPOSED SITE PLAN

SCALE: 1/8"=1'-0"



STERLING | HUDDLESON

P.O. BOX 221092 CARMEL, CA. 93922 TEL. 831.624.4363

www.sterlinghuddleson.com

RESIDENCE E 13TH CA 93921 **3NE .-SEA** AD \sim HTHE RO Ľ. \bigcirc $\overline{}$ \bigcirc SCENIC F CARMEL-BY Z RACHL \square

Prepared by:

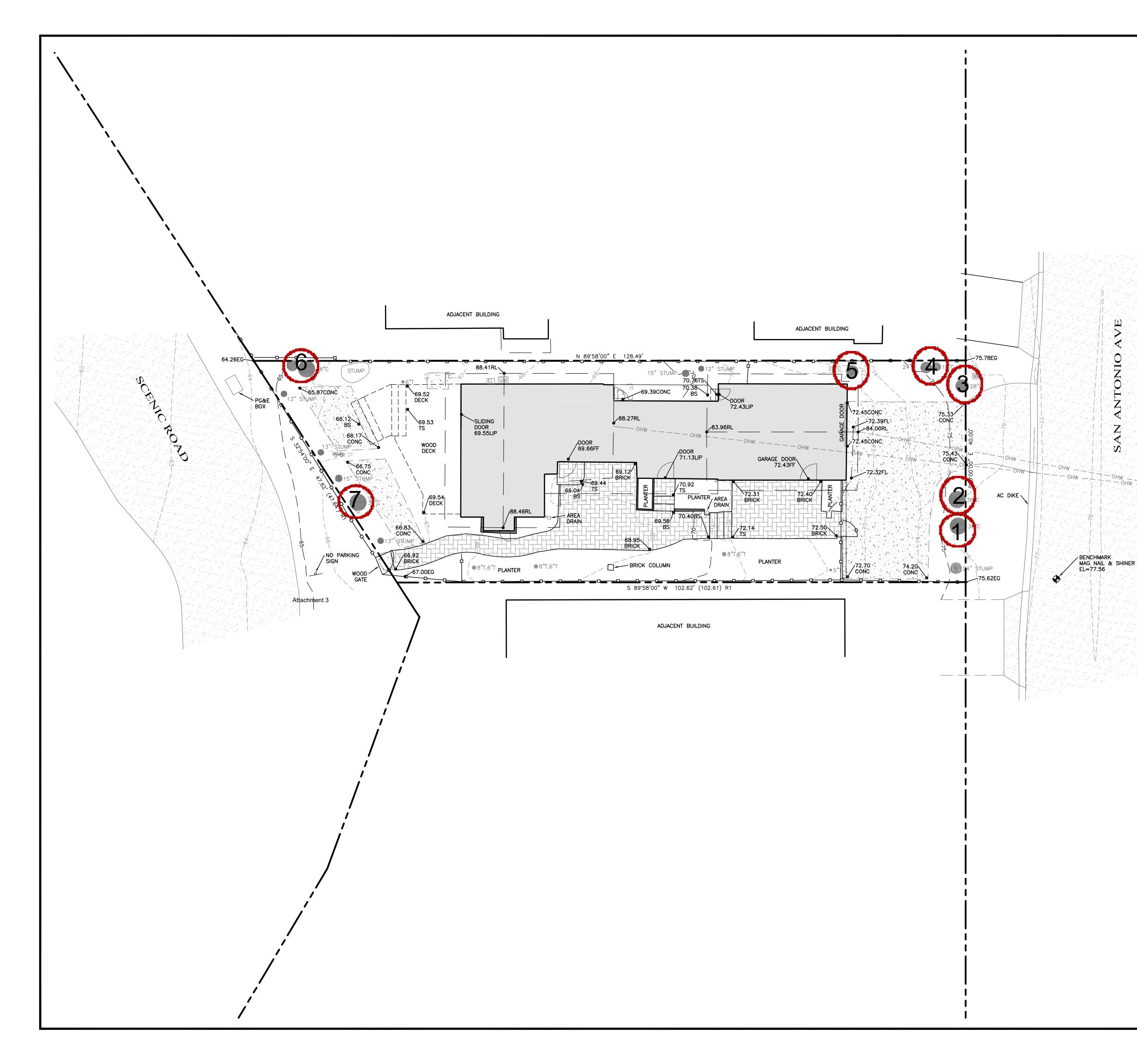
PRELIMINARY

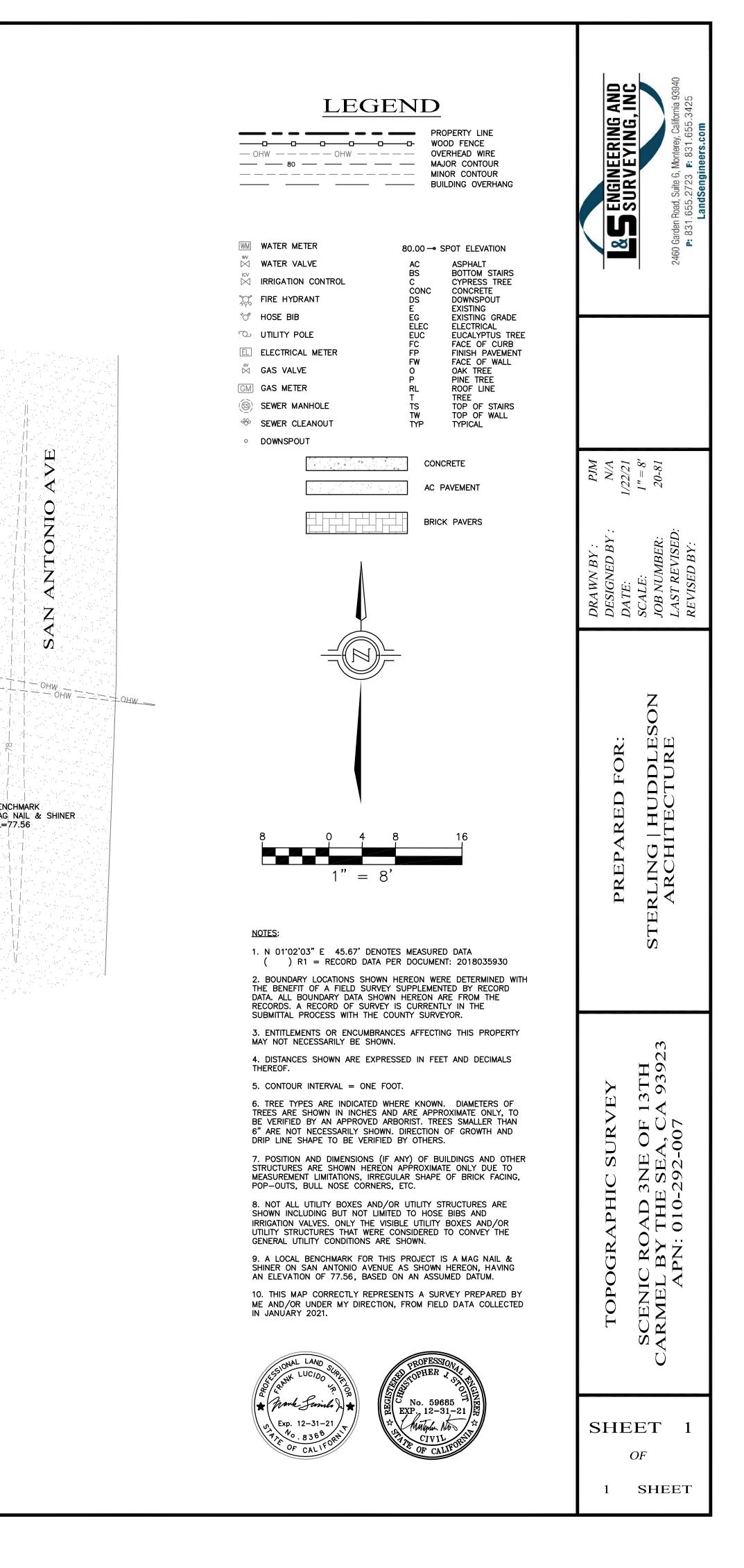
All ideas, designs and plans indicated or represented by these drawings are owned by and are the property of Sterling | Huddleson and were created and developed for use in connection with the specified project. None of such ideas, designs or plans shall be used for any purpose without the written permission of Sterling | Huddleson Copyright 2020-2021. All rights reserved. Sterling | Huddleson

Action:

01.26.22 PLANNING SUBMITTAL

Date: 01.25.22 Scale: 1/8"=1'-0" Drawn: Description: PROPOSED GRADING QUANTITIES Sheet No: A-1.1.1





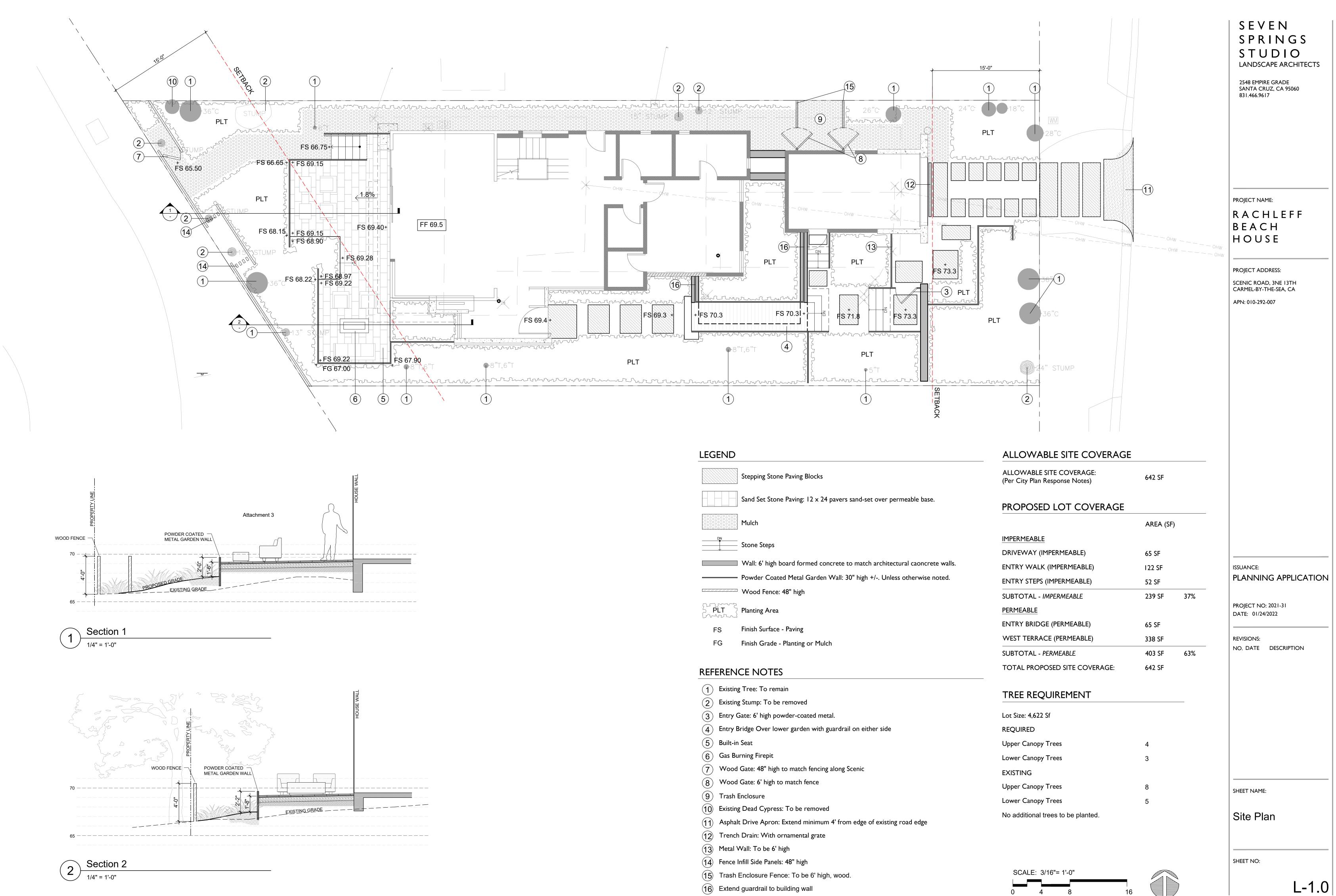
>

OINO

Ζ

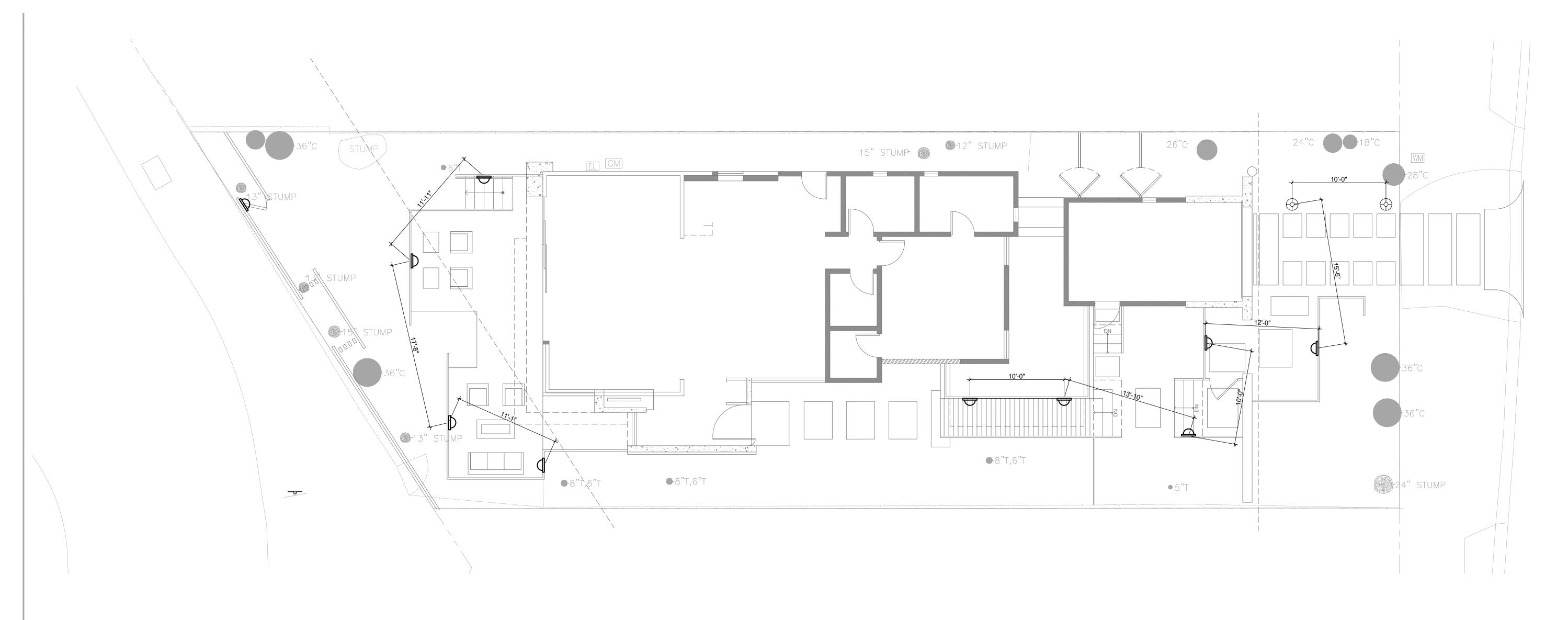
Ζ

 \mathbf{N}



		Stepping Stone Paving Blocks
Stepping Stone Paving Blocks	Stopping Stopp Poying Blocks	
Stepping Stone Paving Blocks	Stopping Stopp Paying Blocks	
Stepping Stone Paving Blocks	Stopping Stopp Paving Blocks	
Stepping Stone Paving Blocks	Stopping Stopp Paying Blocks	

T	-1	(



WIINI DR	IVESTAR SURFA	CE (REMOTE TRANSFORMER)	IP66 RATED		
DATE:	PROJECT:	TYPE:	Attachment 3		
CATALOG NUME	BER LOGIC:				
		CATALOG NUMBER LOGIC			
		Example: MD - LED - e71 - S - SAP - 1 - A			
		MATERIAL			
123		(Blank) - Aluminum B - Brass S - Stainless Steel			
D. D. Sala		SERIES			
Ş.		MD - Mini-Micro DriveStar			
		SOURCE			
		LED - Solid State System with Integral Non-Dimming Driver*			
		LED TYPE			
		e70 - 3W LED/2700K e72 - 3W LED/4000K			
		e71 - 3W LED/3000K e73 - 3W LED/Amber			
	INSTALLATION				
	S - Surface				
	FINISH (See page 2 for full-color swatches)				
	Standard Finishes (BZP, BZW, BLP, BLW, WHP, WHW, SAP, VER)				
		Premium Finish (ABP, AMG, AQW, BCM, BGE, BPP, CAP, CMG, CRI, CRM, HUG, MDS, NBP, OCP, RMG, SDS, SMG, TXF, WCP, WIR)			
Use with remote 1.	2VAC Magnetic Transformer.	Also available in RAL Finishes	Also available in RAL Finishes		
		Brass Finishes (MAC, POL, MIT)			
		Stainless Steel Finishes (MAC, POL)			
		OPTICAL OPENINGS			
		1 - Single			
		2 - 2 @ 180°			
		4 - 4 @ 90°			
		FACEPLATE STYLE			
		A - Solid			

B - Round Accent

THIS DOCUMENT CONTAINS PROPRIETARY INFORMATION OF B-K LIGHTING, INC. AND ITS RECEIPT OR POSSESSION DOES NOT CONVEY ANY RIGHTS TO REPRODUCE, DISCLOSE ITS CONTENTS, OR TO MANUFACTURE, USE OR SELL ANYTHING IT MAY DESCRIBE. REPRODUCTION, DISCLOSURE OR USE WITHOUT SPECIFIC WRITTEN AUTHORIZATION OF B-K LIGHTING, INC. IS STRICTLY FORBIDDEN.

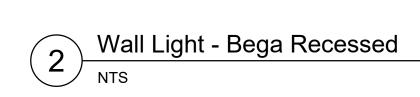
LED recessed wall - shielded

Application Designed for low mounting heights for in shielded light distribution is ideal for the surfaces, building entrances, stairs, and	glare-free illumination of grou
Materials Luminaire housing constructed of die-ci (≤0.3% copper content) A360.0 alumin Faceplate constructed of 316 grade ma Clear safety glass with optical texture High temperature silicone gasket Mechanically captive stainless steel fast	um alloy achined stainless steel
NRTL listed to North American Standar Protection class IP 64	ds, suitable for wet locations
Electrical Operating voltage Minimum start temperature LED module wattage System wattage Controllability Color rendering index Luminaire lumens Lifetime at Ta = 25° C	120-277VAC -30°C 3.4W 4.9W 0-10V dimmable Ra > 80 9 lumens (3000K) 50,000 h (L70)
LED color temperature	
 □ 4000K - Product number + K4 □ 3500K - Product number + K35 □ 3000K - Product number + K3 (EXP) □ 2700K - Product number + K27 	RESS)
BEGA can supply you with suitable LEE 20 years after the purchase of LED lumi	D replacement modules for up inaires - see website for detail
Finish #4 brushed stainless steel. Custom colors are not available. Stainless steel requires regular cleaning household appliances to maintain its lus appearance of rust like stains.	

•	•	· · C ·			
LED re	cessec	I wall · shielded			
		LED	А	В	С
22 1 35	ADA	3.4W	7 1/2	31/8	4

12/10/2020 SKU-729 SUB001068

BEGA 1000 BEGA Way, Carpinteria, CA 93013 (805) 684-0533 info@bega-us.com Due to the dynamic nature of lighting products and the associated technologies, luminaire data on this sheet is subject to change at the discretion of BEGA North America. For the most current technical data, please refer to bega-us.com



NTS



Available Accessories □ **19535** Concrete protection cover

See individual accessory spec sheet for details.

FIXTURE LEGEND

SYM	ТҮРЕ	MANUFACTURER	LAMP	COMMENTS
\bigcirc	Drive Light	BK Mini Drivestar	3W LED	See (1/L-2.0)
\bigtriangledown	Wall Light	Bega Recessed 22 135	3.4W LED	See (2/L-2.0)

GENERAL NOTES

- All site lights to be spaced a minimum of 10' apart.
 Landscape lights to be mounted no higher than 18" above the ground.
 Site lights shall be less than 15 watts per fixture, approximately 225 lumens.

LAMP WATTAGE TO LUMEN OUTPUT

INCANDESCENT BULB	LED BULB	LUMENS
25 W	3 - 5W	250
40 W	6 - 9W	450
60 W	8 - 15W	800
75 W	12 - 17W	1100
100 W	15 - 19W	1600
125 W	20 - 25W	1850
150 W	Up to 30W	2600

	SEVEN SPRINGS SPRINGS STUDIO LANDSCAPE ARCHITECTS 2548 EMPIRE GRADE SANTA CRUZ, CA 95060 831.466.9617
R B	ROJECT NAME: A C H L E F F S E A C H I O U S E
so C	ROJECT ADDRESS: CENIC ROAD, 3NE 13TH ARMEL-BY-THE-SEA, CA PN: 010-292-007
	SUANCE: LANNING APPLICATIOI
	ROJECT NO: 2021-31 ATE: 01/24/2022
	evisions: O. date description

SHEET NAME:

Lighting Plan

SHEET NO:

L-2.0

SCA	LE: 3/16"	= 1'-0"		
0	4	8	16	





Carex divulsa Berkeley Sedge



Carex 'Ice Dance' Ice Dance Sedge



Lomandra longifolia 'Breeze' Dwarf Mat Rush



Muhenbergia capillaris Pink Muhly Grass



Pennisetum 'Fairy Tails' Fairy Tails Fountain Grass



Sesleria autumnalis Autumn Moor Grass



Chondropetalum tectorum 'El Campo' Small Cape Rush



Festuca mairei Atlas Fescue



Olea 'Little Ollie' Little Ollie Olive



Pennisetum spathiolatum Slender Veldt Grass



Westringia fruticosa 'Mundi' Coast rosemary



Woodwardia fimbriata Giant Chain Fern

SEVEN SPRINGS STUDIO LANDSCAPE ARCHITECTS

2548 EMPIRE GRADE SANTA CRUZ, CA 95060 831.466.9617

PROJECT NAME:

RACHLEFF BEACH HOUSE

PROJECT ADDRESS: SCENIC ROAD, 3NE 13TH CARMEL-BY-THE-SEA, CA APN: 010-292-007

ISSUANCE:

PLANNING APPLICATION

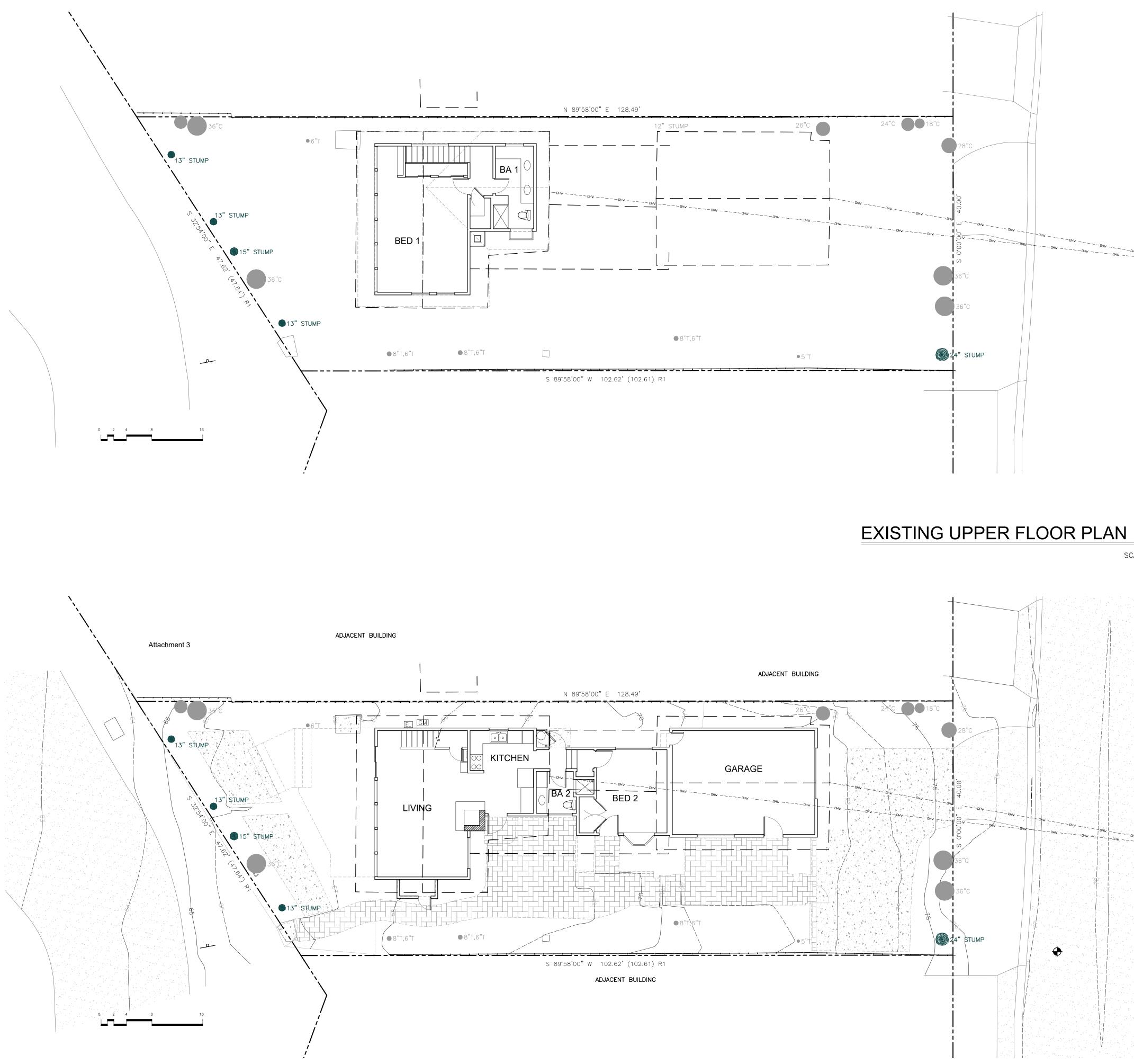
PROJECT NO: 2021-31 DATE: 01/24/2022

REVISIONS: NO. DATE DESCRIPTION

SHEET NAME:

Plant Palette

SHEET NO:



EXISTING MAIN FLOOR PLAN



STERLING | HUDDLESON

P.O. BOX 221092 CARMEL, CA. 93922 TEL. 831.624.4363

www.sterlinghuddleson.com

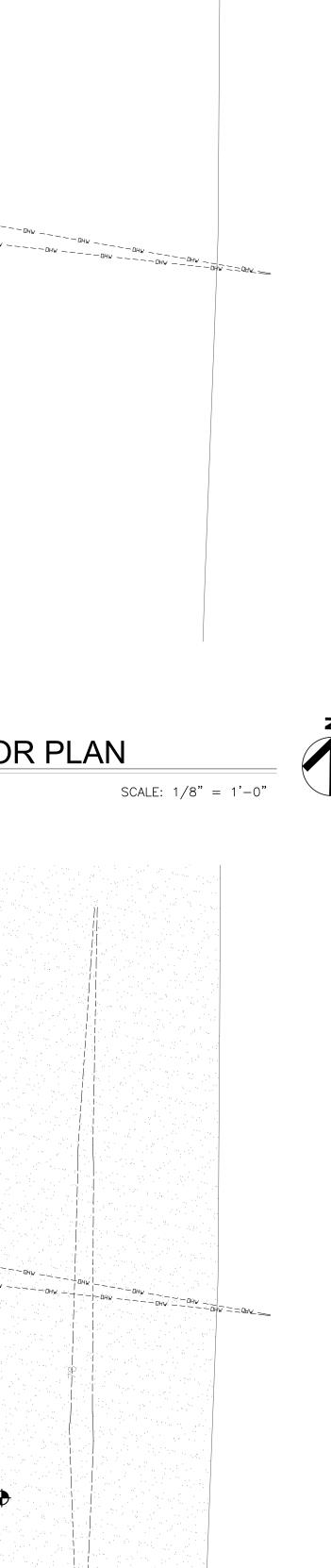
DENCE 93921 \mathcal{C} \bigcirc C. Ш S Ш RMEL Ш \mathbf{O} C S 4 Ú

Prepared by:

PRELIMINARY

All ideas, designs and plans indicated or represented by these drawings are owned by and are the property of Sterling | Huddleson and were created and developed for use in connection with the specified project. None of such ideas, designs or plans shall be used for any purpose without the written permission of Sterling | Huddleson Copyright 2020-2021. All rights reserved. Sterling | Huddleson Sterling | Huddleson

Action:			
01.26.22	PLANNING SUBMITTAL		
Date:	06.11.2021		
Scale:	1/8"=1'-0"		
Drawn:			
Description: EXISTING FLOOR PLAN			
Sheet No:			
A	-2.0		





DEMOLITION KEYNOTES

1 REMOVE DOOR(S)/WINDOW(S) FOR CHANGE-OUT.
2 REMOVE AND DISCARD DOOR(S)/WINDOW(S) (NOTE $#2$).
3 REMOVE (E) WALL. SHORE AND BRACE AS NECESSARY.
4 REMOVE SITE ELEMENTS
5 REMOVE AND DISCARD SHED
6 REMOVE PLUMBING/APPLIANCE (SEE NOTE $#2$)
7 REMOVE AND DISCARD CABINETS & SHELVES (NOTE $#2$).
8 REMOVE AND DISCARD MASONRY FIREPLACE & CHIMNEY

DEMOLITION GENERAL NOTES

1.) CONTRACTOR SHALL PROVIDE SAFE SUPPORT FOR FLOOR AND ROOF BEARING POINTS DURING AND AFTER REMOVAL UNTIL SECURELY RESUPPORTED WITH WEIGHT TRANSFER TO PROPER SIZED FOOTING.

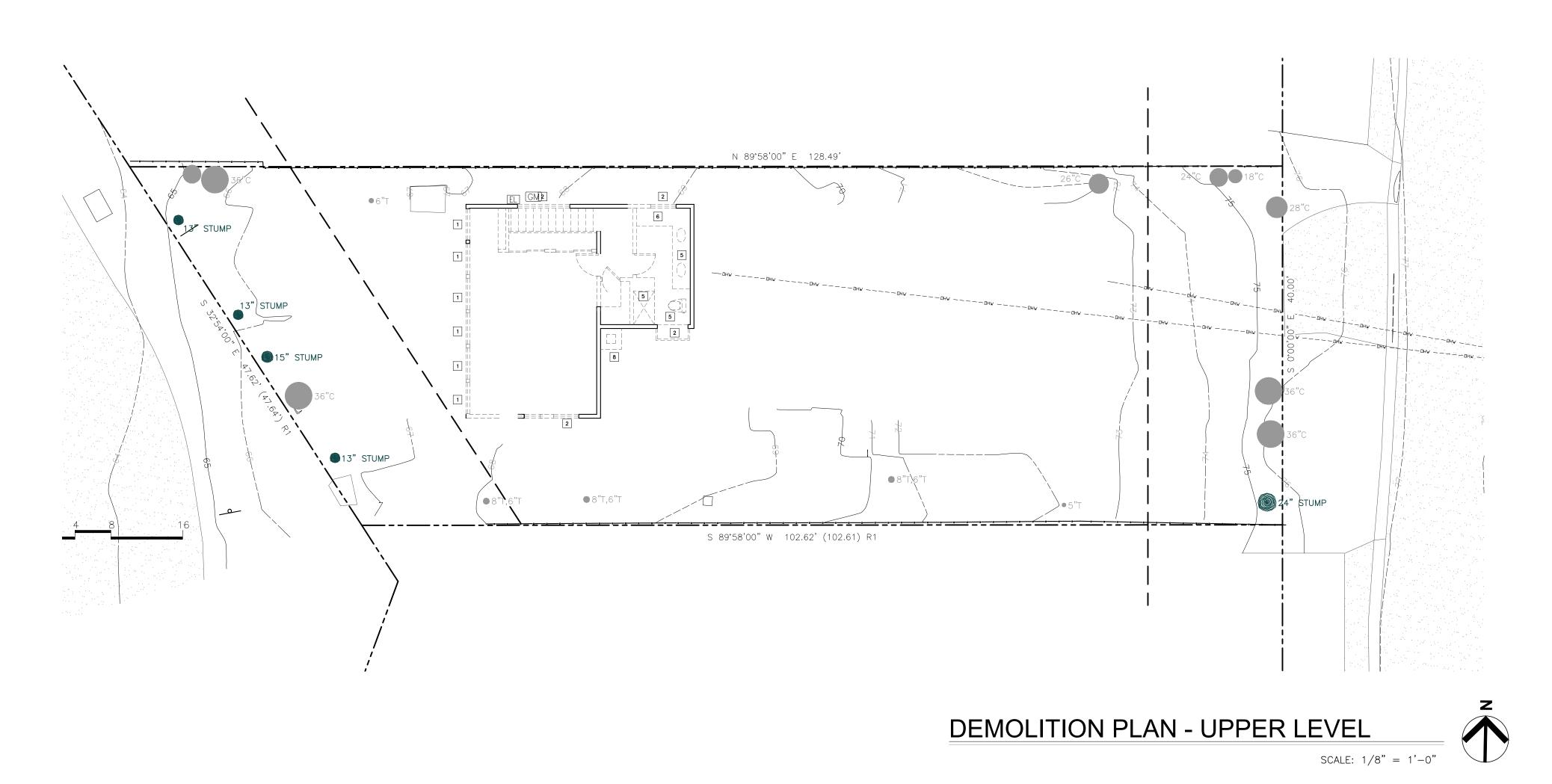
2.) CONTRACTOR SHALL COORDINATE RECYCLING OF SALVAGEABLE BUILDING MATERIALS WITH LOCAL NONPROFIT OR OTHER.

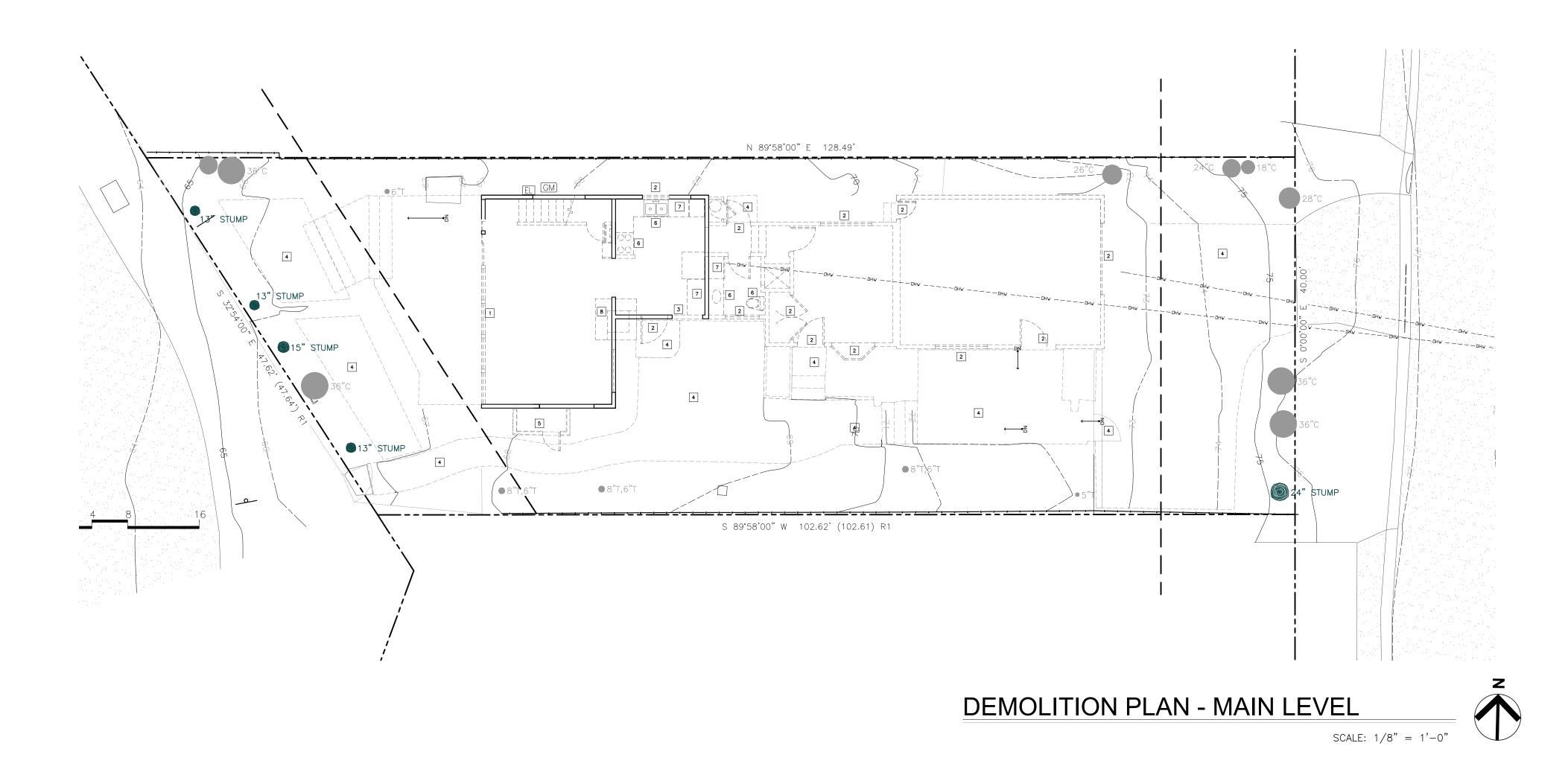
WALL LEGEND

Attachment 3

E) 2x STUDS

(E) 2x STUDS TO BE REMOVED







STERLING | HUDDLESON

P.O. BOX 221092 CARMEL, CA. 93922 TEL. 831.624.4363

www.sterlinghuddleson.com

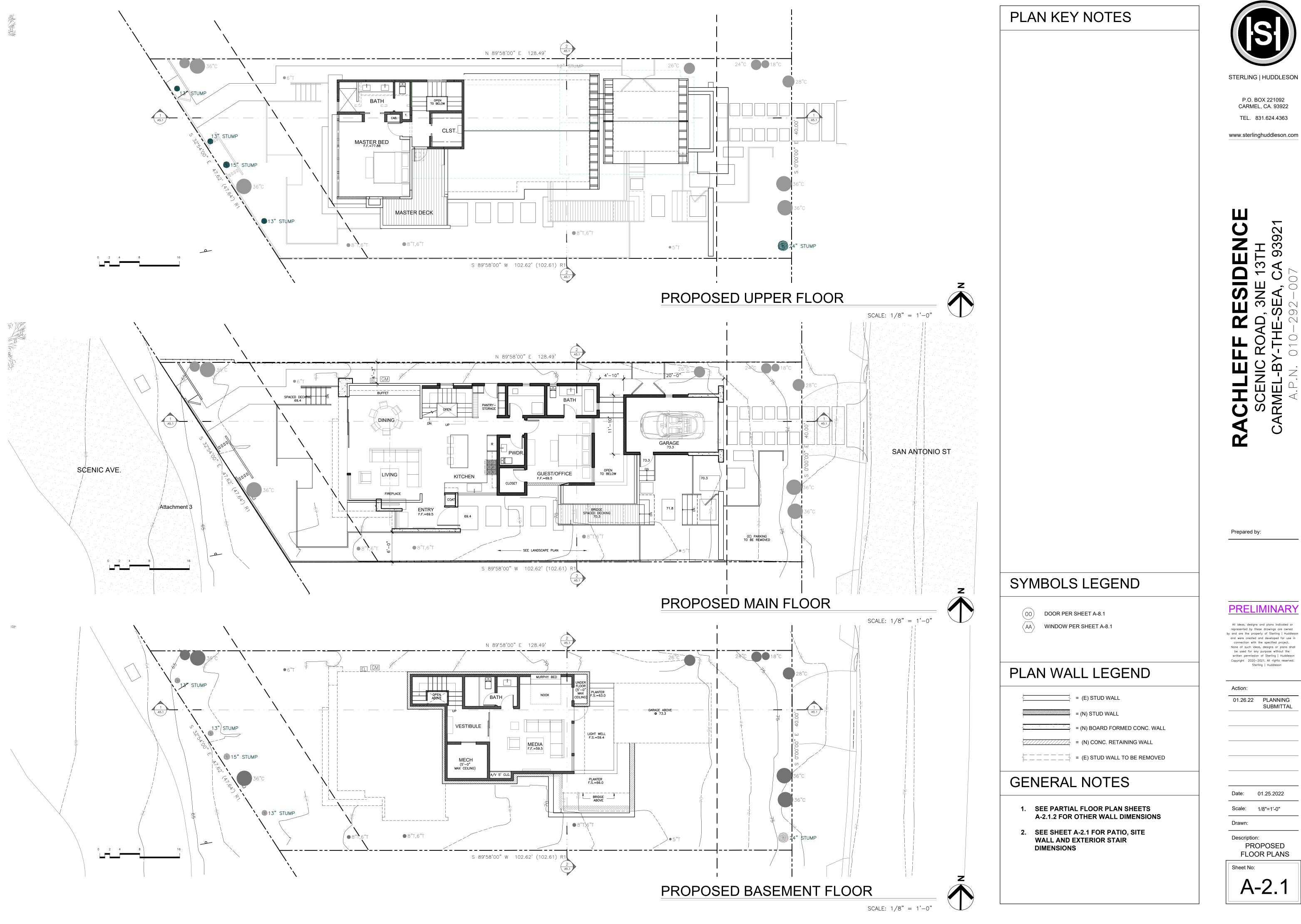
ENCE I3TH A 93921 Ű S 7 S Ш \mathcal{O} \bigcirc \square Ш SCEN CH \triangleleft CA RA

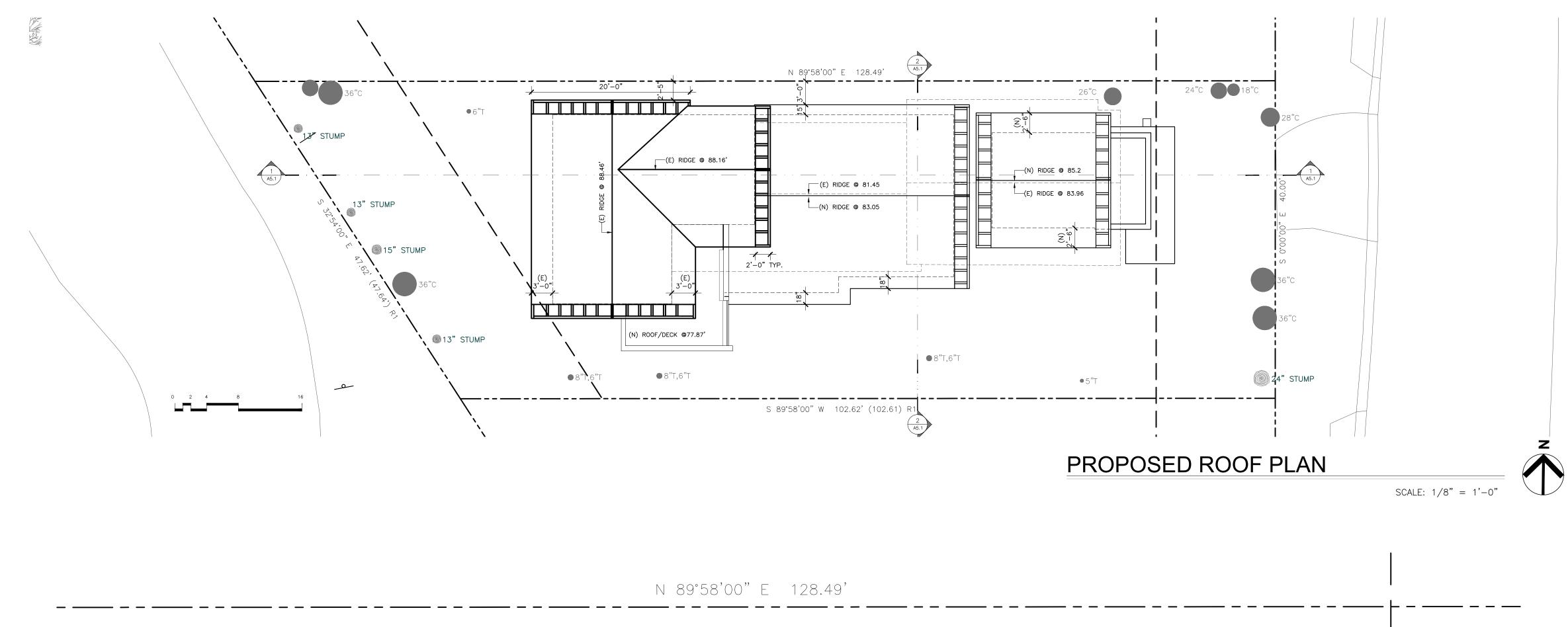
Prepared by:

PRELIMINARY

All ideas, designs and plans indicated or represented by these drawings are owned by and are the property of Sterling | Huddleson and were created and developed for use in connection with the specified project. None of such ideas, designs or plans shall be used for any purpose without the written permission of Sterling | Huddleson Copyright 2020-2021. All rights reserved. Sterling | Huddleson

Action:			
01.26.22	PANNING SUBMITTAL		
Date:	01.08.22		
Scale:	1/8"=1'-0"		
Drawn:			
-	Description: PROPOSED		
DEMO LEVEL			
Sheet No:			
	\mathbf{O}		
U-	·Z.U		





UPRER FLOOR AREA 437 S.F.

FLOOR AREA KEY PLAN

STAIRWELL	BA BONUS # 1	ASEMENT 42 FLOOR A 58 S.F.	REA	
	BASEMENT BONUS #1 FLOOR AREA 100 S.F.			
MAIN	3'-11" FLOOR AREA 190 S.F.	BASEMENT	FLOOR AREA	
			BASEMENT AREAS	OVERLAPS MAIN FLOOR
			FLOOR AREA	158 S.F.
			BONUS #1 AREA	100 S.F.
			BONUS #2 AREA	158 S.F.



STERLING | HUDDLESON

P.O. BOX 221092 CARMEL, CA. 93922 TEL. 831.624.4363

www.sterlinghuddleson.com



Prepared by:

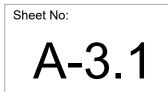
PRELIMINARY

All ideas, designs and plans indicated or represented by these drawings are owned by and are the property of Sterling Huddleson and were created and developed for use in connection with the specified project. None of such ideas, designs or plans shall be used for any purpose without the written permission of Sterling Huddleson Copyright 2020–2021. All rights reserved. Sterling Huddleson
Action:
Date: 10.11.2021
Action:

Scale: 1/8"=1'-0"

Drawn:

Description: PROPOSED ROOF PLAN



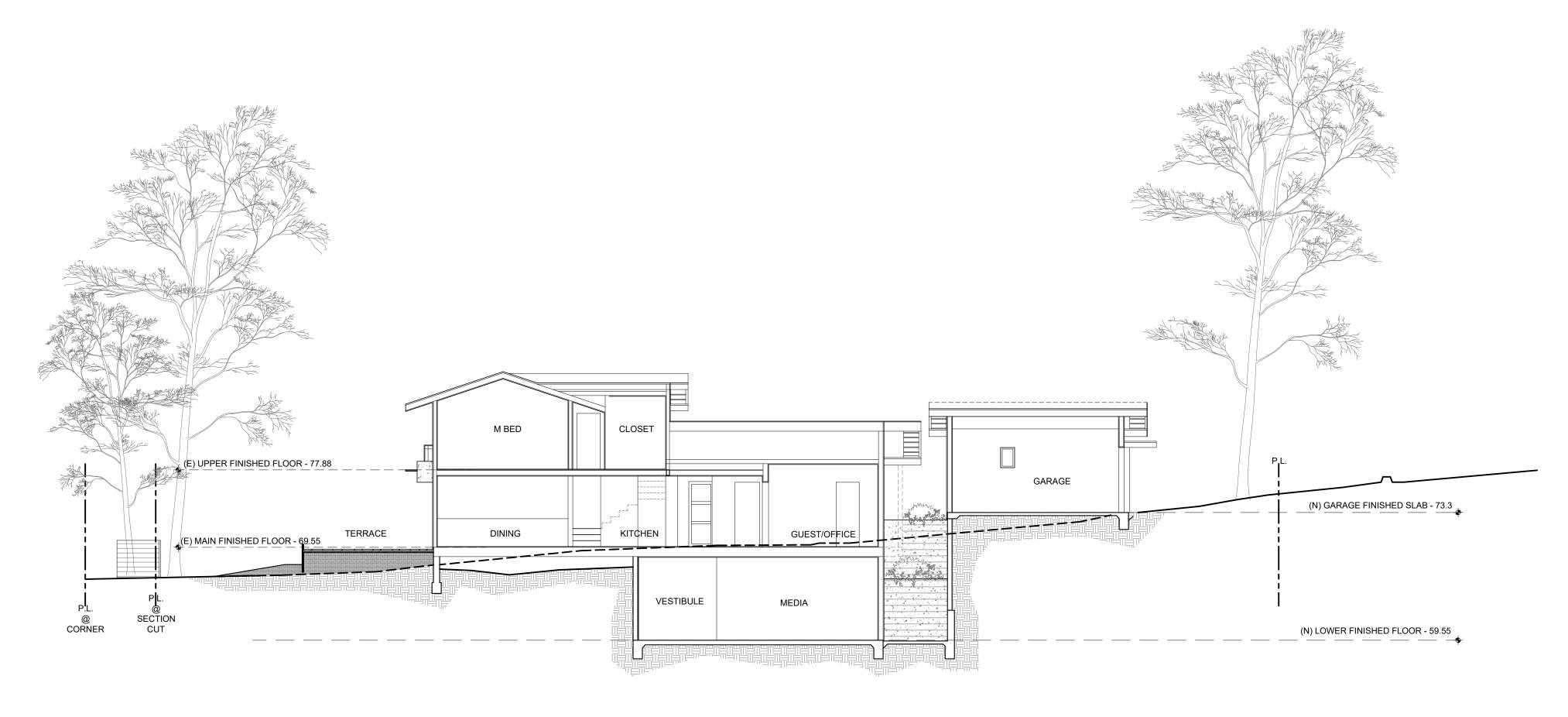
OVERLAPS UPPER FLOOR

27.7 S.F.

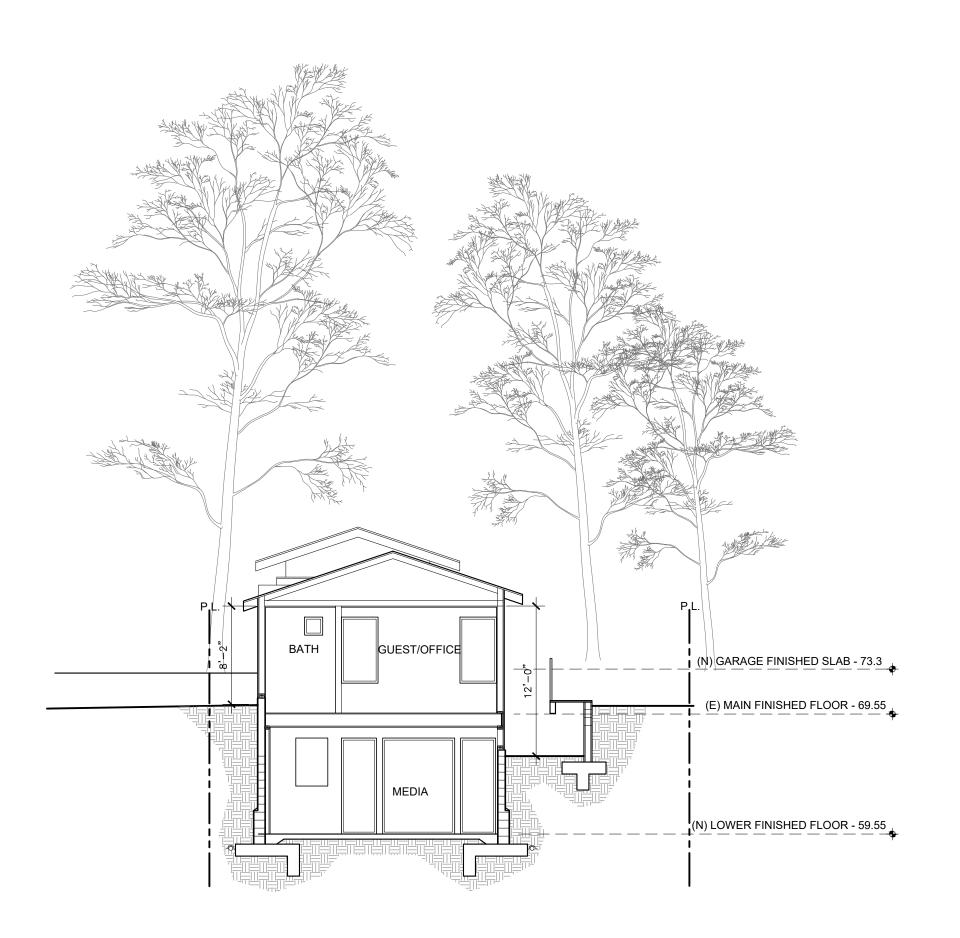
—

_

NOT TO SCALE:



BUILDING SECTION 1-1







P.O. BOX 221092 CARMEL, CA. 93922 TEL. 831.624.4363

www.sterlinghuddleson.com

SCALE: 1/8" = 1'-0"

BUILDING SECTION 2-2

SCALE: 1/8" = 1'-0"

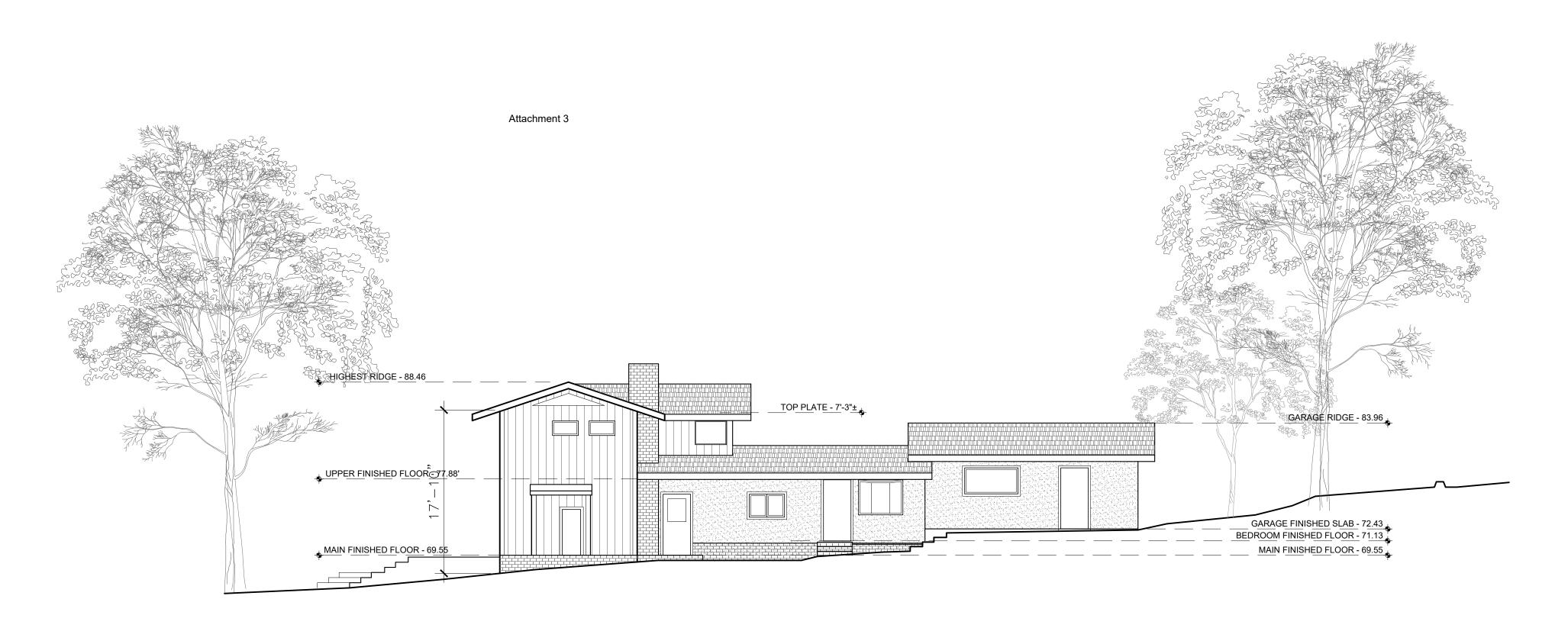


Prepared by:

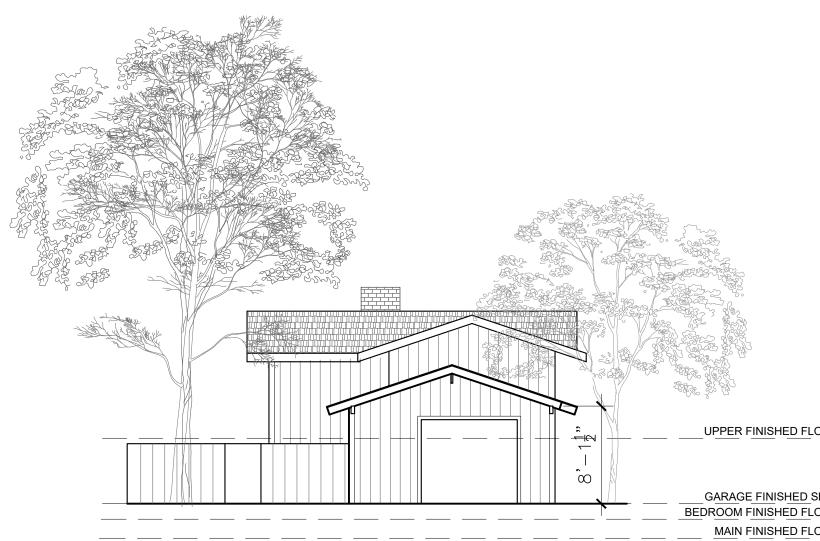
PRELIMINARY

 All ideas, designs and plans indicated or represented by these drawings are owned by and are the property of Sterling Huddleson and were created and developed for use in connection with the specified project. None of such ideas, designs or plans shall be used for any purpose without the written permission of Sterling Huddleson Copyright 2020-2021. All rights reserved. Sterling Huddleson 		
Action:		
Date: 01.26.22		
Scale: 1/8"=1'-0"		
Drawn:		
Description: PROPOSED SECTIONS		
Sheet No:		
A-5.1		





EXISTIING SOUTH ELEVATION



EXISTING NORTH ELEVATION

SCALE: 1/8"=1'-0"



SCALE: 1/8=1'-0"



STERLING | HUDDLESON

P.O. BOX 221092 CARMEL, CA. 93922 TEL. 831.624.4363

www.sterlinghuddleson.com

UPPER FINISHED FLOOR - 77.88

GARAGE FINISHED SLAB - 72.43 BEDROOM FINISHED FLOOR - 71.13 MAIN FINISHED FLOOR - 69.55

EXISTING EAST ELEVATION

SCALE: 1/8"=1'-0"

EXISTING WEST ELEVATION

SCALE: 1/8"=1'-0"



Prepared by:

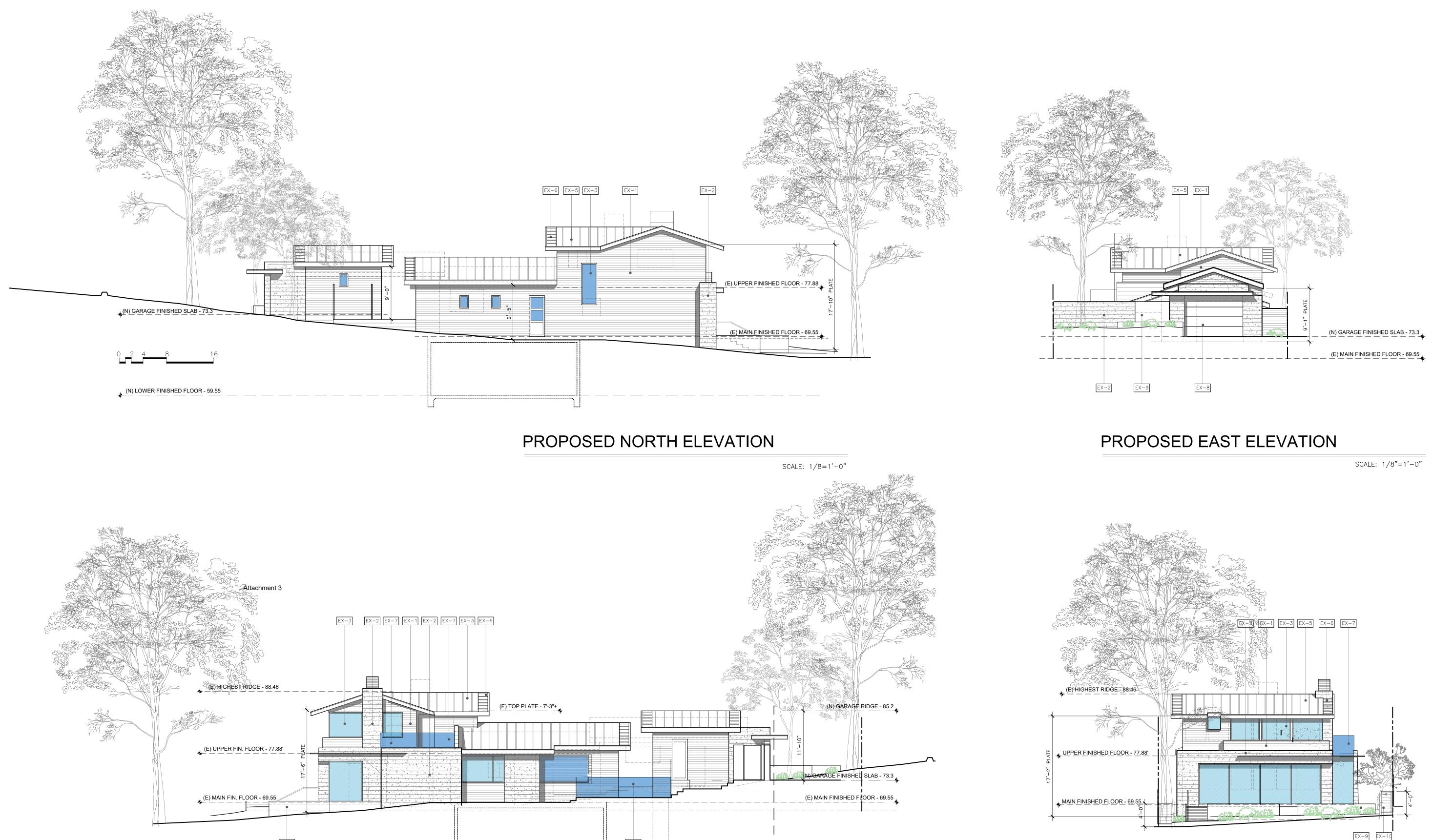
PRELIMINARY

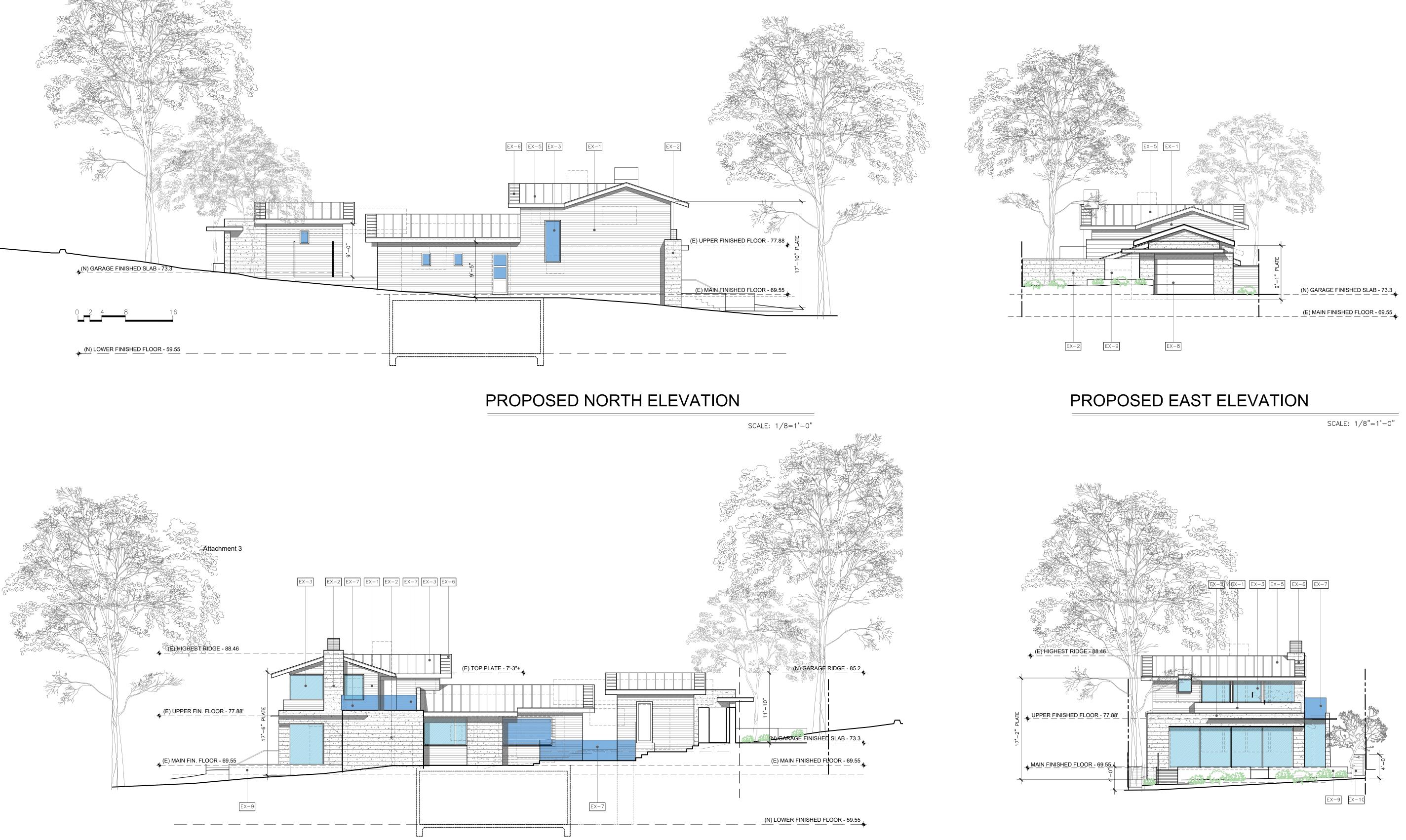
All ideas, designs and plans indicated or represented by these drawings are owned by and are the property of Sterling | Huddleson and were created and developed for use in connection with the specified project. None of such ideas, designs or plans shall be used for any purpose without the written permission of Sterling | Huddleson Copyright 2020-2021. All rights reserved. Sterling | Huddleson Sterling | Huddleson

Action:

01.26.22 PLANNING SUBMITTAL

Date: 06.13.2021 Scale: 1/8" = 1'-0" Drawn Description: EXISTING ELEVATIONS Sheet No: A-6.0





PROPOSED SOUTH ELEVATION

SCALE: 1/8"=1'-0"

ELEVATION KEY NOTES

- EX-1 HORIZONTAL, NAT. AGED CEDAR SIDING. COLOR: CLEAR SEALER
- EX-2 BOARD FORMED CONCRETE FINISH: 8", ROUGHSAWN PLNKS
- METAL WINDOWS & DOORS EX-3
- EX-5
- EX-4CEDAR SLAT/HORIZONTAL WINDOW SCREEN EX-7 COLOR: MATCH EX-1 STANDING SEAM METAL ROOFING COLOR: BRONZE EX-6 CEDAR IN-LAY ROOF LOUVERS



STERLING | HUDDLESON

P.O. BOX 221092 CARMEL, CA. 93922 TEL. 831.624.4363

www.sterlinghuddleson.com

Ш

PROPOSED WEST ELEVATION

SCALE: 1/8=1'-0"

FRAMELESS GLASS RAILING

EX-7 4'-0" HIGH WOOD FENCE, STAGGERED W/ SLATS AT RETURNS. SEE PLAN

OVERHEAD GARAGE DOOR: CLEAR CEDAR OVERLAY WITH BRONZE METAL REGLET|INLAY EX-8 EX-9 POWDER COATED METAL WALL

93921 ENC C Т \bigcirc U. Ш С ∞ \bigcirc RME \mathbf{O} ([CA R A

Prepared by:

PRELIMINARY

All ideas, designs and plans indicated or represented by these drawings are owned by and are the property of Sterling | Huddleson and were created and developed for use in connection with the specified project. None of such ideas, designs or plans shall be used for any purpose without the written permission of Sterling | Huddleson Copyright 2020-2021. All rights reserved. Sterling | Huddleson

Action:

01.26.22 PLANNING SUBMITTAL

Date: 01.25.2022 Scale: 1/8" = 1'-0" Drawn: Description: EXTERIOR ELEVATIONS Sheet No: A-6.





EXISTING STREETSCAPE



STERLING | HUDDLESON

P.O. BOX 221092 CARMEL, CA. 93922 TEL. 831.624.4363

www.sterlinghuddleson.com

Ш TH 93921 ENC ENC ()RES , 3NI SEA \square \bigcirc \square \square Щ \mathbf{O} \bigcirc m SCE Ū CA RA

Prepared by:

PRELIMINARY

All ideas, designs and plans indicated or represented by these drawings are owned by and are the property of Sterling | Huddleson and were created and developed for use in connection with the specified project. None of such ideas, designs or plans shall be used for any purpose without the written permission of Sterling | Huddleson Copyright 2020-2021. All rights reserved. Sterling | Huddleson

Action:

01.26.22 PLANNING SUBMITTAL

Date: 02.10.2022 Scale: NOT TO SCALE Drawn: Description: STREETSCAPES







PROPOSED STREETSCAPE





STERLING | HUDDLESON

P.O. BOX 221092 CARMEL, CA. 93922 TEL. 831.624.4363

www.sterlinghuddleson.com



Prepared by:

.

PRELIMINARY

All ideas, designs and plans indicated or represented by these drawings are owned by and are the property of Sterling | Huddleson and were created and developed for use in connection with the specified project. None of such ideas, designs or plans shall be used for any purpose without the written permission of Sterling | Huddleson Copyright 2020-2021. All rights reserved. Sterling | Huddleson

Action:

01.26.22 PLANNING SUBMITTAL

Date: 02.10.2022 Scale: NOT TO SCALE Drawn: Description: STREETSCAPES Sheet No: A-6.3



CITY OF CARMEL-BY-THE-SEA PLANNING COMMISSION Staff Report

March 9, 2022 PUBLIC HEARINGS

то:	Chair LePage and Planning Commissioners
SUBMITTED BY:	Marnie R. Waffle, AICP, Principal Planner
APPROVED BY:	Brandon Swanson, Community Planning & Building Director
SUBJECT:	DS 20-323 (Le Chiffre Holdings, LLC): Consideration of an after-the-fact increase in plate height limited to the northwest corner of a residence located on the northeast corner of San Antonio Avenue and Ocean Avenue in the Single-Family Residential (R-1), Archaeological Significance Overlay (AS), Park Overlay (P), Beach & Riparian Overlay (BR), and Coastal Commission Appeal Jurisdiction. APN 010-253-009-000

Application: DS 20-323 (Le Chiffre Holdings, LLC)APN: 010-253-009-000Block:HHLot:2 & 4Location: Northwest Corner of San Antonio Avenue & Ocean AvenueApplicant:Jonathan HeiligerProperty Owner: Le Chiffre Holdings, LLC

Executive Summary:

The project is a modification to Design Study DS 20-323 (Le Chiffre Holdings, LLC) for an after-the-fact increase in plate height limited to the northwest corner of a residence located on the northwest corner of San Antonio Avenue and Ocean Avenue in the Single-Family Residential (R-1), Archaeological Significance Overlay (AS), Park Overlay (P), Beach & Riparian Overlay (BR), and Coastal Commission Appeal Jurisdiction.

Recommendation:

Adopt a Resolution (Attachment 1) approving a modification to Design Study DS 20-323 (Le Chiffre Holdings, LLC) for an after-the-fact increase in plate height limited to the northwest corner of a residence located on the northwest corner of San Antonio Avenue and Ocean Avenue.

Background and Project Description:

On September 2, 2015, Braden Sterling submitted a Design Study application on behalf of North Point Investments for the removal of 460 square feet of living space on the second story and in the detached

guest cottage and the construction of 979 square feet of new living space including a basement (Attachments 3-4). The project was reviewed and approved by the Planning Commission on November 18, 2015 (Attachments 5-6). On September 13, 2016, Building Permit BP 16-055 was issued and construction began. In the middle of construction, the project was abandoned and on January 7, 2020, the building permit and associated Design Study expired.

On December 14, 2020, Adam Jeselnick submitted a Design Study application on behalf of the new owner Le Chiffre Holdings, LLC for the reissuance of the 2015 Design Study approval, with modifications. On February 10, 2021, the Planning Commission adopted Resolution 2021-009-PC approving the Design Study, with conditions (Attachments7-9). On July 12, 2021, Building Permit BP 21-087 was issued and construction resumed on the project (Attachment 10).

On October 6, 2021, staff received a letter from the eastern neighbor, Hataitip Rangthong, expressing concerns with the ridge line of the roof at the northwest corner of the residence blocking her view of the beach on the north side of the project site (Attachment 11). On October 18, 2021, Whitson Engineers checked the height of the ridge and reported a ridge elevation of 224.63 (Attachment 12). While this was consistent with the approved building permit plans, it was not consistent with the approved Design Study ridge elevation of 223.3. This change in ridge height was made to the Building Permit plans without notice to the Planning Division and was not caught by staff during the plan check review. Staff strictly enforced the ridge height approved in the Design Study and although the steel ridge beam was already installed, a new beam was ordered and installed at cost to the applicant.

Subsequent to correcting the ridge height, the eastern neighbor expressed concerns about the plate height at the northwest corner of the residence impacting her view of the beach. On January 28, 2022, Whitson Engineers checked the plate height at the northwest corner of the residence and reported an elevation of 220.23, using a benchmark data point of 200.93 (Attachment 13). This measurement is .23 higher (approx. 4 inches) than both the Design Study and Building Permit plan approvals.

However, in approving the Design Study, the Planning Commission adopted condition of approval no. 33 which states:

West Elevation. The plate height on the west elevation is nonconforming at 19' and shall not be increased (Attachment 8).

This condition of approval was included in the Resolution of approval to document an existing nonconformity. The net effect is that the plate height (220.23), as currently constructed using Whitson Engineers benchmark elevation of 200.93, is 4 inches taller than the 19-foot plate height limit set forth in the conditions of approval.

However, during the preparation of this report staff realized that the benchmark data point used by Whitson Engineers is located outside of the property boundary to the southwest of the project site. When staff measures a plate height, the plumb vertical distance between existing or final grade, whichever is more restrictive, and the plate in question, is used. This is consistent with how building height is measured. Therefore, staff used the more conservative benchmark of 200.3 when measuring the plate at the northwest corner of the residence. This results in a plate height that is .93 or approximately 11 inches taller than the 19-foot height limit set forth in the conditions of approval. The concern expressed by the eastern neighbor is that this increase in plate height pushes the angle of the hipped roof higher and blocks her view of the beach.

The property owner is requesting approval of a modification to Design Study DS 20-323 (Le Chiffre Holdings, LLC) to maintain the plate height as constructed. The additional plate height is needed for a

structural header above the west facing glass doors. The framing is in place and the doors have been ordered.

Staff Analysis:

Privacy and Views: Residential Design Guidelines 5.1 through 5.3 encourages designs that preserve reasonable privacy for adjacent properties and maintain view opportunities to natural features.

<u>Staff Response</u>: The 2015 Design Study approval included the removal of a second story building element on the northeast corner of the building. Removal of this building element established a west facing view of the ocean to the benefit of the eastern neighbor, Ms. Rangthong, and preservation of this view is understandably of utmost importance. The Residential Design Guidelines encourage designs that maintain view opportunities to natural features. Staff wrestled with this analysis, as there is no question the plate height is taller than what was previously approved by the Planning Commission. In evaluating the increase in plate height though, staff does not find that the project creates a significant view impact to the eastern neighbor. In staff's opinion, the ocean views that the neighbor currently enjoys are not materially changed by the increase in plate height.

Legal Non-Conforming Structures:

CMC 17.36.020.A. A building or structure that was lawfully established, but does not conform to existing zoning regulations, shall be deemed a **nonconforming structure** and may be used and maintained as provided in this chapter [17.36].

CMC 17.36.030.A & B. A lawful nonconforming structure may be **maintained**, **repaired**, **or altered** as long as such maintenance, repair, or alteration **does not increase the nonconformity** and all work performed conforms to all of the requirements of this chapter. And, alterations, repairs or remodeling that enlarge, extend or increase a nonconforming feature of a building shall be prohibited.

<u>Staff Analysis</u>: The Municipal Code allows a nonconforming structure to be altered so long as the nonconformity is not increased. However, the Code is less clear on the measurement of plate height within that structure. It has been the Departments long standing practice to measure plate height as the plumb vertical distance between the finished grade to the top of wall at the eave line. This approach is consistent with mass and bulk policies which encourage minimizing the buildings mass as viewed from the public way and adjacent properties. The increase in plate height does not present additional mass to the eastern neighbor and the northwest corner of the residence is largely screened from public view by the detached garage.

Alternatives: If the Commission finds that the constructed plate height cannot be supported, the Commission should provide staff with findings for denial. Staff would then prepare a Resolution of denial. The effect of a denial would be to require the applicant to remove and lower the existing wall framing and reframe the window and door openings. New windows and doors may also need to be purchased to fit within the new openings.

Other Project Components:

Staff recommends the project be found categorically exempt from the California Environmental Quality Act (CEQA), State CEQA guidelines and local environmental regulations, pursuant to Section 15301 (Class 1) – Existing Facilities. Class 1 exemptions include, minor interior and exterior alterations to existing structures

and landscapes involving no expansion of the existing use. The proposed project does not present any unusual circumstances that would result in a potentially significant environmental impact and no exceptions to the exemption exist pursuant to section 15300.2 of the CEQA Guidelines.

Attachment 1 - Resolution Attachment 2 – Applicants Written Description Attachment 3 – DS 15-322 (North Point Investments) Site Photographs Attachment 4 – DS 15-322 (North Point Investments) Staff Report Attachment 5 – DS 15-322 (North Point Investments) Conditions of Approval Attachment 6 – DS 15-322 (North Point Investments) Approved Design Study Plans Attachment 7 – DS 20-323 (Le Chiffre Holdings, LLC) Staff Report Attachment 8 – DS 20-323 (Le Chiffre Holdings, LLC) Resolution 2021-009-PC Attachment 9 – DS 20-323 (Le Chiffre Holdings, LLC) Approved Design Study Plans Attachment 10 – Approved Building Permit Plans, part 1 Attachment 10 – Approved Building Permit Plans, part 2 Attachment 11 – Letter from Hataitip Rangthong 10.06.21 Attachment 12 – Whitson Engineers Ridge Height Certification 10.18.21 Attachment 13 – Whitson Engineers Plat Height Certification 01.28.22

CITY OF CARMEL-BY-THE-SEA PLANNING COMMISSION

PLANNING COMMISSION RESOLUTION NO. 2022-XX-PC

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF CARMEL-BY-THE-SEA APPROVING AN AFTER-THE-FACT INCREASE IN PLATE HEIGHT OF APPROXIMATELY 11 INCHES (0.93') LIMITED TO THE NORTHWEST CORNER OF A RESIDENCE LOCATED AT THE NORTHEAST CORNER OF SAN ANTONIO AVENUE AND OCEAN AVENUE APN 010-253-009

WHEREAS, Jonathan Heiliger ("Applicant") submitted an application on behalf of Le Chiffre Holdings, LLC ("Owner") requesting approval of an after-the-fact increase in plate height for Design Study (DS 20-323, Le Chiffre Holdings, LLC) described herein as ("Application"); and

WHEREAS, the project site is an 8,000 square-foot lot located at the northeast corner of San Antonio Avenue and Ocean Avenue in the Single-Family Residential (R-1), Beach & Riparian (BR), and Coastal Commission Appeal Jurisdiction Overlay Districts (Block HH, Lots 2 & 4); and

WHEREAS, the Applicant is requesting approval of an after-the-fact increase in plate height of approximately 11 inches (0.93') limited to the northwest corner of a residence; and

WHEREAS, notice of the public hearing was published on February 25, 2022 in compliance with State law (California Government Code 65091), and was posted on the project site and handdelivered by the Applicant to each property within a 100-foot radius of the project site indicating the date and time of the public hearing; and

WHEREAS, on March 9, 2022, the Planning Commission held a duly noticed public hearing to receive public testimony regarding the Concept Design Study, including without limitation, information provided to the Planning Commission by City staff and through public testimony on the conceptual design of the project; and

WHEREAS, this Resolution and its findings are made based upon evidence presented to the Commission at the hearing date including, without limitation, the staff report and attachments submitted by the Community Planning and Building Department; and

WHEREAS, the Planning Commission did hear and consider all said reports, attachments, recommendations and testimony herein above set forth and used their independent judgement to evaluate the project; and

WHEREAS, the California Environmental Quality Act (California Public Resources Code §§ 21000, *et seq.*, "CEQA"), together with State Guidelines (14 California Code Regulations §§ 15000, *et seq.*, the "CEQA Guidelines") and City Environmental Regulations (CMC 17.60) require that

certain projects be reviewed for environmental impacts and that environmental documents be prepared; and

WHEREAS, pursuant to CEQA regulations, the Application is categorically exempt pursuant to Section 15301 (Class 1) – Existing Facilities. Class 1 exemptions include, minor interior and exterior alterations to existing structures and landscapes involving no expansion of the existing use. The proposed project does not present any unusual circumstances that would result in a potentially significant environmental impact and no exceptions to the exemption exist pursuant to section 15300.2 of the CEQA Guidelines; and

WHEREAS, the facts set forth in the recitals are true and correct and are incorporated herein by reference.

NOW, THEREFORE, BE IT RESOLVED, that the Planning Commission of the City of Carmel-By-The-Sea does hereby make the following findings and determinations regarding the **Design** Study:

FINDINGS REQUIRED FOR DESIGN STUDY APPROVAL			
For each of the required findings listed below, staff has indicated whether the application			
supports adoption of the findings. For all findings checked "no" the staff report disc	cusses	the	
issues to facilitate the Planning Commission decision-making. Findings checked "yes	s" ma	y or	
may not be discussed in the report depending on the issues.			
CMC 17.64.080.A, Concept Phase Approval Findings	YES	NO	
1. The project conforms with all zoning standards applicable to the site, or has	\checkmark		
received appropriate use permits and/or variances consistent with the zoning			
ordinance.			
2. The project is consistent with the City's design objectives for protection and	\checkmark		
enhancement of the urbanized forest, open space resources and site design. The			
project's use of open space, topography, access, trees and vegetation will maintain			
or establish a continuity of design both on the site and in the public right of way that			
is characteristic of the neighborhood.			
3. The project avoids complexity using simple/modest building forms, a simple roof	\checkmark		
plan with a limited number of roof planes and a restrained employment of offsets			
and appendages that are consistent with neighborhood character yet will not be			
viewed as repetitive or monotonous within the neighborhood context.			
4. As conditioned, the project is adapted to human scale in the height of its roof,	\checkmark		
plate lines, eave lines, building forms, and in the size of windows doors and			
entryways. The development is similar in size, scale, and form to buildings on the			
immediate block and neighborhood. Its height is compatible with its site and			
surrounding development and will not present excess mass or bulk to the public or			
to adjoining properties. Mass of the building relates to the context of other homes			
in the vicinity.			

\checkmark	
\checkmark	
\checkmark	
\checkmark	
\checkmark	
\checkmark	
\checkmark	
\checkmark	
YES	NO
\checkmark	
\checkmark	
\checkmark	
\checkmark	
	✓ ✓ ✓ ✓ ✓ ✓ ¥ES ✓ ✓

BE IT FURTHER RESOLVED that the Planning Commission of the City of Carmel-by-the-Sea does hereby **APPROVE** an after-the-fact increase in plate height of approximately 11 inches (0.93') for Design Study (DS 20-323, Le Chiffre Holdings, LLC) located at the northeast corner of San

Antonio Avenue and Ocean Avenue (APN 010-253-009), subject to the following Conditions of Approval:

CONDITIONS OF APPROVAL			
No.	Standard Conditions		
1.	Authorization. Approval of an after-the-fact increase in plate height of approximately 11 inches (0.93') for Design Study (DS 20-323, Le Chiffre Holdings, LLC) authorizes a plate height not to exceed 220.0' ASL (above sea level) located at the northeast corner of San Antonio Avenue and Ocean Avenue in the Single-Family Residential (R-1) District.	~	
2.	Indemnification. The applicant agrees, at his or her sole expense, to defend, indemnify, and hold harmless the City, its public officials, officers, employees, and assigns, from any liability; and shall reimburse the City for any expense incurred, resulting from, or in connection with any project approvals. This includes any appeal, claim, suit, or other legal proceeding, to attack, set aside, void, or annul any project approval. The City shall promptly notify the applicant of any legal proceeding, and shall cooperate fully in the defense. The City may, at its sole discretion, participate in any such legal action, but participation shall not relieve the applicant of any obligation under this condition. Should any party bring any legal action in connection with this project, the Superior Court of the County of Monterey, California, shall be the situs and have jurisdiction for the resolution of all such actions by the parties hereto.	✓	

PASSED, APPROVED AND ADOPTED BY THE PLANNING COMMISSION OF THE CITY OF CARMEL-BY-THE-SEA this 9th day of March, 2022, by the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

APPROVED:

ATTEST:

Michael LePage Chair Leah Young Planning Commission Secretary



NEC SAN ANTONIO + OCEAN AVE LE CHIFFRE HOLDINGS LLC

03.09.2022

CARMEL-BY-THE-SEA PLANNING COMMISSION MEETING 03.09.2022

2015 - Previous Owner

Architect - Sterling Huddleson Architecture

- Approved to remove second story bedroom (NE Corner) lowering a portion of roof by approx. 4'-0"
- Other roofs to remain at existing height
- Construction begins and roof is altered

2020 - Current Owner

Permitting Architect - Adam Jeselnick

- Approved to replace and raise Living Room roof to ridge height of 223.30' ASL (Building Height 22'-8 1/2")
- Approved to maintain existing non-conforming plate height at 19'-0"
- Discussion between Adam Jeselnick and Carmel Planning re: plate height
- Building permit drawings submitted and Approved w/ ridge height of 224.65 ASL (Building Height 24'-0 3/4") and Plate height of 220.0 (19'-5 1/4")
- New roof installed with a ridge height of 224.65 ASL (Building height 24'-0 3/4") and Plate height of 220.23' (19'-7 3/4")

Current Architect - Ehrlich Yanai Rhee Chaney (EYRC)

- Contractor and Owner are notified of Ridge Height discrepancy
- New steel roof beams are fabricated and installed to lower ridge height to 223.32' ASL (Building height 22'-8 3/4")
- Contractor and Owner are notified of Plate Height discrepancy

EHRLICH YANAI RHEE CHAN RCHITE



Civil Engineering - Land Skiveying 6 Harris Court, Monterey, CA 93940 | 831.649.5225 whitsonengineers.com

Job No.: 4425.00

January 28, 2022

Andrew Ellis Groza Construction

Re: Ridge Height Certification Le Chiffre Beach Club NE Corner Ocean & San Antonio Avenues Carmel-By-The-Sea, CA 93921 APN: 010-253-009

Dear Mr. Ellis:

On January 27, 2022, Whitson Engineers checked the height of the framing of the residence at the NE Corner of Ocean & San Antonio Avenues, Carmel-By-The-Sea.

The survey data as follow:

- **Point 1037** Top of a 1 ½" x 7" sill, representing lower finish floor elevation was found to be at an elevation of 200.59 feet.
- Point 1038 Top of a 2 x 4" stud, representing top of finished ceiling was found to be at an elevation of 219.28 feet.
- Point 1039 The surveyed ridge, a 2" x 12" joist, at its highest point, was found to be at an elevation of 223.32 feet at its highest point.
- Point 1040 Top plywood sheeting at top header beam was found to be at an elevation of 220.23 feet.
- Point 1041 Top plywood sheeting at top header beam was found to be at an elevation of 220.22 feet.

Elevation of all points surveyed relative to the designated Site Benchmark (elevation 200.93 feet, assumed datum, (tied by Whitson Engineers at Point #206) as shown on Sheet C1.1 of the Civil plans dated May 17, 2021.

Sincerely,

Richard Weber PE, LS LS 8002 Principal

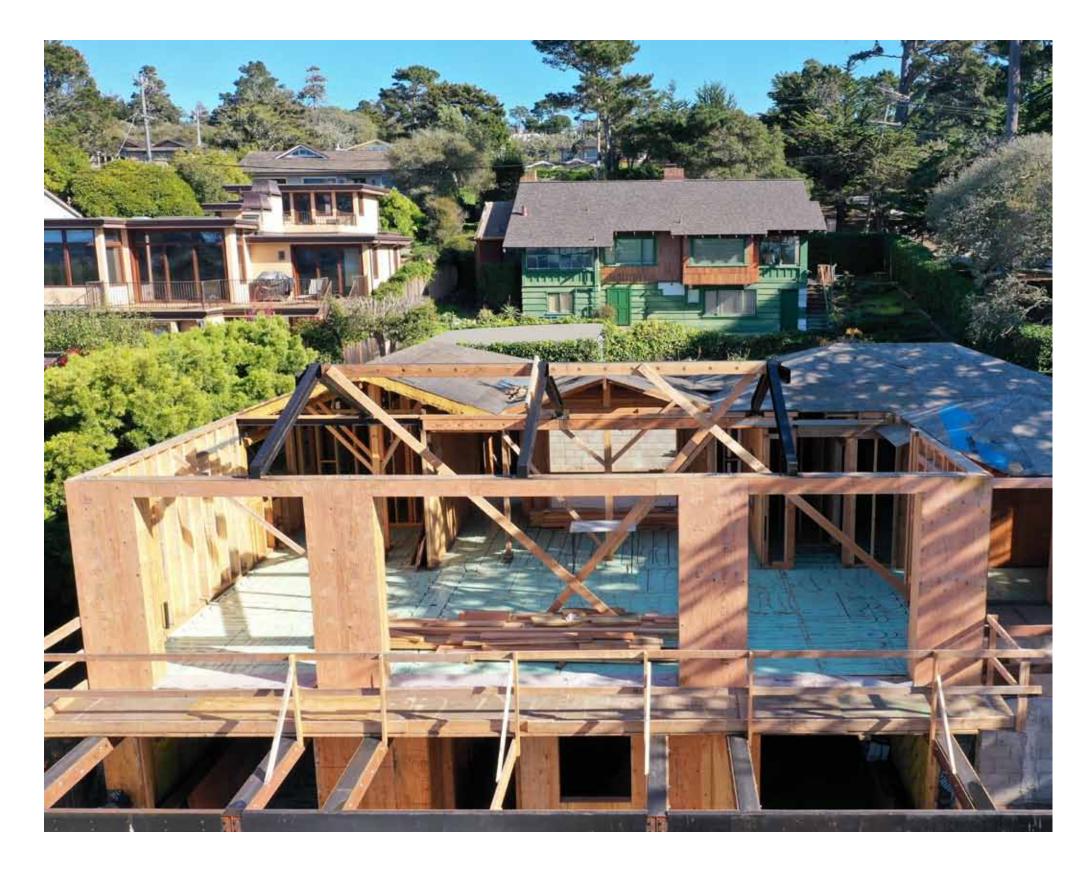
T:\4425 - Beach Club - NE cor Ocean & San Antonio - Carmel\SURVEY\CERTIFICATION\202

NEC SAN ANTONIO + OCEAN AVE LE CHIFFRE HOLDINGS LLC 03.09.2022



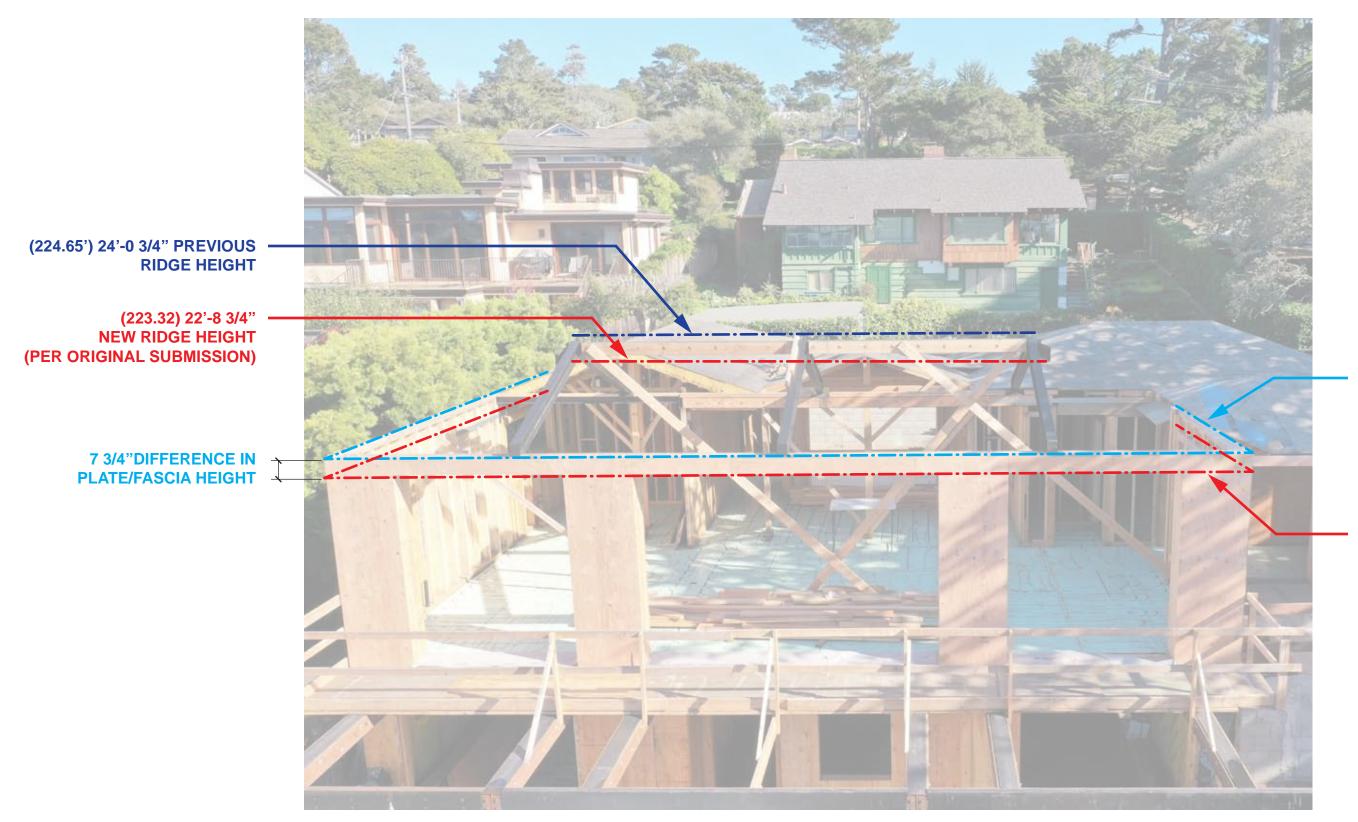






NEC SAN ANTONIO + OCEAN AVE LE CHIFFRE HOLDINGS LLC 03.09.2022

EXISTING CONDITIONS

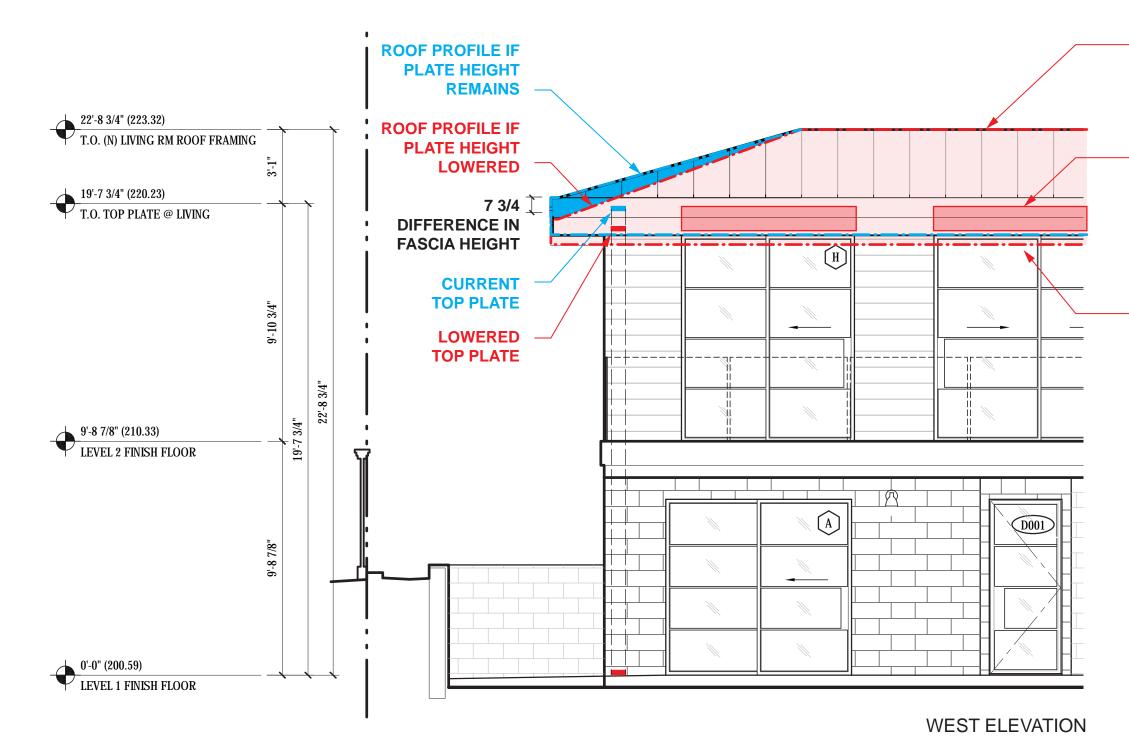


NEC SAN ANTONIO + OCEAN AVE LE CHIFFRE HOLDINGS LLC 03.09.2022 **EXISTING CONDITIONS**

EHRLICH YANAI RHEE CHANEY

19'-0" APPROVED TOP PLATE HEIGHT

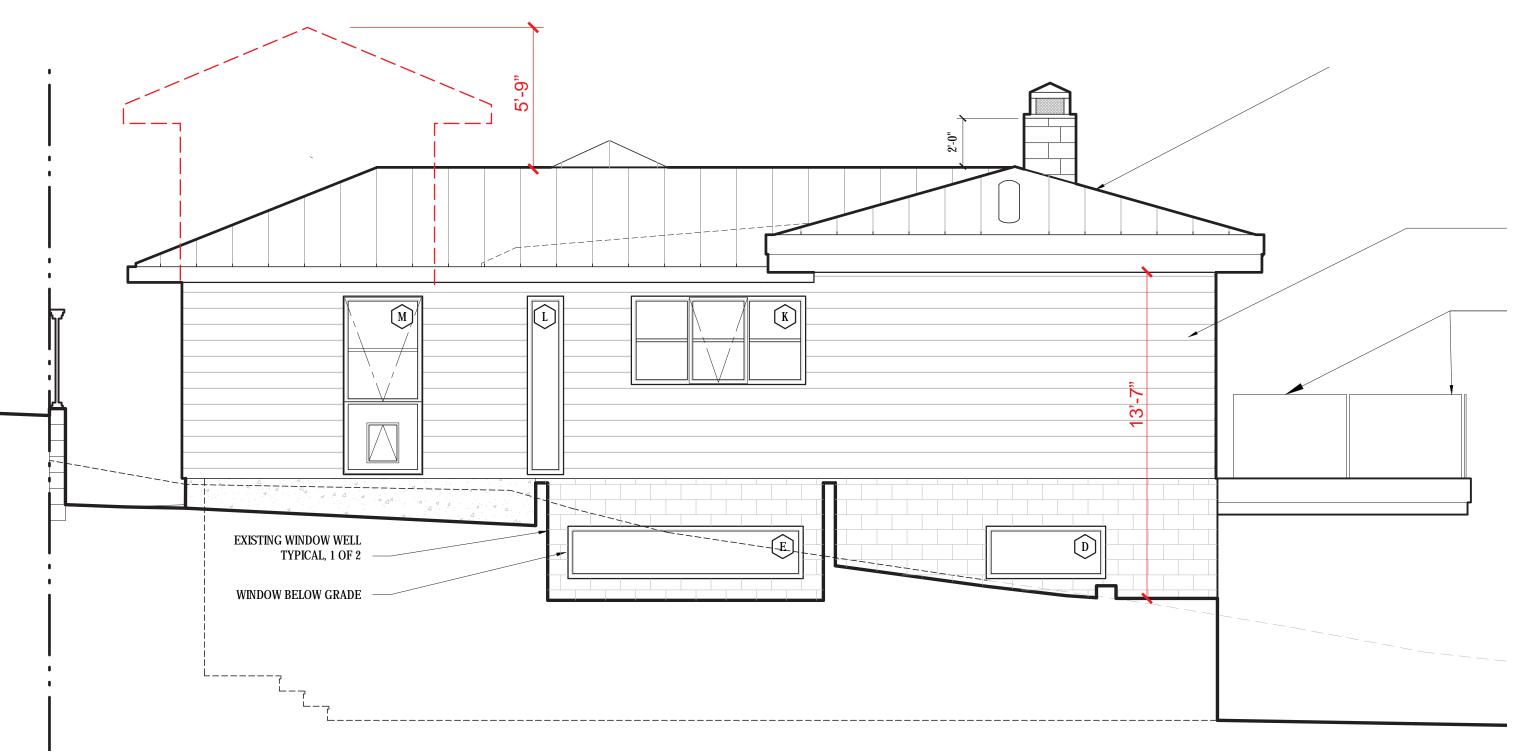
19'-7 3/4" CURRENT TOP PLATE HEIGHT



NEC SAN ANTONIO + OCEAN AVE LE CHIFFRE HOLDINGS LLC 03.09.2022 ELEVATION SHOWING AFFECT OF HIGHER PLATE HEIGHT ON ROOF FORM (223.32) 22'-8 3/4" NEW RIDGE HEIGHT (PER ORIGINAL SUBMISSION)

HEADERS ADDED ABOVE DOORS

CLASH WITH DOOR HEADS IF PLATE IS LOWERED. NEW DOORS WOULD NEED TO BE ORDERED



NEC SAN ANTONIO + OCEAN AVE LE CHIFFRE HOLDINGS LLC 03.09.2022 NORTH ELEVATION SHOWING GRADE CHANGE AND UPPER PORTION OF ROOF PREVIOUSLY REMOVED

NORTH ELEVATION



NEC SAN ANTONIO + OCEAN AVE LE CHIFFRE HOLDINGS LLC 03.09.2022 IMAGE SHOWING LOCATIONS WHERE PLATE HEIGHT AFFECTS ROOF FORM AND IS VISIBLE FROM EAST



ENLARGEMENT OF IMAGE SHOWING NORTH HIP OF ROOF FROM EAST. SIMILAR CONDITION EXISTS ON SOUTH HIP AS WELL

NEC SAN ANTONIO + OCEAN AVE LE CHIFFRE HOLDINGS LLC 03.09.2022 ENLARGEMENT OF IMAGE SHOWING ROOF FORM AND AFFECT ON VIEW FROM EAST

ROOF PROFILE IF PLATE IS LOWERED

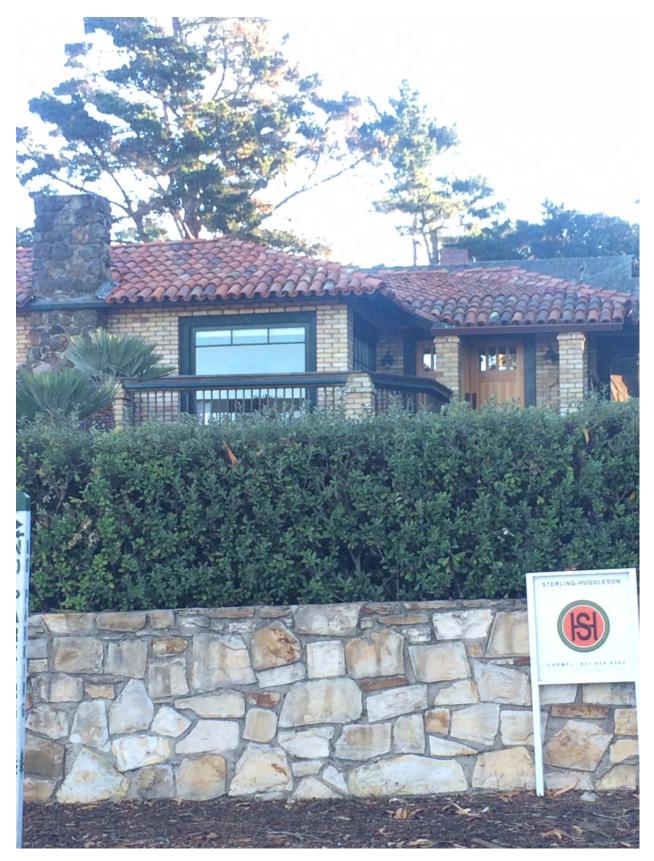
AREA OF VIEW AFFECTED BY HIGHER PLATE HEIGHT

EHRLICH YANAI RHEE CHANEY

RCHITECTS



Residence viewed from San Antonio



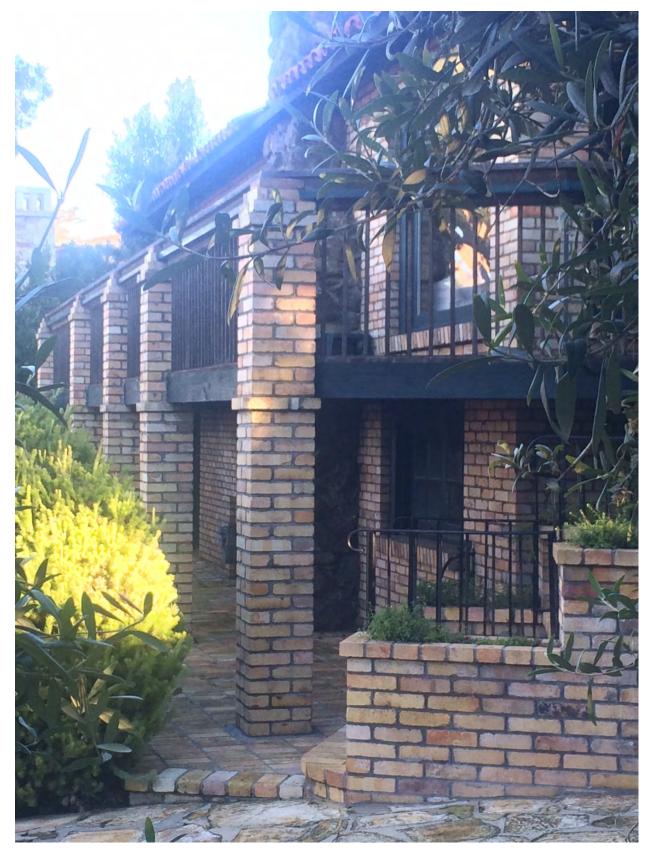
Residence viewed from San Antonio



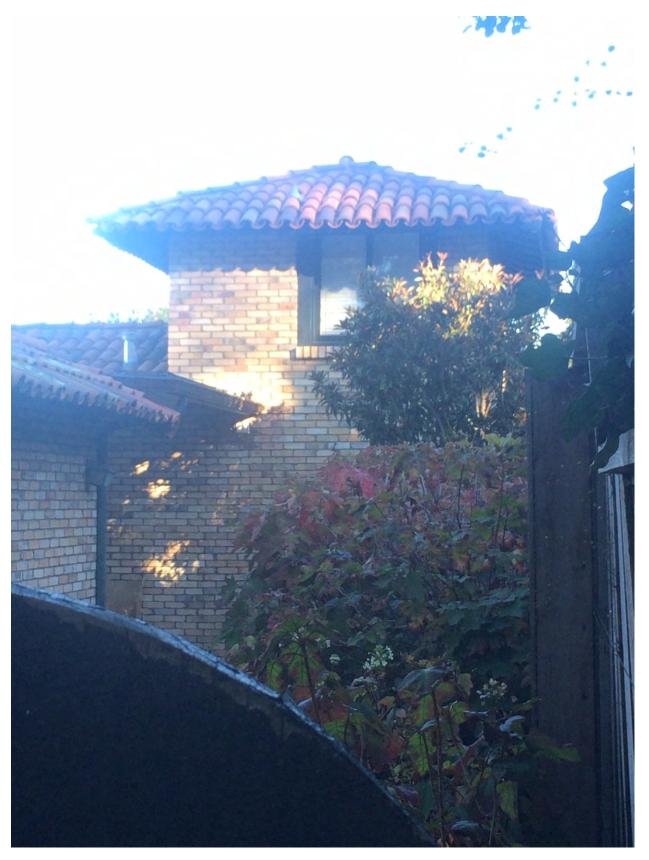
Detached garage, fronting on San Antonio



Front wall along Ocean Ave.



Front balcony and masonry brick details



Second story portion proposed for removal



CITY OF CARMEL-BY-THE-SEA

Planning Commission Report

November 18, 2015

То:	Chair Goodhue and Planning Commissioners	
From:	Marc Wiener, Community Planning & Building Director	
Submitted by:	Ashley Hobson, Contract Planner	
Subject:	Consideration of a Combined Concept and Final Design Study (DS 15-322) and associated Coastal Development Permit for alterations to an existing residence located in the Single-Family Residential (R-1) Zoning District. ¹	

Recommendation:

Staff recommends that the Planning Commission approve the Consideration of a Combined Concept and Final Design Study (DS 15-322) and associated Coastal Development Permit for alterations to an existing residence, subject to the attached findings and recommendations/draft conditions.

Application:	DS 15-322	APN:	010-253-009
Block:	нн	Lot:	2 & 4
Location:	NE Corner of Ocean and San Antonio		
Applicant:	Braden Sterling, Architect	Property Owner: North Point Investment	

Background and Project Description:

The project site consists of a single-family dwelling with a detached garage and guest cottage on an 8,000-square foot lot, located on the northeast corner of San Antonio and Ocean Avenue. The existing dwelling is 2,489 square feet in size and includes a 417-square foot detached two-car garage and a 265-square foot guest cottage at the rear of the garage. The project site is located

¹ Based on the CMC 17.58.040.B.2.a (Step Three: Final Details Review), for projects involving additions or alterations to historic resources or limited changes to non-historic structures, the Director may authorize concept review and final details review to occur at the same meeting. Staff has determined that the limited changes to the structure justify combining the concept review and final details review.

within the Archaeological Significance Overlay, the Park Overlay and the Beach Overlay Districts. A Final Determination of Historic Ineligibility was completed for the residence on August 12, 2015.

The project components include: 1) the removal of 460-square feet of living space by removing the upper floor bedroom and the detached guest cottage, 2) the conversion of 979-square feet of lower level storage space to living space of which 357 square feet qualifies as bonus basement floor area. The total floor area of the residence would be 3,175 square feet, 3) the extension of the front balcony to the west by 3-feet, 4) the removal of the existing planters and walkway in the front yard, 5) new landscaping including a new decomposed granite walkway, 6) the replacement of the existing masonry brick siding as needed, 7) the construction of a new ramada on the rear of the detached garage to replace the guest cottage, and 8) a new gas outdoor fire pit in the front yard.

The existing finish materials include masonry bricks and a clay tile roof. The applicant is proposing to maintain the existing bricks, with minor repairs as needed, and paint the bricks in Benjamin Moore "Deep Silver." Additionally, the applicant is proposed horizontal cedar siding at the entryway. The existing wood balcony railing is proposed to be removed and replaced with a frameless glass guardrail. With regard to the roof, the existing roof tiles are proposed to be removed and replaced with slate roof tiles in "Majestic Matterhorn" color.

Staff has scheduled this application for both conceptual review and final review details due to the limited exterior changes and expansion in the building footprint. If the Commission has concerns that cannot be addressed at one meeting it may continue the application with a request for changes.

PROJECT DATA FOR AN 8,000 SQUARE FOOT SITE:			
Site Considerations	Allowed	Existing	Proposed
Floor Area	2,960 sf*	2,489 sf (31%)	3,175 sf (39%)*
Site Coverage	971 sf**	3,359 sf (41%)	1,961 sf (24%)
Trees	3 Upper /1 Lower (recommended)	0 Trees	0 Trees
Ridge Height	18 ft / 24 ft	28 ft 8 in (2 nd story)	23 ft
Plate Height	12 ft / 18 ft	21 ft 6 in (2 nd story)	18 ft
Setbacks	Minimum Required	Existing	Proposed
Front	20 ft	51 ft (residence)	48 ft (residence)
		5 ft 5 in (garage)	5 ft 5 in (detached garage)
Composite Side Yard	20 ft (25%)	Min: 14 ft 6 in (36%)	Min: 14 ft 6 in (36%)
Minimum Side Yard	3 ft	Min. North Side: 7 ft	Min. North Side: 7 ft
		Min. South Side: 2 ft 6 in	Min. South Side: 2 ft 6 in
		North Side Garage: 3 ft 6in	North Side Garage: 3 ft 6 in
Rear	15 ft	5 ft	5 ft

* The allowable square footage for an 8,000 square foot lot is 2,960 square feet, with a maximum bonus basement floor area of 1,087 square feet (including a 100 square foot basement incentive).

**Includes bonus for 50% or more permeable materials

Staff analysis:

Forest Character: Residential Design Guidelines 1.1 through 1.4 encourage maintaining "*a forested image on the site*" and for new construction to be at least six feet from significant trees.

The site currently contains one small palm tree, and the applicant has not proposed any additional tree replants. As part of the preliminary site assessment, the City Forester recommended two new upper canopy and two new lower canopy trees. Staff has included a condition of approval requiring the planting of two upper canopy and two lower canopy trees on the landscape plan submitted as part of the construction plans.

DS 15-322 (North Point Investments) November 18, 2015 Staff Report Page 4

Privacy & Views: Residential Design Guidelines 5.1 through 5.3 state that "designs should preserve reasonable solar access to neighboring parcel;" "maintain privacy of indoor and outdoor spaces in a neighborhood;" and "maintain view opportunities."

Staff has not identified any view or privacy impacts that would be created by the project. The applicant is proposing to reduce the height of the structure by removing the 195-square foot second story portion, which will result in a height reduction of approximately 6-feet on the rear of the residence. All existing view sheds from neighboring houses will be maintained, and may actually be increased as a result of the project. Staff notes that the applicant is also proposing to enlarge the balcony on the front elevation by extending it 3-feet to the south; however this change does not create any additional privacy concerns.

Mass & Bulk: Residential Design Guidelines 7.1 through 7.6 encourage a building's mass to relate "to the context of other homes nearby" and to "minimize the mass of a building as seen from the public way or adjacent properties." Further, these guidelines state that "a building should relate to a human scale in its basic forms."

The proposed addition will be located on the basement/under floor on the west (front) side of the house and will only result in a minor change to the front façade. Additionally, the proposal includes the removal of the second story (195-square feet). Staff supports the reduction in the buildings mass and notes that the neighborhood is predominately two story homes.

Cut/Fill: Residential Design Guideline 3.2 states: "Minimize the extent of excavation and fill on a site. The site design should follow the natural contours of the site. Where construction is necessary on a steep slope, step the foundation and building forms to follow the contours or locate the long axis of a building to lie parallel with natural contours."

The applicant is proposing to excavate soil from under the house and remove additional soil from the west side of the house to create additional living space. The existing grade of the property gradually drops 10 feet from the rear (east side) to the front (west side) of the property. Staff notes that the excavations will follow the natural contours of the site. A condition has been drafted requiring the applicant to submit a grading plan for staff's review, which will identify the proposed cubic yardage to be removed from the site.

Building & Roof Form: Residential Design Guidelines 8.1 through 8.3 state that "Shallow to moderately pitched roofs are appropriate on one-story buildings." More steeply pitched roof with low plate lines can be used on two-story buildings." The Guidelines emphasize using

"restraint" and "simplicity" in building forms, which should not be complicated, and roof lines, which should "avoid complex forms."

The applicant is proposing to remove the second story portion of the building and extend the existing roof lines over the first floor living space. The portion of the new roof will match the existing gable and pitch over the rest of the house. A proposed roof plan is included on sheet A-3.1 of the plans. The added floor area in the under floor will have a flat roof to allow for the 1st story balcony above and the balcony will extend approximately 3-feet over the roof. With regard to the detached garage and guest house, the roof above the proposed ramada will match the existing pitch. In staff's opinion, the minimal changes to the rooflines are compatible with the design of existing residence.

Basement: The Municipal Code states that "the City provides an incentive to use some of the base floor area and exterior volume in a basement. The result of this incentive is to reduce above-ground floor area and reduce exterior volume for sites awarded bonus floor area in basements." For a one story structure, the Code states that "For each one square foot of the base floor area constructed in a basement and 12 cubic feet of allowed exterior volume not built above average grade, one additional square foot of bonus floor area may be constructed in a basement."

The allowable square footage for an 8,000 square foot lot is 2,960 square feet, with a maximum bonus basement floor area of 1,087 square feet (including a 100 square foot basement incentive). Of the proposed 3,175 square feet, the applicant is proposing 2,818 square feet of "above average grade" floor area, which qualifies the site for the basement bonus incentive. The proposal includes a lower level, with 357 square feet meeting the definition for a Basement. The basement area is depicted with hatched lines on sheet A-2.2 of the plan set. The proposed floor area is in conformance with the Municipal Code.

Detached Garage: The residence currently includes a detached two-car garage and a one bedroom guest house at the rear of the structure. The applicant is proposing to demolish the walls of the guest house to build an outdoor ramada at the rear of the garage. The existing roofline is proposed to remain over the open-walled ramada. The garage, which is within the front setback, is proposed to remain.

Finish Materials: The applicant is proposing to paint the existing masonry brick siding in Benjamin Moore "Deep Silver" and add new Cedar siding at the front entryway. The existing clay tile roof is proposed to be removed and replaced with "Majestic Matterhorn" slate tiles. Additionally, Sierra Pacific wood windows and doors are proposed throughout the house painted in Benjamin Moore

"Twilight" color. Finish details are included on Sheet A-6.3 of the plans and Staff notes that the proposed siding changes will create a modern look for the home.

Exterior Lighting: With regard to light fixtures, Municipal Code Section 15.36.070.B.1 requires that exterior light fixtures on the building do not exceed 25 watts (incandescent equivalent; i.e., approximately 375 lumens). The locations of the proposed light fixtures are depicted on Sheet L-1 of the plan set, and the details are included as Attachment D. The applicant is proposing a Hinkley & FR Brand Atlantis sconce light with an output of 20 watts, a Hinkley & FR Brand Atlantic path light with an output of 20 watts, and a Hardy Island brick light with an output of 18 watts. Six brick lights are proposed around the fire pit and at the front entryway, and eight path lights are proposed along the front walkway. Staff supports the proposed lighting fixtures and notes that they comply with City requirements.

Outdoor Fire Pit: The project proposal includes an outdoor gas fire pit in the front yard. The fire pit is proposed to be approximately 30 feet from the front property line and approximately 40 feet from the north neighbor. Staff has not identified any concerns with the location of the fire pit.

Fences/Walls: A 4-foot high Carmel stone wall currently runs along the west (front), south (side), and east (rear) property lines, and a 5-foot high redwood fence runs along the north property line. All existing walls and fences are proposed to remain. Staff notes that a portion of the existing wall encroaches into the Right of Way, and therefore a condition requiring an encroachment permit is recommended. Photographs of the existing fences are included in Attachment A.

Site Coverage/Landscaping: The existing site coverage consists of multiple stone walkways, steps to the front entryway, and a covered patio, and exceeds the allowed coverage for an 8,000 square foot lot by 2,388 square feet. Per Municipal Code Section 17.10.030.C, nonconforming site coverage is required to be reduced at a rate equal to two times the amount of floor area added to the site, or to an amount that complies with the site coverage limits, whichever is less. The applicant is proposing to add 686 square feet to the residence and therefore is required to remove 1,372 square feet of coverage. The applicant is proposing 1,961 square feet of site coverage, which includes a reduction of 1,398 square feet of coverage.

With regard to landscape, the site currently contains a large a large lawn, a small palm tree, and a tall hedge above the stone walls surrounding the property. The applicant is proposing to maintain the existing grass lawn, which is mostly out of sight from the public view, as well as the existing hedge along the west and south property lines. Additionally, the applicant is proposing new Carmel Creeper shrubs, Red Buckwheat shrubs, Sulfur flower shrubs, and California Meadow Sedge grass

throughout the site. A landscape plan is included on Sheet L-1 of the plan set. As noted earlier, staff has included a condition that two new upper canopy and two new lower canopy trees be added to the landscape plan, per the City Foresters recommendation.

Archaeological Zone: A Preliminary Cultural Resources Reconnaissance Report was prepared for the subject parcel in November 2015. The study found that the nearest archaeological site is approximately 900 feet to the northwest, and that there was no evidence of historic or prehistoric cultural activity indicators (including shell fragments, bone fragments, or culturally modified lithic materials). The report is included as Attachment F. The project archaeologist recommends that there is no reason to delay the project due to archaeological concerns, however it is recommended that in the event that an unexpected trace of historic or prehistoric materials are encountered, a qualified archaeologist should be retained for appropriate mitigation. Staff has included a condition of approval based on the project archaeologist's recommendation.

Public ROW: The unimproved portion of the City Right-of-Way (ROW) between the front property line and edge of pavement ranges from 8-feet to almost 40-feet in width and includes a decomposed granite sidewalk and multiple trees. The existing wall, including the pillars at the entryway, slightly encroaches over the property line into the City ROW. A condition has been drafted requiring the applicant to apply for and obtain an encroachment permit for all encroachments prior to building permit issuance.

Environmental Review: The proposed project is categorically exempt from CEQA requirements, pursuant to Section 15301 (Class 1) – Existing Facilities. The project includes a 582-square foot addition to an existing 1,209-square foot residence, and therefore qualifies for a Class 1 exemption. The proposed alterations to the residence do not present any unusual circumstances that would result in a potentially significant environmental impact.

ATTACHMENTS:

- Attachment A Site Photographs
- Attachment B Findings for Approval
- Attachment C Conditions for Approval
- Attachment D Lighting Details
- Attachment E Roofing Details
- Attachment F Preliminary Cultural Resources Reconnaissance Report
- Attachment G Project Plans

Attachment C – Conditions of Approval

DS 15-322 (North Point Investments) November 18, 2015 Conditions of Approval Page 1

Conditions of Approval					
Amended by the Planning Commission on 11/18/2015					
No.	Standard Conditions				
1.	Authorization: This approval of Design Study (DS 15-322) authorizes the applicant to remove 460 square feet of living space on the second story and in the detached guest cottage, to add 979 square of new living space including a basement. The approval includes a new outdoor ramada attached to the garage, an outdoor gas-burning fire pit, and the enlargement of the existing front balcony. Finish materials include the existing masonry stones painted in a "Silver Gray" color with cedar siding at the front entryway, a slate tile roof, and wood doors and windows. All existing fencing will remain.	2			
2.	The project shall be constructed in conformance with all requirements of the local R-1 zoning ordinances. All adopted building and fire codes shall be adhered to in preparing the working drawings. If any codes or ordinances require design elements to be changed, or if any other changes are requested at the time such plans are submitted, such changes may require additional environmental review and subsequent approval by the Planning Commission.	>			
3.	This approval shall be valid for a period of one year from the date of action unless an active building permit has been issued and maintained for the proposed construction.	7			
4.	All new landscaping, if proposed, shall be shown on a landscape plan and shall be submitted to the Department of Community Planning and Building and to the City Forester prior to the issuance of a building permit. The landscape plan will be reviewed for compliance with the landscaping standards contained in the Zoning Code, including the following requirements: 1) all new landscaping shall be 75% drought-tolerant; 2) landscaped areas shall be irrigated by a drip/sprinkler system set on a timer; and 3) the project shall meet the City's recommended tree density standards, unless otherwise approved by the City based on site conditions. The landscaping plan shall show where new trees will be planted when new trees are required to be planted by the Forest and Beach Commission or the Planning Commission.	>			
5.	Trees on the site shall only be removed upon the approval of the City Forester or Forest and Beach Commission as appropriate; and all remaining trees shall be protected during construction by methods approved by the City Forester.	~			
6.	All foundations within 15 feet of significant trees shall be excavated by hand. If any tree roots larger than two inches (2") are encountered during construction,	>			

	the City Forester shall be contacted before cutting the roots. The City Forester may require the roots to be bridged or may authorize the roots to be cut. If roots larger than two inches (2") in diameter are cut without prior City Forester approval or any significant tree is endangered as a result of construction activity, the building permit will be suspended and all work stopped until an investigation by the City Forester has been completed. Twelve inches (12") of mulch shall be evenly spread inside the dripline of all trees prior to the issuance of a building permit.	
7.	Approval of this application does not permit an increase in water use on the project site. Should the Monterey Peninsula Water Management District determine that the use would result in an increase in water beyond the maximum units allowed on a 4,000-square foot parcel, this permit will be scheduled for reconsideration and the appropriate findings will be prepared for review and adoption by the Planning Commission.	~
8.	The applicant shall submit in writing to the Community Planning and Building staff any proposed changes to the approved project plans prior to incorporating changes on the site. If the applicant changes the project without first obtaining City approval, the applicant will be required to either: a) submit the change in writing and cease all work on the project until either the Planning Commission or staff has approved the change; or b) eliminate the change and submit the proposed change in writing for review. The project will be reviewed for its compliance to the approved plans prior to final inspection.	~
9.	Exterior lighting shall be limited to 25 watts or less (incandescent equivalent, i.e., 375 lumens) per fixture and shall be no higher than 10 feet above the ground. Landscape lighting shall be limited to 15 watts (incandescent equivalent, i.e., 225 lumens) or less per fixture and shall not exceed 18 inches above the ground.	~
10.	All skylights shall use non-reflective glass to minimize the amount of light and glare visible from adjoining properties. The applicant shall install skylights with flashing that matches the roof color, or shall paint the skylight flashing to match the roof color.	~
11.	The Carmel stone façade shall be installed in a broken course/random or similar masonry pattern. Setting the stones vertically on their face in a cobweb pattern shall not be permitted. Prior to the full installation of stone during construction, the applicant shall install a 10-square foot section on the building to be reviewed by planning staff on site to ensure conformity with City standards.	~
12.	The applicant shall install unclad wood framed windows. Windows that have been approved with divided lights shall be constructed with fixed wooden	~

	mullions. Any window pane dividers, which are snap-in, or otherwise						
	superficially applied, are not permitted.						
13.	The applicant agrees, at his or her sole expense, to defend, indemnify, and hold harmless the City, its public officials, officers, employees, and assigns, from any liability; and shall reimburse the City for any expense incurred, resulting from, or in connection with any project approvals. This includes any appeal, claim, suit, or other legal proceeding, to attack, set aside, void, or annul any project approval. The City shall promptly notify the applicant of any legal proceeding, and shall cooperate fully in the defense. The City may, at its sole discretion, participate in any such legal action, but participation shall not relieve the applicant of any obligation under this condition. Should any party bring any legal action in connection with this project, the Superior Court of the County of Monterey, California, shall be the situs and have jurisdiction for the resolution of all such actions by the parties hereto.	~					
14.	The driveway material shall extend beyond the property line into the public right of way as needed to connect to the paved street edge. A minimal asphalt connection at the street edge may be required by the Superintendent of Streets or the Building Official, depending on site conditions, to accommodate the drainage flow line of the street.	~					
15.	This project is subject to a volume study.	N/A					
16.	Approval of this Design Study shall be valid only with approval of a Variance.	N/A					
17.	A hazardous materials waste survey shall be required in conformance with the Monterey Bay Unified Air Pollution Control District prior to issuance of a demolition permit.	~					
18.	The applicant shall include a storm water drainage plan with the working drawings that are submitted for building permit review. The drainage plan shall include applicable Best Management Practices and retain all drainage on site through the use of semi-permeable paving materials, French drains, seepage pits, etc. Excess drainage that cannot be maintained on site, may be directed into the City's storm drain system after passing through a silt trap to reduce sediment from entering the storm drain. Drainage shall not be directed to adjacent private property.	~					
19a.	An archaeological reconnaissance report shall be prepared by a qualified archaeologist or other person(s) meeting the standards of the State Office of Historic Preservation prior to approval of a final building permit. The applicant shall adhere to any recommendations set forth in the archaeological report. All new construction involving excavation shall immediately cease if materials of archaeological significance are discovered on the site and shall not be permitted to recommence until a mitigation and monitoring plan is approved by the	~					

	Planning Commission.	
19b.	All new construction involving excavation shall immediately cease if cultural resources are discovered on the site, and the applicant shall notified the Community Planning and Building Department within 24 hours. Work shall not be permitted to recommence until such resources are properly evaluated for significance by a qualified archaeologist. If the resources are determined to be significant, prior to resumption of work, a mitigation and monitoring plan shall be prepared by a qualified archaeologist and reviewed and approved by the Community Planning and Building Director. In addition, if human remains are unearthed during excavation, no further disturbance shall occur until the County Coroner has made the necessary findings as to origin and distribution pursuant to California Public Resources Code (PRC) Section 5097.98.	~
20.	Prior to Building Permit issuance, the applicant shall provide for City (Community Planning and Building Director in consultation with the Public Services and Public Safety Departments) review and approval, a truck-haul route and any necessary temporary traffic control measures for the grading activities. The applicant shall be responsible for ensuring adherence to the truck-haul route and implementation of any required traffic control measures.	2
21.	All conditions of approval for the Planning permit(s) shall be printed on a full- size sheet and included with the construction plan set submitted to the Building Safety Division.	~
	Special Conditions	
22.	The applicant shall plant and maintain TWO new upper-canopy and TWO new lower-canopy trees of substantial size and caliber and of a species approved by the City Forester. The location, size, and species of this tree shall be noted on the landscape plan submitted with the construction plan set. Prior to final planning inspection, the tree shall be planted on site located approximately 10 feet from any building.	7
23.	Based on Health and Safety Code § 7050.5, if any human remains are exposed, no further excavation or disturbance occurs in the area and that the county coroner is called so that the coroner can verify that the remains are not subject to medical jurisprudence. Within 24 hours of notification, the coroner calls the Native American Heritage Commission if the remains are known or thought to be Native American.	2
24.	In the event that unexpected traces of historic or prehistoric materials, (including, but not limited to human remains, concentrations of shell or heat altered rock or historic trash pits) are encountered during grading or other future development, a qualified archaeologist should be retained for appropriate archaeological mitigation.	7

25.	The applicant shall submit a grading plan with the building permit application identifying the cubic yardage of soil proposed to be excavated and removed from this site as part of the project.	
<u>26.</u>	The applicant shall use blue slate roof tiles without the appearance of overly- chiseled edges.	>

*Acknowledgement and acceptance of conditions of approval.

Property Owner Signature

Printed Name

Date

Once signed, please return to the Community Planning and Building Department.

Attachment 6

CARMEL BEACH HOUSE

OCEAN & SAN ANTONIO CARMEL by the SEA, CALIFORNIA A.P.N. 010-253-09

VICINTY MAP

16

SITE

PROJECT DESCRIPTION

REMODEL OF AN EXISTING SINGLE FAMILY HOME WITH DETACHED GARAGE AND GUEST HOUSE. REMODEL INCLUDES THE ADDITION OF UNDER FLOOR BASE AND BONUS SQUARE FOOTAGE.

ARCHAEOLOGICAL NOTE

THIS PROPERTY IS LOCATED WITHIN AN AREA OF ARCHAEOLOGICAL SENSITIVITY. IF ANY HUMAN REMAINS ARE FOUND AT ANY TIME DURING CONSTRUCTION, WORK SHALL STOP AND THE APPLICANT SHALL IMMEDIATELY NOTIFY THE MONTEREY COUNTY CORONER IN COMPLIANCE WITH APPLICABLE STATE REQUIREMENTS.

ZONING DATA/BUILDING CODE LEGEND				
010 -253-09 80'X100'=8000 SQ. FT. R1 SINGLE FAMILY RESIDENTIAL TYPE V-B	A-6.2 EXIS A-6.3 PRO A-6.4 PRO			
	PROJECT			
BLK H-H, LUI Z & 4 NO	SITE ADDRESS:			
18'-0"	OWNER:			
HIGHEST POINT REDUCED BY 5'-8"				
ANALYSIS	ARCHITECTURE:			
NDARDS: 8000 SQ. FT. 2960 SQ. FT. 987 SQ. FT. 100 SQ. FT. 3947 SQ. FT.	CONTRACTOR: SURVEY:			
TABULATION: 1612 SQ. FT. 195 SQ. FT. 265 SQ. FT. 417 SQ. FT. 2489 SQ. FT. -195 SQ. FT. -265 SQ. FT. -460 SQ. FT.				
	010-253-09 80'X100'=8000 SQ. FT. R1 SINGLE FAMILY RESIDENTIAL TYPE V-B 2 BLK H-H, LOT 2 & 4 NO 18'-0" HIGHEST POINT REDUCED BY 5'-8" ANALYSIS NDARDS: 8000 SQ. FT. 2960 SQ. FT. 987 SQ. FT. 100 SQ. FT. 100 SQ. FT. 100 SQ. FT. 1612 SQ. FT. 195 SQ. FT. 2489 SQ. FT. -195 SQ. FT. -195 SQ. FT. -265 SQ. FT.			

(N) MAIN LEVEL: 1779 SQ. FT. (E) GARAGE: 417 SQ. FT. 622 SQ. FT. (N) LOWER LEVEL BASE: (N) LOWER BASEMENT BONUS: 257 SQ. FT. (N) BASEMENT INCENTIVE: 100 SQ. FT. TOTAL PROPOSED: 3175 SQ. FT.

201

WALL REMOVAL CALCULATION: EXISTING WALL LENGTH: 643 L.F. WALLS TO BE REMOVED: 284 L.F. PERCENT OF WALLS REMOVED: 44%

RECEIVED

SEP 2 4 2015

City of Connel-by-the-Seo

Planning & Building Dept.

SITE ELE RAMADA PATIO I FRONT NORTH SOUTH GARAGE

WEST E SOUTH REAR P STOOP WALLS STEPPIN FIREPIT D.G. WA

SUBTOT

TOTAL S

SHEET INDEX

SHEET NO. DESCRIPTION T-1.1 PROJECT DATA, DRAWING INDEX, VICINITY MAP T-1.2 CITY PLANNING CONDITIONS (NOT INCLUDED) A-1.0 EXISTING SITE-SURVEY A-1.1 PROPOSED SITE PLAN A-2.0 EXISTING FLOOR PLANS AD-2.0 MAIN LEVEL DEMO PLAN A-2.1 PROPOSED MAIN LEVEL PLAN A-2.2 PROPOSED LOWER LEVEL PLAN A-3.1 ROOF PLAN A-5.1 SITE SECTIONS A-6.1 EXISTING EXTERIOR ELEVATIONS A-6.2 EXISTING EXTERIOR ELEVATIONS A-6.3 PROPOSED EXTERIOR ELEVATIONS A-6.4 PROPOSED EXTERIOR ELEVATIONS

ROJECT DATA

NE CORNER OF SAN ANTONIO & OCEAN CARMEL BY THE SEA, CA 93921 NORTH POINT INVESTMENTS P.O. BOX 470577 SAN FRANCISCO, CA 94147

STERLING + HUDDLESON P.O. BOX 221092 CARMEL, CA 93922 PH. 831.624.4363

T.B.D.

L&S ENGINEERING 2460 GARDEN ROAD MONTEREY, CA 93940 PH. 831.655.2861

SITE C	OVERAGE:
LOT SIZE:	8000 SQ. FT.
MAX. TOTAL SITE COVERAGE:	971 SQ. FT.
EXISTING SITE COVERAGE:	3359 SQ. FT.
SITE COVERAGE REQ'D	686 SQ. FT. ADD'N X 2
TO BE REMOVED:	= 1732 SQ. FT.
ALLOWABLE SITE COVERAGE: PROPOSED SITE COVERAGE:	1987 SQ. FT. (3359 - 1732) 1961 SQ. FT.

SITE COVERAGE TABULATION:

LEMENT	IMPERM. AREA	PERM. AREA	
A UNDER DECK ENTRY STEPS STEPS E APRON ENTRY ENTRY PATIO	277 S.F. 242 S.F. 199 S.F. 23 S.F. 18 S.F. 117 S.F. 66 S.F. 68 S.F. 173 S.F. 20 S.F. 176 S.F.		
NG STONES & PATIO ALKS	35 S.F. 183 S.F.	364 S.F.	
AL	1597 S.F.	364 S.F.	
SITE COVERAG	ε	1961 S.F.	



STERLING - HUDDLESON A R C H I T E C T U R E

P.O. BOX 221092 CARMEL, CA. 93922 TEL. 831.624.4363 www.sterlinghuddleson.com

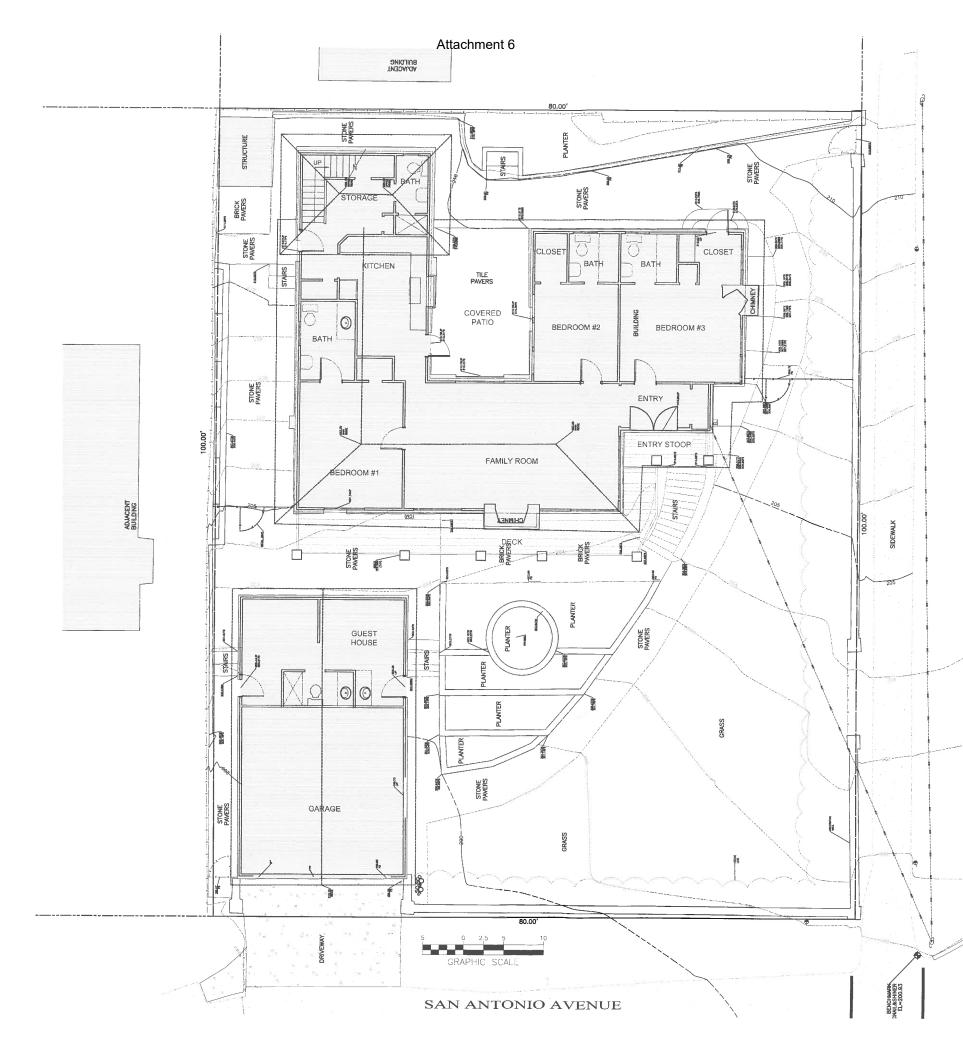
ш HOUSI EAN ST CA 93923 S CARMEL BEACH F SAN ANTONIO & OCEA CARMEL BY THE SEA, C/

A.P.N. 010-253-09

Prepared by:

CONCEPT REVIEW

Action:
Date: 09.23.15
Scale: 1/4"=1'-0"
Drawn:
Sheet:
TITLE SHEET
Sheet:
T-1.1





STERLING - HUDDLESON A R C H I T E C T U R E

> P.O. BOX 221092 CARMEL, CA 93922 TEL. 831.624,4363

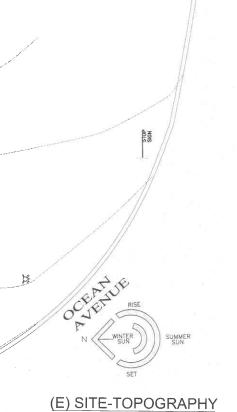
www.sterlinghuddleson.com



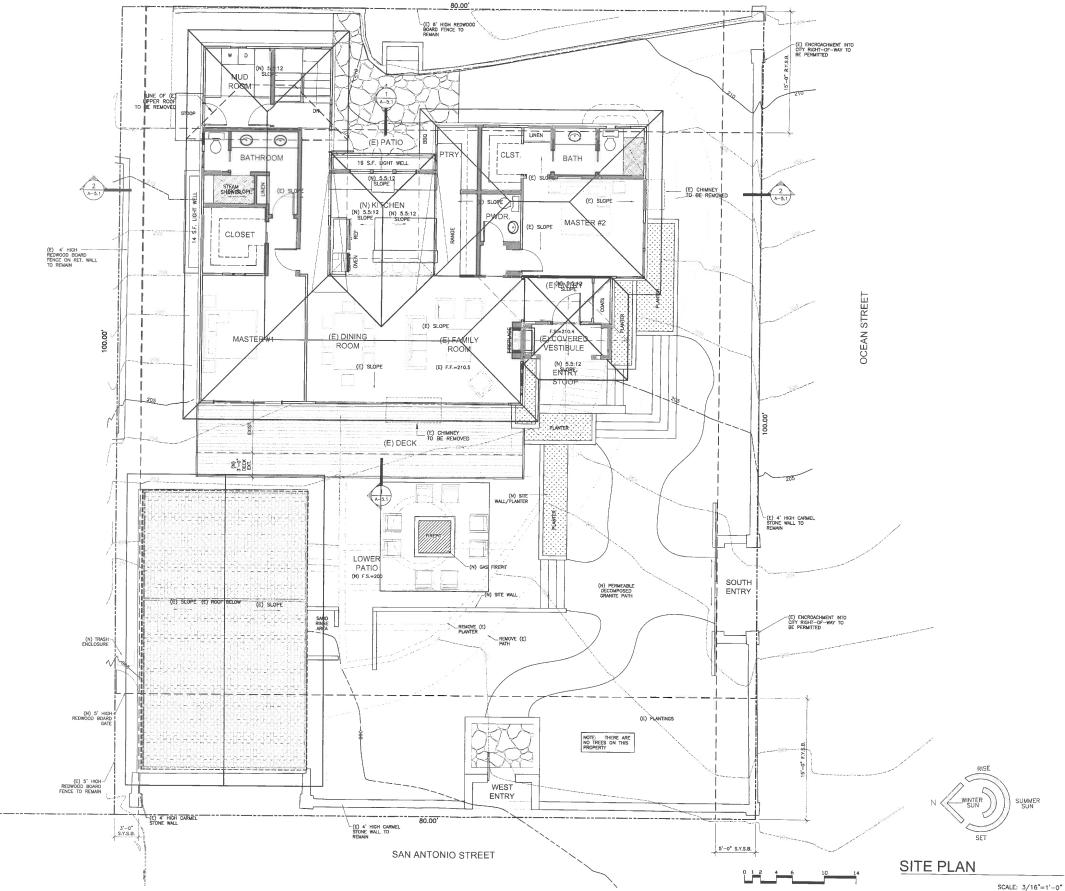
A.P.N. 000-000-00



Action:	
Date:	09.23.15
Scale:	NOTED
Drawn:	
Sheet:	
	SITE
Sheet:	
Λ	10
A	-1.0



SCALE: 3/16"=1'-0"





STERLING - HUDDLESON A R C H I T E C T U R E

P.O. BOX 221092 CARMEL, CA. 93922 TEL. 831.624.4363

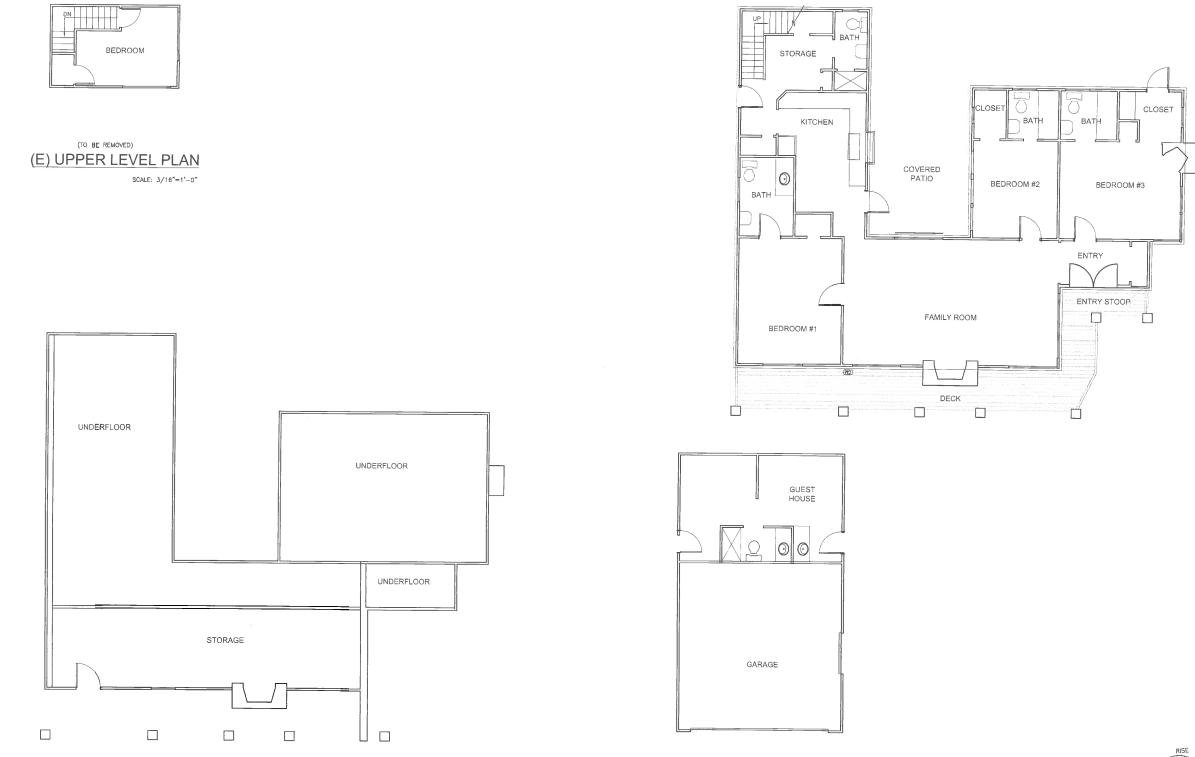
www.sterlinghuddleson.cor



A.P.N. 000-000-00



Action:
Date: 09.23.15
Scale: NOTED
Drawn:
Sheet: PROPOSED SITE PLAN
Sheet:
A-1.1



(E) LOWER LEVEL PLAN

-

SCALE: 3/16"=1'-0"



STERLING - HUDDLESON A R C H I T E C T U R E

> P.O. BOX 221092 CARMEL, CA. 93922 TEL. 831.624.4363 www.sterlinghuddleson.com

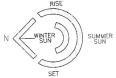


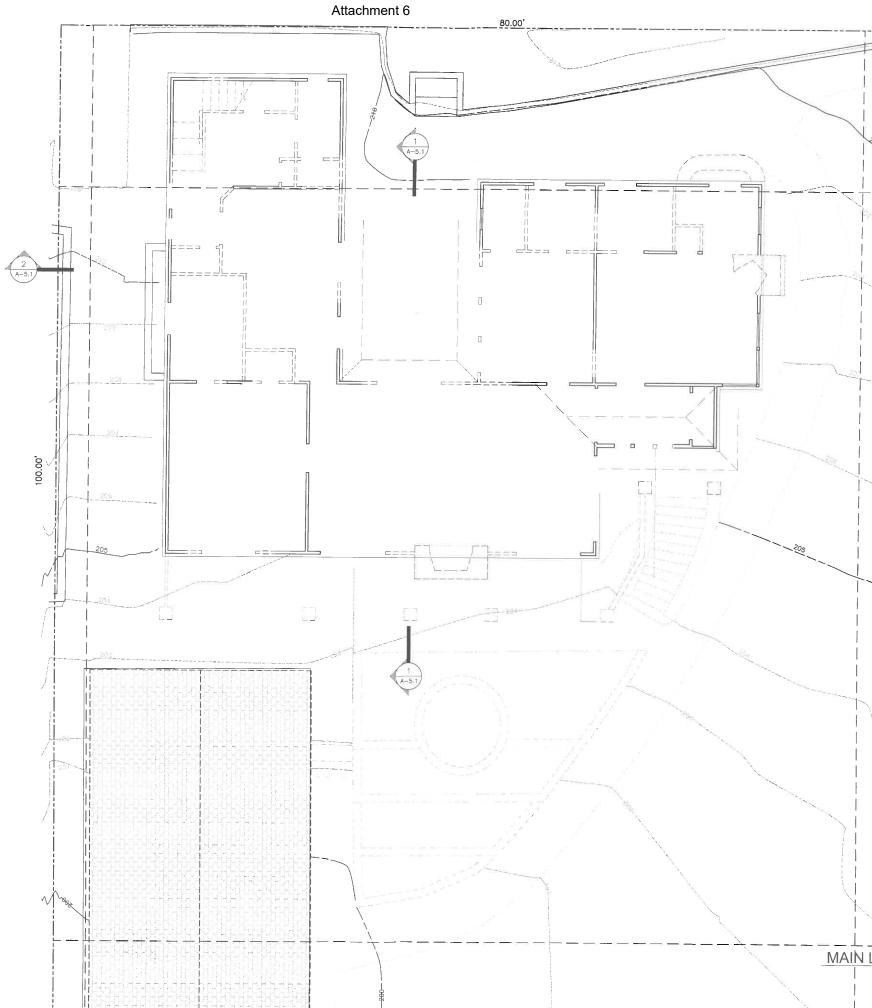
A.P.N. 000-000-00

Prepared by:

All ideas, designs and pitrus indicated or represented by Deas thronign rate world y and on the property of Starling's hiddleaso and more module and developed for use in connection with the specified project boxed such these, designs or phore what the connection of the specified project boxed for any purpose settious the militare particular of Scaling-Hiddleaso. Copyright 2014–2015, All offsta reserved.

Action: Date: 09.23.15 Scale: NOTED Drawn: Sheet: Sheet: A-2.0





.



STERLING - HUDDLESON A R C H I T E C T U R E

> P.O. BOX 221092 CARMEL, CA. 93922 TEL. 831.624,4363 www.sterlinghuddleson.com

CARMEL BEACH HOUSE SAN ANTONIO & OCEAN ST CARMEL BY THE SEA, CA 93923

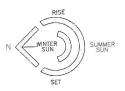
A.P.N. 000-000-00

Prepared by:

WALL LEGEND

00.00

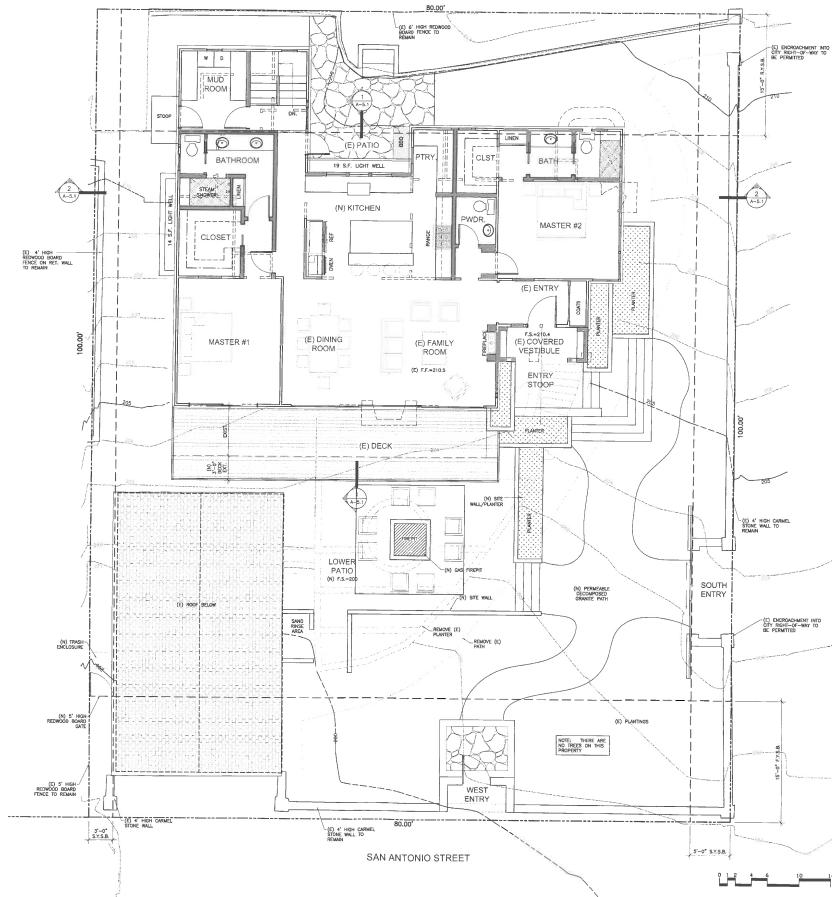
		(E)	2x	STUDS	то	REMAIN
		(E)	2x	STUDS	то	BE REMOVED



SCALE: 1/4"=1'-0"

PRELIMINARY
Al Hote, dance and plan includes or resummed by these dansing era search by and the the property of Streky subsense and an era work? Solid developed for as it to consist on the theorem of the property these of the lasts, theory are plans and writeing persisting of Schnier-Hotelesse. Copyright 22H-47:5:3:Al Aplor monul Streky-Huddenon
Action:
Date: 06.02.15
Scale: 1/4"=1'-0"
Drawn:
Sheet: MAIN LEVEL DEMO PLAN
Sheet:
AD-2.0

Attachment 6



-

OCEAN STREET



STERLING - HUDDLESON A R C H I T E C T U R E

P.O. BOX 221092 CARMEL, CA. 93922 TEL. 831.624.4363

www.sterlinghuddleson.cor

CARMEL BEACH HOUSE SAN ANTONIO & OCEAN ST CARMEL BY THE SEA, CA 93923

A.P.N. 000-000-00

Prepared by:

Date: 09.23.15

Scale: 3/16"=1'-0" Drawn:

Sheet: PROPOSED UPPER PLAN

A-2.1

Sheet:

Action:

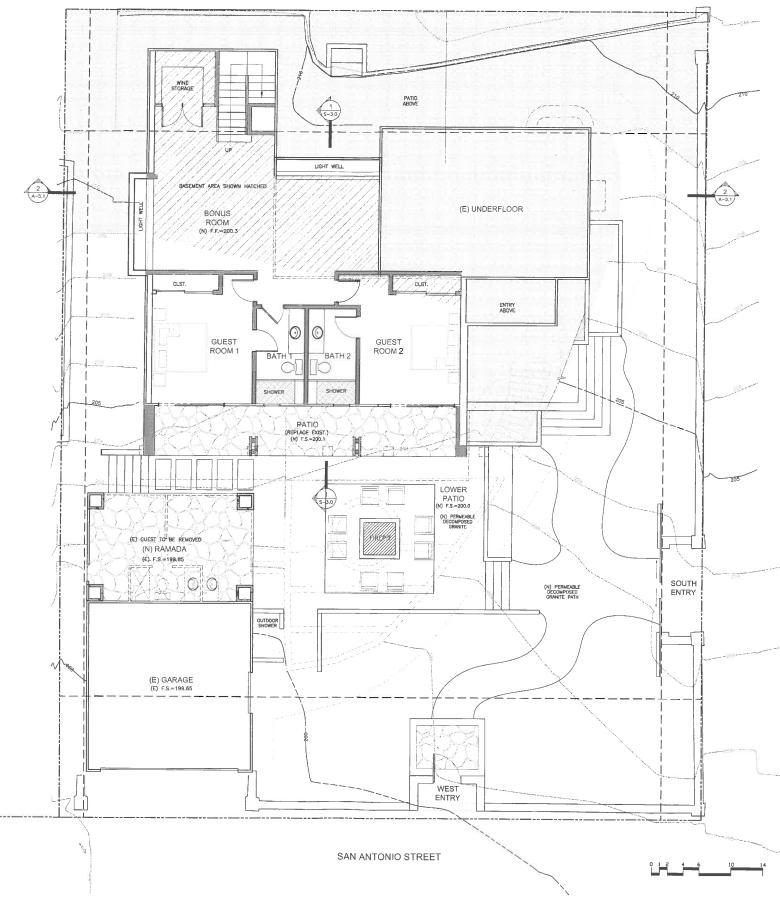
WALL LEGEND (N) 2x6 STUDS 🛛 16" o/c distances. (E) 2x STUDS (E) 2x STUDS TO BE REMOVED

-WINTER SUN SUMMER SUN 5 SET

PROPOSED MAIN LEVEL FLOOR PLAN

SCALE: 3/16"=1'-0"

1.00





STERLING - HUDDLESON A R C H I T E C T U R E

P.O. BOX 221092 CARMEL, CA. 93922 TEL. 831.624.4363

www.sterlinghuddleson.com

CARMEL BEACH HOUSE SAN ANTONIO & OCEAN ST CARMEL BY THE SEA, CA 93923

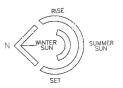
A.P.N. 000-000-00

Prepared by:

WALL LEGEND

OCEAN STREET

(N) 2x6 STUDS @ 16" o/c
(E) 2x STUDS
(E) 2x STUDS TO BE REMOVED



PROPOSED LOWER LEVEL FLOOR PLAN

SCALE: 3/16"=1'-0"

PRELIMINARY

Al ideos, designs and play represented by these develops are sensed by and are the property of Stanlag-Huddeeou and error constant developed for use in connection with the specified project. Home of serie Vients, designs or plane shall in must for any compose without the

Date: 09.23.15 Scale: 3/16"=1'+0*

Sheet: PROPOSED LOWER PLAN

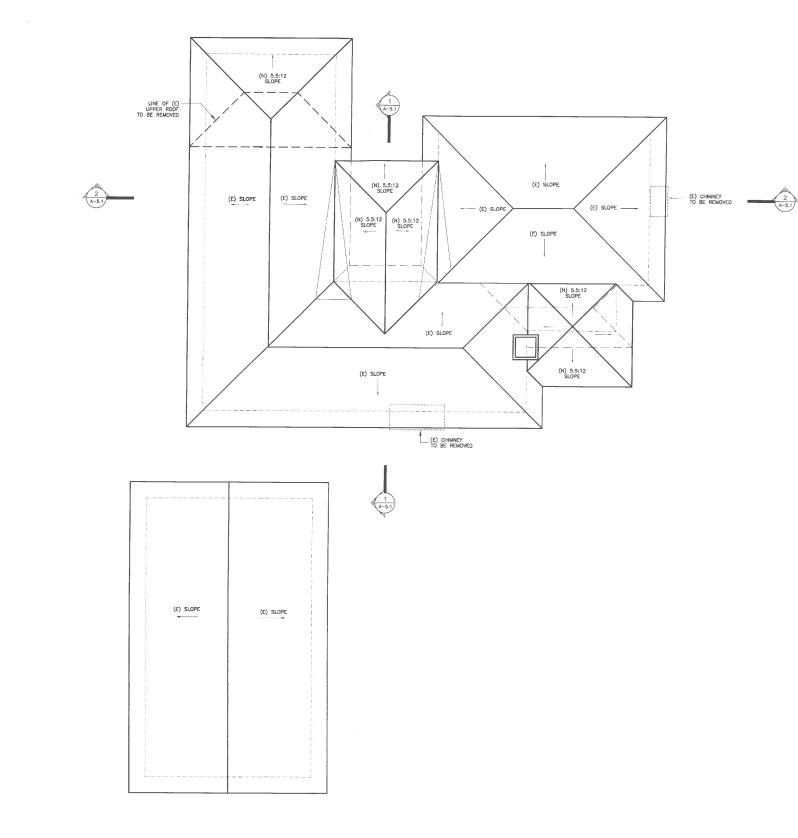
A-2.2

Drawn:

Sheet:

..... -

 \sim





STERLING - HUDDLESON A R C H I T E C T U R E

P.O. BOX 221092 CARMEL, CA. 93922 TEL. 831.624.4363

www.sterlinghuddleson.com



A.P.N. 000-000-00

Prepared by:

PRELIMINARY

All ideas, designs and plans indicated or reportanded by these dravings are zeroed by oth one the property of Starling-Haddies and ware cardial: and developed for see in connection with the specified pages. Note of such ideas, designs or plans that be used for an unance without the

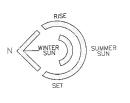
Date: 07.01.15 Scale: 3***=1'-0* Drawn:

Sheet: PROPOSED ROOF PLAN

A-3.1

Sheet:

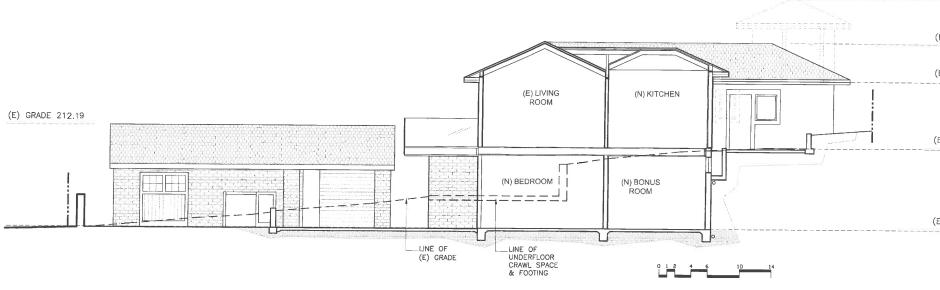
Action:



PROPOSED ROOF PLAN

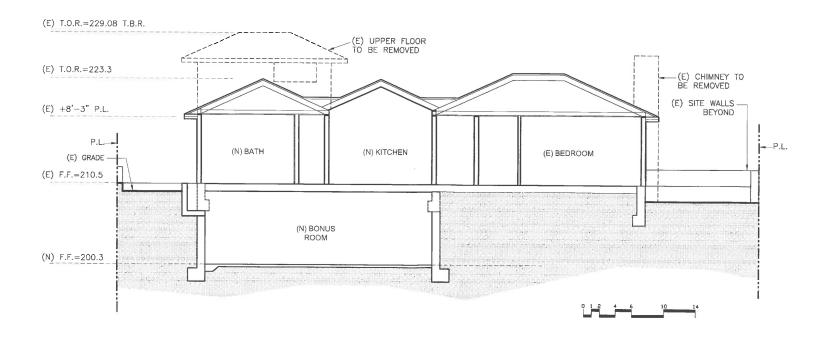
1

-



SECTION 1-1

SCALE: 3/16"=1'-0"



SECTION 2-2

SCALE: 3/16"=1'-0"

(E) 229.1

(E) 223.3

(E) +8'-3" P.L.

(E) F.F.=210.5

(E) F.S.=199.58



STERLING - HUDDLESON A R C H I T E C T U R E

P.O. BOX 221092 CARMEL, CA. 93922 TEL. 831.624.4363

www.sterlinghuddleson.com

CARMEL BEACH HOUSE SAN ANTONIO & OCEAN ST CARMEL BY THE SEA, CA 93923

A.P.N. 000-000-00

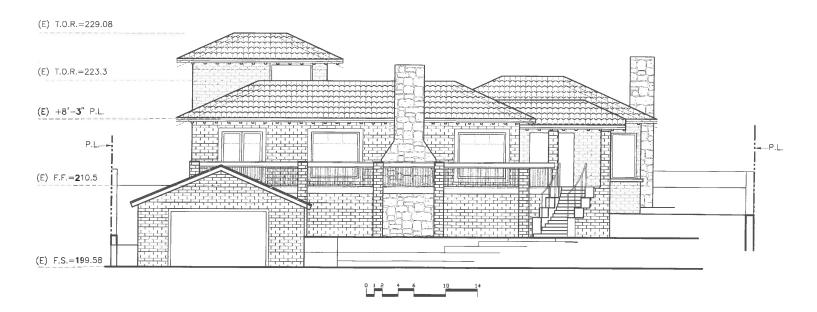
Prepared by:

PRELIMINARY

All ideas, designs and plans indexted represented by these dowings are sense by out as the property of Sterling Hui-and were created and developed for use connection with the specified project News of such dison, designs cor plans be used for any purpose without the

Action: Date: 07.01.15 Scale: 3"=1'-0" Drawn: Sheet: SECTIONS

Sheet: A-5.1 Attachment 6





SCALE: 3/16"=1'-0"



EXISTING SOUTH ELEVATION

SCALE: 3/16"=1'-0"

(E) 229.1

(E) +8'-3" P.L.

(E) F.F.=210.3

(E) F.S.=199.58





STERLING - HUDDLESON A R C H I T E C T U R E

P.O. BOX 221092 CARMEL, CA. 93922 TEL. 831.624.4363

www.sterlinghuddleson.com

CARMEL BEACH HOUSE SAN ANTONIO & OCEAN ST CARMEL BY THE SEA, CA 93923

A.P.N. 000-000-00

Prepared by:

PRELIMINARY

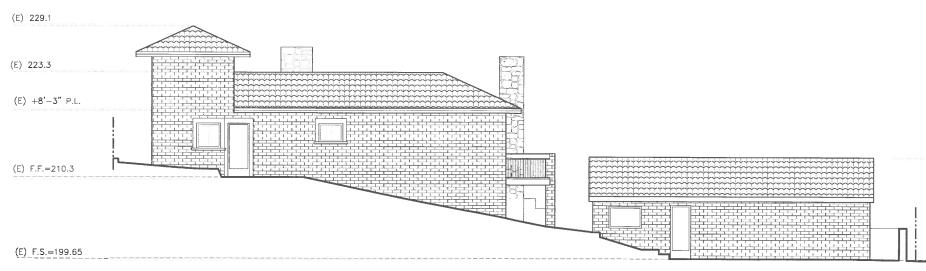
Action: Date: 07.01.15 Scale: 3#=1'-0* Drawn: Sheet: EXISTING ELEVATIONS Sheet:

A-6.1



EXISTING EAST ELEVATION

SCALE: 3/16"=1'-0"



.

-

EXISTING NORTH ELEVATION



STERLING - HUDDLESON A R C H I T E C T U R E

> P.O. BOX 221092 CARMEL, CA. 93922 TEL. 831.624.4363

www.sterlinghuddleson.com

CARMEL BEACH HOUSE SAN ANTONIO & OCEAN ST CARMEL BY THE SEA, CA 93923

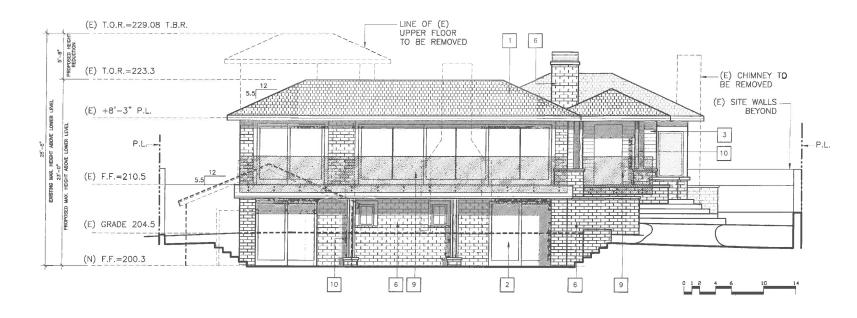
A.P.N. 000-000-00

Prepared by:

PRELIMINARY

All lifess, designs and plans indicated or represented by these drawings are extend by and one the poperty of Usafes, kuldason and wave ented and developed for use in concection with the spaceford project. Never of such bases, saligns or plane shall be meet for any purpose which the writtles permission of Schlag-HAMBanon Copyright. 2014–2015. M organ reserved.

Action: Date: 07.01.15 Scale: 1:0° Drawn: Sheet: EXISTING ELEVATIONS Sheet: A-6.2



PROPOSED WEST ELEVATION

SCALE: 3/16"=1'-0"

EXTERIOR FINISHES

2. SIERRA PACIFIC WOOD DOORS AND WINDOWS. COLOR: BENJAMIN MOORE TWILIGHT 2058-10 SATIN FINISH. FIELD SAMPLE FOR APPROVAL. CONTRACTOR SHALL PROVIDE SHOP DRAWINGS FOR REVIEW

SEALER.

4. STEEL CHIMNEY CAP W/ I.C.C. APPROVED SPARK ARRESTOR. CAP SHALL BE LISTED AND LABELED FOR THE MAKE AND MODEL OF FIREPLACE/FLUE BEING INSTALLED. FINISH TO MATCH #2

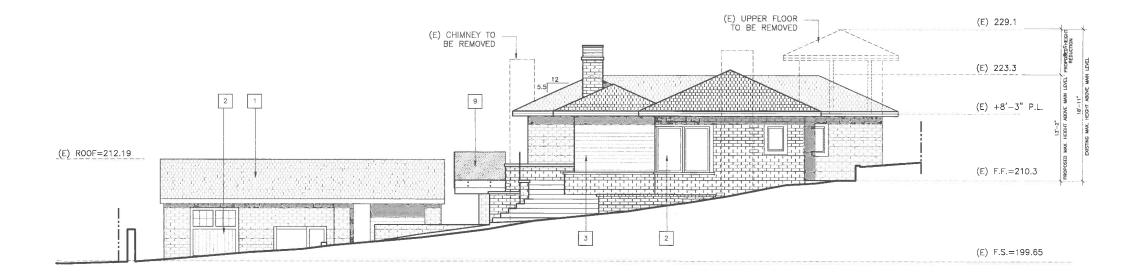
5. 5" DIA. HALF ROUND COPPER GUTTER W/ 3" DIA. DOWNSPOUTS. TIE INTO STORM DRAIN SYSTEM. SEE SHT. C-1

6. EXISTING MASONRY BRICK. PATCH AND REPLACE AS REQUIRED. CHEMICAL TREAT AND PAINT. BENJAMIN MOORE 'DEEP SILVER' 2121-30 FLAT FINISH

7. CEDAR GARAGE DOORS BY "GARAGE DOOR INC" MODEL "T", PER EXTERIOR ELEVATION FINISH TO MATCH #2

PLAN.

9. FRAMELESS GLASS GUARDRAIL



PROPOSED SOUTH ELEVATION



STERLING - HUDDLESON A R C H I T E C T U R E

P.O. BOX 221092 CARMEL, CA. 93922 TEL. 831.624.4363 www.sterlinghuddleson.com

1. SLATE ROOF "MAJESTIC MATTERHORN" AMERICAN SLATE CO. (OR EQUAL), STACK TILE 3 HIGH AT EAVE WITH 2" OVERHANG PER DETAIL. 16X8 @ 50%, 16X10 @ 50% OVER 2 LAYERS 30# FELT. COPPER FLASHING.

3. CLEAR CEDAR 6" HORIZONTAL SIDING. MITRED CORNERS, NO TRIM, CLEAR

8. 8" CMU BLOCK WALL WITH MASONRY VENEER PER NOTE #6. HEIGHT PER

10. 6X6 CLEAR CEDAR POST

ш CARMEL BEACH HOUSI SAN ANTONIO & OCEAN ST CARMEL BY THE SEA, CA 93923

A.P.N. 000-000-00

Prepared by:

PRELIMINARY

cti	on	:

Date: 09.23.15 Scale: $\frac{3}{16}$ "=1'-0" Drawn:

Sheet: PROPOSED ELEVATIONS

A-6.3

Sheet:

Attachment 6

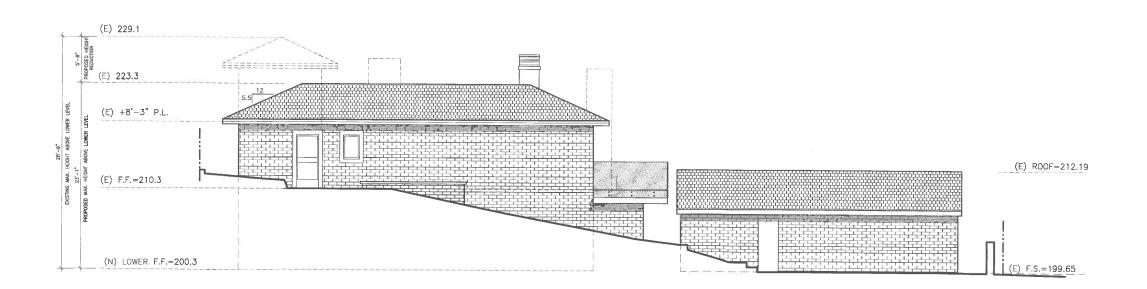
EXTERIOR FINISHES



PROPOSED EAST ELEVATION

SCALE: 3/16"=1'-0"

PLAN.



PROPOSED NORTH ELEVATION

1. SLATE ROOF "MAJESTIC MATTERHORN" AMERICAN SLATE CO. (OR EQUAL), STACK TILE 3 HIGH AT EAVE WITH 2" OVERHANG PER DETAIL. 16X8 © 50%, 16X10 © 50% OVER 2 LAYERS 30# FELT. COPPER FLASHING.

2. SIERRA PACIFIC WOOD DOORS AND WINDOWS. COLOR: BENJAMIN MOORE 'TWILIGHT' 2058-10 SATIN FINISH. FIELD SAMPLE FOR APPROVAL. CONTRACTOR SHALL PROVIDE SHOP DRAWINGS FOR REVIEW

3. CLEAR CEDAR 6" HORIZONTAL SIDING. MITRED CORNERS, NO TRIM, CLEAR SEALER.

4. STEEL CHIMNEY CAP W/ I.C.C. APPROVED SPARK ARRESTOR, CAP SHALL BE LISTED AND LABELED FOR THE MAKE AND MODEL OF FIREPLACE/FLUE BEING INSTALLED. FINISH TO MATCH #2

5. 5" DIA. HALF ROUND COPPER GUTTER W/ 3" DIA. DOWNSPOUTS. THE INTO STORM DRAIN SYSTEM. SEE SHT. C-1

6. EXISTING MASONRY BRICK. PATCH AND REPLACE AS REQUIRED. CHEMICAL TREAT AND PAINT. BENJAMIN MOORE 'DEEP SILVER' 2121-30 FLAT FINISH

7. CEDAR GARAGE DOORS BY "GARAGE DOOR INC" MODEL "T", PER EXTERIOR ELEVATION FINISH TO MATCH #2

8. 8" CMU BLOCK WALL WITH MASONRY VENEER PER NOTE #6. HEIGHT PER

9. FRAMELESS GLASS GUARDRAIL

10. 6X6 CLEAR CEDAR POST



STERLING - HUDDLESON A R C H I T E C T U R E

P.O. BOX 221092 CARMEL, CA. 93922 TEL. 831.624.4363 www.sterlinghuddleson.com



A.P.N. 000-000-00

Prepared by:

PRELIMINARY

Action:
Date: 09.23.15
Scale: 3"=1'-0"
Drawn:
Sheet: PROPOSED ELEVATIONS
Sheet:
A-6.4



1. "CEANOTHUS ORISEUS" CARMEL CREEPER TYPE: SHRUB/GROUND COVER



2. "ERIOGONUM UMBELLATUM" SULFUR FLOWER TYPE: SHRUB



5. MULCH/BARK GROUND COVER

3. "ERIOGONUM GRANDE RUBESCENS" RED BUCKWHEAT TYPE: SHRUB/GROUND COVER o great and See.

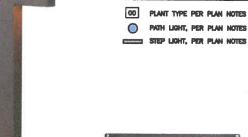


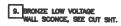
4. "CAREX PANSA" CLAIFORNIA MEADOW SEDGE TYPE: PERENNIAL GRASS



6. PERMOUS SAND SET PAVERS 7. IMPERMOUS GROUT SET PAVERS







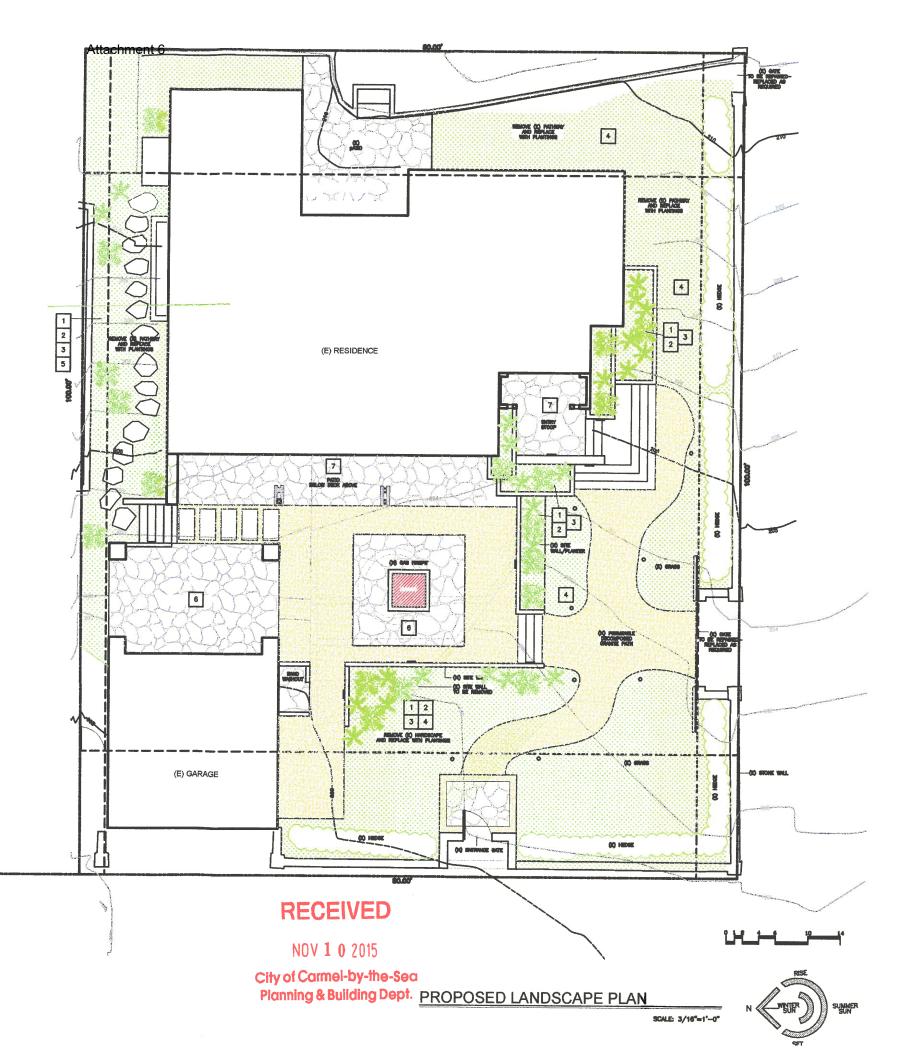
10. BRONZE LOW VOLTAGE PATH LIGHT, SEE CUT SHT.

PATH LIGHT, PER PLAN NOTES -STEP LIGHT, PER PLAN NOTES

SYMBOLS LEGEND



11. BRONZE LOW VOLTAGE STEP LIGHT, SEE CUT SHEET





STERLING - HUDDLESON

P.O. BOX 221092 CARMEL, CA. 93922 TEL. 831.624.4363



Prepared by:	
	-

If does, doings out plan tablead or represented by biom doings one most by of con the property of doing-biologue one and the second of the second of the second second of the second of the second biom of each size of the second of the second constraints of the second of the
Action:
Date: 11.05.15
Scale: 3/16"=1'-0"
Drawn:
Sheet: PROPOSED LANDSCAPE PLAN
Sheet:
L-1

HINKLEY LIGHTING. INC. Attachment 33000 PIN OAK PAPKWAY II AVON LAKE. OHIO 44012 IPHI 440.653.5500 [F] 440.653.5555 HINKLEYLIGHTING.COM | FREDRICKHAMOND.COM



ATLANTIS 1648	BZ
BRONZE	
MATERIAL	EXTRUDED ALUMINUM BODY
GLASS	TEMPERED GLASS LENS
WIDTH	6.0"
HEIGHT	16.0"
EXTENSION	3.5"
TTO	13.8"
BACKPLATE HEIGHT	4.5"
BACKPLATE WIDTH	4.5"
BULB	TWO 20W MR16 (INCLUDED)
VOLTAGE	120V
UPC	640665164824
NOTES:	

AT HINKLEY, WE EMBRACE THE DESIGN PHILOSOPHY THAT YOU CAN MERGE TOGETHER THE LIGHTING, FURNITURE. ART. COLORS AND ACCESSORIES YOU LOVE INTO A BEAUTIFUL ENVIRONMENT THAT DEFINES YOUR OWN PERSONAL STYLE. WE HOPE YOU WILL BE INSPIRED BY OUR COMMITMENT TO KEEP YOUR 'LIFE AGLOW.'

lifeAGLOW®

RECEIVED

NOV 1 0 2015 City of Carmel-by-the-Sea Planning & Building Dept.

Attachment 6

HINKLEY LIGHTING, INC. Attachment S3000 PIN OAK PARKWAY I AVON LAKE OHIO 44012 IPHI 440.653.5500 [F] 440.653.5556 HINKLEY LIGHTING.COM I PREDRICKRAMOND.COM

Attachment 6



ATLANTIS 1518BZ	
BRONZE	

MATERIAL	ALUMINUM
GLASS	ETCHED GLASS LENS
WDTH	6.5"
HEIGHT	22.0"
EXTENSION	-
TTO	-
BACKPLATE HEIGHT	-
BACKPLATE WIDTH	-
BULB	ONE 20W T3 BI-PIN (INCLUDED)
VOLTAGE	12V
UPC	640665151800
NOTES:	

AT HINKLEY, WE EMBRACE THE DESIGN PHILOSOPHY THAT YOU CAN MERGE TOGETHER THE LIGHTING. FURNITURE. ART, COLORS AND ACCESSORIES YOU LOVE INTO A BEAUTIFUL ENVIRONMENT THAT DEFINES YOUR OWN PERSONAL STYLE. WE HOPE YOU WILL BE INSPIRED BY OUR COMMITMENT TO KEEP YOUR 'LIFE AGLOW.'

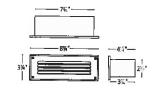


LED STEP & BRICK LIGHTS

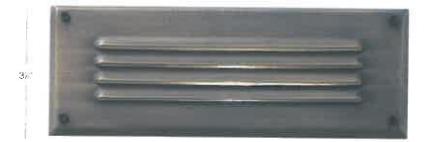




1594 BZ-LED LOUVERED LED BRICK LIGST



850



1594 MZ-LED ARDY ISLAND LOUVERED LED BRICK LYGHT

HARDY ISLAND"

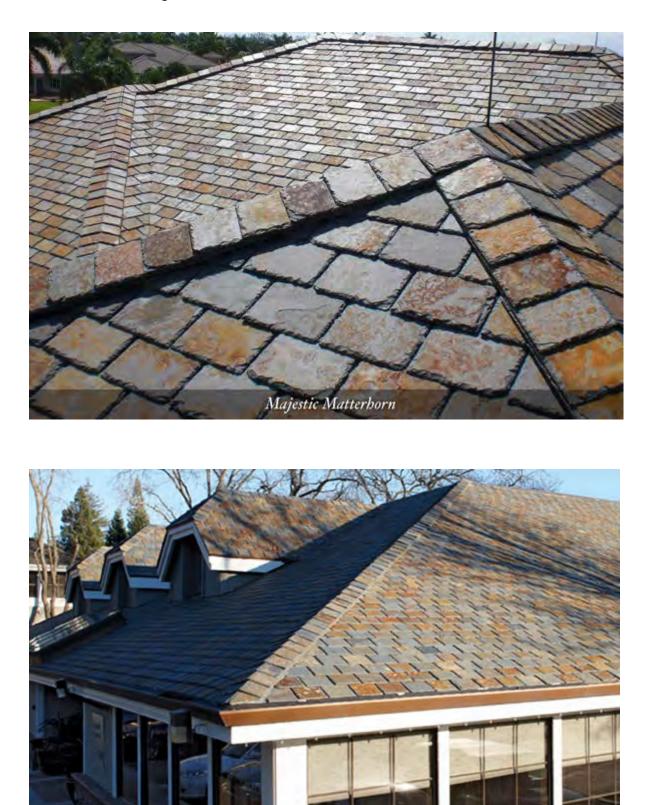
Constructed from solid cast brass in 2 weathered Matte Brane finish, these instruments designed to withstand extrema climates.

LEO STEP & BRICK LIGHTS: 12V

ITEM	NAME	FINISH	WIDTH	HEIGHT	DEPTH	CONSTRUCTION	GLASS LENS	LED ENGINE	LED WATTAGE	INCANDESCENT EQUIVALENCY	POWER SUPPLY REQUIREMENT
1594 BZ-LED	Louvered LED Brick Light	Bronze	8¾" (face) 7¾" (housing)	3¼" (face) 2½"(housing)	½" (face) 3¾" (housing)	Galvanized Steel Housing Cast Aluminum Faceplate	Clear	E0036LED	2.1w	18w	3.2VA
1594 MZ-LED	Louvered LED Brick Light	Matte Bronze	8¾" (face) 7¾" (housing)	3¼" (face) 2½" (housing)	½" (face) 3¾" (housing)	Galvanized Steel Housing Solid Brass Faceplate	Clear	E0036LED	2.1w	18w	3.2VA

A wiring kit is supplied. For accessories, see page 53. For Transformers, see pages 54-55.





Majestic Matterborn

majestic matterhorn

Characteristics

Color: Rich grey with an exciting melange of orange, yellow and green

Surface: A rough textured appearance

Standard Tile Sizes





16" x 10" (40 cm x 25 cm) 16" x 8" (40 cm x 20 cm)

Thickness: 1/4" - 3/8"

Weight: Approximately 950 lbs. per square

Note: The weights given above are based on a 2" double beadlap (DHL). For a 3" DHL add 3,5%. All American Slate roofing slates are pre-drilled with two nail boles.

ASTM No.	Specification	Results
C120	Modulus of Rupture	9060 psi
C121	Water Absorption	0.36%
C217	Weather Resistance	0.001 in.

Attachment 7



CITY OF CARMEL-BY-THE-SEA PLANNING COMMISSION Staff Report

February 10, 2021 PUBLIC HEARINGS

TO:	Chair LePage and Planning Commissioners
SUBMITTED BY:	Marnie R. Waffle, AICP, Senior Planner
APPROVED BY:	Brandon Swanson, Community Planning & Building Director
SUBJECT:	DS 20-323 (NEC San Antonio & Ocean): Consideration of combined Concept & Final Design Study (DS 20-323, Le Chiffre Holdings, LLC) and associated Coastal Development Permit for alterations to an existing single-family residence located in the Single-Family Residential (R-1) District, Archaeological Significance Overlay District, Park Overlay District, Beach & Riparian Overlay District, and Coastal Commission Appeal Jurisdiction (APN 010-253-009).
	CEQA Action: Staff recommends the project be found categorically exempt from CEQA pursuant to Section 15301 (Class 1) – Existing Facilities.

Application: DS 20-323 (Le Chiffre Holdings, LLC) APN: 010-253-009					
Block:HH	Lot:2 & 4				
Location: NEC San Antonio & Ocean					
Applicant: Adam Jeselnick, Architect	Property Owner: Le Chiffre Holdings, LLC				

Executive Summary:

The applicant is requesting approval of a combined Concept and Final Design Study and associated Coastal Development Permit for alterations to an existing single-family residence. The residence is in a state of partial construction and the prior Design Study (DS 15-322, Northpoint Investments) expired concurrent with the building permit.

Recommendation:

Adopt a Resolution (Attachment 1) approving a combined Concept & Final Design Study and associated Coastal Development Permit for alterations to an existing single-family residence located at the northeast corner of San Antonio and Ocean Avenue.

Attachment 7 The project site contains a single-family dwelling with detached garage on an 8,000 square-foot lot. A Design Study (DS 15-322, Northpoint Investments) was approved on November 18, 2015 for additions and alterations to the existing residence. Notable changes included,

- 1) The removal of a 195 square-foot, second-story bedroom at the northeast corner of the residence;
- 2) Replacement of a 265 square-foot guest cottage attached to the rear of the detached garage with a new ramada;
- 3) The conversion of 979 square feet of lower level/basement storage space to living space;
- 4) Expansion of the front balcony by 3 feet; and,
- 5) Associated site improvements.

A Building Permit (BP 16-055) was issued on September 13, 2016 and construction commenced. Based on the building inspection record, the building permit was set to expire in September 2018, but an extension was granted by the Building Official. The last building inspection was conducted on April 12, 2019 and the building permit expired on October 12, 2019. The Design Study (DS 15-322) expired concurrently with the building permit. The property is now under new ownership represented by Adam Jeselnick Architect and a Design Study application (DS 20-323, Le Chiffre Holdings, LLC) has been submitted to complete construction of the project and for minor alterations to Design Study (DS 15-322, Northpoint Investments). The alterations include,

- · Replacing the gable roof on the detached garage with a flat roof;
- · Replacing the ramada with a pergola behind the garage;
- · Construction of exterior stairs on the north elevation;
- Replace the chemically treated and painted masonry brick with stone veneer and horizontal wood siding (Note: masonry brick was removed and disposed of by prior owner);
- Replace the slate roof with a standing seam metal roof;
- Replace painted wood doors and windows with steel doors and windows;
- Minor revisions to fenestration in response to modifications in the floor plan; and,
- New exterior light fixtures.

Table 1. Floor Area Comparison

	Original Residence	Design Study (DS 15-322) Approval	Design Study (DS 20-323) Proposed Alterations
Detached Garage	417 SF	417 SF	426 SF
Guest Cottage	265 SF	0 SF	0 SF
Main Level	1,612 SF	1,779 SF	1,770 SF
Upper Level	195 SF	0 SF	0 SF
Lower Level	0 SF	979 SF	1,079 SF
Total Square Feet	2,489 SF	3,175 SF	3,275 SF

Historic Status: A Historic Evaluation was conducted in 2003 by Kent Seavey and concluded the property did not qualify as a historic resource. In 2007, staff issued a Determination of Ineligibility for the historic inventory; that determination expired in 2012. As part of the 2015 Preliminary Site Assessment, staff re-issued a Determination of Ineligibility for the historic inventory.

Staff has scheduled the application for a combined Concept and Final Design Study review. If the Commission has concerns that cannot be addressed at one meeting, the project can be continued with direction to the applicant.

Staff Analysis:

Overlay Districts: The project is located within the following overlay districts:

Archaeological Significance Overlay

The purposes of the Archaeological Significance (AS) Overlay District are to, implement the General Plan/Coastal Plan Land Use Plan; protect archaeological sites in Carmel; provide for the designation of archeological resources; and, create a clear process and standards for evaluating projects that may affect archaeological resources.

An archaeological report was prepared in November 2015 by Susan Morley and did not find evidence of any cultural resources. The report recommended that that in the event that unexpected traces of historic or prehistoric materials, i.e., human remains, concentrations of shell or heat altered rock or historic trash pits are encountered during grading or other future development, a qualified archaeologist should be retained for appropriate archaeological mitigation.

All grading activities associated with excavating the lower level/basement storage space to living space have been completed. Additional excavation associated with constructing the stairs on the north elevation would be minimal. Standard Condition No. 20 requires that all construction activities cease if cultural resources are discovered on the site.

Park Overlay

The specific purposes of the Park (P) Overlay District are to implement the General Plan/Coastal Plan Land Use Plan and to ensure that development of private property adjacent to parks and open spaces is compatible with their continued enjoyment.

The project site is located on the east side of San Antonio, north of Ocean Ave; on the west side of San Antonio is Carmel Beach and the North Dunes which provides habitat for the endangered Black legless lizard and Tidestrom's Lupine. The area has undergone extensive restoration to restore the natural habit for plant and animal life. The proposed project would not interfere with the continued enjoyment of Carmel Beach or the North Dunes.

Beach & Riparian Overlay/Appeal Jurisdiction

The purpose of the Beach and Riparian/Appeal Jurisdiction (AB) Overlay District is to provide review standards applicable to public and private property development located near public beach lands to ensure that proposed development is compatible with the public enjoyment of the City's coastal resources and with the California Coastal Act.

The proposed development is a remodel of an existing single-family residence and alterations to an existing detached garage in the Single-Family (R-1) District. The project would not alter the public enjoyment of the City's coastal resources or be in conflict with the California Coastal Act. In accordance with the General Plan and Local Coastal Plan, a Coastal Development Permit (CDP) will be issued for the project and is appealable to the Coastal Commission.

Forest Character: Residential Design Guidelines 1.1 through 1.4 encourages preserving significant trees and minimizing impacts on established trees; protecting the root systems of all trees to be preserved; and, maintaining a forested image on the site.

<u>Staff Response</u>: A Preliminary Site Assessment was completed in August 2015 and no trees were identified on the property. The City Forester recommended that two upper canopy and two lower canopy trees be planted and that recommendation has been included as Condition No. 29 (Attachment 1). With the

Privacy and Views: Residential Design Guidelines 5.1 through 5.3 encourages designs that preserve reasonable privacy for adjacent properties and maintain view opportunities to natural features.

<u>Staff Response</u>: No view impacts were identified in the review of this project. The view shed improved with the removal of the second-story bedroom (at the northeast corner of the residence) which was completed when the project was under construction previously.

The 2015 Preliminary Site Assessment identified potential privacy impacts to the north neighbor who has a south facing window and the subsequent Design Study approval included minimal fenestration on the north elevation consisting of a door and small window located towards the rear of the property.

The applicant has reconfigured the floor plan and along the north wall of the house, the master suite has been replaced with the kitchen and pantry. The fenestration on the north elevation has been modified to reflect the new floor plan layout and includes a triple light window in the pantry with the outer lights fixed and a casement window in the center. Additional windows on the north elevation are located towards the rear of the property and include, two awning windows, one in the bathroom and one in the laundry room.

The applicant is also proposing new, exterior stairs on the north elevation to provide a convenient path of travel from the garage to the kitchen, both of which are located on the north side of the property. The exterior stairs have been delineated as part of the staking and flagging. As of the writing of this report, staff has not been contacted by the north neighbor.

Parking and Access: Residential Design Guidelines 6.1 through 6.7 encourages subordinate parking facilities that do not dominate the design of the house or site; minimizing the amount of paved surface for a driveway; positioning garages to maximize open space, views and privacy; and, minimizing visual impacts.

<u>Staff Response</u>: A property that is 8,000 square feet or less in size requires one, off-street parking space. The required parking for the project is provided by an existing 417 square-foot, detached garage located partially within the front setback along the north property line. The garage has a 5:12 pitched gable roof and the walls are finished with the same brick veneer that was removed from the residence. The existing driveway is concrete which extends into the right-of-way where it connects with the asphalt street edge.

The applicant is proposing to replace the existing brick with a limestone veneer to match the remodeled house and replace the gable roof with a flat green (aka living) roof. The driveway material is not identified on the plans; however, the Residential Design Guidelines recommend avoiding grey concrete. While the existing concrete is cracked, the applicant may choose to patch the cracks and retain the portion that is located on private property. Condition No. 31 requires that the concrete in the public right-of-way be removed. Should the applicant decide to replace the entire driveway, an encroachment permit for a driveway replacement can be applied for.

Retaining the garage in its current location reduces the amount of paved surface needed for the driveway. Additionally, changing the roof form from gabled to flat reinforces the garage as subordinate to the residence. With the application of conditions, the project meets the objectives of parking and access.

Mass and Bulk: Residential Design Guidelines 7.1 through 7.7 encourages a building's mass to relate to the context of other homes nearby; minimize the mass of a building as seen from the public way or adjacent properties; and, relate to a human scale in its basic forms.

<u>Staff Response</u>: The conversion of the lower level storage/basement area to living space did not add mass or bulk to the project and the removal of the second-story bedroom actually reduced the mass of the residence. The neighborhood is predominately two-story homes and the project is consistent with this context. The project meets the objectives of mass and bulk.

Building and Roof Form: Residential Design Guidelines 8.1 through 8.5 encourages traditional building forms; using restraint with variations in building planes; using simple roof forms that are in proportion to the scale of the building; and, roof eave lines that are low in scale.

<u>Staff Response</u>: As noted above, the removal of the second-story bedroom was a notable change to the project. This modification not only resulted in a reduction of mass, but it also removed a building form that extended above the main ridge of the house. The removal of this bedroom also reduced the overall height of the residence by 5'-8".

The existing roof pitch is 5.5:12 throughout. The applicant is proposing to reduce the roof pitch to 4:12 along the west facing portion of the residence above the kitchen and living room. This modification would allow the doors on the upper level to be the same height as the 8' doors on the ground level. However, the existing residence has a nonconforming plate height of 18'-6" on the west elevation which would increase to 19'-9". Condition No. 33 limits the plate height to existing conditions. With the application of conditions, the project meets the objectives of building and roof form.

Right-of-way Character: Residential Design Guidelines 1.5 through 1.7 encourages maintaining an informal open space character of the right-of-way; maintaining trees and natural vegetation; and, designing parking areas to reinforce the forest image.

<u>Staff Response</u>: The 2015 Preliminary Site Assessment documented the following right-of-way encroachments, 1) boulders located north of the driveway on San Antonio and 2) an asphalt walkway located south of the property in between the stone wall and Ocean Avenue. Staff notes that the asphalt walkway serves as a public sidewalk providing a pedestrian connection between Casanova Street and Carmel Beach. Condition No. 30 (Attachment 1) requires the removal of all non-permitted encroachments, excluding the asphalt path, prior to final inspection as well as removal of all gravel. Improvements in the right-of way along the front of the property are limited to the driveway providing access to the detached garage, and natural soil, mulch or plantings. Parking is not permitted on the east side of San Antonio. Consistent with the neighborhood context, Condition No. 32 requires that the right-of-way be planted and that a planting layout and plant palette be included in the final landscape plans. With the application of conditions, the project meets the objectives of right-of-way character.

Exterior Lighting: Carmel Municipal Code Section 15.36.070.B.1 states that all exterior lighting attached to the main building or any accessory building shall be no higher than 10 feet above the ground and shall not exceed 25 watts (incandescent equivalent; i.e., approximately 375 lumens) in power per fixture, and that landscape lighting shall not exceed 18 inches above the ground nor more than 15 watts (incandescent equivalent; i.e., approximately 275 lumens) per fixture.

In addition, Residential Design Guideline 11.8, states that projects should, "preserve the low nighttime lighting character of the residential neighborhoods. Use lights only where needed for safety and at outdoor activity areas."

<u>Staff Response</u>: The applicant is proposing to install a Louis Poulsen 'Toldbod 6.1' exterior wall-mounted sconce. The fixture is shielded, directs light downward and delivers a lighting level of 189 lumens. The

applicant is proposing a total of 9 fixtures as follows:

- · 2 on the garage
- · 3 at the second floor balcony (front elevation)
- 4 at the rear patio

The applicant is also proposing a WAC Lighting WL-LED 101 exterior step light. The fixture is shielded and directs light downward. Each fixture delivers 89 lumens. The applicant is proposing a total of 10 step lights - six at the front entry and four at the exterior stairs at the northwest corner of the house. The project meets the requirements for exterior lighting.

Site Coverage: Sites that are not in compliance with site coverage limits are not authorized to increase site coverage. Additionally, sites with excess coverage may only add floor area when the site complies with the R-1 district tree density provisions <u>and</u> excess site coverage will be reduced at a rate equal to two times the amount of floor area added to the site (ref: CMC 17.10.030.C.2, Nonconforming Site Coverage).

<u>Staff Response</u>: The property had non-conforming site coverage of 3,359 square feet which was removed during construction, with the exception of the concrete driveway. Up to 651 square feet of site coverage is permitted on an 8,000 square-foot lot, or up to 971 square feet if at least half is permeable.

The project is required to reduce excess site coverage by two-times the square footage of the addition. The addition is 686 square feet and requires a reduction of 1,372 square feet of site coverage. The applicant is proposing 1,950 square feet of site coverage, all of which would be impermeable including, but not limited to, a 402 square-foot second-story front deck with patio below; a 194 square-foot front fire pit patio; a 284 square-foot pergola behind the garage; 416 square feet of front porch, walls, steps and walkways; and a 230 square-foot rear patio. The remaining site coverage elements include, perimeter walls, exterior stairs on the north elevation, a light well, and the driveway.

Skylights: The project does not include any skylights.

Fencing/Gate/Arbor: The project does not include new fencing, gates or arbors.

Finish Details: The 2015 Design Study approval included, retaining the brick veneer and painting it 'Deep Silver'; 6" clear cedar siding at the front porch; a slate tile roof; and, unclad wood windows and doors painted 'Twilight'. During construction, the brick veneer was removed and disposed of. The applicant is proposing a limestone veneer for the lower floor and horizontal wood siding for the upper floor; steel bronze windows; and, a standing seam metal roof (see Attachment 5, Sheet A16).

Other Project Components:

Staff recommends the project be found categorically exempt from the California Environmental Quality Act (CEQA), State CEQA guidelines and local environmental regulations, pursuant to Section 15301 (Class 1) – Existing Facilities. Class 1 exemptions include, alterations to existing private structures involving negligible or no expansion of the existing or former use such as additions to existing structures provided that the addition will not result in an increase of more than 50 percent of the existing floor area or 2,500 square feet, whichever is greater. The project consists of interior and exterior alterations and a minor addition to an existing single-family residence. The 686 square-foot addition represents 28% of the floor area of the existing residence. The project does not change the existing or former use of the property as a single-family residence and the project does not present any unusual circumstances that would result in a potentially significant environmental impact.

Attachment 7

Attachment 1 - Resolution Attachment 2 - Site Photographs Attachment 3 - Project Data Table Attachment 4 - Project Plans DS 20-323 (Le Chiffre Holdings, LLC) February 10, 2021 Site Photographs



Photo 1. Existing gable roof on garage to be replaced with flat roof

DS 20-323 (Le Chiffre Holdings, LLC) February 10, 2021 Site Photographs



Photo 2. South elevation of existing garage. East portion to be converted to a pergola.

DS 20-323 (Le Chiffre Holdings, LLC) February 10, 2021 Site Photographs



Photo 3. New exterior stairs on north elevation.

DS 20-323 (Le Chiffre) January 13, 2021 Project Data Table Page 1 of 1

PROJECT DATA FOR AN 8,000 SQUARE FOOT SITE				
Site Considerations	Allowed	Existing (DS 15-322)	Proposed (DS 20-323)	
Floor Area	2,960 SF (37%)	3,175 SF	3,175 SF	
Basement Bonus	100 SF	100 SF	100 SF	
Basement Incentive	284 SF	257 SF	257 SF	
Site Coverage	651 SF/971 SF	1,961 SF	1,950 SF	
Trees (Upper/Lower)	5/4	0/0	0/0	
Ridge Height (1 st /2 nd)**	18'/18'	23' (residence)	23' (residence)	
Riuge Height (1 / 2)	18/18	12'-6" (garage)	10'-9" (garage)	
Plate Height (1 st /2 nd)	12'/18'	18'-6" (residence)	19'-9" (residence)	
		7'-9" (garage)	10'-9" (garage)	
Setbacks	Minimum Required	Existing (DS 15-322)	Proposed	
Front	15'	48' residence	48' residence	
FIUIIL	10	5'-5" garage	5' garage	
Composite Side Yard	20' (25%)	14'-6"	14'-6"	
Cido Vard	3'	North: 7'	North: 7'	
Side Yard		North (garage): 3'-6"	North (garage): 3'	
Street Side Yard	5′	South: 2'-6"	South: 2'-6"	
Rear	15'/3'*	East: 5'	East: 5'	

*The rear setback is three feet for those portions of structures less than 15 feet in height.

** Park Overlay District: Projects of more than one-story or over 18' in height require Planning Commission approval (CMC 17.20.100.C). Approvals granted under this section (CMC 17.20.110.A) shall not violate any height limits established for the property by the underlying zoning district or any other overlay districts (CMC 17.20.110.A.3).

** Beach & Riparian District: All proposed construction shall be limited to a height of 18' above existing or finished grade whichever results in a lower height (CMC 17.20.160.B.3, Height).

CITY OF CARMEL-BY-THE-SEA PLANNING COMMISSION

PLANNING COMMISSION RESOLUTION NO. 2021-009-PC

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF CARMEL-BY-THE-SEA APPROVING A COMBINED CONCEPT AND FINAL DESIGN STUDY AND ASSOCIATED COASTAL DEVELOPMENT PERMIT FOR ALTERATIONS TO AN EXISTING SINGLE-FAMILY RESIDENCE LOCATED AT THE NORTH EAST CORNER OF SAN ANTONIO & OCEAN AVE APN 010-253-009

WHEREAS, Adam Jeselnick, Architect ("Applicant") submitted an application requesting the approval of a Design Study (DS 20-323, Le Chiffre Holdings, LLC) described herein ("Application"); and

WHEREAS, the Application has been submitted for an 8,000-square-foot lot located at the northeast corner of San Antonio and Ocean Avenue in the Single-Family Residential (R-1) District (Block HH, Lots 2 & 4); and

WHEREAS, the Applicant is requesting approval for minor alterations to an existing singlefamily dwelling and in accordance with Chapter 17.58.040 (Residential Design Review) of the Carmel Municipal Code, requires a Design Study approved by the Planning Commission; and

WHEREAS, a Coastal Development Permit is also required in accordance with Chapter 17.52.090 (Coastal Development Permit Required) of the Carmel Municipal Code; and

WHEREAS, the California Environmental Quality Act (California Public Resources Code §§ 21000, *et seq.*, "CEQA"), together with State Guidelines (14 California Code Regulations §§ 15000, *et seq.*, the "CEQA Guidelines") and City Environmental Regulations (CMC 17.60) require that certain projects be reviewed for environmental impacts and that environmental documents be prepared; and

WHEREAS, pursuant to CEQA regulations, Staff is recommending that the Application be found categorically exempt under Section 15301 (Class 1) – Existing Facilities; and

WHEREAS, notice of the public hearing was published in compliance with State law (California Government Code 65091), as well as hand-delivery of the public notice by the Applicant to each property owner within a 100-foot radius of the project site indicating the date and time of the public hearing; and

WHEREAS, on February 10, 2021, the Planning Commission held a public hearing to receive public testimony regarding the Application, including without limitation, information provided to the Planning Commission by City staff and public testimony on the project; and

Resolution No. 2021-009-PC Page 2 of 9

WHEREAS, this Resolution and its findings are made based upon evidence presented to the Commission at the February 10, 2021 including, without limitation, the staff report submitted by the Community Planning and Building Department; and

WHEREAS, the Planning Commission did hear and consider all said reports, recommendations and testimony herein above set forth and used their independent judgement to evaluate the project; and

WHEREAS, the facts set forth in the recitals are true and correct and are incorporated herein by reference.

NOW THEREFORE, BE IT RESOLVED, that the Planning Commission of the City of Carmel-By-The-Sea does hereby make the following findings and determinations regarding the Design Study:

FINDINGS REQUIRED FOR DESIGN STUDY APPROVAL (CMC 17.64.80 and LUP Policy P1-45) For each of the required design study findings listed below, staff has indicated whether the submitted plans support adoption of the findings. For all findings checked "no" the staff report discusses the issues to facilitate the Planning Commission decision-making. Findings checked "yes" may or may not be discussed in the report depending on the issues.

Municipal Code Finding		
1. The project conforms with all zoning standards applicable to the site, or has		
received appropriate use permits and/or variances consistent with the zoning		
ordinance.		
2. The project is consistent with the City's design objectives for protection and	~	
enhancement of the urbanized forest, open space resources and site design. The		
project's use of open space, topography, access, trees and vegetation will maintain		
or establish a continuity of design both on the site and in the public right of way		
that is characteristic of the neighborhood.	2	
3. The project avoids complexity using simple/modest building forms, a simple roof	\checkmark	
plan with a limited number of roof planes and a restrained employment of offsets		
and appendages that are consistent with neighborhood character yet will not be		
viewed as repetitive or monotonous within the neighborhood context.		
4. As conditioned, the project is adapted to human scale in the height of its roof,	\checkmark	
plate lines, eave lines, building forms, and in the size of windows doors and		
entryways. The development is similar in size, scale, and form to buildings on the		
immediate block and neighborhood. Its height is compatible with its site and		
surrounding development and will not present excess mass or bulk to the public or		
to adjoining properties. Mass of the building relates to the context of other homes		
in the vicinity.		

Resolution No. 2021-009-PC Page 3 of 9

5. The project is consistent with the City's objectives for public and private views and will retain a reasonable amount of solar access for neighboring sites. Through the placement, location and size of windows, doors and balconies the design respects the rights to reasonable privacy on adjoining sites.	~	
6. The design concept is consistent with the goals, objectives and policies related to residential design in the general plan.	~	
7. The development does not require removal of any significant trees unless necessary to provide a viable economic use of the property or protect public health and safety. All buildings are setback a minimum of 6 feet from significant trees unless otherwise agreed upon by the City Forester.	~	
8. The proposed architectural style and detailing are simple and restrained in character, consistent and well integrated throughout the building and complementary to the neighborhood without appearing monotonous or repetitive in context with designs on nearby sites.	~	
9. The proposed exterior materials and their application rely on natural materials and the overall design will add to the variety and diversity along the streetscape.	~	
10. Design elements such as stonework, skylights, windows, doors, chimneys and garages are consistent with the adopted Design Guidelines and will complement the character of the structure and the neighborhood.	√	
11. Proposed landscaping, paving treatments, fences and walls are carefully designed to complement the urbanized forest, the approved site design, adjacent sites, and the public right of way. The design will reinforce a sense of visual continuity along the street.	1	
12. Any deviations from the Design Guidelines are considered minor and reasonably relate to good design principles and specific site conditions.	√	

NOW THEREFORE, BE IT FURTHER RESOLVED, that the Planning Commission of the City of Carmel-By-The-Sea does hereby make the following findings and determinations regarding the Coastal Development Permit:

COASTAL DEVELOPMENT FINDINGS (CMC 17.64.010.B.1):	YES	NO
1. Local Coastal Program Consistency: The project conforms to the certified Local		
Coastal Program of the City of Carmel-by-the Sea.		
2. Public access policy consistency: The project is not located between the first	\checkmark	
public road and the sea, and therefore, no review is required for potential public		
access.		

BE IT FURTHER RESOLVED that the Planning Commission of the City of Carmel-by-the-Sea does hereby **APPROVE** the combined concept and final Design Study (DS 20-323, Le Chiffre Holdings, LLC) and associated Coastal Development Permit for alterations to an existing single-

Resolution No. 2021-009-PC Page 4 of 9

family residence located at the northeast corner of San Antonio and Ocean Avenue (APN 010-253-009), subject to the following Conditions of Approval:

CONDITIONS OF APPROVAL		
No.	Standard Conditions	
1.	Authorization. This approval of Design Study (DS 20-323, Le Chiffre Holdings,	√
	LLC) authorizes alterations to an existing single-family residence and detached	
	garage located at the northeast corner of Ocean Avenue and San Antonio	
	Avenue in the R-1 Single Family Residential District as depicted in the plans	
	prepared by Adam Jeselnick Architect stamped approved and on file in	
	Community Planning & Building Department unless modified by the conditions	
	of approval contained herein.	
2.	Codes and Ordinances. The project shall be constructed in conformance with all	\checkmark
	requirements of the R-1 zoning district. All adopted building and fire codes shall	
	be adhered to in preparing the working drawings. If any codes or ordinances	
	require design elements to be changed, or if any other changes are requested	
	at the time such plans are submitted, such changes may require additional	
··	environmental review and subsequent approval by the Planning Commission.	
3.	Permit Validity. This approval shall be valid for a period of one year from the	\checkmark
	date of action unless an active building permit has been issued and maintained	
	for the proposed construction.	
4.	Landscape Plan. All new landscaping, if proposed, shall be shown on a landscape	\checkmark
	plan and shall be submitted to the Department of Community Planning and	
	Building and to the City Forester prior to the issuance of a building permit. The	
	landscape plan will be reviewed for compliance with the landscaping standards	
	contained in the Zoning Code, including the following requirements: 1) all new	
	landscaping shall be 75% drought-tolerant; 2) landscaped areas shall be	
	irrigated by a drip/sprinkler system set on a timer; and 3) the project shall meet	
	the City's recommended tree density standards, unless otherwise approved by	
	the City based on-site conditions. The landscaping plan shall show where new	
	trees will be planted when new trees are required to be planted by the Forest	
	and Beach Commission or the Planning Commission.	
5.	Tree Removal. Trees on the site shall only be removed upon the approval of the	\checkmark
	City Forester or Forest and Beach Commission, as appropriate; all remaining	
	trees shall be protected during construction by methods approved by the City	
	Forester.	
6.	Significant Trees. All foundations within 15 feet of significant trees shall be	\checkmark
	excavated by hand. If any tree roots larger than two inches (2") are	
	encountered during construction, the City Forester shall be contacted before	
	cutting the roots. The City Forester may require the roots to be bridged or may	

Resolution No. 2021-009-PC Page 5 of 9

7.	use on the project site without adequate supply. Should the Monterey Peninsula Water Management District determine that adequate water is not available for this site, this permit will be scheduled for reconsideration and appropriate findings prepared for review and adoption by the Planning	✓
8.	Commission. Modifications. The applicant shall submit in writing to the Community Planning and Building staff any proposed changes to the approved project plans prior to incorporating changes. If the applicant changes the project without first obtaining City approval, the applicant will be required to either: a) submit the change in writing and cease all work on the project until either the Planning Commission or staff has approved the change; or b) eliminate the change and submit the proposed change in writing for review. The project will be reviewed for its compliance to the approved plans prior to final inspection. Setback and Height Certifications. A State licensed surveyor shall survey and	✓ ✓
	 The footing locations for conformance with the approved plans prior to footing/foundation inspection; The roof height for conformance with the approved plans prior to roof sheathing inspection. Written certifications prepared, sealed and signed by the surveyor shall be provided to the building inspector at the time of the specified inspections. 	~
10.	Exterior Lighting. Exterior lighting shall be limited to 25 watts or less (incandescent equivalent, i.e., 375 lumens) per fixture and shall be no higher than 10 feet above the ground. Landscape lighting shall not exceed 18 inches above the ground nor more than 15 watts (incandescent equivalent, i.e. 225 lumens) per fixture and shall be spaced no closer than 10 feet apart. Landscape lighting shall not be used for tree, wall, fence or accent lighting of any type. The purpose of landscape lighting is to safely illuminate walkways and entrances to the subject property. All fixtures shall be shielded and down facing. The manufacturer's specifications, including illumination information, for each exterior light fixture shall be included in the construction drawings submitted with the building permit application.	\checkmark

Resolution No. 2021-009-PC Page 6 of 9

12.	Stone Facades (including chimneys). Stone facades shall be installed in a broken course/random or similar masonry pattern. Setting the stones vertically on their face in a cobweb pattern shall not be permitted. All stonework shall be wrapped around building corners and terminated at an inside corner or a logical stopping point that provides a finished appearance. Termination of stonework shall be subject to review and approval by the Community Planning & Building Director or his/her designee. The masonry patter shall be clearly identified in the construction drawings submitted with the building permit application.	
14.	Indemnification. The applicant agrees, at his or her sole expense, to defend, indemnify, and hold harmless the City, its public officials, officers, employees, and assigns, from any liability; and shall reimburse the City for any expense incurred, resulting from, or in connection with any project approvals. This includes any appeal, claim, suit, or other legal proceeding, to attack, set aside, void, or annul any project approval. The City shall promptly notify the applicant of any legal proceeding, and shall cooperate fully in the defense. The City may, at its sole discretion, participate in any such legal action, but participation shall not relieve the applicant of any obligation under this condition. Should any party bring any legal action in connection with this project, the Superior Court of the County of Monterey, California, shall be the situs and have jurisdiction for the resolution of all such actions by the parties hereto.	✓
15.	Driveway. Except as otherwise provided for in these conditions, the driveway material shall extend beyond the property line into the public right of way as needed to connect to the paved street edge. A minimal asphalt connection at the street edge may be required by the Superintendent of Streets or the Building Official, depending on site conditions, to accommodate the drainage flow line of the street. The driveway material and asphalt connection shall be clearly identified on the construction drawings submitted with the building permit application. If a driveway is proposed to be sand set a dimensioned construction drawings.	✓
18.	Hazardous Materials Waste Survey. A hazardous materials waste survey shall be required in conformance with the Monterey Bay Unified Air Pollution Control District prior to issuance of a demolition permit.	✓
19.	Archaeological Report. An archaeological reconnaissance report shall be prepared by a qualified archaeologist or other person(s) meeting the standards of the State Office of Historic Preservation prior to approval of a final building permit. The applicant shall adhere to any recommendations set forth in the archaeological report. All new construction involving excavation shall immediately cease if materials of archaeological significance are discovered on	V

Resolution No. 2021-009-PC Page 7 of 9

	the site and shall not be normitted to mean with site of the	
	the site and shall not be permitted to recommence until a mitigation and monitoring plan is approved by the Planning Commission.	
20.	Cultural Resources. All new construction involving excavation shall immediately cease if cultural resources are discovered on the site, and the applicant shall notify the Community Planning and Building Department within 24 hours. Work shall not be permitted to recommence until such resources are properly evaluated for significance by a qualified archaeologist. If the resources are determined to be significant, prior to resumption of work, a mitigation and monitoring plan shall be prepared by a qualified archaeologist and reviewed and approved by the Community Planning and Building Director. In addition, if human remains are unearthed during excavation, no further disturbance shall occur until the County Coroner has made the necessary findings as to origin and distribution pursuant to California Public Resources Code (PRC) Section 5097.98.	
21.	Truck Haul Route. Prior to Building Permit issuance, the applicant shall provide for City (Community Planning and Building Director in consultation with the Public Services and Public Safety Departments) review and approval, a truck- haul route and any necessary temporary traffic control measures for the grading activities. The applicant shall be responsible for ensuring adherence to the truck-haul route and implementation of any required traffic control measures.	1
22.	USA North 811. Prior to any excavation or digging, the applicant shall contact the appropriate regional notification center (USA North 811) at least two working days, but not more than 14 calendar days, prior to commencing that excavation or digging. No digging or excavation is authorized to occur on site until the applicant has obtained a Ticket Number and all utility members have positively responded to the dig request. (Visit USANorth811.org for more information)	✓
23.	Conditions of Approval. All conditions of approval for the Planning permit(s) shall be printed on a full-size sheet and included with the construction plan set submitted to the Building Safety Division.	1
	ENVIRONMENTAL COMPLIANCE CONDITIONS	
24.	Drainage Plan. Provide a drainage plan that meets the requirements of the City's drainage guidance, SOG 17-07. At a minimum, new and replaced impervious area drainage must be dispersed around the site rather than focused into one corner of the property, infiltration features must be sized appropriately and must be located at least 6 feet from neighboring properties. The drainage plan shall include information on drainage from new impervious areas and semi-pervious areas.	✓ ✓

Resolution No. 2021-009-PC Page 8 of 9

25.	BMP Tracking Form. A completed BMP Tracking form will need to be submitted	1
	with the Building Permit Application.	
26.	Semi-Permeable Surfaces. Provide cross-section details for semi-permeable	1
	surfaces.	
27.	Erosion and Sediment Control Plan. Provide an erosion and sediment control	1
	plan that includes locations and installation details for erosion and sediment	
	control BMPs, material staging areas, and stabilized access with Building Permit	
	application.	
	SPECIAL CONDITIONS	
29.	Tree Planting Required. The applicant shall plant two upper canopy and two	✓
	lower canopy trees on the property. The location and species shall be	
	determined in consultation with the City Forester and Planning Staff and shall	
	be installed prior to final inspection.	
30.	Right-of-Way Encroachments. All right-of-way encroachments, including but	1
	not limited to, boulders located north of the driveway, and all gravel, shall be	•
	removed prior to final inspection. The asphalt pathway to the south of the	
	property shall remain.	
31.	Concrete Driveway. The concrete driveway located in the public right-of-way	✓
	shall be removed and replaced with gray concrete pavers as presented to the	<u>×</u>
	Planning Commission on February 10, 2021. a material consistent with the	
	Residential Design Guidelines, Public Way Design Guidelines and/or Carmel	
	Municipal Code.	
32.	Right-of-Way Planting. The applicant shall submit a planting layout and plant	
52.	palette for the right-of-way along San Antonio as part of the final landscape	\checkmark
	plan submittal.	
33.	West Elevation. The plate height on the west elevation is nonconforming at $\underline{19'}$	
55.	$\frac{19}{18'-6''}$ and shall not be increased.	~
34.	Metal Roof. The applicant shall submit a metal roof sample to be reviewed and	
<u> </u>		
	approved by staff. The roof material shall have a matte finish (low sheen).	

*Acknowledgement and acceptance of conditions of approval.

DocuSigned by: Matthew Burns, Authorized Signatory for Circle Three Management LLC, latt x 3/1/2021 | 10:17 AM PST Manager of Le Chiffre Holdings LLC Property Owner Signature Printed Name Date

Once signed, please email to <u>mwaffle@ci.carmel.ca.us</u>.

PASSED AND ADOPTED BY THE PLANNING COMMISSION OF THE CITY OF CARMEL-BY-THE-SEA this 10th day of February, 2021 by the following vote: Resolution No. 2021-009-PC Page 9 of 9

AYES: Commission Members: Bolton, Delves, Lehman, Locke, LePage

NOES: Commission Members: None

ABSENT: Commission Members: None

'ABSTAIN: Commission Members: None

APPROVED:

Maga Michael L

Chair

ATTEST:

Margi Perotti Planning Commission Secretary

GENERAL NOTES

- 1. VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS AT THE SITE; CONFIRM ANY VARIATIONS OR CONFLICTING OR MISSING DIMENSIONS OR DATA PRIOR TO COMMENCING WORK. USE WRITTEN DIMENSIONS ONLY; DO NOT SCALE DRAWINGS FOR THE PURPOSE OF DETERMINING A DIMENSION DURING CONSTRUCTION.
- 2. CONSTRUCTION DETAILS: NOT SPECIFICALLY SHOWN ON THE DRAWINGS SHALL BE BUILT TO CONFORM TO SIMILAR CONSTRUCTION, IN ACCORDANCE WITH THE BEST COMMON PRACTICE AND/OR MANUFACTURER'S SPECIFICATIONS FOR THE INSTALLATION OF THEIR MATERIALS OR ITEMS.
- 3. ALL CONSTRUCTION (MATERIALS, WORKMANSHIP & METHODS) SHALL COMPLY WITH TITLE 24 AND THE 2019 CALIFORNIA RESIDENTIAL CODE (CBC) AND APPENDICES H, I, AND J; CALIFORNIA EXISTING BUILDING CODE, CALIFORNIA PLUMBING CODE (CPC), CALIFORNIA MECHANICAL CODE (CMC), CALIFORNIA ELECTRICAL CODE (CEC), CALIFORNIA MECHANICAL CODE, CALIFORNIA ENERGY CODE, FIRE CODE (SEE CMC TITLE 8), AND 2013 CALIFORNIA GREEN BUILDING STANDARDS CODE; AND ALL LOCAL AMENDMENTS AS ADOPTED BY CITY ORDINANCE.
- 4. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SAFETY ON THE JOB SITE AND MUST ADHERE TO ALL FEDERAL, STATE LOCAL AND O.S.H.A. SAFETY REGULATIONS.
- 5. DEMOLITION: CONFIRM ALL DEMOLITION REQUIREMENTS WITH THE OWNER. VERIFY WITH OWNER WHICH ITEMS, IF ANY, HE/SHE WISHES TO RETAIN FOR HIS/HER USE. ALL OTHER ITEMS TO BECOME PROPERTY OF THE CONTRACTOR AND ARE TO BE PROPERLY REMOVED FROM THE PREMISES. SEE DEMOLITION PLAN A4.1 FOR ADDITIONAL INFORMATION.
- 6. NAILING TO BE IN COMPLIANCE WITH CBC TABLE 2304.S.1 U.O.N.
- 7. NO EXISTING FIRE SUPPRESSION SYSTEM. NEW FIRE SPRINKLERS TO BE INSTALLED. DEFERRED SUBMITTAL AND UNDER SEPARATE PERMIT.

SHEET INDEX

Attachment 9

- PROJECT DATA AND SITE LOCATION A0
- NOTES, SPECIFICATIONS, STREET ELEVATIONS A1
- A2 PRE-EXISTING SITE SURVEY
- PROPOSED SITE PLAN A3
- EXISTING FIRST FLOOR PLAN A4
- EXISTING SECOND FLOOR PLAN A5
- EXISTING ROOF PLAN A6
- A7 EXISTING WEST & SOUTH ELEVATIONS
- EXISTING NORTH & EAST ELEVATIONS A8
- PROPOSED FIRST FLOOR PLAN A9 PROPOSED SECOND FLOOR PLAN
- A10 PROPOSED ROOF PLAN
- A11
- PROPOSED WEST AND NORTH ELEVATIONS A12
- PROPOSED EAST AND SOUTH ELEVATIONS A13 SCHEDULES
- A14 RENDERINGS A15
- **PROPOSED FINISHES** A16



PROJECT DATA

PROJECT DATA

ON 8,000 SQUARE FOOT LOT TYPE OF CONSTRUCTION:	TYPE V-B		
FIRE SPRINKLERS:	YES		A.P.N.:
PERMITS:	DS 15-322 (APPROVED NO BP 16-055 (ISSUED SEPTEME	•	BLOCK /LO LOT SIZE:
WATER:	CAL-AM (E)		ZONING:
SEWER:	CARMEL AREA WASTE WA	ter district (e)	
CUT: FILL:	0 CUBIC YARDS 0 CUBIC YARDS (NO GRADING THIS PROJE	CT)	OWNER:
BUILDING INFORMATION:			
HEIGHT LIMIT: 18'-0" PROPOSED BUILDING HEIGHT	: HIGHEST POINT REDUCED	BY 5'-8''	
SITE DATA:			ARCHITECT
MAX. TOTAL SITE COVERAGE EXISTING SITE COVERAGE: SITE COVERAGE REQUIRED TO ADDITION X 2 = ALLOWABLE SITE COVERAGE PROPOSED SITE COVERAGE :	3359. SF D BE REMOVED: 686. SF 1732. SF	3359 - 1732)	
LIGHT WELL: NORTH STAIRS: PERGOLA: FIRE PIT PATIO: DRIVEWAY: STEPS AND WALL: SOUTH GATE: FRONT GATE: FRONT ENTRY STEPS: FRONT STEPPING STON FRONT DECK: REAR PATIO: PROPERTY WALLS:	98. SF (5 284. SF (6 194. SF (6 99. SF (6 53. SF (6 49. SF (6 230. SF (5 84. SF (6 402. SF (5	CONCRETE) STONE TILE) CONCRETE PAVERS) CONCRETE PAVERS) CONCRETE) CONCRETE) STONE TILE) STONE TILE) STONE TILE)	SURVEYOR
FLOOR AREA CALCULATIONS	for the second sec		\sim
 (E) MAIN LEVEL: (E) LOWER LEVEL: (E) GUEST HOUSE: (E) GARAGE: 	1612. SF 195. SF 265. SF 417. SF		
TOTAL EXISTING:	2,489. SF	(APPROVED PERMIT	DS 15-322)
 (N) MAIN LEVEL: (N) LOWER LEVEL: (N) LOWER LEVEL BASEMENT (N) BASEMENT BONUS: 	I 696. SF 622. SF 357. SF 100. SF 400. SF	1779 SF 622 SF 257 SF 100 SF 417 SF	
(N) GARAGE:	5		



RESS: NORTH EAST CORNER OF SAN ANTONIO AVENUE AND OCEAN AVE CARMEL-BY-THE-SEA, CALIFORNIA 93921

> 010-253-009 BLOCK HH, LOTS 2 AND 4 8000 SF (.184 ACRES)

R-1 SINGLE FAMILY RESIDENTIAL

LE CHIFFRE HOLDINGS LLC 394 PACIFIC AVE, 2ND FLOOR

SAN FRANCISCO, CALIFORNIA 94111

ADAM JESELNICK ARCHITECT

24398 PORTOLA AVENUE CARMEL, CA 93923 PHONE: (831) 620.5164 m CONTACT: ADAM JESELNICK AIA EMAIL: aejarch@gmail.com

GROZA CONSTRUCTION

883 ABREGO STREET MONTEREY, CA 93940 PHONE: 831-655-7605 EMAIL: CWEST@GROZACONSTRUCTION.COM

L&S ENGINEERING AND SURVEYING

2460 GARDEN ROAD, SUITE G MONTEREY, CA 93940 (831) 655-2723 OFFICE



VICINITY MAP





'ENUES \sim > 0 4 \mathbb{C} 0 UB TONIO RNIA U Ο Т ALIF U Z∢ 1 ш S $\mathbf{\Omega}$ Ζ R E E Ш \sim Ζ 4 Ξ ШÌ Δ U \bigcirc ORNER МШ Щ \sim Ш Z



SHEET NAME: **PROJECT DATA** AND SITE LOCATION SHEET DATE: 11-02-2020 SHEET SCALE:

AS NOTED



GENERAL NOTES

1. VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS AT THE SITE; CONFIRM ANY VARIATIONS OR CONFLICTING OR MISSING DIMENSIONS OR DATA PRIOR TO COMMENCING WORK. USE WRITTEN DIMENSIONS ONLY; DO NOT SCALE DRAWINGS FOR THE PURPOSE OF DETERMINING A DIMENSION DURING CONSTRUCTION.

2. CONSTRUCTION DETAILS NOT SPECIFICALLY SHOWN ON THE DRAWINGS SHALL BE BUILT TO CONFORM TO SIMILAR CONSTRUCTION, IN ACCORDANCE WITH THE BEST COMMON PRACTICE AND/OR MANUFACTURER'S SPECIFICATIONS FOR THE INSTALLATION OF THEIR MATERIALS OR ITEMS.

3. ALL CONSTRUCTION (MATERIALS, WORKMANSHIP & METHODS) SHALL COMPLY WITH TITLE 24 AND THE ALL SECTION S OF THE 2016 CALIFORNIA RESIDENTIAL BUILDING CODE (CBC); CALIFORNIA PLUMBING CODE (CPC), CALIFORNIA MECHANICAL CODE (CMC), CALIFORNIA ELECTRICAL CODE (CEC), CALIFORNIA ENERGY CODE, FIRE CODE, AND CALGREEN; AND ALL LOCAL AMENDMENTS AS ADOPTED BY CITY ORDINANCE.

4. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SAFETY ON THE JOB SITE AND MUST ADHERE TO ALL FEDERAL, STATE LOCAL AND O.S.H.A. SAFETY REGULATIONS.

5. DEMOLITION: CONFIRM ALL DEMOLITION REQUIREMENTS WITH THE OWNER. VERIFY WITH OWNER WHICH ITEMS, IF ANY, HE/SHE WISHES TO RETAIN FOR HIS/HER USE. ALL OTHER ITEMS TO BECOME PROPERTY OF THE CONTRACTOR AND ARE TO BE PROPERLY REMOVED FROM THE PREMISES. SEE DEMOLITION PLANS FOR ADDITIONAL INFORMATION.

6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL BRACING AND SHORING REQUIRED DURING CONSTRUCTION UNTIL ALL CONSTRUCTION IS COMPLETE.

7. DO NOT STORE CONSTRUCTION MATERIALS, OR OPERATE CONSTRUCTION EQUIPMENT IN SUCH A MANNER THAT DESIGN LIVE LOADS OF THE STRUCTURES ARE EXCEEDED. DO NOT STORE CONSTRUCTION MATERIALS ON OVERHANGING FRAMING.

Attachment 9

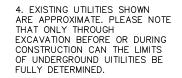






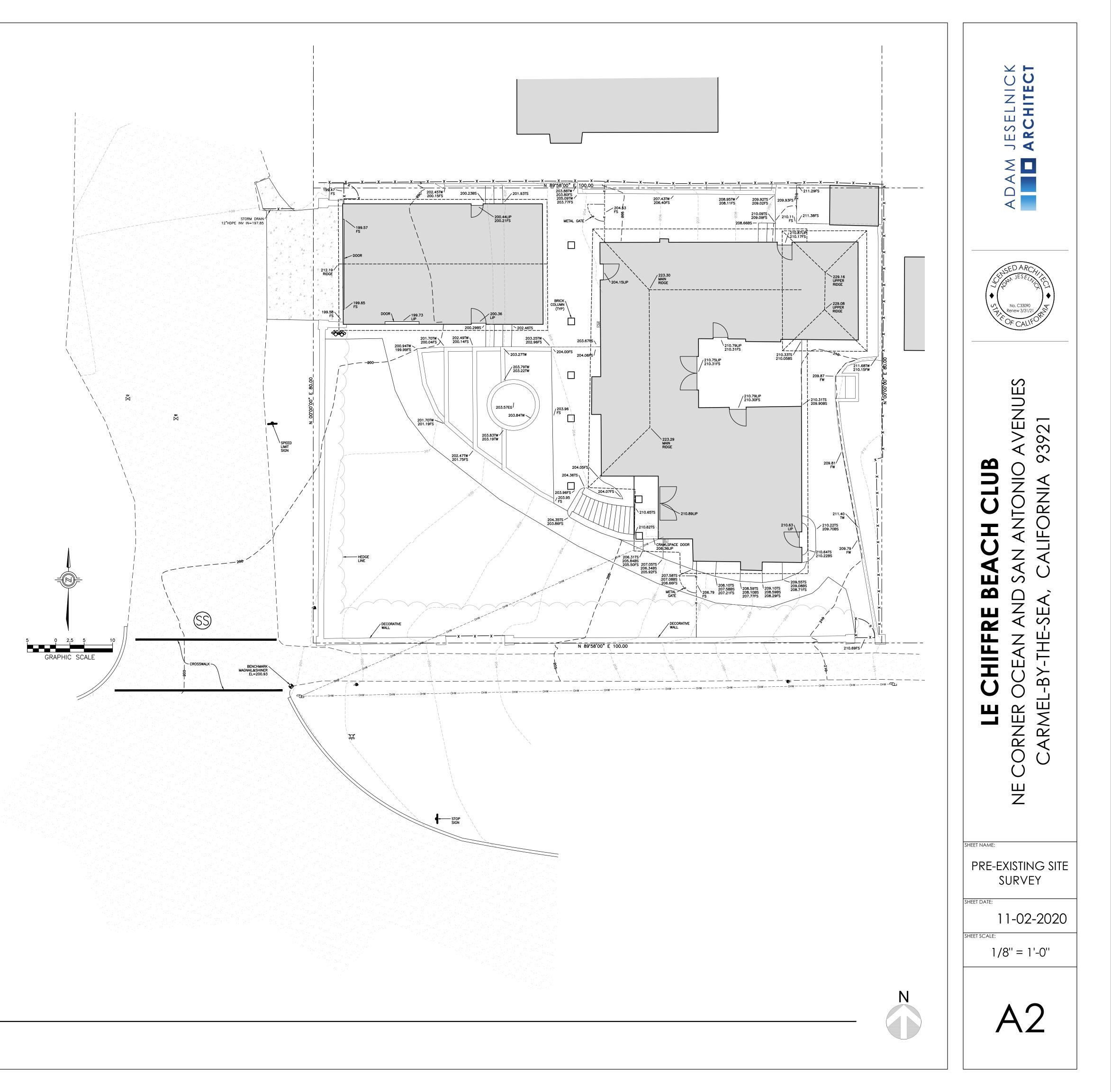
		LEGEND	PROPERTY LINE
<u> </u>	xxx	xxx	
	xx		METAL FENCE
			STORM DRAIN LINE
	ww		
	— — — онw — — — — онw —		GAS LINE
			OVERHEAD WIRE
۵. ۵	CONCRETE		ASPHALT/GRAVEL
0	UTILITY POLE		
EL	ELECTRICAL METER		
-9	GUY WIRE		
¢	LIGHT POLE		
	STREET SIGN		
,	BOLLARD		
(T)	AT&T MANHOLE		
GV	GAS VALVE		
GM	GAS METER		
\$	SEWER MANHOLE		
%	SEWER CLEANOUT		
0	SEWER RISER		
\bowtie	WATER VALVE		
ICV M	IRRIGATION CONTROL	L VALVE	
WM	WATER METER		
Ķ	FIRE HYDRANT		
	MAILBOX		
<u>ABI</u>	BREVIATIONS		
BLDG	BUILDING		
BS	BOTTOM OF STEP		
C CONC	CYPRESS TREE CONCRETE		
ELECT	ELECTRICAL		
EG	EXISTING GROUND		
FW FS	FACE OF WALL FINISH SURFACE		
r S INV	INVERT		
MAINT	MAINTENANCE BUILDI	NG	
0 PLNTR	OAK TREE PLANTER		
P	PINE TREE		
R	REDWOOD TREE		
TEL	TELEPHONE	At	ttachment 9
TS T	TOP OF STEP TREE		
TW	TOP OF WALL		
TYP	TYPICAL		

1. BOUNDARY LOCATIONS SHOWN HEREON WERE DETERMINED WITH THE BENEFIT OF A FIELD SURVEY SUPPLEMENTED BY RECORD DATA. ALL BOUNDARY DATA SHOWN HEREON ARE FROM THE RECORDS. THIS IS NOT A BOUNDARY SURVEY. 2. ENTITLEMENTS OR ENCUMBRANCES AFFECTING THIS PROPERTY MAY NOT NECESSARILY BE SHOWN. 3. A MAG NAIL & SHINER BENCHMARK LOCATED IN THE ASPHALT NEAR THE SOUTHEAST CORNER OF THE CROSSWALK ON SAN ANTONIO AVENUE WITH AN ASSUMED ELEVATION OF 200.93' WAS USED FOR THIS MAP.



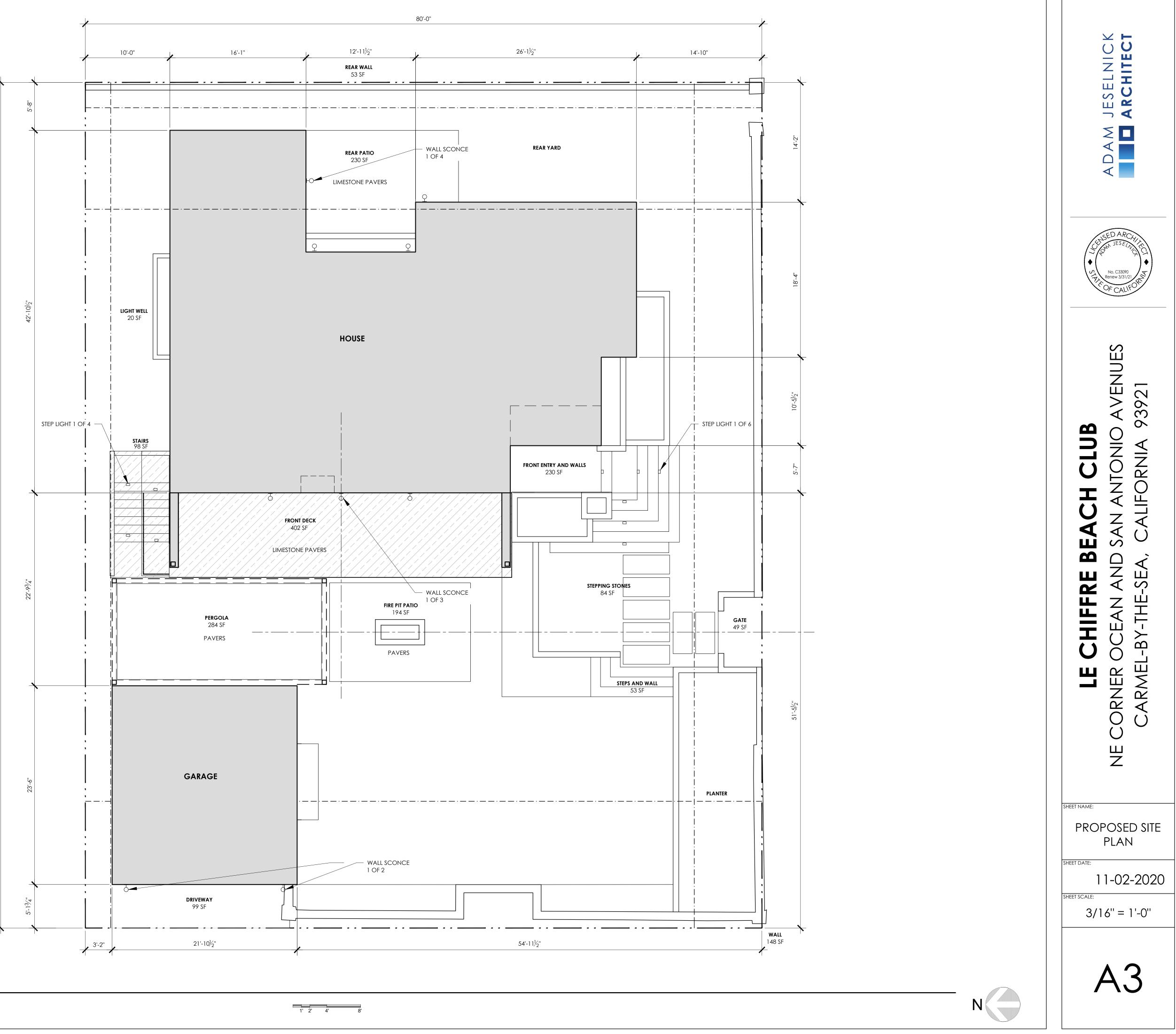
E:\01_Current_Data_file\2016-Jobs\AdamJ\015-Heiliger update\Drawings\015-Heiliger-sheetset_planing.dw ARCH full bleed D (24.00 x 36.00 Inches)





SITE PLAN NOTES:

- 1. PROTECT EXISTING TREES AS REQUIRED BY CITY CODE.
- 2. . NO CHANGE TO EXISTING SITE DRAINAGE U.N.O.
- 3. COORDINATE UTILITIES WITH PG&E, CAWD, CAL-AM EXISTING OVERHEAD ELECTRICAL SERVICE TO REMAIN.
- 4. DEMOLITION LIMITED TO AREAS NOTED ON PLAN.
- 5. PRIOR TO FINAL BUILDING INSPECTION, THE APPLICANT SHALL REMOVE ALL EXISTING GRAVEL, FENCING, AND BRICK POSTS LOCATED IN THE CITY R.O.W. AS INDICATED. THE EXISTING GRAVEL AND IMPROVEMENTS SHALL BE NOTED AS PROPOSED FOR REMOVAL ON THE LANDSCAPE PLANS SUBMITTED TO THE PLANNING COMMISSION FOR FINAL REVIEW.



PROPOSED SITE PLAN CALE: 3/16" = 1'-0"

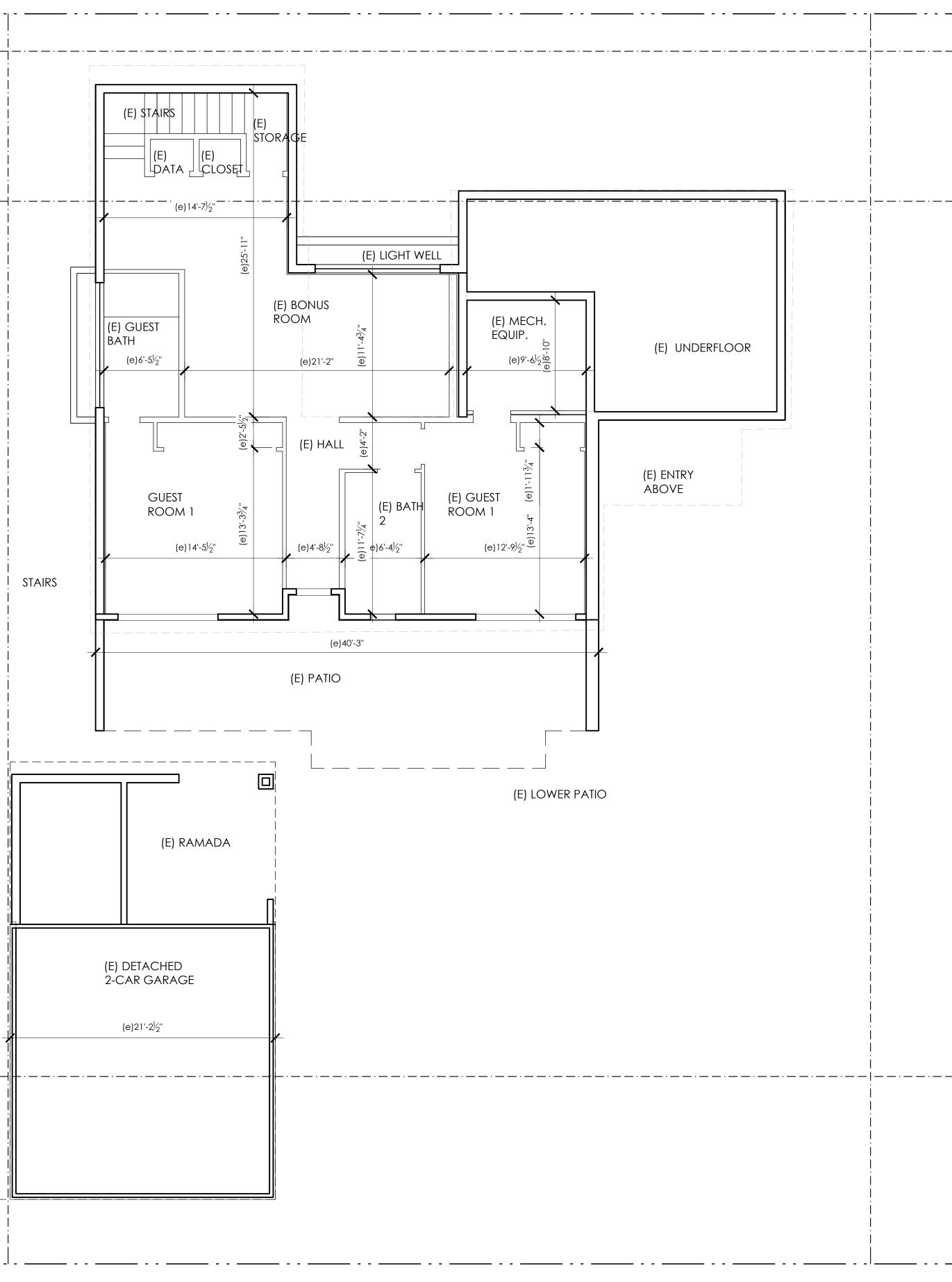
Attachment 9



EXISTING FIRST FLOOR PLAN SCALE: 3/16" = 1' - 0"

REVISION # 1

Attachment 9





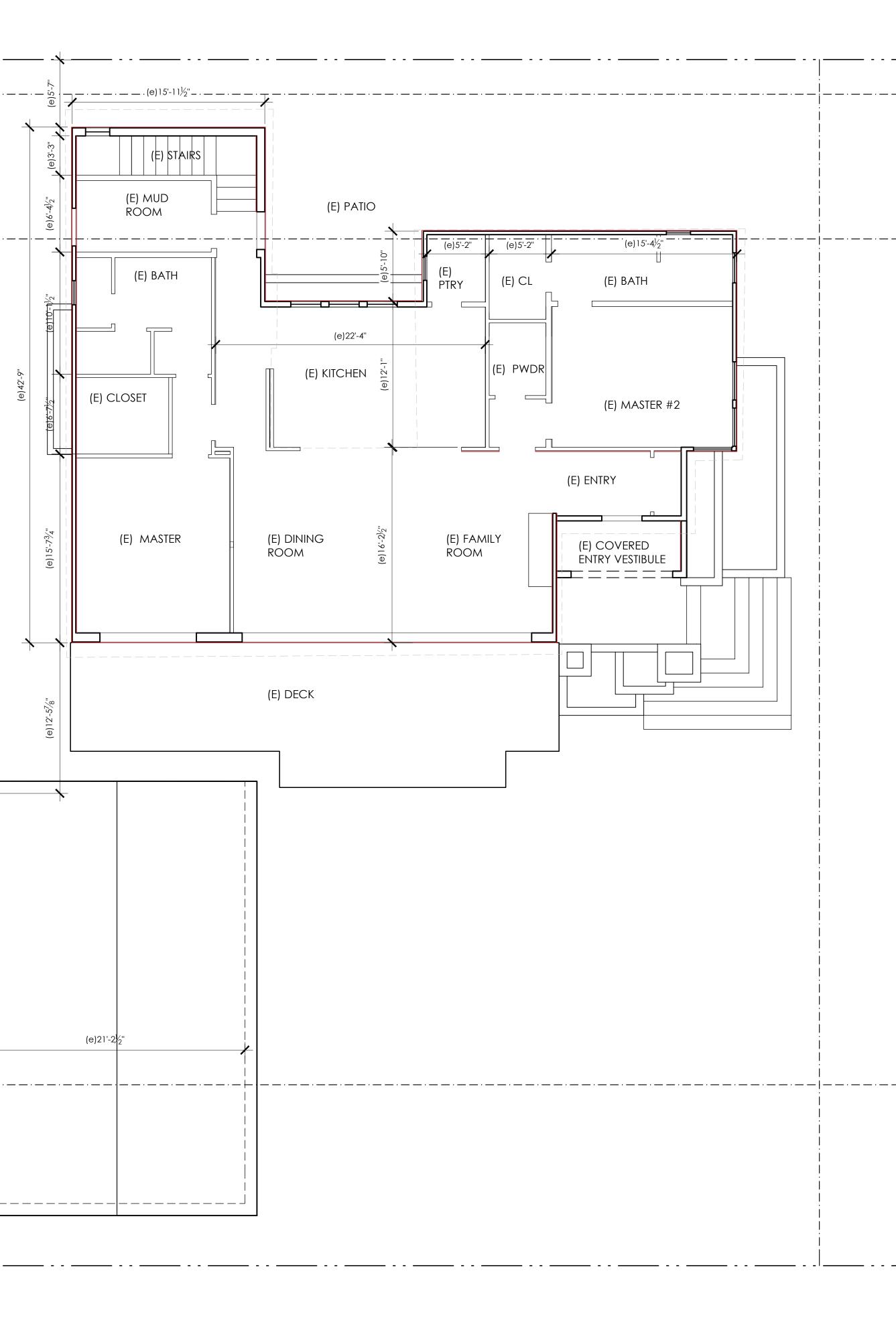




EXISTING SECOND FLOOR PLAN SCALE: 3/16" = 1' - 0"

REVISION # 1

Attachment 9



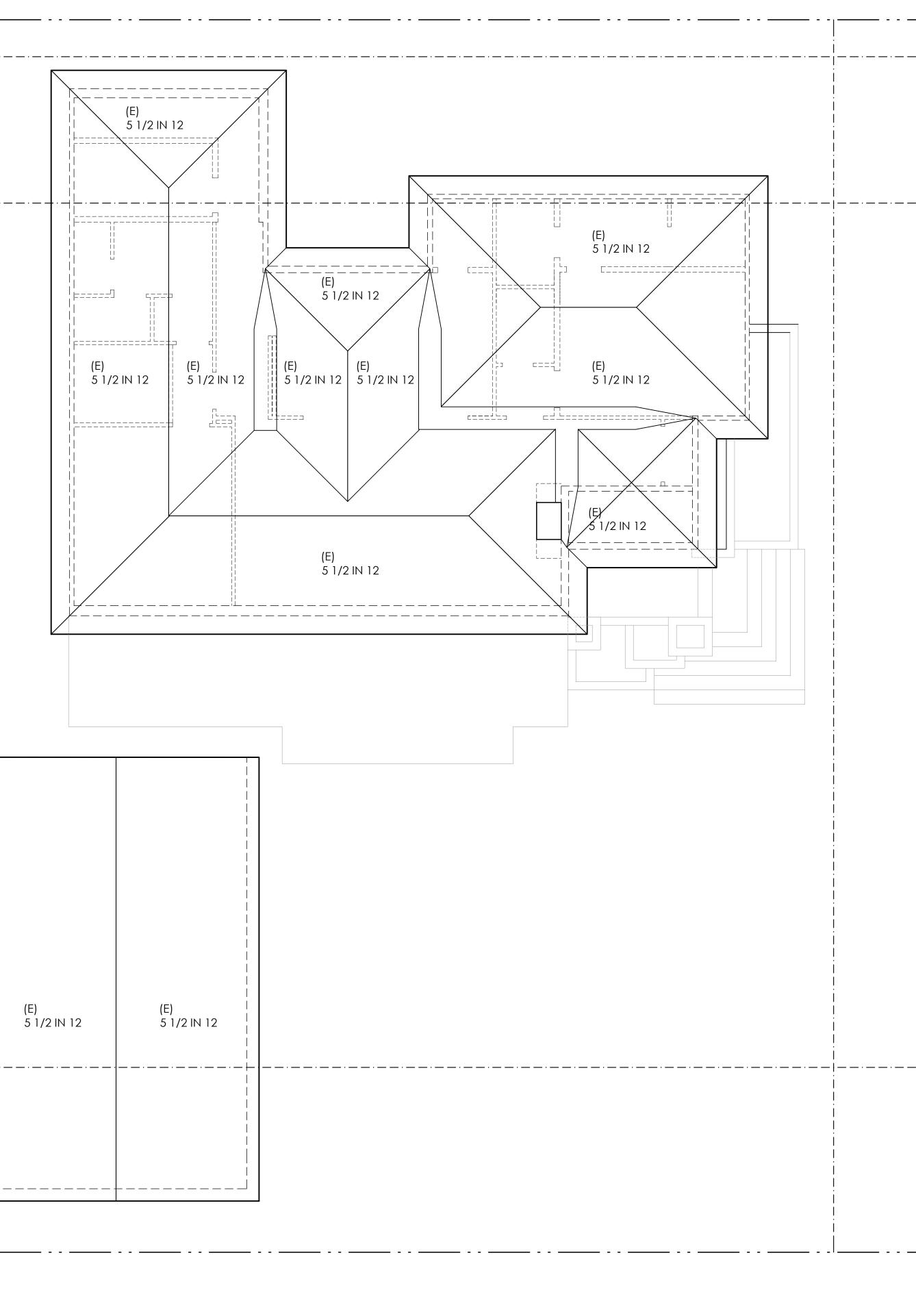






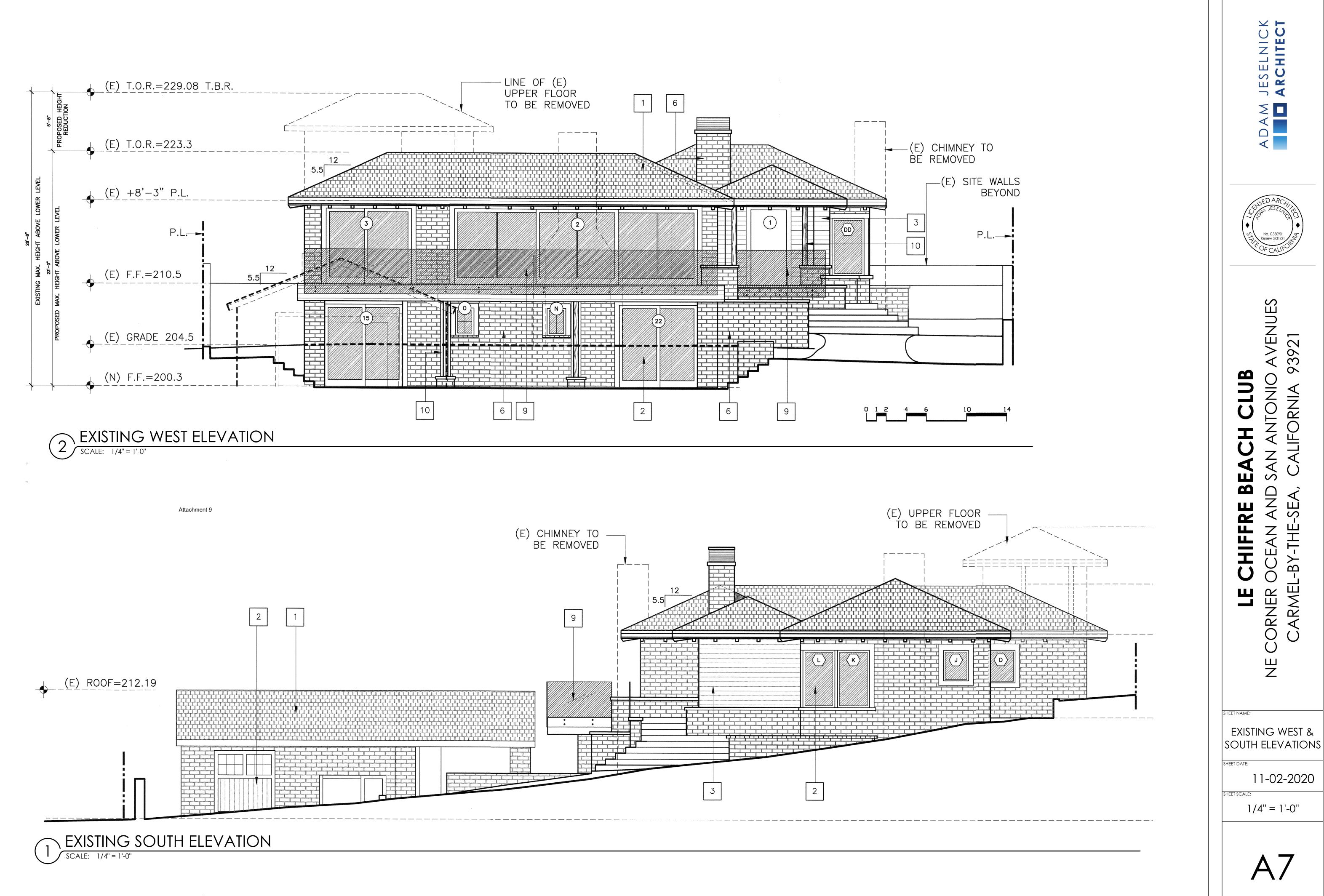
REVISION # 1

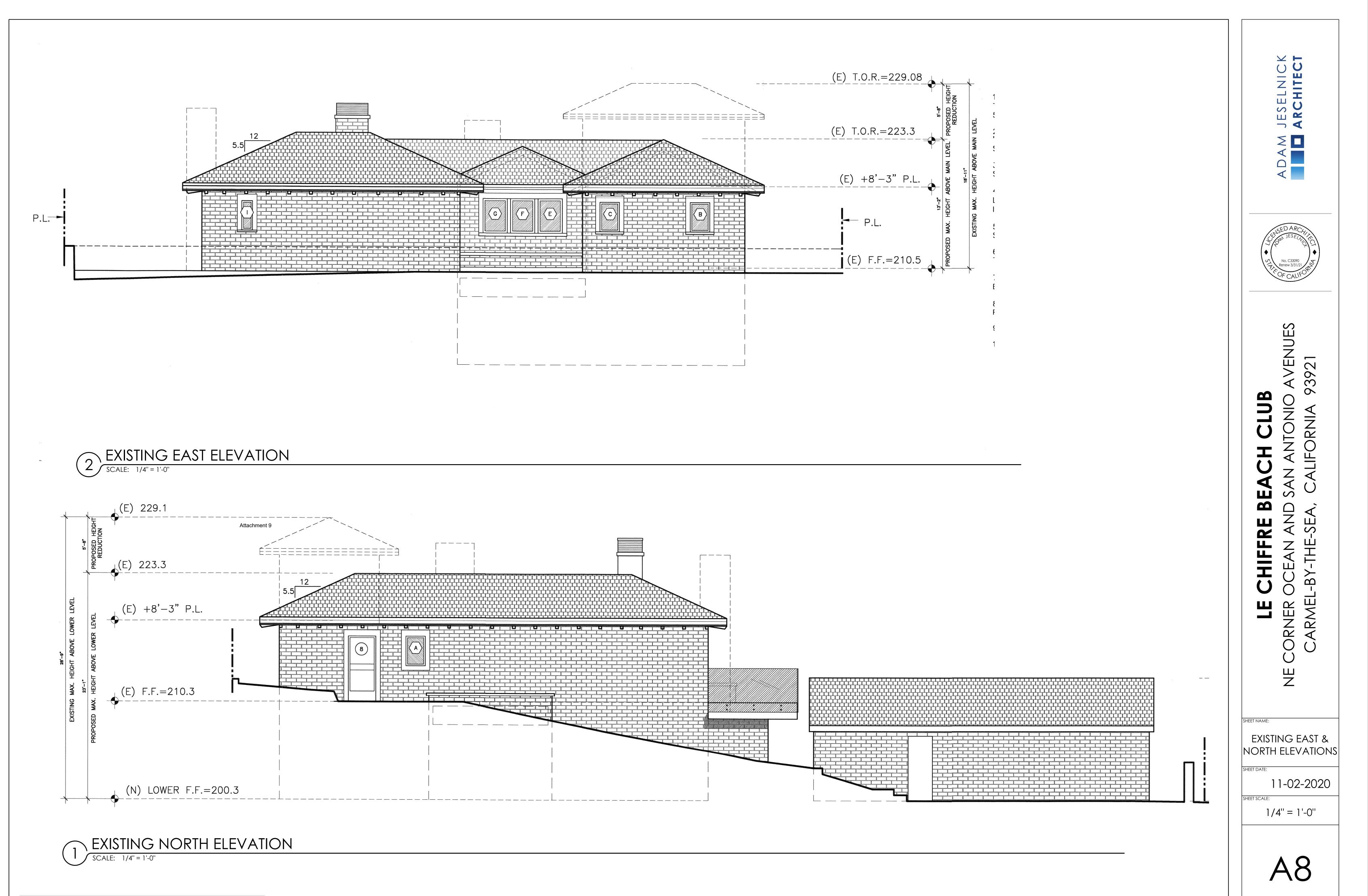
Attachment 9









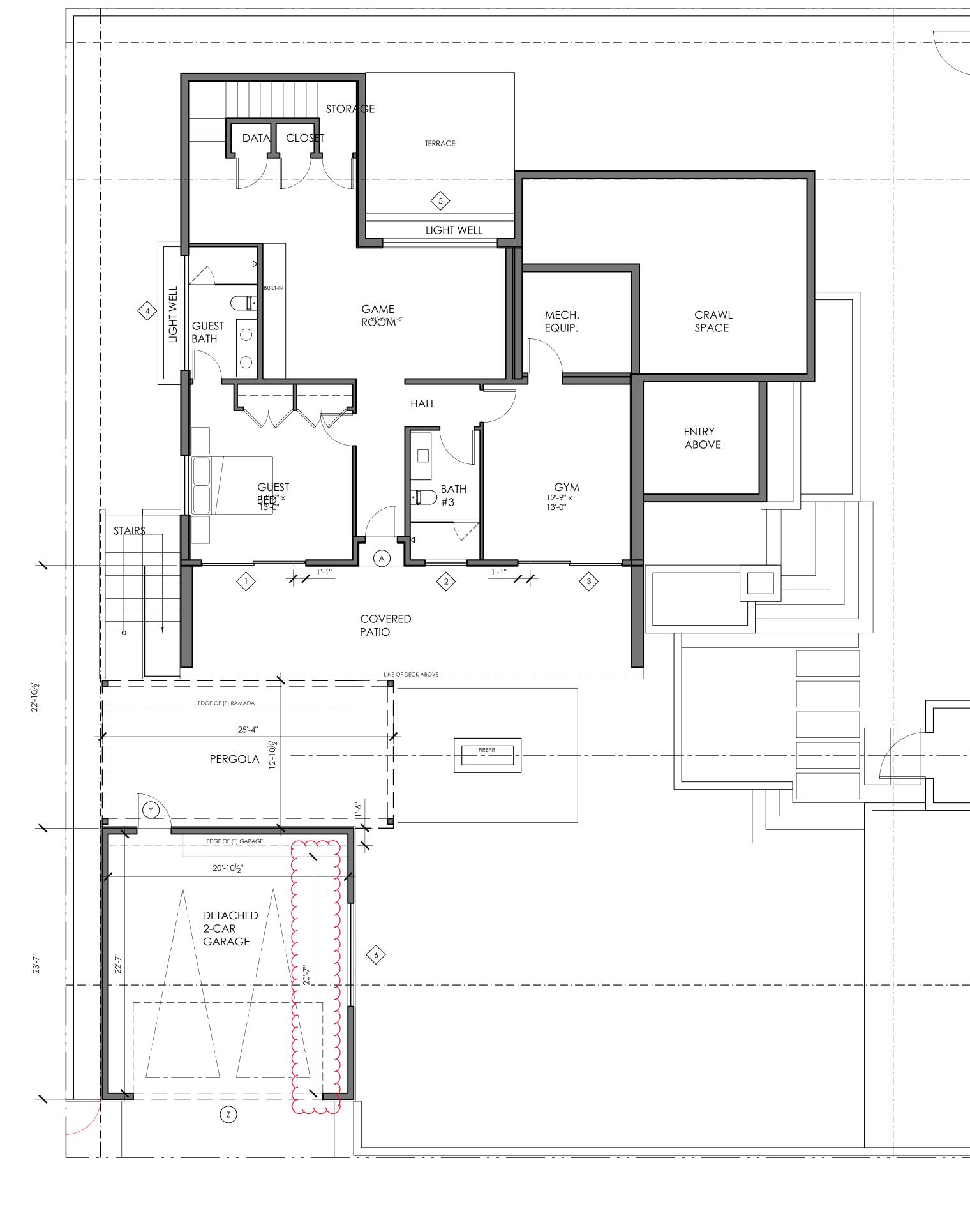


REVISION # 1

E:\01_Current_Data_file\2016-Jobs\A ARCH full bleed D (24.00 x 36.00 Incl

PLANNING

Attachment 9





_ ____ _ _ ___





E:\01_Current_Data_file\2016-Job ARCH full bleed D (24.00 x 36.00



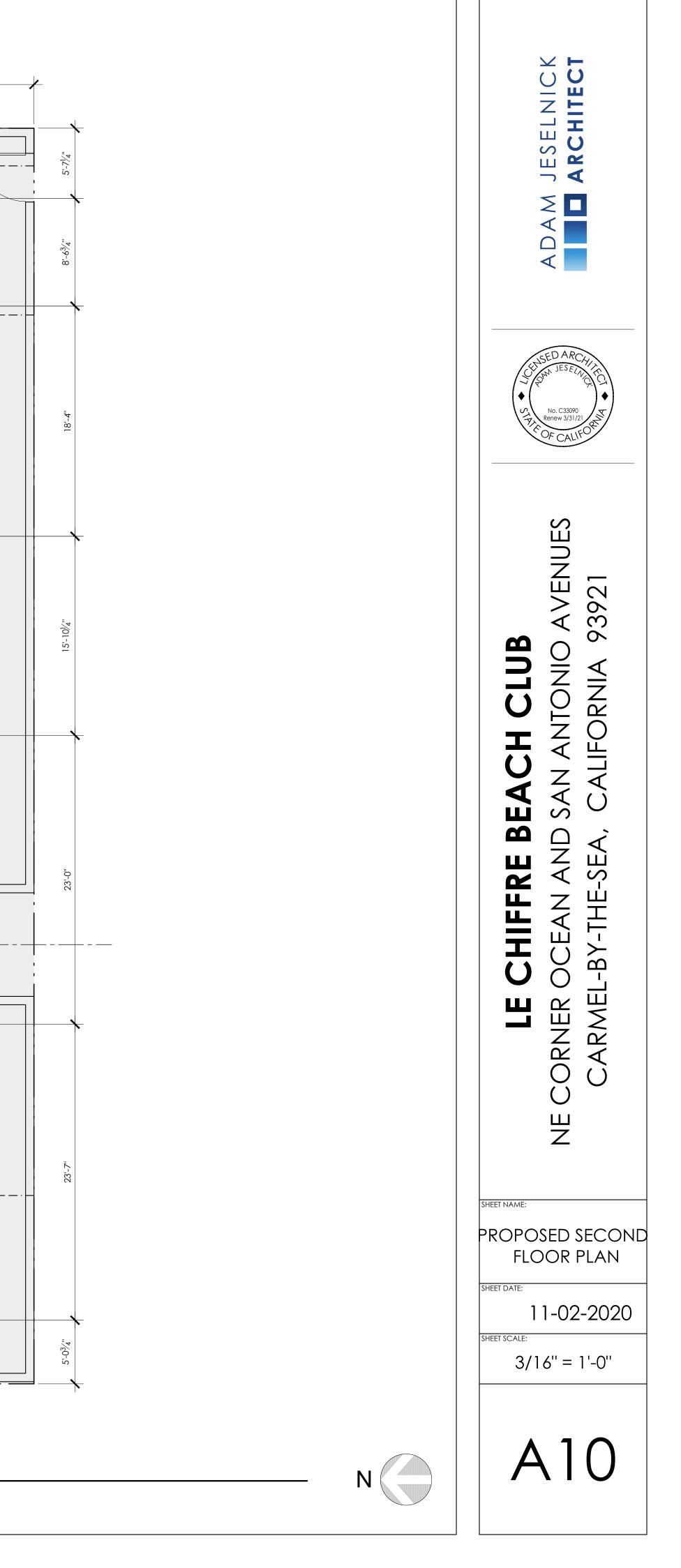
PROPOSED SECOND FLOOR PLAN SCALE: 3/16" = 1' - 0"

REVISION # 1

1/20/2021 PL/

PLANNING

Attachment 9

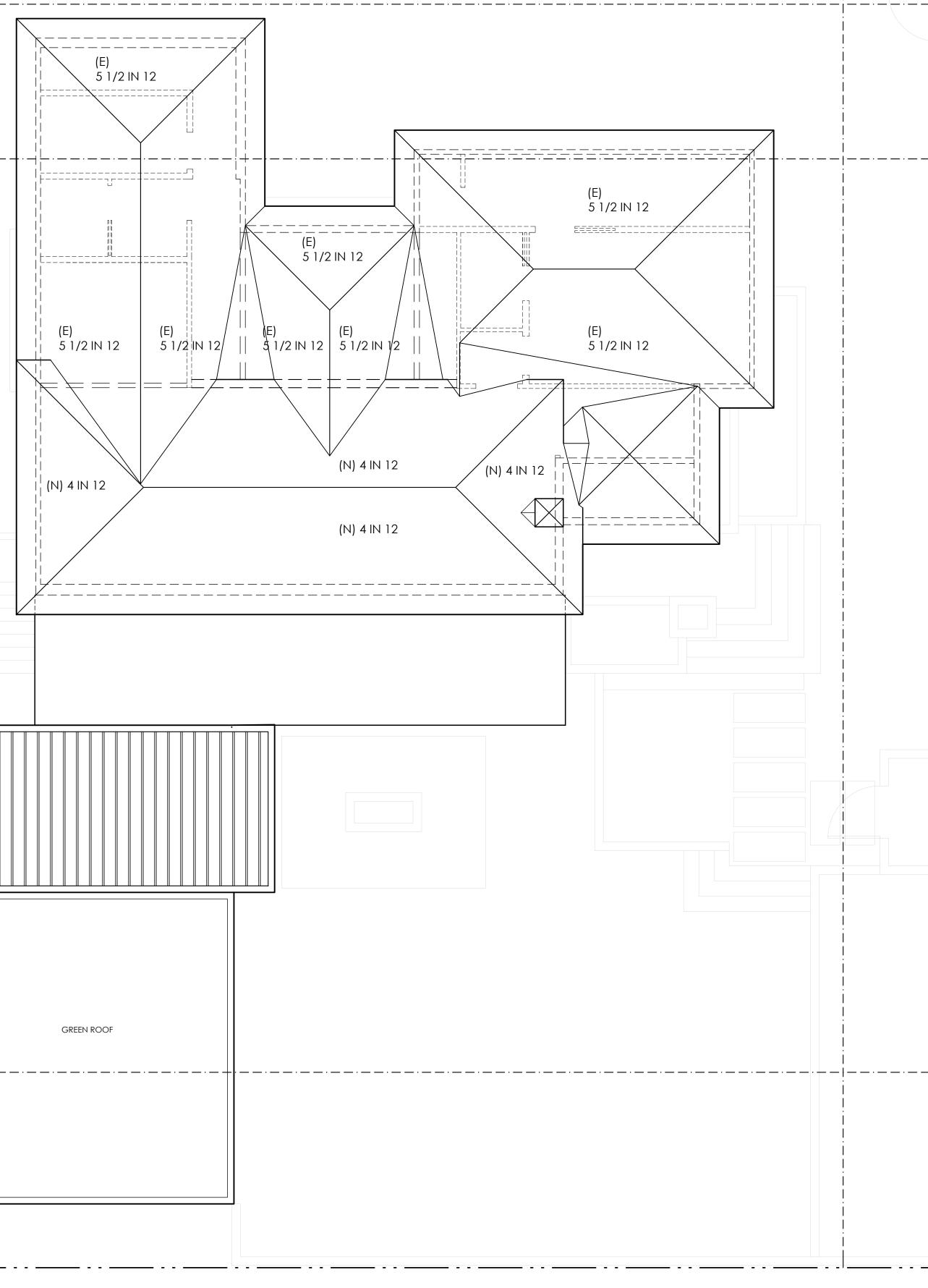


PROPOSED ROOF PLAN SCALE: 3/16" = 1' - 0'

REVISION # 1

Attachment 9

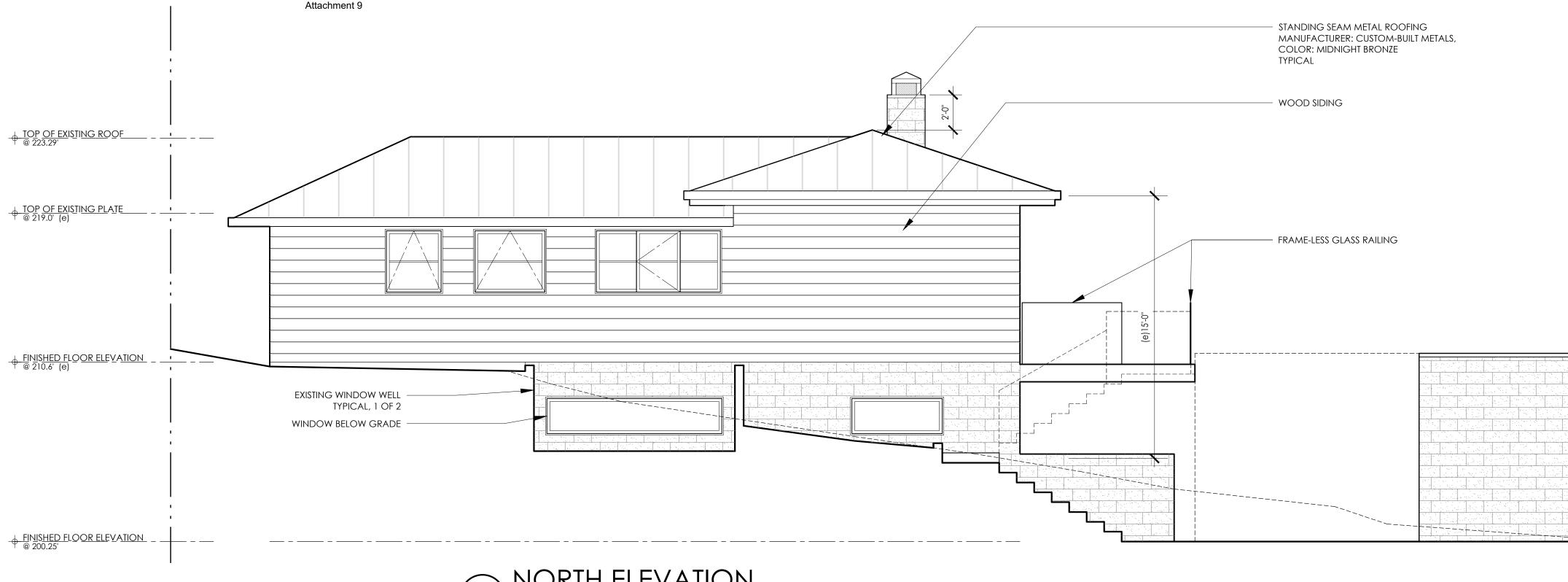
- ---





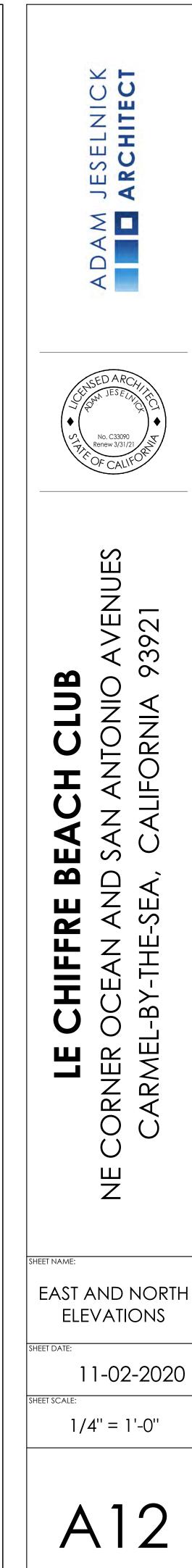
N

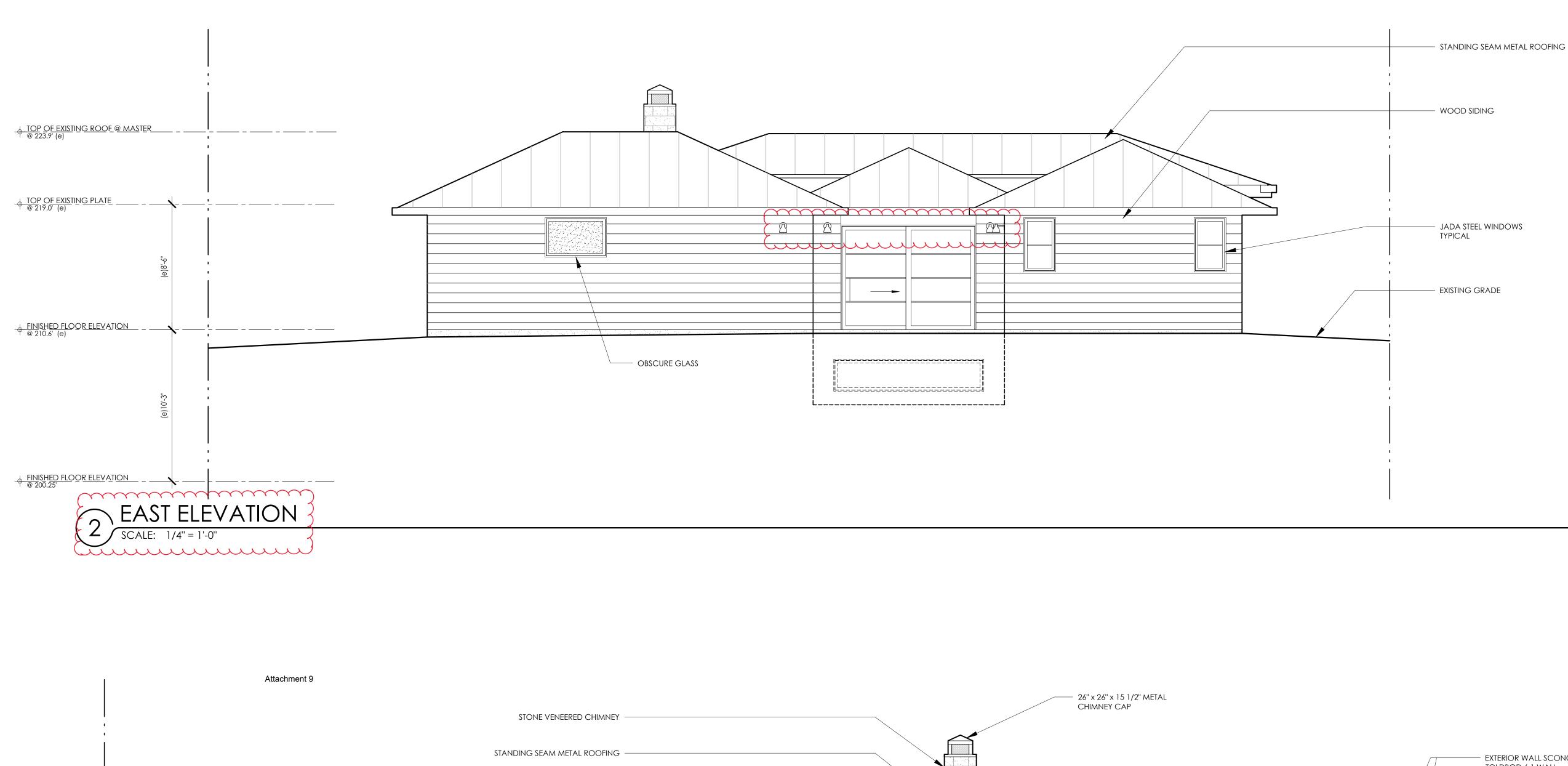


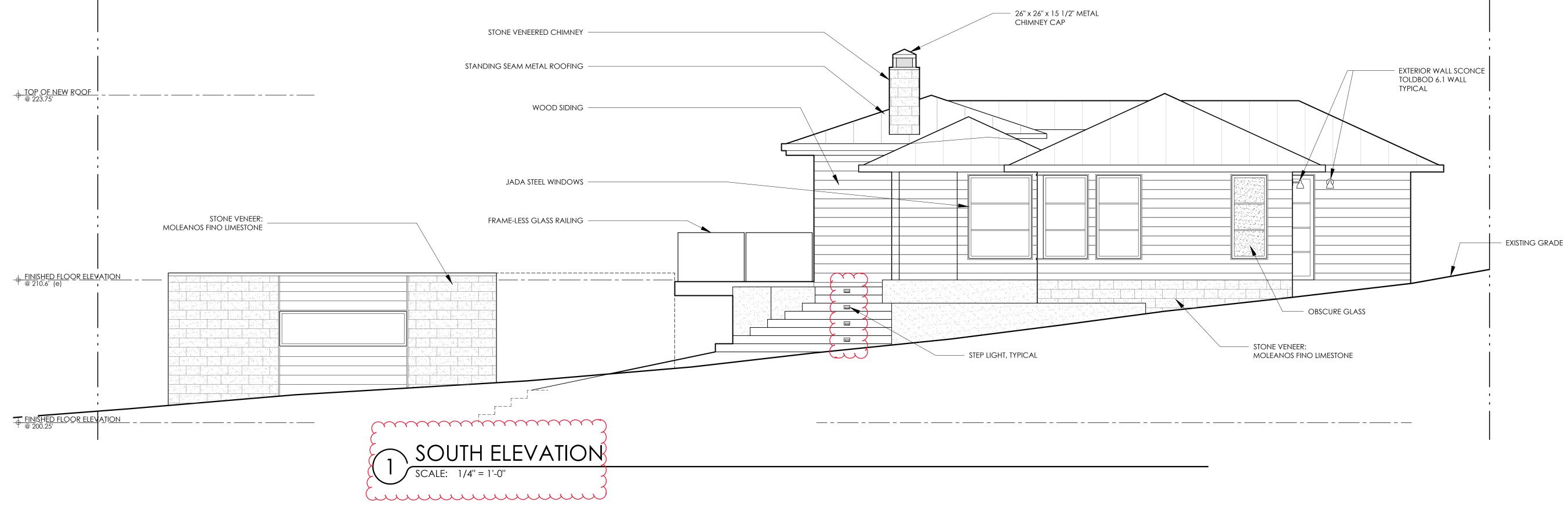




	Stone veneer: Moleanos fino limestone
<u> </u>	원 수 있다. 홍수 1억 2003년 - 25년 중 동작 2007년 1917년 - 1918년 - 2017년 1월 18일 - 2017년 1월 18일











AVENUES \sim 39 0 CLUB ORNIA N V Т **ALIF** Ū SAN 4 \bigcirc Ш Ω AND SЕ, CHIFFRE -THE OCEAN -BY RMEI ORNER \triangleleft (\bigcirc Ш Z

ш SHEET NAME: WEST AND SOUTH ELEVATIONS SHEET DATE: 11-02-2020

SHEET SCALE: 1/4" = 1'-0"

A13

REVISION # 1

1/20/2021 PLANNING

Attachment 9

		Door Sche	edule		
		Sash Dimensions			
#	Level	Top of Sash	Door Width	Door Height	
		Lower Level &	Garage		
А	Lower	96"	2'-9 1/2"	8'-0''	
Y	Lower	96"	3'-0"	8'-0"	
Z	Lower	96"	16'-6"	8'-0''	
	Upper Level				
В	Upper	92"	3'-4"	7'-8"	
С	Upper	84"	3'-1 1/2"	7'-0''	

#	
1	
2	
3	
4	
5	
6	
10	
11	_
12	
13	
14	
15	
16	
17	
18	
19	
20	
21	
22	
23	_
24	_
25	

	Window So	chedule	
Loval		Sash Dimensions	5
Level	Top of Sash	Window Width	Window Height
	Lower Le	evel	
Lower	96"	9'-1"	8'-0''
Lower	96"	3'-8"	3'-6"
Lower	96''	9'-1"	8'-0''
Lower	98" +/- (e)	5'-2"	2'-0"
Lower	98" +/- (e)	10'-0''	2'-0"
Garage	96"	10'-0''	2'-0"
	Upper Le	evel	
Upper	106"	8'-0''	8'-10"
Upper	106"	13'-0"	8'-10"
Upper	106"	8'-0"	8'-10"
Upper	84"	7'-1"	3'-2"
Upper	84"	4'-0''	3'-2"
Upper	84"	2'-11 1/2"	3'-2"
Upper	84"	2'-0"	3'-6"
Upper	84"	2'-0"	3'-6"
Upper	84"	9'-0''	7'-0''
Upper	84"	2'-0"	2'-6"
Upper	84"	4'-0''	2'-6"
Upper	84"	2'-6"	5'-5 1/2"
Upper	84"	3'-2"	5'-5 1/2"
Upper	84"	3'-2"	5'-5 1/2"
Upper	84"	3'-2"	5'-5 1/2"
Upper	84"	4'-6"	5'-5 1/2"





WEST ELEVATION FROM ABOVE CORNER



SOUTH WEST ELEVATION FROM OCEAN AVENUE



WEST ELEVATION FROM ABOVE DRIVEWAY





VENUES \sim 6 ُ \mathcal{O} UNC 0 RNIA U BE/ SZ \bigcirc AND -SE, CHIFFRE -THE OCEAN -BY ARMEL CORNER Щ \bigcirc Ш Z Sheet name:

A15

PROPOSED

RENDERINGS

NTS

11-02-2020

SHEET DATE:

SHEET SCALE:



PERGOLA STRUXURE PAINTED STEEL



LOUIS POULSEN TOLDBOD 6.1 WALL EXTERIOR WALL SCONCE

Attachment 9







MOLEANOS FINO LIMESTONE VENEER EXTERIOR WALL SURFACES



WAC LIGNTING WL-LED101 STEP LIGHT EXTERIOR WALL LIGHT



REVISION # 1

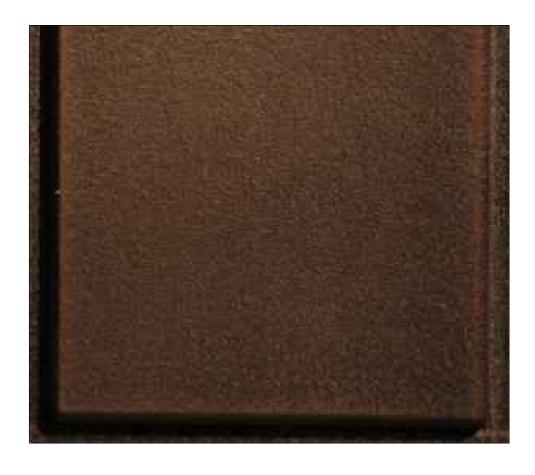
1/20/2021

PLANNING



STANDING SEAM METAL ROOFING MANUFACTURER: CUSTOM-BUILT METALS COLOR: MIDNIGHT BRONZE CLASS A, SLOPED ROOF

WOOD HORIZONTAL SIDING EXTERIOR WALL SURFACES



JADA STEEL WINDOWS, BRONZE WINDOWS AND DOORS



FRAMELESS GLASS RAILING DECK RAIL



PAVING STONES PATIOS, WALKWAYS



SAND-BLASTED GLASS EXTERIOR WINDOWS AT MASTER BATHROOM

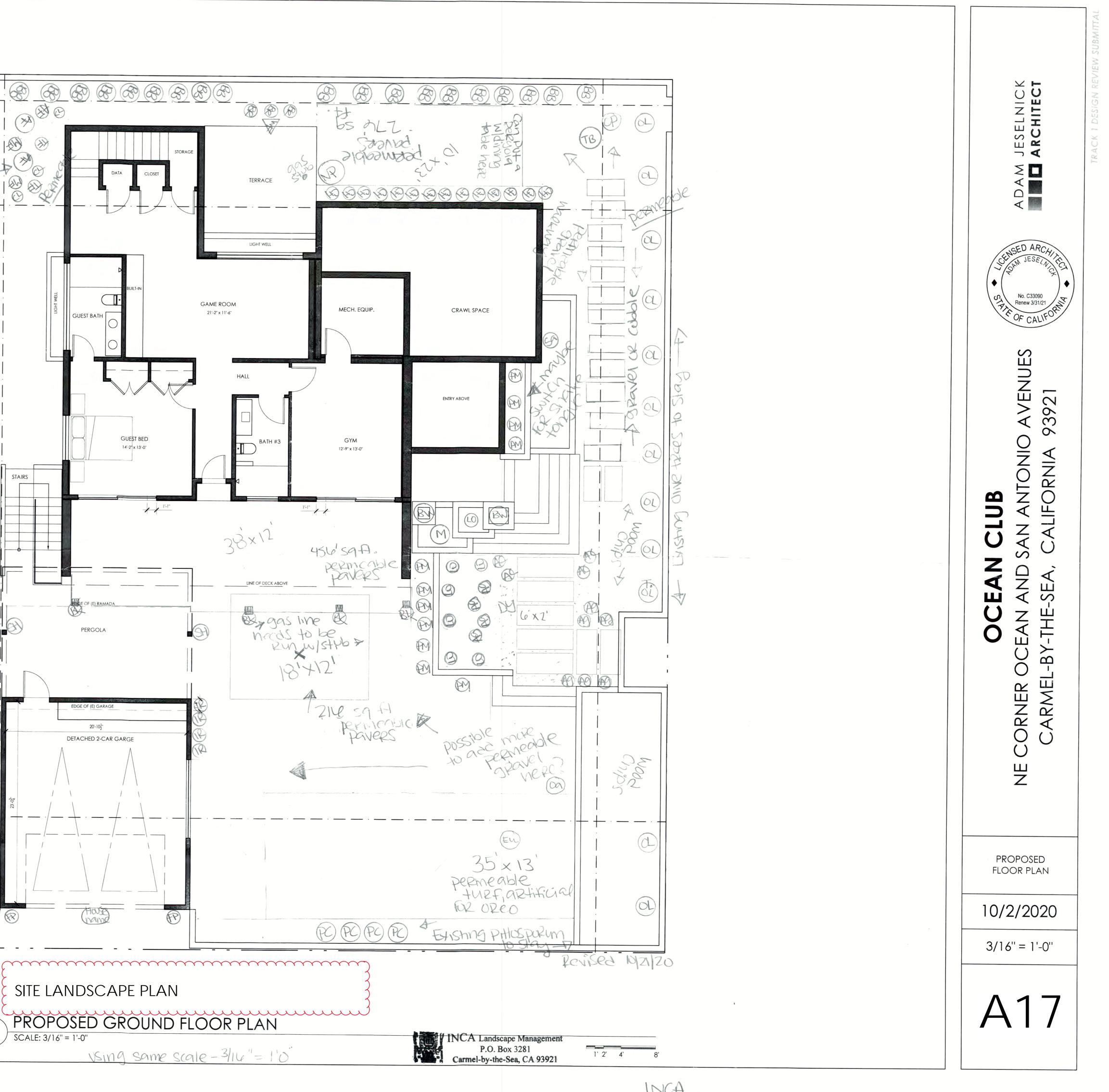






· 1019 510. Ø Ø \bigcirc Revised 1/20 Plants List - Heiliger Family BB Bougainvillea' BRASiliansis' 3-5921 PC Pittospopum Crassi folium 4-24" Box 1599 OD Olive tree "Wilsonii" 12-24" Box OR 1599191 AM Polygala Myrtifolia 11-15gal or Sgal BP Bougainvillea Barbara Karst' 4-59al inter Iceberg Poses white 4-5gal SH Climping Poses' Sally Hames' 2-15gal A Shipa Ichu Mexican Feather Grassi 7-5gal STAIRS) Acer Palmatum "Sango kaku" 1-15gal Hopsetan Reeds 2-15gal Agrave Attenuata 10-5gal SP BB PODOCAPPUS GRAVIIIVE 20-15,991 GUChoissa Teenata 'Mock opange' 15-599 M Dymondia Margaretae 12 Flats AF Dianela Varigata 3-5gal (FF Mayer Hisparaaus Fern 2-1gal) (Clivia Miniata 3-2gal PFICUS pumila 'CREEPING Fig' in pots 2-5991 AD ACORUS VARIOGIA 2 noted, 4 stock 1991 INCA AK

APRIL OF THE CASE OF



INCA ANC

SHEET INDEX

SHE	ET INDEX
A0.1	PROJECT DATA, SITE DATA, AND SITE LOCATION
A0.2	NOTES, SPECIFICATIONS, AND CONDIIONS OF APPROVAL
A0.3	PRE-EXISTING SITE SURVEY
A1.1	PROPOSED SITE PLAN
A2.0	EXISTING FIRST FLOOR PLAN
A2.1	EXISTING SECOND FLOOR PLAN
A2.2	EXISTING ROOF PLAN
A2.3	PROPOSED FIRST FLOOR PLAN
A2.4	PROPOSED SECOND FLOOR PLAN
A2.5	PROPOSED ROOF PLAN
A3.1	EXISTING WEST & SOUTH ELEVATIONS
A3.2	EXISTING NORTH & EAST ELEVATIONS
A3.3	PROPOSED WEST AND NORTH ELEVATIONS
A3.4	PROPOSED EAST AND SOUTH ELEVATIONS
A3.5	BUILDING SECTIONS
A3.6	
A4.1	FIRST FLOOR REFLECTED CEILING PLAN
A4.2	SECOND FLOOR REFLECTED CEILING PLAN
A5.1	DOOR AND WINDOW SCHEDULES
A6.1	
	VERTICAL CIRCULATION
	VERTICAL CIRCULATION
A8.1	ARCHITECTURAL DETAILS
STRUC	TURAL
SO.0	TITLE SHEET
SO.1	
\$2.1	
S2.2	MAIN FLOOR FRAMING PLAN
S2.3	ROOF FRAMING PLAN
\$2.4	GARAGE FOUNDATION AND FRAMING PLAN / DETAILS
02.1	

- \$2.4 \$5.1 CONCRETE DETAILS
- \$7.1 \$7.2 STEEL DETAILS
- STEEL DETAILS WOOD DETAILS WOOD DETAILS \$8.1 \$8.2
- \$8.3 WOOD DETAILS
- S8.4 WOOD DETAILS

MECHANICAL

M0.1	NOTES
M0.2	NOTES
M0.3	ENERGY COMPLIANCE
M0.4	2019 LOW -RISE MANDATORY MEASURES
M2.1	EXISTING FIRST FLOOR HEATING
M2.2	SECOND FLOOR RADIANT HEATING PANEL LAYOUT
M2.3	SECOND FLOOR RADIANT HEATING TUBING LAYOUT
M2.4	SECOND FLOOR HYDRONIC COOLING PLAN
M2.5	FIRST FLOOR VENTILATION PLAN
M2.6	SECOND FLOOR HVAC PLAN
M6.1	PIPING SCHEMATIC
M6.2	NOTES AND SCHEDULES
M6.3	DETAILS
M6.4	ECO-WARM INSTALLATION DETAILS

M6.5 HEAT SOURCE VENTING

PLUMBING

LEGENDS, SCHEDULES, NOTES, AND DETAILS FIRST AND SECOND FLOOR WASTE AND VENT PLAN P0.1 P2.1 P2.2 FIRST AND SECOND FLOOR DOMESTIC WATER & GAS PLAN P2.3 GAS LINE SCHEMATIC LIGHTING LT1.0 FIRST FLOOR LIGHTING PLAN LT2.0 SECOND FLOOR LIGHTING PLAN CONSTRUCTION MANAGEMENT BEST MANAGEMENT PRACTICES BMP

CIVIL

C-1 DRAINAGE PLAN EROSION CONTROL PLAN C-2 \dots

REVISION \triangle 5/7/2021 PLAN CHECK SUBMITTAL

SITE DATA

(

SCOPE OF WORK: REMODEL OF AN EXISTING 2-STORY RESIDENCE WITH DETACHED GARAGE ON 8,000 SQUARE FOOT LOT. REPLACE EXISTING DETACHED GARAGE. TYDE V P

	TYPE OF CONSTRUCTION:	ITPE V-B
(OCCUPANCY:	R-3 RESIDENTIAL (HOUSE), U-UTILITY (GARAGE)
	FIRE SPRINKLERS:	YES
	PERMITS:	DS 15-322 (APPROVED NOVEMBER 18, 2015) BP 16-055 (ISSUED SEPTEMBER 2016)
		DS 20-323 (APPROVED FEBRUARY 10, 2021
	WATER:	CAL-AM (E)
	SEWER:	CARMEL AREA WASTE WATER DISTRICT (E)
	CUT / FILL:	0 CUBIC YARDS (NO GRADING THIS PROJECT)

BUILDING INFORMATION

	IGHT LIMIT: 18'-0" Oposed Building Height: Highest Point	REDUCED B	Y 5'-8"
SIT	E DATA:		
EX SIT AL	AX. TOTAL SITE COVERAGE: ISTING SITE COVERAGE: E COVERAGE REQUIRED TO BE REMOVED: ADDITION X 2 = IOWABLE SITE COVERAGE: OPOSED SITE COVERAGE:	971. SF 3359. SF 686. SF 1732. SF 1987. SF (3 1950. SF	359 - 1732)
	LIGHT WELL: NORTH STAIRS: PERGOLA: FIRE PIT PATIO: DRIVEWAY: STEPS AND WALL: SOUTH GATE: FRONT ENTRY STEPS: FRONT STEPPING STONE: FRONT DECK: REAR PATIO: PROPERTY WALLS:	98. SF (S 284. SF (C 194. SF (C 99. SF (C 53. SF (C 49. SF (C 230. SF (S 84. SF (C 402. SF (S)	ONCRETE) IONE TILE) ONCRETE PAVERS) ONCRETE PAVERS) ONCRETE) ONCRETE) ONCRETE) TONE TILE) ONCRETE) IONE TILE) IONE TILE)
FLO	OOR AREA CALCULATIONS:		
(E) (E)	MAIN LEVEL: LOWER LEVEL: GUEST HOUSE: GARAGE:	1612. SF 195. SF 265. SF 417. SF	
то	TAL EXISTING:	2,489. SF	(APPROVED PERM
(N (N (N	MAIN LEVEL: LOWER LEVEL: LOWER LEVEL BASEMENT: BASEMENT BONUS: GARAGE:	1696. SF 622. SF 357. SF 100. SF 400. SF	1779 SF 622 SF 257 SF 100 SF 417 SF
то	TAL PROPOSED:	3,175. SF	(3,175. SF)



PROJECT DATA PROPERTY ADDRESS:

	PROPERTY ADDRESS:	NORTHEAST CORNER OF SAN ANTONIO AVENUE AND OCEAN AVENUE CARMEL-BY-THE-SEA, CALIFORNIA 93921		
>	A.P.N.: BLOCK /LOT: LOT SIZE:	010-253-009 BLOCK HH, LOTS 2 AND 4 8000 SF (.184 ACRES)		
	ZONING:	R-1 SINGLE FAMILY RESIDENTIAL		
	OWNER:	LE CHIFFRE HOLDINGS LLC 394 PACIFIC AVE, 2ND FLOOR SAN FRANCISCO, CALIFORNIA 94111		
	ARCHITECT:	ADAM JESELNICK ARCHITECT 24398 PORTOLA AVENUE CARMEL, CA 93923 PHONE: (831) 620.5164 m CONTACT: ADAM JESELNICK AIA EMAIL: aejarch@gmail.com		
	CONTRACTOR:	GROZA CONSTRUCTION 883 ABREGO STREET MONTEREY, CA 93940 PHONE: 831-655-7605 EMAIL: CWEST@GROZACONSTRUCTION	.сом	
	STRUCTURAL:	GFDS ENGINEERS		
	MECHANICAL:	MONTEREY ENERGY GROUP		
	LIGHTING:Q	ANNA KONDOLF LIGHTING DESIGN		
	CIVIL ENGINER:	LANDSET ENGINEERS		
	SURVEYOR:	L&S ENGINEERING AND SURVEYING 2460 GARDEN ROAD, SUITE G MONTEREY, CA 93940 (831) 655-2723 OFFICE		
RMIT DS 1	By Main By Room Promotion Golf Course Golf Course	PROPERTIES AREA THE SECOND SE		
		AP Review	wed for Code Compliance	
	SCALE: N.T.S.		JUL 09 2021	
		CSG	CONSULTANTS, INC.	

NORTHEAST CORNER OF SAN ANTONIO AVENUE





CORNER OCEAN AND SAN ANTONIO AVENUES CARMEL-BY-THE-SEA, CALIFORNIA 93921 LE CHIFFRE BEACH CLUB

Ш Z

PROJECT DATA AND

SITE LOCATION 3-11-2021

AS NOTED

A0.1

GENERAL NOTES

- 1. VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS AT THE SITE; CONFIRM ANY VARIATIONS OR CONFLICTING OR MISSING DIMENSIONS OR DATA PRIOR TO COMMENCING WORK. USE WRITTEN DIMENSIONS ONLY; DO NOT SCALE DRAWINGS FOR THE PURPOSE OF DETERMINING A DIMENSION DURING CONSTRUCTION.
- 2. CONSTRUCTION DETAILS: NOT SPECIFICALLY SHOWN ON THE DRAWINGS SHALL BE BUILT TO CONFORM TO SIMILAR CONSTRUCTION, IN ACCORDANCE WITH THE BEST COMMON PRACTICE AND/OR MANUFACTURER'S SPECIFICATIONS FOR THE INSTALLATION OF THEIR MATERIALS OR ITEMS.
- 3. ALL CONSTRUCTION (MATERIALS, WORKMANSHIP & METHODS) SHALL COMPLY WITH TITLE 24 AND THE 2019 CALIFORNIA RESIDENTIAL CODE (CBC) AND APPENDICES H, I, AND J; CALIFORNIA EXISTING BUILDING CODE, CALIFORNIA PLUMBING CODE (CPC). CALIFORNIA MECHANICAL CODE (CMC), CALIFORNIA ELECTRICAL CODE (CEC), CALIFORNIA MECHANICAL CODE, CALIFORNIA ENERGY CODE, FIRE CODE (SEE CMC TITLE 8), AND 2013 CALIFORNIA GREEN BUILDING STANDARDS CODE; AND ALL LOCAL AMENDMENTS AS ADOPTED BY CITY ORDINANCE.
- 4. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SAFETY ON THE JOB SITE AND MUST ADHERE TO ALL FEDERAL, STATE LOCAL AND O.S.H.A. SAFETY REGULATIONS.
- 5 DEMOLITION: CONFIRM ALL DEMOLITION REQUIREMENTS WITH THE OWNER, VERIEV WITH OWNER WHICH ITEMS, IF ANY, HE/SHE WISHES TO RETAIN FOR HIS/HER USE, ALL OTHER ITEMS TO BECOME PROPERTY OF THE CONTRACTOR AND ARE TO BE PROPERLY REMOVED FROM THE PREMISES.
- 6. NAILING TO BE IN COMPLIANCE WITH CBC TABLE 2304.S.1 U.O.N.
- 7. NO EXISTING FIRE SUPPRESSION SYSTEM. NEW FIRE SPRINKLERS TO BE INSTALLED. DEFERRED SUBMITTAL AND UNDER SEPARATE PERMIT
- 8. PV PHOTOVOLTAIC SYSTEM PROPOSED FOR ROOF TOP INSTALLATION. DEFERRED SUBMITTAL AND UNDER SEPARATE PERMIT.

CITY CONDITIONS OF APPROVAL

mily residence located at the northeast corner of San Antonio and Ocean Avenue (APN 010-253-009), subject to the following Conditions of Approval:

CONDITIONS OF APPROVAL

- No. Standard Conditions a located at the northeast corner of Ocean Avenue and San Anto nue in the R-1 Single Family Residential District as depicted in the pla ared by Adam Jeselnick Architect stamped approved and on file ning & Building Department unless modified by the cond
- 2. Codes and Ordinances. The project shall be constructed in conformance with all requirements of the R-1 zoning district. All adopted building and fire codes shall be adhered to in preparing the working drawings. If any codes or ordinance require design elements to be charged; or if any other changes are requester at the time such plans are submitted, such changes may require additional
- environmental review and subsequent approval by the Planning Commission. Permit Validity. This approval shall be valid for a period of one year from the date of action unless an active building permit has been issued and maintained for the proposed construction.
- andscape Plan. All new landscaping if proposed, shall be shown on a landscape plan and shall be submitted to the Department of Community Planning and Iding and to the City Forester prior to the issuance of a building permit. The landscape plan will be reviewed for compliance with the lan contained in the Zoning Code, inclusing the following requirements: 1) all new landscaping shall be 75% drought-tolerant; 2) landscaped areas shall be irrigated by a drip/sprinkler system set on a timer; and 3) the project shall meet he City's recommended tree density standards, unless otherwise approved by the City based on-site conditions. The landscaping plan shall show where new trees will be planted when new trees are required to be planted by the Fores and Beach Commission or the Planning Commission
- The Removal Trees on the site shall only be removed upon the approval of the City Forester or Forest and Beach Commission, as appropriate; all remaining trees shall be protected during construction by methods approved by the City Forester of Forest and Beach Commission, as appropriate; all remaining trees shall be protected during construction by methods approved by the City 5
- Significant Trees. All foundations within 15 feet of significant trees shall be cavated by hand. If any tree roots larger than two inches (2") are countered during construction, the City Forester shall be contacted before atting the roots. The City Forester may require the roots to be bridged or ma

Resolution No. 2021-009-PC Page 5 of 9

authorize the roots to be cut. If roots larger than two inches (2") in diameter re cut without prior City Forestra approval or any significant tree is indangered as a result of construction activity, the building permit will be suspended and all work stronged until an investigation by the City Foraster has n completed. Twelve inches (12") of mulch shall be evenly spread inside the line of all trees prior to the issuance of a building permit.

- Water Use. Approval of this application does not permit an increase in water use on the project site without odequate supply. Should die Monterey Peninsula Water Management District determine that adequate water is not matching the site without addition of the site o 1 remission water wanagement District actermine that adequate water is not wanlable for this site, this permit will be scheduled for reconsideration and appropriate findings prepared for review and adoption by the Planning
- 8. Modifications. The applicant shall submit in writing to the Con and Building staff any proposed changes to the approved project plans prior to incorporating changes. If the applicant changes the project without first Incorporating changes in the applicant will be required to either: a) submit the obtaining City approval, the applicant will be required to either: a) submit the change in writing and cease all work on the project until either the Planning Commission or staff has approved the change; or b) eliminate the change and submit the proposed change in writing for review. The project will be rev
- for its compliance to the approved plant prior to final inspection. 9. Setback and Height Certifications. A State licensed surveyor shall survey and rtify the following in writing:
 - The footing locations for conformance with the approved plans prior to
 - The roof height for conformance with the approved plans prior to roof
 The roof height for conformance with the approved plans prior to roof sheathing inspection.

Written certifications prepared, sealed and signed by the surveyor shall t provided to the building inspector at the time of the specified inspections. 10. Exterior Lighting. Exterior lighting shall be limited to 25 watts or less (incandescent equivalent, i.e., 375 lumens) per fixture and shall be no hig than 10 feet above the ground. Landscape lighting shall not exceed 18 inches above the ground nor more than 15 wetts (incandescent equivalent, i.e. 225 mens) per fixture and shall be spaced no closer than 10 feet apart. Landscape lighting shall not be used for tree, wall, fence or accent lighting of any type. The purpose of landscape lighting is to safely illuminate walkways and entrances to the subject property. All fixtures shall be shielded and down facing. The

nanufacturer's specifications, including illumination information, for each xterior light fixture shall be included in the construwith the building permit application.

Prepared by a qualified archaeologist or other person(s) meeting the standards of the State Office of Historic Preservation prior to approval of a final building permit. The applicant shall adhere to any recommendations set forth in the archaeological report. All new construction involving excavation shall immediately cease if materials of archaeological significance are discovered on

nstruction drawings.

Resolution No. 2021-009-PC

age 6 of 9

Resolution No. 2021-009-PC Page 8 of 9

surfaces.

be installed prior to final inspection.

18' 6" and shall not be increased.

*Acknowledgement and acceptance of conditions of approval

SEA this 10th day of February, 2021 by the following vote:

operty shall ren

33.

Mighto

Resolution No. 2021-009-PC

APPROVED

NOES: Commission Mombers: None

ABSENT: Commission Members: None

ABSTAIN:Commission Members: None

25. BMP Tracking Form. A completed BMP Tracking form will need to be submitted

Erosion and Sediment Control Plan. Provide an erosion and sediment control

plan that includes locations and installation details for erosion and sedimen control BMPs, material staging areas, and stabilized access with Building Permi

SPECIAL CONDITIONS SPECIAL CONDITIONS
 SPECIAL CONDITIONS
 Inver Planting Required. The applicant shall plant two upper canopy trees on the property. The location and species shall be determined in consultation with the City Forester and Planning Staff and shall be tree in the result of the city for staff.

Right-of-Way Encroachments. All right-of-way encroachments, including but

removed prior to final inspection. The asphalt pathway to the south of the

Right-of-Way Planting. The applicant shall submit a planting layout and plant

e roof material shall have a matte finish flow she

Matthew Burns, Authorized Signatory f Circle Three Management LLC, Manager of Le Chiffre Holdings LLC

Printed Name

PASSED AND ADOPTED BY THE PLANNING COMMISSION OF THE CITY OF CARMEL-BY-THE-

Once signed, please email to mwaffle@ci.carmel.ca.us

AVES: Commission Members: Bolton, Delves, Lehman, Locke, LePage

palette for the right-of-way along San Antonio as part of the final landscap

not limited to, boulders located north of the driveway, and all gravel, shall be

31. Concrete Driveway. The concrete driveway located in the public right-of-way

shall be removed and replaced with gray concrete pavers as pr Planning Commission on February 10, 2021, a material-consi

West Elevation. The plate height on the west elevation is not

with the Building Permit Application. 26. Semi-Permeable Surfaces. Provide cross-section details for semi-per

Resolution No. 2021-009-PC Page 7 of 9

the site and shall not be permitted to recommence until a mitigaton and monitoring plan is approved by the Planning Commission. 20. Cultural Resources. All new construction involving excavation shall immediately cease if cultural resources are discovered on the site, and the applicant shall notify the Community Planning and Building Department within 24 hours. Work shall not be permitted to recommence until such resources are monerly shar not be permitted to recommence until such resources are properly evaluated for significance by a qualified archaeologist. If the resources are determined to be significant, prior to resumption of work, a mitigation and monitoring plan shall be prepared by a qualified archaeologist and reviewed and approved by the Community Planning and Building Director. In addition, if human remains are unearthed during exavation, no further disturbance shall occur until the County Coroner has made the necessary findings as to origin and distribution pursuant to California Public Resources Code (PRC) Section

12. Stone Facades (including chimneys). Stone facades shall be installed ina broken

course/random or similar masonry pattern. Setting the stones vertically on their

face in a cobweb pattern shall not be permitted. All stonework shall bewrapped

around building corners and terminated at an inside corner or a logicalstopping point that provides a finished appearance. Termination of stonewort shall be

subject to review and approval by the Community Planning & Building Director

or his/her designee. The masonry patter shall be clearly identified in the

and assigns, from any liability; and shal reimburse the City for any expense

incurred, resulting from, or in connection with any project approvals. This includes any appeal, claim, suit, or other legal proceeding, to attack, set aside,

void, or annul any project approval. The City shall promptly notify the applicant

of any legal proceeding, and shall cooperate fully in the defense. The City may

at its sole discretion, participate in any such legal action, but participation shall not relieve the applicant of any obligation under this condition. Should any

party bring any legal action in connection with this project, the Superior Court

of the County of Monterey, California, shall be the situs and have jurisdictio

material shall extend beyond the property line into the public right of way a

flow line of the street. The driveway material and asphalt connection shall b

clearly identified on the construction drawings submitted with the building permit application. If a driveway is proceed to be sand set a dimensioned construction detail showing the base material shall be included in the

rdous Materials Waste Survey. A hazırdous materials waste survey

aired in conformance with the Montarey Bay Unified Air Pollution Control

reded to connect to the paved street (dge. A minimal asphalt connection a c street edge may be required by the Superintendent of Streets or the ilding Official, depending on site conditions, to accommodate the drainage

ions, the driveway

report shall be

esolution of all such actions by the parties hereto.

Driveway. Except as otherwise provided for in these cont

District prior to issuance of a demolition permit. 19. Archaeological Report. An archaeological reconnaissa

onstruction drawings submitted with the building permit application. demnification. The applicant agrees, at his or her sole expense, to defend, demnify, and hold harmless the City, its public officials, officers, employees,

- 21. Truck Haul Route. Prior to Building Permit issuance, the applicant shall provide for City (Community Planning and Building Director in consultation with the Public Services and Public Safety Departments) review and approval, a truckhaul route and any necessary temporary traffic control measures for the grading activities. The applicant shall be responsible for ensuring adherence to the truck-haul route and implementation of any required traffic control 22. USA North 811. Prior to any excavation or digging, the applicant shall contact
- the appropriate regional notification to digging, the appropriate regional notification center (USA North 811) at least two working days, but not more than 14 calexidar days, prior to commencing that on or digging. No digging or excavation is authorized to occur on site until the applicant has obtained a Ticket Number and all utility members have positively responded to the dig request. (Visit USANorth811.org for mo
- Conditions of Approval. All conditions of approval for the Planning permit(s) shall be printed on a full-size sheet and included with the construction plan se submitted to the Building Safety Divis ENVIRONMENTAL COMPLIANCE CONDITIONS
- Drainage Plan: Provide a drainage plan thatmeets the requirer nts of the City's Dataloge Pail. Provide a drailage plan thatmeets the requirements of the City's drailange guidance, SOG 17-07. At a minihum, new and replaced impervious area drailange inust be dispersed around the site rather than focused into one corner of the property, infiltration features must be sized appropriately and must be dispersed. must be located at least 6 feet from neightoring properties. The drainage plan shall include information on drainage from new impervious areas and semi-

Reviewed for Code Compliance

JUL 09 2021 CSG CONSULTANTS, INC.



REVISION A 5/7/2021 PLAN CHECK SUBMITTAL

SAN ANTONIO CALIFORNIA EACH Ξ \Box

CLUB





CAI

 \bigcirc

ШZ

CONDITIONS OF

APPROVAL

as noted

3-12-2021

AVENUES

93921

U C HITEO

JESEL ARCHI

Σ

DA

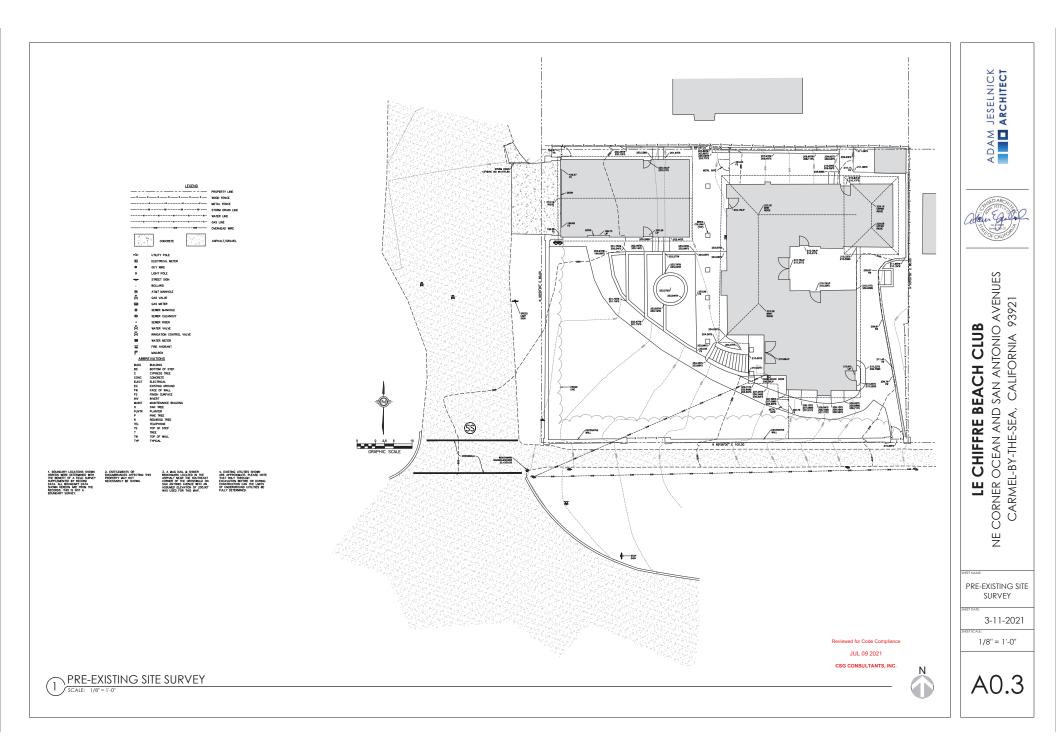
 \checkmark

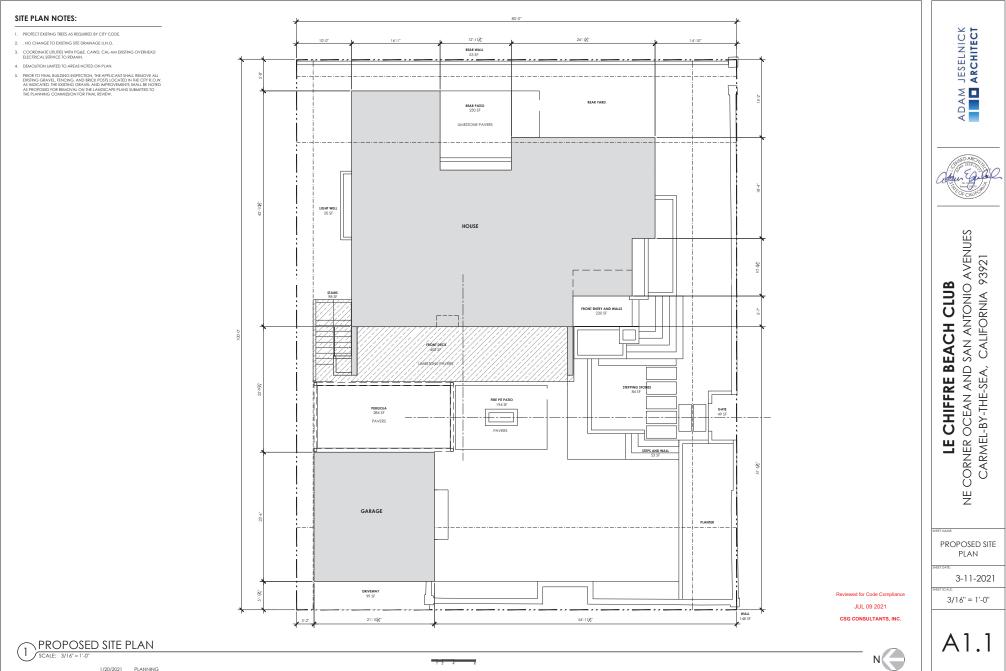
1

torming at 19

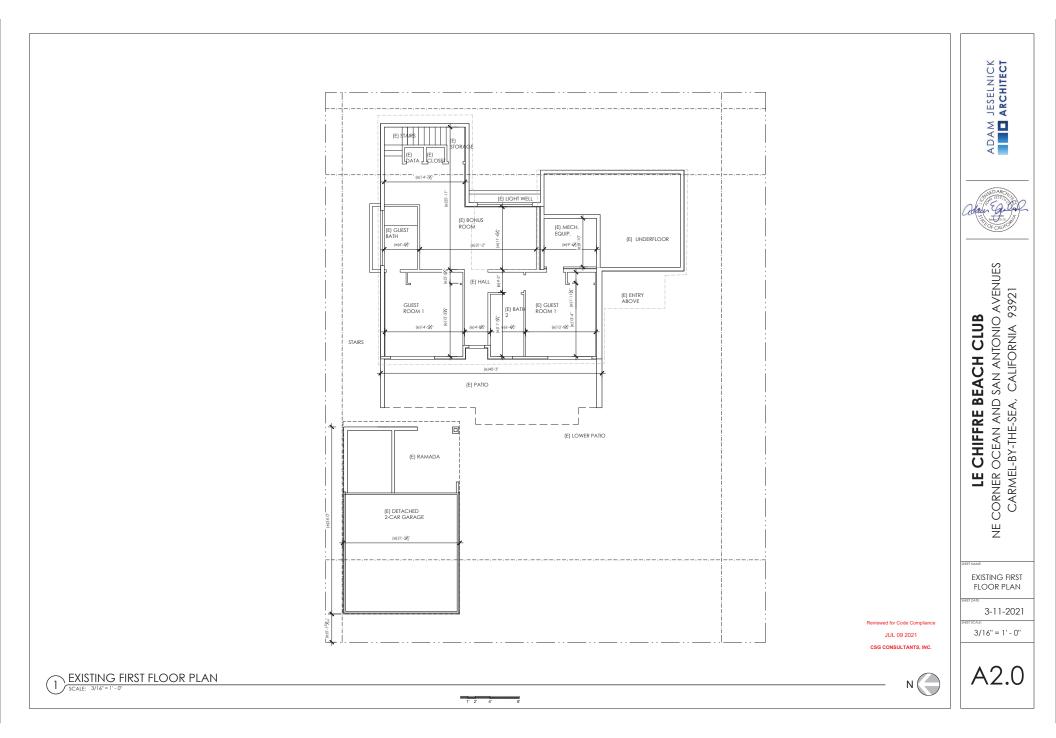
Date

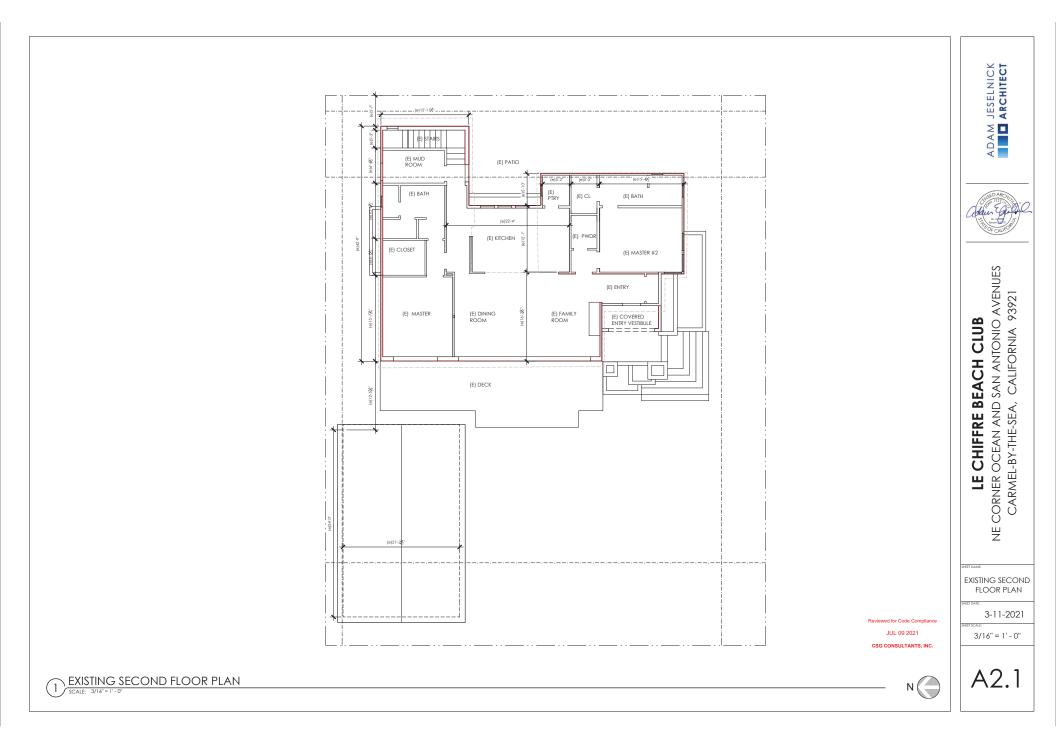
3/1/2021 | 10:17 AM PS

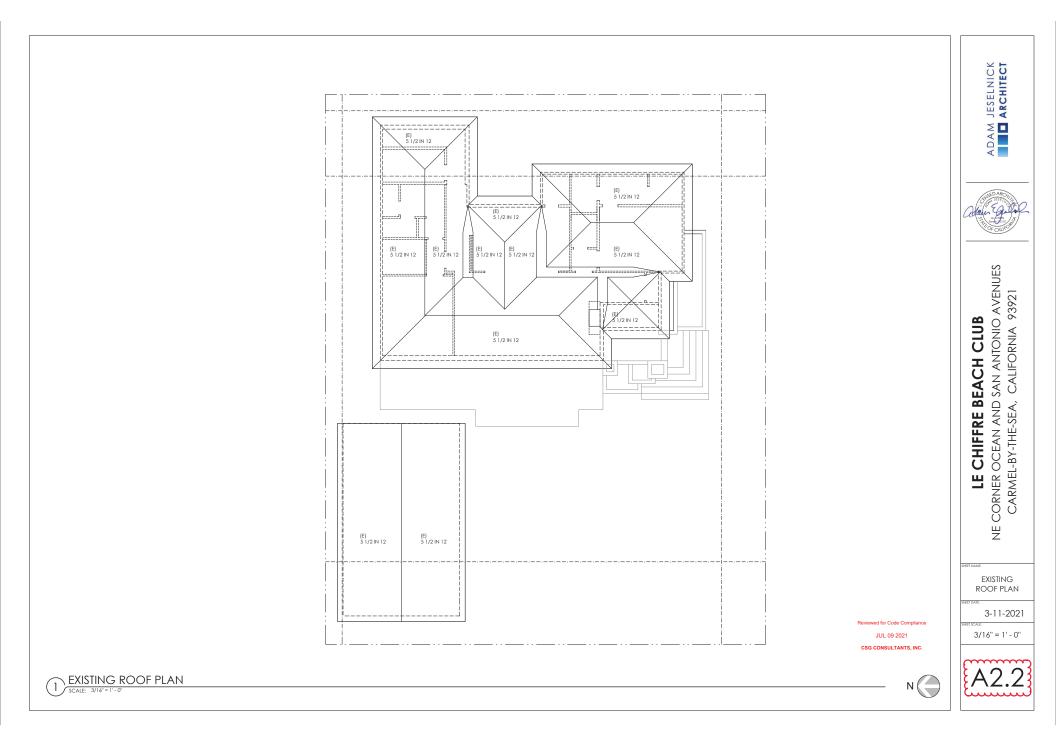


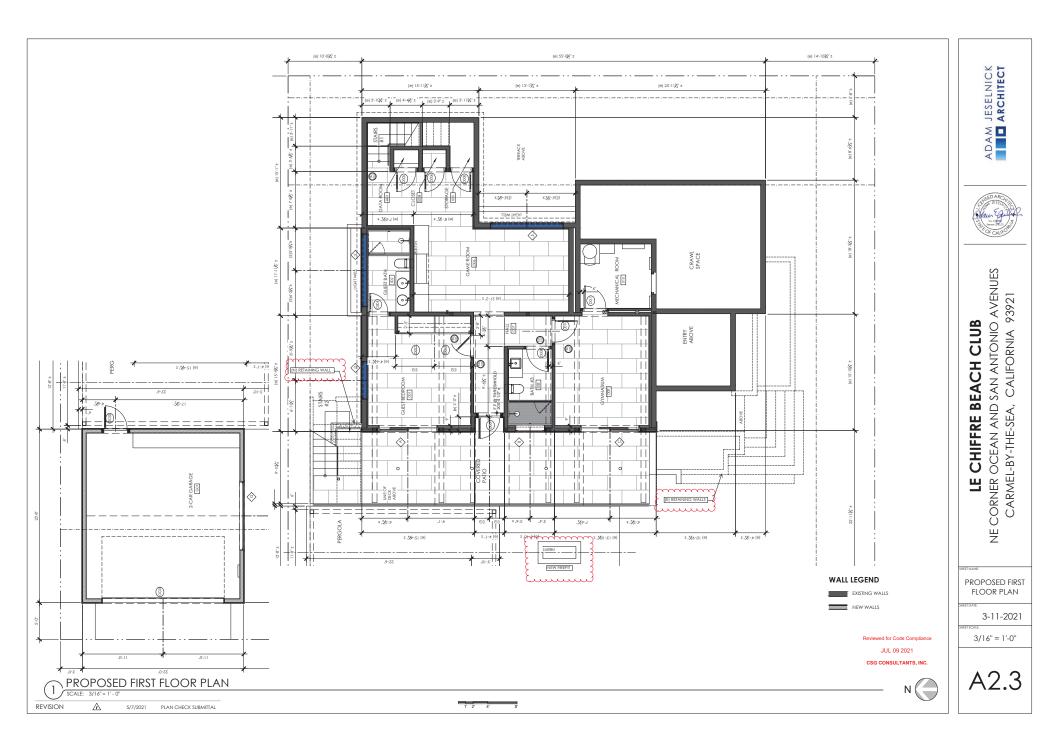


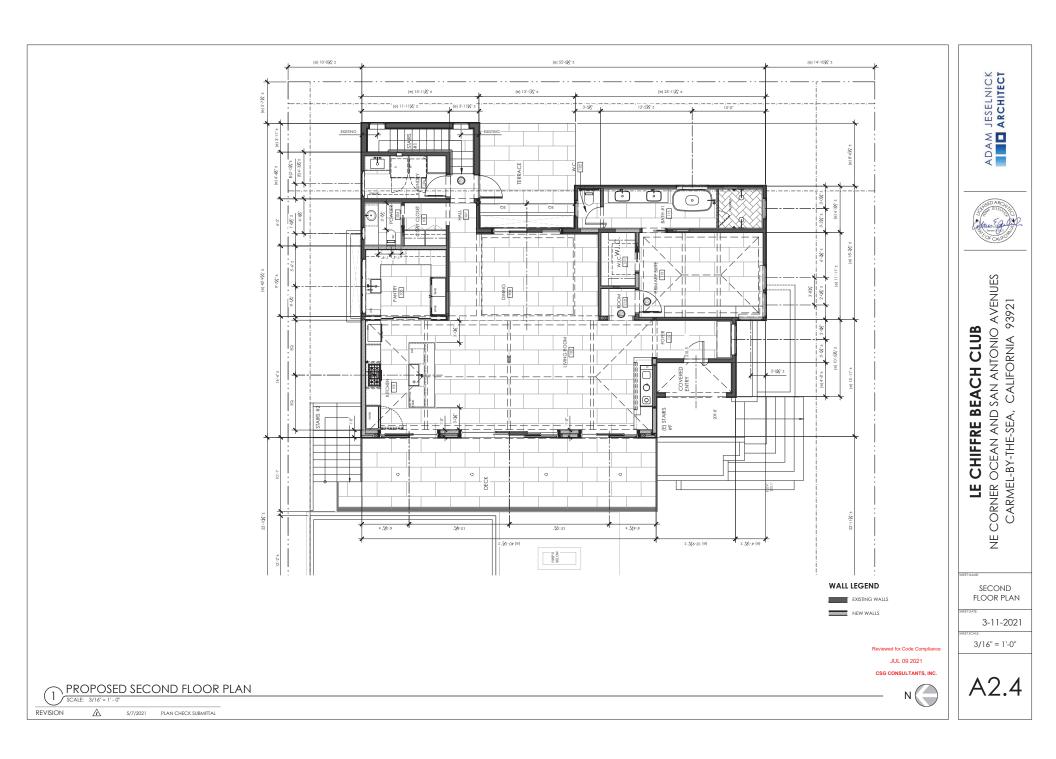
1/20/2021 PLANNING











METAL ROOF SPECIFICATION:

WESTERN STATES METAL ROOFING STANDING SEAM MATTE DARK BRONZE. SEE SPECIFICATIONS PROVIDED.

LIVING ROOF NOTES:

ORENEAL-MOTE: 14 MANAMAR WEDNET LOAD FOR ALL GREEN ROOF COMPONENTS NOT TO EXCEED SALBISF 2. CONTRACTOR TO PROTECT ALL EXISTING UTLIFES, LINROVEMENTS AND STRUCTURES AND RESTORE TO NEW CONDITION AT NO COST TO THE OWNER IF DAMAGED DURING THE COURSE OF THE WORK. In constant Longer Ine Counce Of The WORK.
Constant Longer Ine Counce Of The WORK.
Constant Longer Ine Counce Of The WORK Counce Texteen Trades and Report Inconsistincies between work and bit Deavings to a more than the Dealeman Work. Contribution To MEET WITH General Contribution and Landscare Architect For A site Wurk to Review scope of a more and Dealeman Counciliant.

Un HORK AND DISTING CONCIDENT. The CREEN BOOK STRUCTURE IN UNIT AND THE REPLACED WITH ANY TENNING PERSON THE OF SUBSTAINTL COMPANY THE REPLACED AND THE REPLAC

IESDECT CONSTITUES IN THE REDENTIONE CONTINUCTOR IS RESPONDED FOR CONFRIMING THAT THE EXISTING ROOFING IS COMPLETE. FREE OF LEAKS AND READY TO RECEINE GREEN ROOF MAILTANG INFORMED FOR CONFRIMING THAT THERE IS AN ADDULTE WATER SOURCE FOR IRREGATION ANNUALE AT THE INFORM THAT DISCOMENDING DORS.

3. DO NOT INSTAL OREEN ROOF DURING HIGH WINDS OR INCLEMENT WEATHER. BALLAST ANY AND ALL MATERIALS NEEDED TO BE KEPT ON THE ROOF OR THE SITE TO PREVENT EROSION AND DISPERSAL OFF SITE.

MEDITIONNEM MELLAN NOTE: I CONTINUED NOT MER ORDINAL MINULA STADIA JARAD JARAD STATUS (STANDA MEDIAN SHALL BE STORED IN A DESIGNATED AREA ON STEL PROTECTED FROM WIDA AND STORM DRAVAGE. DO NOT STORE OR STOORDALE OTHER MATERIALS ON THE ORDINAL MAD DO NOT ALLAND TO RY OUT. 2. WHERE ORDINAL MEDIAN DRIVIN STATUSTITE THAN & BAYCES, MENTALINA JU JUT HAN ACCUST FOR STETLINA CARLEND ERFM

PLANTING NOTES: 1. ALL PLANT MATERIA STATE LAWS REQU

EXAMPLANTES: EXAMPLANTES: ALL PLANT METALENUS, SWAL MEET HE ETINGWORD FOR THE AMERICAN ASDCONTON PURSERY ETOCK AND SHALL COMPLY WITH FEDERAL AND ALL PLANT METALENUS FOR THE ETINGWORD FOR THE AMERICAN ASDCONTON PURSERY ETOCK AND SHALL COMPLY WITH FEDERAL AND ALL PLANT METALENUS FOR THE ADMINISTRATION OF THE ADMINISTRATION OF PURSERY ETOCK AND SHALL COMPLY WITH FEDERAL AND ALL PLANT METALENUS FOR THE ADMINISTRATION OF THE ADMINISTRAT PLAT QUARTITIES ARE PROVIDED FOR REFERENCE ONLY, CONTRACTOR IS RESPONSIBLE FOR ACCURATE QUANTITIES AND TAKEOFFS FOR BIDOING AND ORDERING.

PEODOCTE 1. OBJENUE AL LI HARONARE TO LE CORREGION RESISTANT IN STANLESS STELL OR EQUIL. UN LESS OTHERWISE NOTED. 3. MORTAL FER MANUACTIVERES CONTROL RECEPCION IN ALESS OTHERWISE NOTED. 4. THE FOR NOTI MARKER HARONTECH ROTITOT THE BIND ROT BANKER IN BES OF PRAVET AND TARE TO MEMBRANE Y BELON TOP OF ORAVEL. 5. ORANOLES ENTROTICH HORITOCH HORITOTIOT THE BIND ROT BANKER IN BES OF PRAVET AND TARE TO MEMBRANE Y BELON TOP OF ORAVEL. 5. ORANOLES ENTROTICH HORITOCH HORITOCH DOLLTON THE BIND ROT BANKER IN BES OF PRAVET AND TARE TO MEMBRANE Y BELON TOP OF ORAVEL. 5. ORAVIOLES ENTROTICH HORITOCH HORITOCH BANKER IN BIND ROT BANKER IN BES OF PRAVET AND TARE TO MEMBRANE Y BELON TOP OF ORAVEL. 5. ORAVIOLES ENTROTICH HORITOCH HORITOCH BANKER IN BIND ROT BANKER IN BES OF PRAVET AND TARE TO MEMBRANE Y BELON TOP OF ORAVEL. 5. FLICTIN FARIC: MORITOCH DOLLTON THE RESIST AND TARE TO MEMBRANE IN BANKER IN THE DIAL DOLLTON TOP OF DATA 6. FLICTIN FARIC: MORITOCH DOLLTON THE FRAN HARDON DE GUAL.

- 6 TR. LEN TRANK, THUMULEUN SISTEMITILEIN AN ARTIVUEU BURG N. GRAWMA MEDINEN, TVASSO ROOM KAN AWALABLE FROM LYANSO GARDEN MATERIALS, OR APPROVED EQUAL BUBMIT SOIL TEST STATING SATURATED WEIGHT OF BRECHT DE MENDATION TO DE INSTALLEO ON ROOF FOR APPROVAL. 8 SOLA MENDIMENT DOWN TO EART NORMAURA ROOT GROWTH ENHANCER MINOCRAFIZAL FUNDI, AWALABLE FROM LYNGSO GARDEN MATERIALS.
- (a) 14-10²/₄ ± (e) 10-0% s (e) 55-67 : (e) 15-11/2*± (e) 13-1% ± (e) 25'-11/2"± . _ _ . _ . _ . _ . _ . _ __.__. /i Ы ZI OLZ/IS (a) ZI OLZ/IS (a) 7ki 1012 1012 21 OLZ/1 S (3) 34015 21 01 2/1 5 (3) 34015 ZL OL Z/L S (3) ZL OL Z/L S (3) Æ 21:12 ____ А AR -V 21 01 1 (N) 4 10 13 24015 441 - CARK þŻ A OPE Ø CSG CONSULTANTS, INC.



JUL 09 2021

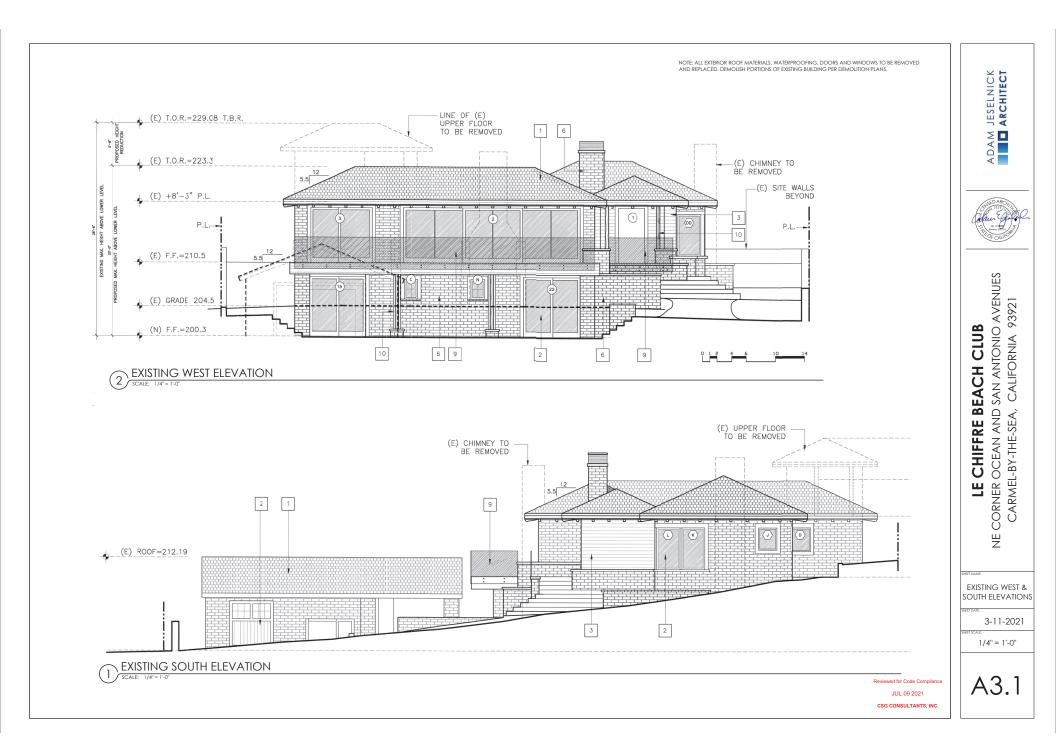
N

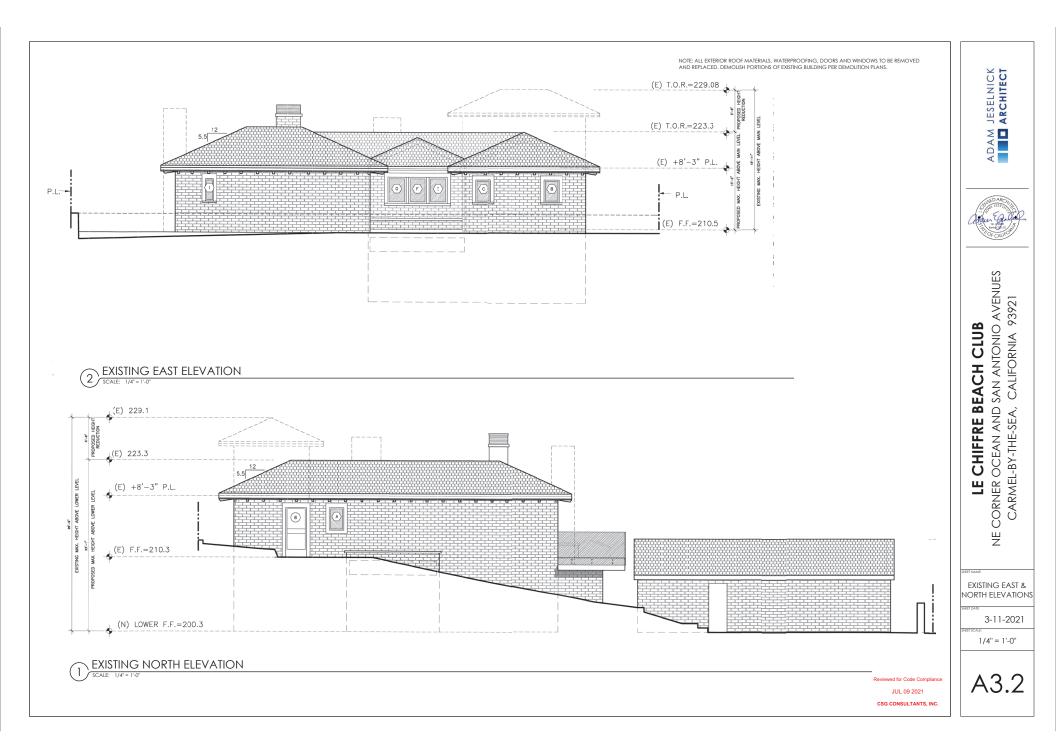
A2.5

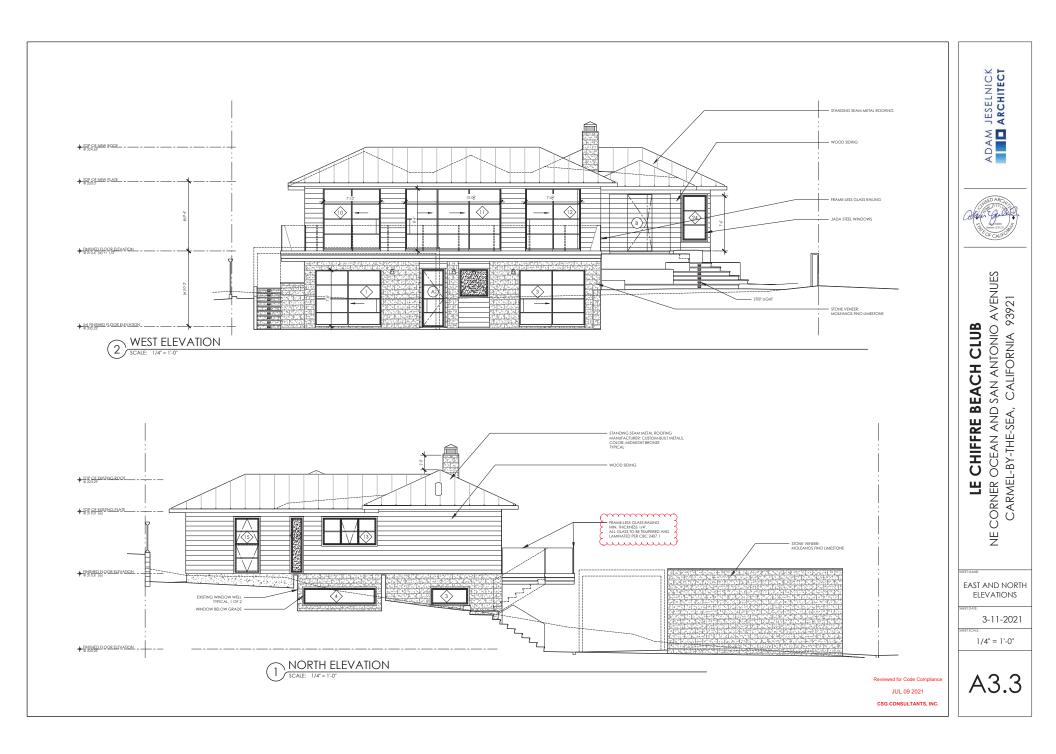
PROPOSED ROOF PLAN 1

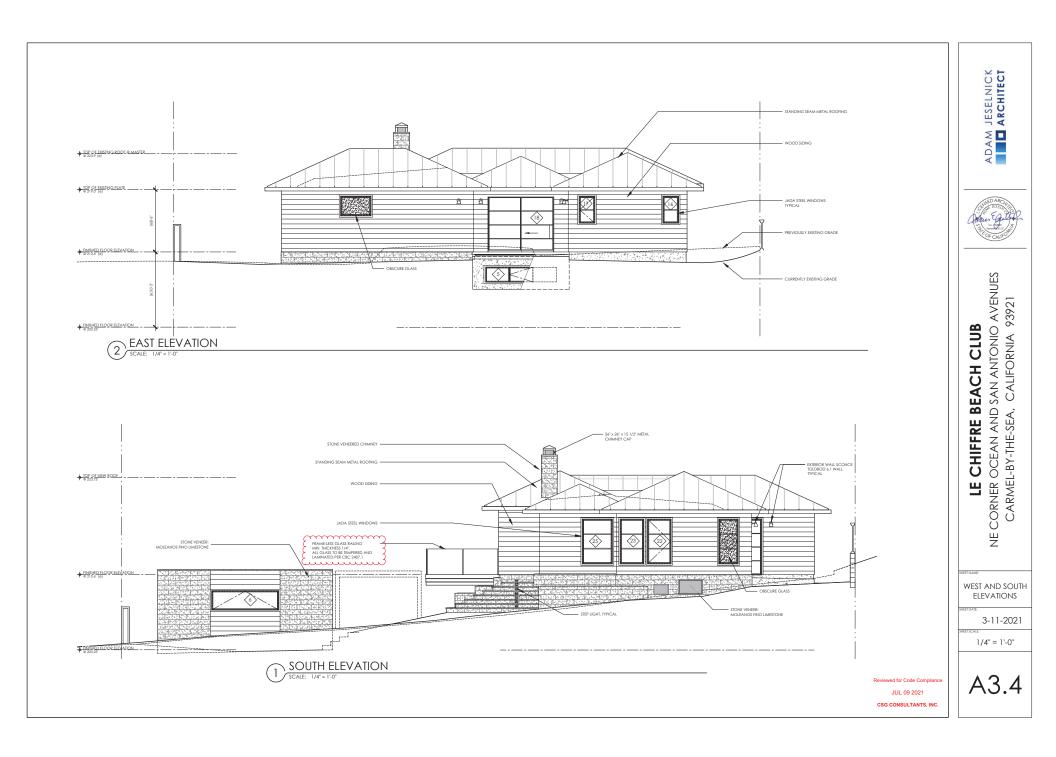
REVISION \triangle 5/7/2021 PLAN CHECK SUBMITTAL

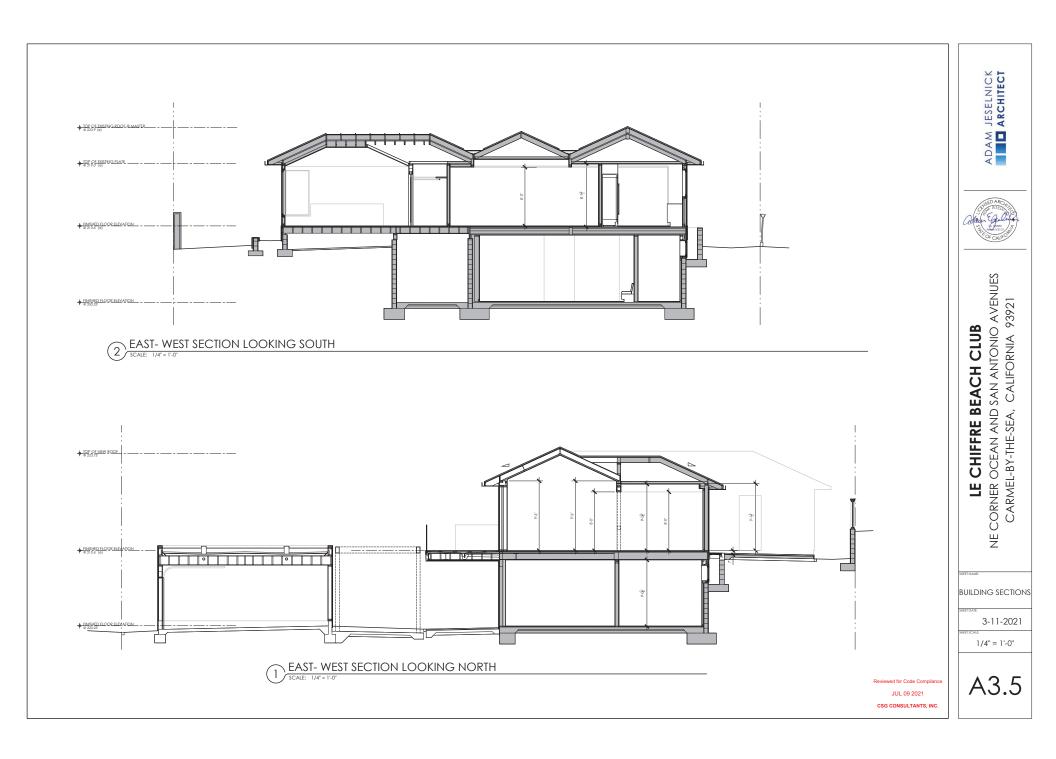
SCALE: 3/16" = 1' - 0'

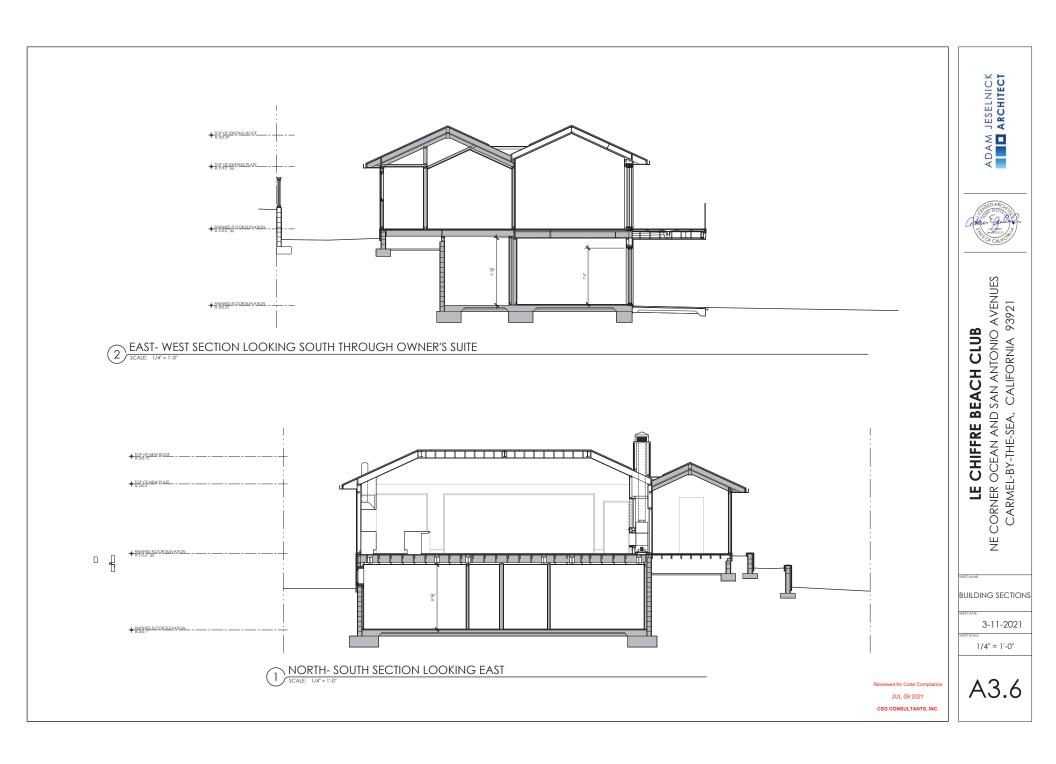


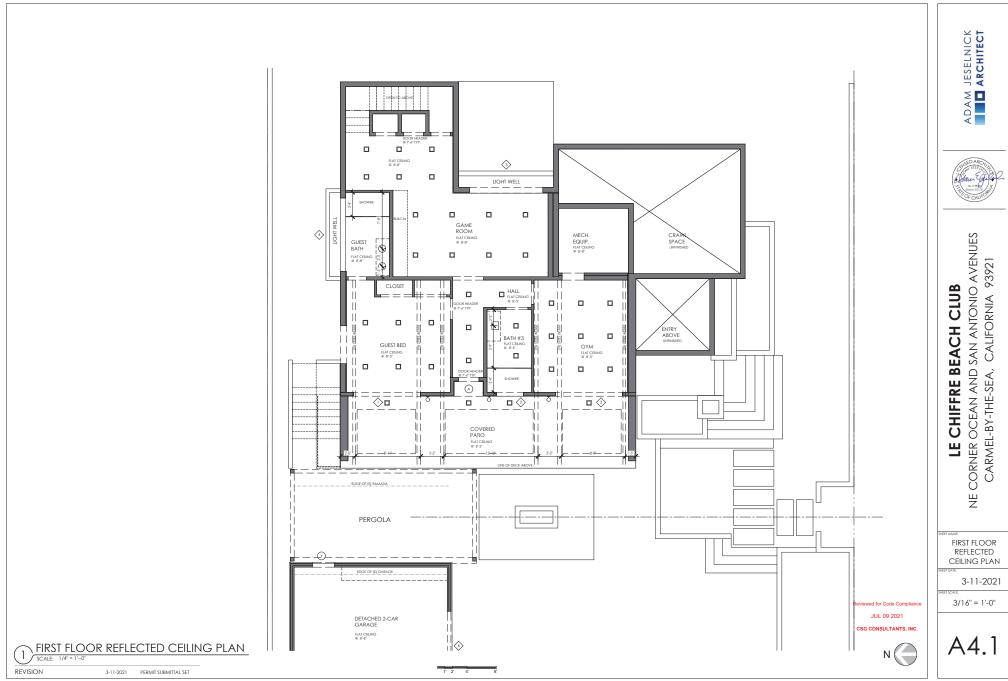












ADAM JESELNICK ¢. TERRACE LAUNDRY FLAT CELING @ 8-4" \diamond
(15) 10 TUB SHOWER **18** BATH #1 (19) WC OWDER FLAT CELLN FLAT CELING @ 8'-4" HEADER HEIGHT 7-6" COAT CLOSE 12 SLOPE W.I.C. ----DINING TRAY CEILIN HEIGHT = 91-HEIGHT @ RIDGE = 9-1 NE CORNER OCEAN AND SAN ANTONIO AVENUES CARMEL-BY-THE-SEA, CALIFORNIA 93921 ğ PANTRY 4:12 SLOPE OWNER'S SUITE RLAT CELUNG @ 8-4" AULTED CELING LAT CEILIN 8 8'-4'' L HEADER HEIGHT $\langle \! \ \ \rangle$ KITCHEN VAULTED CEI HEIGHT @ WA LE CHIFFRE BEACH CLUB FOYER FLAT CELINI @ 8'-11" Ш ||@ COVERED L S S S VAULTED CELING HEIGHT @ RIDGE = 12-0* ₩ COVERED ENTRY VAULTED CELING HEIGHT @ WALL = 8-11 LIVING VAULTED CELING HEIGHT @ WALL = 9-15 ŧ 4:12 SLOPE STEPS DO 209.8 STAIRS ů. L 10 $\langle 1 \rangle$ DECK ELEV: 205.1 SECOND FLOOR REFLECTED CEILING PLAN 3-11-2021 d for Code Compliance 3/16" = 1'-0" JUL 09 2021 SG CONSULTANTS, INC. GREEN ROOF OVER DETACHED 2-CAR GARAGE A4.2 N REVISION 1' 2' 3-11-2021 PERMIT SUBMITTAL SET

			Sash Dimensions	
#	Level	Top of Sash	Door Width	Door Height
		Lower Level &	Garage	
А	Lower	96"	2'-9 1/2"	8'-0"
Y	Lower	96"	3'-0"	8'-0''
z	Lower	96"	16'-6"	8'-0''
		Upper Le	vel	
В	Upper	92"	3'-4"	7'-8"
с	Upper	84"	3'-1 1/2"	7'-0"

Window	Schec	lu	e
--------	-------	----	---

			Sash Dimensions	
#	Level	Top of Sash	Window Width	Window Height
		Lower Lev	vel	
1	Lower	96"	9'-1"	8'-0"
2	Lower	96"	3'-8"	3'-6"
3	Lower	96"	9'-1"	8'-0''
4	Lower	98" +/- (e)	5'-2"	2'-0"
5	Lower	98" +/- (e)	10'-0"	2'-0"
6	Garage	96"	10'-0"	2'-0"
		Upper Lev	vel	
10	Upper	106"	8'-0"	8'-10"
11	Upper	106"	13'-0"	8'-10"
12	Upper	106"	8'-0"	8'-10"
13	Upper	84"	7'-1"	3'-2"
14	Upper	84"	4'-0''	3'-2"
15	Upper	84"	2'-11 1/2"	3'-2"
16	Upper	84"	2'-0"	3'-6"
17	Upper	84"	2'-0"	3'-6"
18	Upper	84"	9'-0"	7'-0"
19	Upper	84"	2'-0"	2'-6"
20	Upper	84"	4'-0"	2'-6"
21	Upper	84"	2'-6"	5'-5 1/2"
22	Upper	84"	3'-2"	5'-5 1/2"
23	Upper	84"	3'-2"	5'-5 1/2"
24	Upper	84"	3'-2"	5'-5 1/2"
25	Upper	84"	4'-6"	5'-5 1/2"

LE CHIFFRE BEACH CLUB NE CORNER OCEAN AND SAN ANTONIO AVENUES CARMEL-BY-THE-SEA, CALIFORNIA 93921

DOOR AND WINDOW SCHEDULES

5-17-2021

ADAM JESELNICK

A5.1

Reviewed for Code Compliance JUL 09 2021 CSG CONSULTANTS, INC.

E:\01_Current_Data_file\2016-Jobs\AdamJ\015-Heiliger update\Drawings\015-Heiliger-sheetset_CDs.dwg, 5/25/2021 9:10:42 AM, AutoCAD PDF (General Documentation).pc3



PERGOLA STRUXURE

LOUIS POULSEN TOLDBOD 6.1 WALL

WAC LIGNTING

EXTERIOR WALL LIGHT

1

WL-LED101 STEP LIGHT

EXTERIOR WALL SCONCE



STANDING SEAM METAL ROOFING MANUFACTURER: CUSTOM-BUILT METALS COLOR: MIDNIGHT BRONZE



JADA STEEL WINDOWS , BRONZE





WOOD HORIZONTAL SIDING EXTERIOR WALL SURFACES



MOLEANOS FINO LIMESTONE VENEER EXTERIOR WALL SURFACES



FRAMELESS GLASS RAILING



PAVING STONES PATIOS, WALKWAYS



SAND-BLASTED GLASS EXTERIOR WINDOWS AT MASTER BATHROOM



Reviewed for Code Compliance JUL 09 2021 CSG CONSULTANTS, INC.

FIRE PIT



ШZ

FINISH SPECIFICATIONS

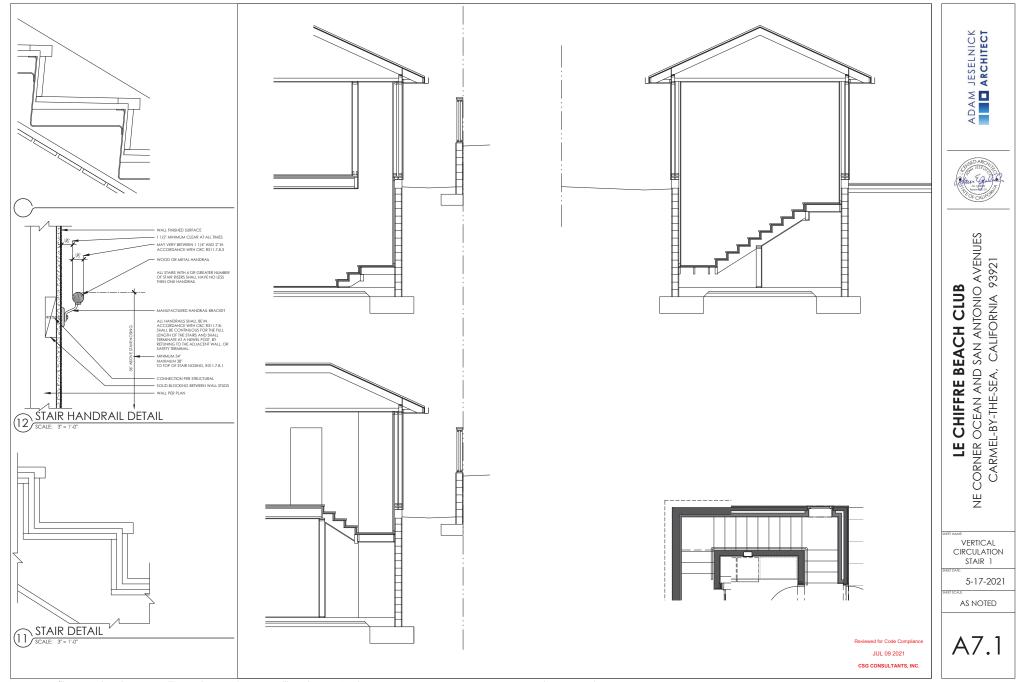
3-11-2021

NTS

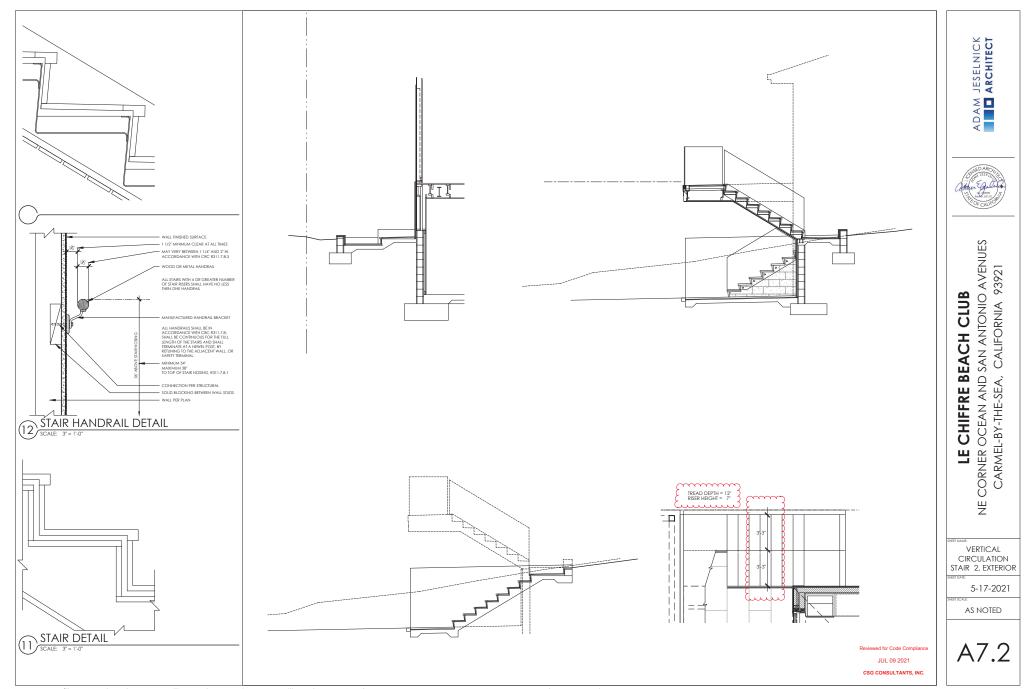
ADAM JESELNICK

LE CHIFFRE BEACH CLUB CORNER OCEAN AND SAN ANTONIO AVENUES CARMEL-BY-THE-SEA, CALIFORNIA 93921

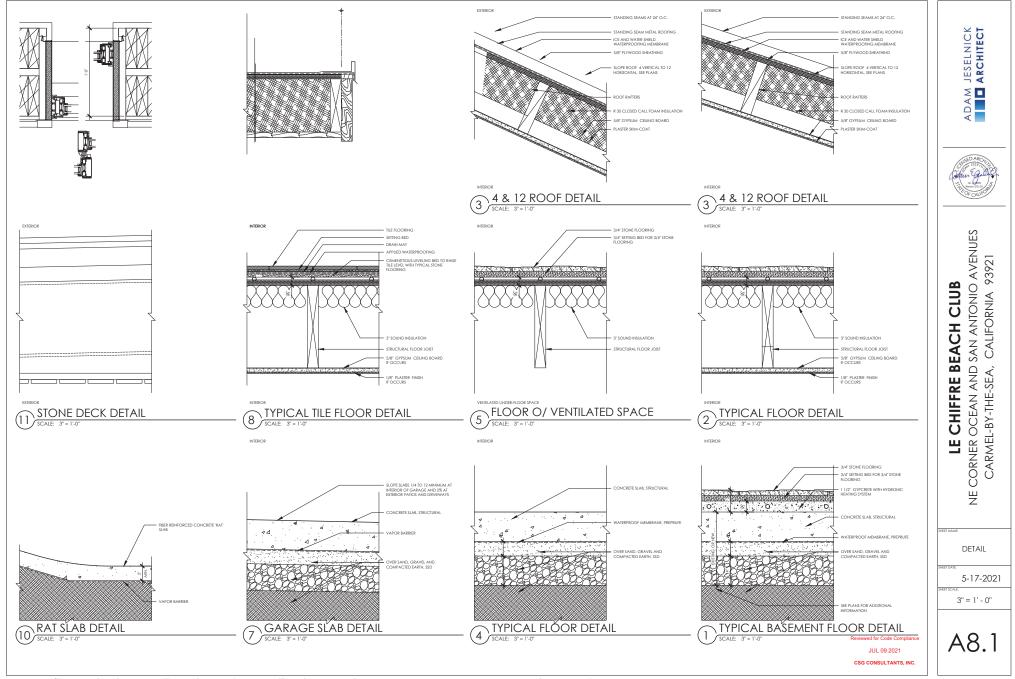
COLOR AND MATERIAL PALETTE



E:\01_Current_Data_file\2016-Jobs\AdamJ\015-Heiliger update\Drawings\015-Heiliger-sheetset_CDs.dwg, 5/25/2021 9:10:48 AM, AutoCAD PDF (General Documentation).pc3



E:\01_Current_Data_file\2016-Jobs\AdamJ\015-Heiliger update\Drawings\015-Heiliger-sheetset_CDs.dwg, 5/25/2021 9:10:55 AM, AutoCAD PDF (General Documentation).pc3



E:\01_Current_Data_file\2016-Jobs\AdamJ\015-Heiliger update\Drawings\015-Heiliger-sheetset_CDs.dwg, 5/25/2021 9:11:01 AM, AutoCAD PDF (General Documentation).pc3

ABBREVIATIONS	SPECIAL INSPECTIONS AND TESTING	DESIGN CRITERIA	SHEET LIST	PLAN MATERIAL LEGEND	JOB #: 20101
AB MOHOR BOLT JT JOINT AP ADVERSIVE JOINT JOINT AP ADVERSIVE JOINT JOINT AP ADVEST JOINT JOINT AP ADVEST JOINT JOINT ADV ADVEST JOINT JOINT ADV ALTERNATE LIL LAMINATED STRADULUMER ADV ALTERNATE LIL LAMINATED STRADULUMER ADV ALTERNATE LIL LIL LIL ADVE LIL LIL LIL LIL LIL ADVE MARK MARMINA LIL LIL <td>SPECIAL INSPECTION AND TESTIA. INSTE A DUAL FIELD SPECIAL INSPECTOR BALL BE RETAINED TO PROVIDE SPECIAL INSPECTOR DEPENDENCIES AND ADDRESS SPAIL NOT FETAL ADDRESS INSPECIAL DESERVICES. INSTE A DUAL FIELD SPECIAL INSPECTOR BALL BE CONTRACTORS AND ADDRESS SPECIAL INSPECTOR</td> <td>DESIGN CRITERIA LOGE AND STANDARDS Designs is based on the California Billionia Code, 2019 EDITION. CONSTRUCTION AND AND CALIFORMS OF THE CODE, Differential Endocation. Designs is based on the Code and the Code of the Code of the Mall Code Code of the Code of the Code of the Code of the Mall Code Code of the Code of the Code of the Code of the Mall Code Code of the Code of the Code of the Code of the Mall Code Code of the Code of the Code of the Code of the Mall Code Code of the Code of the Code of the Code of the Code of the Mall Code Code of the Code</td> <td>SHEET LIST 80.0 TITLE SHEET 82.1 GENORAL NOTES 82.2 MAN ELOOR FRANKE PAN 82.3 GOND FLORG FOLMATION PLAN 82.4 GOND FLORG FOLMATION PLAN 82.5 CONSETTE DETALS 97.7 STEEL DETALS 97.3 STEEL DETALS 98.4 MOOD DETALS 98.4 WOOD DETALS</td> <td>PLAN MATERIAL LEGEND Image: Structure Marked Endow CONCRETE FOOTING CONCRETE VALL ZZZZZZ (E) STRUCTURAL WALL ZZZZZZZ (E) MASORY VALL WOOD STRUCTURAL WALL ABOVE STRUCTURAL WALL BELOW Image: Structure Marked Below Image: Structure Mark</td> <td>NE CORNER OCEAN AND SAN ANTONIO AVENUES CARMEL-BY-THE-SEA, CALIFORNIA 93921</td>	SPECIAL INSPECTION AND TESTIA. INSTE A DUAL FIELD SPECIAL INSPECTOR BALL BE RETAINED TO PROVIDE SPECIAL INSPECTOR DEPENDENCIES AND ADDRESS SPAIL NOT FETAL ADDRESS INSPECIAL DESERVICES. INSTE A DUAL FIELD SPECIAL INSPECTOR BALL BE CONTRACTORS AND ADDRESS SPECIAL INSPECTOR	DESIGN CRITERIA LOGE AND STANDARDS Designs is based on the California Billionia Code, 2019 EDITION. CONSTRUCTION AND AND CALIFORMS OF THE CODE, Differential Endocation. Designs is based on the Code and the Code of the Code of the Mall Code Code of the Code of the Code of the Code of the Mall Code Code of the Code of the Code of the Code of the Mall Code Code of the Code of the Code of the Code of the Mall Code Code of the Code of the Code of the Code of the Mall Code Code of the Code of the Code of the Code of the Code of the Mall Code Code of the Code	SHEET LIST 80.0 TITLE SHEET 82.1 GENORAL NOTES 82.2 MAN ELOOR FRANKE PAN 82.3 GOND FLORG FOLMATION PLAN 82.4 GOND FLORG FOLMATION PLAN 82.5 CONSETTE DETALS 97.7 STEEL DETALS 97.3 STEEL DETALS 98.4 MOOD DETALS 98.4 WOOD DETALS	PLAN MATERIAL LEGEND Image: Structure Marked Endow CONCRETE FOOTING CONCRETE VALL ZZZZZZ (E) STRUCTURAL WALL ZZZZZZZ (E) MASORY VALL WOOD STRUCTURAL WALL ABOVE STRUCTURAL WALL BELOW Image: Structure Marked Below Image: Structure Mark	NE CORNER OCEAN AND SAN ANTONIO AVENUES CARMEL-BY-THE-SEA, CALIFORNIA 93921
					TITLE SHEET PERMIT SET 03/C PIELD REVISION 1 05/C SCALE: AS SHOV
				Reviewed for Code Compliance JUL 09 2021 CSG CONSULTANTS, INC.	S0.0

SCOPE

THE SCOPE OF WORK INCLUDES RENOVATION OF A TWO-STORY SINGLE FAMILY HOME AND A NEW GARAGE.

COORDINATION

DETLES SHOW ARE TYPE/A, SMULR TETLES APPL TO SMULA CONTINUE, OLETTING OF DETUNCTION OF A VALUE ACTIVITATIONE DESTIDIOS OF DETUNCTION OF A VALUE ACTIVITATION AL MARER RAVAL DE BROUGHT TO THE ANOHTECT FOR RESOLUTION DEFORE PROCEEDION WITH VORK. CONTRACTOR SMULL COMMARE STRUCTURE, DAWING SMITH ANGOHTECTURAL, DE CONTRACTOR SMULL COMMARE STRUCTURE, DAWING SMITH ANGOHTECTURAL, DE ADMINISTOR AU LOCETURE, DEGREGARMOLTE AND CONFLICTS SHALL BE REPORTED TO THE ADMINISTOR AULSTRUCTURE DEROCEDIDA VIEN WORK.

CONTRACTOR MEANS AND METHODS

GPDS ENGINEERS SHALL NOT SUPERVISE, DIRECT OR HAVE ANY CONTROL OVER THE CONTRACTORS WORK NOR HAVE, ANY RESPONSIBILITY FOR THE CONSTRUCTION MEMORY NOR FOR THE CONSTRUCTION SUPERVISE, DIRECTORY DIRECTORY WOR FOR THE CONSTRUCTORS SHORT PRECAUTIONS OF PROGRAMS IN CONSTRUCTOR WITH THE WORK, THESE RIGHTS AND RESPONSIBILITES ARE SOLELY THOSE OF THE CONTRACTOR.

UNLESS OTHERWISE APPROVED BY THE ARCHITECT, THE CONTRACTOR SHALL INSTALL DOORS, WINDOWS, PARTITIONS AND FINISHES AFTER THE MAJORITY OF THE DEAD LOADS MAYE BEEN INSTALLED LES. STRUCTURAL FRAMING, SOCIANG, HEAVY FINISHES, ETC.) IN ORDER TO LIMIT DAVAGE TO FINISHES, WINDOWS, DOORS AND PARTITIONS DUE TO DEAD LOAD DEFLECTIONS.

EXISTING CONDITIONS

THE CONTRACTOR SHALL USERY ALL DIRESISTORS AND RETERINE ALL EXEMPTING CONTRACTOR SHALL USERY ALL DIRESISTORS AND RETERINE ALL EXEMPTING EXEMPTING THE WAY FEFORT IS NOW: THE CONTRACTOR USER (CONTRACTOR EXEMPTING CONTRACTOR OF ANY DESCREDWARDES, AURISUITIES OF ERGRES AND THE BESCREFFY OF EXEMPTION CONTRACTORS NOT NOTED ON PRAVINGS, INCLUDIES THOSE WHICH MAY BE HAZARDOUST OF HUMAN HEALTH. HAZARDS MAY INCLUDE BUT ARE NOT UNITED TO TOOL CAN TERMES AND DESCREDWARDS. MAY LIDRE REP.

CUTTING AND PATCHING

DO NOT CUT EXISTING OR NEW STRUCTURAL ELEMENTS EXCEPT AS SHOWN ON THE DRAVINGS UNLESS APPROVED BY THE ENGINEER. IN GENERAL USE HAND OR SMALL POWER TOOLS DESIGNED FOR SANNIKA AND GRINDING, NOT HAMMEINEN AND CHIPPING. CUT HOLES AND SLOTS NEATLY TO MINIMUM SIZE REQUIRED AND WITH MINIMUM DISTURBANCE TO ADJACENT SUPACES.

RESTORE WORK WHICH HAS BEEN CUT, REMOVED OR DAMAGED BY ADJACENT WORK. REFINISH ENTIRE SURFACES AS NECESSARY TO PROVIDE AN EVEN FINISH TO MATCH ADJACENT FINISHES.

CONSTRUCTION PHASE SITE VISITS

GERS ENGINEERS MILL PROVIDE CONTRUCTION STE MOTS AND OBSERVE THE PROCESS AND QUALITY OF ETHICLTURAL PORTIONS OF THE WORK. THESE VISTS AND OBSERVATIONS ARE FONTIENDED TO A BAC EXPANSIVES THE CARECK OR DETAILED INSPECTION OF THE CONTRACTORS WORK, BUT RATHER TO ALLOW GRDS ENGINEERS TO ECOME GENERALY VANUAL WITH THE WORK IN PROCESS AND TO DETERMINE, IN GENERAL, IT THE WORK IS PROCEEDING IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

THE GENERAL CONTRACTOR SHALL TAKE THE APPROPRIATE ACTION TO CORRECT PORTIONS OF THE WORK INDICATED AS BEING NOT IN COMPLIANCE WITH THE CONTRACT DOCUMENTS.

SPECIAL INSPECTION AND TESTING

IN ACCORDANCE WITH CBC 2019 CHAPTER 17 THE OWNER OR OWNER'S AGENT SHALL ENGAGE A SPECIAL INSPECTOR TO PROVIDE SPECIAL INSPECTIONS, UNLESS OTHER ENAGE A SPECIAL INSPECTOR TO PROVIDE SPECIAL INSPECTORS, ULLESS OTHERWISE SPECIFICALLY INSPECTOR TO PROVIDE SPECIAL INSPECTION. COMPARED TO A DESCRIPTION OF A DESCRIPTION OF THE INSPECTOR. COMPARED TO A DESCRIPTION OF A DESCRIPTION OF THE INSPECTOR. DEPARTMENT HAVING JURGEDTORINO (OR INFORMATION OF THE INVERTIGATION ADDRESS AT LEAST 24 HOURS IN ADVANCE OF TIME WHEN WORK THAT RESULTS ADDRESS AT LEAST 24 HOURS IN ADVANCE OF TIME WHEN WORK THAT RESULTS TESTING OR INSPECTING WILL BE PERFORMED.

STRUCTURAL OBSERVATION

GPDS ENGINEERS WILL PROVIDE STRUCTURAL OBSERVATION IN ACCORDANCE WITH GBC 2019; CHAPTER 17, SECTION 1704, 84 INDICATED ON THE DRAWINGS, CONTRACTOR SHALL REVIEW THE STRUCTURAL OBSERVATION REQUIREMENTS SHOWN ON THE CONTRACT DOCUMENTS AND NOTIFY GPDS ENQUIREERS AT LEAST 48 HOURS IN ADVANCE OF TIME WHEN WORT THAT REQUIRES STRUCTURAL OBSERVATION WILL BE COMPLETED.

SUBMITTALS

THE FOLLOWING SHALL BE SUBMITTED TO GFDS ENGINEERS, WITH COPY TO THE ARCHITECT, FOR REVIEW.

CONTRACTOR PROPOSED CHANGES IN PRODUCTS, MATERIALS, EQUIPMENT, AND METHODS OF CONSTRUCTION FROM THOSE SPECIFIED ON THE STRUCTURAL DRAWINGS.

STRUCTURAL STEEL ERECTION AND DETAIL DRAWINGS

FOUNDATIONS

FOUNDATION DESIGN IS BASED ON REPORT BY SOLL SURVEYS GROUP INC., TITLED GEOTECHNICAL INVESTIGATION FOR THE PROPOSED ADDITIONS TO THE EXISTING RESIDENCE AT THE NE CORNER OF SAN ANTONA VARINUE & OCEAN STREET AND DAT FEBRUARY 2, 2016. FOUNDATION DESIGN CRITERIA IS SPECIFIED ON THE TITLE SHEET. ATED

THE BUILDING DEPARTMENT WILL REQUIRE THE GEOTECHNICAL ENGINEER TO REVIEW THE STRUCTURAL DRAWINGS AND PROVIDE A LETTER STATING THAT THE DRAWINGS COMFORM TO THE RECOMPRISHITIONS IN THEIR REPORT PRIOR TO THE ISSUING OF A BUILDING PERMIT. PROVIDE GFDS WITH A COPY OF THE LETTER.

CONTRACTOR SHALL REVIEW AND FOLLOW THE RECOMMENDATIONS IN THE REPORT AND SHALL COORDINATE WITH THE GEOTECHNICAL ENGINEER WITH REGARD TO THE REQUIRED INSPECTION TESTING OF FOUNDATION EXCAVATION.

EXCEPT WHERE OTHERWISE SHOWN, EXCAVATIONS SHALL BE MADE AS NEAR AS POSBILE TO THE NEAT LINES REQUIRED BY THE SITE AND SHAPE OF THE STRUCTURE, ALL FOUNDATIONS SHALL BE POWED WITH OUT THE USE OF SUBE-OFMORY WHEREVER POSBILE. IF THE TRENCHES CAN NOT FULLY STAND, FULLY FORM SIDES TO DIMENSIONS SHOWN.

DO NOT ALLOW WATER TO STAND IN TRENCHES. IF BOTTOMS OF TRENCHES BECOMES SOFTENED DUE TO RAIN OR OTHER WATER BEFORE CONCRETE IS CAST. EXCAVATE SOFTENED MATERIAL AND REPLACE WITH PROPERLY COMPACTED BACKFILL OR CONCRETE.

WATERPROOFING

WHERE STRUCTURAL DETAILS INDICATE ANY WATERPROOPING OR VENTILATION ITEMS, THEY ARE SCHEMATIC ONLY AND FOR THE PURPOSE OF ASSISTING IN SHOWING A COMPLETE STRUCTURAL DETAIL. DEFER ONLY TO ACHITECTURAL PAUSA AND SPECIFICATIONS FOR THE COMPLETE DESCRIPTION OF ALL REQUIRED WATERPROOFING AND VENTLATION STSTEMS.

CONCRETE

CONCRETE ELLI EOR METAL DECK SUALL DE LIGHTINE/OUT 110 DCE CONCRETE WITH LUNCHCE LE FILL FOR METAL DECK SHALL BE LIGHTWEIGHT 110 FOF CONCRETE WITH REINFORCING. ON THERMISE, CONCRETE SHALL ED KOMAM. WEIGHT AND SHALL BE REINFORCED. CONCRETE WORK SHALL CONCRETE SHALL BENNTS OF ACI 301, SPECIFICATIONS FOR STRUCTURAL CONCRETE. CONCRETE SHALL SHALT TAN A NINUMU ULTMATE COMPRESSIVE STRENGTH (FO) OF 3000 PSIAT 28 DAYS UNLESS NOTED OTHERWISE. REINFORCING STEEL

REINFORCING STEEL SHALL CONFORM TO ASTM A-615. GRADE 60. REINFORCING BARS NOTED OR SHOWN AS CONTINUOUS SHALL RUN IN AS LONG LENGTHS AS PRACTICAL. IN SLAB AND BEAMS LOCATE TOP BAR SPLICES MIDWAY BETWEEN AS PRACTICAL. IN SOUS AND BEAMS LOCATE TOP BRESPLICES MIDWAYS BETWEEN SUPPORTS, BOTTOM BAR SPLICES AT SUPPORTS. SPLICE LOCATIONS SHALL BE SUBMITTED FOR REVIEW. THE FOLLOWING SPLICE LENGTHS APPLY UNLESS OTHERWISE DETAILED OR NOTED IN THE STRUCTURAL DRAWINGS.

WELDING OF REINFORCEMENT BARS SHALL COMPLY WITH AWS D1.4 STRUCTURAL WELDING CODE-REINFORCING STEEL. USE GRADE A706 UNLESS SHOWN OTHERWI

UNLESS OTHERWISE NOTED, THE FOLLOWING MINIMUM CONCRETE COVER SHALL BE

CONCRETE CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH: 3* CONCRETE EXPOSED TO EARTH OR WEATHER: 2* CONCRETE NOT EXPOSED TO WEATHER OR IN CONTACT WITH GROUND SLABS AND WALLS: BEAMS AND COLUMNS: 1" 1%"

STRUCTURAL AND MISCELLANEOUS STEEL

CONFORM TO THE FOLLOWING: WIDE FLANGE SHAPES: ASTM A982. CONNECTION PLATE FOR WIDE FLANGE MEMBERS: ASTM A38. MISCELLANEOUS CHANNELS, AND PLATE: ASTM A38. RECTANGULAR AND ROUND HSS SECTIONS: ASTM A500, GRADE B.

STEEL NOT RECEIVING FIREPROOFING OR STEEL EXPOSED TO WEATHER SHALL HAVE ONE COAT OF SHOP PRIMER. STEEL EXPOSED TO WEATHER SHALL BE HOT DIPPED GALVANIZED NO THER APPROVED PROFECTURE COATING.

DETAILS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE LATEST AISC STANDARD SPECIFICATIONS.

WELDING SHALL SHALL CONFORM TO AWS D1.1 STRUCTURAL WELDING CODE USING F70XX FLECTRODES

HIGH STRENGTH BOLTS (H.S.B.) SHALL CONFORM TO ASTM A325 TYPE N. COMMON BOLTS SHALL CONFORM TO ASTM A307 USE UNLESS OTHERWISE SPECIFIED. ANCHOR RODS SHALL CONFORM TO ASTM F1554 GR. THREADED ROD SHALL CONFORM TO ASTM A36.

BEAM WEB OPENINGS MUIST BE APPROVED BY GFDS ENGINEERS PRIOR TO CUTTING, OPENINGS SHALL BE THERMALLY CUT, USING A MACHINE GUIDE OR TEMPLATE, UNLESS APPROVED OTHERMISE, IN ACCORDANCE WITH AND ST 1: SECTION S. EDGES OF OPENINGS SHALL HAVE A SURFACE ROUGHNESS VALUE NOT EXCEEDING 1000 AS DEFINED IN ASME PROVED THE ADDRESS VALUE NOT EXCEEDING 1000 AS DEFINED IN ASME SHALL B46 1

STEEL DECK

FLOOR DECK IN COMPOSITE SLABS SHALL BE VERCO, GALVANDED B FORMLOK, 18 GAUGE, WITH FACTORY PURCHED VENT TABS, OR AN APPROVED EQUAL, ATTACH FLOOR DECK TO EDVI PERPENDIQUAR AND APARLEL SUPPORTS WITH VIE ZUANETER OK SAMY PUDDLE GOTO PERPENDIQUAR AND APARLEL SUPPORTS WITH VIE ZUANETER OK SAMY PUDDLE OREATER, SIDE LAYS SHALL BE BUTTON PURCHED WITH SVIP DIABETER, WHICH SYME AV ON CENTER, USDE LAYS SHALL BE BUTTON PURCHED WITH SVIP DIABETER, UTTON AT 24* ON CENTER, USDE LAYS SHALL BE BUTTON PURCHED WITH SVIP DIABETER, UTTON AT 24* ON CENTER, USDE LAYS SHALL BE BUTTON PURCHED WITH SVIP DIABETER, UTTON AT 24* ON CENTER, USDE LAYS SHALL BUTTON PURCHED WITH SVIP DIABETER, UTTON AT 24* ON CENTER, USDE LAYS SHALL BUTTON PURCHED WITH SVIP DIABETER, UTTON AT 24* ON CENTER, USDE LAYS SHALL BUTTON PURCHED WITH SVIP DIABETER. SEE CONCRETE FOR FILL.

ROUGH CARPENTRY

TOTAL SLAB AND DECK DEPTH SHALL BE 4-1/2*, REINFORCING SHALL BE #3@16* EACH WAY WITH 1* CLEAR FROM THE TOP, U.O.N.

MOISTURE CONTENT AND PROTECTION

MOISTURE CONTENT SHALL MEET THE FOLLOWING LIMITS: "DRY" FOR VERTICAL FRAMING (19% MAXIMUM). FINISHES SHALL NOT BE INSTALLED OVER DIMENSIONAL LUMBER FRAMING UNTL MOISTURE CONTENT IS BELOW 12% MAXIMUM.

MATERIALS SHALL BE PROPERLY STORED ON THE JOB SITE. MATERIALS SHALL BE STORED OFF OF THE GROUND, AND PROTECTED FROM EXPOSURE TO THE ELEMENTS.

FRAMING MEMBERS EXPOSED TO WEATHER OR IN CONTACT WITH CONCRETE, BUT NOT IN CONTACT WITH THE GROUND SHALL BE PRESSURE TREATED IN ACCORDANCE WITH AWPS STANDARDU IS 11, USE CATEGORY UCSS. FIELD CUTS AND HOLES SHALL BE FIELD TREATED IN ACCORDANCE WITH THE AWPA M≺I.

DIMENSION LUMBER AND TIMBER

DIMENSIONAL LUMBER AND TIMBER SHALL CONFORM TO THE FOLLOWING WCLIB MINIMUM GRADES AND SHALL BE DOUGLAS FIR, UNLESS OTHERWISE NOTED. JOISTS (2"-4", 5" AND WIDER) NO 2 HEADERS (4" THICK, 5" AND WIDER) BEAMS (6" THICK, 10" AND WIDER) NO. 1 POSTS (6" THICK, 6"-8" WIDE) NO 1 POSTS (4X4) NO 1 MUD SILLS (3X) NO. 1. PRESSURE TREATED (DO NOT USE HEM-FIR) STUDS (2X, 3X) STUD

NO SUBSTITUTIONS SHALL BE MADE WITHOUT PRIOR APPROVAL.

PARALLAM PSL LUMBER (PSL)

PARALLAM PSL HEADERS AND BEAMS SHALL BE 2.2E, CONFORMING TO ICC-ES RESEARCH REPORT NO, ESR-1387, OR EQUAL AND SHALL HAVE DESIGN VALUES EQUAL TO OR EXCEEDING THE FOLLOWING:

BENDING (Fb):	2900 PS
COMPRESSION PARALLEL TO THE GRAIN (Fc PARALLEL):	2900 PSI
MODULUS OF ELASTICITY (E):	2,200,000 PS
HORIZONTAL SHEAR:	290 PS

MICROLLAM LVL LUMBER (LVL)

COMPRESSION PARALLEL TO THE GRAIN (Fc PARALLEL):	2510 PSI
MODULUS OF ELASTICITY (E):	2,000,000
HORIZONTAL SHEAR:	285 PS

WITH COMMON WIRE MAILS UNLESS NOTED OTHERWISE. CONTRACTOR SHALL SUBIN FOR APPROVAL DESCRIPTION OF MAIL GAGE. LENGTH, HEAD TYPE AND COATING (IF ANY) FOR EACH MAIL TYPE AND SIZE TO BE USED FOR ANY PROPOSED SUBSTITUTION FOR MAILS SHOWN ON THE STRUCTURAL DRAWINGS, BOLTS AND LAG SCREWS BEARING ON WOOD SHALL HAVE WASHERS.

METAL FRAMING ANCHORS SHALL BE MANUFACTURED BY SIMPSON COMPANY OR EQUAL, JOIST HANGERS SHALL BE "U" SERIES U.N.O. ON DRAWINGS, BOLTS IN COMNECTIONS SHALL BE RETIGHTENED JUST PRIOR TO CLOSING OF THE WALL AND/OR FLOOR.

FASTENERS FOR INTERIOR APPLICATIONS PENETRATING PRESSURE-TREATED LUMBER FASTENERS FOR INTERIOR APPLICATIONS PENETRATING PRESSURE-TREATED LUMBER SHALL BEH OT DUPPED ZIN-COATING GALVANEED WITH A MINIMUM BIS (135 CU 257 COATING OR STANLESS STELL FASTENERS EXPOSED TO WEATHER NCLUDING EXTERIOR APPLICATIONS OF PRESSURE-TREATED LUMBER, SHALL USE STANLESS STEEL FASTENERS, FASTENERS EXPOSED TO WEATHER FOR ARCHTECTURAL FEATURES MAY ALSO BE SLICON BROXED OR COPPER.

SILLS OR PLATES SHALL BE BOLTED TO CONCRETE WITH 5/8" DIAMETER BOLTS WITH 3X3X1/4" WASHERS, EMBEDDED 7" MINIMUM AT 440" MAXIMUM ON CENTER, U O N

FOR ALL SHEATHING REQUIREMENTS SEE PLANS

CONCRETE AND MASONRY ANCHORS

INSTALL IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS. ALTERNATES MAY BE SUBMITTED FOR CONSIDERATION IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS.

UNLESS NOTED OTHERWISE, BOLTS, ANCHOR RODS OR THREADED RODS SHALL BE AS SPECIFIED IN STRUCTURAL STEEL. REINFORCING BARS SHALL BE A-615, GRADE 60.

ADHESIVE ANCHORS (DOWELS) IN CONCRETE

INSTALLATION OF ADRESNE AND-KORS THAT ARE TO BE UNDER SUBTANED TENSION LCARNON IN HORIZONTA. TO VERTICALLY OVERHARD ORIENTATION SHALL BE DONE DY A DERTIFED AD-GENER AND-KONSTINGTALE AND AS GERTIFED TO HORIZON AT AND IN BALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL PHONT OF COMPARIZABILITY DISTALLATION.

PER ACI 318 (SECTION 17.1.2) ADHESIVE ANCHORS SHALL BE INSTALLED IN CONCRETE HAVING A MINAIUM AGE OF 21 DAYS AT TIME OF ANCHOR INSTALLATION. FOR INSTALLATIONS SCONEEN TANA'21 DAYS CONSULT ADHESIVE MANUPACTURER.

IF TEMPERATURE OF BASE MATERIAL AT TIME OF ADHESIVE INSTALLATION IS AT 45 DEGREES (FAHRENHEIT) OR LESS, AN 'ACRYLIC' (OLD WEATHER) ADHESIVE IS REQUI IE.- HILTI HITY 200 SYSTEM CONFORMING TO ICC-ESS REPORT ESS-1870 OR DEWALT AC200+ ACRYLIC ADHESIVE CONFORMING TO ICC-ES REPORT ESS-4027. REQUIRED

HILTI HIT-RE 500 v3 SYSTEM CONFORMING TO ICC-ES REPORT ESR-3814 SIMPSON STRONG-TIE SET-3G ADHESIVE ANCHOR SYSTEM CONFORMIN ESR-4057. ECOMING TO ICC REPORT

ADHESIVE ANCHORS IN SOLID GROUTED MASONRY

HILTI HIT-HY 70 ADHESIVE ANCHOR SYSTEM CONFORMING TO ICC-ES REPORT ESR-2692. SIMPSON STRONG-TE SET-XP ADHESIVE ANCHOR SYSTEM CONFORMING TO IAPMIO LES REPORT EP-263. DEWALT A 2109- GOLD ADHESIVE ANCHOR SYSTEM CONFORMING TO ICC-ES REPORT ESR-2020.

ADHESIVE ANCHORS IN HOLLOW/MULTHWYTHE MASONRY

HILTI HIT-HY 70 ADHESIVE ANCHOR SYSTEM CONFORMING TO ICC-ES REPORT ER-3342. THL IT IT HT 70 ADMESIVE ANCHOR SYSTEM CONFORMING TO ICC-ES REPORT ER-3342 SIMPSON STRONG-TE SET-XP ADMESIVE ANCHOR SYSTEM CONFORMING TO ICC-ES REPORT ESK-1722 WITH SIMPSON OPTI-MESIN SCREEN TUBES. DEWALT AC100+ GOLD ADMESIVE ANCHOR SYSTEM CONFORMING TO ICC-ES REPORT ESR-4105.

SCREW ANCHORS IN CONCRETE OR GROUTED MASONRY

HILTI KH-EZ SCREW ANCHORS CONFORMING TO ICC-ES REPORT ESR-3027 SIMPSON STRONG-TIE TITEN HD SCREW ANCHORS CONFORMING TO ICC-ES REPORT ESR-2713. DEWALT SCREWBOLT+ SCREW ANCHORS CONFORMING TO ICC-ES REPORT ESR-3889 (CONCEPTE) ESR-4442 (14 20 JUSY)

PRESERVATIVE TREATMENT

TOP AND BOTTOM PLATES STUD

BENDING (Fb):	2900 PS
COMPRESSION PARALLEL TO THE GRAIN (Fc PARALLEL):	2900 PSI
MODULUS OF ELASTICITY (E):	2,200,000 PS
HORIZONTAL SHEAR:	290 PS

MICROLLAM LVL HEADERS AND BEAMS SHALL E RESEARCH REPORT NO. ESR-1387, OR EQUAL / TO OR EXCEEDING THE FOLLOWING:	
BENDING (Eb):	2600 PS

OMPRESSION PARALLEL TO THE GRAIN (Fc PARALLEL):	2510 PSI
DDULUS OF ELASTICITY (E):	2,000,000 PSI
DRIZONTAL SHEAR:	285 PS

FASTENERS

FOR SCHEDULE OF MINIMUM NAILING SEE CBC TABLE 2304-10.1. NAILING SHALL BI WITH COMMON WIRE NAILS UNLESS NOTED OTHERWISE. CONTRACTOR SHALL SU IBMD



AVENUES

ONO

SAN

AND

EAN

 \overline{O}

ŏ

CORNER

ш

Z

GENERAL NOTES

SCALE: AS SHOWN

SO.

05/27/2

PERMIT SET FIELD REVISION 1

Reviewed for Code Compliance

JUL 09 2021 CSG CONSULTANTS, INC CARMEL-BY-THE-SEA,

Ω CLUI

AN

C E

0

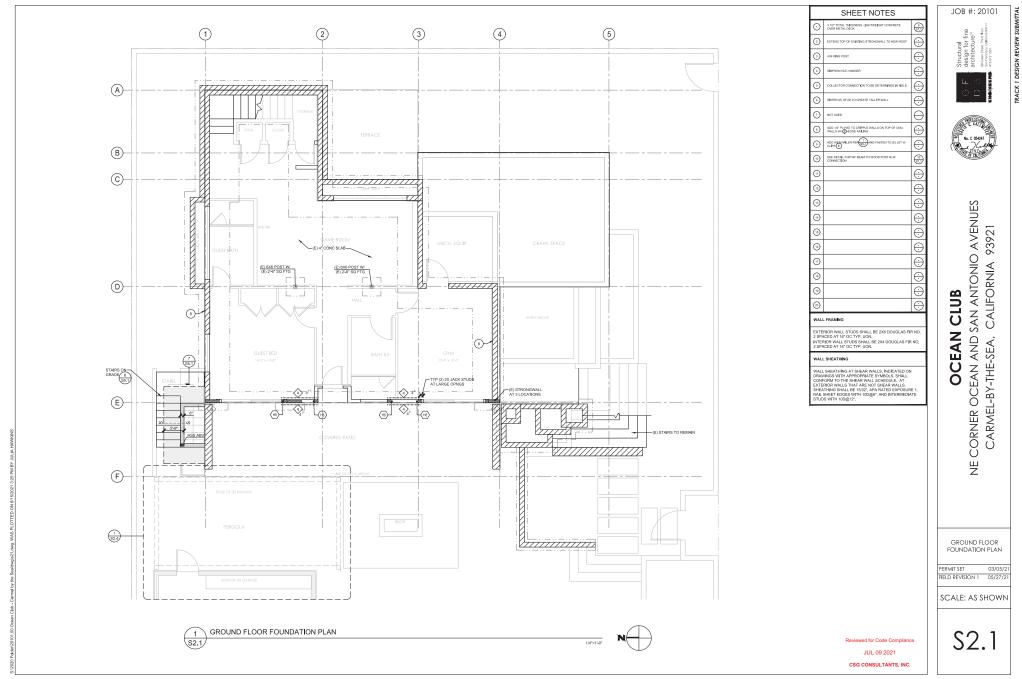
SAN ANTONIO CALIFORNIA

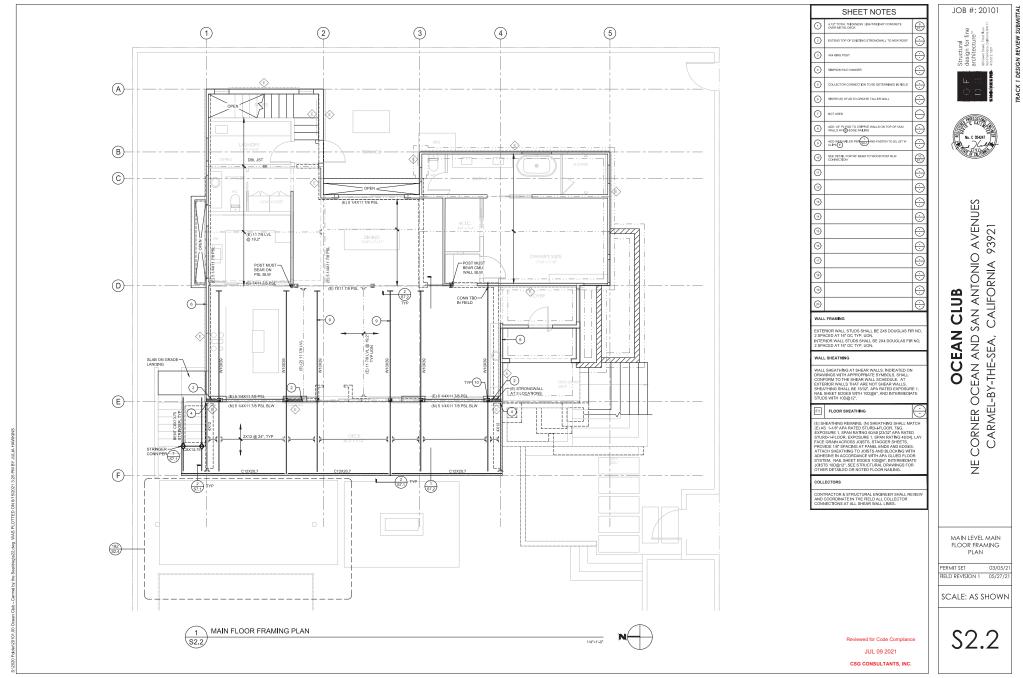
93921

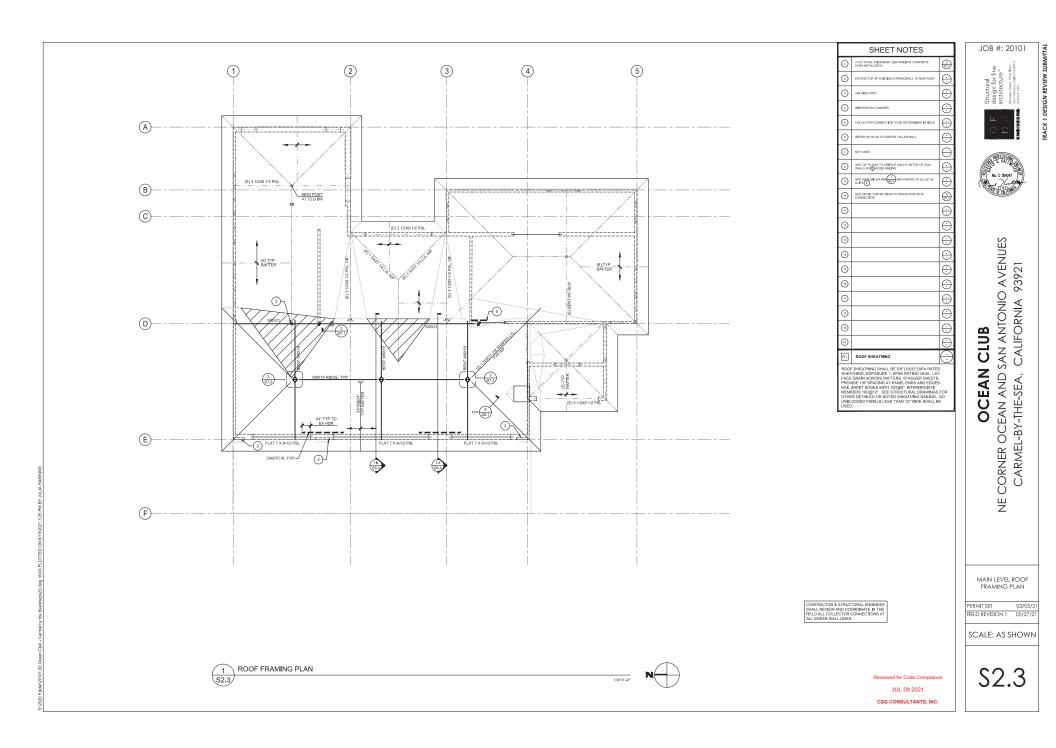
JOB #: 20101

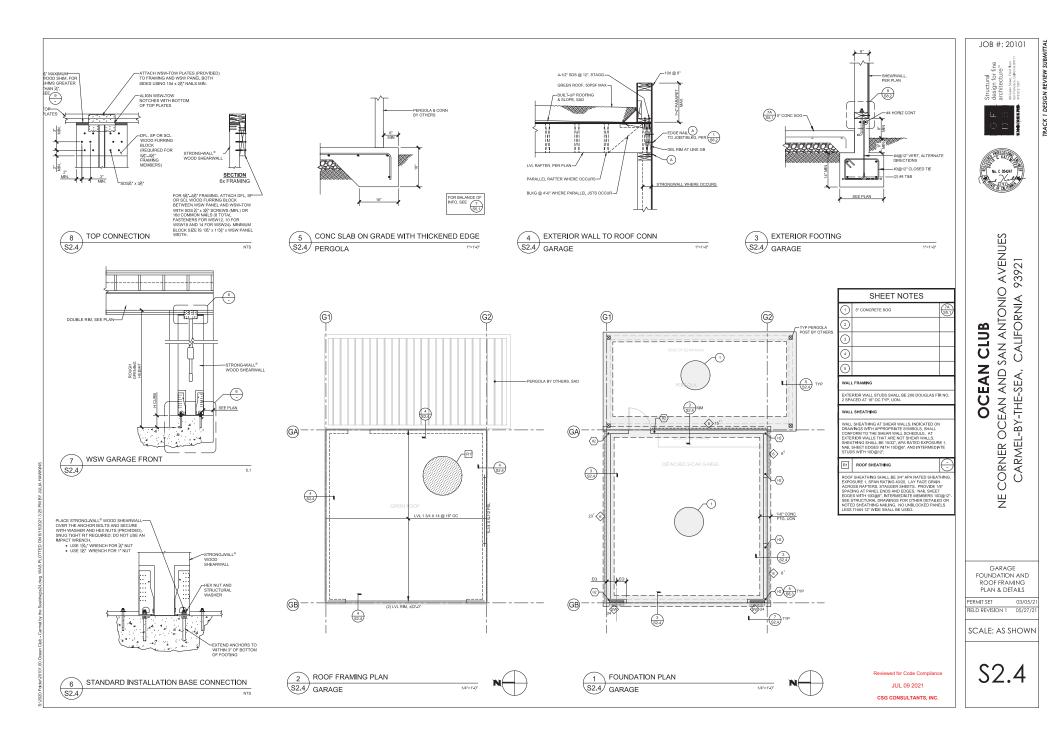
TAL

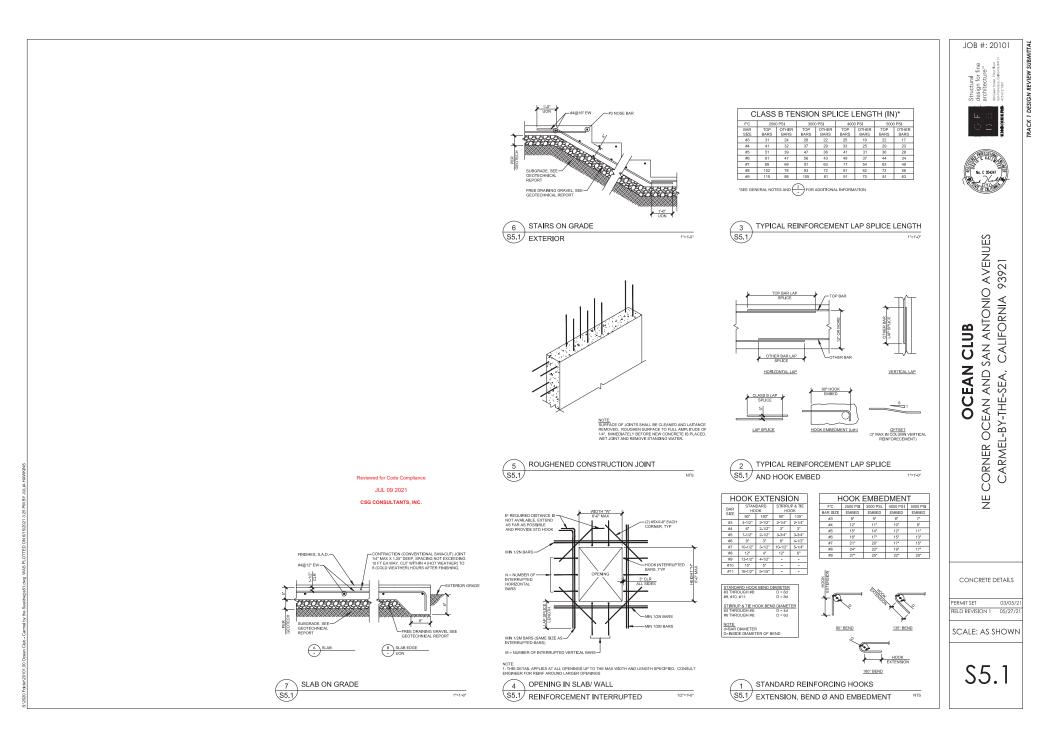
SUBA

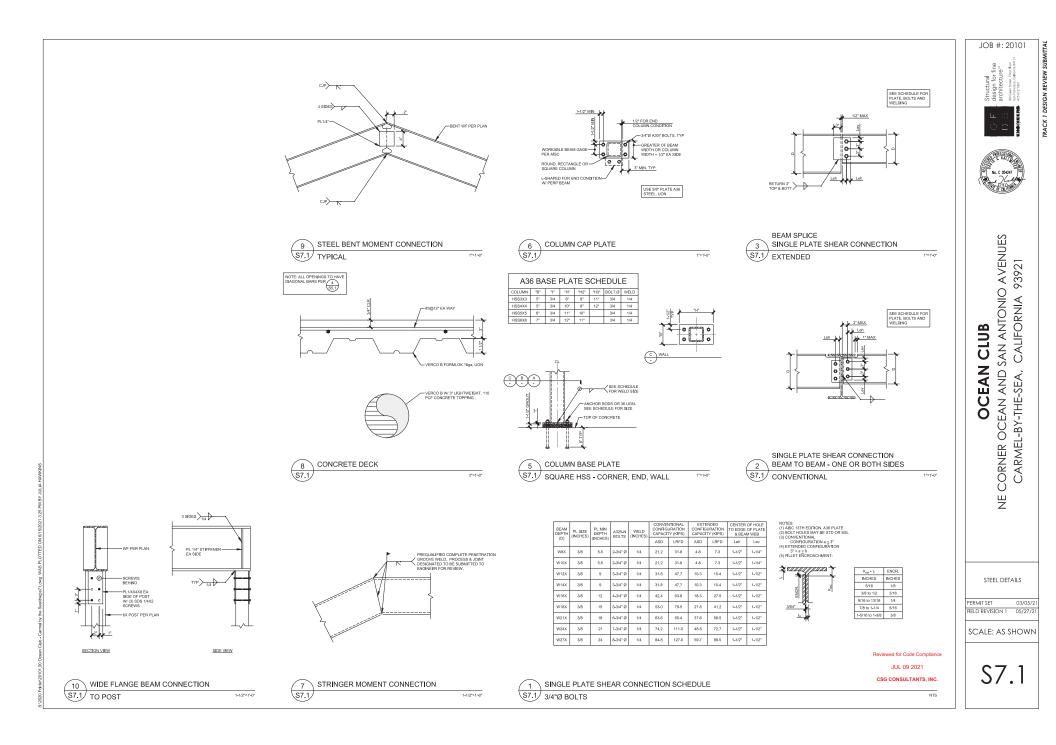


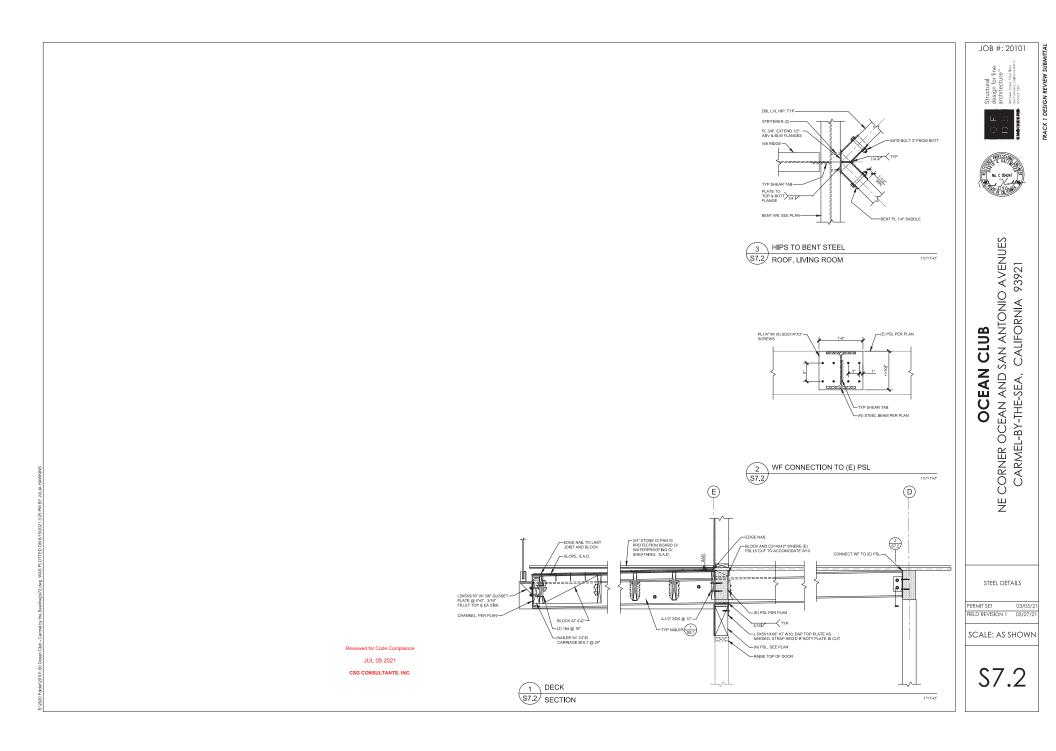


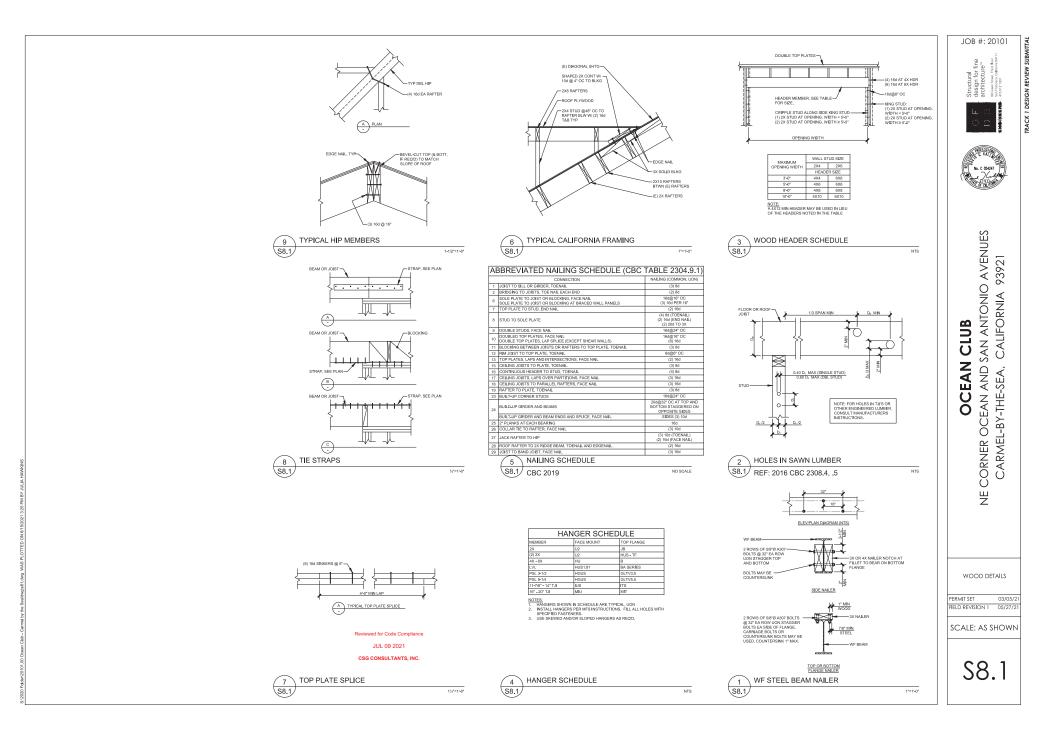


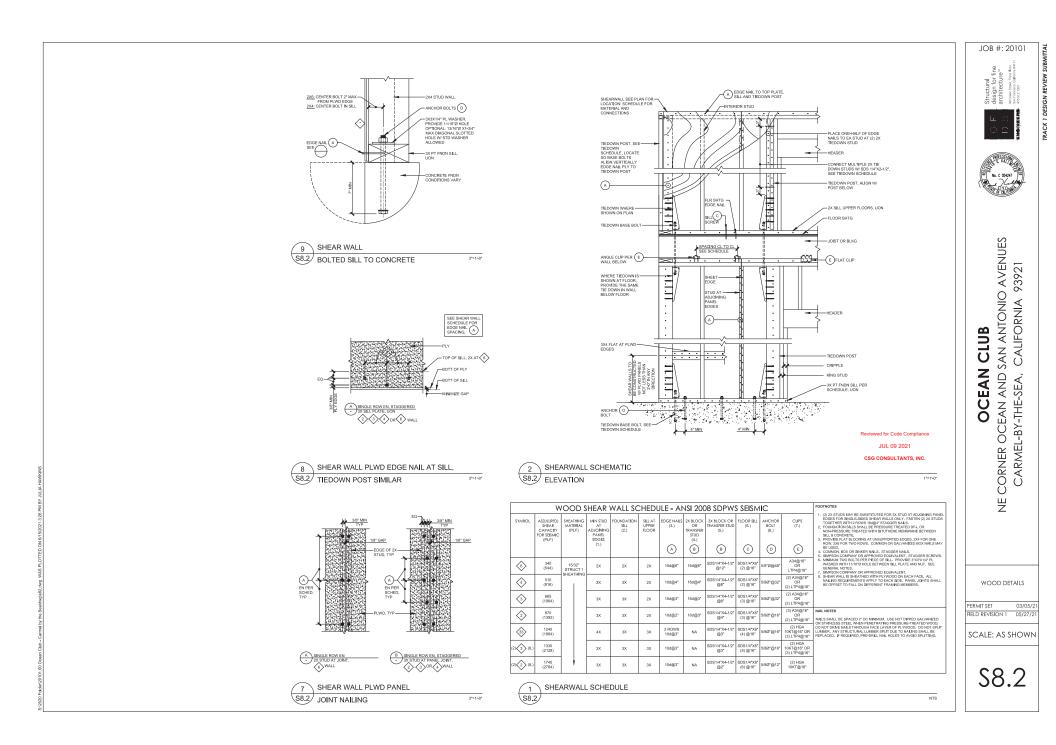






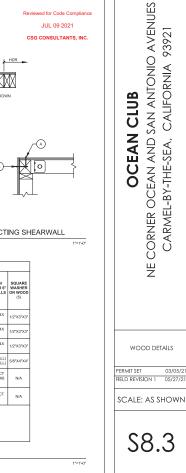


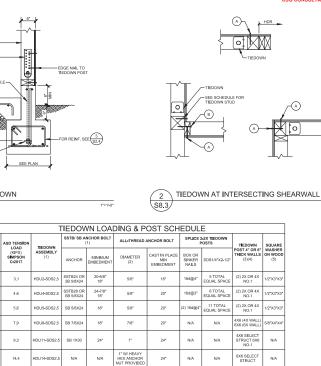




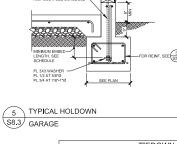


Structural design for fine architecture¹⁸





FOUTING IS (1) SUMPSION OR APPROVED EQUIVALENT (2) ASTM AIS 1) DOUGLAS FIR LACH, GRADE AS NOTED 1) DOUGLAS FIR LACH, GRADE AS NOTED (1) POST SIZED TO RESIST COMBINED AAUL AND BENDING STRESS DUE TO ECCENTRICITY BETWEEN BOLT AND POST CENTER LINE (5) BASE BOLT WINSER BEARING OND GEAN (INHERE APPLICABLE)



SYMBOL

(H2)

 $\langle H4 \rangle$

 $\langle H5 \rangle$

(HB)

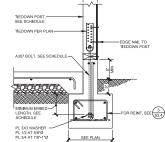
(H11)

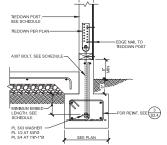
(H14)

TIEDOWN SCHEDULE

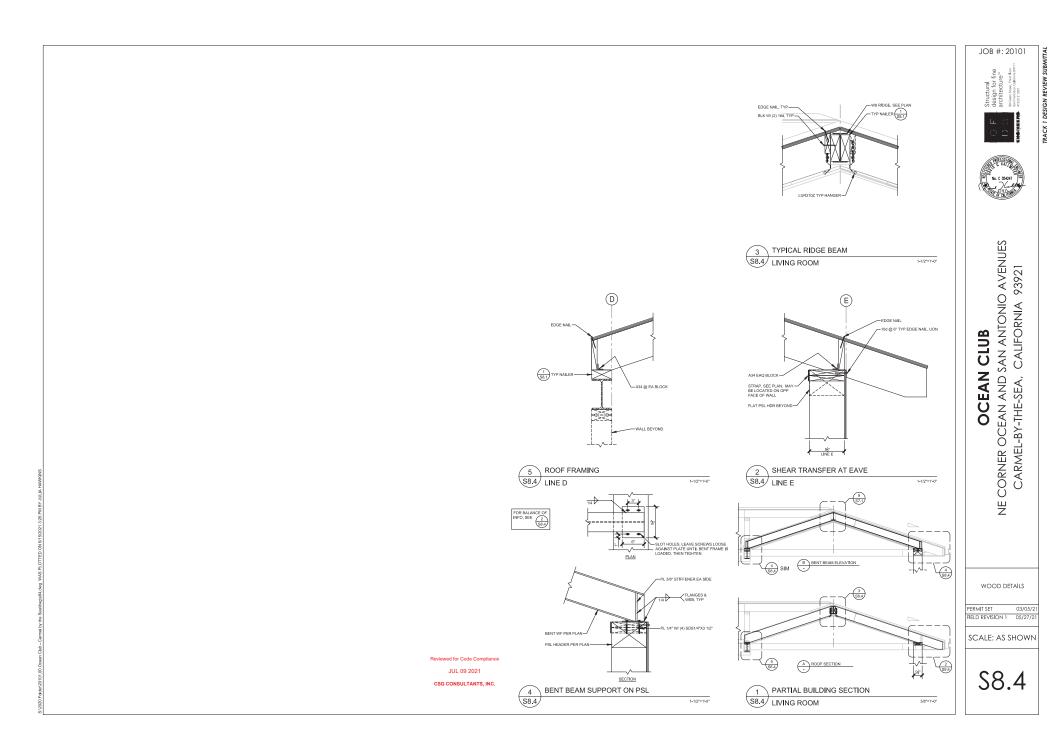
1

FOOTNOTES









RADIANT HEATING NOTES	RADIANT HEATING NOTES	RADIANT DESIGN SUMMARY
NERAL INFORMATION The installer of this hydronic system shall be a licensed C-4 contractor. It is the installer's responsibility to assume the system functions properly, addly, and meteria all boal, attras and regional controls properly and installer to supply and install all materials shows on the jack and all others needed to complete this informed as beinging to the work hereasawing the complete system. The installer shall be further and the provide any indefault work of shown or specified, which can be the further all beinging to the work hereasawing to provide the complete system. The jain does not constitute a complete installing ought or by Andronic system. The installar shall be further all beinging to the work and reasonable regulations and the further to any other tradiation. Constitute with General Constance and the work of all other tasks. Why that complete regulation (SH, KEC, and CSH). Why that complete material constance and indexity statistical 2019 CBC, CMC, CPC, CFC, UL, KEC, and CSH.	FULDS 1. Hydronic indiant leading systems, open or closed, should be purged and charged with dean water measuring a minimum pH of 70. 2. Fill water with high mineral content (hardness) ower 8-9 grains (150 gpm) should be presoftened or implicated with exercised (1). 3. When applicable, and finances shall be of the propriem glycol type. Refer to 'Design Summary' for concentrations. 4. When applicable, and finance shall be of the propriem glycol type. Refer to 'Design Summary' for concentrations and the sonade (1). 4. When applicable, and finance open systems beated to regularize intellation to avoid situation of the minister periods circulation to avoid situation during the off the same to be insure periods circulation to avoid situation during the off the same. 8. No chemicial additives thal be used in a combined open system. FDC-VAREM TRAIL LATION	Project Information Name: VE Conver of Ocean and San Antonio Driver of Ocean and San Antonio Project Summary Load Calculation Method: User Entered (Manual) Risoripians / Levels: Total Panel Area: 2,394 Total Panel Area: 2,394 Total Panel Area: Antonios: Project Summary Dear Origins / Levels: Total Panel Area: 2,394 Total Panel Area: Total Panel Area: <t< td=""></t<>
with instituted the situation institution is write include y satisfies and institutes. The Monterey Energy Group Inc. makes no guarance for any material or components to be installed in this hydroric system. If the current plans are taked over a year ofd, we recommend the installing contractor to check with Monterey Energy Group or the equipment manufactures for any product updates.	Courter and the status to the manufactures guidelines for installation methods of various floor coverings. Custom grooves shall be routed as indicated on plans using a router jig and shall be made using a 5/8°	Todi Type: 1006 viene Todi Tubing Volume: 23.76 USG
BING INSTALLATION	core con roune rat. 3. When applicable installation contractor shall coordinate with the plumbing contractor so as to have all plumbing stubbed out 12° above sub-floor prior to installation.	Zone # Gross Area Construction Heating RH Total Manifolds Flowrate Head Loss RHLoad ² Supplemental Zone Load ²
Tube specing shall not vary by more than 10% from the shown on plans. Tubes specing shall not vary by more than 10% from the shown on plans. Tubes paties prevent works of 4.0% provides to 45 paigs pravet the the specinitize prevents. Specing the specing specing of power plans of provides System to be readed with at the incurse freeze protection. A 3-04 provides provides of provides of an authorized inspector. The pring being tested shall memin exposed using the task. Installer is responsible for protecting tables from freezing during construction and adding antificeze and consolin thicking that such completion of work.	 Purphysical and the set of the	Low b Corona of the corona of th
Tubing to be tied or stapled every 3' in straight runs. At the 180-degree turns, staple the tubing at the top of the arc, and once on each side, 12 inches from the top of the arc.	duration of all construction.	Zone 7 196 Eco-Warm RH 1 202 1 0.63 3.2 4,733 0 4,733
Installer to record length of every pipe and photograph completed installation (before concrete).	 Tubing for the Eco-Warm system shall be 1/2" PEX with oxygen diffusion barrier meeting CSA B137+5 certification and listed by ICBO, to ASTM F-876-93 and F-877-93 and listed by NSF to NSF 61. 	Loop Heating Summary (By Construction Type)
Refer to manufacturer's guidelines for additional installation methods of their products.	WARMBOARD R INSTALLATION	Wamboard R
Tubing for radiant floor heating shall be 1/2" PEX with oxygen diffusion barrier meeting CSA B137+5 certification and listed by ICBO, to ASTM F-876-93 and F-877-93 and listed by NSF to NSF 61.	 All centerlines of all joists must be consistent with the nominal joist grid selected. Output the selected of the se	Zone # Room Name Heating Floor Heated Manifold Tube TRH Tube TWing In Floor Required Unit RH RHLoad' Supplemental Total Load' # Size Circuits' Seasing Room Cover RV Teme. Load
UMBING BETWEEN MANIFOLD AND HEAT SOURCE	Custom grooves shall be routed as indicated on plans using a router jig and shall be made using a 5/8" core box router bit.	Type Area # Size Circuits' Spacing Reom Cover RV Temp. Load Zone 1 1.1 Gym RH 200 200 Manfold 1 1/2 1 1/2 200 0.8 9/2 15.8 3,150 0 3,150 Zone 1 1.2 Bath 3 RH 88 Manfold 1 1/2 1 1/2 88 0.5 88 15.8 1,386 0 1,386
Type M or L copper tube joined with 95-5 solder shall be used. Pipe in and out of conditioned space shall be insulated to R-4. All ends of pipe shall be reamed. All lines shall be run as direct as possible.	When applicable installation contractor shall coordinate with the plumbing contractor so as to have all plumbing stubbed out 12° above sub-floor prior to installation.	Zone 2 1.3 Game Rm. RH 138 138 Manifold 1 1/2 1 12 138 0.8 94 17.9 2,463 0 2,463
Install expansion joints as needed and provide clearance around pipe passing through floors and walls.	4. Alignment pins shall be used for proper alignment of panels.	Zone 2 1.4 Game Rm. RH 233 233 Manifold 1 1/2 1 1/2 233 0.8 94 17.9 4,159 0 4,159 Zone 2 1.5 Hallway RH 76 76 Manifold 1 1/2 1 1/2 76 0.8 94 17.9 4,159 0 4,159 Zone 2 1.5 Hallway RH 76 76 Manifold 1 1/2 1 1/2 76 0.8 94 17.9 1,357 0 1,357
Cross-linked polyethylene with an integral oxygen diffusion barrier may be used only when specifically approved by the local building department. Pipe sizing on plans is based on I.D.'s of PEX piping.	 Remove any excess adhesive that may interfere with tubing installation. Remove all burns left by custom routing and on angle holes. 	Zone 3 1.6 Guest Bath RH 180 Manifold 1 1/2 1 12 180 0.5 86 14.7 2,646 0 2,646 Zone 3 1.7 Guest Bed RH 179 179 12 179 0.8 91 14.7 2,631 0 2,631
NIFOLD INSTALLATION	 Remove all ours let by custom routing and on angle noise. Refer to manufacturer's installation notes for additional guidelines for installation of this product. 	
Manifolds to be plumb, level and situated in their final position. Manifolds to be installed at least 18° above finished floor.	8. Holes for routing tubing below sub-floor shall be drilled using an 11/16" bit at the correct location and in the appropriate direction so that the end of the tube can be passed from the groove to the under floor area in the right direction to lead to the appropriate memilod location or the ball panel.	Eco-Warm Zone # Room Name Heating Floor Heated Manifold Tube RH Tube Tubing In Floor Resulred Unit RH RH Load ⁴ Supplemental Total Load ⁹
		Type Area Area # Size Circuits' Spacing Room Cover RV Temp, Load
Manifolds to be installed with air vents and flow balancing valves. Manifolds shall be equipped with a fully sealing ball or gate valve on the supply and return to allow service. Zone valves or Telestats (if used) shall be installed on return side of manifolds. Unless otherwise specified, manifolds shall be brass type.	 All grooves shall be inspected and cleaned of any debris prior to tubing installation. Refer to manufacturer's installation guidelines for cautiking of diaphragm grooves prior to the installation of 	Zone 5 3.1 Foyer/ Living Rm. RH 213 213 Manifold 3 1/2 1 12 213 0.8 107 14.7 3,131 0 3,131
	pex tubing.	Zone 5 3.2 Living Rm. RH 213 213 Manifold 3 1/2 1 12 213 0.8 107 14.7 3.131 0 3.131 Zone 5 3.3 Kitchen RH 222 222 Manifold 3 1/2 1 12 222 0.8 107 14.7 3.131 0 3.131 Zone 5 3.3 Kitchen RH 222 222 Manifold 3 1/2 1 12 222 0.8 107 14.7 3.263 0 3.263
	 Tubing shall be and remain pressurized immediately following installation into the panel diaphragm for the duration of all construction. 	Zone 5 3.4 Dring Rm RH 225 225 Manifold 3 1/2 1 1/2 225 0.8 107 14.7 3.308 0 3.308 Zone 6 4.1 Bath 1 RH 115 115 Manifold 4 1/2 1 12 115 0.5 123 26.3 3.019 0 3.019
	 Tuking for rediant floor heating shall be 1/2" PEX with oxysen diffusion barrier meeting CSA B137-5 certification and lated by ICBO, to ASTM F-878-93 and F-877-93 and lated by NSF to NSF 61. FAN CONVECTOR INSTALLATION 	Zone 7 42 Zowner's Suit RH 196 196 Manfold 4 1/2 1 1/2 196 0.8 126 24.2 4,733 0 4,733
	 Fan Convectors shall be Jaga Hybrid Heating Clima Ganal Hybrid H10 series. Install according to manufactures instructions. Confirm all locations and unit size with owner prior to ordering units. 	Manifold Summary Manifold Summary # # Flowrate Head Required Supplied Temp Manifold Type Control #
	 Myson fan convectors to operate via setback thermostat to set point control to fan and pump wiring. Fan may be controlled via a FCP variable speed controller. 	Zones Circuits Loss' Temp. Temp. Drop Type Actuators
	may be controlled via a FCP variable speed controller. 3. Provide access to each fan convector.	Manifold 1 3 7 2.38 4.0 92 126 15 1 1/4* Stainless Steel w/ Circuit 7 Figure 10.0 92 126 15 1 1/4* Stainless Steel w/ Circuit 7
		Manifold 2 1 1 0.24 1.4 105 126 15 11/4" Stanless Steel w' Manifold 0 Manifold 2 1 1 0.24 1.4 105 126 15 11/4" Stanless Steel w' Manifold 0
	DESIGN ASSUMPTIONS 1. 30 degrees F outside heating design temperatures, 87 degrees F outside cooling design temperatures.	Manifold 3 1 4 1.72 2.9 107 126 15 11/4 Stainless Steel w/ Manifold 0
	 30 degrees ⊢ outside neating design temperatures, 8/ degrees ⊢ outside cooling design temperatures. R-21 wall insulation. 	Manifold 4 2 2 1.04 4.2 126 15 11/4*Stainless Steel w/ Flow Meters Circuit 2
	3. R-30 ceiling insulation.	Total 7 14 5.38 4.2 126 - 15 - 9
	 Double pane windows U=0.39. SHGC=0.35. 	
	5. R-19 floor insulation and R-19 in between floor insulation.	FAN CONVECTORS
	8. (7) Setback heating themostats location per Architect or Owner. (2) Setback cooling themostats location per Architect or Owner: Installation per quicelines under the Controis section of the "Heat Source Schematic". Per ADA accessibility requirements al buildings with 3 or more apartments – Thermostats shall be located 48 above finished floor.	HEATING BTU/HR (COOLING BTU/HR (45T AWT) OFL MOTOR OFL DELTA LOOLTON DIMENSIONS MANUFACTURER OF THE
		MARK UNIT 120F AWT TOTAL SENSIBLE CM W/GPM/VOLTS GM T (F) LOCATION (WHAD) AND MODEL COMMENTS
	 R-value of tile floors not to exceed 0.5. R-value of hardwood floor areas not to exceed 0.8. R-6 insulation between slab and warm board. 	EC=E1 1 8525 3915 3410 190 0.07 120 0.52 15 BUILT IN FLOOR 7.1x3.9X70.9 JAGA - CLIMA CANAL 10 CLCM.01018018/BNA ① - ⑩
	 Air change rate = 0.4. 	EC-E2 1 6453 3733 3249 207 0.07 120 0.50 15 BUILT IN FLOOR 13.4v7.5X47.2 JAGA - CLMA CANAL 19 ① - ⑩
	SHEET INDEX	EC-F3 2 23291 13473 11726 649 0.08 120 1.8 15 BUILT IN FLOOR 13.4x7.5X110.2 JAGA - CLIMA CANAL 19 ① - ⑩
	M0.1 NOTES M0.2 NOTES	(2) HYDRONC HEATING
	M0.3 ENERGY COMPLIANCE M0.4 2019 LOW-RISE RESIDENTIAL MANDATORY MEASURES SUMMARY	3 CONFIRM GRILLE STILE AND COLOR SELECTION WITH ARCHITECT/OWNER PRIOR TO ORDERING ANY EQUIPMENT
	M2.1 EVISTING FIRST FLOOR HEATING MINING MILLAYOUT M2.1 EVISTING FIRST FLOOR HEATING PANEL LAYOUT M2.2 SECOND FLOOR RADIANT HEATING PANEL LAYOUT	COORDINATE EXACT LOCATION OF FAN CONVECTORS WITH FURNITURE LAYOUT PER OWNER/ARCHITECT S ENTERING COOLING WATER TEMPERATURE 45: OUTPUTS RATED AT MAX FAN SPEED
	M2.3 SECOND FLOOR RADIANT HEATING TUBING LAYOUT M2.4 SECOND FLOOR HYDRONIC COOLING PLAN	
	M2.5 FIRST FLOOR VENTILATION PLAN M2.6 SECOND FLOOR HVAC PLAN	6 PROVIDE SUBMITTALS THAT INCLUDES ALL ELECTRICAL COMPONENTS FOR THE POWER SUPPLY FOR THE LOW VOLTAGE EQUIPMENT, ACCESSORES OR COMPONENTS
	M6.1 PIPING SCHEMATIC M6.2 NOTES & SCHEDULES M6.3 DETAILS	PROVIDE ELECTRICAL DISCONNECT SWITCH FOR LOW VOLTAGE AND LINE VOLTAGE IN JUNCTION BOX AT EACH UNIT. COORDINATE WITH GENERAL CONTRACTOR AND
	M6.3 DETAILS M6.4 ECO-WARM INSTALLATION DETAILS	(8) CLIMA CANAL & CLIMA CANAL HYBRID REQUIRES 120VAC TO EACH DC POWER SUPPLY
		(9) CONTACT JAGA AT INFORMAGA-USA.COM OR CYRUS KANGARLOO 604-355-6262 FOR PRICING INQUIRIES
		(10) EQUIPMENT SIZES APPROVED BY ACCA TO MEET ALL REQUIREMENTS OF MANUAL S BTH EDITION
		Reviewed for Code Compliance
		JUL 09 2021
		CSG CONSULTANTS INC

CSG CONSULTANTS, INC.

SHEET: MD.1 Sheet of sheets

FANS ABBREVIATIONS	
ION CFM ESP CONT. TP SPEED HP V/PH RPM AMPS WATS WATS WATS WATS WOEL COMMENTS	
3ATH 80 0.25* 30 0.4 NA 120/1 1131 0.27 16.1 10.2 PAARSONC 1 2 3 + AD A ACCESS DOOR MASSONRY OR WALL	
3 80 0.25" 0.4 NA 120/1 1131 0.27 16.1 10.2 PANASONC FV-05-11WS1 ② ③ ④ AFU AR HANDLING UNIT NC NORMALLY CLOSED 3 80 0.25" 0.4 NA 120/1 1131 0.27 16.1 10.2 PANASONC ③ ③ AFU AR HANDLING UNIT NC NORMALLY CLOSED AL ACOUSTICAL LINING NC NOT IN CONTRACT NC NOT IN CONTRACT NC NOT IN CONTRACT	
ER 50 0.25° 30 0.4 NA 120/1 1131 0.27 16.1 10.2 PANASONC PV-05-11WKS1 (1) 2	N
RY 50 0.25° 30 0.4 NA 120/1 1131 0.27 16.1 10.2 PANASONC PV-05-11W1 (1) (3) (4) BI BLACK IRON BLACK IRON DATE RY 50 0.25° 30 0.4 NA 120/1 1131 0.27 16.1 10.2 PANASONC PV-05-11W1 (1) (3) (4) BROWERRO RELIEF DAMPER OAI OUTSDEX AIR NTAKE	
W/C 50 0.25* 0.4 NA 120.0 1131 0.27 161 10.2 PANASONIC 2 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0	
Info Col Co	
WRED VENILATION-OD NOT MODEY, PROVUE MULTI SPEED AND TIME DELAY MODILE OCIG OCILIA REDISTRIO C.U.L RHC REHAT COLL ORIG COUNDENCE AND SEASOR MODULE & MS-OBSEAN, OR EQUIL, PER ARCH, AND LED NIGHT LIGHT & MOTION SENSOR MODULE OCIG OCILIA REDISTRIO C.U.L SA SUPPLY AIR SENSOR MODULE TO SATISFY HUMDISTAT CONTROL PER 2019 CAL, GREEN CODE SECTION 4.506 DB DPN MULTI SUPPLY SO SMORE DAMPER E ENERGY STAR RATED AND HAVE BULT IN BACKBAFT DAMPER ST SQUARE FIET DB DPN MULTI SUPPLY SF SQUARE FIET ILINT TRAP KIT, WRE PER INSTALLATION GUDELINES WITH DRYER GROUT, PROVIDE ACCESS. EL EXPANSION JOINT TF TRANSFER FAN EVEN EVENTS CM ENTERNON AIR TREMEMATURE TC PROVIDE MULTI SUPPLY VIENTIATION EVEN EVENTS CM TRAP KIT, WRE PER INSTALLATION GUDELINES WITH DRYER GROUT, PROVIDE ACCESS. EX EVENT EVENT TANSFER FAN EVEN EVENTS CM TO PRESSING AGONET TF TRANSFER FAN TRAPESTAR TRANSFER VIENTIATION FC FLEMENNA AIR TREMEMATURE VIENTIATION VIENTIATION VIENTIATION VIENTIATION VIENTIATION FC FLEMENNA AIR TREMEMON WITH RETURING WITH VIENTIATION VIENTIATION VIENTIATION VIENTIATION FL FLEMENNA AIR T	EL OR GRILLE JR (1 ⁺) WISE NOTED VOLUME REGULATOR JR UENCY DRIVE ATOR PERATURE VER

SYMBOL	DESCRIPTION
94666	DISTRIBUTION MANIFOLD
«	HYDRONIC BASEBOARD (SEE HEAT SOURCE SCHEMATIC FOR LENGTH AND HEIGHT)
ISS 55	AIR SUPPLY FLOOR/CEILING REGISTER (CFM AS SHOWN ON PLAN)
I⊇⊊I_55	AIR SUPPLY WALL REGISTER (CFM AS SHOWN ON PLAN)
0 ₅₅	AIR SUPPLY TOE SPACE REGISTER (CFM AS SHOWN ON PLAN)
↓ 55	AIR RETURN WALL GRILLE (CFM AS SHOWN ON PLAN)
	TOEKICK FAN COIL UNIT FOR # INDICATED, SEE HEATING EQUIPMENT LEGEND
	AIR EXHAUST IN-LINE FAN
⊠~∕	AIR EXHAUST FAN RECESSED FAN
+-	DOOR GRILLE OR TRANSFER GRILLE
2	THERMOSTAT +60"FF
SIII)	NEW DUCT ROUND (SUPPLY)
	NEW DUCT ROUND (RETURN)
	NEW DUCT SQUARE (SUPPLY)
	NEW DUCT SQUARE (RETURN)
PL sec 3	MITERED ELBOW WITH TURNING VANES
502 J uz 4	DUCT TRANSITION (ROUND OR SQUARE)
	DUCT TRANSITION (RECTANGULAR TO ROUND)
± +	MANUAL AIR VOLUME DAMPER

1. Piping shall be new, standard weight wrought ion or steel (exterior-only galvanized or black), with malieable ion fittings, Approved PE (pol-writyme) pipe may be used in exterior burster piping systems. Exteror project allo be protected by systems, machine against protectime carbina. Field wrapping shall be limited to sections at junts and shall provide equivalent protections to the machine agained costing. Cases Janes may not be installed on a control the ground under burster). But set the set is a desting the section of the ground under burster. Gas how may not compared on the strength of the s

An or combination PA or gundless shall be based on the 2019 California Mechanical Code. If located in a confined space, that space shall be enclosed. The genering shall communicate directly, or by acts with the actions. When communication with the encloses. The genering shall communicate directly, or by acts with the actions. When communication with the collocation is the shall be activated on the shall be activated by the shal

REVISIONS: BY:

MONTEREY ENERGY GROUP Consulting Mechanical Engineering Consulting Mechanical Engineering (21,272,231, VOC) (21,272,231,

He Jalla

CORNER OCE, ID SAN ANTON Origine ocean and san antonio origine ocean and san antonio

ΠD uZ ZZ

MAJOR EQUIPMENT INSTALLATION

Air for combustion

Gas lines

HULDE GLOUPENET INSTALLATION

1. Installation that we all hock and national codes proteining to the installation and quención of planting explanment
installation target all hock and national codes proteining to the installation and quención of planting explanment
installation target all hock and national codes proteining to the installation and quención of planting
installation target all hock and national codes proteining to the installation and quención of planting
installation target all hock and the installation and quención target all
installation target
installation

1. Installation target

1. Installation target

1. Installation

1. Installation target

1. Installation

0)					
MPER					
			REGISTERS	i	сл Ш
	MARK	TYPE	MANUFACTURER MODEL	COMMENTS	D T E C
	<u>CR</u>	CEILING RETURN	TITUS CT-480 3 26 N 00-000 0	0	2
	œ	CEILING DIFFUSER	TITUS CT-480 3 26 N 00-000 0	0	
	HSR	HIGH SIDE RETURN	TITUS CT-480 3 26 N 00-000 0	1	
	HSS	HIGH SIDE SUPPLY	TITUS CT-480 3 26 N 00-000 0	0	CALE: AS NOTED
Reviewed for Code Compliance	ТK	TOE KICK	TITUS CT-480 4 26 N 00-000 0	0	HECKED:
JUL 09 2021	LSR	LOW SIDE RETURN	TITUS CT-480 3 26 N 00-000 0	0	HECKED:
CSG CONSULTANTS, INC.	ED	FLOOR DIFFUSER	TITUS CT-480 6 26 N 00-000 H	0	HEET:
	1 pr	OVIDE MILL FINISH OR CL	JSTOM PAINT COLOR SPECIFIED	D BY ARCH.	MD.2

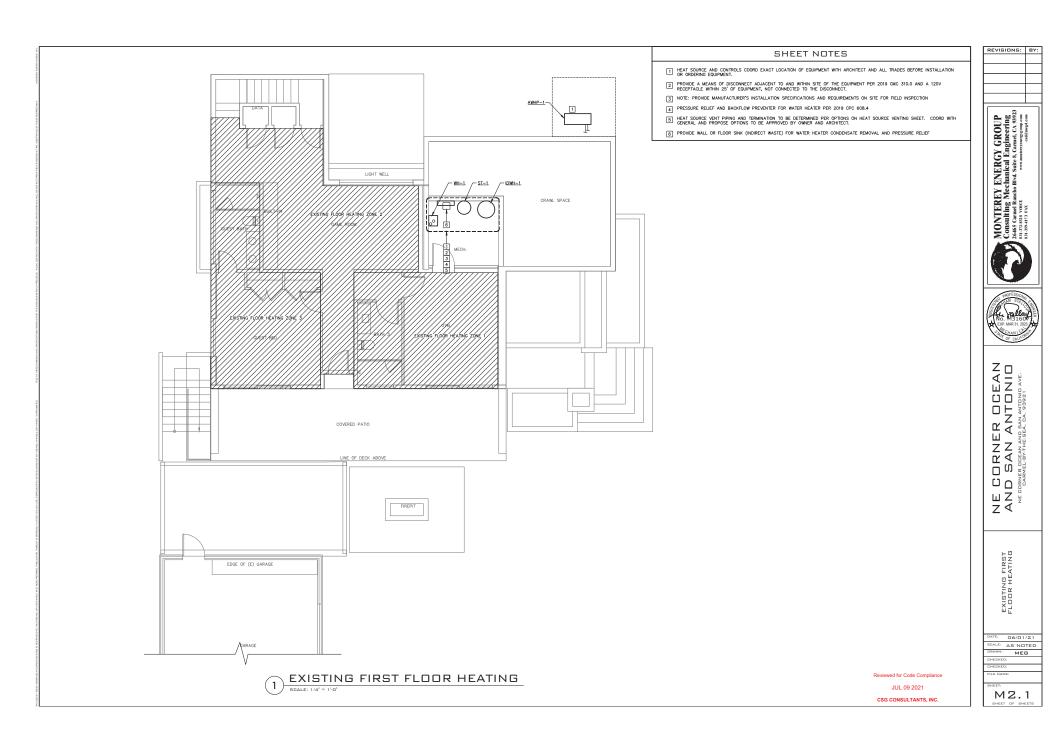
۲		REVISION
State State St	CETIFICATI OF COMMUNCE COLORED COLORED<	CENTRATIC OF COMPLANCE CENTRATION COMPLANT CENTRATION COMPLANT
NEMA delating locarporates are are need Special Features bases balows DEMOST DEL SUMMARY DEMOST DEL SUMMARY Seguinary Special SULVIT ¹⁴ (P) State Delation Campliance Margia A Personal Instrument Social Instrume 26.01 17 1.83 1.84 Social Instrume 0 0.7 2.13 1.01 Micro Marcine 1.8 9.2 1.7 2.15 Micro Marcine 7.3 5.9 -1.7 2.15 Soci Onlinetity 1.8 8.07 2.17 2.15 Soci Onlinetity 1.8 8.07 3.0 1.0 Soci Onlinetity 1.08 8.07 3.0 1.0 Soci Onlinetity Field 10.8 8.07 3.0 1.0 Soci Onlinetity Field 10.8 8.07 3.0 1.0 Soci Onlinetity Field 10.00 1.00 1.00 1.00 Soci Onlinetity Field 10.00 1.00 1.00 1.00 Soci Onlinetity Field 10.00	Nume Zero Centration Animality Visit Project Marcing Control of the state Control of the state	Image: Section Number: Registration Data/Time: High stude logs/Time:
<text><text><text><text><text><text><text><text><text><text></text></text></text></text></text></text></text></text></text></text>	<text><text><text><text></text></text></text></text>	<text><text><text><text><text></text></text></text></text></text>

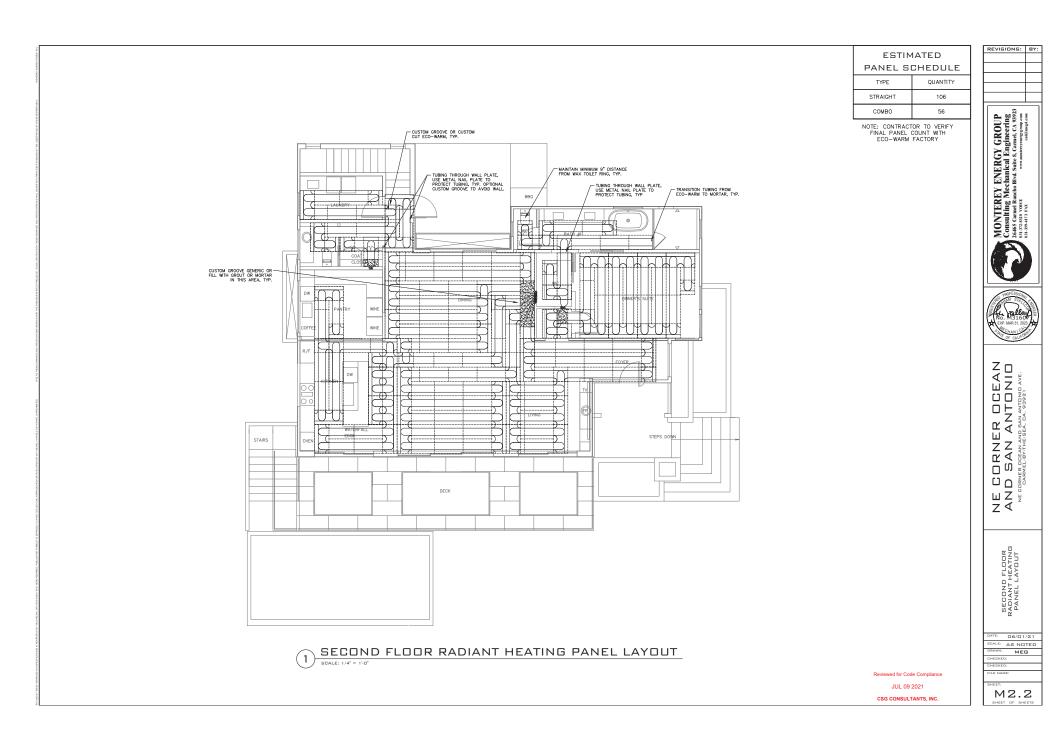
Reviewed for Code Compliance JUL 09 2021

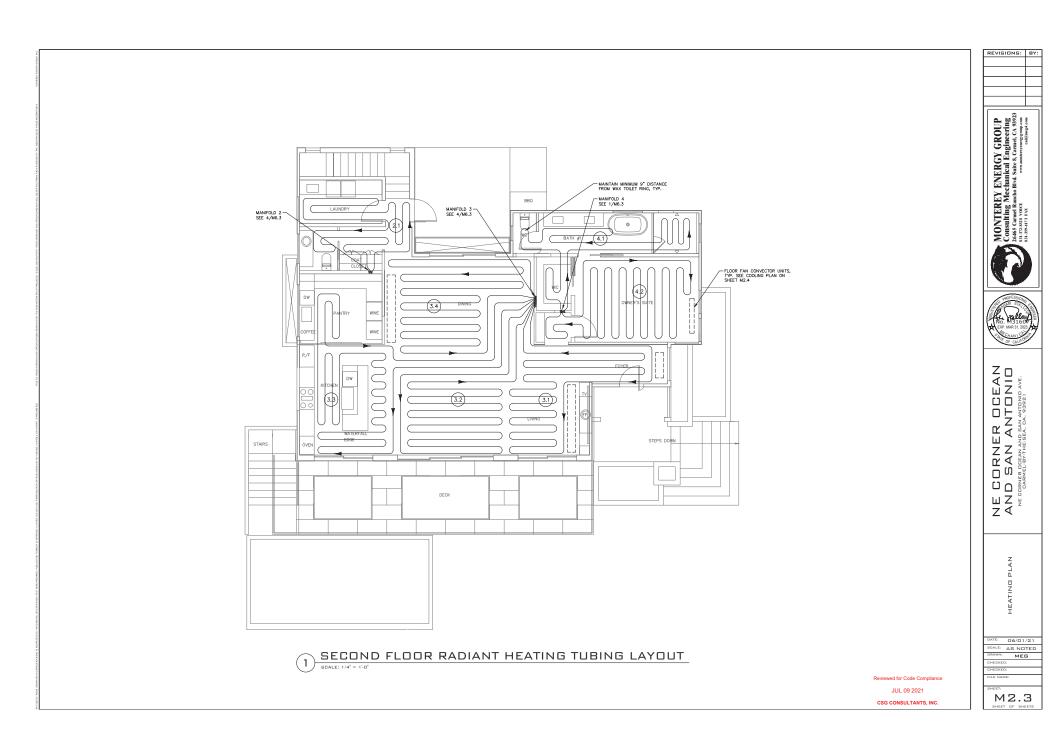
CSG CONSULTANTS, INC.

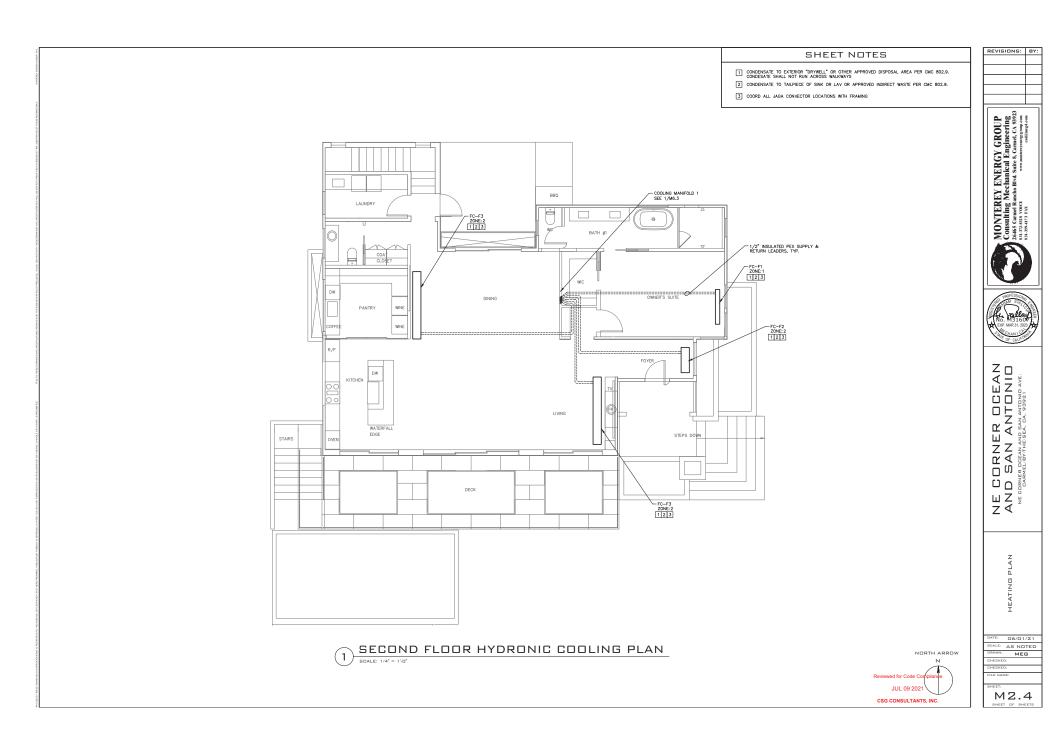
MD.3

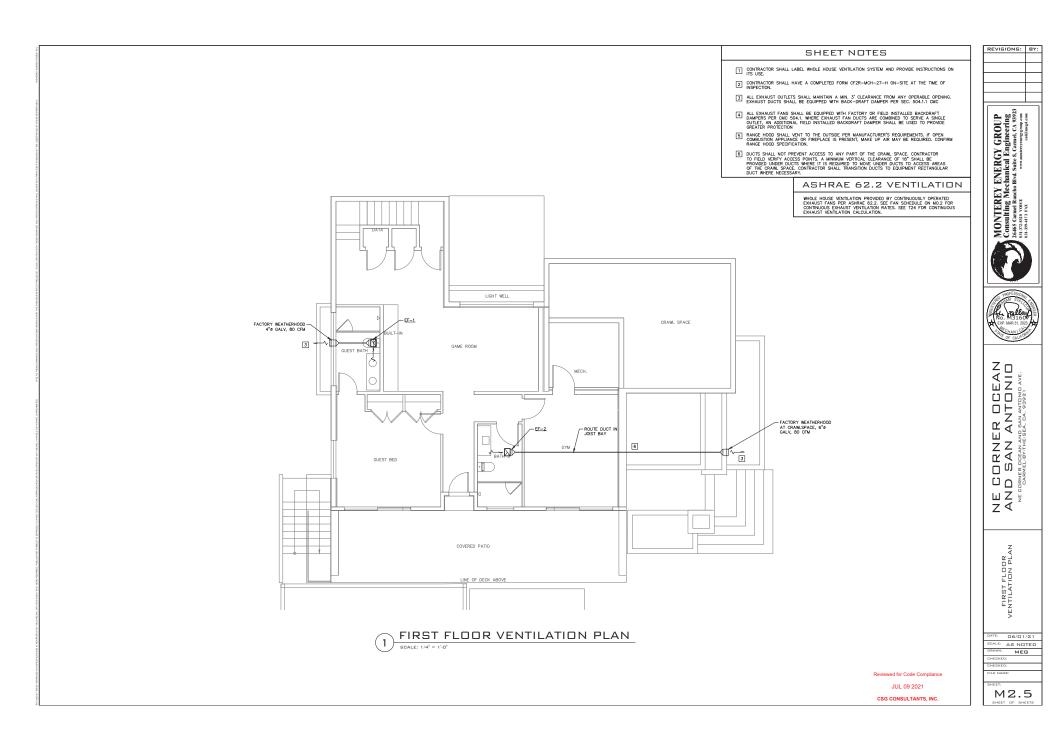
0.44					REVISIONS: BY
104 0 40			2019 Low-Rise Residential Mandatory Measures Summary	2019 Low-Rise Residential Mandatory Measures Summary	
	CERTIFICATE OF COMPLIANCE	CF1R-PRF-01E	NOTE: Low-rise residential buildings subject to the Energy Standards must comply with all applicable mandatory messures, regardless of the compliance approach used. Review the mejective section for more information. Transplane may apply	Requirements for Ventilation and Indoor Air Quality:	
340 M		Ilculation Date/Time: 2021-02-10708:10:54-08:00 (Page 7 of 8) prot File Name, 21-083 NE Conner Ocean And San Antonio Are. E+X+Xribul19A	(Original 08/2015)	Receptiments for Ventilation and Induce Ak Quality. All dentity with must meet the requirements of ADI PAHE Standard 02.2; Ventilation and Acceptibile Indoor Air Quality in Residential Buildings subject to the amandments specified in § 150.0(o)1.	
	SPACE CONDITIONING SYSTEMS		S 110 6(a)1: Air Leakage. Manufactured ferestimilion, extension and extension per doors must limit air leakage to 0.3 cfm per square foot or less when tested per NFRC-400, ASTM E283 or AAM/WDMACSA 1011.8 2/A440-2011.	§ 150.0(o)1C: other dwelling units, occupiable spaces, public garages, or commercial spaces must have mechanical ventilation airflow provided atrates	
019		06 07 08 09 10 11 Distribution Required Verified Heating Cooling	Building Entropies Neurosci. Building Entropies Neurosci. 1110-000 All Ladiago, Munchicans's Researching, and Ladiago	Usammed by Overvice 22 aduation 41, and v12 aduation granulational or granulation of the optimum	
1.564,57		Name Distribution Name Therrostat Status Verified Heating Cooling Existing Equipment Count Count	5 110 -P. (110 -P.), or JA-5 to reason occors. The must be caused and/or weather stropped: 5 110.7: gasteted, or weather stopped, and other openings in the building envelope that are potential sources of air leakage must be caulited, gasteted, or weather stopped.	system is not used, at units in the building must use the same system type and the dealing-water develope alwatego must be 5 u 3 CHA at 00 Va (0.2 inch water) per square foot of dwalling unit envicepe surface area and verified in accordance with Reference Residential Appendix RA3.8. Monthmethy Existing Cateral Valence Seateral - Cateral water full accordance multicater dealing units must be home to remain	(ENERGY GROUP chanical angineering o Bird Suite & Gamed. CA 3923 and antisymptotic
- AF 201	Radiant Floor Heating 1 Heating and cooling system Component HWAC F		and Services (BMOD)	(u.t. to insta) projection concentrative instance of the insta	
MH 02 01			§ 110 Rgi: Insulation Requirements for Heated Stab Flores. Heated stab flores must be insulated per the negutiments of Section 110.8(g). § 110 Rgi: Insulation Requirements for Heated Stab Flores. Heated stab flores must be insulated per the negutiments of Section 110.8(g). § 110 Rgi: multisfer and neglt hergedness for \$10.8(g) to blobble opt 51011 to blobble opt 51011 to blobble opt 51011 to blobble opt 51011 to blobble opt 5101	§ 150.0010: Richer Rauge Honds. Nochen ump konde mult bei oder forunzel in accentarione will beiden 22 of AD-RHA E2.2 Field Verführt and Bagnetick Facht, Denling val er verfahre for an und he verfahr in accentarione will beinver Reideniel § 150.0020: Appendix RAJA. Trücken mage booten multi bei verfahr in accentarione will Reitworke Reideniel Appendix RAJA. Trücken mage booten multi bei verfahr in accentarione will Reitworke Reideniel Appendix RAJA. Trücken mage booten multi bei verfahr in accentarione will Reitworke Reideniel Appendix RAJA. Trücken mage booten multi bei verfahr in accentarione will Reitworke Reideniel Reiden	
ALL Y A	HVMC - HEATING UNIT TYPES				
4 10 20	01 02 Name System Type	03 04 Number of Units Heating Efficiency	1 mag. Set and the set of the first fir	Control and a provide the comparison interactions. Any pool or spa heating system or equipment must be certified to have all of the following a them) efficiency that complex with the Applance Efficiency Regulations: an or-off which mounds catiside of the heater that allows shating of the stater without adjusticity the Memory Memory and the Applance Efficiency Regulations: and any adjusticity of the stater	
A RVDC	Heating Component 1 Combined hydronic	1 AFUE-95		^a Strength without adjusting the thermostal setting: a presentent readherproof plane or card with operating instructions; and nust not use election moticitorealing: ^b 1104.0bjt: discussion of the setting system or equipment must be installed with at least 30 inches of pipe between the filter and the healt, or discussion of the setting at behavior approximation as a behavior built commonitor to all on the time soft healting.	
X / Y Ville	HVAC - COOLING UNIT TYPES		§ 150.0(8): Loose-thill instruments. Loose in instrument material that the instrument of the instru	110/4(6)1 dedicated suction and return lines, or built-in or built-up connections to allow for future solar heating. (111.40)5 Powers: Challenge produce speak that have a heat prompting pix heat have a neare	
3 L/ 1 L/	01 02 04 04 Name System Type Number of Units Efficiency EER/CEER	05 06 07 06 Efficiency SEER Zonally Controlled Multi-speed Compressor HERS Verification	5 150 OVE Paland-Boot Institution. Minimum P-19 Institution in raised waved framed from or 0.007 maximum Huberton."	10.022 20.02 20.02	E 3 5
403 7794	Cooling Component 1 No Cooling 1 n/a	n/a NotZonal Single Speed n/a	Sub Edge Insulation. Sub-odge insulation mathematical of the following have a water absorption rails, for the insulation material alive without forcing no greater fram 37%, have a water adjorance no greater han 2.2 given go initial damage ed UV girl development of grindlask damage ed UV	Source and Equipment Installation. Residential pool systems or equipment must meet the specified requirements for pumpizing, flow rate, pping, filters, and valves.	/ 🥰 🗄
A DH CA Y	HVAC - FAN SYSTEMS		Yappor Relatedie: In climate zones 1 through 16, the earth floor of unwented crawl space must be covered with a Class I or Class II wapport # 150.0(g) 1: Wapport Relatedie: This requirement also applies the control of wented on crawl space for buildings complexy with the execution b § 150.0(g), Wapport Relatedie: In Climate zones 14 and 16, and a Class I climate zones without the control of the climate zones of the climate zones 14 and 16, and a Class I climate zones and went the climate zones 14 and 16, and a Class I climate zones 14 and 16, and a Climate Zones zones 20 and 16 and 10	Lighting Measures: § 110 8: d§ 110.1: g 110 8: d§ 110.1:	MONTERE Consulting N 215455 Carnel Ran 831-372-2232 VOICE 831-372-2232 VOICE
0 H D.40	01 02 Name Type	03 04 Fan Power (Watts/CFM) Name	Stotogic Vaper Retarder. In infinite zons if and 14, a Cost in Class I region interfer must be installed on the conditioned spass side of al substation is all activative site, section dices, and varianted size with an operandial installation. Fishologic Financial Retard Cost, Renamination, including oplights, sequenting conditioned spass for under the amendment status of the Cost of Size for the relight average U-block of all informations and careed 0.8x ² .	for 50 MV/M Linkinker Efficacy. All installed Laminaires must meet the requirements in Table 1900-A. Elask Electrical Bases. The number of identical tables that an more time 5% and tables that an one time for and not constant an Unitarian or for 00 MV/M for any one time to regular table that handles of tables. The time time time time time time time tim	
044 10	HVAC Fan 1 HVAC Fan	0.58 m/a		Blank Electrical Boses. The number of electrical costs that are more that are more than 5 like above the treshind boor and do not contain a luminare or § 150.0(1)18: other device must be no greater than the number of bedrooms. These electrical boxes must be served by a dimmer, vacancy sensorcontrol, or fan speed control.	
49900 1	HERS BATER VERIFICATION OF EXISTING CONDITIONS		§ 119.5(6) Plot Light. Continues/ turning pilot lights are not allowed for indoor and culdoor finglaces. § 150.0(c)1: Closeble Doers. Macrony or Indony-built freplaces must have a closeble metal or glass door covering the entire opening of the firetox.	tan speed computing tuminaries in callings. Luminaries recossed into callings must meet all of the requirements for instaution excitact (IC) § 100.00/10C control of the second	535 5 C M
141 141			§ 190.00(2): Combunition Intaka. Masonry or factory-built frequences must have a combunition cutside air intake, which is at least six square inches in areas and to explored with a resulting control of combunities. Control of the result of the combunities of the combunities of the results of the combunities of the combunities of the combunities of control."	§ 190.00/10: cuber Ballists for Fluorescent Lamps. Ballists for fluorescent Lamps rated 13 watts or greater must be electronic and must have an output frequency no less than 20 kHz. Noth Liebbs. Zend Liebbs. and Park Liebts. Noti liebts, who liebts and cuth liebt and not musind to comply with Table 150 0-A or be	
or work				100/000 Seque frequency on too ten an 20 Me. 1900/00	
A REAL C	Registration Number: Registration C		Spec Conditions, What Healing, and Praining System Nazors: 1010 5 110 End Education Indentity and Million and an Ordering (What And And Conditions) 1010 5 110 End Education Indel To and Million Structure The Endition Conditions (What And	§ 150.00/15: Screw based laminares. Screw based laminares must contain lamps that compy with Hinterence Joint Appendix JAd.	
20 000	CA Building Energy Efficiency Standards - 2019 Residential Compliance Report Versio Schema Versio	ion: 2019.1.300 Report Generated: 2021-02-10 08:07:59 rsion: rev 20220901	g 11/2(p) Preve controls that prevent supported motors prepared motors prepared motors in the prevent support and in 22-8. Second second s	S 120.001 mt Ight Revenue in Functional not Revenued 1 aminutions 1 amounted rubor expansibility to current that are not compliant with the .134g(optiod temporation requirements, relation of an endoting or motion), relation of the relation of the rubor of	
64 L/1 D 84			Construction of the comparison neutring is inger than not cover imposition to couplementary neutring, and the cover imposition test of the operation of supplementary neutring. A 110 201- Thermostates. All heading or cooling systems not controlled by a central energy management control system (EMCS) must have a	Light Sources in Forseens, Cabinets, and Lines Closeds. Light sources internal to taxeen, cabinety or linen closeds are not expliced to compty with Table 1930-A or bio contributed by vacancy serviced that they are raided to extreme to more than 5 what they can be not more than 1990 Linners, and are captioned with controls and the taying or land that they can cable or them closeds closed.	
N (200)			InvaLi0, setback themsetat." Where Healthy Recreated to Loops Serving Multiple Develling Units. Water hearing recirculation loops serving multiple develling units must find the serving multiple develi		PROFESSIONAL
N C 00	CERTIFICATE OF COMPLIANCE	CF1R-PRF-01E	110.3(c)4. \$ 100.2(c)8: Isolation Valves, instantanoous water heaters with an input rating greater than 6.5 ISTU per hour (2 kW) must have isolation valves and heater \$ 110.2(c)8: Isolation or coher filtings on both cold and have water lines to allow for futuring the water heater when the valves are closed.	§ 150.0020: Interior Beniches and Constelli. Exhaust fans must be controlled expansitely from lighting systems: § 550.0020: Under Sectional and Constelli. Lighting must trave maskly accessible well-recurster controls that allow the lighting to be manually lambded for and OFF.	
HALK II DIA		Iculation Date/Time: 2021-02-10T08:10:54-08:00 (Page 8 of 8)	§ 110.5: Pliot Lights. Continuously burning pilot lights are prohibited for natural gas: fan-typecentral furnaces; household cooking appliances (appli- ances without an electrical supply uptage connection with pilot lights that consume less than 150 Blufty are essential, and pool and say beaters."	150.00/20 limited betters and Centeds. Controls and epipment must be initialited in accosison with manufacturer's instructions. Instruct betters and Centeds. Controls must not typess a diment, coupant senser, or accosy sensor function if the control is leaded to graduate the state of the control is related to access and centeds. Controls must not typess a diment, coupant senser, or access sensor function if the control is leaded to access and centeds.	(fre rellay)
with sea	DOCUMENTATION AUTHOR'S DECLARATION STATEMENT		Building Cooling and Heating Loads. Heating and runding and cooling loads are calculated h accordance with the ASHRVE Handbook, § 151.00)1. Equipment Volume, Applications Volume, and Fundamentialis Volume, the SMACVA Relational Confect System Installation Standarts Manuer, or the ACCA Manual Loading design coolings perioding 19, 100, 102.	§ 150.0(x)2F: Interior Switches and Controls. Lighting controls must comply with the applicable requirements of § 110.9.	EXP. MAR 31, 2023
LOP DAT	1. I certify that this Certificate of Compliance documentation's accurate and complete. Documentation Author Name: Docu	currentation Author Signature: Devid Kelaht	waruae, or ure vice-vicenae a using people containons specified in y non-vipite.		THE OF CALLEGE
No Chi	David Knight Company: Signe	rature Date: 2/10/2021			
that were c	Address: CEA/	Z/10/2021 A/ HEIS Certification (drapplicable):			Į Zo
	26465 Carmel Rancho Blvd. Suite 8	R13-13-10018			
5. C	City/State/Zip: Phon	onel	2019 Low-Rise Residential Mandatory Measures Summary	2019 Low-Rise Residential Mandatory Measures Summary	
64 D1 7714	City/State/Zp: Phon	(004) 070 0020	§ 150 (b)(34: Clearances. Air conditioner and heat pump outdoor condensing units must have a clearance of at least 5 feet from the outlet of any dryer vent.		
N 61 194	City/State/Zp: Phon	(004) 070 0020	Stat 20/03/2: Clearances. Air conditioner and heat pump outdoor condensing units must have a clearance of at least 5 led from the outlet of any dryar vent. Usati Liber Dies. Air conditioners and heat pump outdoor condensing units must have a clearance of at least 5 led from the outlet of any dryar vent.		
- 10 M	Carphrain/Pp Nov Carphrain/Pp 1000,042,003 INSPONDENT PERSON INCLAMENON SINTERNAME INCLAMENT PERSON INCLAMENON SINTERNAME Include the energy tensors and entropy and energy tensors and Includes and the energy tensors and entropy and energy tensors and Includes any energy energy and and any energy and any energy and Includes any energy energy and any energy and any energy and any energy and Includes any energy energy and any energy and any energy and any energy and Includes any energy and any energy and any energy and any energy and any energy and Includes any energy and any energy any energy and any energy and any energy and Includes any energy and any energy any energy and any energy and any energy any energy any energy any energy any energy and any energy any energy any energy any energy any energy	(831) 372-8328 (831) 372-8328 (831) 372-8328 (932) (932	Stat 20/03/2: Clearances. Air conditioner and heat pump outdoor condensing units must have a clearance of at least 5 led from the outlet of any dryar vent. Usati Liber Dies. Air conditioners and heat pump outdoor condensing units must have a clearance of at least 5 led from the outlet of any dryar vent.		
10.1 M	City/State/Zip: Phon	(004) 070 0020	Statuses. An orabiditory and hair purposition continuing with nucl how a situance of all wate 5 heir bios how and of any purposed. Statuses. An orabiditory and hair purposition continuing with nucl how a situance of all wate 5 heir bios how and of any purposed. Statuses. Statuse	Even of the second	
	Continue (CA 9392/3 EXEMPTION FIRST	(831) 372-8328 (831) 372-8328 (831) 372-8328 (932) (932	1962,000: Cleanates. All conditioner and half purity outdoor conducting with much here a disease of all and 5 held both the cold of any dyna well. 1962,000: Cleanates. All conditioner and head purity outdoor conducting with much here a disease of all and 5 held both the cold of any dyna well. 1962,000: Cleanates. All conditioner and head purity outdoor conducting well. 1962,000: Entry & TeAh Machiner, Monthel well well. Solutioner and the angle well. All conducting the cold of all systems and the all systems and the all systems. 1962,000: Entry & TeAh Machiner, Monthel well well. Solutioner and the all systems and the all syst	Even of the second	
	Controls (CA 59323 Extraordiant Intercont Section 2014) Extraordiant Intercont Section 2014 Extraordiant Inte	ee (ES1) 372-8328 (ES1) 672-8328 Aller drives locations of Conditions Aller of Conditions and Conditions Aller of Conditions Aller of Conditions Aller of Conditions Aller of Conditions Cond	Status Status<	Even of the second	
	Conference 10: 2012 - 2	ee (ES1) 372-8328 (ES1) 672-8328 Aller drives locations of Conditions Aller of Conditions and Conditions Aller of Conditions Aller of Conditions Aller of Conditions Aller of Conditions Cond	Status Status<	Even of the second	
	Continue (CA 59322) Excitoration Intercontinue (CA 59322) E	eer (B31) 372-8328 (B31) 372-832 (B31) 372-	Status Status<	Even set in the set of setup. A new participant paragraphic paragraphice paragraphic paragraphic paragraphic paragraphic paragraphic	
	Confirmed. The Control of Control	eer (B31) 372-8328 (B31) 372-832 (B31) 372-	Status Status<	Even set in the set of setup. A new participant paragraphic paragraphice paragraphic paragraphic paragraphic paragraphic paragraphic	
	Confirmed. The Control of Control	ees (B31) 372-8328 (B31) 372-832 (B31) 372-8	Status Status<	Even set in the set of setup. A new participant paragraphic paragraphice paragraphic paragraphic paragraphic paragraphic paragraphic	I DRNER DCEA SAN ANTONI LER OCEMANTONI LER OCEMANTONI LER OCEMANTONI
	Confirmed. The Control of Control	ees (B31) 372-8328 (B31) 372-832 (B31) 372-8	1900/00 Temperature and inclusion and their party collect constraining with runk have a shares of all as 1 held tool the solid of any dynamic. 1900/00 Temperature and inclusion and their party collect constraining with runk have a shares of all as 1 held tools have all dynamic and the party temperature and temperature anditemperature and temperatend and temperature and tem	Even set in the set of setup. A new participant paragraphic paragraphice paragraphic paragraphic paragraphic paragraphic paragraphic	RNER OCEA AN ANTONI UDEN ANDONI
	Confirmed. The Control of Control	ees (B31) 372-8328 (B31) 372-832 (B31) 372-8	Status How much the construct of Mark and Status (and Status (Even set in the set of setup. A new participant paragraphic paragraphice paragraphic paragraphic paragraphic paragraphic paragraphic	I DRNER DCEA SAN ANTONI LER OCEMANTONI LER OCEMANTONI LER OCEMANTONI
	Capitantine in the CA 03/22/2 Capitantine in the CA 03/22/2	me ((31) 1372-5335 ((31) 1372-5335 (31) ((31) ((32) ((31)	Status Contract of the status Status 19 00.00 The status The status <td>Even of the second second</td> <td>CORNER OCEA D SAN ANTONI DRARELENTHE BEAL DA 199211 AVE</td>	Even of the second	CORNER OCEA D SAN ANTONI DRARELENTHE BEAL DA 199211 AVE
	Capitantine in the CA 03/22/2 Capitantine in the CA 03/22/2	ver ((\$13) 1372-5328 Mag dengs testerfield an this Costfactor of Correlations. Marker address in the Trappendies of Correlations (Berner Wahnerstein) specific Dengement Specification operative Dengement server. The Trappendies of Correlation of Correlations of Correlations (\$230) (220-5164)	Status Contract of the status Status 19 00.00 The status The status <td>Even of the second control of the secon</td> <td>E CORNER OCEA ND SAN ANTONI Re odaree ocean and san antoni</td>	Even of the second control of the secon	E CORNER OCEA ND SAN ANTONI Re odaree ocean and san antoni
	Capitantine in the CA 03/22/2 Capitantine in the CA 03/22/2	me ((31) 1372-5335 ((31) 1372-5335 (31) ((31) ((32) ((31)	Status Contract of the status Status 19 00.00 The status The status <td>Even of the second control of the secon</td> <td>NE CORNER OCEA AND SAN ANTONI NE CORNER AND SAN ANTONI</td>	Even of the second control of the secon	NE CORNER OCEA AND SAN ANTONI NE CORNER AND SAN ANTONI
	Capitantine in the CA 03/22/2 Capitantine in the CA 03/22/2	me ((31) 1372-5335 ((31) 1372-5335 (31) ((31) ((32) ((31)	State The state of the state o	Even of the second control of the secon	NE CORNER OCEA AND SAN ANTONI NE CORNER AND SAN ANTONI
	Capitantine in the CA 03/22/2 Capitantine in the CA 03/22/2	me ((31) 1372-5335 ((31) 1372-5335 (31) ((31) ((32) ((31)	State The state of the state o	Even of the second control of the secon	NE CORNER OCEA AND SAN ANTONI NE CORNER AND SAN ANTONI
	Capitantine in the CA 03/22/2 Capitantine in the CA 03/22/2	me ((31) 1372-5335 ((31) 1372-5335 (31) ((31) ((32) ((31)	State Construction of the state of the stat	Even of the second control of the secon	NE CORNER OCEA AND SAN ANTONI NE CORNER AND SAN ANTONI
	Capitantine in the CA 03/22/2 Capitantine in the CA 03/22/2	me ((31) 1372-5335 ((31) 1372-5335 (31) ((31) ((32) ((31)	Status Contract of an antibactic status Statu	Even of the second	NE CORNER OCEA NDATORY AND SAN ANTONI NMARY NE CORRECENTING SAN ANTONI
	Capitantine in the CA 03/22/2 Capitantine in the CA 03/22/2	me ((31) 1372-5335 ((31) 1372-5335 ((31) 1672-5335 ((31) 1620-5164 me statustication of a statustication of a statustication of a statustication me ((31) 1620-5164 me statustication of a statustication of a statustic	Nome Number of the state of th	Even set in the set of setting is a set of setting is a setting of setting of the set of setting of the set of setting is a setting of the setting of t	NE CORNER OCEA NDATORY AND SAN ANTONI NMARY NE CORRECENTING SAN ANTONI
	Capitantine in the CA 03/22/2 Capitantine in the CA 03/22/2	me ((31) 1372-5335 ((31) 1372-5335 ((31) 1672-5335 ((31) 1620-5164 me statustication of a statustication of a statustication of a statustication me ((31) 1620-5164 me statustication of a statustication of a statustic	State Control	Even set in the set of setting is a set of setting is a setting of setting of the set of setting of the set of setting is a setting of the setting of t	NE CORNER OCEA NDATORY AND SAN ANTONI NMARY NE CORRECENTING SAN ANTONI
	Capitantine in the CA 03/22/2 Capitantine in the CA 03/22/2	me ((31) 1372-5335 ((31) 1372-5335 ((31) 1672-5335 ((31) 1620-5164 me statustication of a statustication of a statustication of a statustication me ((31) 1620-5164 me statustication of a statustication of a statustic	State Control State <	Even set in the set of setting is a set of setting is a setting of setting of the set of setting of the set of setting is a setting of the setting of t	NE CORNER OCEA NDATORY AND SAN ANTONI NMARY NE CORRECENTING SAN ANTONI
	Capitantine in the CA 03/22/2 Capitantine in the CA 03/22/2	me ((31) 1372-5335 ((31) 1372-5335 ((31) 1672-5335 ((31) 1620-5164 me statustication of a statustication of a statustication of a statustication me ((31) 1620-5164 me statustication of a statustication of a statustic	State Control State <	Even set in the set of setting is a set of setting is a setting of setting of the set of setting of the set of setting is a setting of the setting of t	ZD19 LOW-RISE DENTIAL MANDATORY AND SAN ANTONI RE CORNER OCEA AND SAN ANTONI NE CORNER OCEAN ANTONI NE CORNER OCEAN AND SAN ANTONI
	Capitantine in the CA 03/22/2 Capitantine in the CA 03/22/2	me ((31) 1372-5335 ((31) 1372-5335 ((31) 1672-5335 ((31) 1620-5164 me statustication of a statustication of a statustication of a statustication me ((31) 1620-5164 me statustication of a statustication of a statustic	State Control	Even set in the set of the s	NE CORNER OCEA AND SAN ANTONI NE CORNER AND SAN ANTONI
	Capitantine in the CA 03/22/2 Capitantine in the CA 03/22/2	me ((31) 1372-5335 ((31) 1372-5335 ((31) 1672-5335 ((31) 1620-5164 me statustication of a statustication of a statustication of a statustication me ((31) 1620-5164 me statustication of a statustication of a statustic	State Control	Even set in the set of setting is a set of setting is a setting of setting of the set of setting of the set of setting is a setting of the setting of t	2019 LOW-RISE RESIDENTIAL MANDATURY MEASURES SUMMARY NE CORVED CEAN ANTONI
	Capitantine in the CA 03/22/2 Capitantine in the CA 03/22/2	me ((31) 1372-5335 ((31) 1372-5335 ((31) 1672-5335 ((31) 1620-5164 me statustication of a statustication of a statustication of a statustication me ((31) 1620-5164 me statustication of a statustication of a statustic	State Control	Even set in the set of the s	
	Capitantine in the CA 03/22/2 Capitantine in the CA 03/22/2	me ((31) 1372-5335 ((31) 1372-5335 ((31) 1672-5335 ((31) 1620-5164 me statustication of a statustication of a statustication of a statustication me ((31) 1620-5164 me statustication of a statustication of a statustic	State Control	Even set in the set of the s	NE CORNER OCEA MEASURES SUMMARY MEASURES SUMMARY NE CORNER OCEA AND SAN ANTONI NE CORNER OCEAN ANTONI NE CORNER OC
	Capitantine in the CA 03/22/2 Capitantine in the CA 03/22/2	me ((31) 1372-5335 ((31) 1372-5335 ((31) 1672-5335 ((31) 1620-5164 me statustication of a statustication of a statustication of a statustication me ((31) 1620-5164 me statustication of a statustication of a statustic	State Control	Even set in the set of the s	
	Capitantine in the CA 03/22/2 Capitantine in the CA 03/22/2	me ((31) 1372-5335 ((31) 1372-5335 ((31) 1672-5335 ((31) 1620-5164 me statustication of a statustication of a statustication of a statustication me ((31) 1620-5164 me statustication of a statustication of a statustic	State Control	Even set in the set of the s	
	Capitantine in the CA 03/22/2 Capitantine in the CA 03/22/2	me ((31) 1372-5335 ((31) 1372-5335 (31) ((31) ((32) ((31)	State Control	Nome Event behavior Event behavior <td></td>	
	Capitantine in the CA 03/22/2 Capitantine in the CA 03/22/2	me ((31) 1372-5335 ((31) 1372-5335 (31) ((31) ((32) ((31)	State Control		

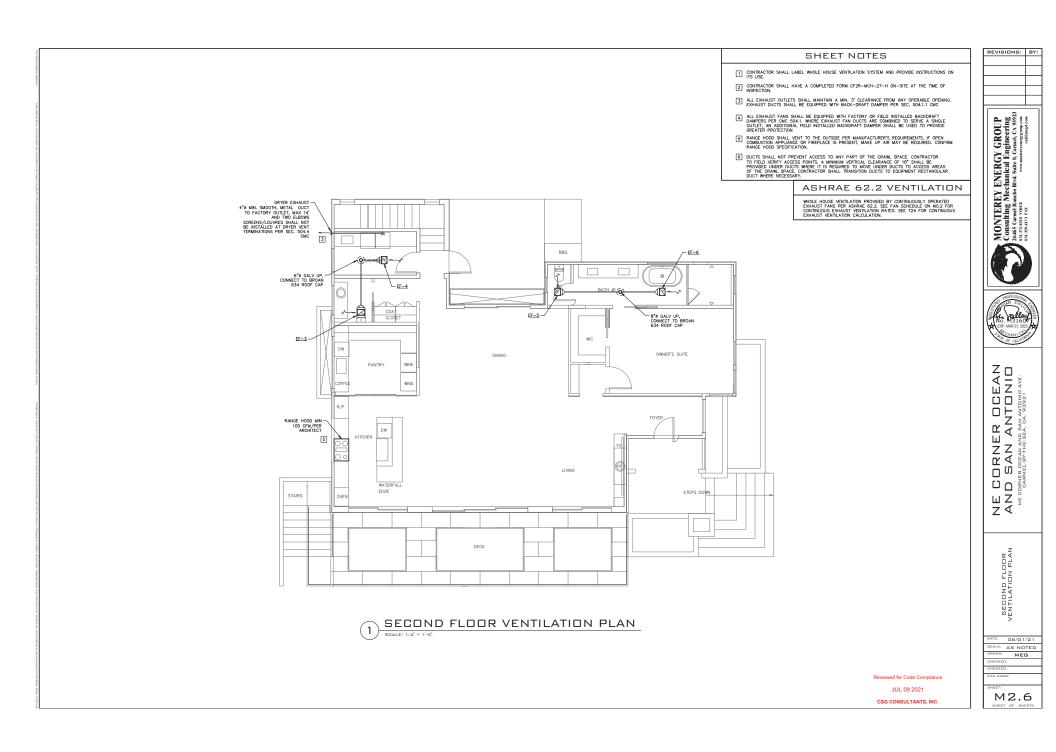


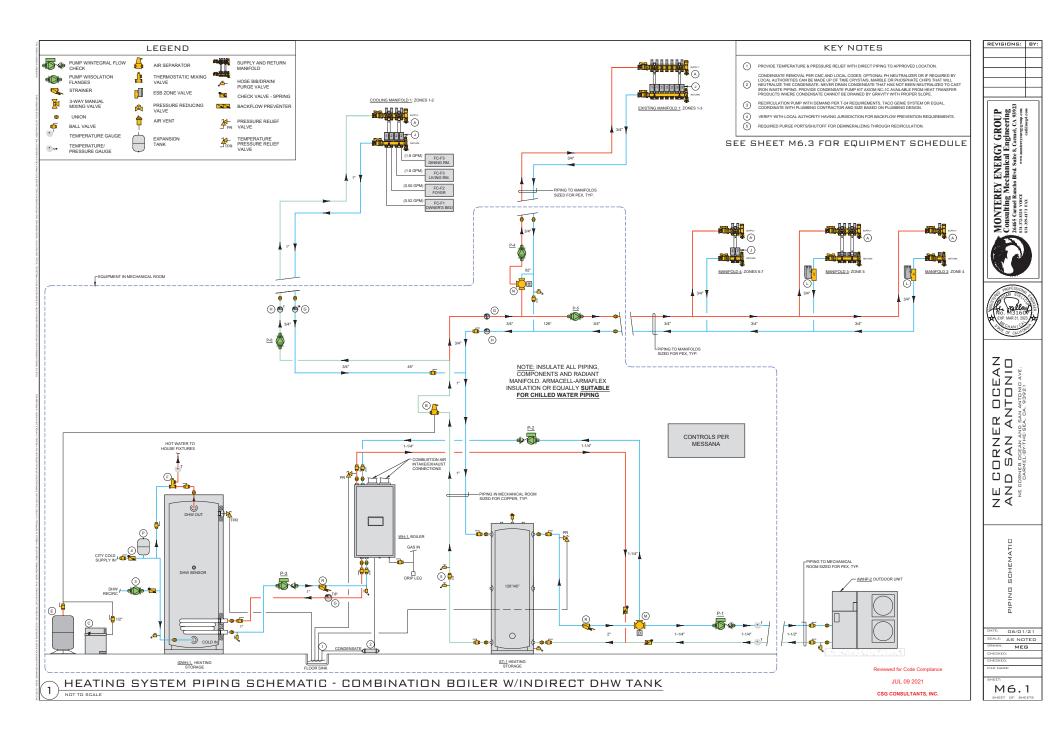




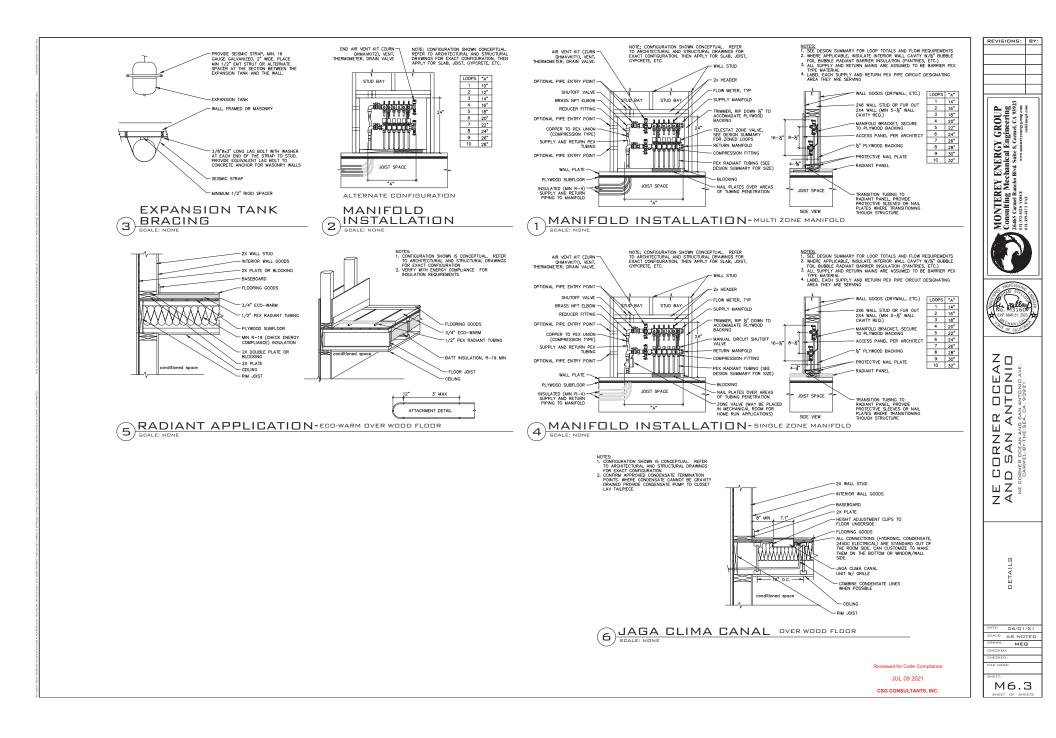


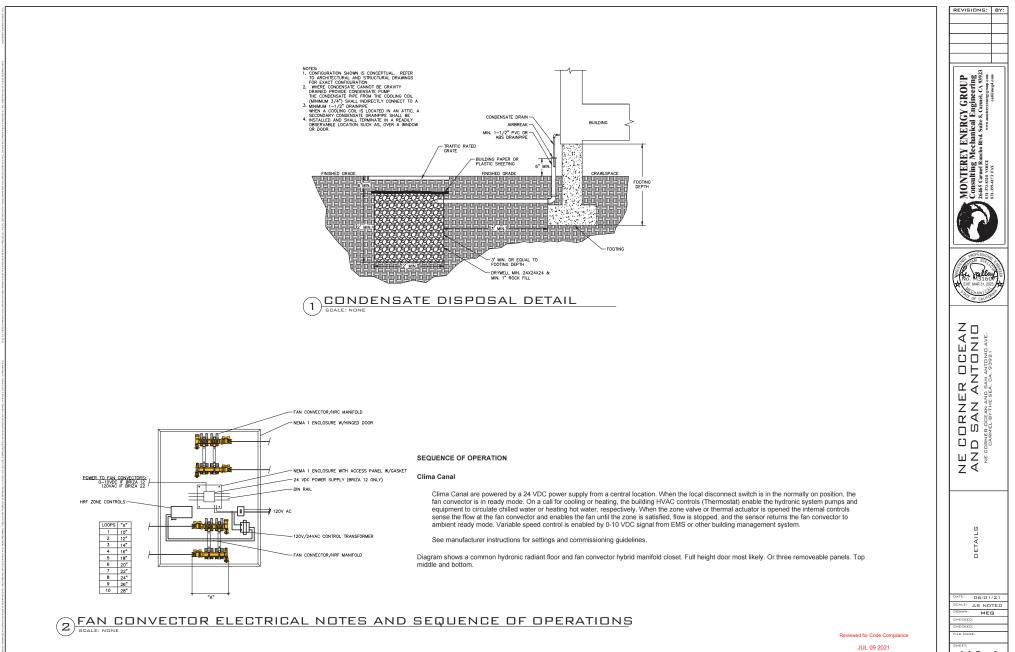






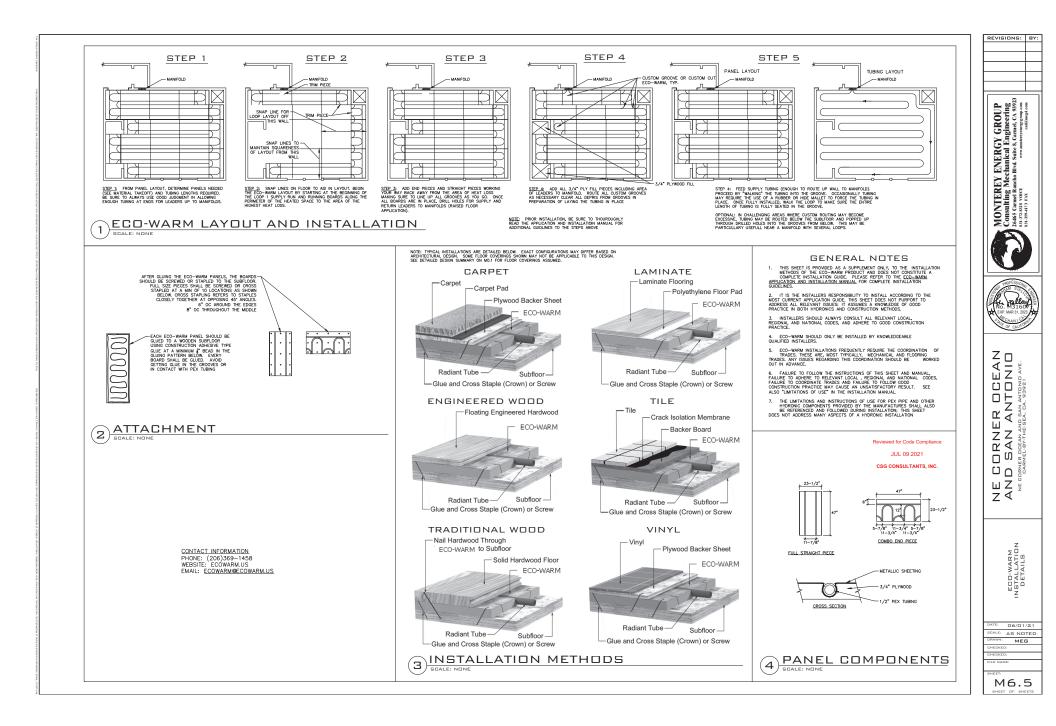
	1		
	SHEET NOTES		REVISIONS: BY:
<u>GEN</u> 1.TH	HERAL INSTRUMENG IS CONCEPTUAL AND DIAGRAMMANTC AND DOES NOT CONSTITUTE A COMPLETE PLAN. INSTALLER TO SUPPLY AND INSTALL ALL MATERIALS BIOWN ON THIS PLAN AND ALL OTHERS NEEDED TO COMPLETE THE HIFMORE SYSTEM LAGS PROVISE ANY INCEDENT. WORK NOT SUPPLY INFOLO LIE DE REMOVALE REGISTER LAGS BELORISATO TO THE WORK INCESSANT TO PROVICE THE COMPLETE FINO OLIVILE DE UNIONE ON BLATTING TERMINA DI ANDI ANDI ALTONEN DI ANDI STALLAMON FACTURES QUICLINES SPECTAMON TO THE INSTALLATION, PROTECTION AND MATTENNICE OT THE INTERTION OF MENTING TERMINA DI ANDI ANDI ALTONEN DERRITO ALL AMMUNACTURES QUICLINES SPECTAMONS TO THE INSTALLATION, PROTECTION AND MATTENNICE OT THE INTERTION OF MENTING TERMINA DI ANDI ANDI ANDI MATTENNICE OT THE INTERTION OF MENTING TERMINA DI ANDI ANDI MATTENNICE OT THE INTERTION OF MENTING TERMINATION OT THE INSTALLATION, PROTECTION AND MATTENNICE OT THE INTERTION OF MENTING TERMINATION OT THE INSTALLATION, PROTECTION AND MATTENNICE OT THE INTERTION OF MENTING TERMINATION OT THE INSTALLATION, PROTECTION AND MATTENNICE OT THE INTERTION OF MENTING TERMINES OF MENTING AND	MARK IN OUT V/PH AMPS CON. CW LBS AFUE AND MODEL NOTES	
	COMPLETE THIS HYDRONIC SYSTEM. ALSO, PROVIDE ANY INCIDENTAL WORK NOT SHOWN OR SPECIFIED, WHICH CAN BE REASONABLE INFERRED AS BELONGING TO THE WORK NECESSARY TO PROVIDE THE COMPLETE SYSTEM.	WH-T 10.0 147.3 1/2 1 120 95.0 ASPEN ASPN-165 B1-82	
2 C0 3 RE	NLY QUALIFIED PLUMBING OR HEATING TECHNICIAN SHALL INSTALL THE HEATING SYSTEM. EPERT OT ALL MANUFACTURES GUIDELINES PERTAINING TO THE INSTALLATION, PROTECTION AND MAINTENANCE OF THE HOT WATER SOURCE.	HEAT SOURCE NOTES B1. ASPEN FIRE TUBE BOLER IS A SEALED COMBUSTION DIRECT VENT UNIT. SEE VENTING SHEET FOR VENTING OPTIONS. B2. ASPEN FIRE TUBE SHALL BE MOUNTED MIN. 18' ABOVE FINISHED FLOOR IN A GARAGE. PROVIDE PROTECTIVE	
cou 4.5 6 W	MPONENTS NFERE APPLICABLE, SWING CHECK VALVES SHALLE BMOUNTED IN AN UPRIGHT POSITION. MERE APPLICABLE, SWING CHECK VALVES SHALLE BMOUNTED IN AN UPRIGHT POSITION. MERE APPLICABLE, PROVIDE A MINIMUM OF 8 PIPE DIAMETERS OF STRAIGHT PIPE UPSTREAM OF ALL SPRING	DAMAGE BARRIERS FROM AUTOS.	UP ing 93923 93923
C C	CHECK VALVES.		ROI el, CA
SUB 7.N	BSTITUTIONS NSTALLER SHALL OBTAIN AUTHORIZATION FROM THE OWNER AND DESIGN TEAM FOR 'OR EQUAL' SUBSTITUTIONS ON HEATING SYSTEM COMPONENTS. CONTRACTOR SHALL PROVIDE SUBMITTAL ON	MARK KETUH ELECTRICAL HW/ WT COP MANUFACTURER NDTES	MONTEREY ENERGY GROUP consulting Mechanical Engineering 2465 Camel Rundo Bitl, Saite, K, Camel CA, 1937 2453 Camel Rundo Bitl, Saite K, Camel Rundo Bitl, Saite K, Camel CA, 1937 2453 Camel Rundo Bitl, Saite K, Camel Rundo Bitl, Saite K, 2000 2453 Camel Rundo Bitl, Saite K, Camel Rundo Bitl, Saite K, 2000 2453 Camel Rundo Bitl, Saite K, Camel Rundo Bitl, Saite K, 2000 2453 Camel Rundo Bi
	STALLES RAUL OBTION AUTHORIZATION FROM THE OWNER AND DESIGN TEAM FOR "OR EDUL" SUBSTITUTIONS ON THE OWNER SYSTEM COMPARENTS CONTRACTOR SHALL PROVIDE SUBITIAL ON ADDRESS VERSIONAL DISCONTANTI AND THE ADDRESS AND OFTONE. ORDERS VERSIONAL DISCONTANTA ROBEL (PARKAR DE ADDRESS) TEAM FOR ADDRESS AND PEX AND	AWHP-1 56.3 49.5 230/1 21 1-1/4* 326 4.67 SIM-060 H1-H3	
	MINIMULUS3* SHALL BE INC FEX, DEVINING, AND REPORT COMPATIBLE WITH REPROTED FEX AND FEXAD FEX SEE WARMBOARD SPECE FOR APPLICABLE JOBS). TELESTATS SHALL BE COMPATIBLE WITH MANIFOLD AND CONTROLS SYSTEM. PIMPS - GRINDFOS WILD TACO	AIR TO WATER HEAT PUMP NOTE HT. LISTED COLING CAPACITY ASSUMES 95'F OAT AND 47'F LWT. H2. LISTED COLING CAPACITY ASSUMES AT 95'F OAT AND 47'F LWT. H3. 272 COPA MD 929 FER	ENH hani Bivd. S
	CONTROLS SYSTEM PUMPS - GRUNPOS, WILO, TACO EXPANSION TAWES - ANTROL, EUR, FLEXCON COMPONENTS (CHAOS, ETC) - CALEFR, WATTS		EY Mec
AR 8.51 R	I FOR COMBUSTION AND GAS LINES SYSTEM IS SEALED COMBUSTION DIRECT VENT, SEE MANUFACTURERS VENTING SHEET FOR VENTING REQUIREMENTS.	INDIRECT WATER HEATERS	
9AL C W	TS TERM SEALED COMBOSTING DIRECT VENT, SEE MANDALD DERSY VENTING SHEET FOX VENTING EQUIREMENTS. LL ROCTING OF GAS LINE PIPING SHALL BE BASED ON THE CHAPTER 12 OF THE 2016 CALFORNIA PLUMBING DOGE MAD CHAPTER 13 OF THE 2016 CALFORNIA MECHANICAL CODE. PIPING SHALL BE NEW, STANDARD WEIGHT INQUEHT IRON OR STELL (EXTERIOR-ONLY GALVANZED OR BLACK) WITH MALLEABLE IRON FITTINGS. PAPROVED RE (FOX-TENT-LENE) PIPING WAS BUSED IN STEREOR SUBTED REVISE SYSTEMS.	BURNHAM ALLIANCE	0NJ 55 Carl 55 Carl
A 5155 516	APPROVED PE (POLY-ETHYLENE) PIPE MAY BE USED IN EXTERIOR BURIED PIPING SYSTEMS. STEM FLUSHING AND WATER TREATMENT SYSTEM SHALL BE LITISHER OF DEBDIE ANN CHEMICALLY WASHED WITH EEDINGY OF ECHAL DRIOP TO ELITING.		
	WITH TREATED WATER. DRAIN THE SYSTEM COMPLETELY AFTER WASHINGTON WERE DECESSARY TO USE COMPRESSED JURI. SYSTEM SHALL BE FILLED WITH DEMINERALIZED WATER USING AXIOM PUROPAL OR CALEFFI HYROFILL	MARK GAL KBTUH RECOV. AT LBS DIM. MANUF. CAP IN 90°F RISE FULL HT.X DIA. MODEL	
0 8 R 129	STEM FULMING AND WALTER TRAGATINET. STEM SUBJECTS AND RESTANCE OF GEBINS AND CHEMICALLY WISHED WITH FERNOX OR FOUL PRIOR TO FILLING WITH TRAFLED WATER. DRAIN THE SYSTEM COMPLETELY AFTER WASHING (MAY BE NECESSARY TO USE COMPRESSED AND SYSTEM SHALL BE FILLED WITH GEMINERALIZED WATER USING AXIOM PURDAL OR CALEFFI INFORFLI DEMIRARIZER: STREMM WE FEILED WITH UNITRACITES DOCES WITER FIRST AND DEMIRENALIZED BY RECORDULTION THROUGH THE ATTERNA AN OPTION. WEORGOLIATION THROUGH THE ATTERNA AN OPTION.	ST-1 50 · · 618 39-12'x2'' CALEFFI NAS2050	
P	PRESSURE.	PUMPS	
		MARK FT MANUF. MODEL MOTOR NOTES HP V/PH AMPS EFF. NOTES	PROFESSIONAL PROFESSIONAL
		P-1 13 28 TACO VR3452-FC1A00 1/4 115/1 2.5 NA P1-P3	Hi allay
		P.2 14.4 3.7 TACO 0014-F1-JFC 1/8 1151 1.55 NA P1-P3 P.3 6.0 7.0 TACO 0010-F3-1 JFC 1/8 1151 1.00 NA P1-P3	EXP. MAR 31, 2023
		P4 24 123 TACO 008e3 NA 120/1 0.54 NA P1-P2	OF CAULOS
		P_5 3.0 12.7 TACO 008e3 NA 120/1 0.54 NA P1-P2 P_6 4.62 16.8 TACO VR1816-HY1-4C2A00 NA 120/1 0.54 NA P1-P2	
		PUMP NOTES PT: ROVIDE MINIMUM 12 PIPE DIAMETERS UPSTREAM OF PUMP INLET. PROVIDE FULL PORT ISOLATION SHUTOFF BALL VAN UP OR ISOL FLAMETE AT ALL BUMPS	EAN NIC
		BALL VALVE OR ISO-FLANGES AT ALL PUMPS. P2. A SPRING OR FLOW CHECK VALVE SHALL BE INSTALLED IN PLACE OF A PUMP INTEGRAL CHECK VALVE. P3. ASSUMES PEX-PIPING AT 15, AT 15 GPM.	I I Z ≩
		SYSTEM COMPONENTS	CORNER OCE D SAN ANTOR BRUER OCEVAN AND ANTOR BRUER OCEVAN AND ANTORIO
		MARK COMPONENT MANUF. MODEL NOTES	
		A SUPPLY & RETURN MANIFOLD - COMPOSITE MANIFOLD C1 B AIR ELIMINATOR TACO 4900 SERIES 49-100 -	Ц Ц Ц П Ц Ц Ц Ц Ц Ц Ц Ц Ц Ц Ц Ц Ц Ц Ц Ц
		C HYDRONC FEEDER SYSTEM GTP GRE07-E7-4/NNT E EXPANSION TANK ELBI XTV-40	RNE SAN LEBYTHE.
		F MIXING VALVE WATTS N170 C2	
		G TEMPIPRESSURE GUAGE MILJOCO PB300004 (i) TEMPERATURE GUAGE MILJOCO B259951-2W	
		J TELESTAT	ШΖΫ
		M MOTORIZED DIVERTING VALVE BELIMO PER MESSANA	Z∢́
		N 3 WAY MIXING VALVE TACO i075C3R-1 P DHW EXPANSION TANK ELBI DXT-18 C2	
		R STRAINER	ы Ш
		STATE COMPONENTS NOTE: CI LIN ESS TOTAL INCOMPONICAL ROOM PIPING SHALL BE COPPER. PIPING FROM MECHANICAL ROOM TO MARPELDS MAY BE PEX. CANTISACED THEMROSTATE MONING VALVE SET TO 119 SHALL BE USED. MOUNT MINIRG VALVE NO HGHER THAN # ABOVE HOT WAITER OUTLET. THAN # ABOVE HOT WAITER OUTLET. AND A COPPTINGE CALLONS AT 49 GOLD LINUES OF SYSTEM VALUE (INCLUDING HANS, 1994 MAX TEMPERATURE AND MAX.2017 SYSTEM PIPING ABOVE MLET TO TANK. SEE MANUFACTURERS GUIDELINES FOR SIZING DIFFERENT THAN THESE PRAVMETERS.	E C Z
		C2. ANTI-SCALD THERMOSTATIC MIXING VALVE SET TO 115 ⁹ SHALL BE USED. MOUNT MIXING VALVE NO HIGHER THAN 8 [°] ABOVE HOT WATER OUTLET. C3. VERIEY EXPANSION TANK SIZE FER FULMBING DESIGN. DHW EXPANSION TANK SHALL BE SIZED FOR 9.5	٤
		ACCEPTANCE GALLONS AT 140 GALLONS OF SYSTEM VOLUME (INCLUDING TANK), 150° MAX TEMPERATURE AND MAX 20FT SYSTEM PIPING ABOVE INLET TO TANK. SEE MANUFACTURER'S GUIDELINES FOR SIZING DIFFERENT THAN THESE PARAMETERS.	а ш Г
	1		EDU
			SCHEDULES
			DATE: 06/01/21
			SCALE: AS NOTED
			CHECKED:
		Reviewed for Code Compliance	FILE NAME:
		JUL 09 2021	M6.2
		CSG CONSULTANTS, INC.	SHEET OF SHEETS



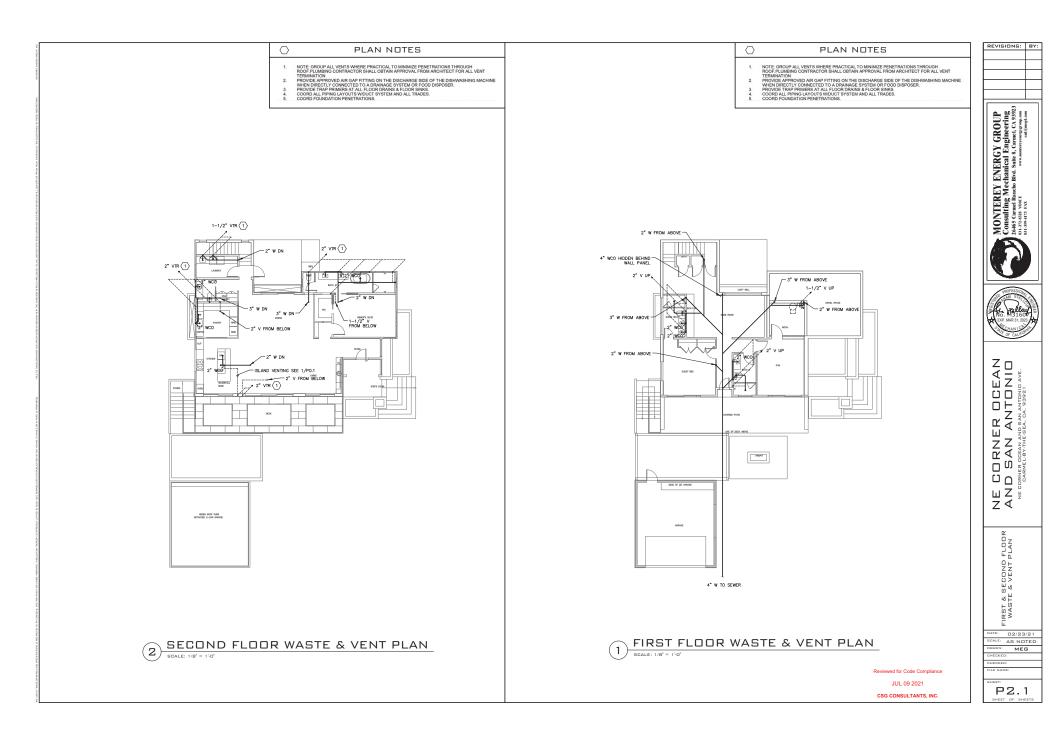


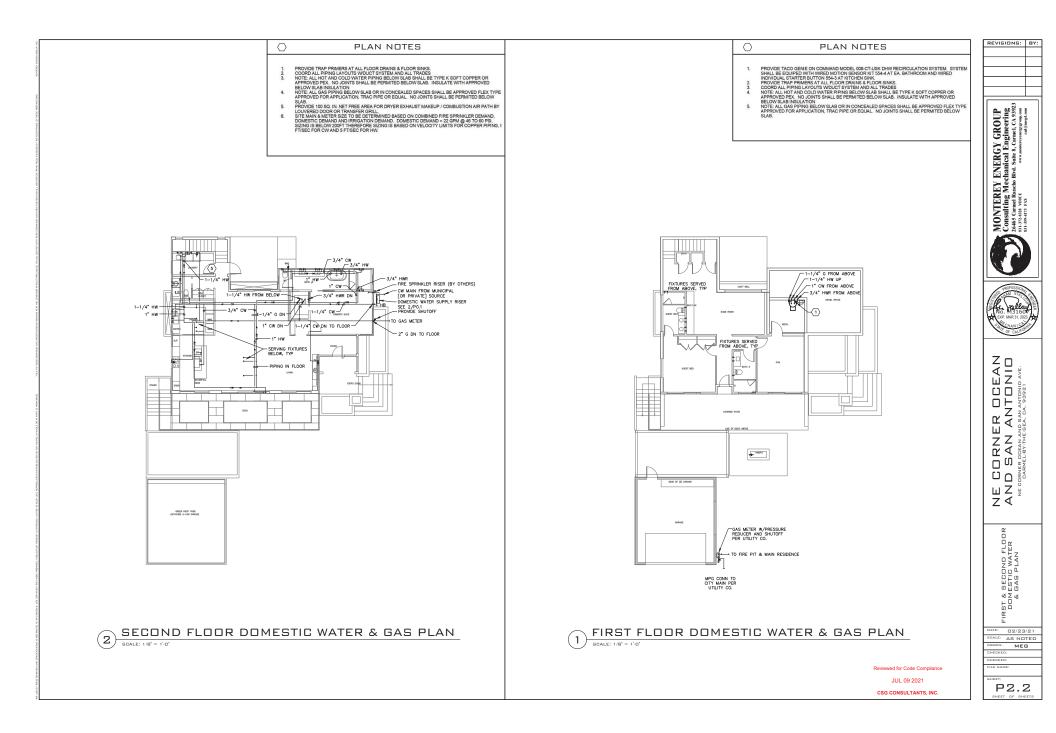
CSG CONSULTANTS, INC

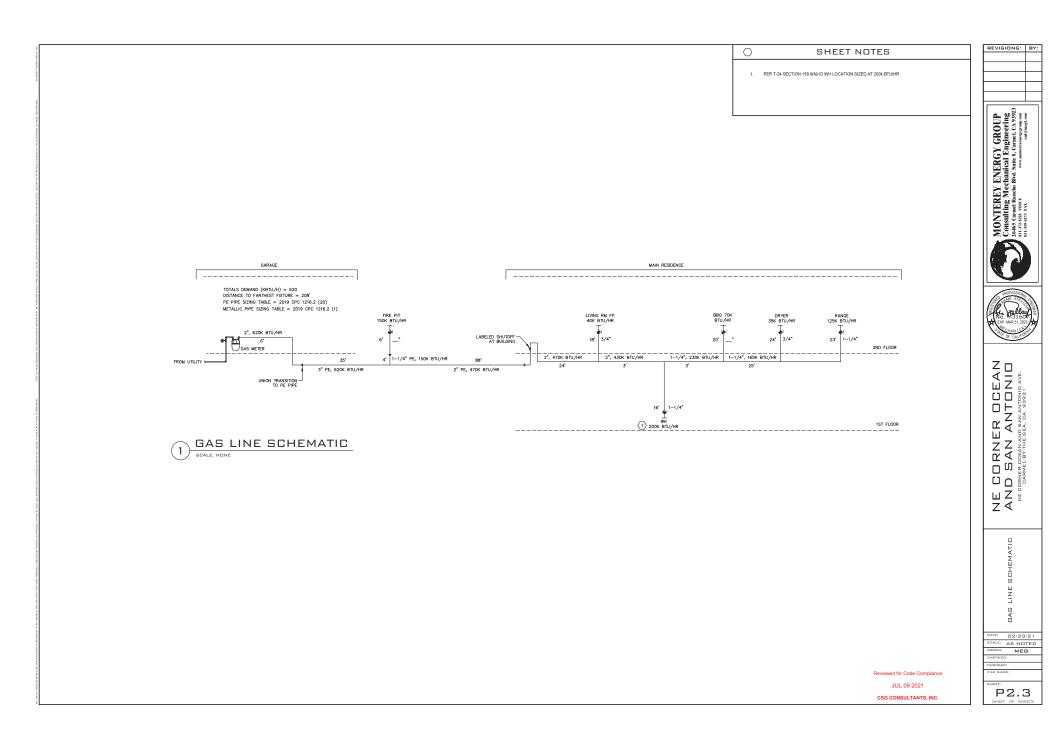
M6.4



PIPE INSULATION THICKNESS TABLE	PLUMBING ABBREVIATIONS	PLUMBING SPECIFICATIONS	PLUMBING SPECIFICATIONS	REVISIONS: BY:	
PIPE INSULATION THICKNESS TABLE NOMINAL PIPE DIAMETER (IN INCHES TEMPERATURE (*) NOMINAL PIPE DIAMETER (IN INCHES (*) INSULATION TEMPERATURE (*) BRACE HEATING, HOT WATER SYSTEMS ISTEAM, STEAM CONDENIATE AND OVERTRI AND SERVICE WATER HARVING SYSTEMS (*) ABOVE 350 0.2300.3 2305 4.0 5.0 5.0 5.0 5.0 5.0 5.0 5.0 5.0 5.0 5.0 5.0 5.0 2.0 2.0 2.0 2.0 2.0 2.0 2.0 <th colspan<="" td=""><td>ARXI - ABCHTEC PRC - LAVATORY ARXI - ADDATIC PRE SPRINCLERS LAV - LAVATORY > BTU/M - BRITSH THETMAL UNITS FER HOUR LBS - POUNDS CD - ODDENSATE DRAN N LBA - LOCER DROTE AMPS CRC - CIRCULATION MAX - WAXMUM CLC - CELING MFG - MEDIUM PRESSURE GAS CONC - CONTRULTION MIN - MUNUMUM COORD - CONTRULTION MIN - MUNUMUM COORD - COORDINATION MIN - MEW COTO - COLAN-CUT TO GRADE NC - MOT IN CONTRACT V - OLD WATER NC - MOT IN CONTRACT V - OLD MATER NO - MOT IN CONTRACT</td><td>PLUMBING SPECIFICATIONS A.General Condition A.General Condition A.General Condition A.General Condition Advance of the 2019 CPC, NPPA and all applicable codes, local average of the stable be in conformance with the 2019 CPC, NPPA and all applicable codes, local average of the stable of the stabl</td><td>PLLIMBING SPECIFICATIONS Nater Supply Piping: All underground water supply piping shall be schedule 40 PVC. Provide tracer wire at all underground waters supply piping shall be schedule 40 PVC. Provide tracer wire at all underground waters supply piping shall be schedule 40 PVC. Provide tracer wire at all underground waters supply piping shall be schedule 40 PVC. Provide tracer wire at all underground waters supply piping shall be schedule 40 PVC. Provide tracer wire at all underground water frameworks Plants and copper piping penetrating frameworks within 1 inch of the exposed framing shall be provide water tradiment together Plantser shall provide water tradiment together Plantser shall provide water tradiment together Plantser shall provide water tradiment together All water supply piping within bidding shall be approved PEX. Hot and codd supples to all tube shall be 34'' minimum. To the maximum hot water transmuture of discharging from the bathub and whitpool bathub</td><td>ROUP meering et.c.43923 afButkien</td></th>	<td>ARXI - ABCHTEC PRC - LAVATORY ARXI - ADDATIC PRE SPRINCLERS LAV - LAVATORY > BTU/M - BRITSH THETMAL UNITS FER HOUR LBS - POUNDS CD - ODDENSATE DRAN N LBA - LOCER DROTE AMPS CRC - CIRCULATION MAX - WAXMUM CLC - CELING MFG - MEDIUM PRESSURE GAS CONC - CONTRULTION MIN - MUNUMUM COORD - CONTRULTION MIN - MUNUMUM COORD - COORDINATION MIN - MEW COTO - COLAN-CUT TO GRADE NC - MOT IN CONTRACT V - OLD WATER NC - MOT IN CONTRACT V - OLD MATER NO - MOT IN CONTRACT</td> <td>PLUMBING SPECIFICATIONS A.General Condition A.General Condition A.General Condition A.General Condition Advance of the 2019 CPC, NPPA and all applicable codes, local average of the stable be in conformance with the 2019 CPC, NPPA and all applicable codes, local average of the stable of the stabl</td> <td>PLLIMBING SPECIFICATIONS Nater Supply Piping: All underground water supply piping shall be schedule 40 PVC. Provide tracer wire at all underground waters supply piping shall be schedule 40 PVC. Provide tracer wire at all underground waters supply piping shall be schedule 40 PVC. Provide tracer wire at all underground waters supply piping shall be schedule 40 PVC. Provide tracer wire at all underground waters supply piping shall be schedule 40 PVC. Provide tracer wire at all underground water frameworks Plants and copper piping penetrating frameworks within 1 inch of the exposed framing shall be provide water tradiment together Plantser shall provide water tradiment together Plantser shall provide water tradiment together Plantser shall provide water tradiment together All water supply piping within bidding shall be approved PEX. Hot and codd supples to all tube shall be 34'' minimum. To the maximum hot water transmuture of discharging from the bathub and whitpool bathub</td> <td>ROUP meering et.c.43923 afButkien</td>	ARXI - ABCHTEC PRC - LAVATORY ARXI - ADDATIC PRE SPRINCLERS LAV - LAVATORY > BTU/M - BRITSH THETMAL UNITS FER HOUR LBS - POUNDS CD - ODDENSATE DRAN N LBA - LOCER DROTE AMPS CRC - CIRCULATION MAX - WAXMUM CLC - CELING MFG - MEDIUM PRESSURE GAS CONC - CONTRULTION MIN - MUNUMUM COORD - CONTRULTION MIN - MUNUMUM COORD - COORDINATION MIN - MEW COTO - COLAN-CUT TO GRADE NC - MOT IN CONTRACT V - OLD WATER NC - MOT IN CONTRACT V - OLD MATER NO - MOT IN CONTRACT	PLUMBING SPECIFICATIONS A.General Condition A.General Condition A.General Condition A.General Condition Advance of the 2019 CPC, NPPA and all applicable codes, local average of the stable be in conformance with the 2019 CPC, NPPA and all applicable codes, local average of the stable of the stabl	PLLIMBING SPECIFICATIONS Nater Supply Piping: All underground water supply piping shall be schedule 40 PVC. Provide tracer wire at all underground waters supply piping shall be schedule 40 PVC. Provide tracer wire at all underground waters supply piping shall be schedule 40 PVC. Provide tracer wire at all underground waters supply piping shall be schedule 40 PVC. Provide tracer wire at all underground waters supply piping shall be schedule 40 PVC. Provide tracer wire at all underground water frameworks Plants and copper piping penetrating frameworks within 1 inch of the exposed framing shall be provide water tradiment together Plantser shall provide water tradiment together Plantser shall provide water tradiment together Plantser shall provide water tradiment together All water supply piping within bidding shall be approved PEX. Hot and codd supples to all tube shall be 34'' minimum. To the maximum hot water transmuture of discharging from the bathub and whitpool bathub	ROUP meering et.c.43923 afButkien
BPACE COOLING BYSTEMS (CHILLED WATER, REFRIGERANT AND BRINE) 40:60 0.21:0.27 75 0.5 0.5 1.0 1.0 1 BELOW 40 0.20:0.27 75 0.5 0.5 1.0 1.0 1 BELOW 40 0.20:0.28 50 1.0 1.5 1.5 1.5 1 FROM TABLE 120:3-3:2010 GEC CAL GREEN FIXTURE CONNECTION TABLE		 A structure instruction of instruction of programming the proposal. A structure instruction of instruction of programming the proposal instruction in sector and the structure shall be a within a structure shall be a structure instructure instruction in sector structure shall be a within a structure shall be a structure structure instructure structure instructure structure structure instructure structure str	The main be limited to 150 degrees F1 year design grant have assume and mitigoto calmout CAR 152.5 Matter have have himmorizing a device that is accordance tas ASEE 1070 or E. Discharge from a well realize into a state heater gas main be prohibited. Plastic well exploy (prior), undergrand outside studies, and Theve a blue insulated copper tracer wire installad adjacent to the piping. The tracer wire shall terminate above grade and be not less than 18 away. 10 Perc piping shall not be installed within the first 18 inches of piping connected to a water heater. Water freeze main on the prior.	ENERGY G thanical Engi Brd. Suite 8, Carm	
MIN BRANCH SIZE TRAD. MAX.COM. COMME	FLEX — FLEXIBLE \$ SW — SWITCH	Horizontal Vertical Cast Iron 18" of Joint Each Floor max 15'	11. Where water pressure exceeds 80 Psi an approved type pressure regulator shall be installed. An approved expansion shall be installed in the cold water distribution piping downstream of	NTEREY sulting Mec carnel Rancho 4173 FAX	
WATER CLOSET 3" 2" 1/2" NA 3" 1	FS – FLOOR SINK TYP – TYPICAL FIR – FLUE THRU ROOF UL – UNDERWRITERS LABORATORY	Copper Pipe < 1-1/2 * 6' > 10' Each Floor max 10' PVC and ABS all max 4' Base, each floor, mid story guideline Pex < 1' at 32' + Base, each floor, mid story guideline	each regulator. 12. All piping in hot water system shall be insulated per CPC insulation schedule.	TER voice rate	
	G – GAS UON – UNLESS OTHERWISE NOTED GALV – GALVANIZED V – VENT	Steel for gas ½ - 6': ¾" to 1-8 > 10' Same	 All copper tubing shall be isolated from framing members with polyethylene isolators or 1/4" fail. Water supply to refrigerators shall be ½" PEX. 	0NJ 5 Carl	
	GPM — GALLÓNS PER MINUTE VTR — VENT THRU ROOF HB — HOSE BIBB W — WASTE	B. Utilities and Site Work: 1. Prior to commencing work, plumbing contractor shall consult representatives of local utilities	 water supply to reingerators small be 's' PEX. Stub out height for water closet supplies to be coordinated with baseboard detail; confirm with architect before installation. 	MO Cons 26465 811-372-8	
	HP — HORSE POWER W/ — WITH HPG — HIGH PRESSURE GAS WC — WATER CLOSET	concerning locations and availability of utilities. Plumbing contractor shall be responsible for any damage to existing utility lines.	 No (2) fixtures shall be served with 1/2" supply piping. Water supply system mains and branches shall be properly sized to deliver adequate water 		
BATH TUB ONLY 2" 1-1/2" 3/4" 3/4" 1-1/2"	HW - HOT WATER WT - WEIGHT HWR - HOT WATER RETURN	 Plumbing contractor shall reroute any existing utility lines in conflict with new construction. Plumbing contractor shall confirm locations and elevations of all existing new and rerouted mains and meters on job record drawings. 	pressure and volume as per the CPC, and to minimize friction generated noise; no 1/2* ID piping shall be installed in walls or ceilings adjacent to living or sleeping areas; piping shall be		
LAVATORY 1-1/2" 1-1/2" 1/2" 1/2" 1-1/2" 0 0 PSI		 mains and meters on job record orawings. 4. Piping in the ground shall be laid on a firm bed for its entire length. 5. Backfilling trenches with piping shall be made with clean earth, no stones, boulders, cinder fill, 	sized so that flow velocities do not exceed 6%econd. 18.All building water systems in which quick acting valves are installed shall be provided with water hammer arrestors per 600;10. A restors shall be installed as close as possible to these		
CLOTHES WASHER 2° 1-1/2° 3/4° 3/4° 2°		frozen earth, construction debris, or other materials that will damage or cause corrosion.	value nammer arresions per dos, i.o. Arresions snan be installed as close as possible to trese value types. 19. Automatic fire sprinkler demand has not been included in sizing of the site main domestic	-RDFESS/0.	
SHOMER 2* 1-1/2* 3/4* 2/4* 2* ● his Pisit 2 NOTES: 1. DuaFlush or equal to or less than 1.28 gailon per flush 1. DuaFlush or equal to or less than 1.28 gailon per flush 2. Individual control valves of the pressure balance or thermostatic mixing valve type shall be provided. 3. Plumbing futures shall meet the standard referenced in CGBSC Table 4.303.3 4. When shower is served by more than one shower had, the combined flow rate of all showerheads and/or other shower outlets controlled by a single valve shall not exceed 1.8 gailons per minute at 80 gpi , of the shower shall be designed to allow only one shower that be designed to allow only one shower that a time. (Note: hand-held shower is to be considered a showerhead). GAS WATER HEATERS MARK LOCATION QL KBN <u>ELCT</u> RECOVERY MS MANUFACTURER MARK LOCATION QL KBN <u>ELCT</u> ATE GOVERY MANUFACTURER MARK LOCATION QL KBN <u>ELCT</u> ATE GOVERY MANUFACTURER MARK LOCATION QL KBN <u>ELCT</u> MS MODEL COMM MEL1 MECH. HE MS MODEL MML1	NUMBER MANFOLD → WCO WALL C.O. ↓ GCO/FCO GRADE C.O./FLOR C.O. ↓ CC GAS COCK ↓ PESSURF/EXPERTATURE FULG ↓ BV BALL VALVE ↓ BV BALL VALVE ↓ BV BALL VALVE ↓ BVSOV BALL VALVE ↓ BVSOV BALL VALVE ↓ BVSOV BALL VALVE ↓ OVSOV BALL VALVE ↓ OVSOV BALL VALVE ↓ BVSOV BALL VALVE ↓ OVSOV BALL VALVE ↓ OVSOV BALL VALVE ↓ OVSOV BALL VALVE ↓ OVSOV BALL VALVE ↓ OUTSOE SOER & ATOCE ANTERS RELET VALVE ↓ DOSP DOBLE OFECK BACFLOW PREVENTER ↓ DOSP DOBLE OFECK BACFLOW PREVENTER ↓ UNION CENTRETIONAL WATE PUMP ↓ PEDUCE PRESS BACFLOW NERVEN	 Chrain, Waste and Vent All waste piping below test floor shalla be schedule 40 ABS or schedule 40 PVC DWV. All waste piping another state floor floor flattines shall be no-hub caraki-no. (Note: piting and trap: another and the caration. The state in the schedule 40 ABS shall be allow 2nd floor plattine in the schedule AD PVC DWV. All waste piping below test floor and sensitions not marked by PVC DWV. All waste piping below test floor and sensitions and marked by PVC DWV. All waste piping below test floor and sensitions with an ADS shall be allow 2nd floor plattine in the schedule AD PVC DWV. All waste piping below test floor and sensitions and marked PVC DWV. All waste piping below test and the schedule AD PVC DWV. All waste and be instable to provide waste for installing. Characotics with an childed to provide hybrid by DVC DWV. Puncter shall provide waste for schedule and the schedule AD PVC DWV. Puncter shall provide waste for schedule installing. Characot destances and the instables shall discharge indirectly through an air gap fifting in accordance with section 607. If no a waste receptor, a wy behanch. Childring on the tables of a long and market and through and installing of the tables of an accordance with section 607. If no a waste receptor, and the canotic. User 135 degrees in house the data of a discordance with section 607. If no a waste receptor, and the canotic User 135 degrees in the accordance with section 607. If no a waste receptor 140 minute and transmit acah through all waste the schedule and the canotic USer 135 degrees in the accordance with section 607. If no a waste receptor 140 minute achievable and and the accordance with section 600 minutes and the accordance with section 600 minutes and the accordance with a schedule the section 600 minutes and the accordance with the building. Characot destances in ford thall be endyed in no table and the accordance thal be a	 water supply. Courd WE'S contractor for upsizing requirements for contribution fixed from single metrics. E. Gas Piping: Underground national gas piping from meter shall be run in polyeithylene pipe with tracer wire. Sanging within house shall be run in black it no pipe with galavrized fittings. Threaded pipes galant be made up with hole, pater, rector waler 1, without pater shall be run in the stack it no pipe with shall be run in the stack it no pipe with the state it hands. Threaded pipes galant be made up with hole, pater, rector waler 1, without pater shall be run in the stack it no pipe with shall be run in the stack it no pipe with the state it hands. Threaded pipes galant be index to express a provide sequivalent protection to the machine applied coating. Extentor piping within hole and a prot CPC. Thus shower and the bin metal be accordingly. Borner that shall be index to express the made sear CPC. Roman that shall be nearble one state and shall provide equivalent protection to the showers; rough-in vision and contractor with malinexelw. Roman that shall be act in motatus within Stapper benerah montar with 6 mi visqueen integrate distributions. Roman that shall be a contributed with job alle supervisor. Entities contractor whall be responsible for protection of all finished work by other trades: pubmeters working on finished forces that use corrections that be bars and a state space. I. Hourd on dward studentics beams and integrates or the accessory. Roman to distribute the shall be correction to all finished work by other trades: pubmeters working on finished forces that use corrections that the sequent source. I. Roman col dward studentics the shall be correction to all finished work by other trades: pubmeters working on finished toors that use corrections that the source. I. Roman use shall be integrate to the accessory. Roman to distri	NE CORNER OCEAN AND SAN ANTONIO NE CORRECT OCEAN	
	TRAPS FOR ISLAND SINKS AND SIMILAR EQUIPMENT SHAL ROUGHED IN ABOVE THE FLOOR AND MAY BE VENTED BY EXTENDING THE VENT AS HICK AS POSSIBLE, BUT NOT L DRAIN BOARD HEIGHT. THE VENT IS THEN RETURNED DO ARANCH FITTING (SEE "5") AND STALL IM ADDITION BE WITH A FLOOR VENT TAKEN OFF THE VENTICAL FRYURE WEANS OF A WYE BRANCH TITING IMMEDIATELY BELOW FLOOR. THIS FOOT VENT EXTENDS TO THE NEAREST PAI AND THENCE THROUGH THE ROOF TO THE OPEN AR, OR CONNECTED TO THE OTHER VENTS AT A POINT NOT LESS (6) ABOVE THE FLOOR IMIL EVEL OF THE FIXTURES SEE FLOOR. THE FLOOR IMILEVEL OF THE FIXTURES SEE (6) ABOVE THE FLOOR IMILEVEL OF THE FIXTURES SEE	L BE Y ESS THAN WWWARD WWYE ROYOUDED VENT BY CONNECT TO OTHER VENTS THE THE THE CONNECT TO OTHER VENTS THAN AV DE S THAN AV DE S THAN AV THE CONNECT TO OTHER VENTS THAN AV THE CONNECT TO OTHER VENTS THAN AUTOMATIC FIRE SPRINKERS BY S LEEVED PENETR THROUGH HARDSCAP FROM SITE MAIL	PING TO BUILDING		









It is the responsibility of the Electrical Contractor to read and understand the following prior to installation of Lighting as documented by Anna Kondolf Lighting Design on this plan:

- strictal contractor to perform the following samina all necessary plann and documents relating to Lighting (L. architectural mechanical electrical mechanical all necessary plann and documents relating to Lighting (L. architectural mechanical edgebits of production and engineers. Mana all micro adjustments necessary lefetirs conflict strikes. All might scregarcials (requiring cost adjustment) should be received in writingsfrer to installation. Any questions and engine (the gain interval method and the screen and the screen and the screen and the screen and the schedul and screen and the schedul and the screen and the schedul and the schedul and schedul and the schedul and and schedul and schedul
- Il lighting equipment shown on this plan, and electrical equipment shown on the elect
- titing equipment shown on this plan, and electricial equipment shown on the none jacks, called jacks, electricial panels and contrel systems.) Swith Ecosystem control programming and load calculations to be perfor Homeworks CS Third party pergormmer. and plan layout performed by Anna Kondott Lighting Design are based on drawings provided by Adam Josefick, Architect. Furniture plans have be

Design, Interior Designer, Any Juminalie locations based on furniture pit nd location confirmed by Interior Designer prior to rough-in. Shall purchase no architectural lighting equipment. Electrical Contract base all architectural lighting equipment wing matchiak, misc. electric logner prior to ordering Lomps for specification of lamp type, louver, all Contractor shall provides some additional LED lamps, louver, and let

na Kondolf nor her agents are responsible for lighting fisture problems or failure due to Elect evision to the lighting plan without the prior constant of the Lighting Designer or improper lea finare installation. Any substitutions of equipment specified by Anna Kondol Lighting Desig wet by Lighting Designer prior to rough-n. Constructor shall determine luminarie to cost fars with dimensions, and alignment shown relation tor shall determine luminaire locations with dimensions, and align is. (For example: center line of a door, window, cabinet, or ceiling sp d by scaling from the plan (1/4" = 1'0"). Unless otherwise noted, write locations are from the centerline of the junction box or recessed

dscape lighting plans are not drawn to scale. Luminaire loc o visit the site and flag all luminaire locations prior to Electr ontractor is strongly advised to visit the job site prior to bid, to acc in the case of a remodel), location of electrical service, landscape, i ntractor shall notify Lighting Designer if there are structural conflict

c. Cliffold by Anna Kondolf Lighting Design are pre-weised, standard; and comply with the by Underwriters Laboratory (UL), vinless otherwise noted. All lighting adjament shall be start, and utable for the intended use. External linestal hardware amps suggested by the manufacturer unless otherwise noted within Lighting Designer's software.

lule specifications. dia and label requirements must be brought to the attention of Anna Kondolf. All standard and minaires shall carry the Underwriters Laboratory label and shall be installed according to the dards of the National Electric Code and the Electric Code of the City of Carmel- by-the-Sea and s shall be easily accessible with proper ventilation. Lighting Designer to approve all

Informs that be analy accessible with proper variabilities. Lighting behavior to approach to a second processible and proper variabilities. Lighting behavior to approach the second procession of the second procession procession of the second procession procession proces the short way is a failed with the second of the short way is a failed with the short way is

prior to ordering. ceptacles, phono-jacks, cable jacks, etc. shall be Lutron products. These shall also match the color of Architectural with acrevieces wallplates. Mounting height and orientation of all receptacies, phone jac stacks, etc. shall be determined by Project Architect prior to translation. All receptacies locations include field applications receptacie locations shall be located and confirmed by Project Architect. Mit specification re of smale ablections, alarms, sound specific multi-answer and the conditionated by project Architect of the second state of the state of the second state of the conditionated by Project Architect of the second state of the second state of the second state by project Architect of the

In this density, is density, and in the DPT collaboration (i.e., i.e., the constraint in regulations, All permittions, and the prime of the DPT collaboration (i.e., and the DPT collaboration) and the DPT collaboration (i.e., and the DPT collabor

International and the switch is a second or the second of the second of

sergy Commission 2019 Residential Compliance Manual for further regulation details and argy ca.gow/title24/2019standards). minaire shall be mounted on the base unue upper camera conceal the laminaire from sight as indicated in Lighting Designer's fit d be -15* to 2* to conceal an under cabinet laminaire.) If a reflective cas steel is used as the counter and/or back splash. Lighting Designer ns shall be verified in the field by Lighting Designer prior to wiring an Designer between the set of the set of the set of the Designer between Designer if any luminarie must be moved more than 2. from the approximate occurs heights shall be documented by Lighting Designer or Interior Designer and field w

am depth available for the rocessing of luminaires (after allowed) have been made for ts, and space consumed by pluming MAC, including due 1 shall be determined by the varial contractor, or Project Nanager, and shall notify Lighting Designer If there are any perifications.

finites specifications: Instrume specifications: Instrume and Instrument and Instrument and Instrument and Instrument and Instrument subalition will be installed Electrical contractor what first neurons: that the strument that the K-balaw will non-tensive mainturent methods and the struments what the samples construction and and the specifications provided do not comply. Electrical contractor will not be ply specifications: # specifications provided do not comply. Electrical contractor will not be ply strument and the scrume and the sections placement in restrictus. Electrical contractor may commit control on the strument and the scrume and the scrume and the scrume and the scrume and the scrument field on the scrume and the scrument and the scrume and the scrume and the scrument field on the scrument and the scrument and the scrument and the scrument and the scrument field on the scrument and the scrument and the scrument and the scrument and the scrument field on the scrument and the scrument scrument and the sc

28 Contractor to severe we appropriate. phing equipment and layout recommendations are not the reopensi ting by Elevator Liphting <) Stove Hood Liphting, Ø Eshaust Fan Spear tractor shall include in the bit, time and materials for the final evening stimulated for two Electricians on site for three hours to adjust SP reco-singer and the Clain reserve the right to make antime allevations and the results of the second state of the reserve the right to make antime relatedances to the second state of the second stat

a additional cost provided the alterations are discussed with the Electrical Contractor prior to installation Z. All priors, specifications, rendering, dissipates are any other maturital submitted and the solut property of Z. All priors, specifications, rendering, dissipates are any other maturital submitted and the solut property of specifications, and the dissipation of the dissipation of the dissipation of the dissipation of the property of the dissipation of the dissipat

GROUND FLOOR LIGHTING PLAN
 1/4" = 1'-0"

KP.

° ¢ ¢ ¢

=

⊷,

V

p =

RECESSED FIXTURE

PENDANT FIXTURE

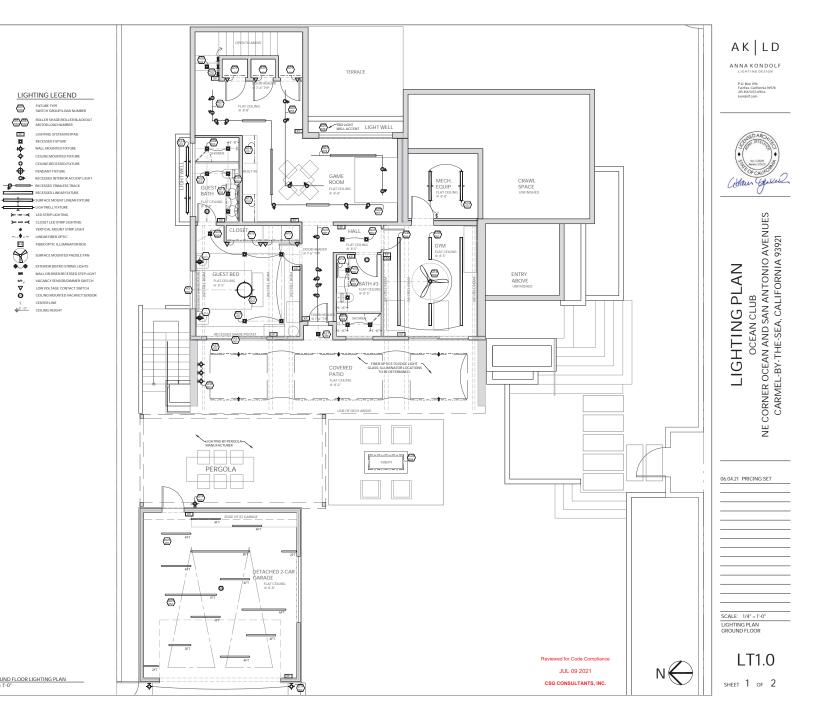
LIGHTWELL FIXTURE

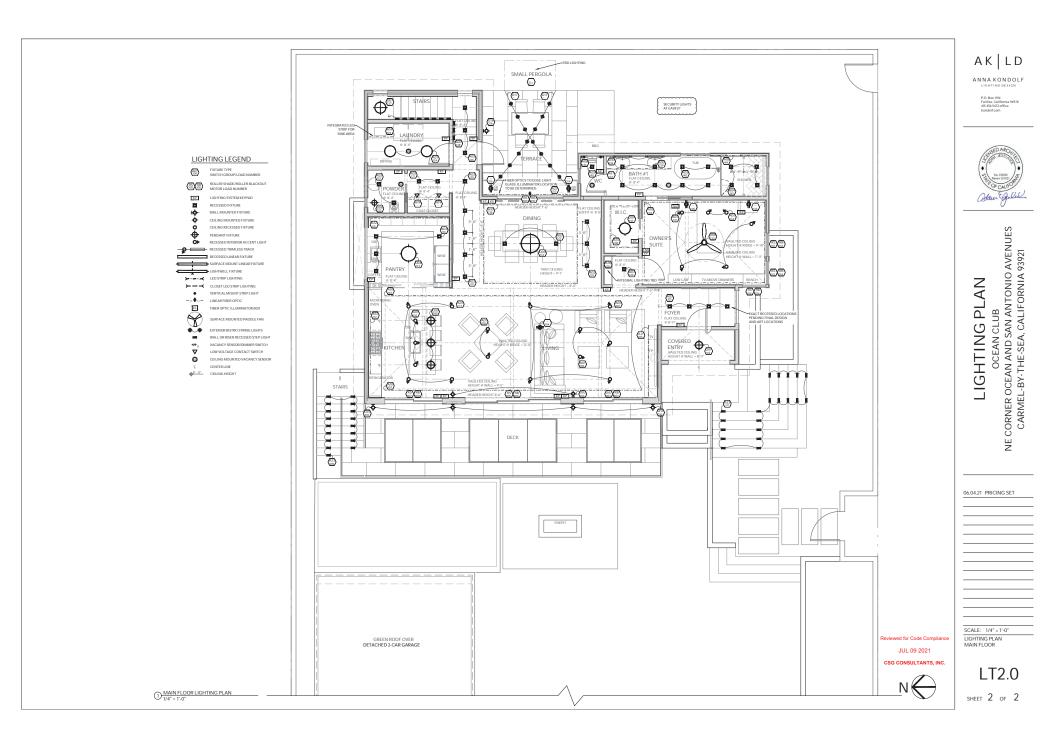
LIGHTWELL FIXTURE

-.... LINEAR FIBER OPTIC

CENTER LINE

€ CEILING HEIGHT







CONSTRUCTION BEST MANAGEMENT PRACTICES (BMPs)

Construction Projects Are Required to Implement the Stormwater Best Management Practices (BMPs) on this Page, as they Apply to Your Project, All Year Long.



Non-Hazardous Materials

Berm and securely cover stockpiles of sand, dirt, or other construction materials with tarps when rain is forecast or if stockpiles are not actively being used. For best results, this should be done at the end

of the work day throughout construction when feasible Use (but don't overuse) reclaimed water for dust control.

Hazardous Materials

- Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations
- □ Store hazardous materials and wastes in water tight containers. store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast
- Generation Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- Arrange for appropriate disposal of all hazardous wastes.

Construction Entrances and Perimeter

Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to

sediment discharges from site and tracking off site.

MANAGEMENT & SPILL CONTROL

hose down streets to clean up

The California Green Building

residential and non-residential

construction, demolition and

additions/alterations projects to

recycle or salvage a minimum

construction materials from the

65% of nonhazardous

Cover waste disposal

and during wet weather.

Clean or replace portable

toilets, and inspect them

frequently for leaks and

Dispose of liquid residues

spills. Incorporate secondary

containment and locate them

away from storm drain inlets.

from paints, thinners, solvents,

hazardous waste (the Monterey

Regional Waste Management

Hazardous Waste Facility that

District offers a Household

accepts these items).

Code requires all permitted

tracking

project.

Waste Management

□ Sweep or vacuum any street Maintenance and Parking tracking immediately and \square secure sediment source to

appropriate BMPs, for vehicle prevent further tracking. Never and equipment parking and storage

Derform major maintenance, repair jobs, and vehicle and equipment washing off site.

EQUIPMENT

□ If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan big enough

waste

□ If vehicle or equipment cleaning must be done onsite, containers securely with tarps clean with water only in a at the end of every work day bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters

> Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, steam cleaning equipment, etc.

□ Inlet protection is the last line of spill defense. Drains/ inlets that receive storm water must be covered or otherwise protected from receiving sediment/dirt/mud, other debris, or illicit discharges, and include gutter controls and

or safety.

Spill Prevention and Control

Gep spill cleanup materials (rags, absorbents, etc.) available at the construction site at all times. □ Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made

immediately and dispose of cleanup materials properly (see the Monterey Regional Waste Management Districts' guidelines for accepting hazardous waste materials). Do not hose down surfaces Use dry cleanup methods

Clean up spills or leaks

(absorbent materials, cat litter, and/or rags). □ Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them. Clean up spills on dirt areas

by digging up and properly disposing of contaminated soil (see the Monterey Regional Waste Management District's Contaminated Soil Acceptance Criteria).

immediately. You are required

releases of hazardous materials, including oil. To report a spill: Dia1 911



EARTHWORK & CONTAMINATED SOILS

Erosion Control

□ Schedule grading and excavation work for dry weather only. □ Stabilize all denuded areas

install and maintain temporary erosion controls (such as erosion control fabric or

vegetation is established Seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.

Sediment Control

Department Protect storm drain inlets, gutters, ditches, and drainage courses with appropriate BMPs, such as gravel bags, , berms, etc. Prevent sediment from migrating offsite by installing and maintaining sediment

> fences, or sediment basins. Gep excavated soil on the site where it will not collect into

the street

Transfer excavated materials to dump trucks on the site, not in the street

□ If any of the following conditions are observed, test for contamination and contact the Monterey County Environmental Health Department, Regional Water Quality Control Board, and local municipal inspector: · Unusual soil conditions, discoloration, or odor Abandoned underground tanks · Abandoned wells · Buried barrels, debris, or trash.



PAVING/ASPHALT WORK

Avoid paving and seal coating in wet weather, or when rain is forecast before fresh pavement will have time to cure. Cover storm drain inlets and

manholes when applying seal coat, tack coat, slurry seal, fog seal, etc. Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into

gutters. Do not use water to wash down fresh asphalt or concrete navement

Sawcutting & Asphalt/Concrete Removal

Completely cover or barricade storm drain inlets when saw

bags to keep slurry out of the storm drain system Department Protect storm drain inlets, gutters, ditches, and drainage

□ Shovel, abosorb, or vacuum saw-cut slurry and dispose of all waste as soon as vou are

at the end of each work day (whichever is sooner!). □ If sawcut slurry enters a catch basin, clean it up immediately.



CONCRETE, GROUT & MORTAR APPLICATION

□ Store concrete, grout and mortar under cover, on pallets and away from drainage areas. These materials must never reach a storm drain

□ Wash out concrete equipment/ trucks offsite or in a contained area, so there is no discharge into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.

Collect the wash water from washing exposed aggregate concrete and remove it for appropriate disposal offsite



materials by storing them under

applied.

erodible landscape material within 2 days before a forecast rain event or during wet weather.



PAINTING & PAINT

gutter, storm drain, or surface waters

Generation For water-based paints, paint out brushes to the extent possible. Rinse to the sanitary sewer once you have gained permission from the local wastewater treatment authority. Never pour paint down a drain. General For oil-based paints, paint out

brushes to the extent possible and clean with thinner or solvent in a proper container Filter and reuse thinners and solvents. Dispose of residue and unusable thinner/solvents as hazardous waste.

residue and chips and dust from marine paints or paints containing lead or tributyltin

Depart Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.

Reviewed for Code Compliance

JUI 09 2021

CSG CONSULTANTS, INC.

* Adapted with permission from the San Mateo Countywide Water Pollution Prevention Program

STORM DRAIN POLLUTERS MAY BE LIABLE FOR FINES OF UP TO \$10,000 PER DAY!



courses with appropriate BMPs, such as gravel bags.

Discontinue application of any



LANDSCAPE MATERIALS



REMOVAL Painting cleanup Never clean brushes or rinse paint containers into a street,

DEWATERING

- Effectively manage all run-on, all runoff within the site, and all runoff that discharges from the site
- Divert run-on water from offsite away from all disturbed areas or otherwise ensure protection of its water quality for compliance

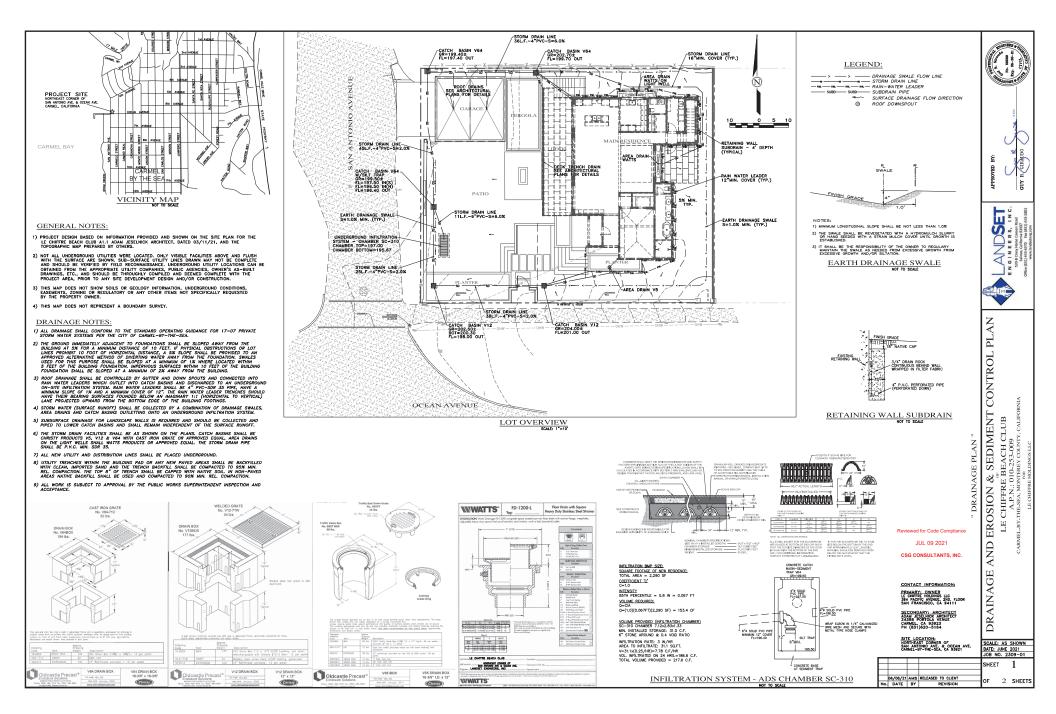
U When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap, and/or disposal in

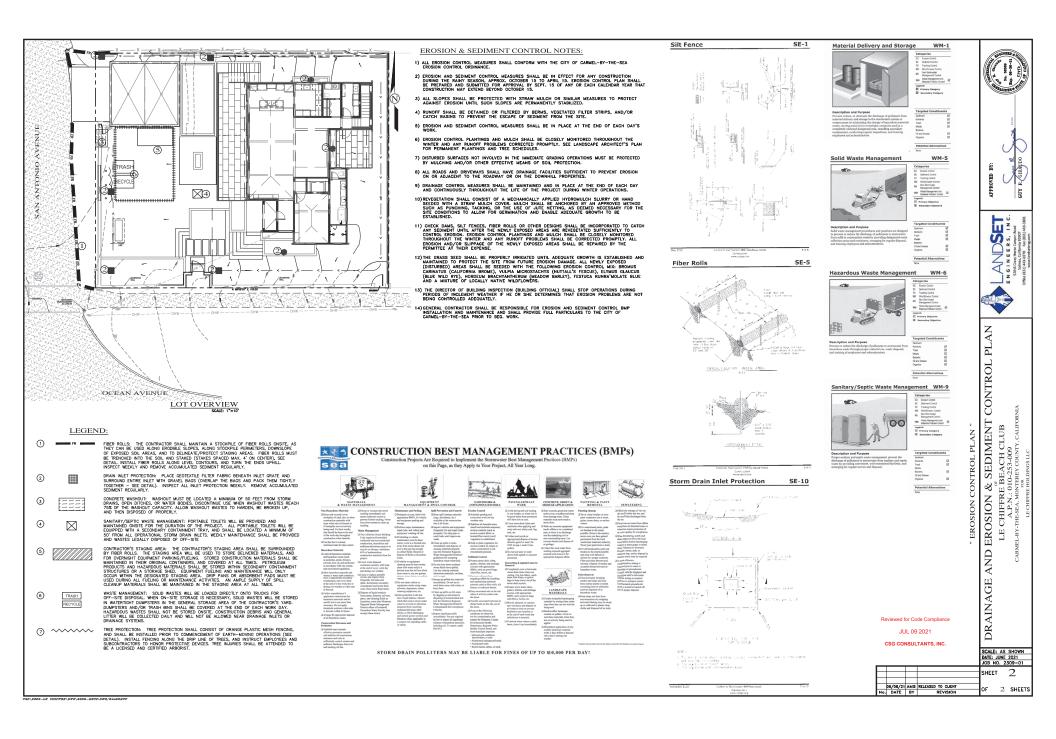
sanitary sewer may be required □ In areas of known contamination, testing is required prior to reuse or discharge of groundwater. Consult with the Engineer and municipal staff to determine whether testing is required and how to interpret results. Contaminated groundwater

must be treated or hauled off-

site for proper disposal.

Chemical paint stripping must be disposed of as hazardous waste Contain stockpiled landscaping





Hataitip Rangthong PO BOX 2904 Carmel, CA 93921 tel. 831 238 5115

City of Carmel by the Sea Planning & Building Dept. Attn: Marnie Waffle PO Box CC Carmel by the Sea, CA 93921

(via Hand delivery)

October 6, 2021

Dear Marnie,

As per my inquiry yesterday on the roof line of NE Corner Ocean Ave. and San Antonio St. construction site, I was surprised to see the recent addition to the roof line as I was told several times (October 2020 and September 2021) that there would be no change.

Last Fall, there was orange netting/ story pole on top of the now demolished garage structure. I had called to inquired about any change to the roof line of the house and was told, no change. Since then, there were no staking and flagging put up to let neighbors know of proposed change.

This property is on the west side of our house (NW Corner Ocean Ave and Carmelo St). The new roof line would block our view of the beach, especially on the north side. See attached. What looks like a minor change on paper will have a great impact on our property.

As a long time Carmel by the Sea resident of over 40 years, I appreciate the beautiful views and our uniquely charming environment. Throughout the pandemic, this view of the beach has given me such joy each day.

Your assistance would be much appreciated in verifying roof line height compliance before any permanent damage is done and efforts to minimize the blockage of our precious view.

Thank you very much for your attention on this matter.

Sincerely,

H. Rangthong

Enc.







Attachment 13



Civil Engineering + Land Surveying

6 Harris Court, Monterey, CA 93940 | 831.649.5225 whitsonengineers.com

October 18, 2021

Job No.: 4425.00

Andrew Ellis Groza Construction

Re: Ridge Height Certification Le Chiffre Beach Club NE Corner Ocean & San Antonio Avenues Carmel-By-The-Sea, CA 93921 APN: 010-253-009

Dear Mr. Ellis:

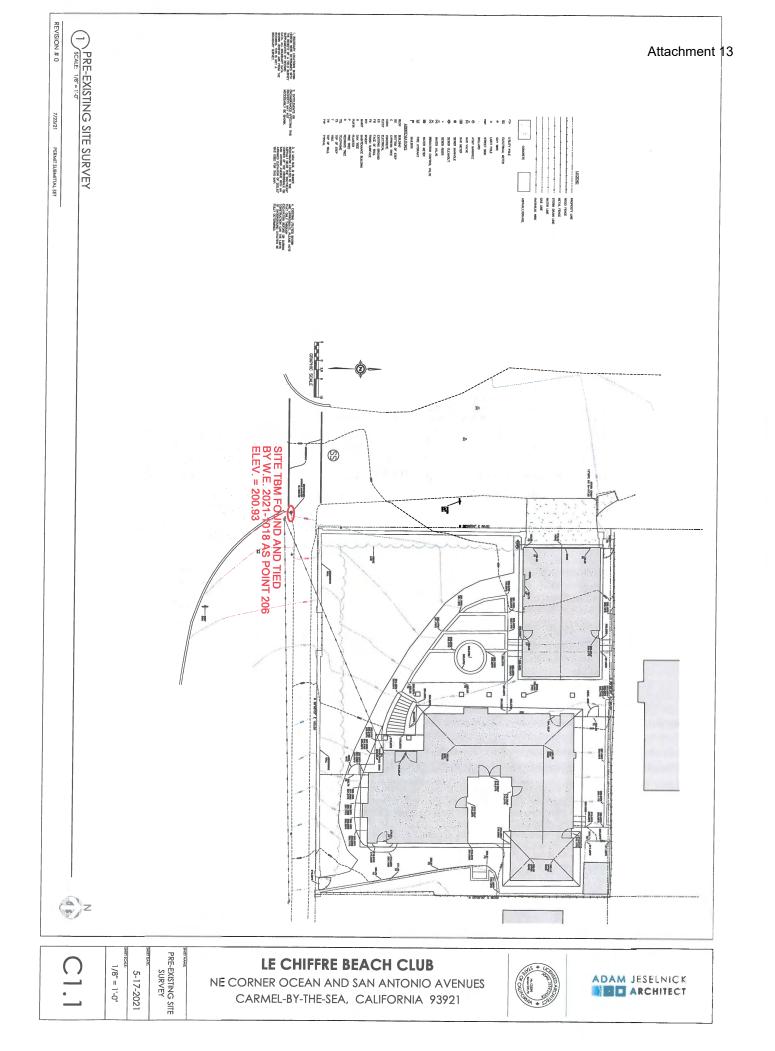
On October 18, 2021 Whitson Engineers checked the height of the ridge of the residence at the NE Corner of Ocean & San Antonio Avenues, Carmel-By-The-Sea. The surveyed ridge, at its highest point, was found to be at an elevation of 224.63 feet (point # 1019), relative to the designated Site Benchmark (elevation 200.93 feet, assumed datum, (tied by Whitson Engineers at Point #206) as shown on Sheet C1.1 of the Civil plans dated May 17, 2021.

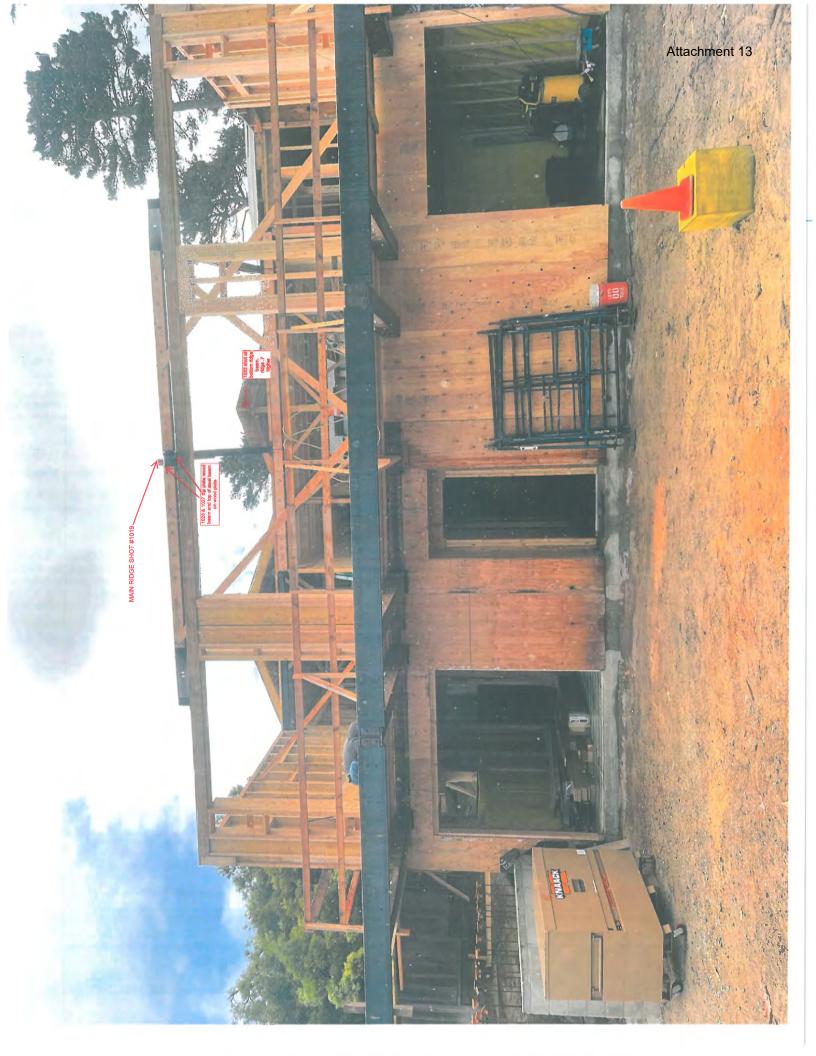
Sincerely,

Richard Weber PE, LS LS 8002 Principal



PT. NO.	Ν.		E.		ELEV.	DESC.
206		2098338.687		5701901.673	200.93	CP FD MAG NAIL SITE BENCHMARK
1019		2098396.427		5701964.755	224.629	RIDGE
1020		2098370.763		5701967.14	222.124	RIDGE 1
1021		2098375.57		5701981.594	223.402	RIDGE 2
1022		2098408.136		5701971.975	223.027	RIDGE 3
1023		2098393.414		5701972.802	221.775	RIDGE 4 .7 HIGHER
1024	-	2098400.712		5701959.938	210.463	SUBFLOOR
1025		2098407.961		5701957.144	200.371	CONC SLAB LOWER
1026		2098398.22		5701956.637	220.209	TOP PLATE BEAM *P
1027		2098396.227		5701956.644	220.811	TOP STEEL BEAM ON PLATE WOOD





Attachment 14



Civil Engineering + Land Surveying

6 Harris Court, Monterey, CA 93940 | 831.649.5225 whitsonengineers.com

January 28, 2022

Job No.: 4425.00

Andrew Ellis Groza Construction

Re: Ridge Height Certification Le Chiffre Beach Club NE Corner Ocean & San Antonio Avenues Carmel-By-The-Sea, CA 93921 APN: 010-253-009

Dear Mr. Ellis:

On January 27, 2022, Whitson Engineers checked the height of the framing of the residence at the NE Corner of Ocean & San Antonio Avenues, Carmel-By-The-Sea.

The survey data as follow:

- **Point 1037** Top of a 1 $\frac{1}{2}$ " x 7" sill, representing lower finish floor elevation was found to be at an elevation of 200.59 feet.
- **Point 1038** Top of a 2 x 4" stud, representing top of finished ceiling was found to be at an elevation of 219.28 feet.
- **Point 1039** The surveyed ridge, a 2" x 12" joist, at its highest point, was found to be at an elevation of 223.32 feet at its highest point.
- Point 1040 Top plywood sheeting at top header beam was found to be at an elevation of 220.23 feet.
- Point 1041 Top plywood sheeting at top header beam was found to be at an elevation of 220.22 feet.

Elevation of all points surveyed relative to the designated Site Benchmark (elevation 200.93 feet, assumed datum, (tied by Whitson Engineers at Point #206) as shown on Sheet C1.1 of the Civil plans dated May 17, 2021.

Sincerely,

Richard Weber PE, LS LS 8002 Principal





#1040 & #1041 Top of Sheeting at Top Header EL: 220.23'



038

1

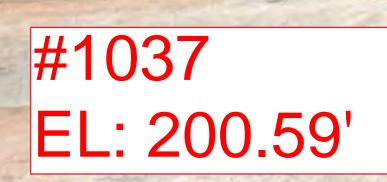




EL: 200.59' Representing Lower Finished Floor

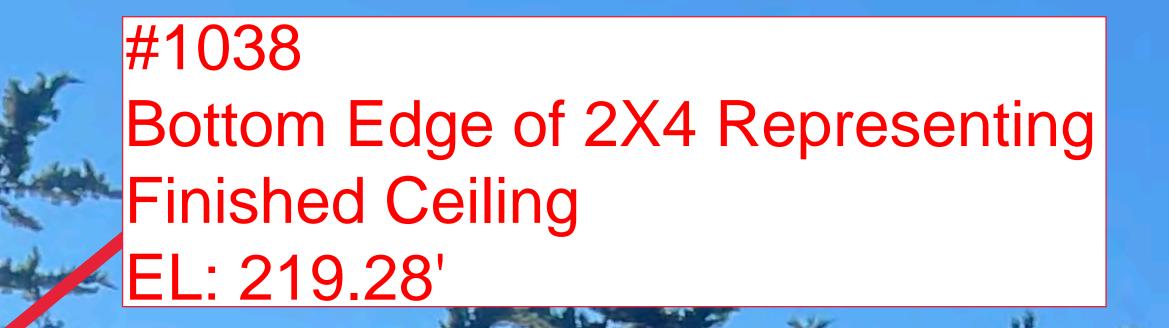
















CITY OF CARMEL-BY-THE-SEA PLANNING COMMISSION Staff Report

March 9, 2022 ADJOURNMENT

TO:	Chair LePage and Planning Commissioners	
SUBMITTED BY:		
APPROVED BY:		
SUBJECT:	LATE CORRESPONDENCE	
Application:	APN:	
Block:	Lot:	
Location:		
Applicant:	Property C	wner:
Executive Sun	mmary:	

Recommendation:

Background and Project Description:

Staff Analysis:

Other Project Components:

Attachment 1 - Quinn letter regarding DS 20-323 (LeChiffre Holdings, LLC) dated March 4, 2022 Attachment 2 - Goodhue letter regarding DR 20-350 (Ulrika Plaza) dated March 7, 2022 Attachment 3 - Parks email regarding DR 20-350 (Ulrika Plaza) dated March 6, 2022 Attachment 4 - Meresman email regarding DS 21-211 (Rachleff) dated March 7, 2022 Attachment 5 - Messemer email regarding DS 21-211 (Rachleff) dated March 7, 2022 Attachment 6 - Stevens letter regarding DS 21-243 (Heyermann) dated March 7, 2022 Attachment 7 - Schenk & Zee email regarding DS 21-243 (Heyermann) dated March 7, 2022 Attachment 8 - Kemp letter regarding DS 20-323 (LeChiffre Holdings, LLC) dated March 7, 2022 Attachment 9 - Rosier email regarding DR 20-350 (Ulrika Plaza) dated March 7, 2022 Attachment 10 - Beach letter regarding DR 20-350 (Ulrika Plaza) dated March 7, 2022 Attachment 11 - McCarty email regarding DR 20-350 (Ulrika Plaza) dated March 8, 2022 Attachment 12 - Cordrey email regarding DS 21-243 (Heyermann) dated March 8, 2022 Attachment 13 - Dramov letter regarding DR 20-350 (Ulrika Plaza) dated March 8, 2022 Attachment 14 - Panattoni letter regarding DS 21-243 (Heyermann) dated February 28, 2022 Attachment 15 - Schmitz letter regarding DR 20-350 (Ulrika Plaza) dated March 8, 2022 Attachment 16 - Smith email regarding DR 20-350 (Ulrika Plaza) dated March 8, 2022

WWW.NHEH.COM E-MAIL HQUINN@NHEH.COM 831-424-1414 ext. 219 Our File No. 2-----.000

March 4, 2022

Anne K. Secker
Randy Meyenberg
Michael Masuda
Christine G. Kemp
Timothy J. Baldwin
* Charles Des Roches
* Robert D. Simpson
Ana C. Toledo
* Leslie E. Finnegan
Lindsey Berg-James
Anne Frassetto Olsen
Heidi A. Quinn
Daniel J. Little
Jacob Weeks
Harry L. Noland

NOLAND

HAMERLY ETIENNE

HOSS

Stephen W. Pearson

Attorneys at Law A PROFESSIONAL CORPORATION

(1904-1991) Paul M. Hamerly (1920-2000) Myron E. Etienne, Jr. (1924-2016) Peter T. Hoss (1934-2018)

* CERTIFIED SPECIALIST IN PROBATE, ESTATE PLANNING, AND TRUST LAW BY THE CALIFORNIA BOARD OF LEGAL SPECIALIZATION STATE BAR OF CALIFORNIA March 4, 20

VIA E-MAIL DELIVERY

Carmel Planning Commission c/o City Community Development Department City Hall Carmel-by-the-Sea

> Re: <u>NEC Ocean & San Antonio</u> <u>Modification to DS 20-232; Planning Commission Resolution 2021-009</u> March 9, 2022 Planning Commission Meeting

Dear Members of the Planning Commission:

We represent Hataitip Rangthong, an adjacent property owner to the property at the northeast corner of Ocean and San Antonio in Carmel-by-the-Sea ("Property").

We ask the Commission enforce its February 10, 2021 approval of the remodeling project at the Property DS-20-232 ("Project"), and deny Applicant Le Chiffre Holdings LLC's request for an "after-the-fact" modification to the project to increase in plate height in violation the Planning Commission's Resolution 2021-009 Condition 33. This letter is drafted without an opportunity to review the City's recommendation or staff report.

Over the past year, the Applicant has repeatedly ignored the Planning Commission's approved plans, and proceeded to demolish and construct the remodel contrary to the imposed conditions. The Applicant is now asking for permission afterthe-fact.

The City of Carmel ("City") should not reward non-compliance by applicants who build contrary to their approved plans and then come back and ask for forgiveness – even if a prominent property (and especially because it is a prominent property).

Carmel Planning Commission March 4, 2022 Page 2

As a result of the Applicant's pattern of non-compliance, we respectfully request that the Planning Commission:

- Deny the Applicant's "after-the-fact" request to increase the plate height of the structure in excess of the 19' limit that was expressly set forth in the Project Condition of Approval No. 33; and
- Rescind administrative approval of the garage demolition permit and rebuild expansion, and require the Applicant to rebuild the nonconforming garage under the current City Code, limiting it to a one-car garage. In addition, a Coastal Development Permit is required.

The Commission's Resolution of Approval describes the Project as "minor alterations" and City Staff determined the Project was exempt from the California Environmental Quality Act ("CEQA") pursuant to Section 15301 – Existing Facilities as the alterations involved "negligible or no expansion of the existing or former use." This determination is important as the Applicant has now expanded the former use, in violation of the Planning Commission approval, by increasing the plate height over the 19' limit, as well as demolishing the garage, moving its location, and increasing its footprint.

The Applicant must conform to the Planning Commission's approved plans, the Carmel Municipal Code ("CMC"), and City rules.

1. Roof Ridge and Plate Height Both Exceed Planning Commission Approval

This Project application was presented to the Commission in February 2021 as a "combined Concept and Final Design Study and associated Coastal Development Permit" for alterations to the Property. This was unusual, as noted by the Commissioners, given the prior Design Study and building permit had expired prior to Applicant's purchase of the Property in 2020. The prior structure had been destroyed in 2017.¹

During the presentation, City staff stated that the existing roof ridge height and plate height were nonconforming and could not be raised. Staff stated,

"The staff report identifies it as 18'6" but the current condition is actually 19'. So as an existing nonconformity, it cannot be increased. So a special condition has been included in the project and it is also revised to reflect that the existing plate height is 19' and cannot be increased." (Hearing, 1:35:30.)

¹ Demolition of the structure in 2017 constituted an abandonment of use. CMC Sections 17.36.040 E., Destruction and Reconstruction of Nonconforming Buildings, and 7.36.060, Abandonment of Use.

Carmel Planning Commission March 4, 2022 Page 3

This was not a minor issue; in fact, the plate and ridge height, and pitch of the roof were discussed extensively. As a result, the Commission's approval contained Condition of Approval No. 33, which limited the plate height to 19' (existing conditions). The roof pitch was also to be reduced to 4:12 along the west-facing portion of the Property.

Condition 33 provides: **"West Elevation. The plate height on the west elevation is nonconforming at 19' and shall not be increased**." (See the Feb. 10, 2021 Planning Commission Resolution **Exhibit A,** page 8.)

In July 2021, the Applicant submitted erroneous plans for its building permit, ignoring the Planning Commission's approval, with both the roof ridge height and plate height considerably higher than approved by the Planning Commission, and began constructing the Project in excess of the Commission's approval.

On this submittal, the roof ridge was erroneously shown at elevation 224.65, when the Applicant was required to maintain existing elevation 223.29. In addition, the plate height was erroneously shown at 19'9" when the Applicant was required to limit the plate height to 19'. (See **Exhibit B**). Condition No. 33 limiting the plate height to 19' as was clearly noted on the face of Plan Notes. (See Sheet **Exhibit C**.)

Ms. Rangthong immediately brought these issues to the attention of City staff in October 2021, when the initial roof framing went up. She did so in an effort to have the matter resolved early - before construction progressed. Yet, the Applicant continued construction despite her concerns. In fact, the Applicant has been fully aware of its nonconformance with the Project approval, and has continued to build and order materials at its own risk.

After Ms. Rangthong's repeated concerns were confirmed by a surveyor (See Whitson Engineers 10/18/21 letter, **Exhibit D**), City staff finally agreed the roof ridge height at elevation 224.65 was approximately 1'4" too high over the approved elevation 223.29 (and without installation of the finished roof materials). The plate height was also too high. Nonetheless, Applicant continued construction of the Project.

In December 2021, the Applicant submitted a set of revised plans for the increased roof ridge height, and the increased plate height, but the plans were placed on hold. Ultimately, it took another two months before the Applicant finally agreed to lower the roof ridge height to elevation 223.29 to conform to the Commission approval.

Unfortunately, the Applicant did nothing to address the increased plate height, which it was aware had also been raised by Ms. Rangthong as violating the Planning Commission's approval and specifically Condition No. 33. The Applicant's work on the Project continued despite its knowledge of the nonconformity. In fact, it was

Carmel Planning Commission March 4, 2022 Page 4

another three months and many more requests to the City before staff had the erroneous plate height confirmed by a licensed surveyor.

On January 28, 2022, Whitson Engineers confirmed the plate height was indeed, too high. (See Whitson Engineers Report dated 1/28/22, **Exhibit E.**) While City staff originally calculated the plate height at just 3" over the 19' height limit, this calculation was in error, as it utilized the Project benchmark, rather than the actual finished floor level.

Under the City's own rules, the plate height is to be measured from the finished grade, i.e., at the "concrete slab lower" elevation **200.371** (See Whitson Point 1025, October 18, 2021 Report, **Exhibit D**) and then measured to Whitson's elevation of **220.23** "top of header beam." (See Whitson Points 1040 & 1041, January 28, 2022 Report, **Exhibit E**.)

Attached, as **Exhibit F**, is a Plate Height Calculation Worksheet that shows the existing plate height based on the two separate in-field survey certifications by Whitson Engineers, as well as the revised plans submitted by the Applicant for Planning Commission review. The Worksheet demonstrates that the current plate height, as built, is more than 10" too high.

Upon receipt of the 1/28/22 Whitson Report, we verified these calculations with City staff, showing that the "as-built" plate height was more than 10" higher than approved, yet Project construction continued.

Per its revised plans, the Applicant is now asking the Planning Commission, after-the-fact, to approve its plate height at 19'9", and expand the nonconforming structure. (See revised plan Sheet A3.3, **Exhibit G**, plate height at 19'9' [elevation 220.00 at top of new plate, subtract elevation 200.22 at finished floor =19.78' high = 19'-9.4" = Plate Height over 9 inches higher than 19'].)

It is indisputable from our calculations, based on Whitson's certifications, and the Applicant's own plans, that the plate height is at least 9 to 10 inches higher than the Planning Commission approved. This violates the Commission's express Condition No. 33 plate height limit, and violates the CMC regarding expansion of nonconforming structures. (CMC Sec. 17.36.030 B.²)

In addition, "[n]o single parcel should enjoy a greater right than other parcels except the natural advantages of each site's topography. Buildings which substantially eliminate an existing significant view enjoyed on another parcel should be avoided."

² CMC Section 17.36.030, Alterations and Enlargements of Nonconforming Buildings and Structures, Subsection B provides "[a]lterations, repairs or remodeling that enlarge, extend or increase a nonconforming feature of a building *shall be prohibited* . . .:" (emphasis added).

Carmel Planning Commission March 4, 2022 Page 5

(CMC Section 17.10.010 K.) Nor should a variance be granted. (CMC Section 17.64.210 C and F.)

The 10" plate height difference is significant, as it impacts the approved pitch for the roof, and blocks Ms. Rangthong's sand and whitewater view. (See Photos of plate height and view differences, **Exhibit H.**)

We ask the Commission to order the Applicant to reduce the plate height to 19' with a finished elevation of 219.22' to comply with Condition No. 33. To do otherwise is to violate the City's own approval, Municipal Code, and rules, and create issues of inequity and fairness regarding project approvals. The Applicant submitted its erroneous plans just one month after the Planning Commission meeting at which the plate height had been expressly limited to 19', moved ahead anyway, and is now asking for forgiveness.

Ms. Rangthong has been pleading with the City since October 2021 to bring the construction into compliance with the Planning Commission approval, and to have the plate height reduced before construction progressed. Attached as **Exhibit I** is a timeline of Rangthong's correspondence with the City over the past six months raising the issues regarding nonconforming ridge and plate height, and demolition and expansion of a nonconforming structure. Included with our letter is a separate **Attachment 1**, with the correspondence with the City.

2. Garage Demolished, Moved, and Enlarged Contrary to Approval; Coastal Development Permit Required

The Applicant's pattern of noncompliance with the City's approval continues in other areas of the Project. The initial Project submittal in February 2021 describes the remodel as "minor." The February 10, 2021 staff report provides:

"The proposed development is a remodel of an existing single-family residence and alterations to an existing detached garage . . . Retaining the garage in its current location reduces the amount of paved surface needed for the driveway. Additionally, changing the roof form from gabled to flat reinforces the garage as subordinate to the residence. With the application of conditions, the project meets the objectives of parking and access." (See 2/10/2021 Staff Report w/o attachments, **Exhibit J** page 3.)

The 2/10/2021 Staff Report also includes photographs of the staked garage, with no indication that the garage would be demolished, moved to a new location and expanded; in fact, it was represented that only the siding would be replaced. (See Garage photos Attachment 2 to Staff Report, **Exhibit K.**) At the Planning Commission hearing, Staff stated,

"The existing condition is a two-car garage in the front setback. ... The Applicant is proposing to replace the roof and install a flat roof. Because the garage is in the front setback, it is legal nonconforming. The zoning code currently only allows single car garages to be in the front setback. So the existing garage will be retained and just the roof form will be modified and the exterior ... brick will be replaced with the stone veneer." (Hearing, c. 1:35:30.)

Nevertheless, the Applicant demolished the entire nonconforming garage in May 2021, moved the location, enlarged the structure, poured the new and larger foundation, and completed the expanded garage framing without City approval or a City permit. (See garage relocated foundation and framing and photograph, **Exhibit L**). An administrative permit for the garage demolition and complete rebuild was not issued by City staff until nearly one year later - February 2022.

The City's Municipal Code requires demolition of nonconforming buildings to conform to current Code requirements. (CMC Section 17.36.040 D.³) Therefore, the Applicant must rebuild the garage under the current CMC, limiting it to a one-car garage. The Applicant cannot simply relocate and expand the garage. In addition, given the demolition and location, a Coastal Development Permit is now required. (CMC Section17.30.010.⁴)

Again, the Applicant has acted in contravention to the Commission approval. The legal nonconforming garage was not retained; rather, it was completely demolished without permission.

3. Action Required

We respectfully request the Commission deny the Applicant's after-the-fact request to increase the plate height of the structure in excess of the 19' plate height limit expressly set forth in the Planning Commissions Project Condition of Approval No. 33, and lower the plate height to elevation of 219.22' to comply with Condition No. 33.

We also request the Commission require the Applicant to rebuild the legal nonconforming garage under the current CMC, limiting it to a one-car garage. In addition, a Coastal Development Permit is required.

³ CMC Section 17.36.040, Destruction and Reconstruction of Nonconforming Buildings, Subsection D, provides, "[t]he demolition of any nonconforming building or structure shall require that all new construction on the site meet all requirements for new buildings and structures."

⁴ CMC Section 17.30.010, Demolition or Rebuilding of Buildings, provides, ". . . [t]he demolition or relocation of any structure shall require a coastal development permit."

Carmel Planning Commission March 4, 2022 Page 7

In fairness and equitable application of the regulations, regardless of the prominence of the Project, the Applicant must be required to comply with the Planning Commission approval, the CMC and other City rules. To do otherwise sets precedent that rules apply to some, but not others, and that rules may be circumvented by simply proceeding with construction and requesting permission after-the-fact.

Sincerely,

NOLAND, HAMERLY, ETIENNE & HOSS A Professional Corporation

Heídí A. Quínn

Heidi A. Quinn

Enclosures: Exhibits A - L

Separate Attachment 1: - Rangthong Correspondence with City

EXHIBIT A

Resolution No. 2021-009-PC Page 8 of 9

25.	BMP Tracking Form. A completed BMP Tracking form will need to be submitted with the Building Permit Application.						
26.	Semi-Permeable Surfaces. Provide cross-section details for semi-permeable surfaces.						
27,	Erosion and Sediment Control Plan. Provide an erosion and sediment control plan that includes locations and installation details for erosion and sediment control BMPs, material staging areas, and stabilized access with Building Permit application.						
	SPECIAL CONDITIONS						
29.	Tree Planting Required. The applicant shall plant two upper canopy and two lower canopy trees on the property. The location and species shall be determined in consultation with the City Forester and Planning Staff and shall be installed prior to final inspection.						
30.	Right-of-Way Encroachments. All right-of-way encroachments, including but not limited to, boulders located north of the driveway, and all gravel, shall be removed prior to final inspection. The asphalt pathway to the south of the property shall remain.						
31.	Concrete Driveway. The concrete driveway located in the public right-of-way shall be removed and replaced with gray concrete pavers as presented to the Planning Commission on February 10, 2021, a material consistent with the Residential Design Guidelines, Public Way Design Guidelines and/or Carmel Municipal Code.	¥					
32.	Right-of-Way Planting. The applicant shall submit a planting layout and plant palette for the right-of-way along San Antonio as part of the final landscape plan submittal.						
33.	West Elevation. The plate height on the west elevation is nonconforming at <u>19'</u> 18'-6" and shall not be increased.	1					
<u>34.</u>	Metal Roof. The applicant shall submit a metal roof sample to be reviewed and approved by staff. The roof material shall have a matte finish (low sheen).	1					

*Acknowledgement and acceptance of conditions of approval.

Matthew Burns, Authorized Signatory for DocuSigned by: Circle Three Management LLC, 4.tt 3/1/2021 | 10:17 AM PST Manager of Le Chiffre Holdings LLC Property Owner Signature Printed Name Date

Once signed, please email to mwaffle@ci.carmel.ca.us.

PASSED AND ADOPTED BY THE PLANNING COMMISSION OF THE CITY OF CARMEL-BY-THE-SEA this 10th day of February, 2021 by the following vote:

EXHIBIT B

Erroneous Submitted Plans Do not comply with PC approval Roof at 224.65 and 19'9 plate height

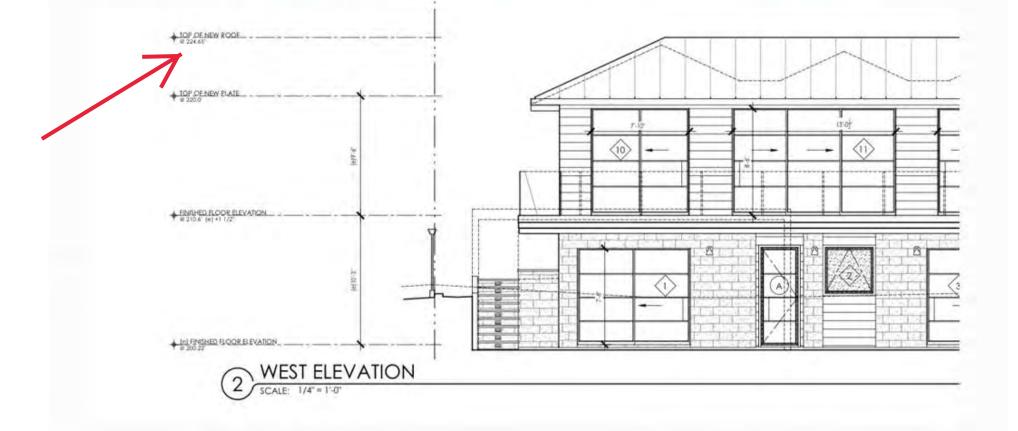


EXHIBIT C

GENERAL NOTES

- 1. VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS AT THE SITE; CONFIRM ANY VARIATIONS OR CONFLICTING OR MISSING DIMENSIONS OR DATA PRIOR TO COMMENCING WORK. USE WRITTEN DIMENSIONS ONLY; DO NOT SCALE DRAWINGS FOR THE PURPOSE OF DETERMINING A DIMENSION DURING CONSTRUCTION.
- 2. CONSTRUCTION DETAILS: NOT SPECIFICALLY SHOWN ON THE DRAWINGS SHALL BE BUILT TO CONFORM TO SIMILAR CONSTRUCTION, IN ACCORDANCE WITH THE BEST COMMON PRACTICE AND/OR MANUFACTURER'S SPECIFICATIONS FOR THE INSTALLATION OF THEIR MATERIALS OR ITEMS.
- 3. ALL CONSTRUCTION (MATERIALS, WORKMANSHIP & METHODS) SHALL COMPLY WITH TITLE 24 AND THE 2019 CALIFORNIA RESIDENTIAL CODE (CBC) AND APPENDICES H. I. AND J: CALIFORNIA EXISTING BUILDING CODE, CALIFORNIA PLUMBING CODE (CPC). CALIFORNIA MECHANICAL CODE (CMC), CALIFORNIA ELECTRICAL CODE (CEC), CALIFORNIA MECHANICAL CODE, CALIFORNIA ENERGY CODE, FIRE CODE (SEE CMC TITLE 8), AND 2013 CALIFORNIA GREEN BUILDING STANDARDS CODE: AND ALL LOCAL AMENDMENTS AS ADOPTED BY CITY ORDINANCE.
- 4. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SAFETY ON THE IOB SITE AND MUST ADHERE TO ALL FEDERAL, STATE LOCAL AND O.S.H.A. SAFETY REGULATIONS.
- 5. DEMOLITION: CONFIRM ALL DEMOLITION REQUIREMENTS WITH THE OWNER, VERIFY WITH OWNER WHICH ITEMS, IF ANY, HE/SHE WISHES TO RETAIN FOR HIS/HER USE, ALL OTHER ITEMS TO BECOME PROPERTY OF THE CONTRACTOR AND ARE TO BE PROPERLY REMOVED FROM THE PREMISES.
- 6. NAILING TO BE IN COMPLIANCE WITH CBC TABLE 2304.S.1 U.O.N.
- 7. NO EXISTING FIRE SUPPRESSION SYSTEM, NEW FIRE SPRINKLERS TO BE INSTALLED. DEFERRED SUBMITTAL AND UNDER SEPARATE PERMIT.
- 8. PV PHOTOVOLTAIC SYSTEM PROPOSED FOR ROOF TOP INSTALLATION. DEFERRED SUBMITTAL AND UNDER SEPARATE PERMIT.

mmmmm CITY CONDITIONS OF APPROVAL

mmm

Page 4 of 9

family residence located at the northeast corner of San Antonio and Ocean Avenue (APN 010-253-009), subject to the following Conditions of Approval:

CONDITIONS OF APPROVAL

- No. Standard Conditions 1 idential District as depicted in the pla
- Codes and Ordinances. The project shall be constructed in conformance with all requirements of the R-1 zoning district. All adopted building and fire codes shall be adhered to in preparing the working drawings. If any codes or ordinances Performance of the provide the second second
- date of action unless an active building permit has been issued and maintain
- for the proposed construction. Landscape Plan. All new landscaping, if proposed, shall be shown on a landscape plan and shall be submitted to the Department of Community Planning and Building and to the City Forester prior to the issuance of a building permit. The landscape plan will be reviewed for compliance with the landscape plan will be reviewed for for compliance with the landscaping standards ined in the Zoning Code, including the following requirements: 1) all new landscaping shall be 75% drought-tolerant: 2) landscaped areas shall be anosciping shall be 75% orought(operant); 2) landscaped areas shall be imgated by a drip/sprinkler system set on a timer; and 3) the project shall meet the Dity's recommended tree density standards, unless otherwise approved by the Dity based on-site conditions. The landscaping plan shall show where new trees will be planted when new trees are required to be planted by the Forest nd Beach Commission or the Planning Commission.
- City Forester or Forest and Beach Commission, as appropriate; all remaining trees shall be protected during construction by methods approved by the City
- Significant Trees. All foundations within 15 feet of significant trees shall be 1 excavated by hand. If any tree roots larger than two inches (2") are encountered during construction, the City Forester shall be or cutting the roots. The City Forester may require the roots to be bridged or may

Resolution No. 2021-009-PC Page 5 of 9

- the roots to be cut. If roots larger than two inches (2") in diameter assessing the road to be call, if roots larger than two increas (2) in duanteer are cut, without prior CIIS forester approval endangered as a result of construction activity, the building permit will be superiorid and all work stopped until an investigation by the CIIY Porester has been completed. Twelve inches (127) of mulcit shall be evenly spread inside the
- dripline of all trees prior to the issuance of a building permit. Water Use. Approval of this application does not permit an increase in water ISM UNI LIE BROBEL SKE WILTIGHT SUPPLY. Should the Monterey 1 eninsula Water Management District determine that adequate water is not available for this site, this permit will be scheduled for reco appropriate findings prepared for review and adoption by the Planning
- Modifications. The applicant shall submit in writing to the Community Plan and Building staff any proposed changes to the approved project plans prior to incorporating changes. If the applicant changes the project without first obtaining City approval, the applicant will be required to either: a) submit the hange in writing and cease all work on the project until either the Plannin Commission or staff has approved the change, or ho eliminate the change as submit the proposed change in writing for review. The project will be review ate the change an impliance to the approved plans prior to final inspection
- 9. Setback and Height Certifications, A State licensed surveyor shall survey and 1 certify the following in writing:
 - · The footing locations for conformance with the approved plans prior t
 - footing/foundation inspection: The roof height for conformance with the approved plans prior to roo

fications prepared, sealed and signed by the surveyor shall be

provided to the building inspector at the time of the specified inspections.
30. Eletterior Lighting: Exterior lighting shall be limited to 25 wats or less (incardeszert equivalent, e.g. 375 winnel) per future and shall be no higher than 10 feet above the ground. Landscape lighting shall not exceed 18 inches above the ground nor more than 15 watts (incandescent equivalent, i.e. 225 imens) per fixture and shall be spaced no closer than 10 feet apart. Landscape ghting shall not be used for tree, wall, fence or accent lighting of any type. The purpose of landscape lighting is to safely illuminate walkways and entrances t the subject property. All fixtures shall be shielded and down facing. The manufacturer's specifications, including illumination information, for each exterior light fixture shall be included in the construction drawings submitted with the building permit application.



tion No. 2021-009-PC

Pape 7 of 9

12. Stone Facades (including chimneys). Stone facades shall be installed in a broken course/random or similar masonry pattern. Setting the stones vertically on their face in a cobiweb pattern shall not be permitted. All stonework shall be wrapped And this doorned particles and not be permitted, and somework shall be wrapped around building corners and terminated at an inidic corner or a logical stopping point that provides a finished appearance. Termination of stohework shall be solitest to review and approval by the Community Planning & Building Director or his/her designee. The missorry patter shall be clearly identified in the

 construction drawing submitted with the bolding bernint application.
 Indemnification. The applicant agrees, at his or her sole expense, to defront, indemnify, and hold harmless the City, its public officials, officers, employees, and subjects the City or any subsituation. ncurred, resulting from, or in connection with any proincludes any appeal, claim, suit, or other legal proceeding, to attack, set aside, void, or annul any project approval. The City shall promptly notify the applicant of any legal proceeding, and shall cooperate fully in the defense. The City may, at its sole discretion, participate in any such legal action, but participation shall not relieve the applicant of any obligation under this condition. Should any party bring any legal action in connection with this project, the Superior Court of the County of Monterey, California, shall be the situs and have jurisdictio

- for the resolution of all such actions by the parties hereto.
 15. Driveway, Except as otherwise provided for in these conditions, the driveway material shall extend beyond the property line into the public right of way as eeded to connect to the paved street edge. A minimal asphalt the street edge may be required by the Superintendent of Streets or the Building Official, depending on site conditions, to accommodate the drainage flow line of the street. The driveway material and asphalt connection shall be clearly identified on the construction drawings submitted with the building permit application. If a driveway is proposed to be sand set a dimensioned construction detail showing the base material shall be included in the struction drawings. 18. | Hazardous Materials Waste Survey. A hazardous materials waste survey shall be
- required in conformance with the Monterey Bay Unified Air Pollution Control District prior to issuance of a demolition permit. 19. Archaeological Report. An archaeological reconnaissance report shall be
- prepared by a qualified archaeologist or other person(s) me of the State Office of Historic Preservation prior to approval of a final building permit. The applicant shall adhere to any recommendations set forth in the archaeological report. All new construction involving excavation shall immediately cease if materials of archaeological significance are discovered on

- the site and shall not be permitted to recommence until a mitigation and monitoring plan is approved by the Planning Commission. 20. Cultural Resources. All new construction involving excavation shall immediately Conservation numerical and the construction involving exclavation shall immediately cases if cultural resources are discovered on the site, and the applicant shall notify the Community Planning and Building Department within 24 hours. Work shall not be permitted to recommence until such resources are properly evolutional discontinues. uated for significance by a qualified archaeologist. If the redetermined to be significant, bride to resumption of Work, 5 mitigation and monitoring plan shall be prepared by a qualified archaeologist and reviewed and approved by the Community Planning and Building Director. In addition, if man remains are unearthed during excavation, no further disturbance shall occur until the County Coroner has made the necessary findings as to origin and distribution pursuant to California Public Resources Code (PRC) Section
- Truck Haul Route. Prior to Building Permit issuance, the applicant shall provide for City (Community Planning and Building Director in consultation with the Public Services and Public Safety Departments) review and approval, a truck-haul route and any necessary temporary traffic control measures for the grading activities. The applicant shall be responsible for ensuring adhere the truck-haul route and implementation of any required traffic control
- 22. USA North B11, Prior to any excavation or digging, the applicant shall contact 1 the appropriate regional notification center (USA North 811) at least t working days, but not more than 14 calendar days, prior to commencing that n or digging. No digging or excavation is authorized to occur on site until the applicant has obtained a Ticket Number and all utility members have positively responded to the dig request. (Visit USANorth811.org for more
- 23. Conditions of Approval. All conditions of approval for the Planning permit(s) 1 all be printed on a full-size sheet and included with the construction plan set submitted to the Building Safety Division ENVIRONMENTAL COMPLIANCE CONDITIONS
- Drainage Plan. Provide a drainage plan that meets the requirements of the City's drainage guidance, SOG 17-07. At a minimum, new and replaced impervious. are drainage eventsed, but not not a numnum, new and repuided impervious, area drainage must be dispersed around the site rather than focused into one corner of the property, infittation features must be sized appropriately and must be located at least 6 feet from neighboring properties. The drainage plan shall include information on drainage from new impervious areas and semipervious areas.

Reviewed for Code Compliance

JUL 09 2021 CSG CONSULTANTS, INC.

A REVISION 5/7/2021 PLAN CHECK SUBMITTAL



UCK

JESELNIC ARCHITEC

Σ

DA

A

AVENUES

SAN ANTONIO

CLUB

BEACH

ш

CHIFFR

ш

93921

ORNIA

1

CAL

ORNER OCEAN AND CARMEL-BY-THE-SEA,

CORNER

ш

Z

CONDITIONS OF

APPROVAL

as noted

3-12-2021

SHEET DATE

1

3/1/2021 | 10:17 AM PS

Date

SEA this 10th day of February, 2021 by the following vote: Resolution No. 2021-009-PC AVES: Commission Members: Molton, Oclves, Lahman, Locke, BePage NOES: Commission Members: Rope

25. BMP Tracking Form. A completed BMP Tracking form will need to be submitted

26. Semi-Permeable Surfaces. Provide cross-section details for semi-pe

27. Erosion and Sediment Control Plan. Provide an erosion and sediment control

plan that includes locations and installation details for erosion and sed

control BMPs, material staging areas, and stabilized access with Building Permi

SPECIAL CONDITIONS SPECIAL CONDITIONS 29. Tree Planting Required. The applicant shall plant two upper canopy and two lower canopy trees on the property. The location and species shall be determined in consultation with the City Forester and Planton Staff and shall

Right-of-Way Encroachments. All right-of-way encroachments, including but

not limited to, boulders located north of the driveway, and all gravel, shall be

removed prior to final inspection. The asphalt pathway to the south of the

31. Concrete Driveway. The concrete driveway located in the public right-of-way

32. Right-of-Way Planting. The applicant shall submit a planting layout and plant

palette for the right-of-way along San Antonio as part of the final landscape

he plate height on the west elevation is nonconforming at

Matthew Burns, Authorized Signatory for Circle Three Management LLC, Manager of Le Chiffre Holdings LLC

Printed Name

PASSED AND ADOPTED BY THE PLANNING COMMISSION OF THE CITY OF CARMEL-BY-THE-

Once signed, please email to mwaffle@ci.carmel.ca.us

shall be removed and replaced with gray concrete payers at pres-

anning Commission on February 10, 2021, a motore

ABSENT: Commission Renbers: None ABSTAIN Commission Members: None

Resolution No. 2021-009-PC Page 8 of 9

application.

property shall re

33. West Elevation

Kindlen

perty Owner Signature

with the Building Permit Application

be installed prior to final inspection.

and shall not be increased.

*Acknowledgement and acceptance of conditions of approval.



EXHIBIT D



Civil Engineering + Land Surveying

6 Harris Court, Monterey, CA 93940 | 831.649.5225 whitsonengineers.com

October 18, 2021

Job No.: 4425.00

Andrew Ellis Groza Construction

Re: Ridge Height Certification Le Chiffre Beach Club NE Corner Ocean & San Antonio Avenues Carmel-By-The-Sea, CA 93921 APN: 010-253-009

Dear Mr. Ellis:

On October 18, 2021 Whitson Engineers checked the height of the ridge of the residence at the NE.Corner of Ocean & San Antonio Avenues, Carmel-By-The-Sea. The surveyed ridge, at its highest point, was found to be at an elevation of 224.63 feet (point # 1019), relative to the designated Site Benchmark (elevation 200.93 feet, assumed datum, (tied by Whitson Engineers at Point #206) as shown on Sheet C1.1 of the Civil plans dated May 17, 2021.

Sincerely,

Richard Weber PE, LS LS 8002 Principal



EXHIBIT D

PT. NO.	Ν.		Ε.		ELEV.	DESC.
206		2098338.687		5701901.673	200.93	CP FD MAG NAIL SITE BENCHMARK
1019		2098396.427		5701964.755	224.629	RIDGE
1020		2098370.763		5701967.14	222.124	RIDGE 1
1021		2098375.57		5701981.594	223.402	RIDGE 2
1022		2098408.136		5701971.975	223.027	RIDGE 3
1023		2098393.414		5701972.802	221.775	RIDGE 4 .7 HIGHER
1024	-	2098400.712		5701959.938	210.463	SUBFLOOR
1025		2098407.961		5701957.144	200.371	CONC SLAB LOWER
1026		2098398.22		5701956.637	220.209	TOP PLATE BEAM *P
1027		2098396.227		5701956.644	220.811	TOP STEEL BEAM ON PLATE WOOD

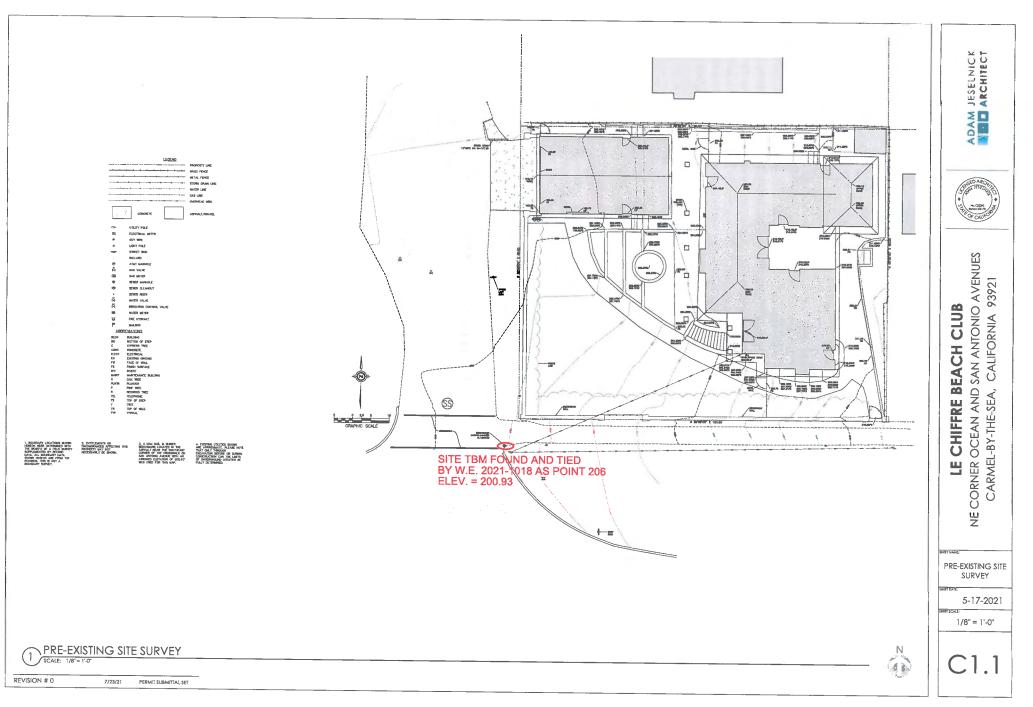


EXHIBIT D



EXHIBIT E



Civil Engineering + Land Surveying

6 Harris Court, Monterey, CA 93940 | 831.649.5225 whitsonengineers.com

January 28, 2022

Job No.: 4425.00

Andrew Ellis Groza Construction

Re: Ridge Height Certification Le Chiffre Beach Club NE Corner Ocean & San Antonio Avenues Carmel-By-The-Sea, CA 93921 APN: 010-253-009

Dear Mr. Ellis:

On January 27, 2022, Whitson Engineers checked the height of the framing of the residence at the NE Corner of Ocean & San Antonio Avenues, Carmel-By-The-Sea.

The survey data as follow:

- **Point 1037** Top of a 1 $\frac{1}{2}$ " x 7" sill, representing lower finish floor elevation was found to be at an elevation of 200.59 feet.
- **Point 1038** Top of a 2 x 4" stud, representing top of finished ceiling was found to be at an elevation of 219.28 feet.
- **Point 1039** The surveyed ridge, a 2" x 12" joist, at its highest point, was found to be at an elevation of 223.32 feet at its highest point.
- Point 1040 Top plywood sheeting at top header beam was found to be at an elevation of 220.23 feet.
- Point 1041 Top plywood sheeting at top header beam was found to be at an elevation of 220.22 feet.

Elevation of all points surveyed relative to the designated Site Benchmark (elevation 200.93 feet, assumed datum, (tied by Whitson Engineers at Point #206) as shown on Sheet C1.1 of the Civil plans dated May 17, 2021.

Sincerely,

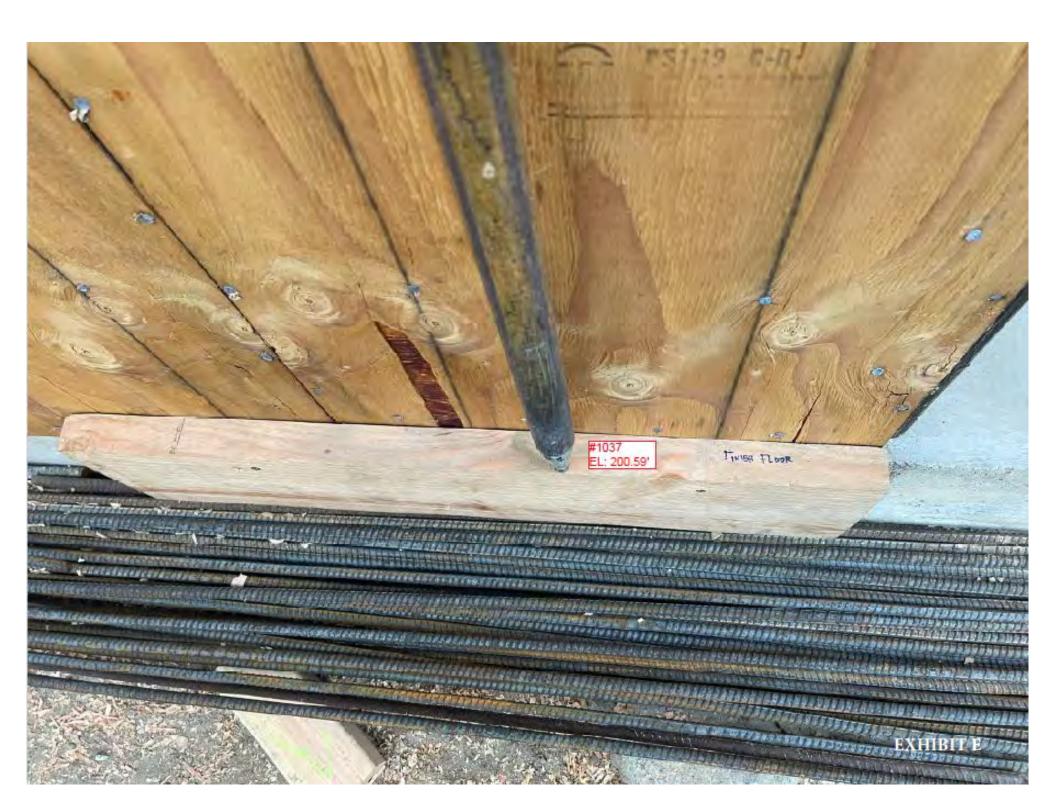
Richard Weber PE, LS LS 8002 Principal

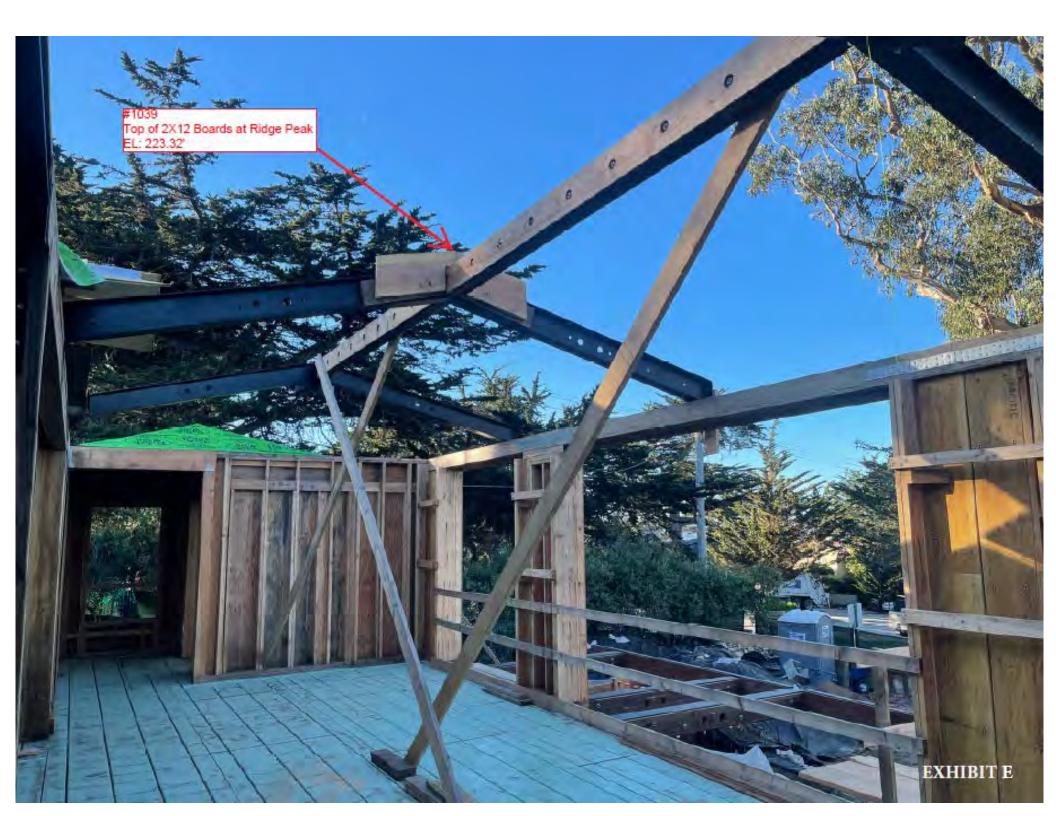


EXHIBIT E









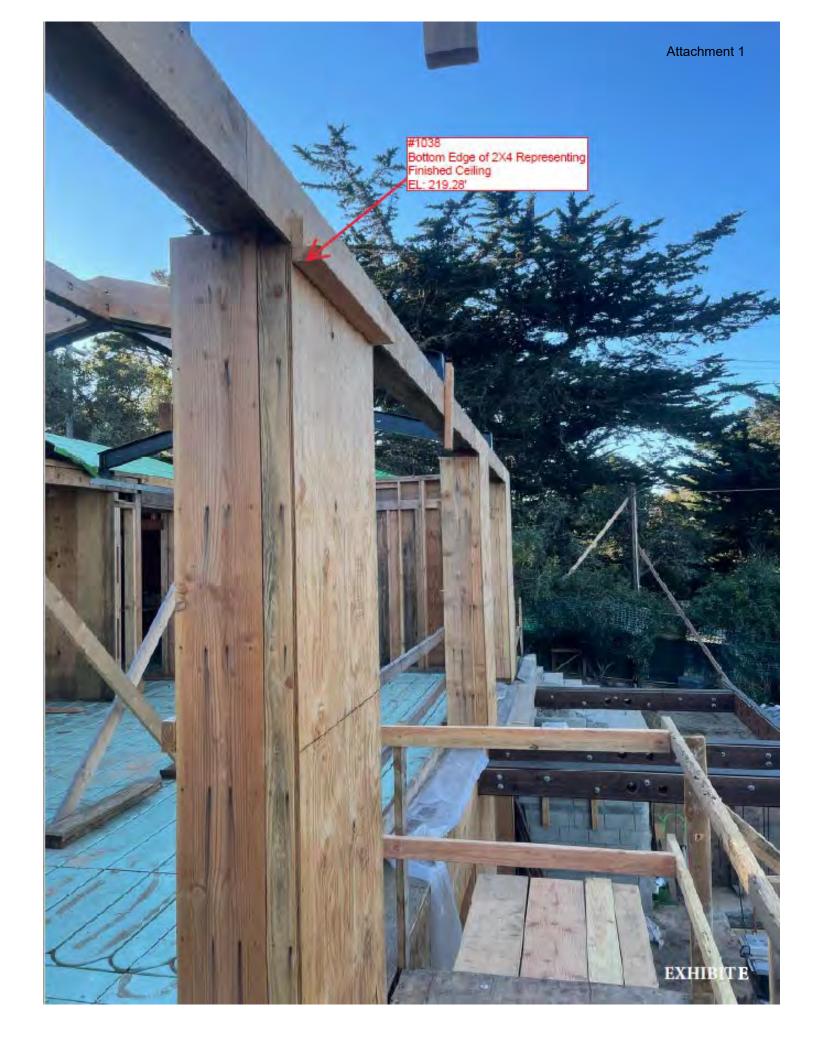


EXHIBIT F

Plate Height Calculations Worksheet

10/18/21 Whitson Certification Plate Height 10 inches higher than 19'

220.209 – Points 1026 & 1027 – Top of Plate wood <u>200.371</u> – Point 1025 – Concrete Slab 19.84' = 19'-10.1" = Plate Height 10 inches higher than 19'

1/28/22 Whitson Certification Plate Height nearly 8 inches higher than 19'

220.23 – Points 1040 & 1041- Top of Sheeting at Top Header
<u>200.59</u> – Point 1037 – Lower Finished Floor
19.64' = 19'-7.7" = Plate Height nearly 8 inches higher than 19'

Whitson Top of Header (1/28/22) with Whitson Concrete Slab (10/18/21) Plate Height over 10 inches higher than 19'

220.23 - Points 1040 & 1041 - Top of Sheeting at Top of Header<u>200.371</u> - Point 1025 - Concrete Slab19.86' = 19'-10.3" = Plate Height over 10 inches higher than 19'

Applicant Plans (Sheet A3.3) Submitted for PC meeting Plate Height over 9 inches higher than 19'

220.00 – Top of New Plate <u>200.22</u> – Finished Floor 19.78' = 19'-9.4" = Plate Height over 9 inches higher than 19'

Plate height must be reduced to elevation 219.22 feet conform to required 19' plate height

EXHIBIT G

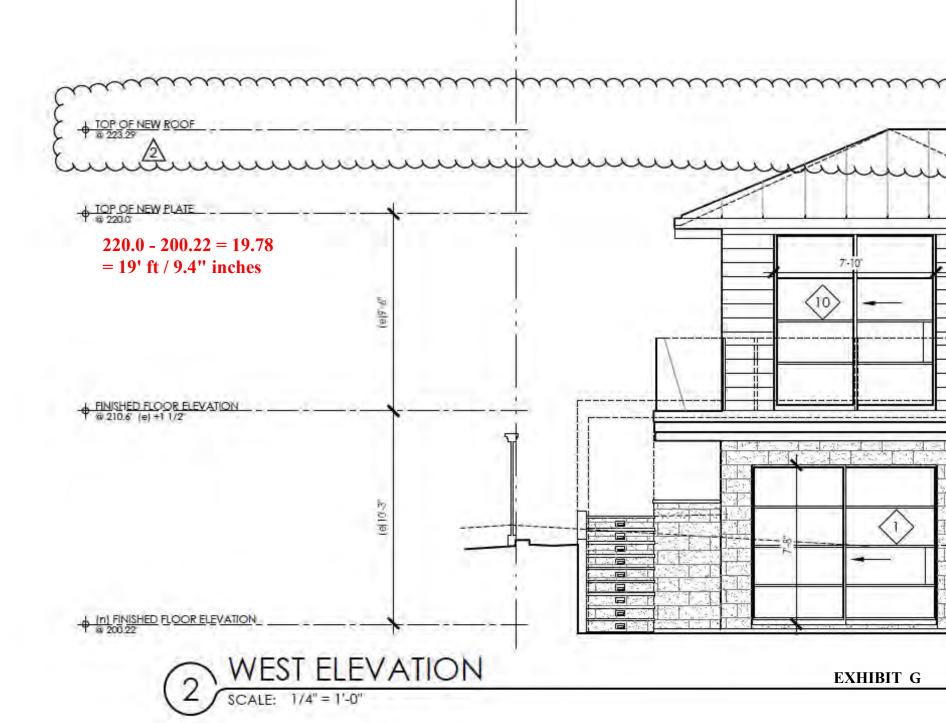


EXHIBIT H

White sand and white water view





Increased Plate Height at 19'-10"



EXHIBITH

Plate Height View Impact 10" difference

As illustrated on the superimposed picture beight, roof installed on the higher plate height effectively blocked mest of the beach and sand-tune view

EXHIBIT I

TIMELINE A RANGTHONG COMMUNICATIONS WITH THE CITY

- October 13, 2021
 - Quinn (NHEH) Email to City stating Quinn wants to meet with City staff to review approved plans and any approved modifications
- October 14, 2021
 - Quinn requests City issue a stop work notice
 - Swanson email to Quinn stating City does not have substantial evidence to support a stop work order
 - Quinn requests City confirm the approved plate height, height to the peak of the roof, and approved roof pitch.
 - Swanson responds confirming project must conform to plans approved and City will ask for a height verification to be completed by a licensed professional.
- October 21, 2021
 - o Quinn email to City asking about a timeline for the survey to confirm heights
 - Quinn requests meeting with Waffle
- October 25, 2021
 - Quinn letter to City stating concerns about the height of the roof and ridge line under construction, the City's failure to send documents, and requesting that work on the roof be stopped.
 - Quinn email to Swanson requesting documents (the following documents were requested: affidavit of story pole certification, roof ridge certification, final planning commission resolution from 2/10/21, and the approved plans)
- October 27, 2021
 - Frank Lucido (Rangthong surveyor) email to City requesting a copy of the Ridge Height Letter prepared by Whitson Engineers.
 - City sends letter Whitson Oct. 18 2021 certification letter to Lucido who provides to Rangthong
 - Lucido memo to City stating discrepancies between the roof ridge height mentioned in the Whitson 10.18.21 letter and the height mentioned on the plans
- October 28, 2021
 - Quinn letter to City stating the ridge height is in excess of the approved plans, and requesting the City issue a stop work notice.
 - Swanson email to Quinn stating City is in contact with the contractor and discussing potential discrepancies in the ridge height.
- Oct. 29, 2021
 - Swanson sends a copy of the final plans referenced in the Whitson Oct. 18 Letter
 - Quinn requests construction stop work as plans don't align with plans approved by Planning Commission

• November 1, 2021

- Quinn memo to Swanson following up on Oct 29 email, and requesting Sheet C1.1 and a copy of the topographic Site Survey for the project
- o Quinn and Swanson have telephone call
- Swanson e-mail to Quinn will not place a stop work order on project; City has asked contractor to not perform any more work on the subject portion of the house while a solution is worked out. Working with staff to get you the requested additional materials
- November 12, 2021
 - Quinn has telephone call with Swanson
- November 18, 2021
 - Quinn requests City keep Quinn (NHEH) informed of any submittals, applications or activity on the property
- December 6, 2021
 - Quinn email to Swanson stating applicant is continuing construction on western elevation, and asking if the City has confirmed compliance with Condition No. 33 regarding restriction on plate height
 - Swanson email to Quinn stating City has received email confirmation from property owner that they have ordered new structural material which will allow them to bring the ridge and plate height down to the elevation approved by the Planning Commission
 - Quinn email to Swanson with attachments stating applicant is continuing construction which adds to the plate height.
- December 14, 2021
 - Quinn email to Swanson asking if City has confirmed the plate height
- December 16, 2021
 - Quinn email to Swanson again asking if City has confirmed the plate height; if applicant has provided a plan for height reduction or a timeline for installation; and requesting a status of the project
 - Swanson email to Quinn stating plate heights are not the issue the issue is the ridge height. Another verification will be done once new roof is installed
 - Quinn email to Swanson stating plate height is also an issue as the building plans applicant was utilizing reflect an incorrect plate height. City has not confirmed if plate heights are in conformance with the Planning Commission's approval of Condition 33
- December 21, 2021
 - Quinn email to Swanson stating she is following up regarding the verification of the plate height per the plans
- December 23, 2021
 - Swanson email to Quinn stating Waffle has reviewed plans and the plate heights on the building permit set appear to match the planning set presented to the Commission. Waffle will confirm this finding in January

- Quinn email to Swanson requesting confirmation that the plate height at the site conforms to the Planning Commission direction and Condition 33, which Attachment 1 Condition 33 is noted on the Building Plan Set notes
- January 10, 2022
 - Quinn email to Swanson following up on the plate height confirmation
- January 14, 2022
 - Quinn email to Swanson transmitting photographs, stating project is not meeting Condition 33 as the current project plate heights are too high and requesting work be stopped until City can confirm the plate height
- January 19, 2022
 - Quinn email to Swanson stating she has left him a voicemail but has not heard back regarding the plate height verification.
 - Quinn email to Swanson asking for a status on request to stop work, and again requests a stop work order be issued pending confirmation of the plate height
 - Swanson email to Quinn stating they will send the relevant information regarding the plate height survey no later than tomorrow (1/20) by noon
- January 20, 2022
 - Quinn email to Swanson stating request is for a physical confirmation that the project plate height is only 19' and for any information the City has about the project being in compliance, as NHEH has information based on Whitson 10/18/21 survey which would indicate that plate height is too high.
- January 21, 2022
 - Quinn email to Swanson stating a higher plate height affects the pitch of the roof and impacts the view of the beach/sand
 - Swanson email to Quinn stating property owner will be having an additional height survey done Monday of next week
- January 25, 2022
 - Quinn email to Swanson asking if there is any progress on survey
- January 27, 2022
 - Quinn email to Swanson following up regarding the plate height and asking if City has any information to share
 - Swanson email to Quinn stating he has not seen further survey but will ask for a status
- January 31, 2022
 - o Quinn email to Swanson asking for any updates
 - Swanson email to Quinn stating survey was done Friday but we are awaiting the report
- February 2, 2022
 - Quinn email to Swanson stating that the roof construction is progressing and asks if City has any information on the plate height or status of the survey

- Swanson sends 1/28/22 Whitson height certification survey to Quinn with note that top of the plate is at 19.3 ft above the base elevation point of 200.93
- February 3, 2022
 - Quinn email to Swanson asking for clarification on Height Calculations, request for a meeting, and request for Sheet C1.1 of Civil Plans dated 5/17/21.
 - Quinn sends Swanson correct calculations for plate height showing plate height is over 10" too high
- February 4, 2022
 - Swanson email to Quinn stating he can meet on Wednesday (2/9).
 - Kemp email to Swanson stating a stop work notice is needed and requesting the City confirm that the plate height is 10 inches over what was approved.
 - Swanson email to Kemp stating he and team need to look at the plans but they can confirm that the plate height is higher than 19 feet.
 - Kemp email to Swanson requesting the City confirm that property owner will stop work today until issue is sorted out. Email states property owner has continued construction on the roof despite the stop work order already in place.
 - Swanson email to Kemp confirming property owner will stop work on the portion of the project related to the roof and plate height
 - Kemp email to Swanson confirming Zoom call for Wednesday (2/9).
- February 9, 2022:
 - o Zoom meeting with City staff rescheduled and held on Feb 14
 - Quinn email to Swanson stating garage has been demolished despite the Planning Commission approval and the plans stating the nonconforming structure was to be retained. Asks if there have been amendments or modifications to the permit or approvals of the project.
- February 10, 2022
 - Quinn email to Swanson following up on question regarding permit amendments or modifications requests that information be forwarded if it exists.
- February 17, 2022
 - Quinn follow up email to Swanson have not received documents City agreed to provide at meeting
- February 22, 2022
 - Swanson email to Quinn stating tarp will be temporarily placed over the top of the northwest corner currently at issue, and that the owner understands we will need to go to the Planning Commission
 - Quinn email to Swanson stating tarp should not unnecessarily impact Client's property in such a way as to obstruct the view
 - Swanson email to Quinn clarifying the tarp will go over the existing structure and any views through the building will be temporarily blocked
- February 24, 2022
 - Quinn email to Swanson stating applicant is installing all the rafters, not simply securing a tarp

- March 1, 2022
 - Quinn follow up email to Swanson have not received documents City agreed to provide at meeting regarding plate height calculations and other documents and it's been more than 2 weeks – request that the matter be heard at the April Planning Commission meeting instead of March
 - Swanson email to Quinn stating City will provide the requested information by the end of the day tomorrow (3/2), and will still hear the matter in March. Quinn can request continuance to the Planning Commission.
 - Quinn email to Swanson stating it is not equitable or fair to Client to receive the requested information just days before the hearing as there isn't an opportunity to meaningfully review and timely respond to the Commission
 - Kemp email to Swanson stating client is prejudiced by inability to timely review the City's plate height calculations and asks questions regarding the Planning Commission staff report and presentation
- March 2, 2022
 - Swanson email to Quinn responding to questions regarding permit modifications, plate height calculations, compliance, and the planning commission – transmitting the revised plans
 - Swanson email to Kemp responding to questions regarding the Planning Commission staff report and presentation.
 - Quinn email to Swanson with questions regarding the application for a ridge line increase, permits for the garage, a CDP, and the City's calculation as to the plate height which she still has not received



CITY OF CARMEL-BY-THE-SEA PLANNING COMMISSION Staff Report

February 10, 2021 PUBLIC HEARINGS

TO:	Chair LePage and Planning Commissioners
SUBMITTED BY:	Marnie R. Waffle, AICP, Senior Planner
APPROVED BY:	Brandon Swanson, Community Planning & Building Director
SUBJECT:	DS 20-323 (NEC San Antonio & Ocean): Consideration of combined Concept & Final Design Study (DS 20-323, Le Chiffre Holdings, LLC) and associated Coastal Development Permit for alterations to an existing single-family residence located in the Single-Family Residential (R-1) District, Archaeological Significance Overlay District, Park Overlay District, Beach & Riparian Overlay District, and Coastal Commission Appeal Jurisdiction (APN 010-253-009).
	CEQA Action: Staff recommends the project be found categorically exempt from CEQA pursuant to Section 15301 (Class 1) – Existing Facilities.

Application: DS 20-323 (Le Chiffre Holdings, LLC) Block:HH Location: NEC San Antonio & Ocean Applicant:Adam Jeselnick, Architect **APN:** 010-253-009 **Lot:**2 & 4

Property Owner: Le Chiffre Holdings, LLC

Executive Summary:

The applicant is requesting approval of a combined Concept and Final Design Study and associated Coastal Development Permit for alterations to an existing single-family residence. The residence is in a state of partial construction and the prior Design Study (DS 15-322, Northpoint Investments) expired concurrent with the building permit.

Recommendation:

Adopt a Resolution (Attachment 1) approving a combined Concept & Final Design Study and associated Coastal Development Permit for alterations to an existing single-family residence located at the northeast corner of San Antonio and Ocean Avenue.

Background and Project Description:

The project site contains a single-family dwelling with detached garage on an 8,000 square-foot lot. A Design Study (DS 15-322, Northpoint Investments) was approved on November 18, 2015 for additions and alterations to the existing residence. Notable changes included,

- 1) The removal of a 195 square-foot, second-story bedroom at the northeast corner of the residence;
- 2) Replacement of a 265 square-foot guest cottage attached to the rear of the detached garage with a new ramada;
- 3) The conversion of 979 square feet of lower level/basement storage space to living space;
- 4) Expansion of the front balcony by 3 feet; and,
- 5) Associated site improvements.

A Building Permit (BP 16-055) was issued on September 13, 2016 and construction commenced. Based on the building inspection record, the building permit was set to expire in September 2018, but an extension was granted by the Building Official. The last building inspection was conducted on April 12, 2019 and the building permit expired on October 12, 2019. The Design Study (DS 15-322) expired concurrently with the building permit. The property is now under new ownership represented by Adam Jeselnick Architect and a Design Study application (DS 20-323, Le Chiffre Holdings, LLC) has been submitted to complete construction of the project and for minor alterations to Design Study (DS 15-322, Northpoint Investments). The alterations include,

- · Replacing the gable roof on the detached garage with a flat roof;
- · Replacing the ramada with a pergola behind the garage;
- Construction of exterior stairs on the north elevation;

• Replace the chemically treated and painted masonry brick with stone veneer and horizontal wood siding (Note: masonry brick was removed and disposed of by prior owner);

• Replace the slate roof with a standing seam metal roof;

- Replace painted wood doors and windows with steel doors and windows;
- · Minor revisions to fenestration in response to modifications in the floor plan; and,
- New exterior light fixtures.

Table 1. Floor Area Comparison

	Original	Design Study	Design Study
	Residence	(DS 15-322)	(DS 20-323)
		Approval	Proposed Alterations
Detached Garage	417 SF	417 SF	426 SF
Guest Cottage	265 SF	0 SF	0 SF
Main Level	1,612 SF	1,779 SF	1,770 SF
Upper Level	195 SF	0 SF	0 SF
Lower Level	0 SF	979 SF	1,079 SF
Total Square Feet	2,489 SF	3,175 SF	3,275 SF

Historic Status: A Historic Evaluation was conducted in 2003 by Kent Seavey and concluded the property did not qualify as a historic resource. In 2007, staff issued a Determination of Ineligibility for the historic inventory; that determination expired in 2012. As part of the 2015 Preliminary Site Assessment, staff re-issued a Determination of Ineligibility for the historic inventory.

Staff has scheduled the application for a combined Concept and Final Design Study review. If the Commission has concerns that cannot be addressed at one meeting, the project can be continued with direction to the applicant.

Staff Analysis:

Overlay Districts: The project is located within the following overlay districts:

Archaeological Significance Overlay

The purposes of the Archaeological Significance (AS) Overlay District are to, implement the General Plan/Coastal Plan Land Use Plan; protect archaeological sites in Carmel; provide for the designation of archeological resources; and, create a clear process and standards for evaluating projects that may affect archaeological resources.

An archaeological report was prepared in November 2015 by Susan Morley and did not find evidence of any cultural resources. The report recommended that that in the event that unexpected traces of historic or prehistoric materials, i.e., human remains, concentrations of shell or heat altered rock or historic trash pits are encountered during grading or other future development, a qualified archaeologist should be retained for appropriate archaeological mitigation.

All grading activities associated with excavating the lower level/basement storage space to living space have been completed. Additional excavation associated with constructing the stairs on the north elevation would be minimal. Standard Condition No. 20 requires that all construction activities cease if cultural resources are discovered on the site.

Park Overlay

The specific purposes of the Park (P) Overlay District are to implement the General Plan/Coastal Plan Land Use Plan and to ensure that development of private property adjacent to parks and open spaces is compatible with their continued enjoyment.

The project site is located on the east side of San Antonio, north of Ocean Ave; on the west side of San Antonio is Carmel Beach and the North Dunes which provides habitat for the endangered Black legless lizard and Tidestrom's Lupine. The area has undergone extensive restoration to restore the natural habit for plant and animal life. The proposed project would not interfere with the continued enjoyment of Carmel Beach or the North Dunes.

Beach & Riparian Overlay/Appeal Jurisdiction

The purpose of the Beach and Riparian/Appeal Jurisdiction (AB) Overlay District is to provide review standards applicable to public and private property development located near public beach lands to ensure that proposed development is compatible with the public enjoyment of the City's coastal resources and with the California Coastal Act.

The proposed development is a remodel of an existing single-family residence and alterations to an existing detached garage in the Single-Family (R-1) District. The project would not alter the public enjoyment of the City's coastal resources or be in conflict with the California Coastal Act. In accordance with the General Plan and Local Coastal Plan, a Coastal Development Permit (CDP) will be issued for the project and is appealable to the Coastal Commission.

Forest Character: Residential Design Guidelines 1.1 through 1.4 encourages preserving significant trees and minimizing impacts on established trees; protecting the root systems of all trees to be preserved; and, maintaining a forested image on the site.

<u>Staff Response</u>: A Preliminary Site Assessment was completed in August 2015 and no trees were identified on the property. The City Forester recommended that two upper canopy and two lower canopy trees be planted and that recommendation has been included as Condition No. 29 (Attachment 1). With the application of conditions, the project meets the objectives of forest character.

Privacy and Views: Residential Design Guidelines 5.1 through 5.3 encourages designs that preserve reasonable privacy for adjacent properties and maintain view opportunities to natural features.

<u>Staff Response</u>: No view impacts were identified in the review of this project. The view shed improved with the removal of the secondstory bedroom (at the northeast corner of the residence) which was completed when the project was under construction previously.

The 2015 Preliminary Site Assessment identified potential privacy impacts to the north neighbor who has a south facing window and the subsequent Design Study approval included minimal fenestration on the north elevation consisting of a door and small window located towards the rear of the property.

The applicant has reconfigured the floor plan and along the north wall of the house, the master suite has been replaced with the kitchen and pantry. The fenestration on the north elevation has been modified to reflect the new floor plan layout and includes a triple light window in the pantry with the outer lights fixed and a casement window in the center. Additional windows on the north elevation are located towards the rear of the property and include, two awning windows, one in the bathroom and one in the laundry room.

The applicant is also proposing new, exterior stairs on the north elevation to provide a convenient path of travel from the garage to the kitchen, both of which are located on the north side of the property. The exterior stairs have been delineated as part of the staking and flagging. As of the writing of this report, staff has not been contacted by the north neighbor.

Parking and Access: Residential Design Guidelines 6.1 through 6.7 encourages subordinate parking facilities that do not dominate the design of the house or site; minimizing the amount of paved surface for a driveway; positioning garages to maximize open space, views and privacy; and, minimizing visual impacts.

<u>Staff Response</u>: A property that is 8,000 square feet or less in size requires one, off-street parking space. The required parking for the project is provided by an existing 417 square-foot, detached garage located partially within the front setback along the north property line. The garage has a 5:12 pitched gable roof and the walls are finished with the same brick veneer that was removed from the residence. The existing driveway is concrete which extends into the right-of-way where it connects with the asphalt street edge.

The applicant is proposing to replace the existing brick with a limestone veneer to match the remodeled house and replace the gable roof with a flat green (aka living) roof. The driveway material is not identified on the plans; however, the Residential Design Guidelines recommend avoiding grey concrete. While the existing concrete is cracked, the applicant may choose to patch the cracks and retain the portion that is located on private property. Condition No. 31 requires that the concrete in the public right-of-way be removed. Should the applicant decide to replace the entire driveway, an encroachment permit for a driveway replacement can be applied for.

Retaining the garage in its current location reduces the amount of paved surface needed for the driveway. Additionally, changing the roof form from gabled to flat reinforces the garage as subordinate to the residence. With the application of conditions, the project meets the objectives of parking and access.

Mass and Bulk: Residential Design Guidelines 7.1 through 7.7 encourages a building's mass to relate to the context of other homes nearby; minimize the mass of a building as seen from the public way or adjacent properties; and, relate to a human scale in its basic forms.

<u>Staff Response</u>: The conversion of the lower level storage/basement area to living space did not add mass or bulk to the project and the removal of the second-story bedroom actually reduced the mass of the residence. The neighborhood is predominately two-story homes and the project is consistent with this context. The project meets the objectives of mass and bulk.

Building and Roof Form: Residential Design Guidelines 8.1 through 8.5 encourages traditional building forms; using restraint with variations in building planes; using simple roof forms that are in proportion to the scale of the building; and, roof eave lines that are low in scale.

<u>Staff Response</u>: As noted above, the removal of the second-story bedroom was a notable change to the project. This modification not only resulted in a reduction of mass, but it also removed a building form that extended above the main ridge of the house. The removal of this bedroom also reduced the overall height of the residence by 5'-8".

The existing roof pitch is 5.5:12 throughout. The applicant is proposing to reduce the roof pitch to 4:12 along the west facing portion of the residence above the kitchen and living room. This modification would allow the doors on the upper level to be the same height as the 8' doors on the ground level. However, the existing residence has a nonconforming plate height of 18'-6" on the west elevation which would increase to 19'-9". Condition No. 33 limits the plate height to existing conditions. With the application of conditions, the project meets the objectives of building and roof form.

Right-of-way Character: Residential Design Guidelines 1.5 through 1.7 encourages maintaining an informal open space character of the right-of-way; maintaining trees and natural vegetation; and, designing parking areas to reinforce the forest image.

Staff Response: The 2015 Preliminary Site Assessment documented the following right-of-way encroachments, 1) boulders located north of the driveway on San Antonio and 2) an asphalt walkway located south of the property in between the stone wall and Ocean Avenue. Staff notes that the asphalt walkway serves as a public sidewalk providing a pedestrian connection between Casanova Street and Carmel Beach. Condition No. 30 (Attachment 1) requires the removal of all non-permitted encroachments, excluding the asphalt path, prior to final inspection as well as removal of all gravel. Improvements in the right-of way along the front of the property are limited to the driveway providing access to the detached garage, and natural soil, mulch or plantings. Parking is not permitted on the east side of San Antonio. Consistent with the neighborhood context, Condition No. 32 requires that the right-of-way be planted and that a planting layout and plant palette be included in the final landscape plans. With the application of conditions, the project

meets the objectives of right-of-way character.

Attachment 1

Exterior Lighting: Carmel Municipal Code Section 15.36.070.B.1 states that all exterior lighting attached to the main building or any accessory building shall be no higher than 10 feet above the ground and shall not exceed 25 watts (incandescent equivalent; i.e., approximately 375 lumens) in power per fixture, and that landscape lighting shall not exceed 18 inches above the ground nor more than 15 watts (incandescent equivalent; i.e., approximately 225 lumens) per fixture.

In addition, Residential Design Guideline 11.8, states that projects should, "preserve the low nighttime lighting character of the residential neighborhoods. Use lights only where needed for safety and at outdoor activity areas."

<u>Staff Response</u>: The applicant is proposing to install a Louis Poulsen 'Toldbod 6.1' exterior wall-mounted sconce. The fixture is shielded, directs light downward and delivers a lighting level of 189 lumens. The applicant is proposing a total of 9 fixtures as follows:

- · 2 on the garage
- · 3 at the second floor balcony (front elevation)
- 4 at the rear patio

The applicant is also proposing a WAC Lighting WL-LED 101 exterior step light. The fixture is shielded and directs light downward. Each fixture delivers 89 lumens. The applicant is proposing a total of 10 step lights - six at the front entry and four at the exterior stairs at the northwest corner of the house. The project meets the requirements for exterior lighting.

Site Coverage: Sites that are not in compliance with site coverage limits are not authorized to increase site coverage. Additionally, sites with excess coverage may only add floor area when the site complies with the R-1 district tree density provisions and excess site coverage will be reduced at a rate equal to two times the amount of floor area added to the site (ref: CMC 17.10.030.C.2, Nonconforming Site Coverage).

<u>Staff Response</u>: The property had non-conforming site coverage of 3,359 square feet which was removed during construction, with the exception of the concrete driveway. Up to 651 square feet of site coverage is permitted on an 8,000 square-foot lot, or up to 971 square feet if at least half is permeable.

The project is required to reduce excess site coverage by two-times the square footage of the addition. The addition is 686 square feet and requires a reduction of 1,372 square feet of site coverage. The applicant is proposing 1,950 square feet of site coverage, all of which would be impermeable including, but not limited to, a 402 square-foot second-story front deck with patio below; a 194 square-foot front fire pit patio; a 284 square-foot pergola behind the garage; 416 square feet of front porch, walls, steps and walkways; and a 230 square-foot rear patio. The remaining site coverage elements include, perimeter walls, exterior stairs on the north elevation, a light well, and the driveway.

Skylights: The project does not include any skylights.

Fencing/Gate/Arbor: The project does not include new fencing, gates or arbors.

Finish Details: The 2015 Design Study approval included, retaining the brick veneer and painting it 'Deep Silver'; 6" clear cedar siding at the front porch; a slate tile roof; and, unclad wood windows and doors painted 'Twilight'. During construction, the brick veneer was removed and disposed of. The applicant is proposing a limestone veneer for the lower floor and horizontal wood siding for the upper floor; steel bronze windows; and, a standing seam metal roof (see Attachment 5, Sheet A16).

Other Project Components:

Staff recommends the project be found categorically exempt from the California Environmental Quality Act (CEQA), State CEQA guidelines and local environmental regulations, pursuant to Section 15301 (Class 1) – Existing Facilities. Class 1 exemptions include, alterations to existing private structures involving negligible or no expansion of the existing or former use such as additions to existing structures provided that the addition will not result in an increase of more than 50 percent of the existing floor area or 2,500 square feet, whichever is greater. The project consists of interior and exterior alterations and a minor addition to an existing single-family residence. The 686 square-foot addition represents 28% of the floor area of the existing residence. The project does not change the existing or former use of the property as a single-family residence and the project does not present any unusual circumstances that would result in a potentially significant environmental impact.

ATTACHMENTS:

Description Attachment 1 - Resolution Attachment 2 - Site Photographs Attachment 3 - Project Data Table Attachment 4 - Project Plans

EXHIBIT K

DS 20-323 (Le Chiffre Holdings, LLC) February 10, 2021 Site Photographs



Photo 1. Existing gable roof on garage to be replaced with flat roof

DS 20-323 (Le Chiffre Holdings, LLC) February 10, 2021 Site Photographs



Photo 2. South elevation of existing garage. East portion to be converted to a pergola.

DS 20-323 (Le Chiffre Holdings, LLC) February 10, 2021 Site Photographs



Photo 3. New exterior stairs on north elevation.

EXHIBIT L

Garage Demolished New foundation location being poured



New garage reframed



ATTACHMENT 1 RANGTHONG CORRESPONDENCE WITH CITY

DS 20-232

TIMELINE ^ RANGTHONG COMMUNICATIONS WITH THE CITY

- October 13, 2021
 - Quinn (NHEH) Email to City stating Quinn wants to meet with City staff to review approved plans and any approved modifications
- October 14, 2021
 - Quinn requests City issue a stop work notice
 - Swanson email to Quinn stating City does not have substantial evidence to support a stop work order
 - Quinn requests City confirm the approved plate height, height to the peak of the roof, and approved roof pitch.
 - Swanson responds confirming project must conform to plans approved and City will ask for a height verification to be completed by a licensed professional.
- October 21, 2021
 - Quinn email to City asking about a timeline for the survey to confirm heights
 - Quinn requests meeting with Waffle
- October 25, 2021
 - Quinn letter to City stating concerns about the height of the roof and ridge line under construction, the City's failure to send documents, and requesting that work on the roof be stopped.
 - Quinn email to Swanson requesting documents (the following documents were requested: affidavit of story pole certification, roof ridge certification, final planning commission resolution from 2/10/21, and the approved plans)
- October 27, 2021
 - Frank Lucido (Rangthong surveyor) email to City requesting a copy of the Ridge Height Letter prepared by Whitson Engineers.
 - City sends letter Whitson Oct. 18 2021 certification letter to Lucido who provides to Rangthong
 - Lucido memo to City stating discrepancies between the roof ridge height mentioned in the Whitson 10.18.21 letter and the height mentioned on the plans
- October 28, 2021
 - Quinn letter to City stating the ridge height is in excess of the approved plans, and requesting the City issue a stop work notice.
 - Swanson email to Quinn stating City is in contact with the contractor and discussing potential discrepancies in the ridge height.
- Oct. 29, 2021
 - Swanson sends a copy of the final plans referenced in the Whitson Oct. 18 Letter
 - Quinn requests construction stop work as plans don't align with plans approved by Planning Commission

• November 1, 2021

- Quinn memo to Swanson following up on Oct 29 email, and requesting Sheet C1.1 and a copy of the topographic Site Survey for the project
- Quinn and Swanson have telephone call
- Swanson e-mail to Quinn will not place a stop work order on project; City has asked contractor to not perform any more work on the subject portion of the house while a solution is worked out. Working with staff to get you the requested additional materials
- November 12, 2021
 - Quinn has telephone call with Swanson
- November 18, 2021
 - Quinn requests City keep Quinn (NHEH) informed of any submittals, applications or activity on the property
- December 6, 2021
 - Quinn email to Swanson stating applicant is continuing construction on western elevation, and asking if the City has confirmed compliance with Condition No. 33 regarding restriction on plate height
 - Swanson email to Quinn stating City has received email confirmation from property owner that they have ordered new structural material which will allow them to bring the ridge and plate height down to the elevation approved by the Planning Commission
 - Quinn email to Swanson with attachments stating applicant is continuing construction which adds to the plate height.
- December 14, 2021
 - Quinn email to Swanson asking if City has confirmed the plate height
- December 16, 2021
 - Quinn email to Swanson again asking if City has confirmed the plate height; if applicant has provided a plan for height reduction or a timeline for installation; and requesting a status of the project
 - Swanson email to Quinn stating plate heights are not the issue the issue is the ridge height. Another verification will be done once new roof is installed
 - Quinn email to Swanson stating plate height is also an issue as the building plans applicant was utilizing reflect an incorrect plate height. City has not confirmed if plate heights are in conformance with the Planning Commission's approval of Condition 33
- December 21, 2021
 - Quinn email to Swanson stating she is following up regarding the verification of the plate height per the plans
- December 23, 2021
 - Swanson email to Quinn stating Waffle has reviewed plans and the plate heights on the building permit set appear to match the planning set presented to the Commission. Waffle will confirm this finding in January

- Quinn email to Swanson requesting confirmation that the plate height at the site conforms to the Planning Commission direction and Condition 33, which Attachment 1 Condition 33 is noted on the Building Plan Set notes
- January 10, 2022
 - Quinn email to Swanson following up on the plate height confirmation
- January 14, 2022
 - Quinn email to Swanson transmitting photographs, stating project is not meeting Condition 33 as the current project plate heights are too high and requesting work be stopped until City can confirm the plate height
- January 19, 2022
 - Quinn email to Swanson stating she has left him a voicemail but has not heard back regarding the plate height verification.
 - Quinn email to Swanson asking for a status on request to stop work, and again requests a stop work order be issued pending confirmation of the plate height
 - Swanson email to Quinn stating they will send the relevant information regarding the plate height survey no later than tomorrow (1/20) by noon
- January 20, 2022
 - Quinn email to Swanson stating request is for a physical confirmation that the project plate height is only 19' and for any information the City has about the project being in compliance, as NHEH has information based on Whitson 10/18/21 survey which would indicate that plate height is too high.
- January 21, 2022
 - Quinn email to Swanson stating a higher plate height affects the pitch of the roof and impacts the view of the beach/sand
 - Swanson email to Quinn stating property owner will be having an additional height survey done Monday of next week
- January 25, 2022
 - Quinn email to Swanson asking if there is any progress on survey
- January 27, 2022
 - Quinn email to Swanson following up regarding the plate height and asking if City has any information to share
 - Swanson email to Quinn stating he has not seen further survey but will ask for a status
- January 31, 2022
 - Quinn email to Swanson asking for any updates
 - Swanson email to Quinn stating survey was done Friday but we are awaiting the report
- February 2, 2022
 - Quinn email to Swanson stating that the roof construction is progressing and asks if City has any information on the plate height or status of the survey

- Swanson sends 1/28/22 Whitson height certification survey to Quinn with note that top of the plate is at 19.3 ft above the base elevation point of 200.93 Attachment 1
- February 3, 2022
 - Quinn email to Swanson asking for clarification on Height Calculations, request for a meeting, and request for Sheet C1.1 of Civil Plans dated 5/17/21.
 - Quinn sends Swanson correct calculations for plate height showing plate height is over 10" too high
- February 4, 2022
 - Swanson email to Quinn stating he can meet on Wednesday (2/9).
 - Kemp email to Swanson stating a stop work notice is needed and requesting the City confirm that the plate height is 10 inches over what was approved.
 - Swanson email to Kemp stating he and team need to look at the plans but they can confirm that the plate height is higher than 19 feet.
 - Kemp email to Swanson requesting the City confirm that property owner will stop work today until issue is sorted out. Email states property owner has continued construction on the roof despite the stop work order already in place.
 - Swanson email to Kemp confirming property owner will stop work on the portion of the project related to the roof and plate height
 - Kemp email to Swanson confirming Zoom call for Wednesday (2/9).
- February 9, 2022:
 - o Zoom meeting with City staff rescheduled and held on Feb 14
 - Quinn email to Swanson stating garage has been demolished despite the Planning Commission approval and the plans stating the nonconforming structure was to be retained. Asks if there have been amendments or modifications to the permit or approvals of the project.
- February 10, 2022
 - Quinn email to Swanson following up on question regarding permit amendments or modifications – requests that information be forwarded if it exists.
- February 17, 2022
 - Quinn follow up email to Swanson have not received documents City agreed to provide at meeting
- February 22, 2022
 - Swanson email to Quinn stating tarp will be temporarily placed over the top of the northwest corner currently at issue, and that the owner understands we will need to go to the Planning Commission
 - Quinn email to Swanson stating tarp should not unnecessarily impact Client's property in such a way as to obstruct the view
 - Swanson email to Quinn clarifying the tarp will go over the existing structure and any views through the building will be temporarily blocked
- February 24, 2022
 - Quinn email to Swanson stating applicant is installing all the rafters, not simply securing a tarp

- March 1, 2022
 - Quinn follow up email to Swanson have not received documents City agreed to provide at meeting regarding plate height calculations and other documents and it's been more than 2 weeks – request that the matter be heard at the April Planning Commission meeting instead of March
 - Swanson email to Quinn stating City will provide the requested information by the end of the day tomorrow (3/2), and will still hear the matter in March. Quinn can request continuance to the Planning Commission.
 - Quinn email to Swanson stating it is not equitable or fair to Client to receive the requested information just days before the hearing as there isn't an opportunity to meaningfully review and timely respond to the Commission
 - Kemp email to Swanson stating client is prejudiced by inability to timely review the City's plate height calculations and asks questions regarding the Planning Commission staff report and presentation
- March 2, 2022
 - Swanson email to Quinn responding to questions regarding permit modifications, plate height calculations, compliance, and the planning commission transmitting the revised plans
 - Swanson email to Kemp responding to questions regarding the Planning Commission staff report and presentation.
 - Quinn email to Swanson with questions regarding the application for a ridge line increase, permits for the garage, a CDP, and the City's calculation as to the plate height which she still has not received

From: Quinn, Heidi A. Sent: Wednesday, October 13, 2021 4:23 PM To: '<u>mwaffle@ci.carmel.ca.us</u>' Subject: Northeast Corner of Ocean and San Antonio

Good afternoon,

I am following up to a voicemail message left earlier today regarding construction on a property located at the Northeast Corner of Ocean Avenue and San Antonio.

I would like to meet with you tomorrow or Friday to review the approved plans, and any approved modifications. What is your availability?

Thank you in advance,

Heidi A. Quinn

NOLAND, HAMERLY, ETIENNE & HOSS

A Professional Corporation 333 Salinas Street

P.O. Box 2510

Salinas, CA 93902

(831) 424-1414 ext. 219

(831) 424-1975 (fax)

HQuinn@nheh.com

www.nheh.com

From:Quinn, Heidi A.Sent:Thursday, October 14, 2021 11:09 AMTo:'mwaffle@ci.carmel.ca.us'Cc:Kemp, ChristineSubject:RE: Northeast Corner of Ocean and San Antonio

Good morning,

I have not head back from you regarding my prior messages. I would like to meet with you as soon as possible to discuss the approval and construction at the property located at the NEC of San Antonio and Ocean.

What is your availability to meet today and tomorrow?

Best Regards,

Heidi A. Quinn NOLAND, HAMERLY, ETIENNE & HOSS A Professional Corporation 333 Salinas Street P.O. Box 2510 Salinas, CA 93902 (831) 424-1414 ext. 219 (831) 424-1975 (fax) HQuinn@nheh.com www.nheh.com

From:	Marnie R. Waffle <mwaffle@ci.carmel.ca.us></mwaffle@ci.carmel.ca.us>
Sent:	Thursday, October 14, 2021 11:15 AM
То:	Quinn, Heidi A.
Cc:	Kemp, Christine
Subject:	Re: Northeast Corner of Ocean and San Antonio

My apologies, I have a very full calendar this week. I am available on Tuesday at 4 pm. Would that work for you?

- Marnie (831) 428-3500 mobile

Marnie R. Waffle, AICP

Senior Planner CITY OF CARMEL-BY-THE-SEA Community Planning & Building Department P.O. Box CC | Carmel-by-the-Sea, CA 93921 Main: (831) 620-2010 Direct: (831) 620-2057

From:	Quinn, Heidi A.
Sent:	Thursday, October 14, 2021 1:01 PM
То:	'Marnie R. Waffle'
Cc:	Kemp, Christine; 'bswanson@ci.carmel.ca.us'
Subject:	Northeast Corner of Ocean and San Antonio - Stop Work Request
Attachments:	Photo - 3 of 4 (01459688xE4B5B).jpeg

Importance:

High

Good afternoon Marnie,

Thank you for your response. I am available on Tuesday; however, my concern is that the ongoing construction does not appear consistent with the plans presented and approved by the Planning Commission (PC), or the prior netting.

I watched the video of the PC meeting, and reviewed the agenda report and understood that the design approved consisted of a garage with a flat roof and was limited to remain the same height as it was before per the conditions of approval. Attached, please find before and after pictures showing a completely different design as well as substantial increase in the pitch of the west side roof.

We respectfully request the City issue a stop work notice on the project until what appears to be a substantial discrepancy is resolved. Given the urgency of the situation, are you available by phone today? I look forward to hearing from you.

Best Regards,

Heidi A. Quinn NOLAND, HAMERLY, ETIENNE & HOSS A Professional Corporation 333 Salinas Street P.O. Box 2510 Salinas, CA 93902 (831) 424-1414 ext. 219 (831) 424-1975 (fax) HQuinn@nheh.com www.nheh.com





From:	Brandon Swanson <bswanson@ci.carmel.ca.us></bswanson@ci.carmel.ca.us>
Sent:	Thursday, October 14, 2021 4:30 PM
To:	Quinn, Heidi A.
Cc:	Marnie R. Waffle; Kemp, Christine; Jermel Laurie
Subject:	Re: Northeast Corner of Ocean and San Antonio - Stop Work Request
Follow Up Flag:	Follow up
Flag Status:	Flagged

Hello Heidi, appreciate you following back up with us on this.

At this point, we don't have any substantial evidence that would support a stop work order, since it cannot be determined for certain with the naked eye whether the height is in conformance with the plans approved by the Planning Commission. However, to be sure that we are responding to your client's concerns, we are asking for a height verification to be completed by a licensed professional right now so that the construction does not get too much farther down the road before we know the situation. Typically this would not take place until the end of a project, but in this case it seems appropriate to do it early. I appreciate your patience as we wait for this survey to be performed, and we will be sure to keep you informed once we have more information in hand.

If you have any other questions, please feel free to reach out directly and I would be happy to speak with you.

Take care,

-Brandon

Brandon Swanson [he, him, his] Director, Community Planning and Building City of Carmel-by-the-Sea (831) 620-2024



Please take our Customer Satisfaction Survey at: https://www.surveymonkey.com/r/3L9PWYB On Thu, Oct 14, 2021 at 5:27 PM Quinn, Heidi A. <<u>HQuinn@nheh.com</u>> wrote:

Attachment 1

Good evening,

Thank you for your response.

I appreciate that the City will verify the height. Who will be conducting the survey? Is there an anticipated time frame?

I reviewed the plans and the video of the Planning Commission meeting. Can you confirm the approved plate height, the height to the peak of the roof, as well as the approved roof pitch - I just want to make sure I understand the project approvals.

Thank you for your assistance,

Heidi A. Quinn

NOLAND, HAMERLY, ETIENNE & HOSS

A Professional Corporation 333 Salinas Street

P.O. Box 2510

Salinas, CA 93902

(831) 424-1414 ext. 219

(831) 424-1975 (fax)

HQuinn@nheh.com

www.nheh.com

From:	Brandon Swanson <bswanson@ci.carmel.ca.us></bswanson@ci.carmel.ca.us>
Sent:	Friday, October 15, 2021 12:22 PM
To:	Quinn, Heidi A.
Cc:	Marnie R. Waffle; Kemp, Christine; Jermel Laurie
Subject:	Re: Northeast Corner of Ocean and San Antonio - Stop Work Request
Follow Up Flag:	Follow up
Flag Status:	Flagged

Heidi,

The survey will be performed by a licensed professional who will certify the actual heights with their stamp. I do not have an anticipated timeline for you yet, but when I get one I will let you know. I am hoping to be able to have this done in the next couple of weeks.

As for the approved plate height and other specifications, I can confirm that the set of plans approved by the Planning Commission is what we will be holding the project to.

-Brandon

Brandon Swanson [he, him, his] Director, Community Planning and Building City of Carmel-by-the-Sea (831) 620-2024

×

Please take our Customer Satisfaction Survey at: https://www.surveymonkey.com/r/3L9PWYB

On Thu, Oct 21, 2021 at 10:12 AM Quinn, Heidi A. <<u>HQuinn@nheh.com</u>> wrote:

Good morning,

Just following up. Do you have a timeline for the survey?

Also, I would like to meet with Marnie to review the approved plans. What is your availability either tomorrow or Monday?

Best Regards,

Heidi A. Quinn

NOLAND, HAMERLY, ETIENNE & HOSS

A Professional Corporation 333 Salinas Street

P.O. Box 2510

Salinas, CA 93902

(831) 424-1414 ext. 219

(831) 424-1975 (fax)

HQuinn@nheh.com

www.nheh.com

From:	Brandon Swanson <bswanson@ci.carmel.ca.us></bswanson@ci.carmel.ca.us>
Sent:	Thursday, October 21, 2021 2:54 PM
To:	Quinn, Heidi A.
Cc:	Marnie R. Waffle; Kemp, Christine
Subject:	Re: Northeast Corner of Ocean and San Antonio - Stop Work Request
Follow Up Flag:	Follow up
Flag Status:	Flagged

Heidi,

Let me check with Jermel, our building official who communicated the requirement to them and get you a status update.

I will let you and Marnie work out your schedules for the plan review.

Take care,

-Brandon

Brandon Swanson [he, him, his] Director, Community Planning and Building City of Carmel-by-the-Sea (831) 620-2024

×

Please take our Customer Satisfaction Survey at: https://www.surveymonkey.com/r/3L9PWYB

From:	Quinn, Heidi A.
Sent:	Thursday, October 21, 2021 5:33 PM
То:	Marnie R. Waffle
Cc:	Kemp, Christine; 'Brandon Swanson'
Subject:	RE: Northeast Corner of Ocean and San Antonio - Stop Work Request

Good evening Marnie,

What is your availability to meet tomorrow or Monday?

Heidi A. Quinn NOLAND, HAMERLY, ETIENNE & HOSS A Professional Corporation 333 Salinas Street P.O. Box 2510 Salinas, CA 93902 (831) 424-1414 ext. 219 (831) 424-1975 (fax) HQuinn@nheh.com www.nheh.com

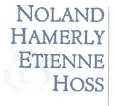
From:	Quinn, Heidi A.
Sent:	Monday, October 25, 2021 9:46 AM
То:	'bswanson@ci.carmel.ca.us'; Marnie R. Waffle
Cc:	Kemp, Christine
Subject:	NEC Ocean and San Antonio
Attachments:	Letter to City - NEC Ocean and San Antonio (01466599xE4B5B).pdf

Good morning,

Attached, please find a letter regarding the above-referenced project.

Best Regards,

Heidi A. Quinn NOLAND, HAMERLY, ETIENNE & HOSS A Professional Corporation 333 Salinas Street P.O. Box 2510 Salinas, CA 93902 (831) 424-1414 ext. 219 (831) 424-1975 (fax) HQuinn@nheh.com www.nheh.com



Attorneys at Law A PROFESSIONAL CORPORATION

WWW.NHEH.COM E-MAIL HQUINN@NHEH.COM 831-424-1414 ext. 219 Our File No. 30637.000

October 25, 2021

VIA E-MAIL BSWANSON@CI.CARMEL.CA.US

Brandon Swanson Director, Community Planning and Building City of Carmel-by-the-Sea Carmel, CA

Re: Northeast Corner of Ocean Avenue and San Antonio

Dear Mr. Swanson:

I am writing on behalf of Ms. Hataitip Rangthong. This letter follows previous communications with the City of Carmel-by-the-Sea ("City") regarding the project approval by the Planning Commission on February 10, 2021 and subsequent construction at the Northeast Corner of San Antonio and Ocean Avenue ("Property") immediately west of our client's Property.

We have repeatedly expressed concerns regarding the height of the roof or ridge line now under construction, and yet the work continues to progress. We asked for a meeting with City staff on October 14 when we were first made aware of this issue, and asking to discuss concerns, which include but are not limited to the following:

1. <u>City Assurances to our Client</u>. City staff made repeated assurances to our client that the Project would not modify the roof or ridge line. There was no staking or flagging on the western side of the structure prior to the hearing to indicate a change. Yet, the new framing under construction clearly reflects a marked change in ridge height. The ridge height of the existing structure, running east to west on the north side is lower than the ridge height of the new framing on the western roof running north to south. The two ridgeline heights were the same on the prior approval.

2. <u>Raised Roofline.</u> The project is described in the staff report as involving only "minor alterations" to an existing single-family dwelling; however, the second story area on the western elevation was completely removed and now the framing for a much higher roof is being constructed. Our understanding is that voluntary demolition of any nonconforming building or structure shall require

Anne K. Secker Randy Meyenberg Michael Masuda Christine G. Kemp Timothy J. Baldwin * Charles Des Roches * Robert D. Simpson Ana C. Toledo * Leslie E. Finnegan Lindsey Berg-James Anne Frassetto Olsen Heidi A. Quinn Daniel J. Little Ashley N. Garvey Anthony Mendoza

Stephen W. Pearson

Harry L. Noland (1904-1991) Paul M. Hamerly (1920-2000) Myron E. Etienne, Jr. (1924-2016) Peter T. Hoss (1934-2018)

* CERTIFIED SPECIALIST IN PROBATE, ESTATE PLANNING, AND TRUST LAW BY THE CALIFORNIA BOARD OF LEGAL SPECIALIZATION STATE BAR OF CALIFORNIA Brandon Swanson October 25, 2021 Page 2

that all new construction on the site meet all requirements for new buildings and structures.

3. <u>Planning Commission Approval</u>. The Planning Commission approved the Project, subject to Condition No. 33, which limited the plate height of the legal nonconforming structure to 19'. It was clear when watching the Planning Commission meeting that, for the reasons stated above, the Planning Commission would not agree to raise the roof height. Further, the roof pitch was to be reduced to 4:12 along the west facing portion of the residence. Were there any further modifications or approvals by the Planning Commission after the February 10, 2021 meeting?

4. <u>Failure to Send Documents</u>. We have requested the City provide the the Planning Commission approved plate and roof heights, as well as, confirm the plate height and roofline height under construction, to assure the as built heights are not in excess of the approval. We still do not have the City's information on the approved plate and roof heights nor a timeframe as to when the City's survey of the work is to be completed. We further request a copy of the approved plan.

The attached information confirms the roof discrepancies and approvals.

We respectfully repeat our request that work on the roof be stopped until these issues can be resolved. We also request a meeting with City staff as soon as possible to review the plans and the approval.

Best regards,

NOLAND, HAMERLY, ETIENNE & HOSS A Professional Corporation

Heidí A. Quínn

Heidi A. Quinn

cc: Marnie Waffle

HAQ

Picture A

exceeds the previous level. Circled area and the area pointed to by the arrows are the same. New ridge height on the westside clearly









Good afternoon,

I would like a copy of the following documents:

- 1. The affidavit of story pole certification;
- 2. The roof ridge certification;
- 3. Final Planning Commission Resolution from 2/10/2021; and
- 4. Approved project plans.

Best Regards,

Heidi A. Quinn

NOLAND, HAMERLY, ETIENNE & HOSS

A Professional Corporation 333 Salinas Street

P.O. Box 2510

Salinas, CA 93902

(831) 424-1414 ext. 219

(831) 424-1975 (fax)

HQuinn@nheh.com

www.nheh.com

From:	Brandon Swanson <bswanson@ci.carmel.ca.us></bswanson@ci.carmel.ca.us>
Sent:	Monday, October 25, 2021 3:24 PM
To:	Quinn, Heidi A.
Cc:	Marnie R. Waffle; Kemp, Christine
Subject:	Re: Certifications - NEC Ocean & San Antonio
Follow Up Flag:	Follow up
Flag Status:	Flagged

Heidi,

We can absolutely get those for you. The height verification is obviously not done yet, but we can get you the other three documents in short order.

Thanks,

-Brandon

Brandon Swanson [he, him, his] Director, Community Planning and Building City of Carmel-by-the-Sea (831) 620-2024

×

Please take our Customer Satisfaction Survey at: https://www.surveymonkey.com/r/3L9PWYB

From:	Brandon Swanson <bswanson@ci.carmel.ca.us></bswanson@ci.carmel.ca.us>
Sent:	Monday, October 25, 2021 3:29 PM
To:	Quinn, Heidi A.
Cc:	Marnie R. Waffle; Kemp, Christine
Subject:	Re: Certifications - NEC Ocean & San Antonio
Follow Up Flag:	Follow up
Flag Status:	Flagged

I've also just asked my Building Official to call the contractor for a status update on the survey, which I will pass along to you when I get it.

-Brandon

Brandon Swanson [he, him, his] Director, Community Planning and Building City of Carmel-by-the-Sea (831) 620-2024



Please take our Customer Satisfaction Survey at: https://www.surveymonkey.com/r/3L9PWYB

From:	Marnie R. Waffle <mwaffle@ci.carmel.ca.us></mwaffle@ci.carmel.ca.us>
Sent:	Monday, October 25, 2021 3:54 PM
То:	Brandon Swanson
Cc:	Quinn, Heidi A.; Kemp, Christine
Subject:	Re: Certifications - NEC Ocean & San Antonio

Please find attached the requested documents.

2021-009 (DS 20-322, LeChiffre Holdings, LLC) -...

DS 20-323 (Le Chiffre Holdings LLC) - Story Pol...

DS 20-323 (LeChiffre) - Attachment 4 - Project ...

- Marnie (831) 428-3500 mobile

Marnie R. Waffle, AICP

Senior Planner CITY OF CARMEL-BY-THE-SEA Community Planning & Building Department P.O. Box CC | Carmel-by-the-Sea, CA 93921 Main: (831) 620-2010 Direct: (831) 620-2057

CITY OF CARMEL-BY-THE-SEA PLANNING COMMISSION

PLANNING COMMISSION RESOLUTION NO. 2021-009-PC

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF CARMEL-BY-THE-SEA APPROVING A COMBINED CONCEPT AND FINAL DESIGN STUDY AND ASSOCIATED COASTAL DEVELOPMENT PERMIT FOR ALTERATIONS TO AN EXISTING SINGLE-FAMILY RESIDENCE LOCATED AT THE NORTH EAST CORNER OF SAN ANTONIO & OCEAN AVE APN 010-253-009

WHEREAS, Adam Jeselnick, Architect ("Applicant") submitted an application requesting the approval of a Design Study (DS 20-323, Le Chiffre Holdings, LLC) described herein ("Application"); and

WHEREAS, the Application has been submitted for an 8,000-square-foot lot located at the northeast corner of San Antonio and Ocean Avenue in the Single-Family Residential (R-1) District (Block HH, Lots 2 & 4); and

WHEREAS, the Applicant is requesting approval for minor alterations to an existing singlefamily dwelling and in accordance with Chapter 17.58.040 (Residential Design Review) of the Carmel Municipal Code, requires a Design Study approved by the Planning Commission; and

WHEREAS, a Coastal Development Permit is also required in accordance with Chapter 17.52.090 (Coastal Development Permit Required) of the Carmel Municipal Code; and

WHEREAS, the California Environmental Quality Act (California Public Resources Code §§ 21000, *et seq.*, "CEQA"), together with State Guidelines (14 California Code Regulations §§ 15000, *et seq.*, the "CEQA Guidelines") and City Environmental Regulations (CMC 17.60) require that certain projects be reviewed for environmental impacts and that environmental documents be prepared; and

WHEREAS, pursuant to CEQA regulations, Staff is recommending that the Application be found categorically exempt under Section 15301 (Class 1) – Existing Facilities; and

WHEREAS, notice of the public hearing was published in compliance with State law (California Government Code 65091), as well as hand-delivery of the public notice by the Applicant to each property owner within a 100-foot radius of the project site indicating the date and time of the public hearing; and

WHEREAS, on February 10, 2021, the Planning Commission held a public hearing to receive public testimony regarding the Application, including without limitation, information provided to the Planning Commission by City staff and public testimony on the project; and

Resolution No. 2021-009-PC Page 2 of 9

WHEREAS, this Resolution and its findings are made based upon evidence presented to the Commission at the February 10, 2021 including, without limitation, the staff report submitted by the Community Planning and Building Department; and

WHEREAS, the Planning Commission did hear and consider all said reports, recommendations and testimony herein above set forth and used their independent judgement to evaluate the project; and

WHEREAS, the facts set forth in the recitals are true and correct and are incorporated herein by reference.

NOW THEREFORE, BE IT RESOLVED, that the Planning Commission of the City of Carmel-By-The-Sea does hereby make the following findings and determinations regarding the Design Study:

FINDINGS REQUIRED FOR DESIGN STUDY APPROVAL (CMC 17.64.80 and LUP Policy P1-45) For each of the required design study findings listed below, staff has indicated whether the submitted plans support adoption of the findings. For all findings checked "no" the staff report discusses the issues to facilitate the Planning Commission decision-making. Findings checked "yes" may or may not be discussed in the report depending on the issues.

Municipal Code Finding	YES	NO
1. The project conforms with all zoning standards applicable to the site, or has received appropriate use permits and/or variances consistent with the zoning ordinance.	1	
2. The project is consistent with the City's design objectives for protection and enhancement of the urbanized forest, open space resources and site design. The project's use of open space, topography, access, trees and vegetation will maintain or establish a continuity of design both on the site and in the public right of way that is characteristic of the neighborhood.	1	
3. The project avoids complexity using simple/modest building forms, a simple roof plan with a limited number of roof planes and a restrained employment of offsets and appendages that are consistent with neighborhood character yet will not be viewed as repetitive or monotonous within the neighborhood context.	~	
4. As conditioned, the project is adapted to human scale in the height of its roof, plate lines, eave lines, building forms, and in the size of windows doors and entryways. The development is similar in size, scale, and form to buildings on the immediate block and neighborhood. Its height is compatible with its site and surrounding development and will not present excess mass or bulk to the public or to adjoining properties. Mass of the building relates to the context of other homes in the vicinity.	1	

Resolution No. 2021-009-PC Page 3 of 9

5. The project is consistent with the City's objectives for public and private views and will retain a reasonable amount of solar access for neighboring sites. Through the placement, location and size of windows, doors and balconies the design respects the rights to reasonable privacy on adjoining sites.	~	
6. The design concept is consistent with the goals, objectives and policies related to residential design in the general plan.	1	
7. The development does not require removal of any significant trees unless necessary to provide a viable economic use of the property or protect public health and safety. All buildings are setback a minimum of 6 feet from significant trees unless otherwise agreed upon by the City Forester.	1	
8. The proposed architectural style and detailing are simple and restrained in character, consistent and well integrated throughout the building and complementary to the neighborhood without appearing monotonous or repetitive in context with designs on nearby sites.	1	
9. The proposed exterior materials and their application rely on natural materials and the overall design will add to the variety and diversity along the streetscape.	1	
10. Design elements such as stonework, skylights, windows, doors, chimneys and garages are consistent with the adopted Design Guidelines and will complement the character of the structure and the neighborhood.	1	
11. Proposed landscaping, paving treatments, fences and walls are carefully designed to complement the urbanized forest, the approved site design, adjacent sites, and the public right of way. The design will reinforce a sense of visual continuity along the street.	1	
12. Any deviations from the Design Guidelines are considered minor and reasonably relate to good design principles and specific site conditions.	~	

NOW THEREFORE, BE IT FURTHER RESOLVED, that the Planning Commission of the City of Carmel-By-The-Sea does hereby make the following findings and determinations regarding the Coastal Development Permit:

COASTAL DEVELOPMENT FINDINGS (CMC 17.64.010.B.1):	YES	NO
1. Local Coastal Program Consistency: The project conforms to the certified Local	~	
Coastal Program of the City of Carmel-by-the Sea.		
2. Public access policy consistency: The project is not located between the first public road and the sea, and therefore, no review is required for potential public		
access.		

BE IT FURTHER RESOLVED that the Planning Commission of the City of Carmel-by-the-Sea does hereby **APPROVE** the combined concept and final Design Study (DS 20-323, Le Chiffre Holdings, LLC) and associated Coastal Development Permit for alterations to an existing singleResolution No. 2021-009-PC Page 4 of 9

family residence located at the northeast corner of San Antonio and Ocean Avenue (APN 010-253-009), subject to the following Conditions of Approval:

	CONDITIONS OF APPROVAL	
No.	Standard Conditions	
1.	Authorization. This approval of Design Study (DS 20-323, Le Chiffre Holdings,	1
	LLC) authorizes alterations to an existing single-family residence and detached	
	garage located at the northeast corner of Ocean Avenue and San Antonio	
	Avenue in the R-1 Single Family Residential District as depicted in the plans	
	prepared by Adam Jeselnick Architect stamped approved and on file in	
	Community Planning & Building Department unless modified by the conditions	
	of approval contained herein.	
2.	Codes and Ordinances. The project shall be constructed in conformance with all	√
	requirements of the R-1 zoning district. All adopted building and fire codes shall	
	be adhered to in preparing the working drawings. If any codes or ordinances	
	require design elements to be changed, or if any other changes are requested	
	at the time such plans are submitted, such changes may require additional	
	environmental review and subsequent approval by the Planning Commission.	
3.	Permit Validity. This approval shall be valid for a period of one year from the	1
	date of action unless an active building permit has been issued and maintained	
	for the proposed construction.	
4.	Landscape Plan. All new landscaping, if proposed, shall be shown on a landscape	1
	plan and shall be submitted to the Department of Community Planning and	
	Building and to the City Forester prior to the issuance of a building permit. The	
	landscape plan will be reviewed for compliance with the landscaping standards	
	contained in the Zoning Code, including the following requirements: 1) all new	
	landscaping shall be 75% drought-tolerant; 2) landscaped areas shall be	
	irrigated by a drip/sprinkler system set on a timer; and 3) the project shall meet	
	the City's recommended tree density standards, unless otherwise approved by	
	the City based on-site conditions. The landscaping plan shall show where new	
	trees will be planted when new trees are required to be planted by the Forest	
-	and Beach Commission or the Planning Commission.	
5.	Tree Removal. Trees on the site shall only be removed upon the approval of the	_ √
	City Forester or Forest and Beach Commission, as appropriate; all remaining	
	trees shall be protected during construction by methods approved by the City	
~	Forester.	_
6.	Significant Trees. All foundations within 15 feet of significant trees shall be	1
	excavated by hand. If any tree roots larger than two inches (2") are	
	encountered during construction, the City Forester shall be contacted before	
	cutting the roots. The City Forester may require the roots to be bridged or may	

Resolution No. 2021-009-PC Page 5 of 9

	authorize the roots to be cut. If roots larger than two inches (2") in diameter are cut without prior City Forester approval or any significant tree is endangered as a result of construction activity, the building permit will be suspended and all work stopped until an investigation by the City Forester has been completed. Twelve inches (12") of mulch shall be evenly spread inside the dripline of all trees prior to the issuance of a building permit.	
7.	use on the project site without adequate supply. Should the Monterey Peninsula Water Management District determine that adequate water is not available for this site, this permit will be scheduled for reconsideration and appropriate findings prepared for review and adoption by the Planning Commission.	V
8.	Modifications. The applicant shall submit in writing to the Community Planning and Building staff any proposed changes to the approved project plans prior to incorporating changes. If the applicant changes the project without first obtaining City approval, the applicant will be required to either: a) submit the change in writing and cease all work on the project until either the Planning Commission or staff has approved the change; or b) eliminate the change and submit the proposed change in writing for review. The project will be reviewed for its compliance to the approved plans prior to final inspection.	1
9.	 Setback and Height Certifications. A State licensed surveyor shall survey and certify the following in writing: The footing locations for conformance with the approved plans prior to footing/foundation inspection; The roof height for conformance with the approved plans prior to roof sheathing inspection. Written certifications prepared, sealed and signed by the surveyor shall be provided to the building inspector at the time of the specified inspections.	~
10.	Exterior Lighting. Exterior lighting shall be limited to 25 watts or less (incandescent equivalent, i.e., 375 lumens) per fixture and shall be no higher than 10 feet above the ground. Landscape lighting shall not exceed 18 inches above the ground nor more than 15 watts (incandescent equivalent, i.e. 225 lumens) per fixture and shall be spaced no closer than 10 feet apart. Landscape lighting shall not be used for tree, wall, fence or accent lighting of any type. The purpose of landscape lighting is to safely illuminate walkways and entrances to the subject property. All fixtures shall be shielded and down facing. The manufacturer's specifications, including illumination information, for each exterior light fixture shall be included in the construction drawings submitted with the building permit application.	~

Resolution No. 2021-009-PC Page 6 of 9

12.	Stone Facades (including chimnous) Store face to the U.L.	
±£.	Stone Facades (including chimneys). Stone facades shall be installed in a broken course/random or similar masonry pattern. Setting the stones vertically on their	~
	face in a cobweb pattern shall not be permitted. All stonework shall be wrapped	
	around building corners and terminated at an inside corner or a logical stopping	
	point that provides a finished appearance. Termination of stonework shall be	
	subject to review and approval by the Community Planning & Building Director	
	or his/her designee. The masonry patter shall be clearly identified in the	
	construction drawings submitted with the building permit application.	
14.	Indemnification. The applicant agrees, at his or her sole expense, to defend,	1
	indemnify, and hold harmless the City, its public officials, officers, employees,	v
	and assigns, from any liability; and shall reimburse the City for any expense	
	incurred, resulting from, or in connection with any project approvals. This	
	includes any appeal, claim, suit, or other legal proceeding, to attack, set aside,	
	void, or annul any project approval. The City shall promptly notify the applicant	
	of any legal proceeding, and shall cooperate fully in the defense. The City may,	
	at its sole discretion, participate in any such legal action, but participation shall	
	not relieve the applicant of any obligation under this applicant of	
	not relieve the applicant of any obligation under this condition. Should any	
	party bring any legal action in connection with this project, the Superior Court	
	of the County of Monterey, California, shall be the situs and have jurisdiction	
15.	for the resolution of all such actions by the parties hereto.	
1	Driveway. Except as otherwise provided for in these conditions, the driveway	\checkmark
	material shall extend beyond the property line into the public right of way as	
	needed to connect to the paved street edge. A minimal asphalt connection at	
	the street edge may be required by the Superintendent of Streets or the	
	Building Official, depending on site conditions, to accommodate the drainage	
	flow line of the street. The driveway material and asphalt connection shall be	
	clearly identified on the construction drawings submitted with the building	
	permit application. If a driveway is proposed to be sand set a dimensioned	
	construction detail showing the base material shall be included in the	
10	construction drawings.	
18.	Hazardous Materials Waste Survey. A hazardous materials waste survey shall be	\checkmark
	required in conformance with the Monterey Bay Unified Air Pollution Control	
10	District prior to issuance of a demolition permit.	
19.	Archaeological Report. An archaeological reconnaissance report shall be	~
	prepared by a qualified archaeologist or other person(s) meeting the standards	
	of the State Office of Historic Preservation prior to approval of a final building	
	permit. The applicant shall adhere to any recommendations set forth in the	
	archaeological report. All new construction involving excavation shall	
	immediately cease if materials of archaeological significance are discovered on	

Resolution No. 2021-009-PC Page 7 of 9

	the site and shall not be permitted to recommence until a mitigation and monitoring plan is approved by the Planning Commission.	
20.	Cultural Resources. All new construction involving excavation shall immediately cease if cultural resources are discovered on the site, and the applicant shall notify the Community Planning and Building Department within 24 hours. Work shall not be permitted to recommence until such resources are properly evaluated for significance by a qualified archaeologist. If the resources are determined to be significant, prior to resumption of work, a mitigation and monitoring plan shall be prepared by a qualified archaeologist and reviewed and approved by the Community Planning and Building Director. In addition, if human remains are unearthed during excavation, no further disturbance shall occur until the County Coroner has made the necessary findings as to origin and distribution pursuant to California Public Resources Code (PRC) Section 5097.98.	
21.	Truck Haul Route. Prior to Building Permit issuance, the applicant shall provide for City (Community Planning and Building Director in consultation with the Public Services and Public Safety Departments) review and approval, a truck- haul route and any necessary temporary traffic control measures for the grading activities. The applicant shall be responsible for ensuring adherence to the truck-haul route and implementation of any required traffic control measures.	~
22.	USA North 811. Prior to any excavation or digging, the applicant shall contact the appropriate regional notification center (USA North 811) at least two working days, but not more than 14 calendar days, prior to commencing that excavation or digging. No digging or excavation is authorized to occur on site until the applicant has obtained a Ticket Number and all utility members have positively responded to the dig request. (Visit USANorth811.org for more information)	~
23.	Conditions of Approval. All conditions of approval for the Planning permit(s) shall be printed on a full-size sheet and included with the construction plan set submitted to the Building Safety Division.	1
	ENVIRONMENTAL COMPLIANCE CONDITIONS	
	Drainage Plan. Provide a drainage plan that meets the requirements of the City's drainage guidance, SOG 17-07. At a minimum, new and replaced impervious area drainage must be dispersed around the site rather than focused into one corner of the property, infiltration features must be sized appropriately and must be located at least 6 feet from neighboring properties. The drainage plan shall include information on drainage from new impervious areas and semi-pervious areas.	1

Resolution No. 2021-009-PC Page 8 of 9

25.	BMP Tracking Form. A completed BMP Tracking form will need to be submitted with the Building Permit Application.	1
20		
26.	Semi-Permeable Surfaces. Provide cross-section details for semi-permeable surfaces.	1
27.	Erosion and Sediment Control Plan. Provide an erosion and sediment control	1
	plan that includes locations and installation details for erosion and sediment	V
	control BMPs, material staging areas, and stabilized access with Building Permit	
	application.	
	SPECIAL CONDITIONS	
29.	Tree Planting Required. The applicant shall plant two upper canopy and two	1
	lower canopy trees on the property. The location and species shall be	
	determined in consultation with the City Forester and Planning Staff and shall	
	be installed prior to final inspection.	
30.	Right-of-Way Encroachments. All right-of-way encroachments, including but	7
	not limited to, boulders located north of the driveway, and all gravel, shall be	v
	removed prior to final inspection. The asphalt pathway to the south of the	
	property shall remain.	
31.	Concrete Driveway. The concrete driveway located in the public right-of-way	1
	shall be removed and replaced with gray concrete pavers as presented to the	
	Planning Commission on February 10, 2021. a material consistent with the	
	Residential Design Guidelines, Public Way Design Guidelines and/or Carmel	
	Municipal Code.	
32.	Right-of-Way Planting. The applicant shall submit a planting layout and plant	1
	palette for the right-of-way along San Antonio as part of the final landscape	·
	plan submittal.	
33.	West Elevation. The plate height on the west elevation is nonconforming at <u>19'</u>	1
	18'-6" and shall not be increased.	*
34.	Metal Roof. The applicant shall submit a metal roof sample to be reviewed and approved by staff. The roof material shall have a matte finish (low sheen).	1

*Acknowledgement and acceptance of conditions of approval.

Matt & Q	Matthew Burns, Authorized Signatory for Circle Three Management LLC, Manager of Le Chiffre Holdings LLC	3/1/2021	10:17 ам	PST
Proporty Outroan Clause Lung				

Property Owner Signature

Printed Name

Date

Once signed, please email to <u>mwaffle@ci.carmel.ca.us</u>.

PASSED AND ADOPTED BY THE PLANNING COMMISSION OF THE CITY OF CARMEL-BY-THE-SEA this 10th day of February, 2021 by the following vote: Resolution No. 2021-009-PC Page 9 of 9

AYES: Commission Members: Bolton, Delves, Lehman, Locke, LePage

NOES: Commission Members: None

ABSENT: Commission Members: None

'ABSTAIN: Commission Members: None

APPROVED:

Ruga Michae

Chair

ATTES

Malgi Peretti Planning Commission Secretary

AFFIDAVIT OF **STORY POLE CERTIFICATION**

(Must be completed by a California Licensed Surveyor OR Civil Engineer)

2/21, I surveyed the highest point of the story poles and netting On located at ______ NE Course of OCSAN and San Antonio Als April 0/0 - 253 - 009 ____, Carmel-by-the-Sea, CA related to Property Address/Location

plans submitted as part of design study/review application

Application No.

and have determined that the highest point of the story poles and netting is in

substantial compliance with the project plans submitted to the Community Planning and

Building Department.

I DECLARE UNDER PENALTY OF PERJURY THAT THE FOREGOING IS TRUE AND CORRECT.

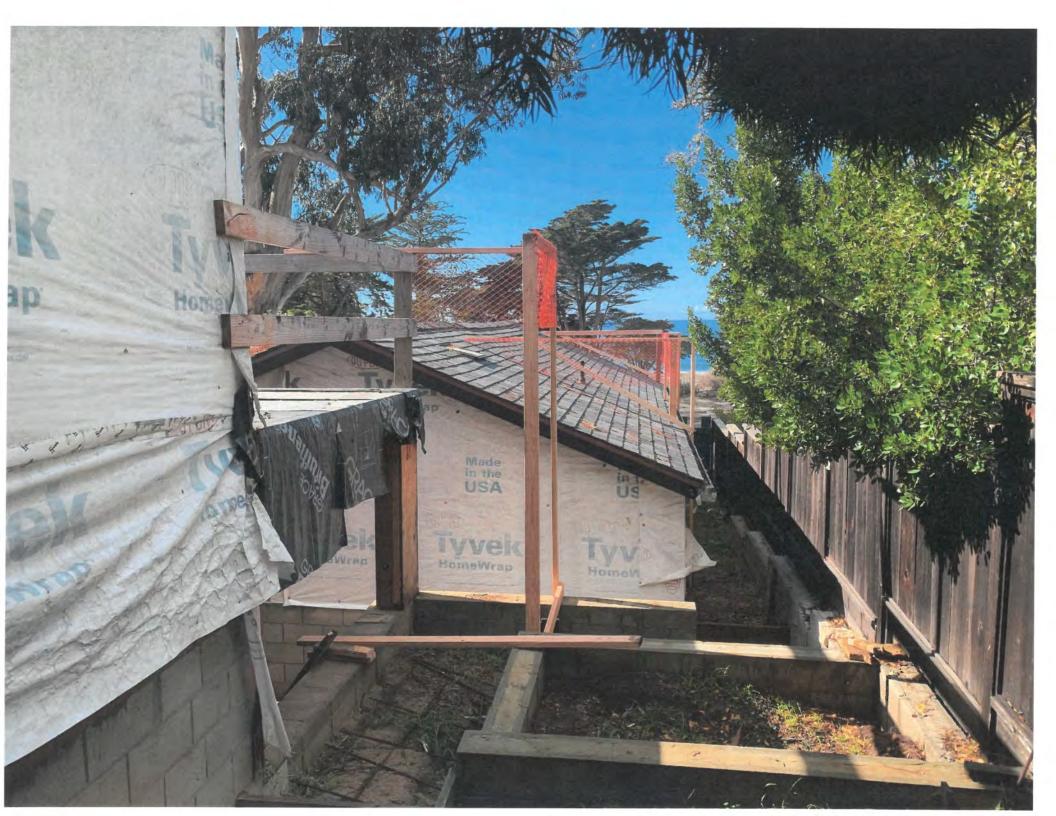
Signature ______ Executed on ______ Executed on ______

Name <u>CHUSTOPHER</u> STOT Phone No. (83) 655-2723 Print Legibly

State License No. <u>CE 59,685</u> Company <u>LAS ENGINESCINE AND SURVEYING</u>

Please attach a photograph(s) demonstrating installation of the story poles and netting.







GENERAL NOTES

- VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS AT THE SITE; CONFIRM ANY VARIATIONS OR CONFLICTING OR MISSING DIMENSIONS OR DATA PRIOR TO COMMENCING WORK. USE WRITTEN DIMENSIONS ONLY; DO NOT SCALE DRAWINGS FOR THE PURPOSE OF DETERMINING A DIMENSION DURING CONSTRUCTION.
- CONSTRUCTION DETAILS: NOT SPECIFICALLY SHOWN ON THE DRAWINGS SHALL BE BUILT TO CONFORM TO SIMILAR CONSTRUCTION, IN ACCORDANCE WITH THE BEST COMMON PRACTICE AND/OR MANUFACTURER'S SPECIFICATIONS FOR THE INSTALLATION OF THEIR MATERIALS OR ITEMS.
- 3. ALL CONSTRUCTION (MATERIALS, WORKMANSHIP & METHODS) SHALL COMPLY WITH TITLE 24 AND THE 2019 CALIFORNIA RESIDENTIAL CODE (C&C) AND APPENDICES H. I. AND J: CALIFORNIA EXISTING BUILDING CODE, CALIFORNIA PLUMBING CODE (CPC), CALIFORNIA MECHANICAL CODE (CMC), CALIFORNIA ELECTRICAL CODE (CEC), CALIFORNIA MECHANICAL CODE (CALIFORNIA ELECTRICAL CODE (CEC), CALIFORNIA MECHANICAL CODE, CALIFORNIA ELECTRICAL CODE (CALIFORNIA AMENDMENTS AS ADOPTED BY CITY ORDINANCE.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SAFETY ON THE JOB SITE AND MUST ADHERE TO ALL FEDERAL, STATE LOCAL AND O.S.H.A. SAFETY REGULATIONS.
- DEMOLITION: CONFIRM ALL DEMOLITION REQUIREMENTS WITH THE OWNER. VERIFY WITH OWNER WHICH ITEMS, IF ANY, HE/SHE WISHES TO RETAIN FOR HIS/HER USE. ALL OTHER ITEMS TO BECOME PROPERTY OF THE CONTRACTOR AND ARE TO BE PROPERLY REMOVED FROM THE PREMISES. SEE DEMOLITION PLAN A4.1 FOR ADDITIONAL INFORMATION.
- 6. NAILING TO BE IN COMPLIANCE WITH CBC TABLE 2304.5.1 U.O.N.
- NO EXISTING FIRE SUPPRESSION SYSTEM. NEW FIRE SPRINKLERS TO BE INSTALLED, DEFERRED SUBMITTAL AND UNDER SEPARATE PERMIT.

REN	DPE OF WORK: IEWAL OF AN EXISTING 8,000 SQUARE FOOT LO				PROPERTY ADDR
	E OF CONSTRUCTION:	TYPE V-B	ASTING GARAG	Ξ.	
	SPRINKLERS:	YES			A.P.N.:
PER	MITS:		APPROVED NO	VEMBER 18, 2015) ER 2016)	BLOCK /LOT: LOT SIZE:
WAT	TER:	CAL-AM (E		,	ZONING:
SEW	/ER:	CARMEL A	REA WASTE WA	IER DISTRICT (E)	2014110,
CUT FILL:		0 CUBIC Y/ 0 CUBIC Y/ (NO GRAD		СТ)	OWNER:
BUIL	DING INFORMATION:				Griffing.
HEIG	SHT LIMIT: 18'-0" POSED BUILDING HEIG	HT: HIGHEST P	OINT REDUCED	BY 5'-8"	
SITE	DATA:	ARCHITECT:			
EXIST SITE ALLC	X. TOTAL, SITE COVERAGE TING SITE COVERAGE: COVERAGE REQUIRED ADDITION X 2 = OWABLE SITE COVERAGE POSED SITE COVERAGE	TO BE REMOV	1732. SF	3359 - 1732)	
	UGHT WELL: NORTH STAIRS: PERCOLA: RRE PIT PATIO: DRIVEWAY: STEPS AND WALL: SOUTH GATE: FRONT ENTRY STEPS: FRONT STEPPING STO FRONT DECK: PROPERTY WALLS:		98. SF (S 284. SF (C 194. SF (C 99. SF (C 49. SF (C 230. SF (S 84. SF (C 402. SF (S	CONCRETE) TONE TILE] CONCRETE PAVERS) CONCRETE PAVERS) CONCRETE] CONCRETE] CONCRETE] CONCRETE] CONCRETE] TONE TILE) TONE TILE]	CONTRACTOR: SURVEYOR:
FLOC	OR AREA CALCULATION	15:	furner		and the second
(E) (E) (E) (E)	MAIN LEVEL: LOWER LEVEL: GUEST HOUSE: GARAGE:		1612. SF 195. SF 265. SF 417. SF		
TOTA	AL EXISTING:		2,489, SF	(APPROVED PERMIT	DS 15-322)
(N) (N) (N) (N) (N) (N)	MAIN LEVEL: LOWER LEVEL: LOWER LEVEL BASEM BASEMENT BONUS: GARAGE:	ENT:	1696. SF 622. SF 357. SF 100. SF 400. SF	1779 SF 622 SF 257 SF 100 SF 417 SF	
	L PROPOSED:		3,175. SF	(3,175. SF)	Secon

NING: R-1 SINGLE FAMILY RESIDENTIAL VNER: LE CHIFFRE HOLDINGS LLC 394 PACIFIC AVE, 2ND FLOOR SAN FRANCISCO, CALIFORNIA 94111 CHITECT ADAM JESELNICK ARCHITECT 24398 PORTOLA AVENUE CARMEL, CA 93923 PHONE: (831) 620.5164 m CONTACT: ADAM JESELNICK AIA EMAIL: aejarch@gmail.com GROZA CONSTRUCTION NTRACTOR 883 ABREGO STREET MONTEREY, CA 93940 PHONE: 831-655-7605 EMAIL: CWEST@GROZACONSTRUCTION.COM RVEYOR: L&S ENGINEERING AND SURVEYING 2460 GARDEN ROAD, SUITE G MONTEREY, CA 93940 (831) 655-2723 OFFICE **PROJECT LOCATION** Ν 4 14 VICINITY MAP SCALE: N.T.S.

NORTH EAST CORNER OF SAN ANTONIO AVENUE

AND OCEAN AVE CARMEL-8Y-THE-SEA, CALIFORNIA 93921

BLOCK HH, LOTS 2 AND 4

8000 SF (.184 ACRES)

010-253-009

PROJECT DATA

JESELNICK ARCHITECT

ΣD

<

OCEAN AND SAN ANTONIO AVENUES

CLUB

CHIFFRE BEACH

CORNER

The State of ALE

۳

PROJECT DATA AND SITE LOCATION I 1-02-2020

AS NOTED

A0

93921

CALIFORNIA

CARMEL-BY-THE-SEA,

SHEET INDEX

- A0 PROJECT DATA AND SITE LOCATION A1 NOTES, SPECIFICATIONS, STREET FLEWATION
- A1 NOTES, SPECIFICATIONS, STREET ELEVATIONS A2 PRE-EXISTING SITE SURVEY
- A3 PROPOSED SITE PLAN
- A4 EXISTING FIRST FLOOR PLAN
- A5 EXISTING SECOND FLOOR PLAN
- A6 EXISTING ROOF PLAN
- A7 EXISTING WEST & SOUTH ELEVATIONS A8 EXISTING NORTH & EAST FLEVATIONS
- A8 EXISTING NORTH & EAST ELEVATIONS A9 PROPOSED FIRST FLOOR PLAN
- A10 PROPOSED SECOND FLOOR PLAN
- A11 PROPOSED ROOF PLAN
- A12 PROPOSED WEST AND NORTH ELEVATIONS
- A13 PROPOSED EAST AND SOUTH ELEVATIONS
- A14 SCHEDULES A15 RENDERINGS
- A16 PROPOSED FINISHES



PROJECT DATA

REVISION # 1

GENERAL NOTES

1. VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS AT THE SITE CONFIRM ANY VARIATIONS OR CONFLICTING OR MISSING DIMENSIONS OR DATA FROR TO COMMENCING WORK. USE WRITTEN DIMENSIONS ONLY: <u>DO NOT SCALE</u> <u>DRAWINGS</u> FOR HIFFURPENCE OD EREINNING NO. DIMENSION DURING CONSTRUCTION.

2. CONSTRUCTION DETAILS NOT SPECIFICALLY SHOWN ON THE DRAWINGS SHALL BE BUILT TO CONFORM TO SIMILAR CONSTRUCTION, IN ACCORDANCE WITH THE BEST COMMON PRACTICE AND/OR MANUFACTURER'S SPECIFICATIONS FOR THE INSTALLATION OF THEIR MARKENAS, OR ITEMS,

3. ALL CONSTRUCTION (MATERIALS, WORKMANSHIP & METHODS) SHALL COMPLY WITH TITLE 24 AND THE ALL SECTION S OF THE 2016 CAUFORMA RESIDENTIAL BUILDING CODE (CRC); CAUFORNIA PLUMBING CODE (CPC); CAUFORNIA MECHANICAL CODE (CMC); CAUFORNIA ELECTRICAL CODE (CPC); CAUFORNIA ENERGY CODE, FRE CODE, AND CALGREEN; AND ALL LOCAL AMENDMENTS A DOPTED BY CITY ORDINANCE.

4. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SAFETY ON THE JOB SITE AND MUST ADHERE TO ALL FEDERAL, STATE LOCAL AND O.S.H.A. SAFETY REGULATIONS.

5. DEMOLITION: COMPRIMA ALL DEMOLITION REGUIREMENTS WITH THE OWNER, VERIFY WITH OWNER WHICH ITEMS, IF ANT, HEARE WISHES TO RETAIN FOR MEMORY USE. ALL OTHER TEMS TO RECOME PROPERTY OF THE CONTRACTOR AND ARE TO RE PROPERTY REMOVED FROM THE PREVIOUS SEE DEMOLITON PLANS FOR ADDITIONAL INFORMATION.

6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL BRACING AND SHORING REQUIRED DURING CONSTRUCTION UNTIL ALL CONSTRUCTION IS COMPLETE.

7. DO NOT STORE CONSTRUCTION MATERIALS, OR OPERATE CONSTRUCTION EQUIPMENT IN SUCH A MANNER THAT DESIGN LIVE LOADS OF THE STRUCTURES ARE EXCEEDED. DO NOT STORE CONSTRUCTION MATERIALS ON OVERHANGING FRAMING.

EXISTING SITE PHOTOGRAPH





Щ

STREET ELEVATIONS

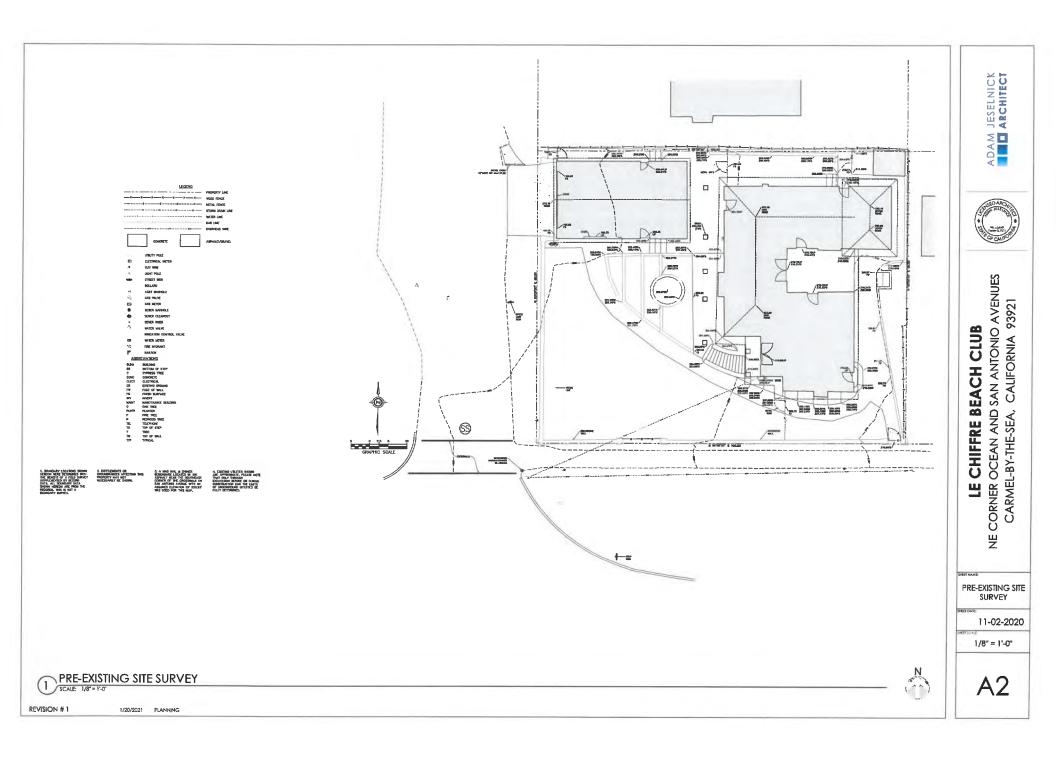
> 11-02-2020 as noted

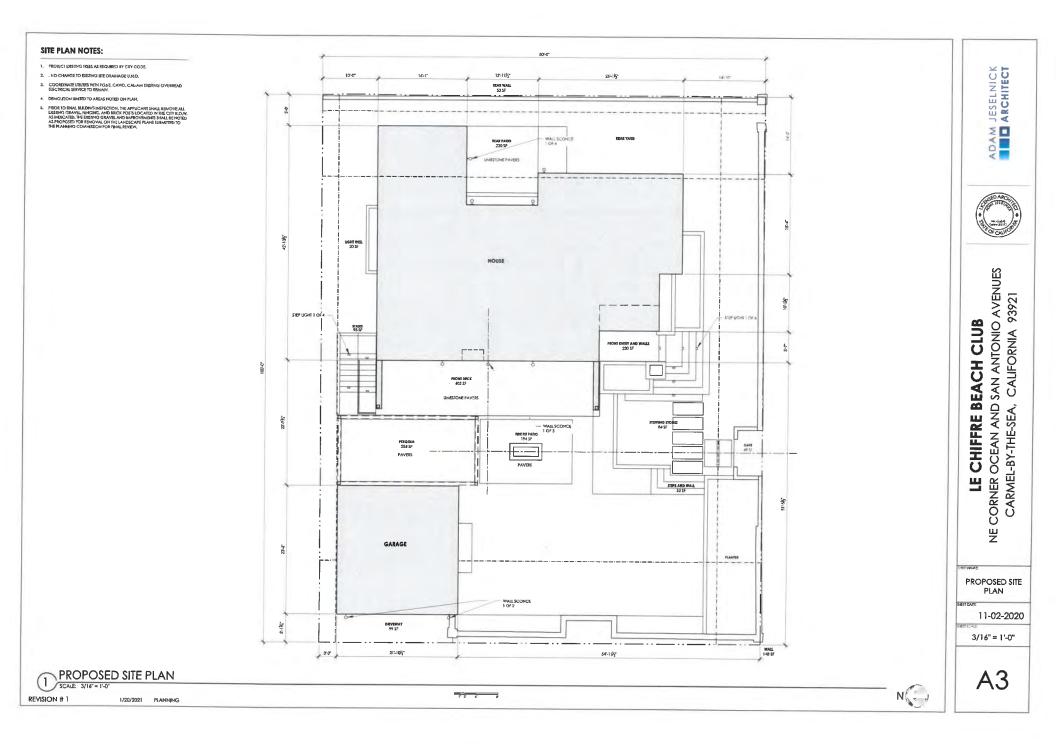
A1

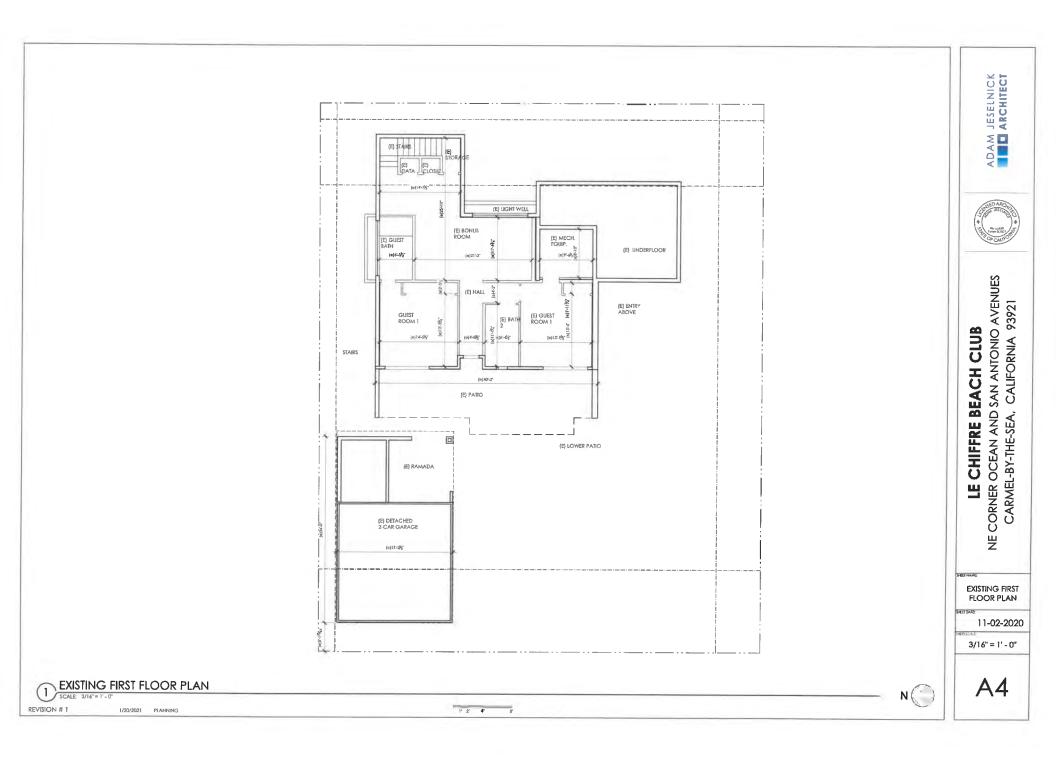
SHEET NAME

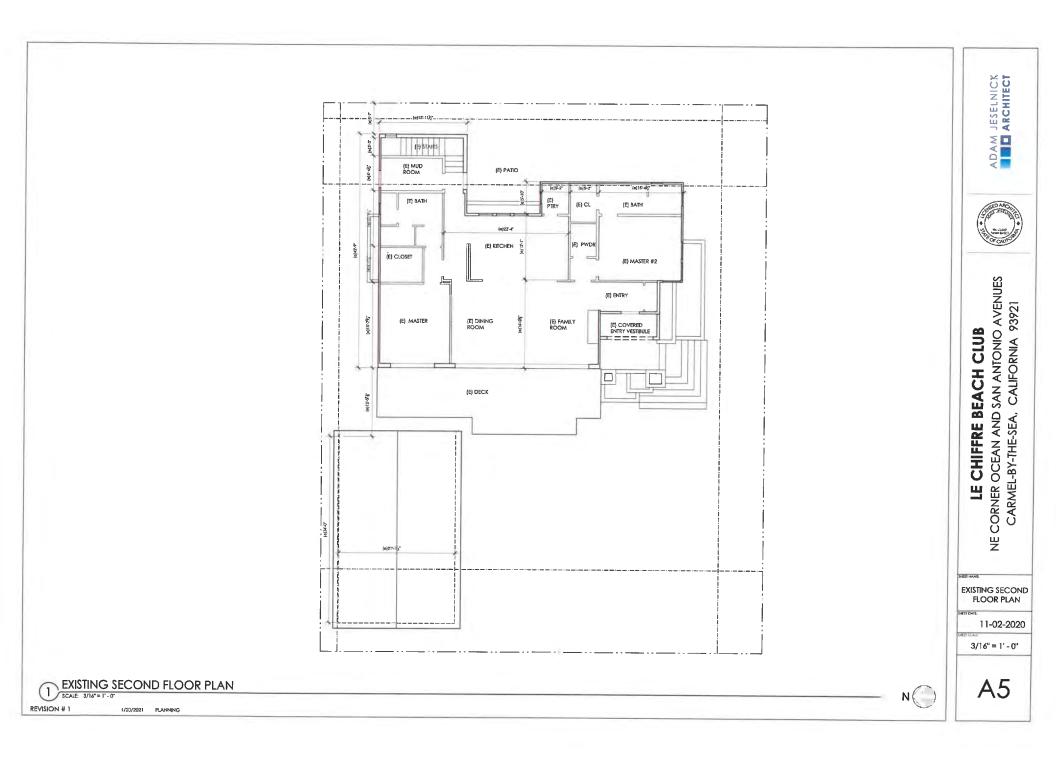
THEFT DA

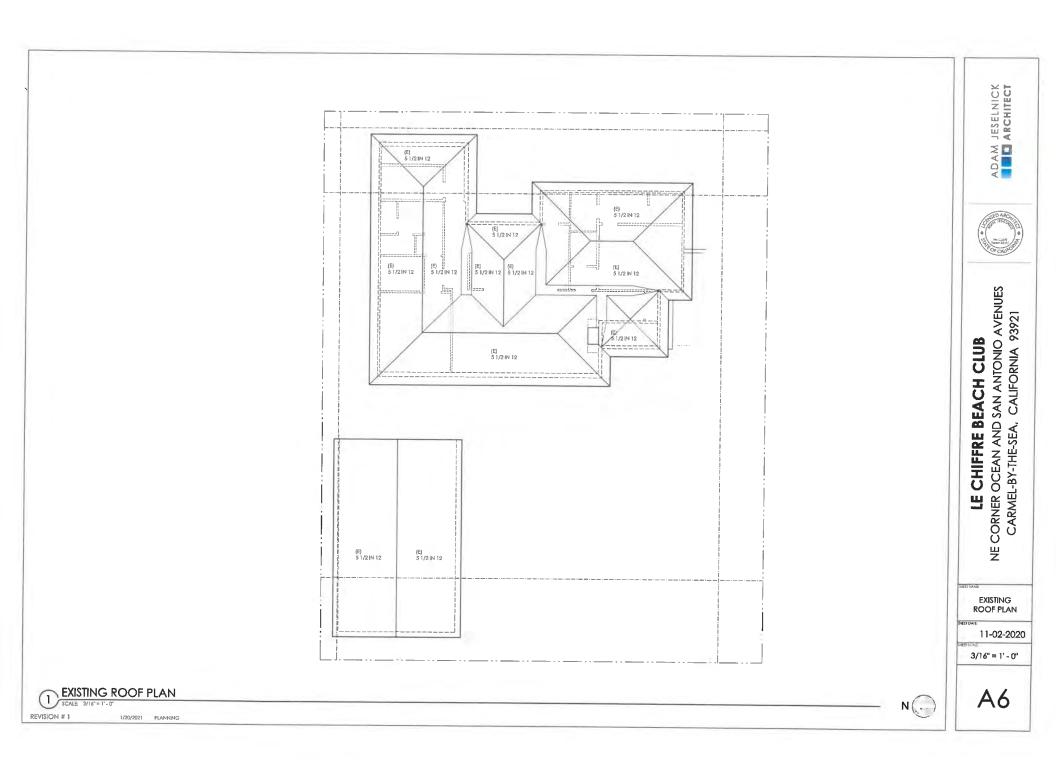
REVISION # 1 1/20/2021 PLANNING

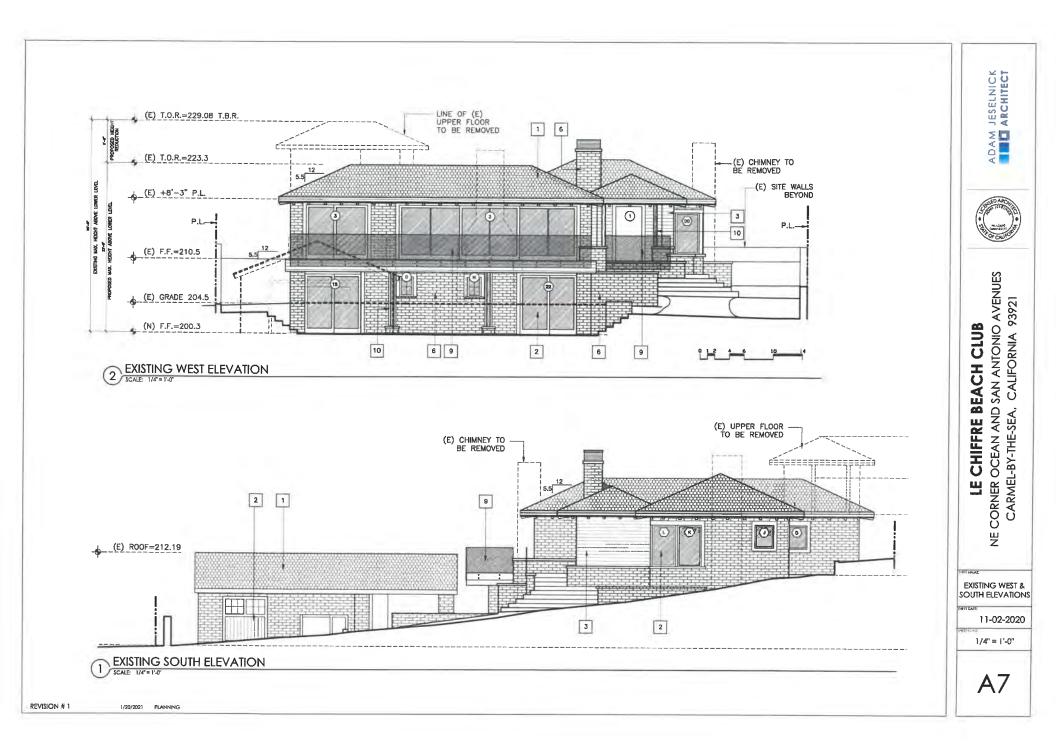


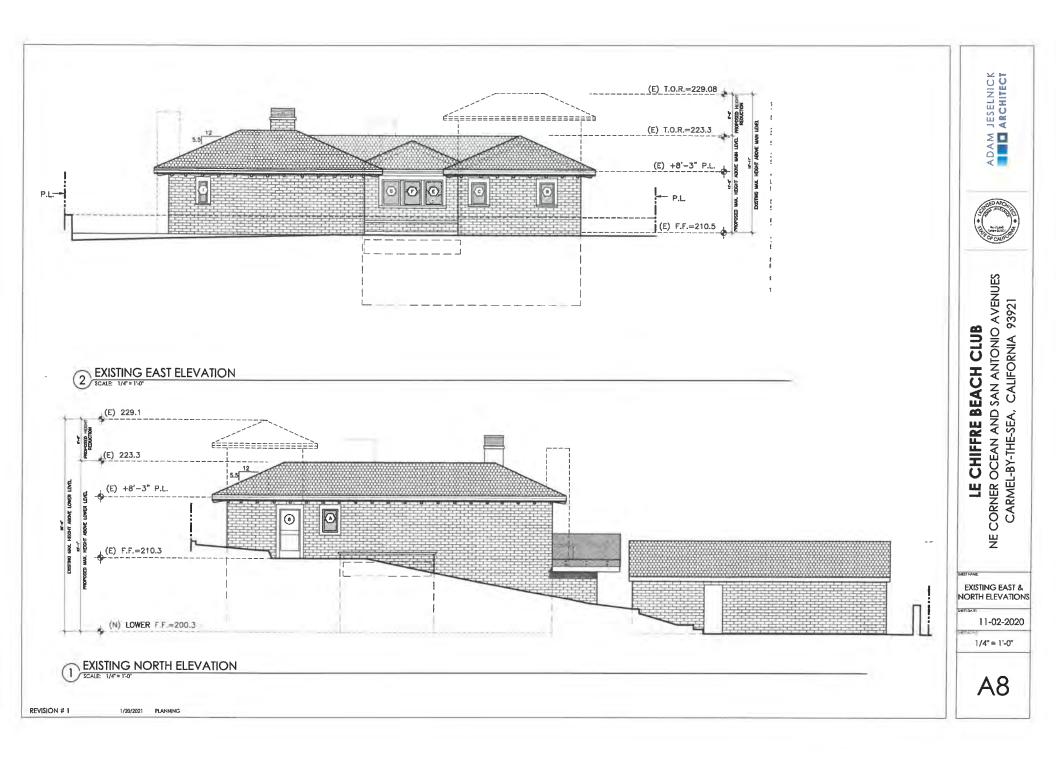


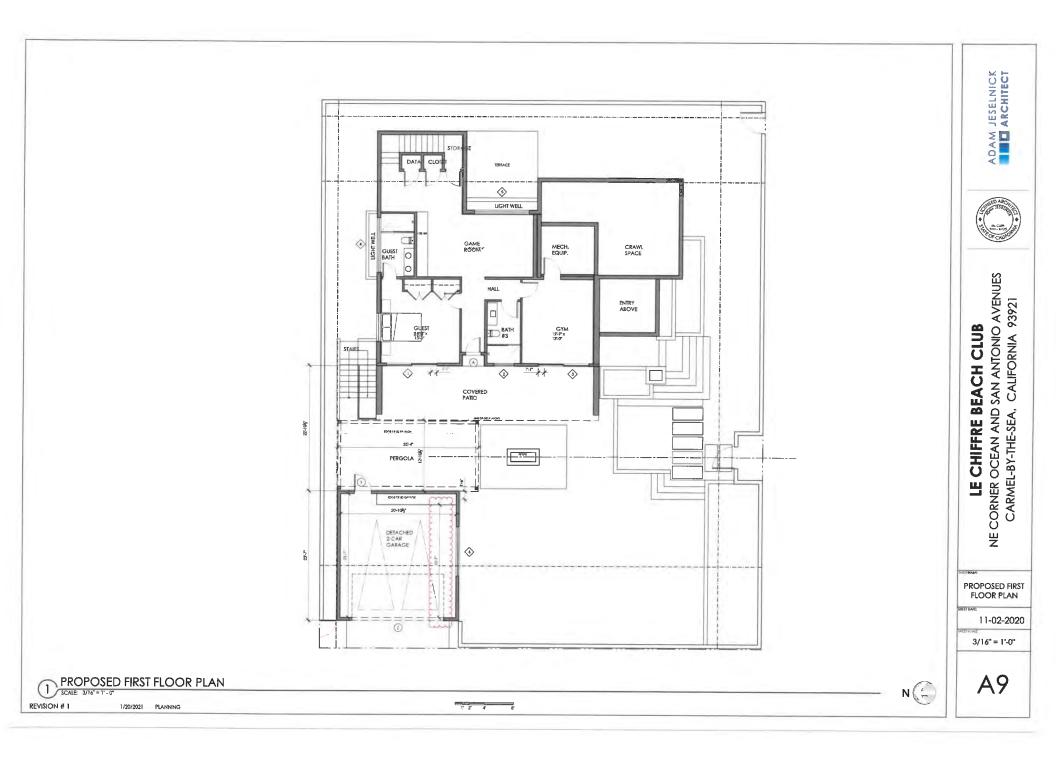




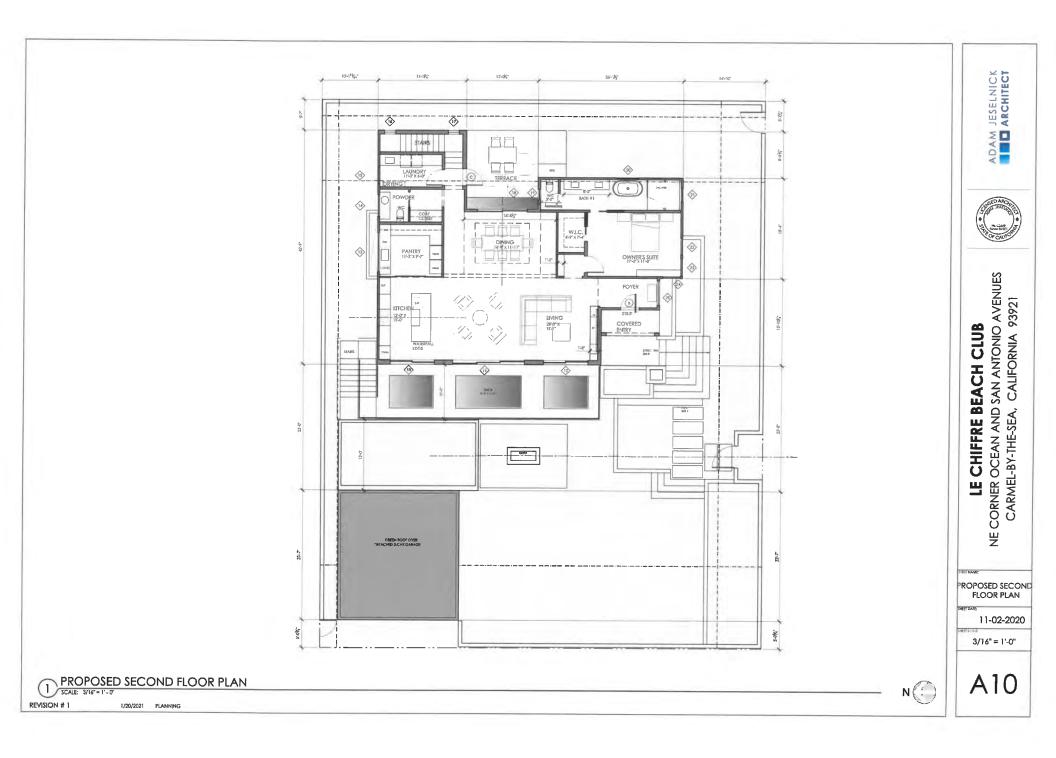


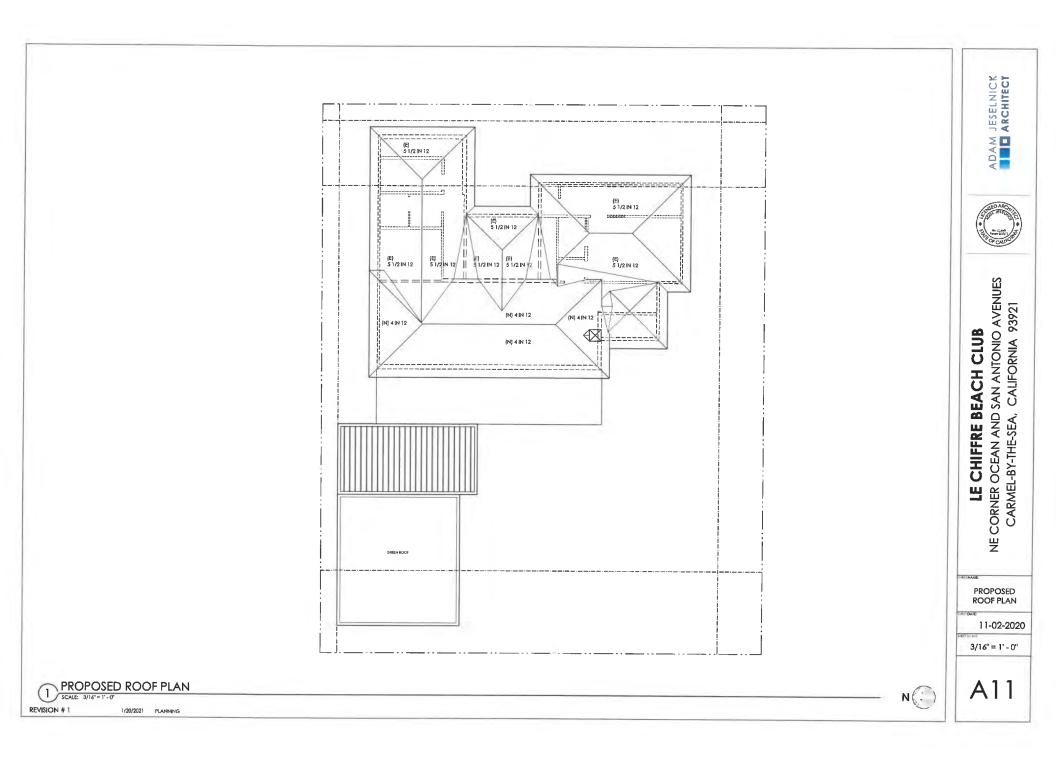


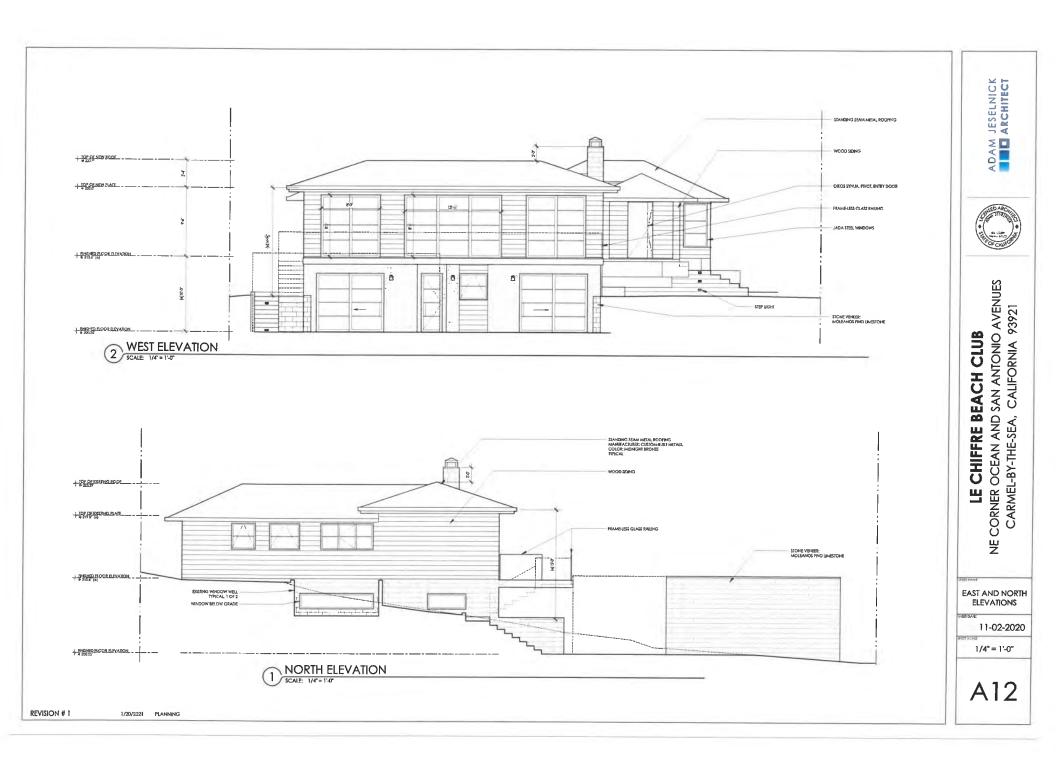


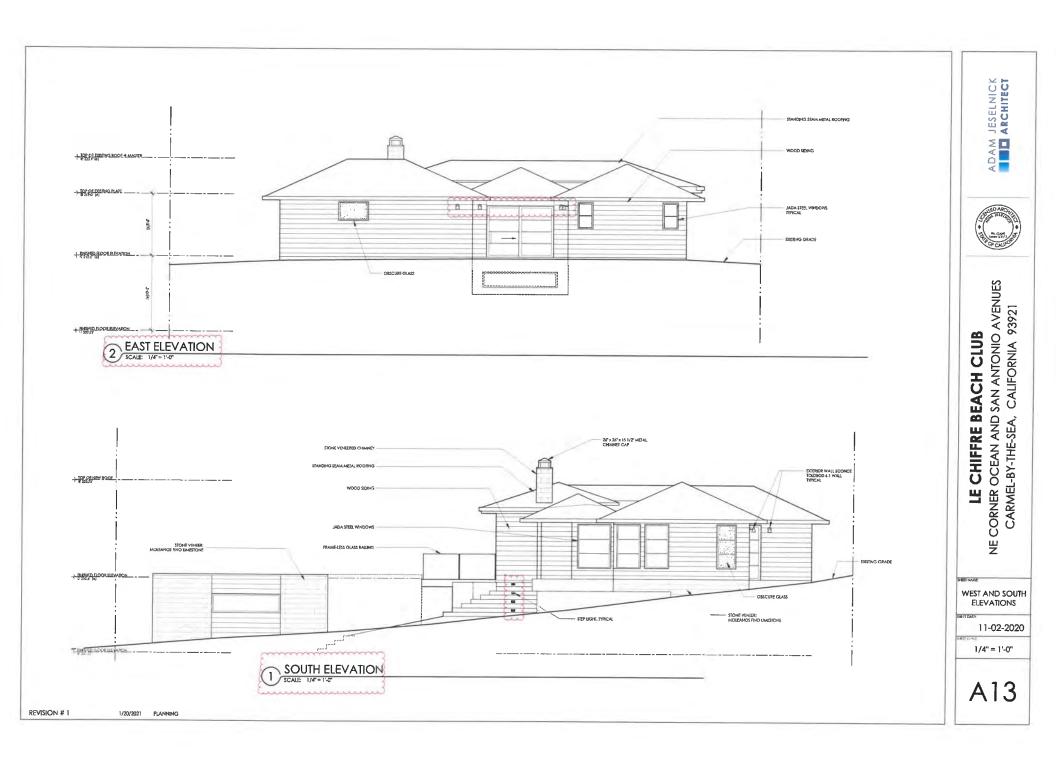


/









_		Window S		-
#	Level	-	Sash Dimension	1
_		Top of Sash		Window Heigh
-	l	Lowerb	9'-1"	
1	Lower	96"	-	8'-0"
2	Lower	96"	3'-8"	3'-6"
3	Lower	96"	9'-1"	8'-0"
4	Lower	98" +/- (e)	5'-2"	2'-0"
s	Lower	98" +/- (e)	10'-0"	2'-0"
6	Garage	96"	10'-0"	2'-0"
-	-	Upper Lo	evel	
10	Upper	106"	8'-0"	8'-10"
11	Upper	105"	13'-0"	8'-10"
12	Upper	106"	8'-0"	8'-10"
13	Upper	84"	7'-1"	3'-2"
14	Upper	84"	4'-0"	3'-2"
15	Upper	84"	2'-11 1/2*	3'-2"
16	Upper	84"	2'-0"	3'-6"
17	Upper	84"	2'-0"	3'-6"
18	Upper	84"	9'-0"	7-0*
19	Upper	84"	2'-0"	2'-6"
20	Upper	84"	4"-0"	2'-6"
21	Upper	84"	2'-6"	5'-5 1/2"
22	Upper	84"	3'-2"	5'-5 1/2"
23	Upper	84"	3'-2"	5'-5 1/Z"
24	Upper	84"	3'-2"	5'-5 1/2"
25	Upper	84°	4'-6"	5'-5 1/2"

ADAM JESELNICK

LE CHIFFRE BEACH CLUB NE CORNER OCEAN AND SAN ANTONIO AVENUES CARMEL-BY-THE-SEA, CALIFORNIA 93921

DOOR AND WINDOW SCHEDULES

A14

11-02-2020 NTS

#						
"	Level	Sash Dimensions				
. 11	Dever	Top of Sash	Door Width	Door Height		
		Lower Level &	& Garage	-		
A	Lower	96"	2'-91/2"	8'-0"		
Y	Lower	96"	3'-0"	8'-0"		
z	Lower	96"	16'-6"	8-0"		
		Upper Le	evel			
в	Upper	92"	3'-4"	7'-8"		
с	Upper	84"	3'-1 1/2"	7-0"		





PERGOLA STRUXURE PAINTED STEEL

LOUIS POULSEN TOLDBOD 6.1 WALL



STANDING SEAM METAL ROOFING MANUFACTURER: CUSTOM-BUILT METALS COLOR: MIDNIGHT BRONZE CLASS A, SLOPED ROOF



JADA STEEL WINDOWS , BRONZE WINDOWS AND DOORS





WOOD HORIZONTAL SIDING EXTERIOR WALL SURFACES

MOLEANOS FINO LIMESTONE VENEER

EXTERIOR WALL SURFACES



FRAMELESS GLASS RAILING DECK RAIL



PAVING STONES PATIOS, WALKWAYS



SAND-BLASTED GLASS EXTERIOR WINDOWS AT MASTER BATHROOM



FIRE PIT CONCRETEWORKS CUBOID





11-02-2020 NTS A16

SEFTDA

5

ШZ

PROPOSED FINISHES

ADAM JESELNICK

CORNER OCEAN AND SAN ANTONIO AVENUES CARMEL-BY-THE-SEA, CALIFORNIA 93921 CHIFFRE BEACH CLUB

REVISION # 1 1/20/2021

SCALE: NTS

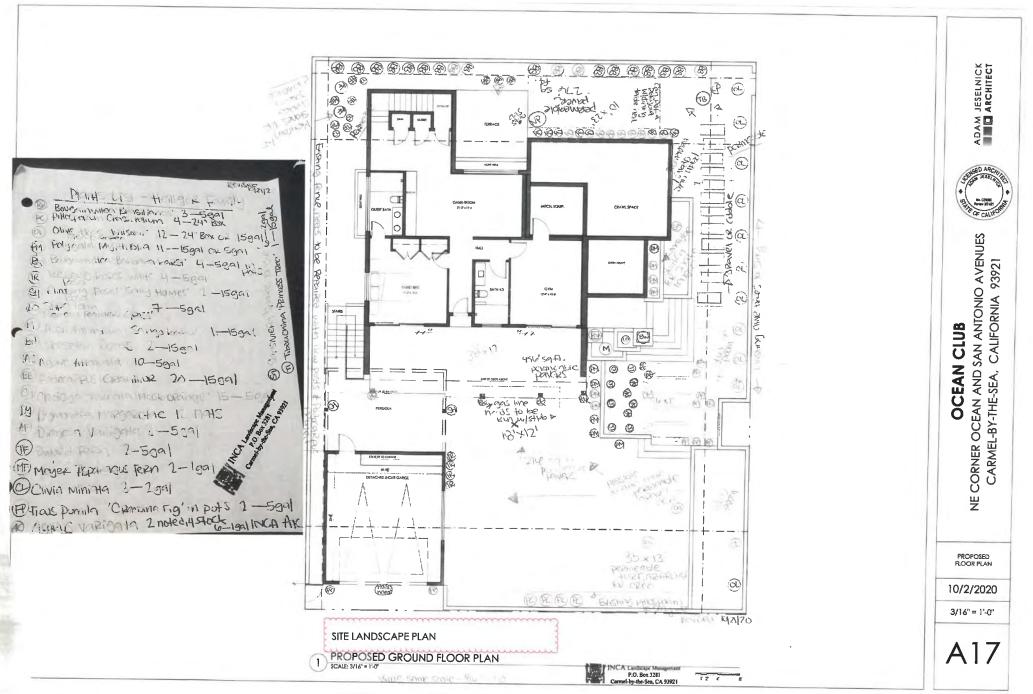
1

WAC LIGNTING

WL-LED101 STEP LIGHT

COLOR AND MATERIAL PALETTE

PLANNING



INCA AK

£.,

On Wed, Oct 27, 2021 at 11:35 AM Frank Lucido Jr. <frank@lucidosurveyors.com> wrote:

COVID-19 UPDATE: In response to governmental orders, and to protect the general public, Lucido Surveyors continues to serve its clients by e-mail, telephone, text and social-distanced field visits while our office is temporarily closed to public access.

You may contact us through our office phone number during regular business hours at (831) 620-5032. If we do not answer, please leave me a message and we will return your call.

Hello Marnie,

I am inquiring about the City of Carmel Case or Building No. 210087 located at NE Corner of Ocean & San Antonio, APN 010253009000, approved 07/12/2021.

And I would like to obtain a copy of the Ridge Height Letter prepared for the site. I understand a letter was submitted by Whitson Engineers, and I would like to review that letter.

What is the best way for me to obtain a copy of that letter?

I can come in to pick up a hard copy, or you can email me a PDF, or any suggestion you may have.

Please let me know, and/or feel free to contact me directly at 831-224-3686.

Sincerely,

Frank Lucido Jr.



Frank Lucido Jr. Professional Land Surveyor California State License #8368

lucidosurveyors.com

From: Marnie R. Waffle [mailto:<u>mwaffle@ci.carmel.ca.us</u>] Sent: Wednesday, October 27, 2021 12:22 PM To: Frank Lucido Jr. <<u>frank@lucidosurveyors.com</u>> Cc: <u>jlaurie@ci.carmel.ca.us</u> Subject: Re: Case or Building No. 210087

Hi Frank,

Attached is the requested height certification.

- Marnie

(831) 428-3500 mobile

Marnie R. Waffle, AICP

Senior Planner

CITY OF CARMEL-BY-THE-SEA

Community Planning & Building Department

P.O. Box CC | Carmel-by-the-Sea, CA 93921

Main: (831) 620-2010 Direct: (831) 620-2057

Attachment 1



6 Harris Court, Monterey, CA 93940 | 831.649.5225 whitsonengineers.com

October 18, 2021

Job No.: 4425.00

Andrew Ellis Groza Construction

Re: Ridge Height Certification Le Chiffre Beach Club NE Corner Ocean & San Antonio Avenues Carmel-By-The-Sea, CA 93921 APN: 010-253-009

Dear Mr. Ellis:

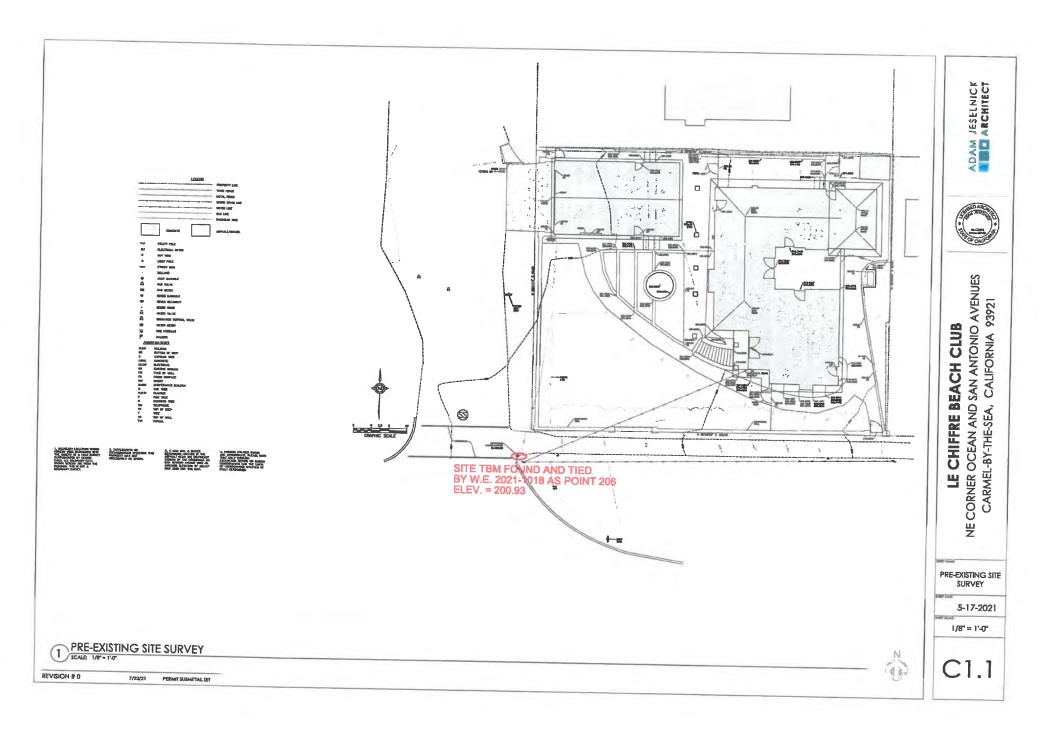
On October 18, 2021 Whitson Engineers checked the height of the ridge of the residence at the NE Corner of Ocean & San Antonio Avenues, Carmel-By-The-Sea. The surveyed ridge, at its highest point, was found to be at an elevation of 224.63 feet (point # 1019), relative to the designated Site Benchmark (elevation 200.93 feet, assumed datum, (tied by Whitson Engineers at Point #206) as shown on Sheet C1.1 of the Civil plans dated May 17, 2021.

Sincerely,

Richard Weber PE, LS LS 8002 Principal



PT, NO.	Ν.		E.		ELEV.	DESC.
206		2098338.687		5701901.673	200.93	CP FD MAG NAIL SITE BENCHMARK
1019		2098396.427		5701964.755	224.629	RIDGE
1020		2098370.763		5701967.14	222.124	RIDGE 1
1021		2098375.57		5701981.594	223.402	RIDGE 2
1022		2098408.136		5701971.975	223.027	RIDGE 3
1023		2098393.414		5701972.802	221.775	RIDGE 4 .7 HIGHER
1024		2098400.712		5701959.938	210.463	SUBFLOOR
1025		2098407.961		5701957.144	200.371	CONC SLAB LOWER
1026		2098398.22		5701956.637	220.209	TOP PLATE BEAM *P
1027		2098396.227		5701956.644	220.811	TOP STEEL BEAM ON PLATE WOOD





On Wed, Oct 27, 2021 at 2:23 PM Frank Lucido Jr. <<u>frank@lucidosurveyors.com</u>> wrote:

Attachment 1

COVID-19 UPDATE: In response to governmental orders, and to protect the general public, Lucido Surveyors continues to serve its clients by e-mail, telephone, text and social-distanced field visits while our office is temporarily closed to public access.

You may contact us through our office phone number during regular business hours at (831) 620-5032. If we do not answer, please leave me a message and we will return your call.

Thank you Marnie,

I noticed that Whitson letter metntions Sheet C1.1 of the Civil plans dated May 17, 2021.

Could I please get a PDF of that as well?

I was not able to find that drawing in any of the links and/or project files.

Thank you for your help.

Sincerely,

Frank Lucido Jr., PLS 8368

LUCIDO SURVEYORS

2 Saucito Avenue

Del Rey Oaks, CA 93940 831-620-5032

frank@lucidosurveyors.com

CONFIDENTIALITY NOTICE: The information contained in this e-mail message is privileged and confidential information. It is intended only for the use of the individual or entity named above. If you are not the intended recipient, you are notified that any disclosure, copying, distribution, electronic storage or use of this communication is prohibited. If you received this communication in error, please notify us immediately by e-mail, attaching the original message, and delete the original message from your computer, and any network to which your computer is connected. Thank you.

From: Marnie R. Waffle [mailto:mwaffle@ci.carmel.ca.us] Sent: Wednesday, October 27, 2021 2:59 PM To: Frank Lucido Jr. <frank@lucidosurveyors.com> Cc: jlaurie@ci.carmel.ca.us Subject: Re: Case or Building No. 210087

Hi Frank,

Sheet C1.1 is page 3 in the attached height certification documentation.

- Marnie (831) 428-3500 mobile

Marnie R. Waffle, AICP

Senior Planner CITY OF CARMEL-BY-THE-SEA Community Planning & Building Department P.O. Box CC | Carmel-by-the-Sea, CA 93921 Main: (831) 620-2010 Direct: (831) 620-2057

From:	Frank Lucido Jr. <frank@lucidosurveyors.com></frank@lucidosurveyors.com>
Sent:	Wednesday, October 27, 2021 3:21 PM
То:	Marnie R. Waffle
Cc:	jlaurie@ci.carmel.ca.us
Subject:	RE: Case or Building No. 210087

COVID-19 UPDATE: In response to governmental orders, and to protect the general public, Lucido Surveyors continues to serve its clients by e-mail, telephone, text and social-distanced field visits while our office is temporarily closed to public access.

You may contact us through our office phone number during regular business hours at (831) 620-5032. If we do not answer, please leave me a message and we will return your call.

Thank you so much Marnie.

I have one more question for right now – before I review these documents:

The plans set I found shows the lower floor is more or less at the elevation Whitson confirms in their letter. And those plans show a proposed roof ridge of 223.3.

Whitson says the roof ridge is at 224.6.

It seems to me, the roof ridge is 1.3 feet to high already, and this is even before the finihsed material is installed.

Am I missing something, or has there been a change to the appoved height of 223.3?

(That might be two questions, but I'm trying to figure this out). I'm hoping you can help.

Sincerely, Frank Lucido Jr., PLS 8368

LUCIDO SURVEYORS 2 Saucito Avenue Del Rey Oaks, CA 93940 831-620-5032

frank@lucidosurveyors.com

CONFIDENTIALITY NOTICE: The information contained in this e-mail message is privileged and confidential information. It is intended only for the use of the individual or entity named above. If you are not the intended recipient, you are notified that any disclosure, copying, distribution, electronic storage or use of this communication is prohibited. If you received this communication in error, please notify us immediately by e-mail, attaching the original message, and delete the original message from your computer, and any network to which your computer is connected. Thank you.

On Thu, Oct 28, 2021 at 10:12 AM Quinn, Heidi A. <<u>HQuinn@nheh.com</u>> wrote:

Good morning,

Attached, please find a letter regarding the ridge height in excess of the approved plans.

We look forward to your response.

Best Regards,

Heidi A. Quinn

NOLAND, HAMERLY, ETIENNE & HOSS

A Professional Corporation 333 Salinas Street

P.O. Box 2510

Salinas, CA 93902

(831) 424-1414 ext. 219

(831) 424-1975 (fax)

HQuinn@nheh.com

www.nheh.com

Serving the Central Coast Since 1928



Stephen W. Pearson Anne K. Secker Randy Meyenberg Michael Masuda

Christine G. Kemp

Timothy J. Baldwin

* Charles Des Roches

* Robert D. Simpson

Ana C. Toledo * Leslie E. Finnegan

Attorneys at Law A PROFESSIONAL CORPORATION

WWW.NHEH.COM E-MAIL HQUINN@NHEH.COM 831-424-1414 ext. 219 Our File No. 30637.000

October 28, 2021

VIA E-MAIL BSWANSON@CI.CARMEL.CA.US

Brandon Swanson Director, Community Planning and Building City of Carmel-by-the-Sea Carmel, CA

Re: Northeast Corner of Ocean Avenue and San Antonio

Dear Mr. Swanson:

I am writing on behalf of Ms. Hataitip Rangthong. This letter follows previous communications with the City of Carmel-by-the-Sea ("City") regarding the Planning Commission approval of a project at the Northeast Corner of San Antonio and Ocean Avenue ("Property") on n February 10, 2021.

We have repeatedly expressed concerns regarding the height of the roof or ridge line now under construction.

Yesterday, we obtained a copy of the letter by Whitson Engineers dated October 18, 2021 regarding the Ridge Height Certification. This letter confirms the ridge height to be 224.63. This is in direct conflict with the approved plans we reviewed, which show a proposed roof ridge of 223.3. The roof ridge under construction exceeds the approval by approximately 1'4", which is before installation of the finished materials.

We have also requested a copy of the final approved plans for the project. In response, we received a copy of plans dated January 28, 2021. We reiterate our request for a copy of the official approved set of plans and the documents referenced in the October 18, 2021 letter. Please confirm you will provide the documents, and a timeline.

Lindsey Berg-James Anne Frassetto Olsen Heidi A. Quinn Daniel J. Little Ashley N. Garvey Anthony Mendoza Harry L. Noland (1904-1991) Paul M. Hamerly (1920-2000) Myron E. Etienne, Jr. (1924-2016)

* CERTIFIED SPECIALIST IN PROBATE, ESTATE PLANNING, AND TRUST LAW BY THE CALIFORNIA BOARD OF LEGAL SPECIALIZATION STATE BAR OF CALIFORNIA

Peter T. Hoss (1934-2018)

FAX 831-424-1975

Brandon Swanson October 28, 2021 Page 2

Due to the concerns regarding the ridge line, we request for the City to immediately issue a stop work notice.

Best regards,

NOLAND, HAMERLY, ETIENNE & HOSS A Professional Corporation

Heidí A. Quínn

Heidi A. Quinn

cc: Marnie Waffle

HAQ

From:	Brandon Swanson <bswanson@ci.carmel.ca.us></bswanson@ci.carmel.ca.us>
Sent:	Thursday, October 28, 2021 10:17 AM
To:	Quinn, Heidi A.
Cc:	Marnie R. Waffle; Kemp, Christine
Subject:	Re: Request to Stop Work
Follow Up Flag:	Follow up
Flag Status:	Flagged

Heidi,

Thank you for your email. Let me meet with Marnie this morning and I will get back in touch with you later today.

-Brandon

Brandon Swanson [he, him, his] Director, Community Planning and Building City of Carmel-by-the-Sea (831) 620-2024



From:	Brandon Swanson <bswanson@ci.carmel.ca.us></bswanson@ci.carmel.ca.us>
Sent:	Thursday, October 28, 2021 4:40 PM
То:	Quinn, Heidi A.
Cc:	Marnie R. Waffle; Kemp, Christine
Subject:	Re: Request to Stop Work

Hello Heidi,

Getting back to you. I wanted to provide an update that we are in contact with the contractor and discussing potential discrepancies in the subject ridge height. I will keep you posted as to the outcome of those discussions, and will provide you another update tomorrow.

Thanks,

-Brandon

Brandon Swanson [he, him, his] Director, Community Planning and Building City of Carmel-by-the-Sea (831) 620-2024



Hello Brandon,

Thank you for your response.

When can we expect to obtain a copy of the official approved plans referenced in the Whitson letter?

Best Regards,

Heidi A. Quinn

NOLAND, HAMERLY, ETIENNE & HOSS

A Professional Corporation 333 Salinas Street

P.O. Box 2510

Salinas, CA 93902

(831) 424-1414 ext. 219

(831) 424-1975 (fax)

HQuinn@nheh.com

www.nheh.com

Serving the Central Coast Since 1928

From:	Brandon Swanson <bswanson@ci.carmel.ca.us></bswanson@ci.carmel.ca.us>
Sent:	Thursday, October 28, 2021 5:02 PM
To:	Quinn, Heidi A.
Cc:	Marnie R. Waffle; Kemp, Christine
Subject:	Re: Request to Stop Work

Heidi,

Thanks for the nudge on the plans, I will make sure they get to you tomorrow morning. My team is gone for the day and I want to make sure I send you the correct ones.

-Brandon

Brandon Swanson [he, him, his] Director, Community Planning and Building City of Carmel-by-the-Sea (831) 620-2024

From:	Brandon Swanson <bswanson@ci.carmel.ca.us></bswanson@ci.carmel.ca.us>
Sent:	Friday, October 29, 2021 3:28 PM
То:	Quinn, Heidi A.
Cc:	Marnie R. Waffle; Kemp, Christine
Subject:	Re: Request to Stop Work

Heidi,

Here is a google drive link so you can download the final plans that are referenced in the Whitson Letter

BP 21-087 (Le Chiffre Holdings) Approved Plan.pd	
--	--

Have a nice weekend

-Brandon

Brandon Swanson [he, him, his] Director, Community Planning and Building City of Carmel-by-the-Sea (831) 620-2024

×	lada pan na mar untu anta ina anta anta	-

SH	EET INDEX
A0.1	
A0.2	PROJECT DATA, SITE DATA, AND SITE LOCATION NOTES, SPECIFICATIONS, AND CONDIIONS OF APPROVAL
A0.3	PRE-EXISTING SITE SURVEY
A1.1	PROPOSED SITE PLAN
A2.0	EXISTING FIRST FLOOR PLAN
A2.1	EXISTING SECOND FLOOR PLAN
A2.2	EXISTING ROOF PLAN
A2.3	PROPOSED FIRST FLOOR PLAN
A2.4	PROPOSED SECOND FLOOR PLAN
A2.5 A3.1	PROPOSED ROOF PLAN
A3.2	EXISTING WEST & SOUTH ELEVATIONS EXISTING NORTH & EAST ELEVATIONS
A3.3	PROPOSED WEST AND NORTH ELEVATIONS
A3.4	PROPOSED EAST AND SOUTH ELEVATIONS
A3.5	BUILDING SECTIONS
A3.6	BUILDING SECTIONS
A4.1	FIRST FLOOR REFLECTED CEILING PLAN
A4.2	SECOND FLOOR REFLECTED CEILING PLAN
A5.1	DOOR AND WINDOW SCHEDULES
A6.1	MATERIAL SPECIFICATIONS
A7.1	VERTICAL CIRCULATION
A7.2	VERTICAL CIRCULATION
A8.1	ARCHITECTURAL DETAILS
STRUC	TURAL
SO.0	TITLE SHEET
SO.1	GENERAL NOTES
\$2.1	GROUND FLOOR FOUNDATION PLAN
S2.2	MAIN FLOOR FRAMING PLAN
S2.3	ROOF FRAMING PLAN
\$2.4	GARAGE FOUNDATION AND FRAMING PLAN / DETAILS
\$5.1	CONCRETE DETAILS
\$7.1 \$7.2	STEEL DETAILS STEEL DETAILS
57.2 58.1	WOOD DETAILS
S8.1	WOOD DETAILS
38.2 \$8.3	WOOD DETAILS
\$8.4	WOOD DETAILS
MECH	ANICAL
MO.1	NOTES
M0.2	NOTES
M0.3	ENERGY COMPLIANCE
M0.4	2019 LOW -RISE MANDATORY MEASURES
M2.1	EXISTING FIRST FLOOR HEATING
M2.2	SECOND FLOOR RADIANT HEATING PANEL LAYOUT
M2.3	SECOND FLOOR RADIANT HEATING TUBING LAYOUT
M2.4	SECOND FLOOR HYDRONIC COOLING PLAN
M2.5	RRST FLOOR VENTILATION PLAN
M2.6	SECOND FLOOR HVAC PLAN
M6.1	PIPING SCHEMATIC
M6.2	NOTES AND SCHEDULES
M6.3 M6.4	DETAILS ECO-MARIA INSTALLATION DETAILS
M6.5	ECO-WARM INSTALLATION DETAILS HEAT SOURCE VENTING
\sim	
PLUMB	ING
P0.1	LEGENDS, SCHEDULES, NOTES, AND DETAILS
P2.1	FIRST AND SECOND FLOOR WASTE AND VENT PLAN
P2.2	FIRST AND SECOND FLOOR DOMESTIC WATER & GAS PLAN
P2.3	GAS LINE SCHEMATIC
UGHT	NG
LTI.0	FIRST FLOOR LIGHTING PLAN
LT2.0	SECOND FLOOR LIGHTING PLAN
BMP	CONSTRUCTION MANAGEMENT BEST MANAGEMENT PRACTICES
CIVIL	3
C-1	DRAINAGERIAN
C-1 C-2	DRAINAGE PLAN EROSION CONTROL PLAN

C-2 EROSION CONTROL PLAN A A A

PLAN CHECK SUBMITTAL

SITE DATA

TYPE	OF CONSTRUCTION:	TYPE V-B			
oče	CUPANCY:	R-3 RESIDENTIA	AL (HOUSE),	U-UTILITY (GARAGE))
FIRE	SPRINKLERS;	YES	\sim	·····	
PERA	AITS:	DS 15-322 (API BP 16-055 (ISSU		VEMBER 18, 2015) IER 2016)	
		DS 20-323 (API	PROVED FEB	RUARY 10, 2021	
WAT	ER:	CAL-AM (E)			
SEW	ER:	CARMEL AREA	WASTE WA	TER DISTRICT (E)	
CUT	/ FILL:	0 CUBIC YARD	S (NO GRAD	ONG THIS PROJECT]	
	DING INFORMATION: HT LIMIT: 18'-0"				
	POSED BUILDING HEIGHT	HIGHEST POIN	T REDUCED	BY 5'-8"	
	DATA:				
	. TOTAL SITE COVERAGE ING SITE COVERAGE:		971.SF 3359.SF		
	COVERAGE REQUIRED TO	BE REMOVED:	686. SF		
	ADDITION X 2 = WABLE SITE COVERAGE		1732. SF		
	OSED SITE COVERAGE:		1987. SF (3 1950. SF	359 - 1732)	
	LIGHT WELL;			CONCRETE)	
	NORTH STAIRS; PERGOLA:			TONE TILE}	
	FIRE PIT PATIO:			CONCRETE PAVERS)	
	DRIVEWAY:			CONCRETE)	
	STEPS AND WALL: SOUTH GATE:			CONCRETE)	
	FRONT ENTRY STEPS:			CONCRETE}	
	FRONT STEPPING STONE	1	84. SF (C	CONCRETE)	
	FRONT DECK:		402. SF (S	TONE TILE)	
	REAR PATIO: PROPERTY WALLS:		230. SF (S 207. SF	TONE TILE)	
100	R AREA CALCULATIONS:		207.31		
(E)	MAIN LEVEL:		1612, SF		
E)	LOWER LEVEL:		195. SF		
E)	GUEST HOUSE:		265. SF		
E)	GARAGE:		417. SF		
	LEXISTING:		2,489. SF	(APPROVED PERA	AIT DS 15
N) N}	MAIN LEVEL: LOWER LEVEL:		1696. SF	1779 SF	
N)	LOWER LEVEL BASEMEN	r•	622. SF 357, SF	622 SF 257 SF	
N)	BASEMENT BONUS:		100, SF	100 SF	
N)	GARAGE:		400. SF	417 SF	
OTA	PROPOSED:		3,175. SF	(3,175. SF)	



PROJECT DATA

PROPERTY ADDRESS: A.P.N.: BLOCK /LOT: LOT SIZE: ZONING:	NORTHEAST CORNER OF SAN ANTONIO AVENUE AND OCEAN AVENUE CARMEL-87-THE SEA, CALIFORNIA 93921 010-253-009 BLOCK HH, LOTS 2 AND 4 8000 SF (J.84 ACRES) R-1 SINGLE FAMILY RESIDENTIAL	ADAM JESELNI
OWNER:	K-T SINGLE FAMILY RESIDENTIAL	
	394 PACIFIC AVE. 2ND FLOOR SAN FRANCISCO, CALIFORNIA 94111	Star Machine
ARCHITECT:	ADAM JESELNICK ARCHITECT 24398 PORTOLA AVENUE CARMEL, CA 93923 PHONE: (831) 620.5164 m CONTACT: ADAM JESELNICK AIA EMAIL: gejarch@gmail.com	S3
CONTRACTOR:	GROZA CONSTRUCTION 883 ABREGO STREET MONTREY, CA. 93940 PHONE: 831-655-7605 EMAIL: CWEST@GROZACONSTRUCTION.COM	3 93921
STRUCTURAL:	GFDS ENGINEERS	BSZ≤
MECHANICAL:	MONTEREY ENERGY GROUP	
LIGHTING:Q	ANNA KONDOLF LIGHTING DESIGN	X ₹ 4
CIVIL ENGINER:	LANDSET ENGINEERS	
SURVEYOR:	LES ENGINEERING AND SURVEYING 2460 GARDEN ROAD, SUITE G MONTEREY, CA 93940 (831) 655-2723 OFFICE	LE CHIFFRE BEACH CLUB ORNER OCEAN AND SAN ANTONIO AVE CARMEL-BY-THE-SEA, CALIFORNIA 9392
5-322) *********	PROSECT LOC ARGIN	S S S
A. C.		PROJECT DATA AND SITE LOCATION
		3-11-2021
	Carrent bay	AS NOTED
UCINITY SCALE N.T.S.	MAP Reviewed for Code Complianc JUL 09 2021 CSG CONSULTANTS, INC.	A0.1

ADAM JESELNICK



GENERAL NOTES

- 1. VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS AT THE SITE; CONFIRM ANY VARIATIONS OR CONFLICTING OR MISSING DIMENSIONS OR DATA PRIOR TO COMMENCING WORK. USE WRITTEN DIMENSIONS ONLY; DO NOT SCALE DRAWINGS FOR THE PURPOSE OF DETERMINING A DIMENSION DURING CONSTRUCTION.
- 2. CONSTRUCTION DETAILS: NOT SPECIFICALLY SHOWN ON THE DRAWINGS SHALL BE BUILT TO CONFORM TO SIMILAR CONSTRUCTION, IN ACCORDANCE WITH THE BEST COMMON PRACTICE AND/OR MANUFACTURER'S SPECIFICATIONS FOR THE INSTALLATION OF THEIR MATERIALS OR ITEMS.
- 3. ALL CONSTRUCTION (MATERIALS, WORKMANSHIP & METHODS) SHALL COMPLY WITH TITLE 24 AND THE 2019 CALIFORNIA RESIDENTIAL CODE (CBC) AND APPENDICES H. I, AND J. CALIFORNIA EXISTING BUILDING CODE, CALIFORNIA PLUMBING CODE (CPC). CALIFORNIA MECHANICAL CODE (CMC), CALIFORNIA ELECTRICAL CODE (CEC), CALIFORNIA MECHANICAL CODE, CALIFORNIA ENERGY CODE, FRE CODE (SEE CMC TITLE 8), AND 2013 CALIFORNIA GREEN BUILDING STANDARDS CODE; AND ALL LOCAL AMENDMENTS AS ADOPTED BY CITY ORDINANCE.
- 4. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SAFETY ON THE JOB SITE AND MUST ADHERE TO ALL FEDERAL, STATE LOCAL AND O.S.H.A. SAFETY REGULATIONS.
- 5. DEMOLITION: CONFIRM ALL DEMOLITION REQUIREMENTS WITH THE OWNER, VERIFY WITH OWNER WHICH ITEMS, IF ANY, HE/SHE WISHES TO RETAIN FOR HIS/HER USE, ALL OTHER ITEMS TO BECOME PROPERTY OF THE CONTRACTOR AND ARE TO BE PROPERLY REMOVED FROM THE PREMISES
- 6. NAILING TO BE IN COMPLIANCE WITH CBC TABLE 2304.5.1 U.O.N.
- 7. NO EXISTING FIRE SUPPRESSION SYSTEM. NEW FIRE SPRINKLERS TO BE INSTALLED. DEFERRED SUBMITTAL AND UNDER SEPARATE PERMIT
- 8. PV PHOTOVOLTAIC SYSTEM PROPOSED FOR ROOF TOP INSTALLATION. DEFERRED SUBMITTAL AND UNDER SEPARATE PERMIT.

A **CITY CONDITIONS OF APPROVAL**

mmmm

Page 4 of 9

mily residence located at the northeast corner of San Antonio and Orean Avenue (APN 010-253) 009), subject to the following Conditions of Approval:

CONDITIONS OF APPROVAL

- Standard Conditions
- 2. Codes and Ordinances. The project shall be constructed in configurations with all requirements of the R-1 zoning district. All adopted building and fire codes shall be adhered to in preparing the working drawings. If any codes or collisionances require design elements to be changed, or if any other changes are requested at the time such plans are submitted, such changes may require additional
- environmental review and subsequent approval by the Plansing Commission.
 3. Permit Validity. This approval shall be valid for a period of one year from the date of action unless an active building permit has been issued and maintained for the proposed construction,
- Yot the proposed construction. Landscape Plan. All new landscaping, if proposed, shall be shown on a landscape plan and shall be submitted to the Department of Community Plancing and Building and to the City Forester <u>refor to the Jervance of a building permit</u>. The landscape plan will be reviewed for compliance with the fandscaping star ontained is the Zoning Code, including the following requirements: 1) all new indicaping shall be 75% drought-tolerant; 2) landscaped areas shall be inigated by a drip/sprinkler system set on a timer; and 3) the project shall mee the City's recommended tree density standards, unless otherwise approved by the Giv based on-site conditions. The landscaping plan shall show where new trees will be planted when new trees are required to be planted by the Foras nd Seach Commission or the Planning Commission.
- S. Trea Removal, Traces on the site shall only be removed upon the approval of the City Forester or Forest and Beach Commission, as appropriate all remaining trees shall be protected during construction by methods approved by the City
- 6. Significant Trees. All foundations within 15 feet of significant trees shall be wated by hand. If any tree roots larger than two inches (2") are watered during construction, the City Forester shaft be contacted before cutting the roots. The City Forester may require the roots to be bridged or may

Resolution No. 2021-009-PC Page 5 of 9

- authorize the roots to be cut. If roots larger than two inches (2*) in diameter are out without prior City Forester approval or any significant tree is endangered as a result of construction activity, the building permit will be suspended and all work stopped until an Investigation by the City Forester has been completed. Twelve Inches (12") of mulch shall be evenly spread inside the ne of all trees prior to the issuance of a building permit. 7. Water Use. Approval of this application does not permit an increase in water 🖌
- use on the project site without adequate supply. Should the Mor use on the project are without abequile supply. Should the Monterey Penintule Water Management District determine that adequate water is not available for this site, this permit will be scheduled for reconsideration and appropriate findings prepared for review and adoption by the Planning Committee. 8. Modifications. The applicant shall submit in writing to the Community Planning
- and Building staff any proposed changes to the approved project plans prior to incorporating changes. If the applicant changes the project without first obtaining City approval, the applicant will be required to either; a) submit the bolaising Livy approval, the applicant will be requeed to either all submit the change in writing and cases all work on the project anti either the Planning. Commission to staff has approved the change or by eithnate the change and salarit the proposed change in writing for review. The project will be reviewed for home will be reviewed. Setback and Height Certifications, A Scate licensed surveyor shall survey and
- rtify the following in writing:
- The footing locations for conformance with the approved plans prior to facting/foundation inspection:
- · The root height for conformance with the approved plans prior to roof sheathing inco

Written certifications prepared, sealed and signed by the surveyor shall be provided to the building inspector at the time of the specified inspections. 10. Eduarior Lighting, Exterior lighting shall be limited to 25 watts or less (incandescent equivalent, i.e., 375 inments) per foture and shall be no higher than 10 feet above the smund. Landscape lighting shall not exceed 18 Inches than to teet adove the ground. Landscape agring shall not exceed 18 inches above the ground nor more than 15 watts (incandescent equivalent, I.e. 225 lownens) per fixture and stall be spaced no closer than 10 feet apart. Landscape lighting shall not be used for tree, wall, fence or accent lighting of any type. The purpose of landscape lighting is to safely illuminate wall the subject property. All futures shall be shielded and down facing. The manufacturer's specifications, including illumination information, for each exterior light future shall be included in the construction drawings submitted.

with the building permit application



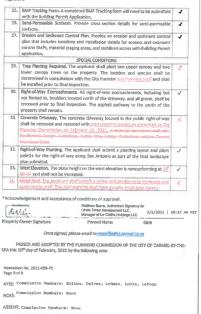
- 12. Stone Facades (Including chimneys). Stone facades shaft be installed in a broken 🖌 course/random or similar mascory pattern. Settion the stopes vertically on their Face in a coloweb pattern shall not be permitted. All sponework shall be wrapped around building corners and terminated at an inside corner or a logical stopping point that provides a finished appearance. Termination of stonework shall be subject to review and approval by the Continuarity Planning & Public of Pirector Subject to inview and approval by the Community Haming & Building Director or har/her designee. The manonry patter shall be clearly identified in the construction devinging automatical with the building permit application. Indemnification. The applicant agrees, at his or her sole expense, to defend,
- Indemnify, and hold harmless the City, its public officials, plficers, employeeand assigns, from any liability; and shall reimburse the City for any expense incurred, resulting from, or in connection with any project approvals. This includes any appeal, claim, suit, or other legal proceeding, to ettack, set eside, vold, or annul any project approval. The City shall promotiv notify the applicant of any legal proceeding, and shall cooperate fully in the defense. The City ma at its sole discretion, participate in any such legal ection, but participation shall not refleve the applicant of any obligation under this condition. Should any party bring my legal action in connection with this project, the Superior Court of the County of Monterey, California, shall be the situs and have jurisdiction for the resolution of all such actions by the parties hereto. Driveway, Except as otherwise provided for in these condit
- 15 ions the driveway material shall extend beyond the property line into the public right of way as needed to connect to the paved street edge. An other polar type of way as needed to connect to the paved street edge. An unimal asphatic connection et the street edge may be required by the Superintendent of Streets or the ulding Official, depending on site conditions, to accommodate the drainage flow Roe of the street. The driveway material and asphalt connection shall be clearly (dentified on the construction drawings submitted with the building permit application. If a driveway is proposed to be sand set a dimensioned construction detail showing the base material shall be included in the construction drawings. 18. Hiszardous Materials Waste Survey. A hazardous materials waste survey shall be
- 1 quired in conformance with the Monterey Bay Unlifed Air Pollution Control District prior to issuance of a demolition permit.
- District prior to issume of a demolision permit. 39. Archaeological Report. An achaeological reconnelssance report shall be frammed by a qualified archaeologicar or other person(s) meeting the standards of the State Office of Historic Preservation prior to approved of a final boilding permit. The applicant shall able there to any recommendations set (or this in the archaeological report. All new construction involving excavation shall Immediately cease if materials of archaeological significance are discovered on

Resolution No. 2021-009-PC

Page 7 of 9

- the site and shall not be permitted to recommence until a mitigation and
- monitoring plan is approved by the Planning Commission. 20. Cultural Resources, All new construction involving excavation chall immediately cesse if cultural resources are discovered on the site, and the applicant shall notify the Community Planning and Building Department within 24 hours. Work shall not be permitted to recommence until such resources are properly evaluated for significance by a qualified archaeologist, if the rest eventation can segminication or a citatariotic altranspoologist, if the resources are differentiated to be significant, price for a resumption on work, a milligation and and approvated by the Community Planning and Building Directors. In addition, if human remains are uneartible during excavation, no further disturbance shall human remains are uneartible during excavation, no further disturbance shall occor until the County Cotoner has made the necessary findings as to origin and distribution pursuant to California Public Resources Code (PRC) Section
- 21. Truck Hauf Route. Prior to Building Permit issuance, the applicant shall provide To compare not an another in the opening country of the provide for Chy (community) Plansing and Bulking Director in consultation with the Public Services and Public Safety Departments] review and approvel, a truck-half route and any necessary temporary traffic control measures for the endimentation. grading activities. The applicant shall be responsible for ensuring adherance (the truck-haul route and implementation of any required traffic control
- 22. USA North 813. Prior to any excavation or digging, the applicant shall contact of the appropriate regional notification center (USA North 811) at least but working days, but not more than 14 catendar days, prior to commencing that encavation or digging. No digging or excavation is suchorized to occur on she unsit the applicant has obtained a Ticket Number and all utility members have positively responded to the dig request. (Visit USANorth811.org for mor Information
- Conditions of Approval. All conditions of approval for the Planning permit(s) shall be printed on a full-size sheet and included with the construction plan set submitted to the Building Safety Division ENVIRONMENTAL COMPLIANCE CONDITIONS
 24. Drainage Plan. Provide a drainage plan that meets the requirements of the City's
- drainage guidance, SOG 17-07. At a minimum, new and replaced imperarea drainage must be depended around the title table table to an important corner of the property, infittration features, must be sted appropriately and must be located at least 6 fest from neighboring properties. The drainage plan shall include information on dramage from new impervious areas and semirvious areas

Resolution No. 2023-009-PC Page B of S



MESTAIN;Commission Nombergs None

APPROVED



5 U CHITEC

ARCH

٤ 🗖

~

AD

AVENUES

ANTONIO

SAN /

AND

CEAN /

Õ

Ō

80

CLU

BEACH

CHIFFRE

ш ORNER

93921

CALIFORNIA

ARMEL-BY-THE-SEA,

Ū

CONDITIONS OF

APPROVAL

3-12-2021

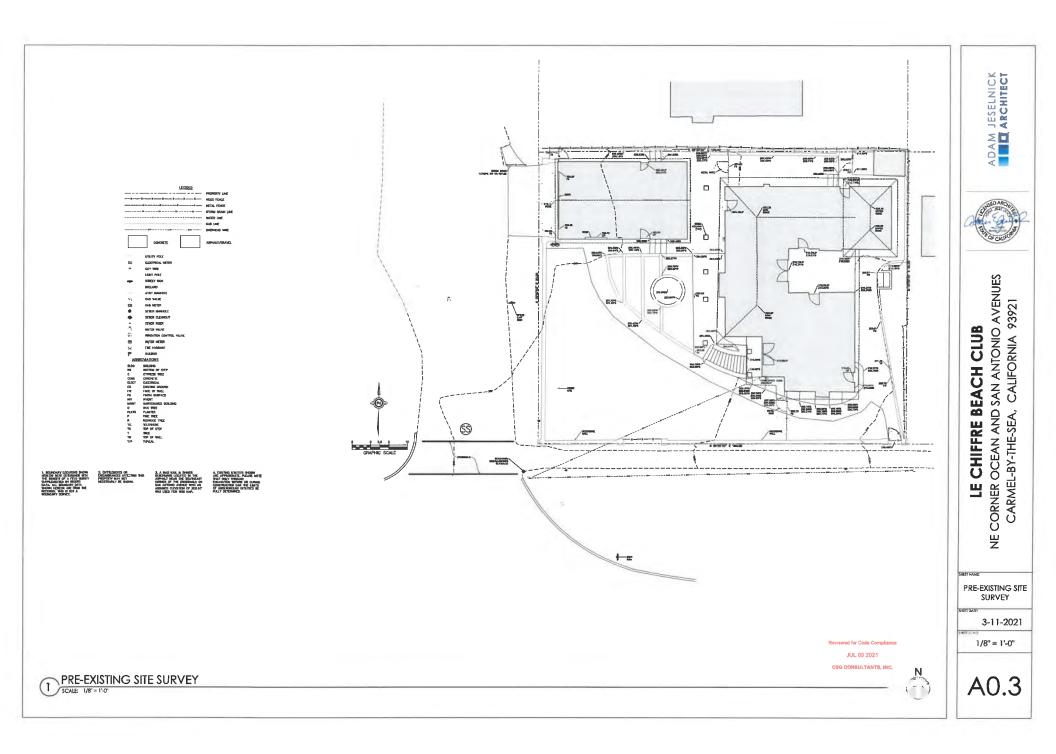
as noted

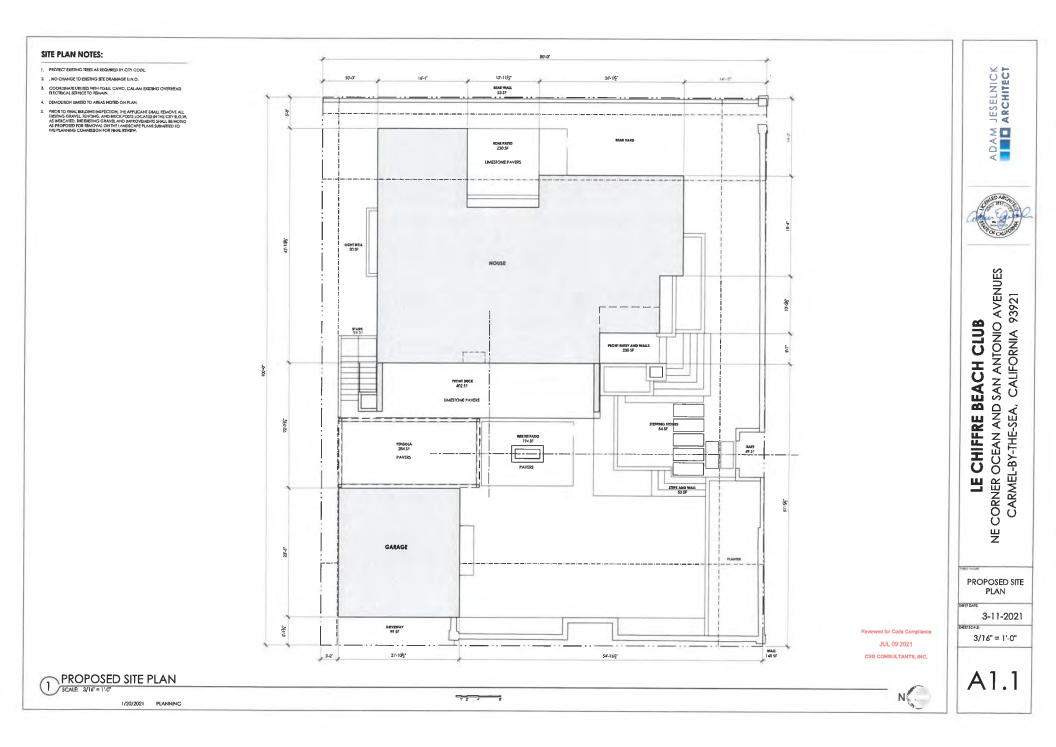


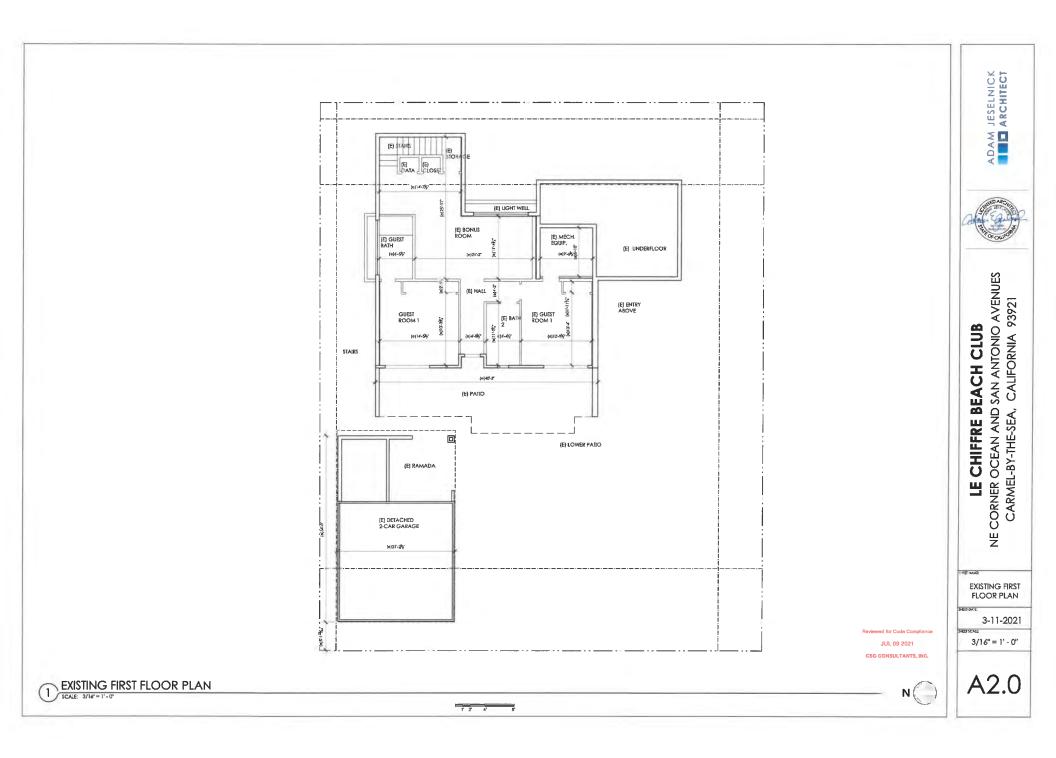
REVISION A 5/7/2021 PLAN CHECK SUBMITTAL

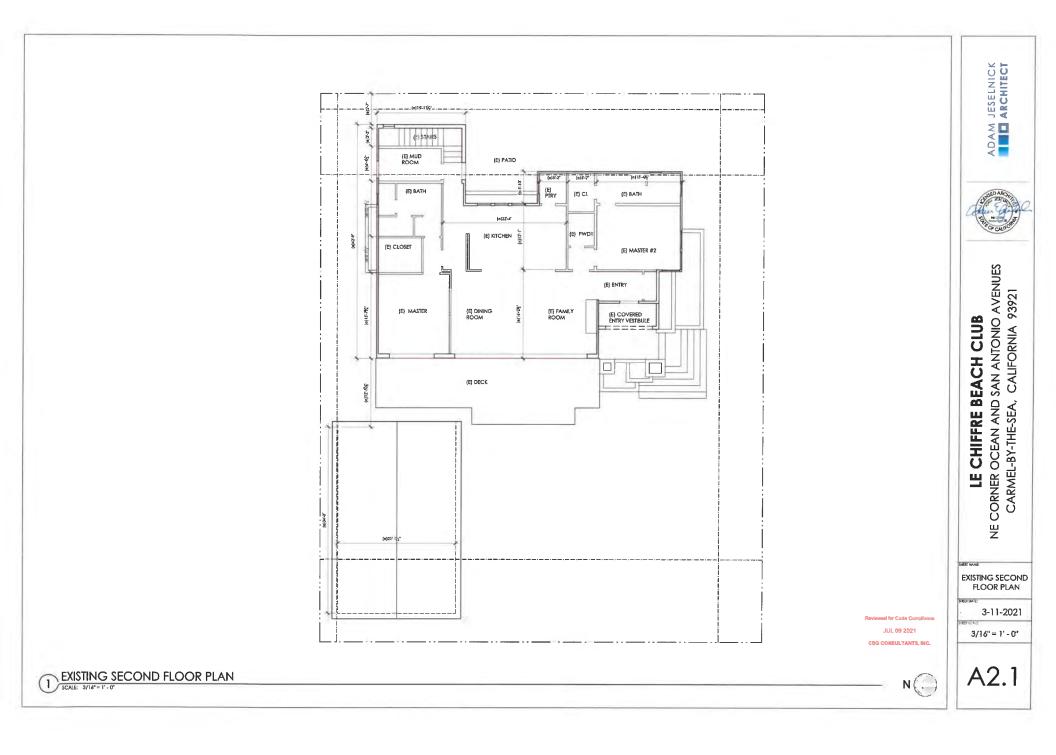


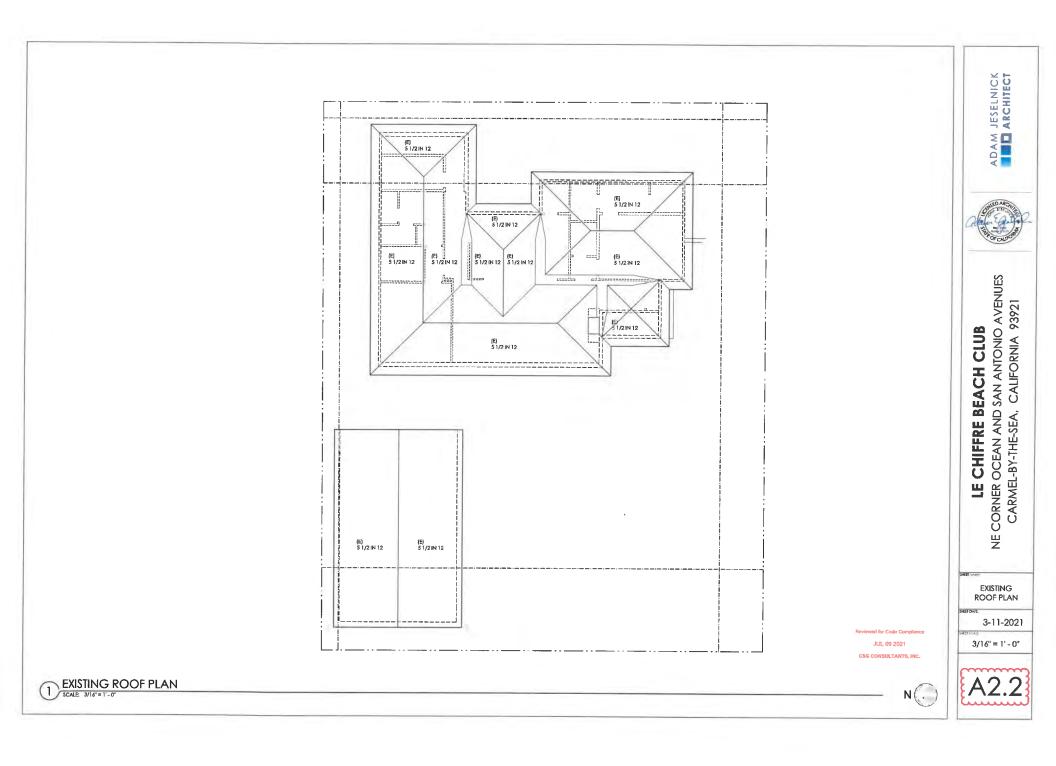
Reviewed for Code Compliance JUL 09 2021 CSG CONSULTANTS, INC.

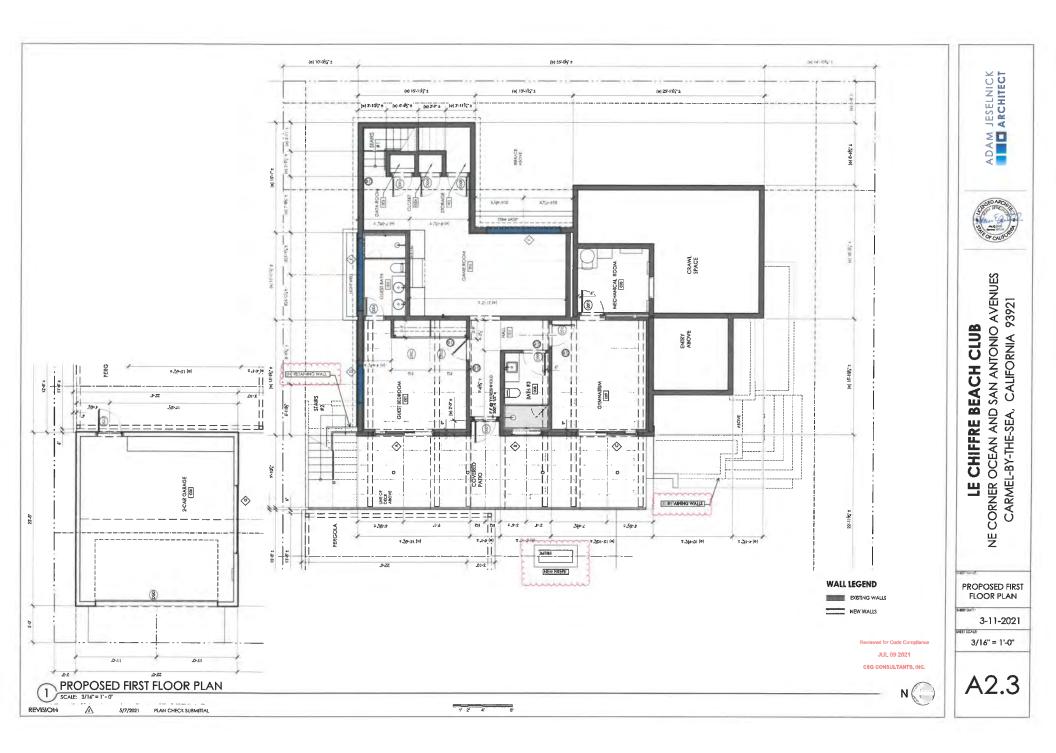


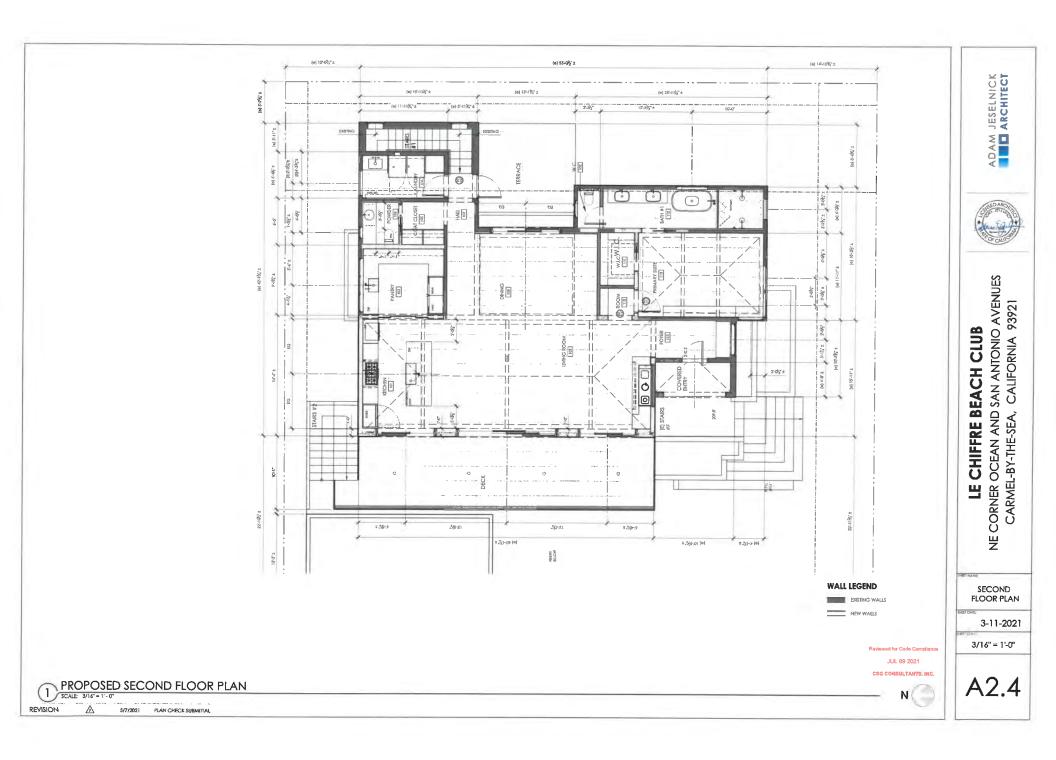












METAL ROOF SPECIFICATION:

WESTERN STATES METAL ROOFING STANDING SEAM MATTE DARK BRONZE, SEE SPECIFICATIONS PROVIDED.

LIVING ROOF NOTES:

ALNOTES:

annonling Naman west lab for all green roof components not to exceed saless? 2. Contractor to inforted all leastno utilities, approvedents and structures and restore to new condition at no cost to the dynamic In damage during the course of the work.

& COORDINATE ALL WORK TO PREVENT CONFLICTS BETWEEN TRADES AND REPORT INCONSISTENCIES BETWEEN NEW WORK AND BID DRAWINGS TO LANDSCAPE ARCHITECT MINEDATELY,

UNICIDENT ALCONTON MEDIUMY.

PROJECT CONDITIONS:

4. THE CREEN ROP CONTRACTOR IS REPORTED FOR CONFIRMING THAT THE LETING ROOMING IS COMPLETE, FREE OF LANKE AND READY TO RECEIPS CREEN ROP CONTRACTOR IS REPORTED RETEX.
5. THE CREEN ROP CONTRACTOR IS REPORTED RETEX.

NOF PROKE TO BECARRING UNDER, 50 OFTENDETLIC ADDRESS DOCUMENTATION WRISS OR RECEIVENT WRATHER, BALLAST MAY NAD ALL MATERNAL NESERD TO BE REPT ON THE ROOF OR THE RET TO PROVED TE DISCOMMON DURING AND UNDERLAND OF THE REGISTION OF THE RET ADDRESS AND THE REGISTION OF THE REGISTION DURING AND ALL METERNAL NEST TO RED DAY ADDRESS AND THE ADDRESS AND THE REGISTION OF THE RECEIVED AND THE REGISTION OF THE REGISTION DURING AND ALL METERNAL NEST TO RED DAY ADDRESS AND THE ADDRE

2. WHERE GROWING MEDIUM DEPTH IS GREATER THAN 6 INCIRES, INSTALL IN 2" LIFTS AND ACCOUNT FOR SETTLING TO ACCEVE SPECIFIED DE TRAVENSION INSTER:

LA LA VALUE AND THE THE STRADARD ING THE ABENCAN BASCATTEN OF MARGETY STOCK AND BMAL COMPLY WITH FEDRAL AND STATULINE RESOLUTION INFECTION FOR ANY DEBAGAS ON OPERATIONS 2. AMPLANE OF THE ADVECTOR IN ACCESSED AND ADVECTOR IN ALL SUBJECTORIES TO THE LADGEARE ARRHEET OF ANY PLANT MATERIAL NOT WARARDER AT THE ADVECTOR DEALTHINGS THE CONTINUES IN ALL SUBJECTORIES TO THE LADGEARE ARRHEET OF ANY PLANT MATERIAL NOT WARARDER AT THE ADVECTOR DEALTHINGS THE DEALTHINGS IN ALL SUBJECTORIES TO THE LADGEARE ARRHEET OF ANY PLANT MATERIAL NOT WARARDER AT THE ADVECTOR DEALTHINGS THE DEALTHINGS IN A RESOLUTION OF MARKET AND ADVECTOR AND ADVECTOR AND ADVECTOR ADVECTO

3. CONTINUED TO NOTIFY LANDSOME ARCHITET A MIL, OF 44 HOURS MERGINE THE LATCUT OF CONTAINER PLANTS IS TO OCCUR ON THE ROOF (PER THE FLANTING FLANT, THE LANDSOME ARCHITET SMALL REVIEW AND ANY ROW, LAYOUT PROR TO PLANTING INTO GREEN ROOF, PLANTS BHALL NOT BE LEFT OUT IN CONTINUES ON INSOCIATE OF SUBJICT.

4. PUNIT DUANTITIES ARE PROVIDED FOR REFERENCE ONLY. CONTINUETOR IS RESPONSIBLE FOR ADJURATE DUANTITIES AND TAKEOFFS FOR ISDING AND ORDERING.

PROPOSED ROOF PLAN

5/7/2021

PLAN CHECK SUBMITTAL

(1) SCALE: 3/16"=1'-0"

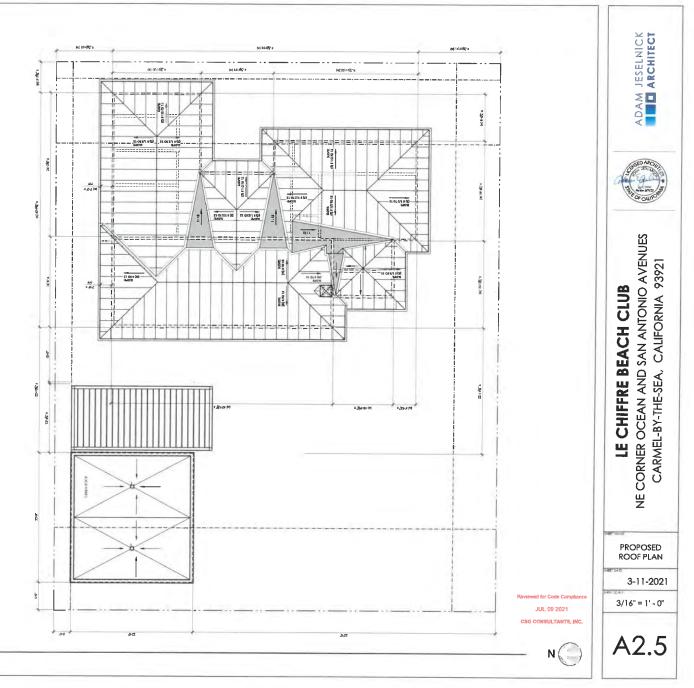
A

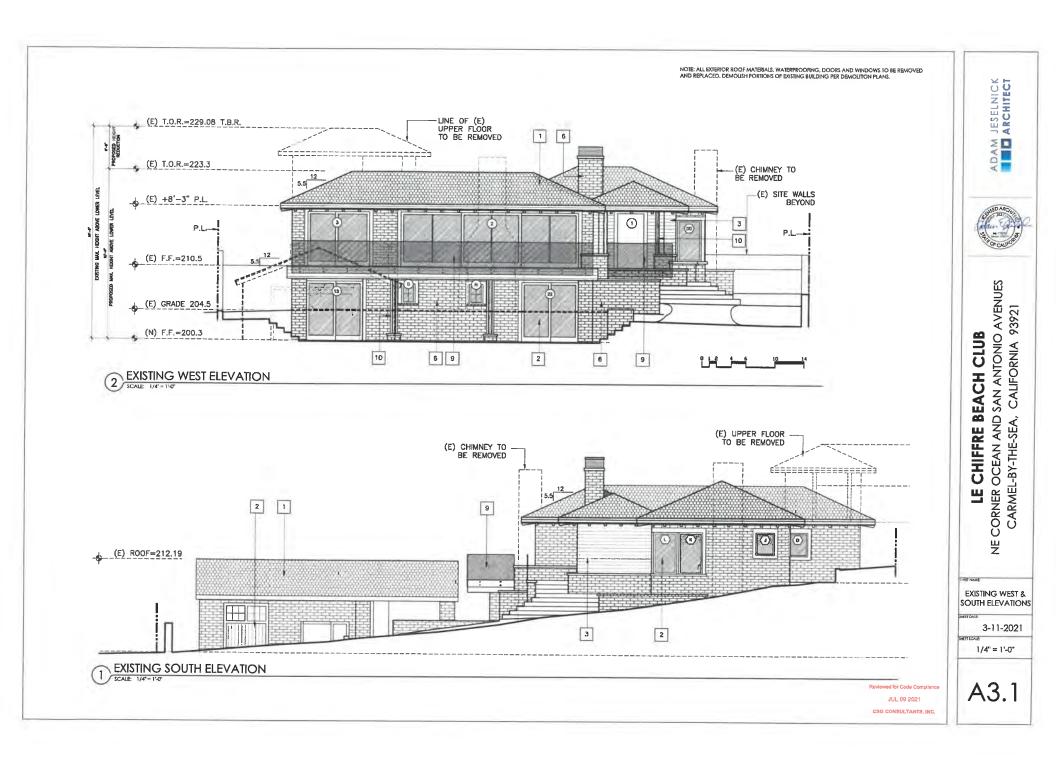
REVISION

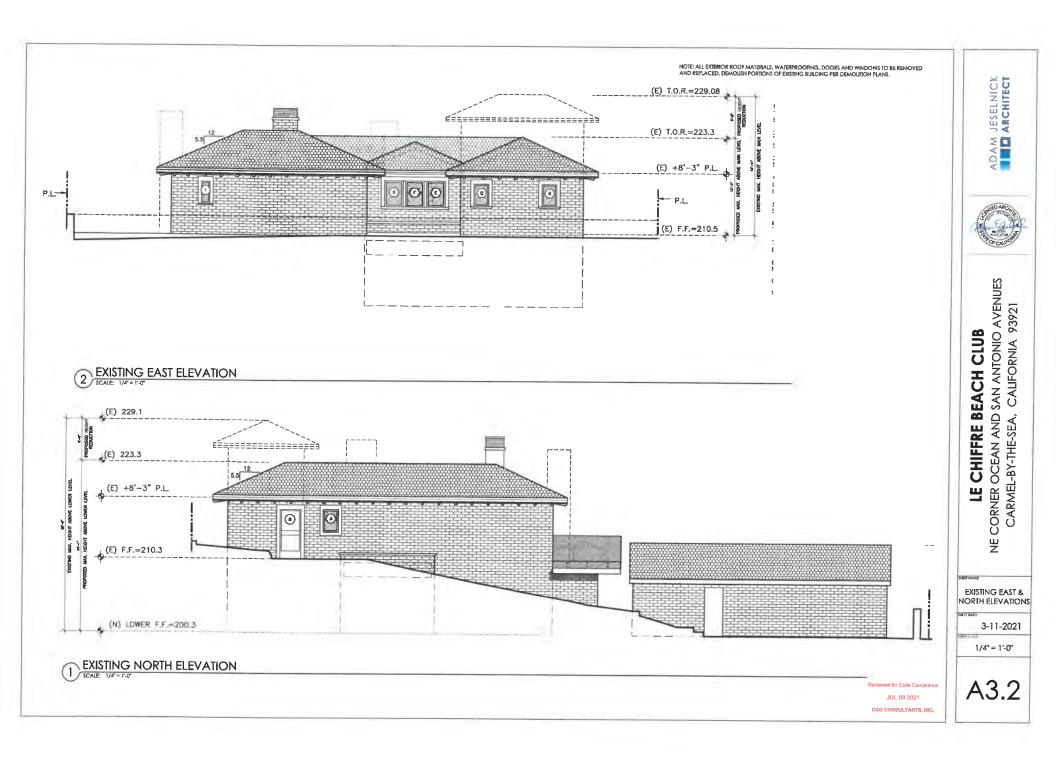
РОСОИТЕ: L GORDING MULTING MARKET DI DE CORROBON RESISTANT I N STANLESS OTLE. OR SOUNL UN EDS OTHERMASK NOTEL 2. ROTALL REP. MANAFACTURETS CURRENT STROPPLATION I MALESS OTHERMASK NOTEL 2. ROTA MARKET: INFORMATION OF AN ANTAL AND AN ALL SEG OTHERMASK NOTEL 2. ROTA MARKET MARKET: INFORMATION OF AN ALL SEG OTHERMASK NOTEL 2. ROTA MARKET MARKET: INFORMATION OF ALL SEG OTHERMASK NOTEL 2. ROTA MARKET MARKET: INFORMATION OF ALL SEG OTHERMASK NOTEL 2. ROTA MARKET MARKET: INFORMATION OF ALL SEG OTHERMASK NOTEL 2. ROTA MARKET MARKET: INFORMATION OF ALL SEG OTHERMASK NOTEL 2. ROTA MARKET MARKET: INFORMATION OF ALL SEG OTHERMASK NOTEL 2. ROTA MARKET MARKET: INFORMATION OF ALL SEG OTHERMASK NOTEL 2. ROTA MARKET MARKET: INFORMATION OF ALL SEG OTHERMASK NOTEL 2. ROTA MARKET MARKET AND INFORMATION OF ALL SEG OTHERMASK NOTEL 2. ROTA MARKET MARKET AND INFORMATION OF ALL SEG OTHERMASK NOTEL 2. ROTA MARKET MARKET AND INFORMATION OF ALL SEG OTHERMASK NOTEL 2. ROTA MARKET MARKET AND INFORMATION OF ALL SEG OTHERMASK NOTEL 2. ROTA MARKET MARKET AND INFORMATION OF ALL SEG OTHERMASK NOTEL 2. ROTA MARKET MARKET AND INFORMATION OF ALL SEG OTHERMASK NOTEL 2. ROTA MARKET MARKET AND INFORMATION OF ALL SEG OTHERMASK NOTEL 2. ROTA MARKET MARKET AND INFORMATION OF ALL SEG OTHERMASK NOTEL 2. ROTA MARKET MARKET AND INFORMATION OF ALL SEG OTHERMASK NOTEL 2. ROTA MARKET MARKET AND INFORMATION OF ALL SEG OTHERMASK NOTEL 2. ROTA MARKET AND INFORMATION OF ALL SEG OTHERMASK NOTEL 2. ROTA MARKET AND INFORMATION OF ALL SEG OTHERMASK NOTEL AND INFORMATION 2. ROTA MARKET AND INFORMATION OF ALL SEG OTHERMASK NOTEL AND INFORMATION OF ALL SEG OTHERMASK NOTEL 2. ROTA MARKET AND INFORMATION OF ALL SEG OTHERMASK NOTEL AND INFORMATION OF ALL SEG OTHERMASK NOTEL 3. ROTA MARKET AND INFORMATION OF ALL SEG OTHERMASK NOTEL AND INFORMATION OF ALL SEG OTHERMASK NOTEL 3. ROTA MARKET AND INFORMATION OF ALL SEG OTHERMASK NOTEL AND INFORMATION OF ALL SEG OTHERMASK NOTEL AND INFORMATION OF ALL SEG OTHERMASK NOTEL AND INFORMATION OF ALL SEG OTHERMA

7. OROWING MEDIAR: LYNGSO ROOF MIX, AVAILABLE FROM LYNGBO QARDEN MATERIALS, OR APPROVED EDUAL WEIGHT OF SPECIFIC BLENDBATCH TO BE INSTALLED ON ROOF FOR APPROVAL.

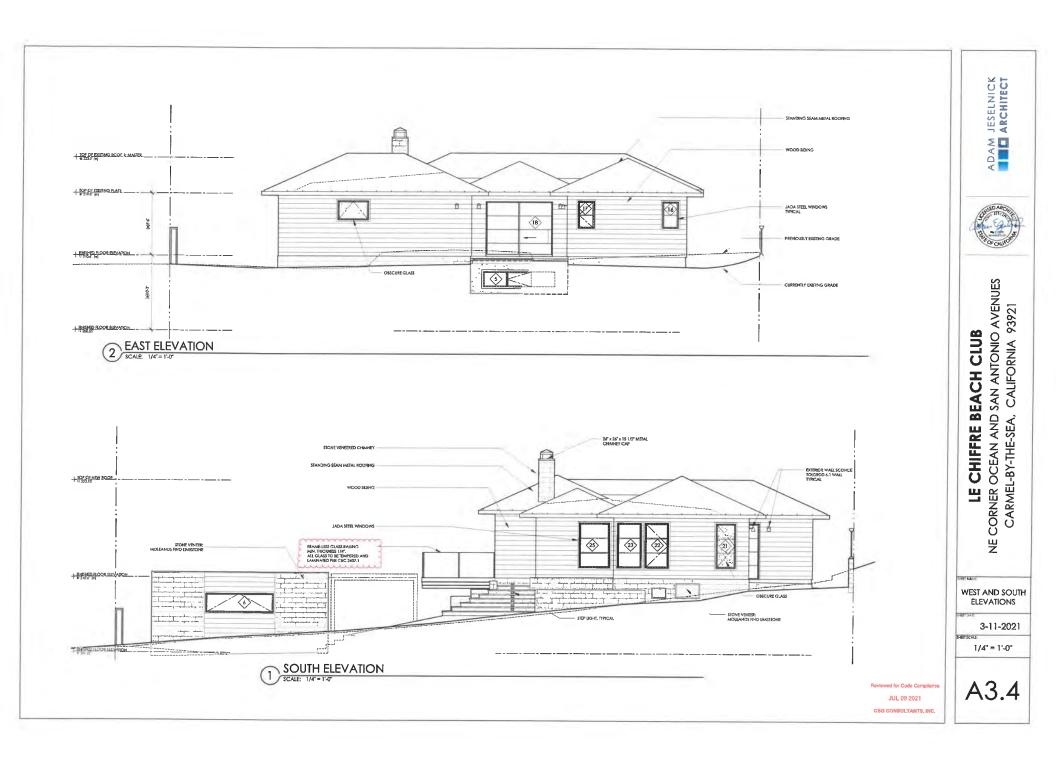
. BRIEZAL FUNGI, AVAILABLE FROM LYNGGO GARDEN MATERIALS,

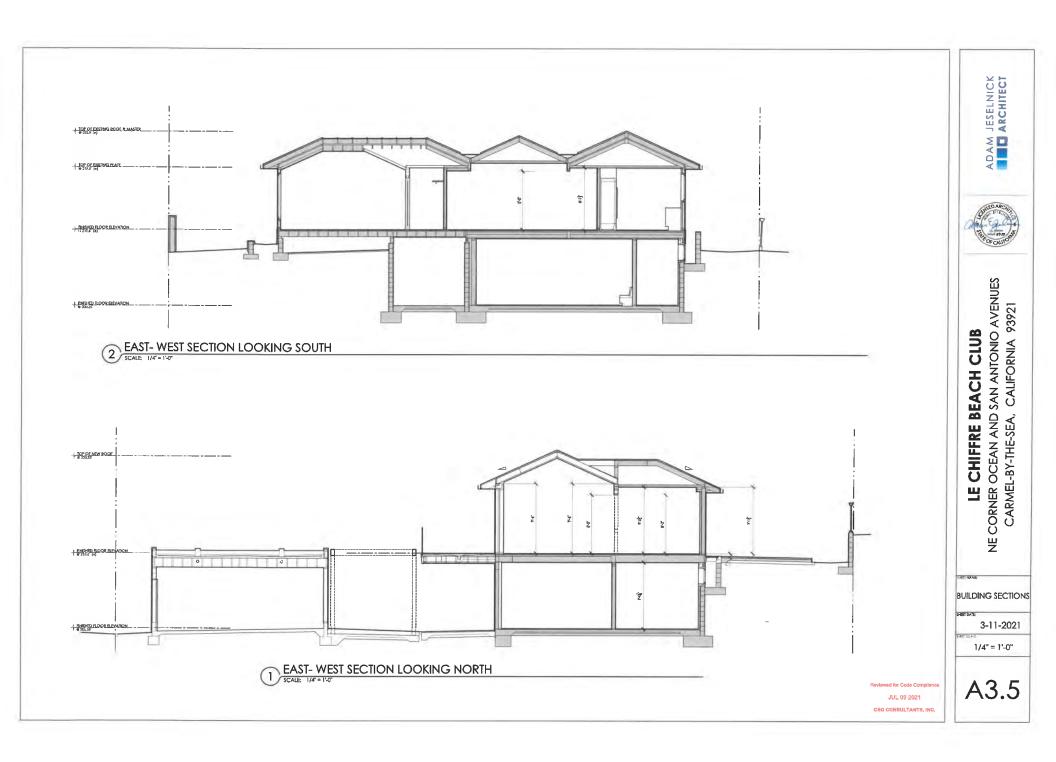


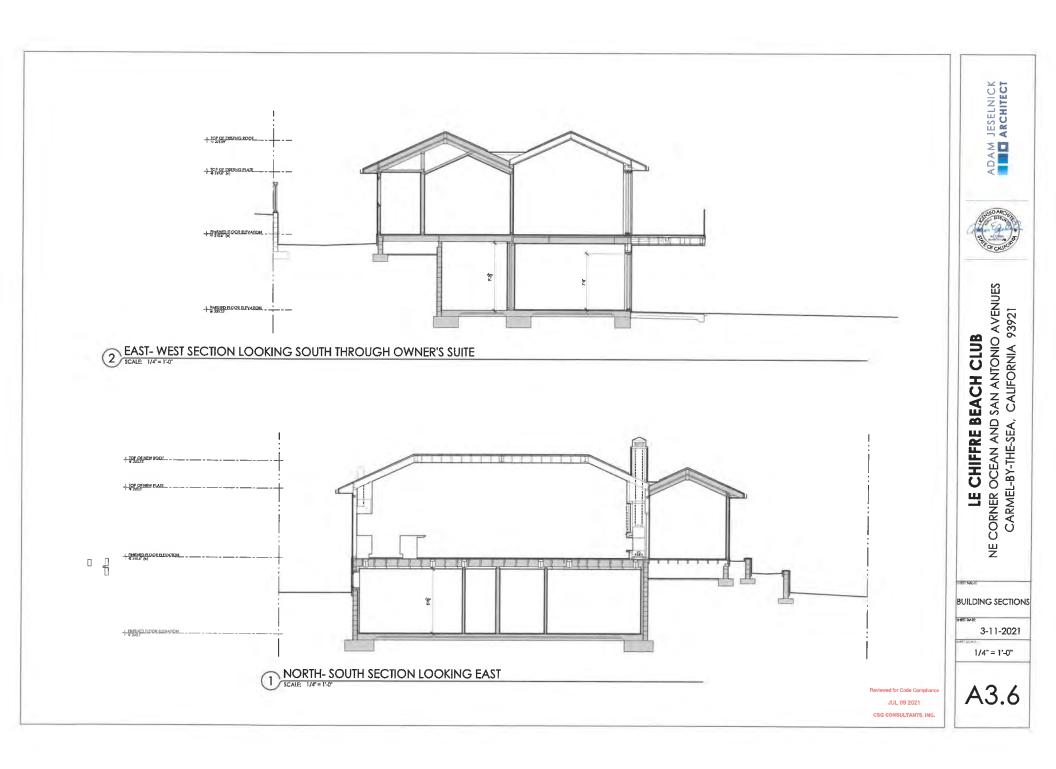


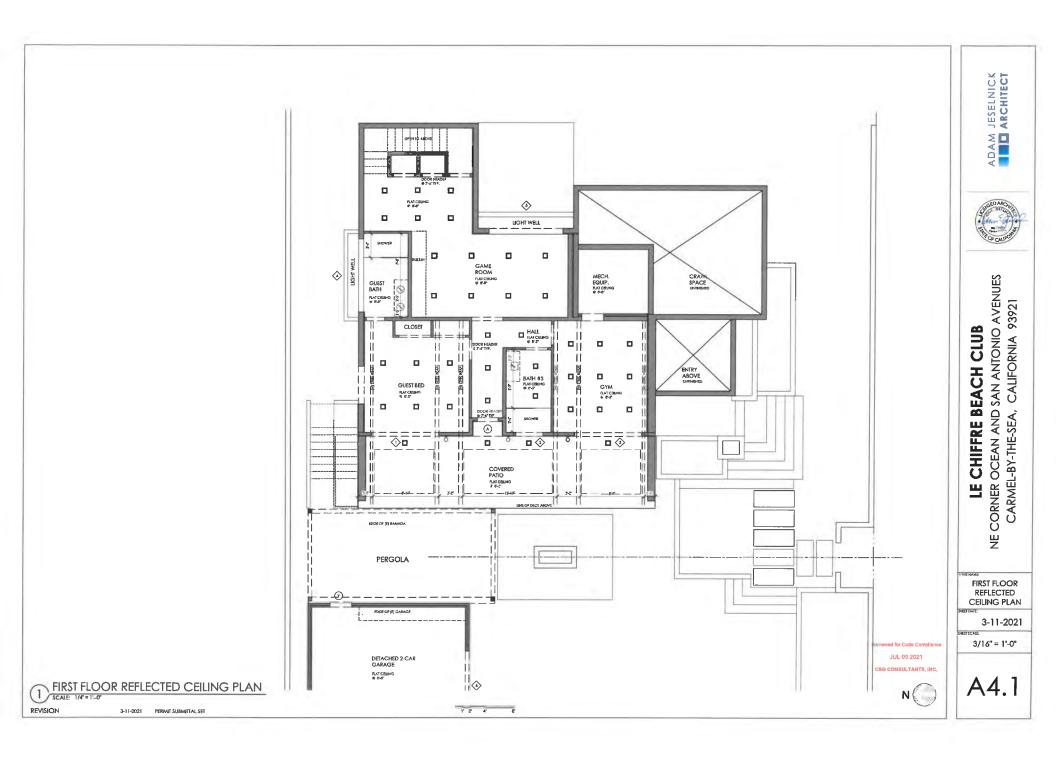


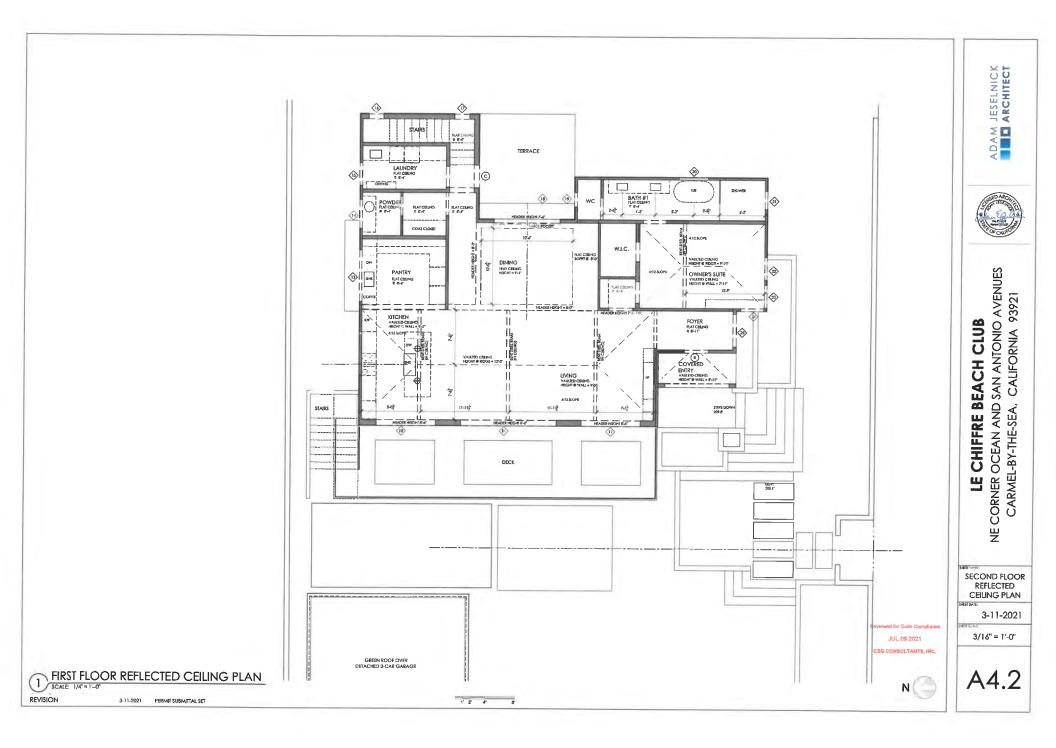












ADAM JESELNICK

NE CORNER OCEAN AND SAN ANTONIO AVENUES CARMEL-BY-THE-SEA, CALIFORNIA 93921

DOOR AND WINDOW SCHEDULES

A5.1

5-17-2021 NTS

LE CHIFFRE BEACH CLUB

	Sash Dimensions			
	Top of Sash	Window Width	Window Height	
	Lowert	ovel		
Lower	96	9° 1°	8'-0'	
Lower	907		310.4	
Lower	96'	9-1-	8.0	
Lower	98' •/ (e)	5 29	2.0	
Lower	98° +/- (v)	10.0.	3. 0.	
Garage	961	10'-0"	2-01	
	Upper b	evel		
Upper	105*	8° 0	8'-10'	
Upper	106*	13'-0"	8-10"	
Upper	106^+	8-0-	8 -10"	
Upper	841			
Upper	841	41.01		
Upper	841	2' 11 1/2"		
Upper	841	2.0		
Upper		2.0*	35-67	
Upper	84*	a.o.	7 0	
Upper	841	2'-0'	2-6	
		4'-0."		
Upper	84*	2.6"	5'-5 1/2'	
Upper	841	3'-2"		
Upper	84"	35.2%	5 5 1/2	
Upper	84	312		
Upper	841	4'-6'	5'-5-4/2'	
1.11.00		1000		
	Lower Lower Lower Lower Cover Garage Upper Upper Upper Upper Upper Upper Upper Upper Upper Upper Upper Upper Upper Upper Upper	Top of Sash Lower 96° Lower 98° 4/ (e) Lower 98° 4/ (e) Cover 98° 4/ (e) Cover 98° 4/ (e) Upper 106° Upper 106° Upper 84° Upper 84°	Level Top of Sash Window Width Lower 96° 9° 1° Lower 98° 4/ (e) 5' 2° Lower 98° 4/ (e) 5' 2° Lower 98° 4/ (e) 10° 0° Garage 96° 10° 0° Garage 96° 10° 0° Upper 106° 8° 0° Upper 106° 8° 0° Upper 84° 7° 1° Upper 84° 2° 0° Up	

Window Schedule

Door Schedule

Level	Top of Sush Eower Level 2 967	1 and a second	Door Reight
owe:		1 and a second	
owe:			
ower		3'-0"	8.0
		16.6	8 01
	Upper L	evel	
løpet			

Reviewed for Code Compliance JUL 09 2021 CSG CONSULTANTS, INC.

1_Current_Data_file\2016-Jobs\AdamJ\015-Heiliger update\Drawings\015-Heiliger-sheetset_CDs.dwg, 5/25/2021 9:10:42 AM, AutoCAD PDF (General Documentation).pc3



PERGOLA STRUXURE PAINTED STEEL



STANDING SEAM METAL ROOFING MANUFACTURER: CUSTOM-BUILT METALS COLOR: MIDNIGHT BRONZE CLASS A. SLOPED ROOF



JADA STEEL WINDOWS , BRONZE WINDOWS AND DOORS





SAND-BLASTED GLASS EXTERIOR WINDOWS AT MASTER BATHROOM





FIRE PIT

CONCRETEWORKS CUBOID



FRAMELESS GLASS RAILING











MOLEANOS FINO LIMESTONE VENEER





WOOD HORIZONTAL SIDING







EXTERIOR WALL SURFACES

I JESELNICK ADAM



CORNER OCEAN AND SAN ANTONIO AVENUES CARMEL-BY-THE-SEA, CALIFORNIA 93921

LE CHIFFRE BEACH CLUB

NAN FINISH **SPECIFICATIONS** SHEET DAD

Code Compliance JUL 09 2021 CSG CONSULTANTS, INC.

3-11-2021 NTS

A6.1

۳

WL-LED101 STEP LIGHT EXTERIOR WALL LIGHT

COLOR AND MATERIAL PALETTE



EXTERIOR WALL SCONCE

WAC LIGNTING

SCALE: NTS



TOLDBOD 6.1 WALL



LOUIS POULSEN

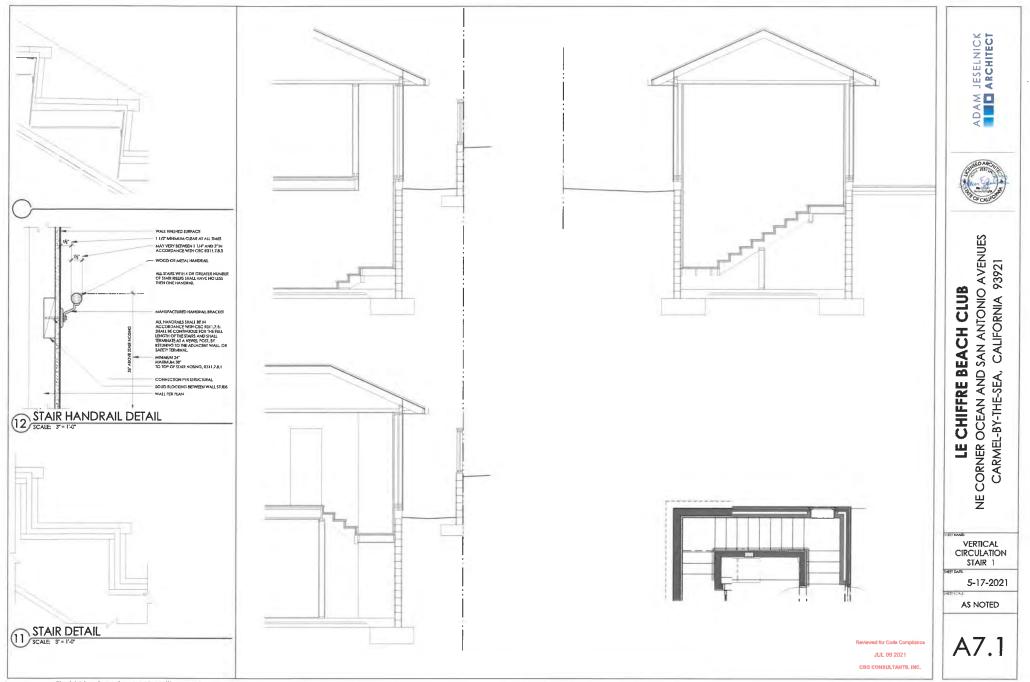
EXTERIOR WALL SURFACES

DECK RAIL

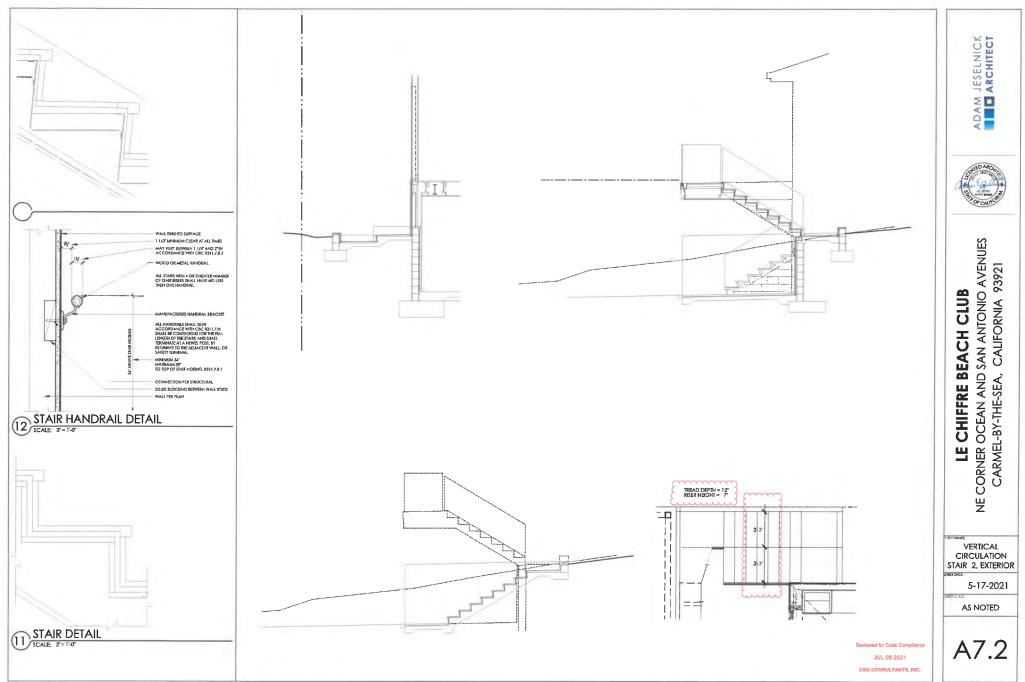
PAVING STONES

PATIOS, WALKWAYS

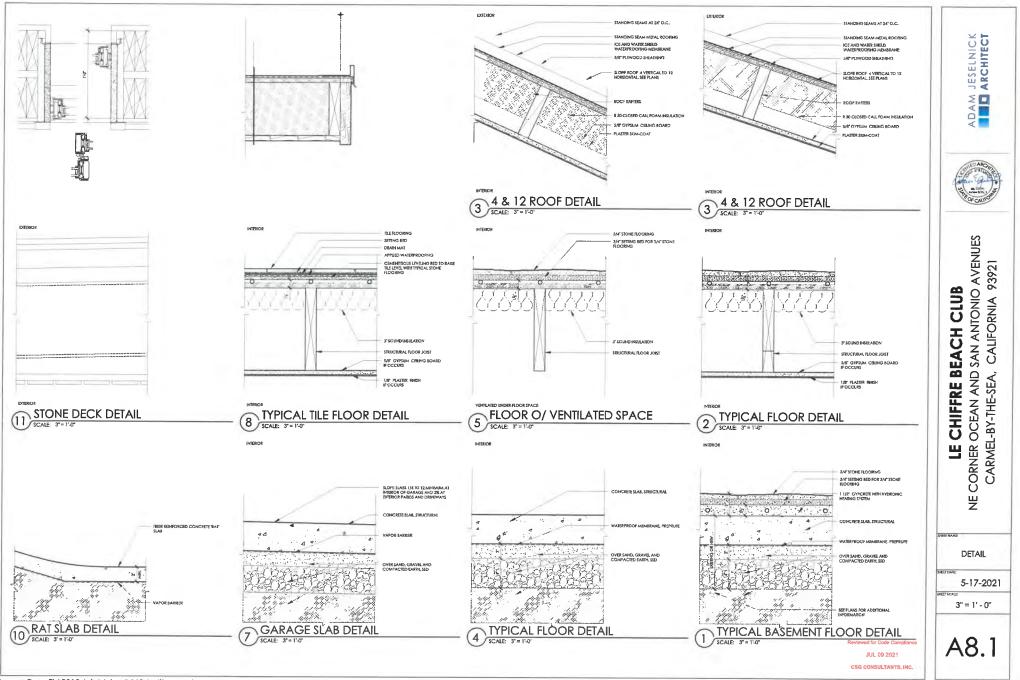




1_Current_Data_file\2016-Jobs\AdamJ\015-Heiliger update\Drawings\015-Heiliger-sheetset_CDs.dwg, 5/25/2021 9:10:48 AM, AutoCAD PDF (General Documentation).pc3



1_Current_Data_file\2016-Jobs\AdamJ\015-Heiliger update\Drawings\015-Heiliger-sheetset_CDs.dwg, 5/25/2021 9:10:55 AM, AutoCAD PDF (General Documentation).pc3



1_Current_Data_file\2016-Jobs\AdamJ\015-Heiliger update\Drawings\015-Heiliger-sheetset_CDs.dwg, 5/25/2021 9:11:01 AM, AutoCAD PDF (General Documentation).pc3

	ABBRE\	/IATIO		SPECIAL INSPECTIONS AND TESTING	DESIGN CRITERIA	SHEET LIST	PLAN MA	TERIAL LEGEND	JOB #: 20
,	ANCHOR BOLT ABOVE	JNT JST	JOINT JOIST	NOTE: A DUALIFIED SPECIAL INSPECTOR SHALL BE REFAILED TO PROVIDE SPECIAL INSPECTION SERVICES. GFDS ENGINEERS SHALL NOT RETAIN A SPECIAL INSPECTOR NOR SHALL GFDS PROVIDE SPECIAL INSPECTION SERVICES UNLESS	COOE AND STANDARDS DESIGN IS BASED ON THE CALIFORNIA BUILDING CODE, 2019 EDITION.	S0.0 TITLE SHEET S0.1 GENERAL NOTES		(E) STRUCTURAL MEMBER, UON	. t
1	ADHESIVE	LOCN	LOCATION		CONSTRUCTION SHALL CONFORM WITH APPLICABLE SECTIONS OF THE CODE. REFERENCE STANDARDS SHALL BE THE EDITION NOTED IN THE CODE, UNLESS	82.1 GROUND FLOOR FOUNDATION PLAN			L a a
ж	ALTERNATE	LSL LVL	LAMINATED STRAND LUMBER	ACCORDANCE WITH THE 2019 CBC, CHAPTER 17 FOR ITEMS REQUIRED BELOW.	OTHERWISE INDICATED.	522 MAIN FLOOR FRAMING PLAN 523 ROOF FRAMING PLAN		CONCRETE FOOTING	ttural pri for sever h
9	AMERICAN WELDING SOCIETY	LWC	LIGHT WEIGHT CONCRETE	SPECIAL INSPECTION ITEM (R) (R) BTEEL CONSTRUCTION (REF AISC 343, AISC 341, & AISC 358)	LIVE LOADS DESIGN LIVE LOADS PER CBC TABLE 1607,1 AND AS FOLLOWS, LIVE LOADS MAY BE	\$2.4 GARAGE FOUNDATION AND ROOF FRAMING PLAN & DETAILS			sign uct.
0	BELOW BUILDING	MATL	MATERIAL MAXIMIM	HIGH-STRENGTH BOLTS, NUTS AND WASHERS	REDUCED IN ACCORDANCE WITH CBC 1807,11,	65.1 CONCRETE DETAILS 87,1 STEEL DETAILS		CONCRETE WALL	Part Start S
	BLOCK	MECH	MECHANICAL	WELDS REQUIRING CONTINUOUS INSPECTION:	ROOF LIVE 20 PSF FLOOR LIVE 40 PSF	87.2 STEEL DETALS			
G	BLOCKING	MER	MANUFACTURER	GJP AND PJP GROOVE R MULTIPASS FILLET	EARTHQUAKE DESIGN DATA	88.1 WOOD DETAILS 88.2 WOOD DETAILS	7/////	(E) MASONRY WALL	டல
		(N)	NEW	SINGLE-PASS FULET > 5/16"	SEISMIC FORCE-RESISTING SYSTEM: 10 1.0	S8,2 WOOD DETAILS S8,3 WOOD DETAILS			00
		NA	NOT APPLICABLE	PLUG AND SLOT REINFORCEMENT BARS IN CONCRETE	Ba 1,61	S8,4 WD00 DETAILS		WOOD STRUCTURAL WALL ABOVE	
t N	BOTTOM	NIC NO,#	NOT IN CONTRACT NUMBER	WELDS REQUIRING PERIODIC INSPECTION:	\$1 0.61 SITE CLASS D			STRUCTURAL WALL BELOW	
	GAST IN PLACE	NS	NEAR SIDE	SENCLE PASS FILLET s 5/16" R	SITE CLASS D Sds 1,08				A THE LALING
	CENTERLINE	NTS NWC	NOT TO SCALE	FLOOR AND ROOF DECK R WELDED STUDG IN STRUCTURAL DIAPHRAGAIS	8d1 0.61			MIN OLT-OUT LENGTH	(Second)
	CLEAR	O/	NORMAL WEIGHT CONCRETE OVER	CONCRETE CONSTRUCTION (REF CBC TABLE 1788.3)	SEISMIC DESIGN CATEGORY D Ca 0,165				He. C 054247
	COLUMN	OC	ON CENTER	CONCRETE SAMPLING - SLUAPP, AIR CONTENT AND TEMPERATURE R BOLTS INSTALLED IN CONCRETE 8	8.5		40	TIEDOWN (SHT) (83.3)	(B-24-
IC N		OH	OPPOSITE HAND OPPOSITE	CONCRETE AND SHOTCRETE PLACEMENT R	K PLYWOOD SHEAR WALL ANALYSIS PROCEDURE FORCE FORCE		-		(FAR
IST	CONSTRUCTION	OPNG	OPENING	REINFORCING STEEL INCLUDING PLACEMENT R	REDUNDANCY FACTOR 1,0			(E) STEEL STRONG WALL	
π	CONTRUGUES COMPLETE PENETRATION	OS8 OWSJ	ORIENTED STRAND BOARD	POST INSTALLED ANCHORS R VERIFYING USE OF REQUIRED DESIGN MIX R	WIND DESIGN DATA				
	CENTER	PDF	OPEN WEB STEEL, JOISTS POWER DRIVEN FASTENER	LEVEL 1 MASONRY CONSTRUCTION (REF THIS 402 & THIS 502)	BASIC WIND SPEED,V 110 MPH Iw 1.0 (CATEGORY 8)			WOOD SHEAR WALL BELOW	11
	DOUBLE	PERP	PERPENDICULAR	MASONRY COMPRESSIVE STRENGTH PRIOR TO CONSTRUCTION SITE-PREPARED MORTAR AND MORTAR JOINTS	BAIRBAN CLOSELY			STRAP	
	DETAIL DOUGLAS FIR	PERM PL	PERIMETER PLATE	PLACEMENT OF REINFORCEMENT, CONNECTORS AND ANCHOR BOLTS	EXPOSURE SPACED CONSTRUCTION)			<u>en</u>	~
	DOUGLAS FIR-LARCH	PLWD	PLYWOOD	GROUT SPACE IS CLEAN	MAIN WIND-FORCE RESISTING BYSTEMS			STEEL BEAM	Ξ
		PSL	PARALLEL STRAND LUMBER POST TENSIONED OR	STRUCTURAL WOOD (REF CBC SECTIONS 1704.2.5)	ANALYSIB PROCEDURE METHOD 2, RIGRD, LOWHSBE, h < OR = 60 FT				
	DIMENSION		PRESSURE TREATED	WOOD SHEAR WALLS WOOD DIAPHRAGMS	COMPONENTS AND CLADDING			WOOD BEAM, FLUSH UON	L 1
	DRAWING	RCJ	ROUGHENED CONCRETE	HOLDDOWNS	ANALYSIS PROCEDURE LOW-RISE,		HDR) AVENUES
	EXISTING EACH	REF	JOINT REFERENCE	SCILS & FOUNDATIONS (REF CBC TABLES 1705.6, 1705.7 & 1705.0) (INSPECTIONS BY GEOTECHNICAL ENGINEER)	h < OR = 60 FT		HDR	HEADER OR DROPPED BEAM. 3 SIZE PER 38.1	
	EACH FACE	REINF	REINFORCING	PROPER FOUNDATION DEPTH AND VEREFICATION OF SUPPORTING	FOUNDATIONS BPREAD FOOTINGS - MAXIMUM ALLOWARLE SOIL BEARING PRESSURE:			-	
80		REGID	REQUIRED	STRATA COMPACTED FILL MATERIALS, SUBGRADE AND SITE PREPARATION R	DEAD PLUS LIVE 2000 PSF			RAFTER OF JOIST	UB ANTONIO
		RO	ROUGH OPENING	FOUNDATION UNDERPINNING AND/ OR SHORING	RETAINING WALLS		L L	HANGER (8.1)	<u>Z</u> :
	EQUIPMENT	RIDWID	REDWOOD	DRILLING OPERATIONS, MER CROSS SECTION AND DEPTH	LEVEL BACKFILL 35 PCF		r r	194763ER (38.1)	<u> </u> <u>0</u> ;
		SAD	SEE ARCHITECTURAL DRAWINGS	STRUCTURAL OBSERVATIONS	SLOPED BACKFILL + 2:1 MAXIMUM 38 PCF		8	WOOD POST ABOVE 5X5, UON	oo 5 i
	EXPANSION	SCHED	SCHEDULE	NOTE: GEDS ENGINEERS WILL PROVIDE STRUCTURAL OBSERVATION IN	RESTRAINED EARTH PRESSURE				1 5 2 3
	EXTERIOR	SEL STRUCT	SELECT STRUCTLINAL		D1PGP			WOOD POST BELOW BX6, UON	CLUB AN ANTONIC
N R.R. FF	FOUNDATION FINISHED FLOOR	SFRS	SEISMIC FORCE RESISTING SYSTEM	REVIEW THE REQUIRED STRUCTURAL DESERVATION TELMS BELOW AND MOTIFY GLOB ENGINEERS AT LEAST 48 HOURS PRIOR TO A REQUIRED STRUCTURAL ORSERVATION.					1 7 ¥ 2
		SHTG	SHEATHING	OBSERVATION ITEM REQUIRED (R)				WOOD POST ABY & BLW 6X8, LION	
	FACE OF	SIM	SMLAR	STRUCTURAL FOUNDATION R					
0	FRAMING	SOG	SLAB ON GRADE SPECIFICATIONS	STEEL FRAMING R			0	HSS 3 1/2/3 1/2X1/4 STEEL COLUMN, UON	OCEAN EAN AND S
	FOOT	SQ	SOLIARE	CONCRETE CONSTRUCTION R MASONRY CONSTRUCTION					
	FOOTING GAGE	99 670	STAINLESS STEEL	WOOD FRAMING R				NON SEISMIC BENT FRAME CONNECTION	1 7 21
	GALVANIZED	STD T&B	STANDARD TOP AND BOTTOM						II X 5 3
	GRADE	TAG	TONGUE AND GROOVE					OVER FRAMING AT ROOF	U U U
		TN T.O.	TOE NAIL TOP OF				No. of Street,		- Ü 2
	HOT DIPPED GALVANIZED	TYP	TYPICAL				an anama	SHEATHING	ŏ:
	HEADER	VERT	UNLESS OTHERWISE NOTED						
		WP	VERTICAL WATER PROOFING OR						
z	HORIZONTAL		WORK POINT						Z Z
	HIGH STRENGTH BOLT HOLLOW STRUCTURAL STEEL	WT	WEIGHT WELCED WIRE FABRIC						2
	INFORMATION	W/	WITH						00
		X8 XX9	EXTRA STRONG						ŬŬ
_	en el quit	***3	DOUBLE-EXTRA STRONG						
									۳
									TITLE SHEE
								0	
									PERMIT SET
									FIELD REVISION 1
									SCALE: AS SH
								Destaural for Code Consultation	00
								Reviewed for Code Compliance	SO.0
								JUL 09 2021	
								CSG CONSULTANTS, INC.	

GENERAL NOTES

THE SCOPE OF WORK INCLUDES RENOVATION OF A TWO-STORY SINGLE FAMILY HOME AND A NEW GARAGE.

CETABLE STORME ARE TYPEOL. SERVICE SET ALL APPLY TO BAN UNCONTROLS. OLESTICHS OF DIVERSITIES AND UNCONTROL AND UN

CONTRACTOR NEANS AND NETHODS

OFDE EIRGREERS SHULL HOT BUPERVISE, DREET OR HAVE ANY CONTROL OVER THE CONTRACTORS WORK NOR HAVE ANY RESPONSEMENT FOR THE CONTRACTORS METHOD, TECHNICUS, SEQUENCE OF PROCEDURE IS ELECTED IN THE CONTRACTOR NOR FOR THE CONTRACTORS SUFETY PRECAUTIONS OR PROCEENES IN CONSECTION THE CONTRACTORS & SUFETY PRECAUTIONS OR PROCEENES OF THE CONTRACTORS.

LALESS OTHERMUSE APPROVED BY THE ARCHITECT, THE CONTRACTOR SHALL INSTALL DOORS, WINDOWS, PARTITIONS AND FINSHES AFTER THE MAJORITY OF THE DEAD LOADS HAVE BEEN INSTALLED G. 5. STRUCTURAL FRAMMS, BOORDM, HEAVY FRAMESE, ETC.) IN ORDER TO LIMIT DAWAGE TO FINISHES, WINDOWS, DOORS AND PARTITIONS DUE TO DEAD LOAD DEFLECTIONS,

EXISTING CONDITIONS

THE CONTINUING SHALL USER'S ALL DISESTIONS AND DETERMINE ALL EXEMPTING CONTINUES THAT MAY REPORT THAT MAKES' THE CONTINUES THAT THAT THAT THE ENGLISHES USER IN SOCIETY OF ANY DESCRIPTION ADDRESS AND THE ENGLISHES USER IN CONTINUES AND THAT THAT ANY ADDRESS AND THAT ENGLISHEST OF TOXICS AND THAT ANY ADDRESS AND THAT ANY ELIVIDAY DE MAT ANY ADDRESS WHICH MAY ELIVALADOUS TO HUMAN HEALTH, HAZARES MAY INALIZE BAT ARE NOT MAILED TO TOXICS ANTERNAL AND EXCHANGE AND THAT ARE NOT MAILED TO TOXICS ANTERNAL AND EXCHANGE AND THAT ARE NOT MAILED TO TOXICS ANTERNAL AND EXCHANGE AND THAT ARE NOT

CUTTING AND PATCHING

DO NOT CUT EXISTING OR NEW STRUCTURAL ELEMENTS EXCEPT AS SHOWN ON THE DRAWINGU UNLESS APPROVED BY THE ENGINEER. IN DENERAL USE HAND OR SAMLL POWER TOOLD SEGMED: FOR ANNON AND GRADINGN. NOT HAMMERINA ND CHOPP CUT HOLES AND SLOTE MEATY TO MANDAM RIZE REQUIRED AND WITH MINIMUM DISTURBANCE TO ALMORT SITURACES.

RESTORE WORK WHICH HAS BEEN GUT, REMOVED OR DAMAGED BY ADJACENT WORK. REFINSH ENTRE SURFACES AS NECESSARY TO PROVIDE AN EVEN FINISH TO MATCH ADJACENT FINISHER

CONSTRUCTION PHASE BITE VISITE

GENERAL, IF

THE GENERAL CONTRACTOR SHALL TAKE THE APPROPRIATE ACTION TO CORRECT PORTIONS OF THE WORK INDICATED AS BEING NOT IN COMPLIANCE WITH THE CONTRACT DOCUMENTS.

EPOCIAL INSPECTION AND TERTING

A ACCORDANCE WITH GIC 2019 CHAPTER 17 THE OWNER OR OWNER'S AGENT BMULL BANAGE ASPCOLUMENT COTO PROVIDE SPECIAL INSPECTIONS, BLASS OTTERMISE CONTRACT SPECIAL INSPECTOR IN CONTRACT SPECIAL INSPECTOR IN CONTRACT CONTRACT SPECIAL INSPECTOR INSPECTATION INSPECTATION INSPECTATION CONTRACT DOLARITS AND ROM ON DEPENDENT OF INSPECTATION INSPECTATION OWNER IN CONTRACT DOLARITS AND ROM ON DEPENDENT OF INSPECTATION OWNER IN CONTRACT DOLARITS AND ROM ON DEPENDENT OF INSPECTATION OWNER INSPECTATION OF INSPECTATION INSPECTATION INSPECTATION INSPECTATION OWNER INSPECTATION OF INSPECTATION ACCIDENT OF INSPECTATION OF INSPECTATION OF INSPECTATION OF INSPECTATION INSPECTATION OF INSPECTATION OF INSPECTATION OF INSPECTATION OF INSPECTATION INSPECTATION OF INTERICATION OF INTERNA OF INTERNA O

STRUCTURAL OBSERVATION

GEDS ENGINEERS WILL PROVIDE STRUCTURAL OBSERVATION IN ACCORDANCE WITH CBC 2016, CHAPTER IS, BISCIDON TALA AS INDICATED ON THE DRAWNINGS, CONTRACTOR BHALL REVIEW THE STRUCTURAL OBSERVATION REQUIREMENTS SHOWN ON THE CONTRACT DOCUMENTS AND NOTIFY GEDS ENGINEERS AT LEAST 44 HOURS IN ADVANCE OF TIME WHEN WORK THAT REQUIRES STRUCTURAL OBSERVATION WILL BE COMPLETED.

SUBMITTALS

THE FOLLOWING SHALL BE SUBMITTED TO GEDS ENGINEERS, WITH COPY TO THE ARCHITECT, FOR REVIEW.

CONTRACTOR PROPOSED CHANGES IN PRODUCTS, MATERIALS, EQUIPMENT, AND METHODS OF CONSTRUCTION FROM THOSE SPECIFIED ON THE STRUCTURAL DRAWINGS,

STRUCTURAL STEEL ERECTION AND DETAIL DRAWINGS

EGUINDATION P

FOUNDATION DESIGN IS BASED ON REPORT BY BOIL BURVEYS GROUP INC., TITLED GEOTECHNICAL INVESTIGATION FOR THE PROPOSED ADDITIONS TO THE EXISTING RESIDENCE AT THE IS COMMENT OF BAN ANTIONA OVERULE A OCEAN STREET AND DATE FEBRUARY 2, 2016. FOUNDATION DESIGN CRITERIA IS SPECIFIED ON THE TITLE SHEET.

THE BUILDING DEPARTMENT WILL REGURRE THE GEOTECHNICAL ENGINEER TO REVIEW THE STRUCTURAL DRAWINGS AND PROVIDE A LETTER STATING THAT THE DRAWINGS CONFORM TO THE RECOMMENDATIONS IN THRER REPORT PROFILE (SSUING OF A BUILDING PERMIT, PROVIDE GFDS WITH A COPY OF THE LETTER,

CONTRACTOR BHALL REVIEW AND FOLLOW THE RECOMMENDATIONS BIT THE REPORT AND SHALL COORDINATE WITH THE GEOTECHNICAL ENGINEER WITH REDARD TO THE REQUIRED REPECTION TESTING OF FOUNDATION EXCAVATION.

EXCEPT WHERE OTHERWISE SHOWN, EXCAVATIONS SHALL BE MADE AS NEAR AS POSSIBLE TO THE NEAT LINES REQUIRED BY THE STIE AND SMAPE OF THE STRUCTURE, ALL FOUNDATIONS SHALL BE POWNED WITH OUT THE USE OF SIDE/FORMS WHEREVER POSSIBLE, IF THE TRENCHES CAN NOT FULLY STAND, FULLY FORM SIDES TO DIMENSIONS SHOWN,

DO NOT ALLOW WATER TO STAND IN TRENCHES. IF BOTTONS OF TRENCHES BECOMES SOFTENED DUE TO RAIN OR OTHER WATER BEFORE CONCRETE IS CAST, EXCAVATE SOFTENED MATERIAL AND REPLACE WITH PROPERLY COMPACTED BACKFILL OR CONCRETE.

WATERPROPERTY

CONCRETE

WHERE STRUCTURAL DETAILS INDICATE ANY WATERPROOFING OR VENTILATION ITEMS. THEY ARE SCHEMITIC GALY AND FOR THE PURPOSE OF ASSISTING IN SHOWING A COMPLETE STRUCTURAL DETAIL, REFER ONLY TO ARCHITECTURAL PARABARD SPECIFICATIONS FOR THE COMPLETE DESCRIPTION OF ALL REGULTED WATERPROOFING WATERTITION SYSTEMA.

CONCRETE FILL FOR NETAL DECK BRALL BE LIGHTWEIGHT 119 PCF CONCRETE WITH REINFORGING OTHERWISS, CONCRETE SHALL BE NORMAL, WEIGHT AND BHALL BE REINFORCED, CONCRETE WORK SHALL CONFORTE, CONCRETE SHALL ATTAIN A MIRMILM UTIMATE COMPRESSIVE ATTEMPTING PCF 2000 FAIL 72 BAYS UNDER SHALL ATTAIN A MIRMILM UTIMATE COMPRESSIVE ATTEMPTING PCF 2000 FAIL 72 BAYS UNDER SHALL ATTAIN A MIRMILM

METAL FRAMING ANCHORS SHALL BE MANUFACTURED BY SRUPSON COMPANY OR EGUAL JOINT HANGERS SHALL BE "U" SERIES U.N.O., ON DRAWINGS, BOLTS IN CONNECTIONS SHALL BE RETIGHTENED JUST PRIOR TO CLOSING OF THE WALL AN FLOOR.

REINFORCING BARS NOTED OR SHOWN AS CONTINUOUS SHALL RUN IN AS LONG LENDTHS AS PRACTICAL, IN SLAE AND BEAMS LOCATE TOP BARS SPLCES MIGWAY BETWEEN SUPPORTIS, BOTTO BARS SPLCES AT EUROPORTS, BOTLE CLOCATIONS SHALL BE SUBJITTED FOR REVIEW, THE FOLLOWING SPLCE LENDTHA APPLY UNLESS OTHERWISE DETAILED OR REVIEW, THE FOLLOWING SPLCE LENDTHA APPLY UNLESS OTHERWISE DETAILED OR REVIEW. FAITLENDE OF INTEROR APPLICATIONS PENETRA TING PRESSURE TRATED LUMBER SAUL DE LOT DIPTO ZINCCOM TING BAUNAUED WITH A MIMAN GEN (15.02) ELTRIDOR APPLICATIONS OF PRESSURE TRATED LUMBER SAUL USE STATUES STEEL RATENERS, PASTEMBRI BUDGED TO WEATHER FOR ANOLTECTURAL FRAITERE MAY ADOLE SUCCEMENTE AND LUMBER SAUL USE STATUES STEEL RATENERS, PASTEMBRI BUDGED TO WEATHER FOR ANOLTECTURAL FRAITERE MAY ADOLE SUCCEMENTE AND LUMBER FOR ANOLTECTURAL

SILLS OR PLATES SHALL BE BOLTED TO CONCRETE WITH 5/8" DIAMETER BOLTS WITH 3X3X1/4" WASHERS, EMBEDDED 7" MINIMUM AT 4-0" MAXMUM ON CENTER, U.O.N.

CONCRETE AND MASONRY ANCHORS

FOR ALL SHEATHING REQUIREMENTS SEE PLANS

INSTALL IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS, ALTERNATES MAY BE SUBMITTED FOR CONSIDERATION IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS.

UNLESS NOTED OTHERWISE, BOLTS, ANCHOR RODS OR THREADED RODS SHALL BE AS SPECIFIED IN STRUCTURAL STEEL. REINFORCING BARS SHALL BE A-615, GRADE 60.

ADHESIVE ANCHORS (DOWELS) IN CONCRETE

TALLATION.

PER ACI 318 (SECTION 17,1.2) ADHESIVE ANCHORS SHALL BE INSTALLED IN CONCRETE HAVING A MANIMUM AGE OF 21 DAYS AT TIME OF ANCHOR INSTALLATION, FOR INSTALLATIONS BOONER THAN 21 DAYS CONSULT ADNESSIVE MANUFACTURER.

IF TEMPERATURE OF BASE MATERIAL AT TIME OF ADHEDIVE INSTALLATION IS AT 45 DEGREES (FAMBENGET) OR LESS, AM ACTIVIC' (COLO WEATHER) ADHEDIVE IS REQUIRED, LE: - HLTI HT-Y 200 SYSTEM CONFORMING TO CESS REPORT ESR-AND FOR DEWALT AC200- ACRYLIC ADHESIVE CONFORMING TO ICC-ES REPORT ESR-4027.

EEAN WEB DPENINGS MUST BE APPROVED BY OFDS ENGINEERS PRICE TO CUITTING. OPENINGS SHULL BE THERMALLY CLIT, UBING A MACHINE GUIDE OR TEXHA ATE, URA ES APPROVED OTHERMISE. IN ACCORDANCE KITH AND SI IL SECTION E EDDED DI OFDENING SHALL HAVE A SURFACE ROUGHNESS VALUE NOT EXCELIDING 1000 AS DEFINED IN ASME EAST. HILTI HIT-RE 500 v3 SYSTEM CONFORMING TO ICC-E8 REPORT ESR-3814. SIMPSON STRONG-TIE SET-35 ADHESIVE ANCHOR SYSTEM CONFORMING TO ICC REPORT ER-4057.

ADREBIVE ANCHORS IN BOLID GROUTED MASONRY

HLTI HT-HY 70 ADHEBIVE ANCHOR SYSTEM CONFORMING TO ICC-68 REPORT ESR-2882, SIMPON STRONG-TE SET-XP ADHESIVE ANCHOR SYSTEM CONFORMING TO IAPMO LES REPORT E-265. DEWALT AC100+ GOLD ADHESIVE ANCHOR SYSTEM CONFORMING TO ICC-ES REPORT ESR-320.

ADRESIVE ANCHORS IN HOLLOW/MULTI-WYTHE MASONRY

HLTI HT-HY 70 ADH-SIVE ANCHOR SYSTEM CONFORMING TO ICC-E8 REPORT ER-3342, SIMPSON STRONG-THE REFLAP ADHEBIVE ANCHOR SYSTEM CONFORMING TO ICC-E3 REPORT ESR-1172 WITH SIMPSON COTTALERS ACCENT TUBES, DEWLIT AC100- GOLD ADHESIVE ANCHOR SYSTEM CONFORMING TO ICC-ES REPORT ESR-4106.

SCREW ANCHORS IN CONCRETE OR GROUTED MASONRY

HILTI KH-EZ SCREW ANCHORS CONFORMING TO ICC-ES REPORT ESR-3027, SIMPBON STRONG-TIE TITEN HO SCREW ANCHORS CONFORMING TO ICC-ES REPORT ESR-2713 DEWALT SCREWBOLT+ SCREW ANCHORS CONFORMING TO ICC-ES REPORT ESB-368 (CONCRETE), ESR-4042 (MASONRY)

PRESERVATIVE TREATMENT

WORTURE CONTENT AND PROTECTION

REDIFORCING STEEL

STEEL DECK

CENTER, U.O.N.

ROUGH CARPENTRY

JO

81

SEE CONCRETE FOR ERI

REINFORCING STEEL SHALL CONFORM TO ASTM A-615, GRADE 60.

CONFORM TO THE FOLLOWING: WIDE FLANGE BRAPES, ASTM ARZ. CONNECTION RATE FOR WIDE FLANGE MEMBERS: AETM A38. MISCELLANECUS CHARGELR, ANGLES, ANG PLATE: ASTM A38. RECTINGULAR AND ROUND HOS SECTIORS; ASTM AGO, RANDE B.

STRUCTURAL AND MISCELLANEOUS STEEL

WELDING OF REINFORCEMENT BARS SHALL COMPLY WITH AWS D1,4 STRUCTURAL WELDING CODE-REINFORCING STEEL LISE GRADE A706 LINESS SHOWN OTHERWISE.

UNLESS OTHERWISE NOTED, THE FOLLOWING MINIMUM CONCRETE COVER SHALL BE PROVIDED FOR REINFORCEMENT?

CONCRETE CAST AGAINST AND PERIMANENTLY EXPOSED TO EARTH: 2" CONCRETE EXPOSED TO EARTH OR WEATHER: 2" CONCRETE FOR EVADED TO EARTH OR WEATHER OR IN CONTACT WITH GROUND SLASS AND WALLS: 1" BEAMS AND VALLS: 1"

STEEL NOT RECEIVING PREPROOPING OF STEEL EXPOSED TO WEATHER SHALL HAVE ONE COAT OF SHOP PRIMER, BITEL EXPOSED TO WEATHER SHALL BE HOT DIPPED CALVANCED OF THER APPROVED PROTECTIVE COATING.

DETAILS AND WORKMAASHIP SHALL BE IN ACCORDANCE WITH THE LATEST AISC STANDARD SPECIFICATIONS,

WELDING SHALL SHALL CONFORM TO AWS D1.1 STRUCTURAL WELDING CODE USING ETICX ELECTRODES,

HIGH STRENGTH BOLTS (H.S.B.) BHALL CONFORM TO ASTM A325 TYPE N. COMMON POLTS BHALL CONFORM TO ASTM A302 USE UNLESS OTHERWISE SPECIFIED. ANCHOR ROOD SHALL CONFORM TO ASTM FISH GR. 28. THREADED ROD SHALL CONFORM TO ASTM A38.

FLOOR DECK IN COMPOSITE BLABS SHALL BE VERCO, DALVANZED 3 FORMLOK, 18 GAUGE, WITH FACTORY PUNCHED YENT TABS, OR AN APPROVED DOWL, A TACH FLOOR DECK TO SIGH PERPENDICULAR NOR PARALLE, SUPPORTS WITH 12 "DAMETER DATA SUST FLODGLE WELDS SPACED 12" ON CONTRY OR WELDS PRES AT WIDE SHEET, WHICH EVERS DERATER, BLE UNES SHALL BE SUTTON FUNCHES WITH SITE DAMETER BUTTON AT 24"

TOTAL SLAB AND DECK DEPTH BHALL BE 4-1/2". REINFORCING SHALL BE #36/16" EACH WAY WITH 1" CLEAR FROM THE TOP, LO.N.

MOISTURE CONTENT SHALL MEET THE FOLLOWING LIMITS: "DRY" FOR VERTICAL FRAMING (19% MAXIMUM, FINENESS SHALL NOT BE INSTALLED OVER DIMENSIONAL LUMISER FRAMING UNTLI MOISTURE CONTENT IS BELOW 12% MAXAMIN

NATERIALS SHALL BE PROPERLY BTORED ON THE JOB SITE. MATERIALS SHALL BE STORED OFF OF THE GROUND, AND PROTECTED FROM EXPOSURE TO THE ELEMENTS.

WING MEMBERS EXPOSED TO WEATHER OR IN CONTACT WITH CONCRETE, BUT NOT IN CONTACT WITH THE CROUND SHALL BE PRESSURE TREATED IN ACCORDANCE WIT AWPA STANDARD UI & TI, USE CATEGORY UCSB. FELD CUTS AND HOLES SHALL BE FIELD TREATED IN ACCORDANCE WITH THE AWPA MA.

ISTS (2"-4", 5" AND WIDER)	NO.2
ADERS (4" THICK, 5" AND WIDER	() NO.1
AMS (6" THICK, 10" AND WIDER)	NO. 1
STS (6" THICK, 6"-8" WIDE)	NO. 1
XSTS (4X4)	NO. 1
JU SILLS (SX)	NO. 1, PRESSURE TREATED (DO NOT USE
UDS (2)(, 3)()	STUD
P AND BOTTOM PLATES	ธานอ

PARALLAM PSL HEADERS AND BEAMS SHALL BE 2.2E, CONFORMIND TO ICC-ES REBEARCH REPORT NO, ESR-3397, OR EQUAL AND SHALL HAVE DESIGN VALUES EQUAL TO OR EXCEEDING THE FOLLOWING:

BENDING (PD):	2900 PSI
COMPRESSION PARALLEL TO THE GRAIN (Fc PARALLEL):	2900 PSI
MODULUS OF ELASTICITY (E):	2,200,000 PSI
HORIZONTAL SHEAR:	290 PSI

MICROLLAM LVL HEADERS AND BEAMS SHALL BE 2.0E, CONFORMING TO ICC-ES RESEARCH REPORT ND. ESR-1397, OR EQUAL AND SHALL HAVE DESIGN VALUES EQUAL TO OR EXCEEDING THE FOLLOWING: BENDING (Fb): 2600 PSI

COMPRESSION PARALLEL TO THE GRAIN (Fo PARALLEL):	2510 PSI
MODULUS OF ELASTICITY (E).	2,000,000 PSI
HORIZONTAL SHEAR:	285 PSI

FOR SCHEDULE OF MONIMAR INVELING SEE CBC TABLE 2004.10.1, NALLING SHALL BE WITH COMMON MARE NALIS WALES NOTED OTHERWISE, CONTINUCTOR SHALL BE MIT OF APPROVA. I DISCRIPTION OF MARE GADE, LIGHT, HEAD TYPE AND GOATING OF PORT MALE SHOWN OF THE STRUCTURAL (PANAMINGS, BOLTS AND LAG SCHEW) SCHWING SHOWN OF THE STRUCTURAL (PANAMINGS, BOLTS AND LAG SCHEW)

Reviewed for Code Compliance JUL 09 2021 CSG CONSULTANTS, INC.



ŝ

ENUI

JOB #: 20101

fine

93921 ANTONIO CALIFORNIA 60 CLUI Ā ŝ CEAN AND CARMEL-BY-THE-SEA, EAN Õ 8

GENERAL NOTES

CORNER

щ

ž

PERMIT SET 03/05/21 FIELD REVISION 1 05/27/21

SCALE: AS SHOWN



DIMENSION LUMBER AND TIMBER

DIMENSIONAL LUMBER AND TIMBER SHALL CONFORM TO THE FOLLOWING WOLLS MINIMUM GRADES AND SHALL BE DOUGLAS FIR, UNLESS OTHERWISE NOTED.

STS (2"-4", 5" AND WIDER)	NO.2
DERS (4" THICK, 5" AND WIDER	NO. 1
MS (6" THICK, 10" AND WIDER)	NO. 1
TS (6" THICK, 6"-8" WIDE)	NO. 1
TS (4X4)	NO. 1
3 581.1.8 (3)()	NO. 1, PRESSURE TREATED (DO NOT USE HEN
IDS (2), 300	STUD
AND BOTTOM PLATES	ธานอ

NO SUBSTITUTIONS SHALL BE MADE WITHOUT PRICE APPROVAL

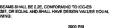
BENDING (Fb):	2900 PSI
COMPRESSION PARALLEL TO THE GRAIN (F¢ PARALLEL):	2900 PSI
MODULUS OF ELASTICITY (E):	2,200,000 PSI
HORIZONTAL SHEAR:	290 PSI

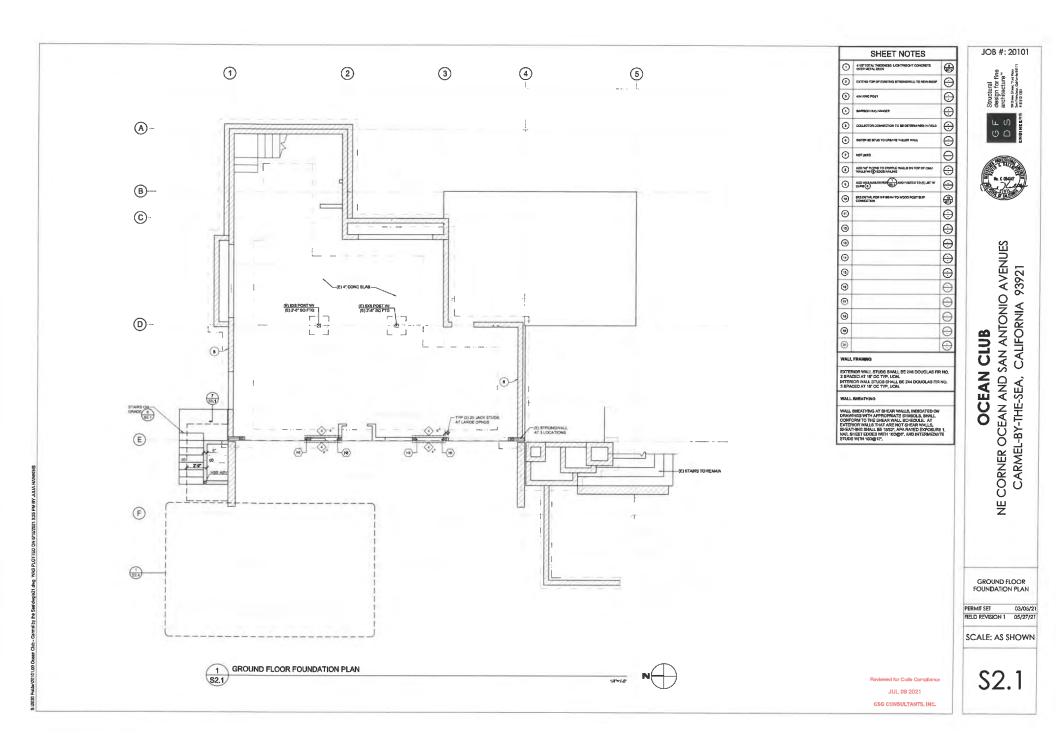
MICROLLAN LVL LUNBER (LVL)

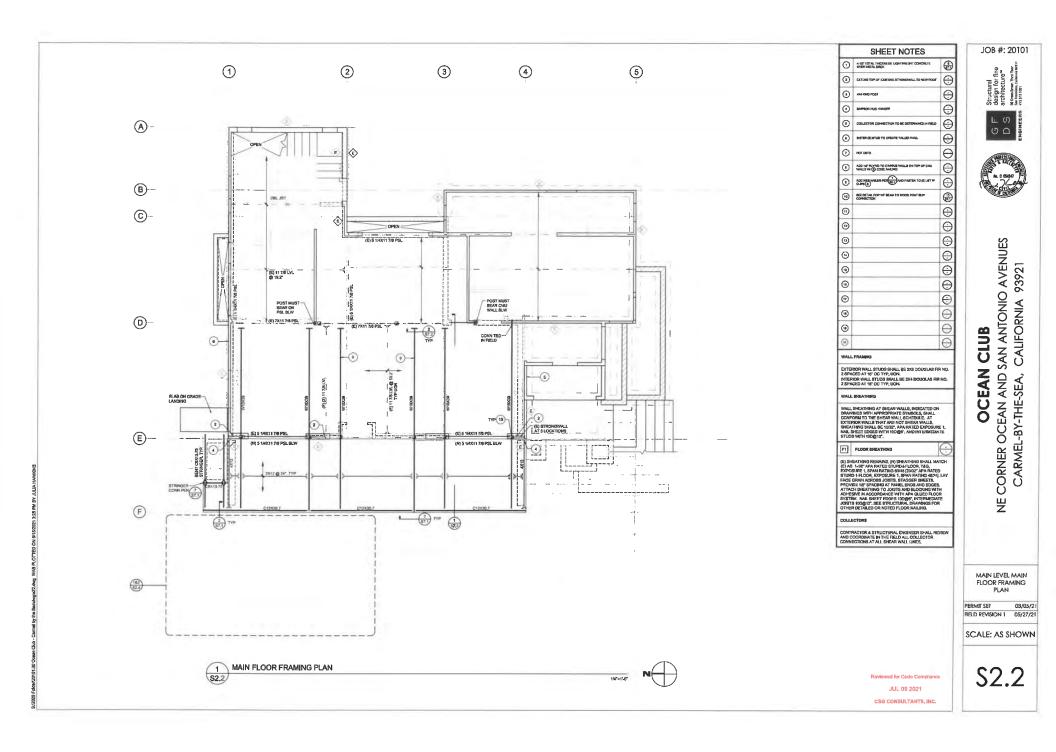
FASTENERS

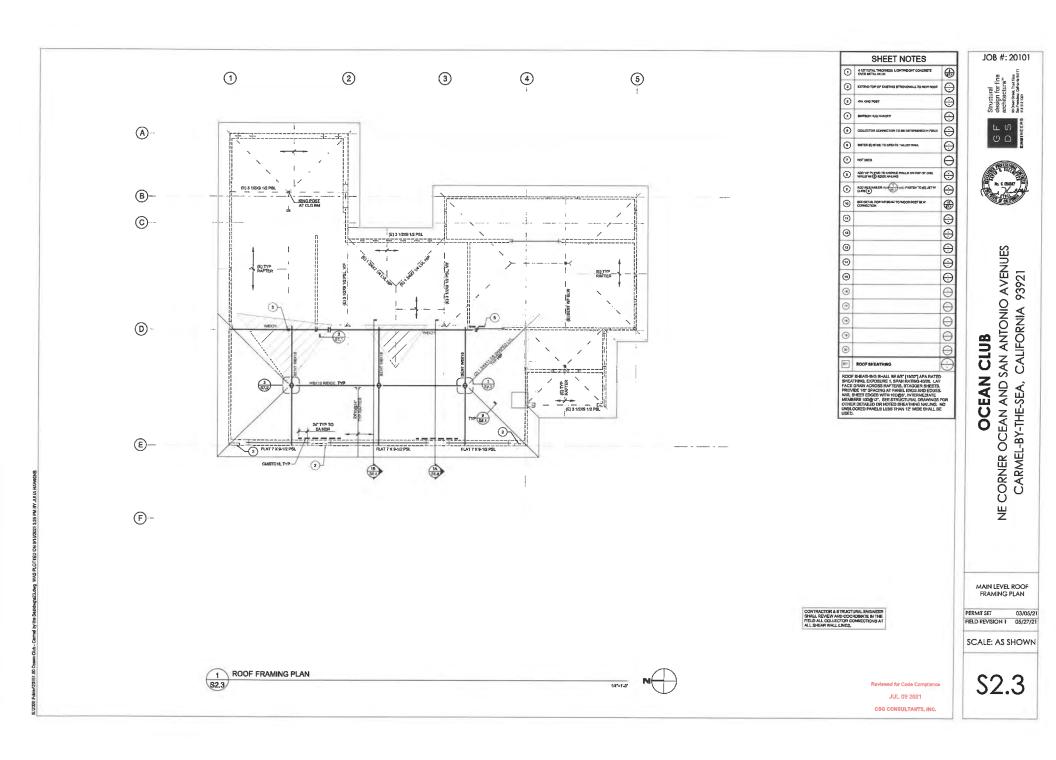
M-FIR)

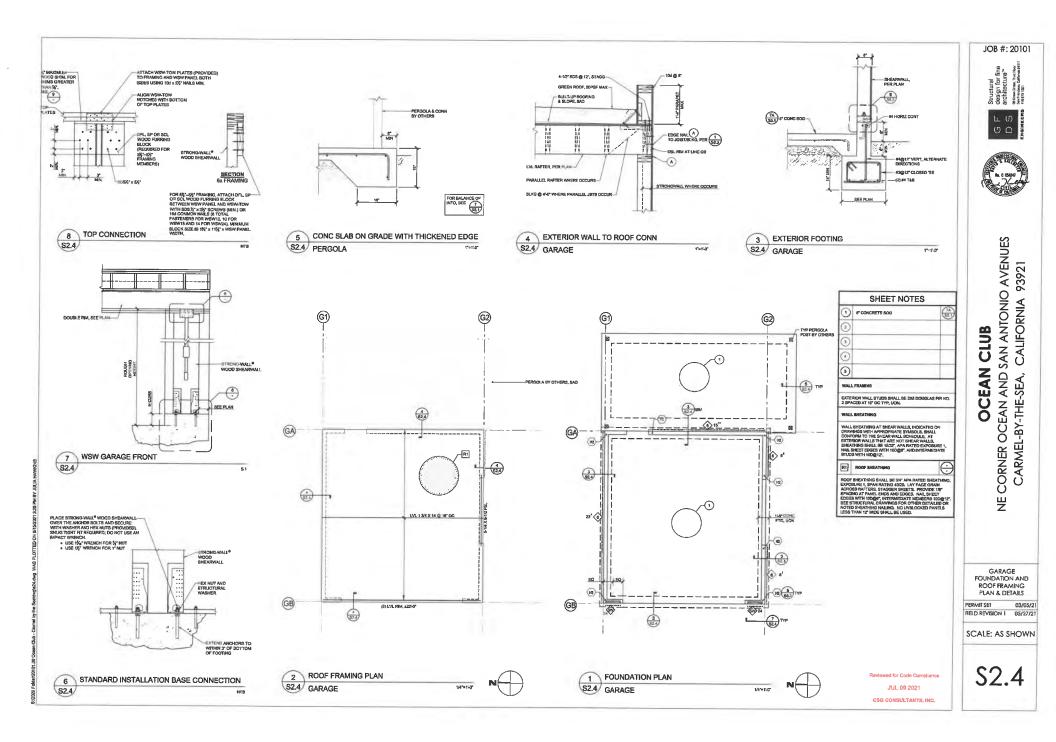
PARALLAM PSL LUMBER (PSL)

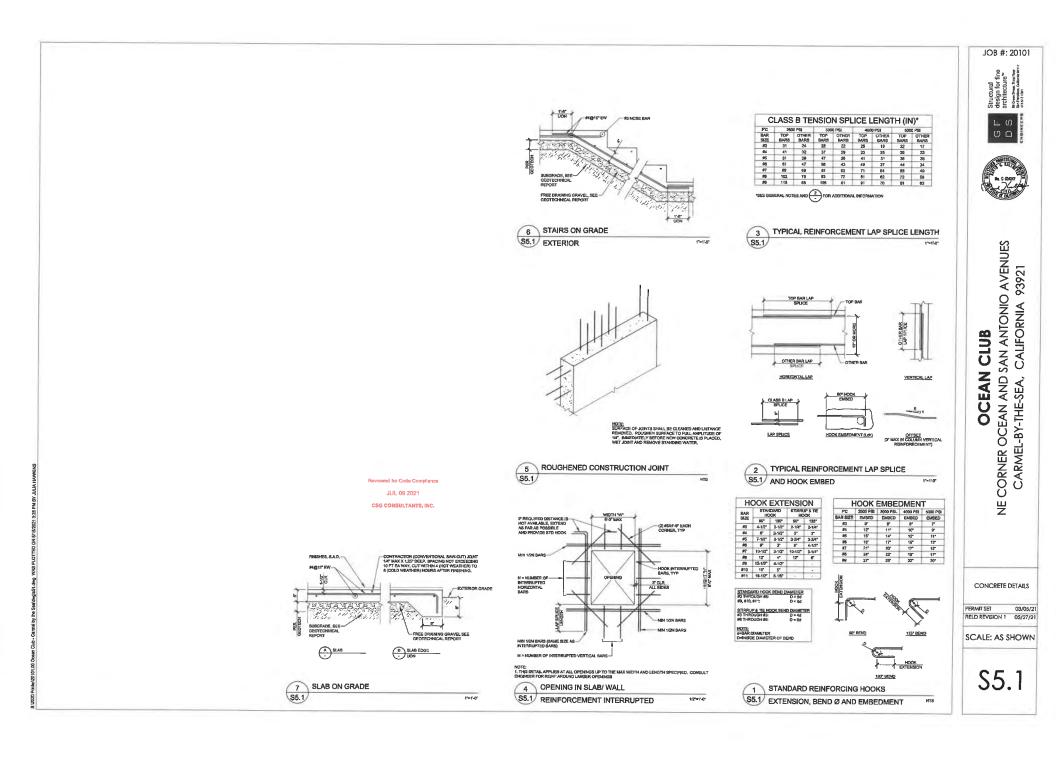


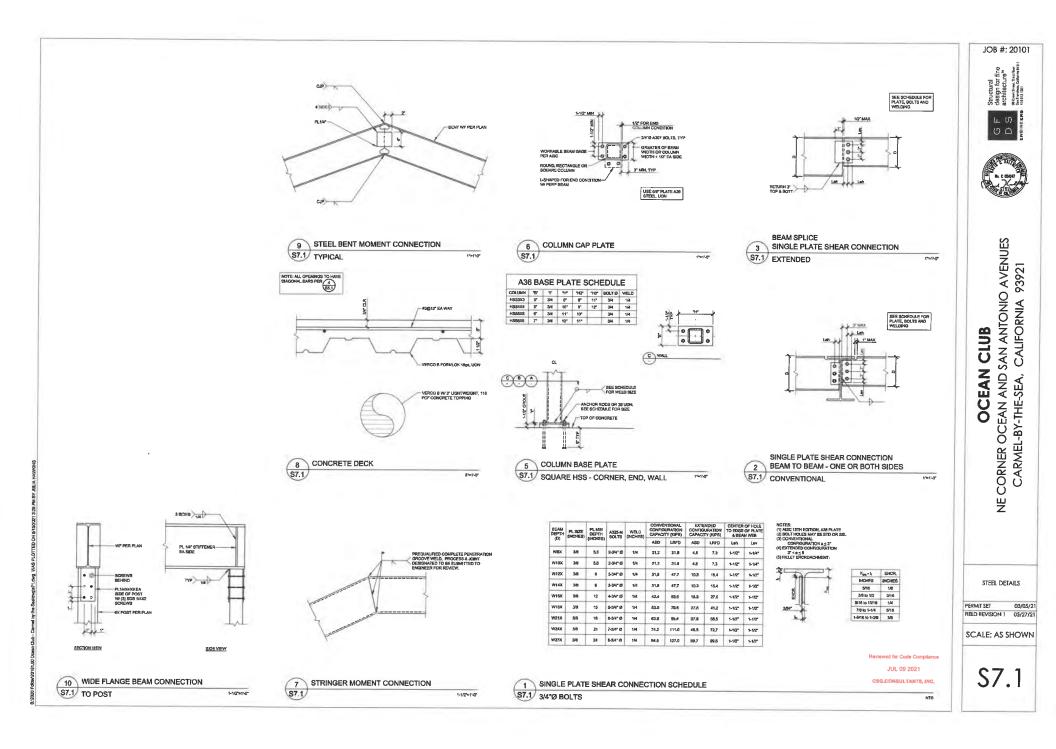


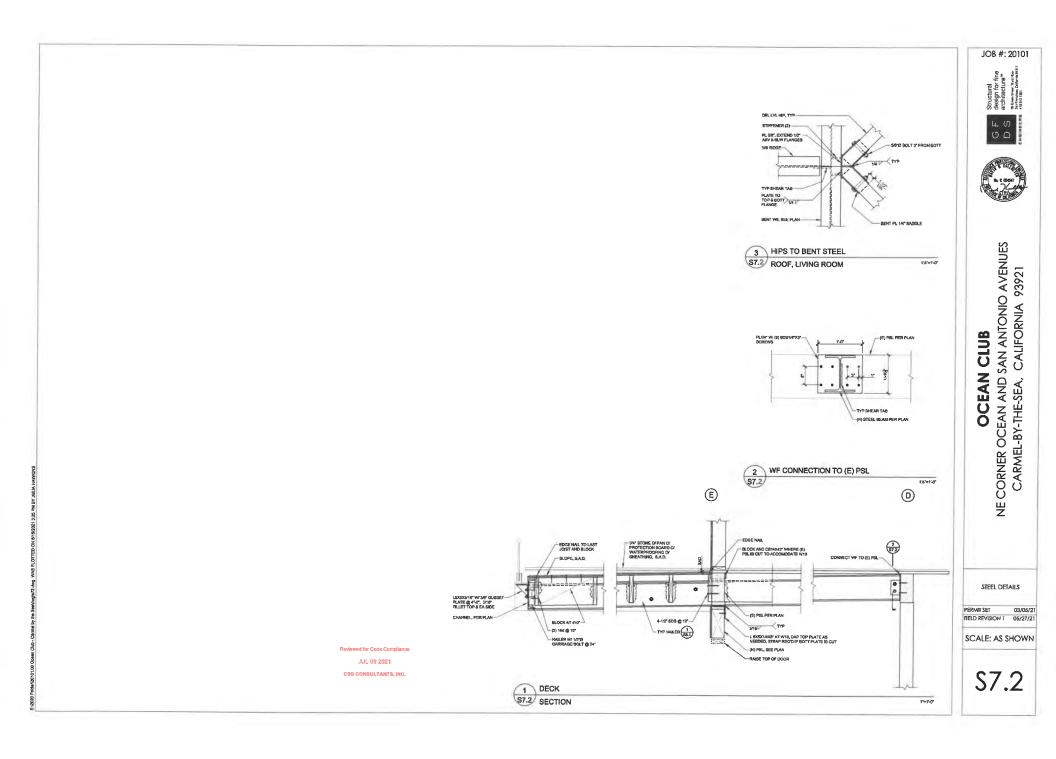


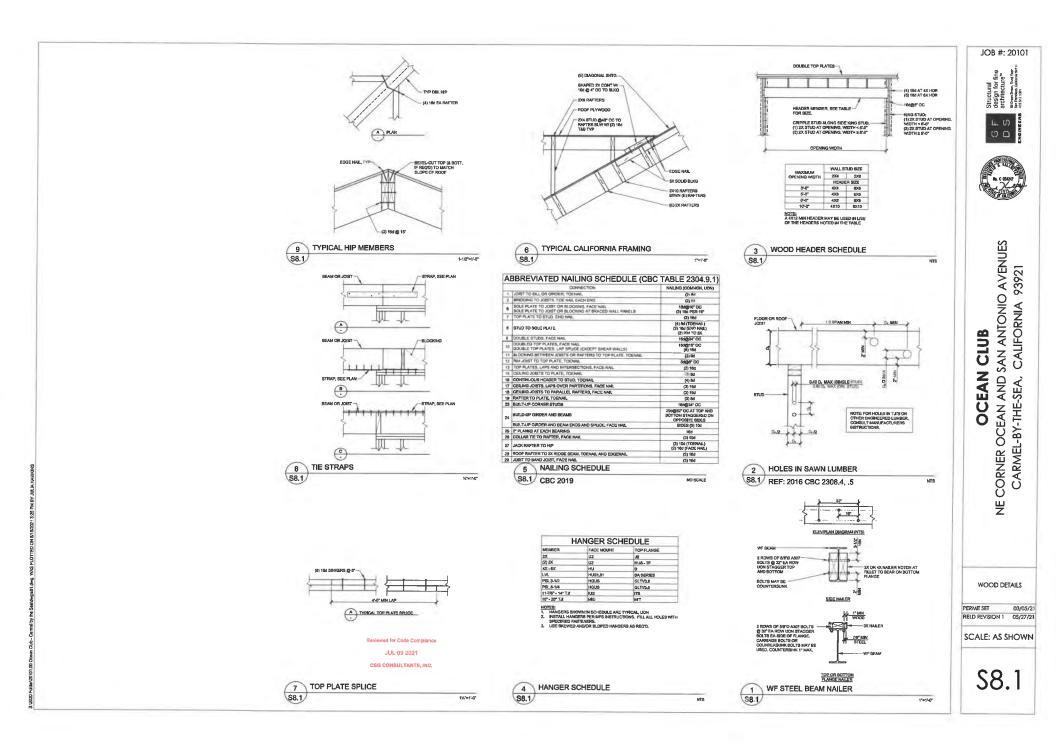


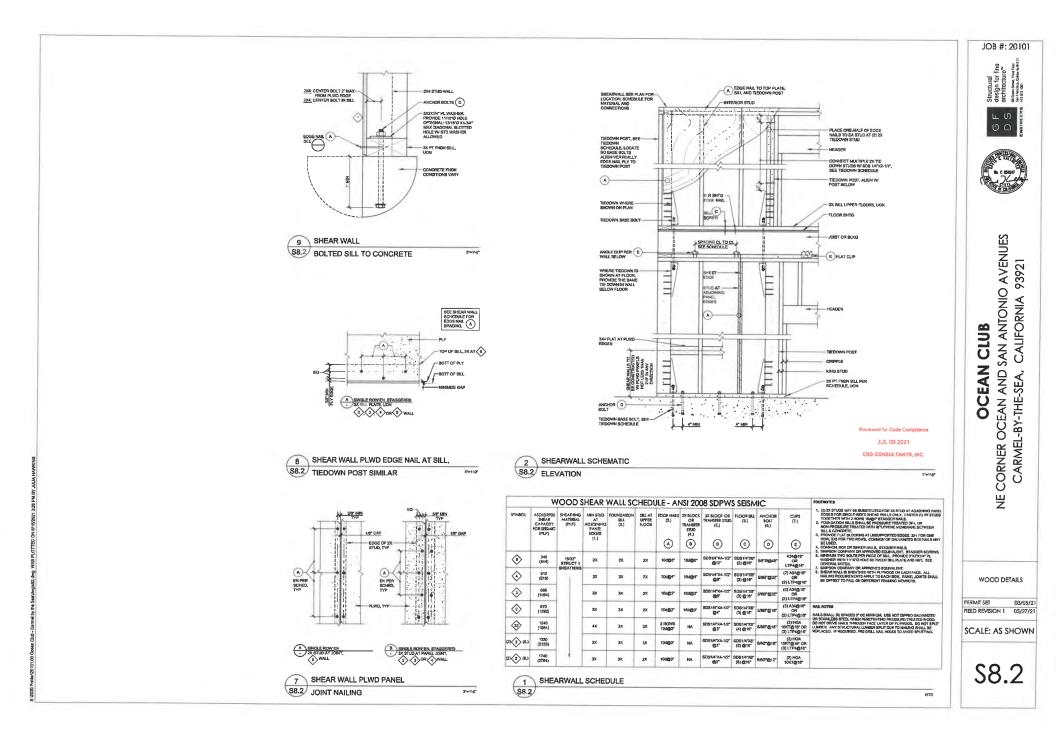


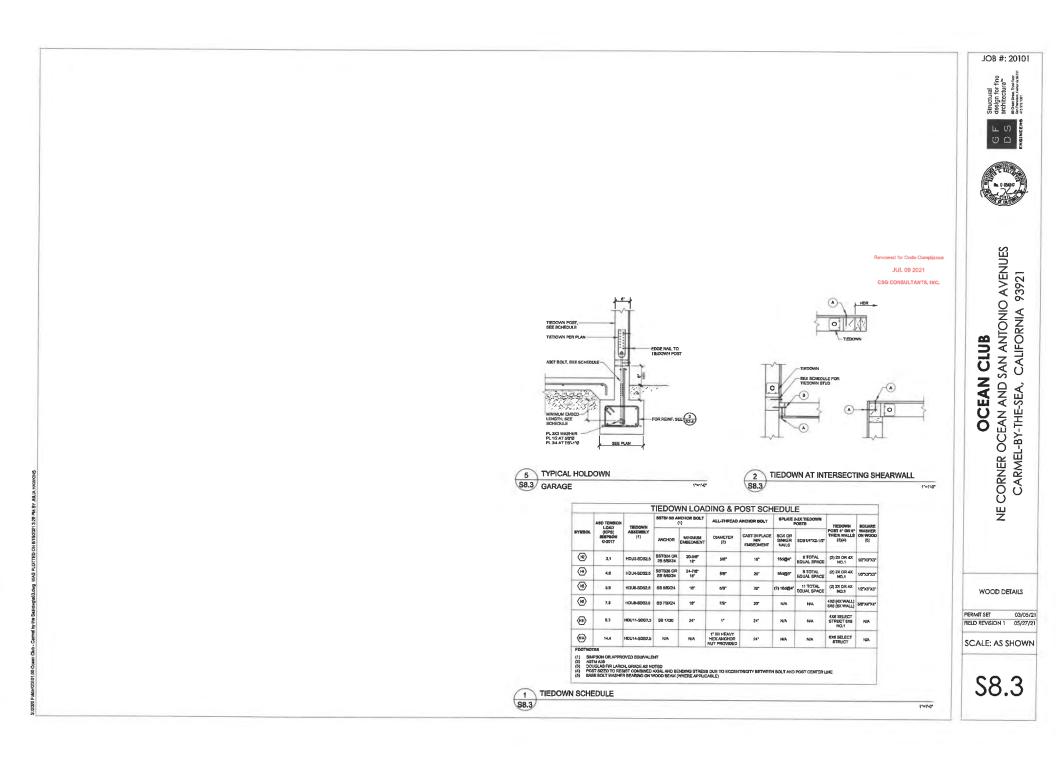


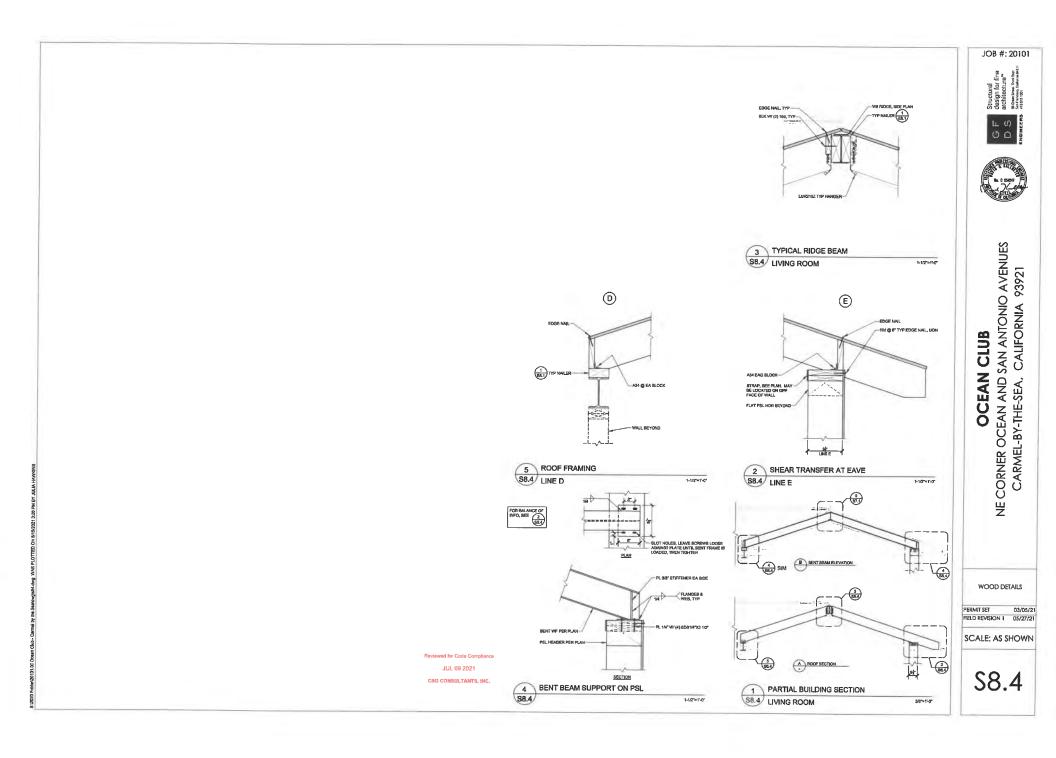












RADIANT HEATING NOTES	RADIANT HEATING NOTES						RAD	IAN	TC	ESI	GN	SUM	MAF	Y				
1. BROMENTOON Instant of the hydroic system shall be a licensed C-4 occlescic: It is it is installer a responsibility to what with the hydroic system shall be a licensed C-4 occlescic: It is it is installer a responsibility to the to acply and install all materials at more in this plane and a different section to complete the displanet. Net, provider shall be a different of a displanet or approximation of the displanet of the displanet. In the displanet of th	PLURG In Hydrodic reliated heating systems, eyen or choses, should be purged and charged with clean water measuring an intername prior of the control of the system with hydro internal content (heating set) and the control of the system with hydro internal content (heating set). 2. Fill water with hydro internal content (heatings conte 6.9 grains (150 pm) should be presidened or rejected with the context (CL) used wetwork. 3. Wetwork application of antihesce shall be of the prophere glycol type. Relier to "Design Burnnery" for concentrations and the context (CL) wetwork. 4. Wetwork application of the instantion of the reliant portion of the system to insure periodic circulation to word assume that the used in a combined open system. 6. No harmonia diddeves shall be used in a combined open system. 6. No harmonia diddeves shall be used in a combined open system. 6. Overworks and before the restrict portion of the system. 6. No harmonia and the to the restrict application provide to restrict and the instantion of the context provide to the restrict application to endowed to the instantion of the restrict application of the restrint application of the restrict application of the r	Pro Loc Date Pro	me: NE Come	i-By-The-Sea, C mary Method: eis:		ia	User B	tilared (Alla 2,304	·	Total Circu Total RH C Total Alm Total Zong Ruid Type: Total Tubin	rcuita: olds: II:		2,478 (I 14 7 100% Wate 23.78 USG		Total Heating	Load:	40,2	05 Bluffar
Wh Nonierrey Energy Group or the equipment manufactures for any product updates. STALLATION	 Custom process shall be routed as indicated on plans using a router jig and shall be made using a S/IF core box router bit. 	Zor	ne Heutin	g Summary														
specing shall not very by more iben 10% from that shown on plana, ag half to species seeding it to 00 perig growther then the opening paralities which ever a species of the species seeding it to 00 perig growther then the opening paralities and the species of the	Mine applicable instabilition contractor shall accordinate with the plurhteding dontinet of the other wall sharting distribution dont 17% shows wall-beer pluric to instabilition. Renormal Boarts With by castern racing and can apple holes. Notes for the pluric pluricity between the pluricity distribution of the beam program and the pluricity distribution and the pluricity distribution and the pluricity distribution of the beam of of the bubble can be pleased from the growned to the automation and the the apple of the pluricity distribution of the beam of the pluricity distribution of the beam of the pluricity distribution of the beam planet. Al approvement and be implemented and determed even pluricity for the beam of apple heat affect on the planet apple heat apple heat affect on the planet apple heat apple	2 2 2 2 2 2 2 2 2	one # Cone 1 Cone 2 Cone 3 Cone 4 Cone 5 Cone 6 Cone 7	Gross Area 255 447 359 116 873 115 196	N N N	onstructi Namboard Namboard Eco-Warm Eco-Warm Eco-Warm Eco-Warm	R R R	ating rp= 1 RH RH RH RH RH RH RH RH RH RH	FHF Circuits 2 3 2 1 4 1 1 1	Tota Tubin 300 485 371 122 897 121 202		1 1 1 1 1 1	0.61 1.07 0.71 0.24 1.72 0.40 0.63	Head Los a (Circuit Only 1.6 3.0 1.1 0.4 1.9 0.9 3.2	RH Los 4,538 7,979 5,277 1,827 12,83 3,018 4,732		emental Z 0 0 0 0 0 0 0 0 0	4,538 7,979 5,277 1,627 12,833 3,019 4,733
lar to record length of every pipe and photograph completed installation (before concrete), to menufacturar's guidelines for additional installation methods of their products.	 Tubing for the Ecc-Warm exists table to 1/27 FEX with acques diffusion barrier meeting ESA B137-5 centrification and field by ICBO, to ASTM F-875-93 and F-977-93 and lated by NSF to NSF 51. WARBIGORED RESTALLATION 			g Summary (By Cons	truction	Type)											
The instants the variant set of the set of t	IV. A determined on all plasma have be consistent with the nominal joint gold selected. I. A determined on all plasma must be consistent with the nominal joint gold selected. I. Constant provide the later that the selected on plane using a router big and share bar made using a 50° constant provide the later that the selected on plane to the plantbing doctandor to set to have all plantbing doctand on 12° above add-from plant to installation. I. Alignment gives that the sum doct proper inglamment of panels. I. Nonce any sectors addresses that may installed on plants. I. Remove any sectors addresses that may installed on plants. I. Remove all plants half be unded to proper adjustment of panels. I. Remove all plants half be under the may installed on plants. I. Remove all plants half be under the may installed on plants. I. Remove all plants half be under the may installed on plants. I. Remove all plants half be under the may installed on plants. I. Remove all plants half be under the may installed on plants. I. Remove all plants half be under the may installed on plants. I. Remove all plants half be under the may installed on plants. I. Remove all plants half be under the may installed on plants. I. Remove all plants half be under the may installed on plants. I. Remove all plants half be under the may installed on plants. I. Remove all plants half be under the may installed on plants. I. Remove all plants half be under the set of additions for installation of the product. I. Remove all plants half be under the set of additions for installation of the product. I. Remove all plants half be under the set of additions and the set of additions for installation. I. Remove all plants half be under the set of additions and the set of additions of the plants half be under the set of additions and the set of additions of the set of ad	Zor Zor Zor Zor Zor Zor	ma 1 ma 1 ma 2 1.3 ma 2 1.3 ma 2 1.3	1.1 Gym 1.2 Beth 3	RH RH RH RH	Area 200 68 138 233 76	233 N 76 N	illenifold 1 Ienifold 1 Ienifold 1 Ienifold 1 Ienifold 1	Size 1/2 1/2 1/2 1/2 1/2	Circuits ¹ 1 1 1 1	Spacing 12 12 12 12 12 12 12	235	Cover R 0.8 0.5 0.8 0.8 0.8	Temp. 92 88 94 94 94	17.9	3,150 1,386 2,483 4,159 1,357	ppiemental 0 0 0 0 0 0 0 0	Total Load [#] 3,150 1,388 2,483 4,159 1,357 2,846 2,831
olds to be plumb, level and albunies in their final position, olds to be imitabled at least 10° albune finished from:	 Never to mon-stricture? Installation noise for isodenese quotience for installation of this product. Never to mon-stricture? Installation works have been applied of the data only any 17147 bit at the second location and in the appropriate monthly done to done to done under floor area in the mind of the tube cam be passed from the goore to the under floor area in the propried monthly done tube to basise grade. 	Eco	o-Warm	om Name						RH								
cide to the transmort with air versite and four totalencing when, Mendicides what he employed with a flag get or gains when on the manyty and on them a both services, Transmott, and when a relativistic for user that stated on return who of manifolds. Undeer otherwise specificity, manifolds what he trave type.	All process shall be inspected and cleaned of any doble prior to holing installation. All process shall be inspected and cleaned of any doble prior to holing installation. All process shall be installation galdelines for caulting of disphage groups prior to the installation of per- per loading. The and memory executed installation galdelines for caulting installation into the penul disphage to the control of all procession of a percentage of the penul disphage groups of disphage to the The penul disphage of the penul disphage and the penul disphage of disphage disphage (SA B 137-6 control and more the penul disphage and the top PPC with on-gene diffusion barrier meeting CSA B 137-6 control and any CSA (b), to ASTM F-476-83 and F-477-83 and Read by NSF to NSF 81. FAA CONTENTION INSTALLATION	Zor Zor Zor Zor Zor	ne 4 2 ne 5 3.1 Po ne 5 3.2 ne 5 3.4 ne 5 3.4 ne 5 3.4 ne 6 4 ne 6 4 2	1 Laundry yer Uving Rm. 2 Uving Rm. 3 Kitchen Dining Rm. 1 Bath 1 Dwner's Suit	Type RH RH RH RH RH	Aree 116 213 213 222 225 115	Hested W Area 116 M 213 M 213 M 222 M 225 M 115 M 198 M	Innifold 2 Innifold 3 Innifold 3 Innifold 3 Innifold 3 Innifold 3	Bize 1/2 1/2 1/2 1/2 1/2 1/2 1/2	Circuita* 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	5000000 12 12 12 12 12 12	Room 116 213 213 222 225	Cover #% 0.5 0.8 0.8 0.8 0.8	Temp. 105 107 107 107 107 107 107 123 126	Load 15.8 14.7 14.7 14.7 14.7	1,827 3,131 3,131 3,263 3,208	opiemental 0 0 0 0 0 0 0 0 0	1,827 3,131 3,131 3,203 3,308 3,019 4,733
	 Fain Convectors shall be Jegs Hybrid Heating Clima Canel Hybrid H10 earlies. Install according to manufactures instructions. Confirm all locations and unit size with current prior to ordering units. 	Mai	nifold Sur	hmary Mani	fold Name			1.			orate	Head Reg	aired Sug	plied Tem	Man	fold Type	Control	
	2. Myono fero convectors to operativ via estaback thermonitati to set polici control to fan and pump winkig. Fan inny be obtained wa e FCP winking seased controller. 3. Provide access to each fero convector. DEMON ASSUMPTIONE 1. 30 degrees F cutation ferriting design temperatures, 87 degrees F cutation cooling design temperatures, 2. R-31 estimation. 3. R-30 eating involution.			Ma Ma	endfold 1 endfold 2 endfold 3 endfold 4 Tetel			1	-	7 1 4 2	2.38 0.24 1.72 1.04	1.4 1 2.8 1 4.2 1	05 ·	mp. Drop 28 15 26 15 26 15 26 15 26 15 26 15 26 15	Fic 1 1/4" St Fic 1 1/4" St Fic 1 1/4" St Fic	ininas Stoel w/ * Notora ininas Stoel w/ * Notora ininas Stoel w/ * Notora ininas Stoel w/ * Notora	Manifold Manifold	7 0 0 2 9
	 Double pane windows U=0.38, SHGC=0.35. R-19 floor insulation and R-19 in between floor insulation. 	-			-			_					_					
	6. (7) Settach heating behindetals because an Architect or Owner, (2) Settach cooling thermoutal location are Architect or Owner. Locations part publications and/or the Controls section of the "Heat Source Sourcement". Per ADA accessibility insulations and ibuildings with 1 or more spacement. Thermoutate will be accessed 49 it access therhard factor.	-	1	HEATING BTU	/HR COD	UNG BTU.	HR (45T A	writ	FA	_		ECTO		OBJE DER DE	_	MANUFACT	IDED	
	shall be located 46° above finished floor. 7. R-veice of Me floors not to exceed 0.5. R-value of hardwood floor areas not to exceed 0.6.	MARK	QNTY	1207F AW1	-	TOTAL	SENSIBLE	E CFM	/GPM	VOLTS GP	U DELTA	LOCATIO	-	DIMENSIONS (Widtad)		AND NOD	NEL.	COMMENTS
	 Ri-6 instuktion between stab and warm board. Air change role = 0.4. 	FC-F1 FC-F2	+	8525 6453	-	3915 3733	3410 3249	207	0.07	-	-	BUILT IN F		7.1×3.9×70.9	_	GA - CLIMA (CLEM.CTOTEOT		0-0
	·····	EC-E3	-	23291	-	3733 13473	3249	+	0.07	120 0.5	-		-	13.4x7.5X47.	_	GA - CLIMA (UAF.01912034		0-0
	SHEET INDEX		HYDRONIC			iut ra	11726	649	0,08	120 1.0	15	BUILT IN FI	UUR	13.4x7.5X110.	. "	GA - CLIMA (NAF.01928034	/2/8NA	0~0
	NO. NOTTS NO.2 NOTTS NO.2 NOTTS NO.2 NOTTS NO.2 TOTS NO.2 2015 LOW-RISE RESPONTAL MANDATORY MEASURES SUMMARY NO.2 2015 NOT REST FLOOR HEATING NO.2 2015 NOT REST FLOOR HEATING NOT	000000	HYDRONIC CONFIRM G COORDINAT ENTERING (PROVIDE SI PROVIDE SI PROVIDE ET ELECTRICIAL CLINA CAN CONTACT J		TRON OF F. TEMPERA T INCLUDE ONNECT S' INAL HYBR JAGA-USA	AN CONVE ITURE 45". IS ALL ELL WITCH FOI RID REQUI	CTORS WITH OUTPUTS R CTRICAL CC LOW VOLT ES 120VAC	FURNITUR RATED AT OMPONENT AGE AND TO EACH BARLOO B	RE LAYO MAX FA S FOR T LINE VO DC POY	UT PER OF N SPEED HE POWER LTAGE IN , WER SUPPL -6262 FOR	NNER/ARC SUPPLY UNCTION Y PRICING	NITECT FOR THE LOW BOX AT EACH	VOLTAGE 1	QUIPMENT, AG	cessories (general co	R COMPONENT NTRACTOR AN	rs D	

CSG CONSULTANTS, INC.

										F	FA	N	IS						ABBREV	IATIO	NS	DUCT SYSTEM INSTALLATION
EE=1 GUEST EE=2 BATH EE=3 POW EE=4 LAUN EE=5 MASTER EE=6 MASTER ① CEC LAQ REQ	CONDENS	ATH	80 (80 (50 (50 (50 (130 (130 (130 (N SENS r STAR	0.25" 0.25" 0.25" 0.25" 0.25" 0.25" 0.25" 0.25" 0.25" 0.25" 0.25" 0.25"	ANCY S KODULE	0.4 0.4 0.4 0.4 0.4 0.5 NODIFY SENSOR TO SA	4 N 4 N 4 N 4 N 4 N 4 N 4 N 4 N 5 N 7. PROV R MODEL ATISFY F 5 BUILT I	NA 1 NA 1 NA 1 NA 1 NA 1 NA 1 NA 1 NUDE M EL // M HUMIDI	V/PH 120/1 120/1 120/1 120/1 120/1 120/1 120/1 120/1 MS=0P DISTAT ACKOR/	RF 11. 11. 11. 11. 11. 11. 11. 11. 11. 11. 11. 11. 11. 11. 11. 11. 11. SPEI SSSAI COP CAFT	PN A 131 1 131 0 131 0 1	0.27 0.27 0.27 0.27 0.27 0.27 0.33 0.27 0.33 R EQ L PET PER	 16 16 16 16 16 16 16 18 19 19 10 1	6.1 6.1 6.1 5.1 5.1 0EL . PER 019 (WATTS 10.2 10.2 10.2 10.2 10.2 10.2 10.2 10.2	LED NICH	CAMELYIS () (2) (3) (4) (3) (3) (4) (1) (2) (4) (1) (2) (4) (1) (3) (4) (1) (3) (4) (2) (3) (4) (3) (4) (3) (4) (4) (4)	AD ACCESS AT ADDK ADDK AT ADDK ADDK AL ADDK ADDK AL ADDK ADDK BD BLACKR BL BD BLACKR BR BR BLACKR BR CAV CC COMM CD CC COLING CM CHILD CR(G) CHR CHILD CHILD CHR	INISIED FLOOR DUNC LANT CAL LINNO CAL LINNO CAL LINNO CAL LINNO CAL LINNO CAL LINNO CAL LINNO CAL LINNO CAL LINNO CAL LINNO REPORT REFORMATION CAL LINNO CAL CALCONCIDENT CAL LINNO CAL CALCONCIDENT CAL LINNO CAL CALCONCIDENT CAL CALCONCIDENT CAL CALCONCIDENT CAL CALCONCIDENT CAL CALCONCIDENT CAL CALCONCIDENT CALCONCIDENT CAL CALCONCIDENT C	М МILINS MIC NIC NIC NIC NIC NIC NIC NIC N	NOTOR NETAL LOUISE WITH WISE WESH SCREDH MISSIWY DO WALL OPDING NORMALLY CLOSED NOT HI CLOWRAFT NECK SJZE NOT HI CLOWRAFT NECK SJZE NOT HI CLOWRAFT NOT TO SCALE OUTSIGE AN INFANCE OPOSOB BLACE DAMPER PUMP PUMPGED CONDENSATE PRESURE REDUCING VALVE RETURN AR RENEAT COL SUMPLY AR SUMAC FET SUMAC FET S	 Deri hotkelmein zur Aufrichen der Der ABSPKE beschlachen & Einstein auf Aufrichen Aufrichen Bereichen auf Aufrichen Bereichen Bereich

 Hentandrati multiprenet and dust openinge shall be protected during storage and rough instabilize per Greets social 4504.1 is produce the announce of dust or delaries which may advant in the system.
 Hentrig, vehileing and air scenditorning systems (including hydronic systems) shall be belanced in acc CNIC Sector 317.1 using the ACCA Maximal B mathod. re 7119

Air for certifustion

MECHANICAL LEGEND

AIR SUPPLY WALL REGISTER (CFM AS SHOWN ON PLAN)

AIR EXHAUST FAN RECESSED FAN DOOR CRILLE OR TRANSFER GRILLE

THERMOSTAT +80°FF NEW DUCT ROUND (SUPPLY)

NEW OUCT ROUND (RETURN)

NEW DUCT SQUARE (SUPPLY)

NEW DUCT SQUARE (RETURN)

DUCT TRANSITION (ROUND OR SQUARE)

MITERED ELBOW WITH TURNING VANES

AIR SUPPLY TOE SPACE REGISTER (CFM AS SHOWN ON PLAN)

AR RETURN AR RETURN WALL GRALE (CFM AS SHOWN ON PLAN) TOEKICK FAN COLL UNIT FOR # INDICATED, SEE HEATING EQUIPMENT LEGEND AIR EXHAUST IN-LINE FAN

HTDRONIC BASEBOARD (SEE HEAT SOURCE SCHEMATIC FOR LENGTH AND HEIGHT)

AR SUPPLY FLOOR/CEILUNG REGISTER (CFM AS SHOWN ON PLAN)

DESCRIPTION

DISTRIBUTION MANIFOLD

SYMBOL

1000

Dec 55

1250 55

0 50

* 55

2~

£ 87/2 -----

-

-

Nua 3

- 117 J - a 4

---- The Accelerations
1. All organization and the balanced on the 2019 Calibrative balanced on Calibrative balanced on the section of t

One from

In the pair of the may assumed mainly ite mays in the maximum bianche-oxing pairs analysis of block, with metheteke two hittings. A property for the pairs of the main strength of the main pairs of th

MAJOR BOUPNESST INSTALLATION

INJURG BOUNDERSTY RETAILLANCE
 Instantion on used and basis and minimum control costs particularly to be including a separative. We determine regarding them structures, for any approvement shall be restration in anotherine with the approvement of the manufactures and the structures and the structure and the structur

TYPE CEILING RETURN CEILING DIFFUSER	REGISTERS MANUFACTURER MODEL TITUS CT-450 3 26 N 00-000 0 TITUS CT-450 3 26 N 00-000 0	COMMENTS (1) (1)
Ceiling Return	MDDEL TITUS CT-480 3 26 N 00-000 0 TITUS CT-450 3 26 N 00-000 0	0
CELUNG DIFFUSER	CT-480 3 26 N 00-000 0 TITUS CT-480 3 26 N 00-000 0	-
	CT-450 3 26 N 00-000 0	0
HIGH SIDE RETURN	TITUS CT-480 3 26 N 00-000 0	0
HICH SIDE SUPPLY	TITUS CT-480 3 26 N 00-000 0	1
TDE KICK	TITUS CT-480 4 26 N 00-000 D	0
LOW SIDE RETURN	TITUS CT-480 3 26 N 00-000 0	0
FLOOR DIFFUSER	TITUS CT-480 6 26 N 00-000 H	0
	TDE KICK LOW SIDE RETURN FLOOR DIFFUSER	HIEH SIDE SUPPLY CT-480 3 26 N 00-000 C TDE MOR CT-480 4 28 N 00-000 C LOW SIDE RETURN CT-480 3 26 N 00-000 C TINS TINS TINS LOW SIDE RETURN CT-480 3 26 N 00-000 C TINS

NOTES

REVISIONS: BY:

MONTEREY ENERGY GROUP CONSulting Mechanical Engineering Consulting Mechanical Engineering University Notes University Notes University Notes

fr. Jallay EXP, MAR 31, 202 CHANICHAN ICH

CORNER OCE, ID SAN ANTON CORRECTION AND BAN ANTON

шΖΫ

z∢

VE.

DRAWN: MEG CHECKED: CHECKED PLE NAME -----MD.2

DATE: 06/01/21 SCALE AS NOTED

BHEET OF BHEETS

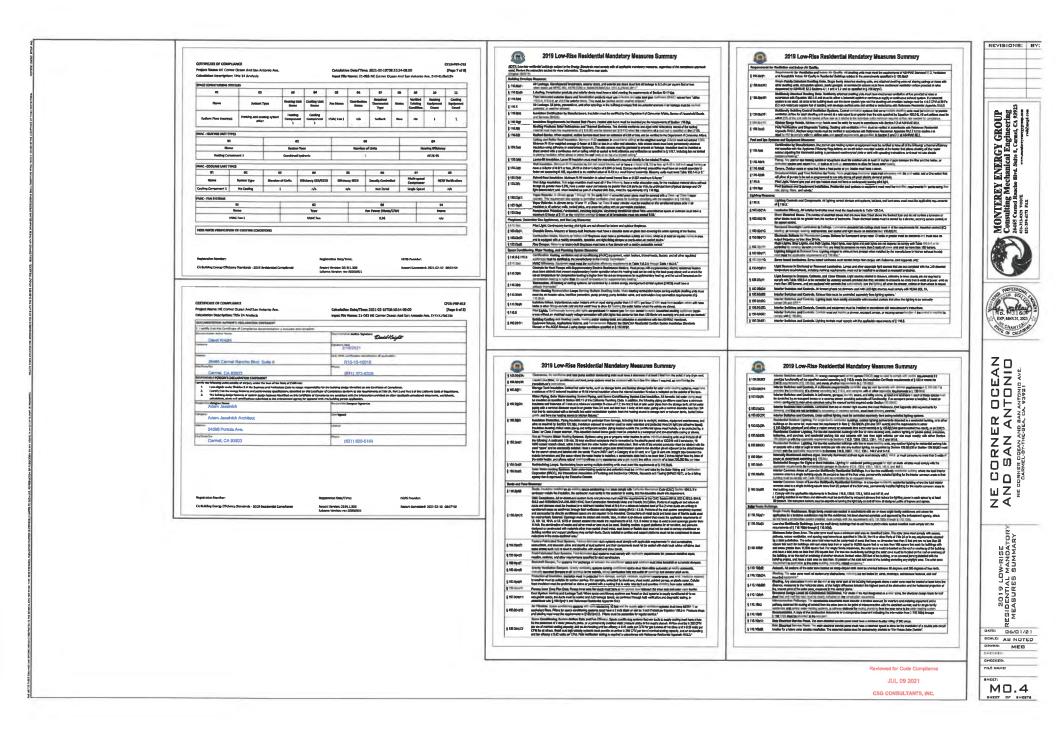
Valid Order Name Long (K) Ball U Balance Stranger (K) Distance Stranger (K)	March March S 1 991 S0 Marc Edit G 2 F runs Atoms In Name S 1 991 S 0 Marc S 0 Ato Ato	Note State Note State Note State Note State A.S. Barl Califiers Criting Third Finand Coding 2:38 (0 11k, 0.C. 3.50 How / How 0.56 B.S.B. Row Coding Rows Coding Wood Finand Row 2:38 (0 11k, 0.C. 5.10 How / How 0.56 B.S.B. Row Coding Rows Coding Wood Finand Row 2:38 (0 11k, 0.C. 6.11 How / How 0.57 B.S.B. Row Coding Conduct Coding Coding Wood Finand Row 2:68 (0 11k, 0.C. 6.11 How / How 1:68 (0 11k, 0.C. B.S.B. Row Coding Coding Coding State Stat
	<text><text><text><text></text></text></text></text>	ENERGY OF COMMENT Defection The data Defection Defection Charles Description Defection </td

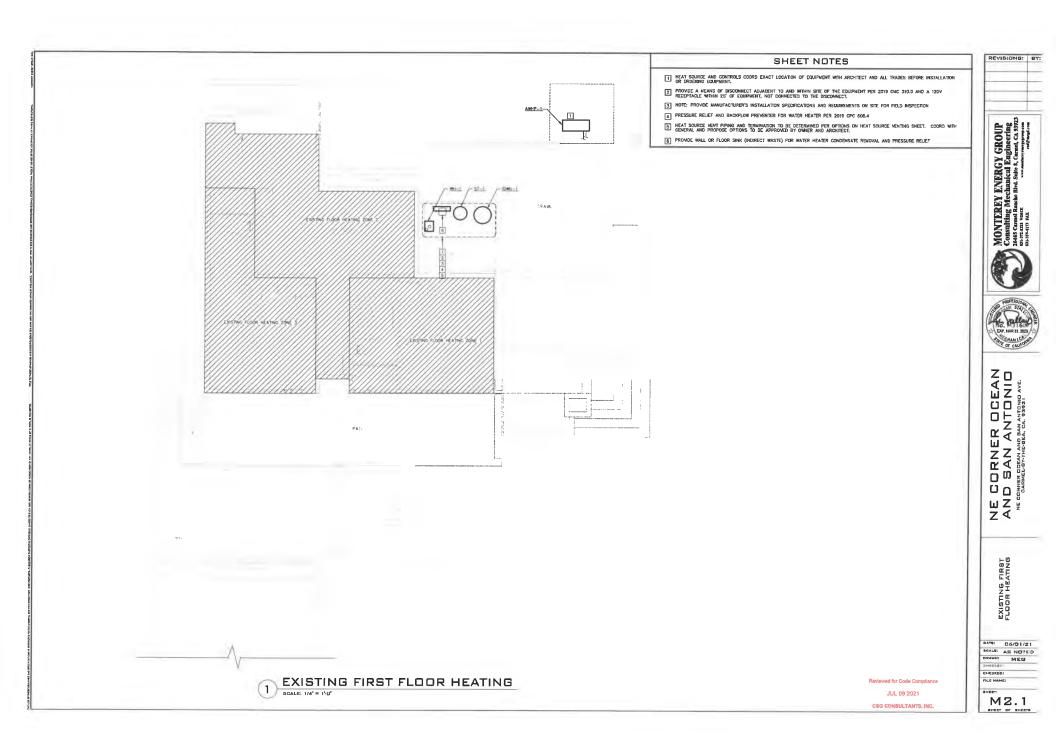
Reviewed for Code Compliance JUL 09 2021 CSG CONSULTANTS, INC.

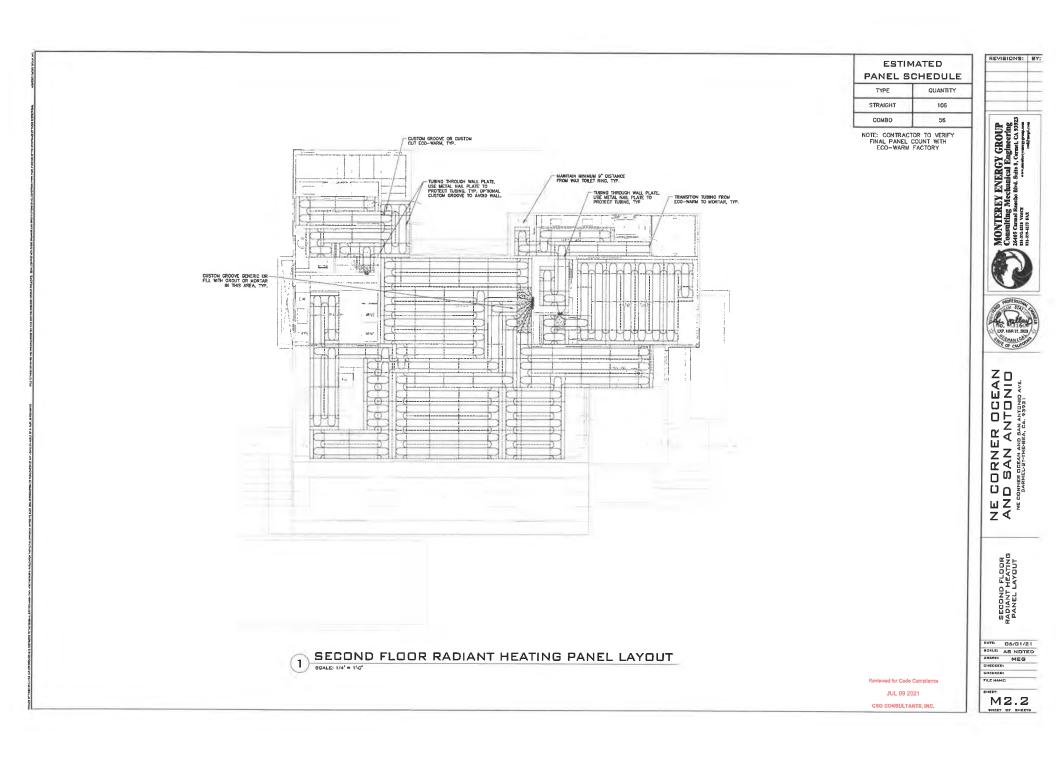
SHEET:

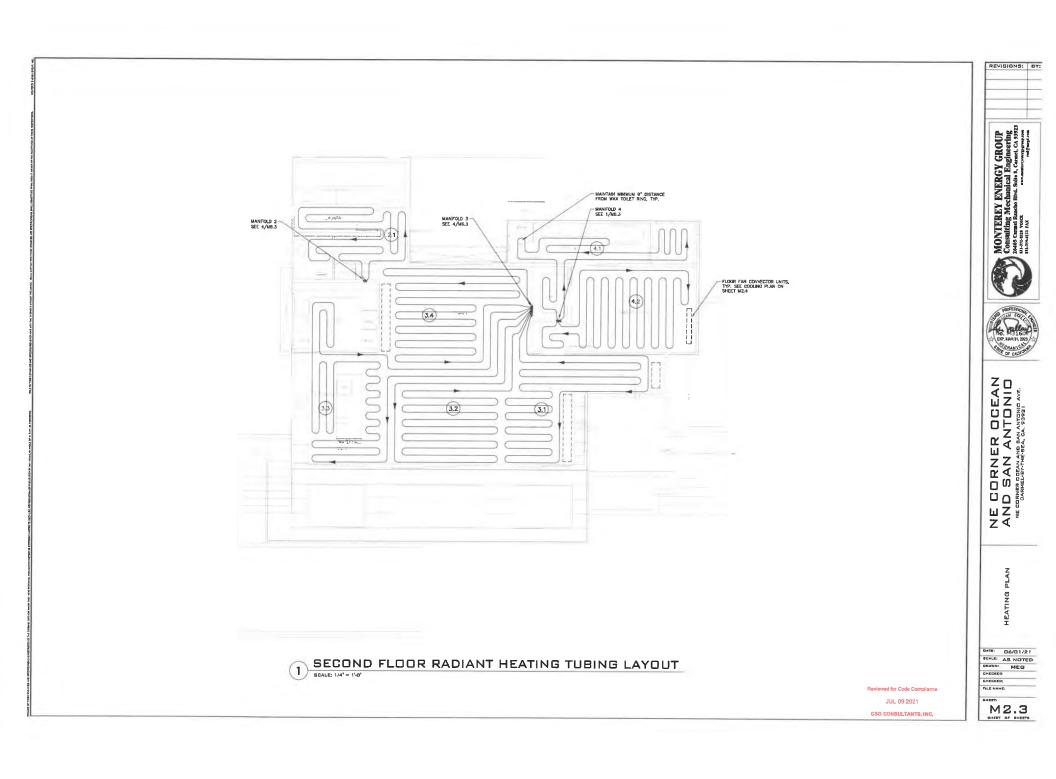
DATE: 05/01/21 BCALD AS NOTED DRAWN: MEG DHECKED: OHECKED:

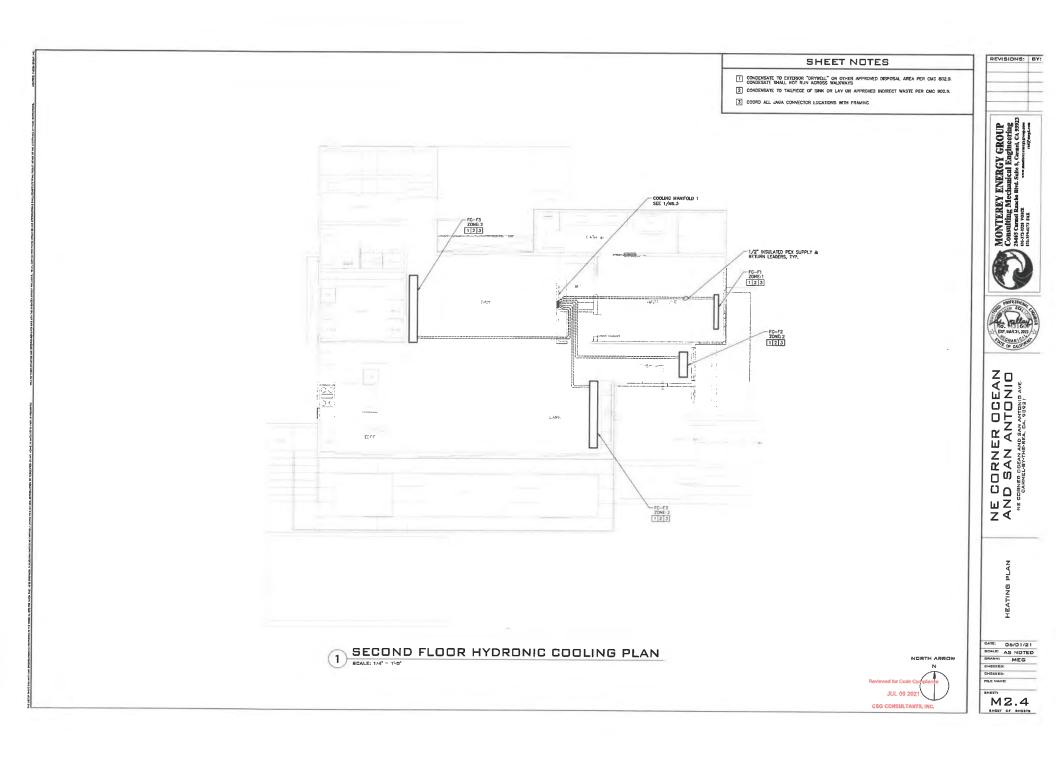
FILE NAME:

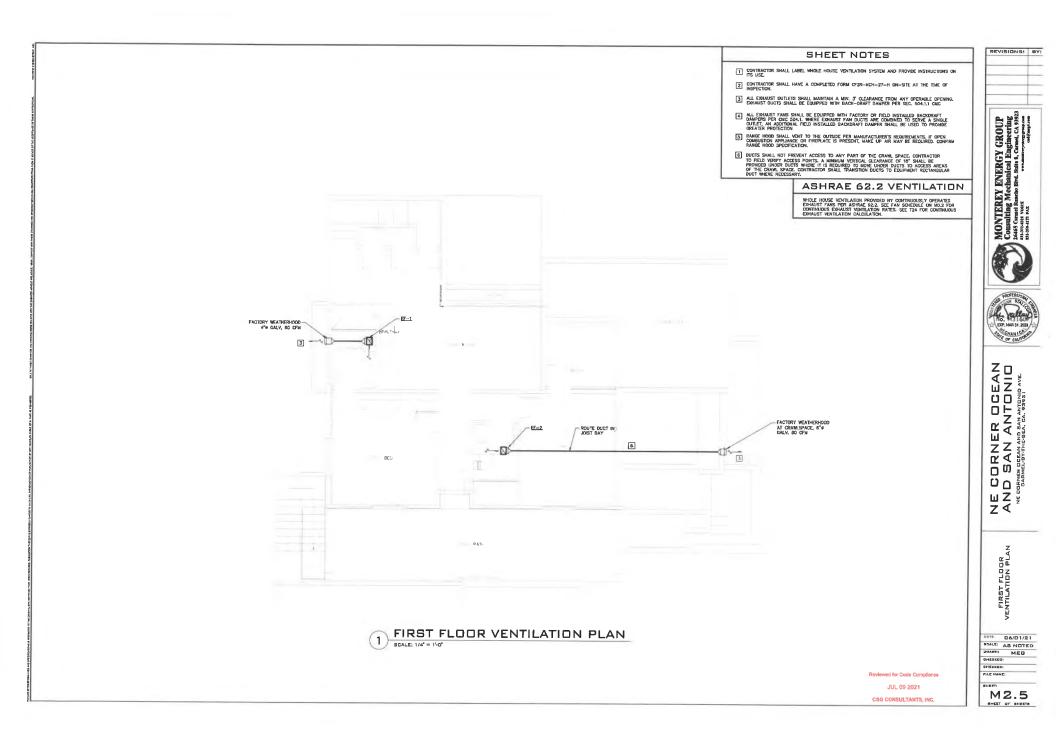


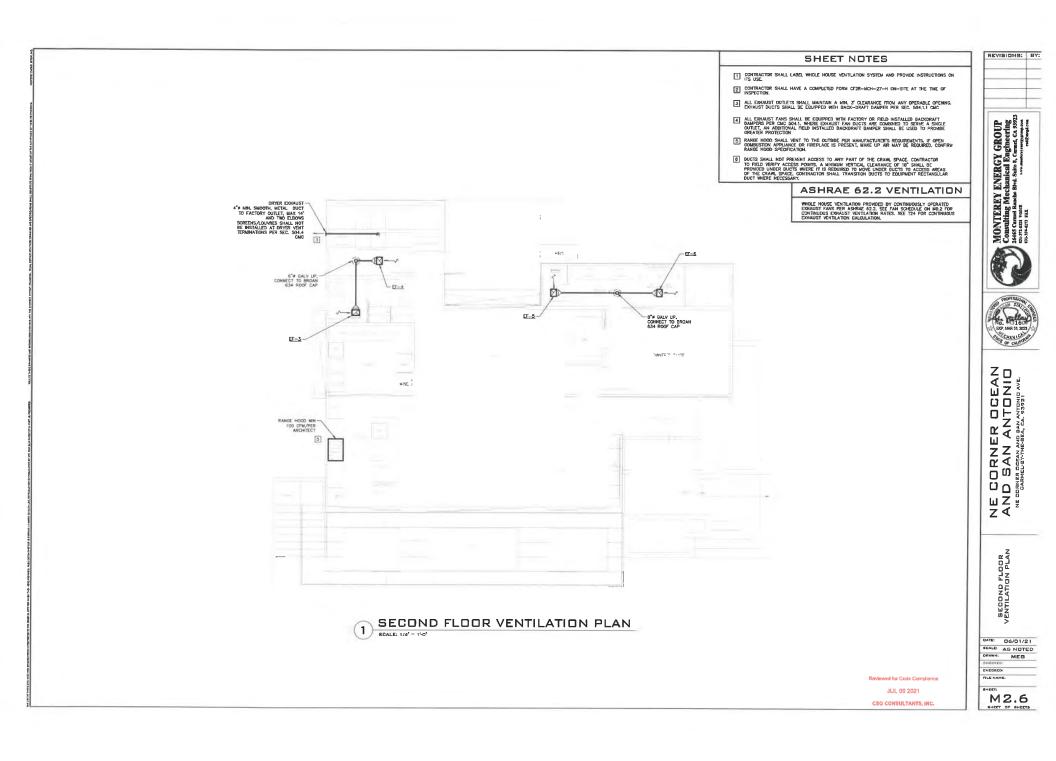


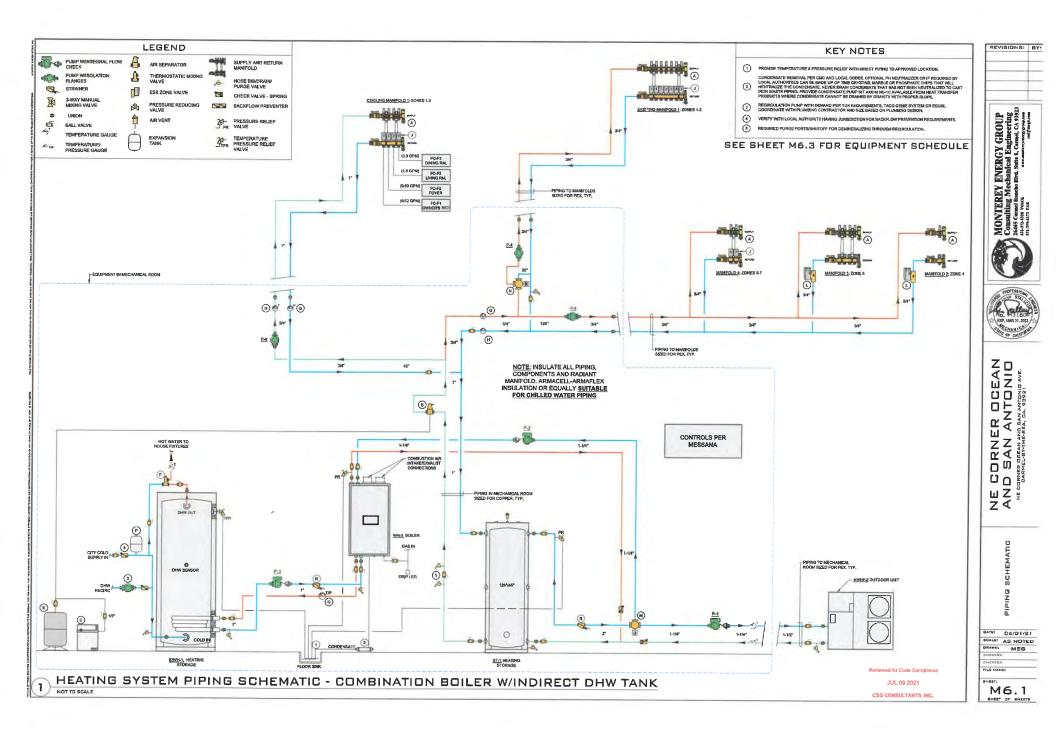




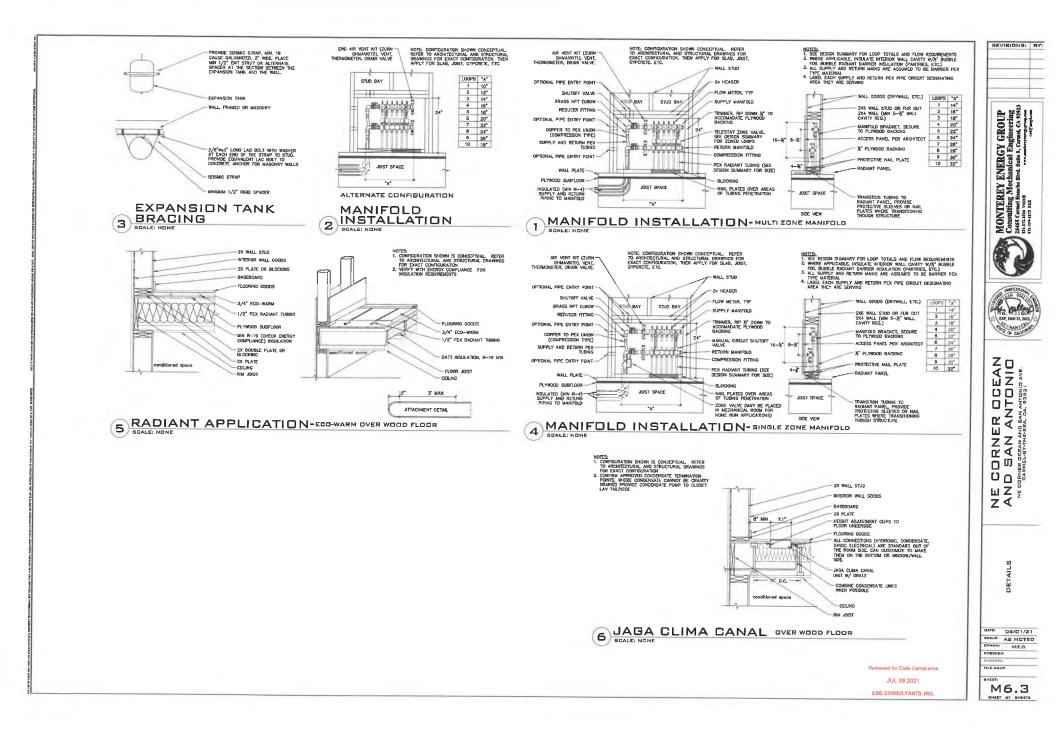


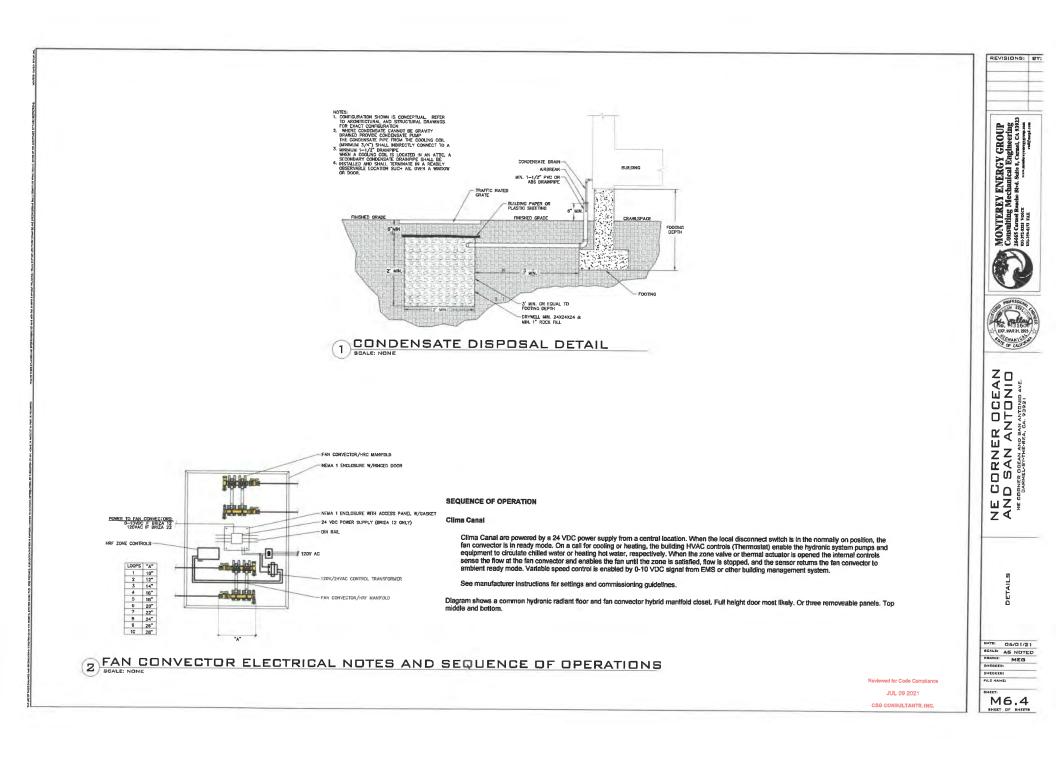


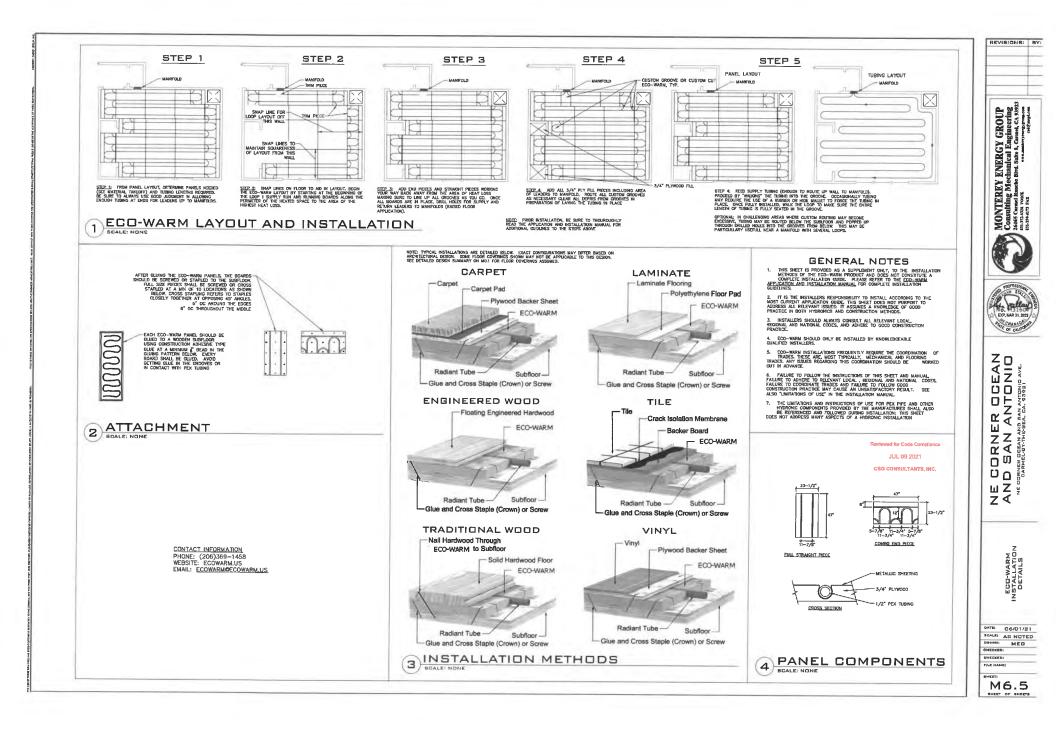




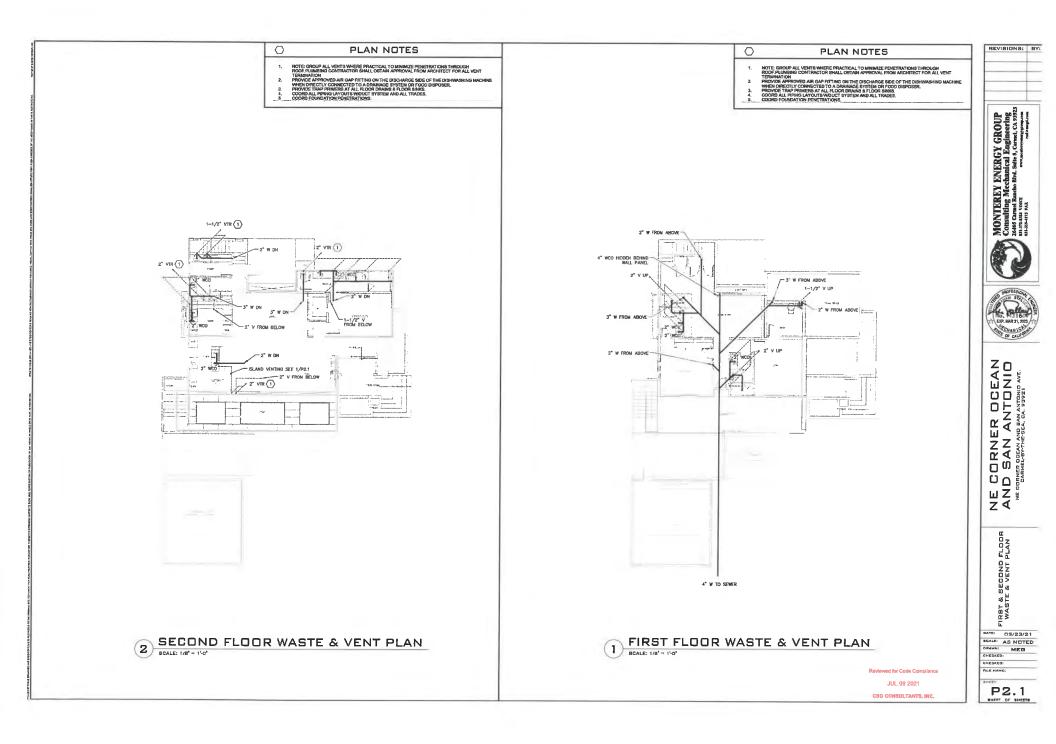
<text><text><text><text><text></text></text></text></text></text>	SHEET NOTES	WATER HEATING DEVICES
<form><text><text><text><text><text><text><text><text></text></text></text></text></text></text></text></text></form>		
<form><list-item><list-item><text><text><text><text><text><text><text><text><text><text><text><text><text><text></text></text></text></text></text></text></text></text></text></text></text></text></text></text></list-item></list-item></form>	1.THE DRAWNING IS CONCEPTUAL AND CARGEMANTC AND DEES HOT CONTINUE A COMPLETE PLAN INSTALLER TO SUPPLY AND INSTALL ALL MATERIALS SHOWN ON THIS PLAN AND ALL OTHERS REEDED TO COMPLETE.THIS INTRACHES STATERALASS, PROVIDE ANY INCEENTIAL MORE INTO INSTANCE OR SPECIFIED.	IN OUT V/PH AMPS CDN. CDN. LBB APD AND MODEL NOTES WH1 155.0 147.3 - - 1/2" 1" 120 96.0 USDUER COMPANY ADDBUL STRUCTURE 81-82
<form><text><text><text><text><text><text><text></text></text></text></text></text></text></text></form>	STOLES. 2.OKLY OUAL PIED PLANERNO GR HEATING TECHNICIAN SHALL INSTALL THE HEATING SYSTEM. 3.NETEX TO ALL MANUARCTURES GADDILING PREYMAINING TO THE INSTALLATION, PROTECTION AND MARTENANCE OF THE IOT WATER GOUGE.	HEAT BOURCE NOTES BI ASPENDED THE BOY THE BOY TO A SEALED COMPLICATION DEPOT VENT INT. OF STATUTE OUT TO A STATUTE
<form><text><text><text><text><text><text><text></text></text></text></text></text></text></text></form>	4. GYSTEN SYALL BE TESTED FOR 30 MIN. AT 100 PSL 8. GYSTEN SYALL BE TESTED FOR 30 MIN. AT 100 PSL 8. WHERE APPLICABLE, GWING CHECK VALVES SHALL BE MOUNTED IN AN UPRICHT POSITION. 6. WHERE APPLICABLE, BENDING A DIRECT AND ADDRESS OF ADDRESS AND AD	
<text><text><text><text><text><text><text></text></text></text></text></text></text></text>	BURSTTUTTONS 7. NRTALLER SHALL ORTAIN AUTHORIZATION FROM THE OWNER AND DESIGN TEAM FOR "OR EQUAL" SUBSTUTIONS ON HEATING SYSTEM COMPONENTS, CONTRACTOR SHALL PROVIDE SUBMITTAL ON	MARK KBTUH ELECTRICAL HW/ WT COP MANUFACTURER NOTES
<text><text><text><list-item><list-item><section-header></section-header></list-item></list-item></text></text></text>	APPROVED MARUFACTURES SUBSTITUTION: BIOILERS -VISISSAM LOCHANNE MIRGHT MARIFOLDS - SHALL BE MR. PEX, UPONOR, AND REHAN COMPATIBLE WITH APPROVED PEX AND PEX-AL-PEX (SEE WIDEMOXING BEEPS EVEN DE MICHAEL (AND REHAN COMPATIBLE WITH APPROVED PEX AND PEX-AL-PEX (SEE WIDEMOXING BEEPS EVEN DE MICHAEL (AND REHAN COMPATIBLE WITH APPROVED PEX AND PEX-AL-PEX	111111 200 460 2007 21 1-1/4 325 4.07 SIM-050 HIHB
<text><text><text><text></text></text></text></text>	COMPONENTS (VALVES, ETC.) - CALEFR, WATTS	
	REQUIREMENTS. SALL ROUTING OF GAS LINE PIPING SHALL BE RARED ON THE CMAPTER 12 OF THE 2016 CALIFORDIA OF LINETING.	
<form><text></text></form>	WEIGHT WROUGHT FROM OR STEEL (EXTENSIONAL COOL OF HIPPIG SHAUL BE NEW, STANDARD WEIGHT WROUGHT FROM OR STEEL (EXTENSIONALY OAL/WALZE OR BURLED HIPPING SHALL BE NEW, STANDARD APPROVED PE (POLY-ETHYLENE) PIPE MAY SE USED IN EXTERIOR BURLED PIPING SYSTEMS.	17991-1 80 794 53,5%297 BURNHAM ALLANCE AURULT
	WITH TREATED WATER, DRAW THE STORE OF UPPERTURE THATER WASHING AND A DRAG AND THE PENNED AND THE PENNED AND THE PENNED AND THE STORE OF UPPERTURE ATTER WASHING MAY BE INCOMENTED AND THE PENNED AND THE	
	DEMINISTALEZE: SYSTEM MAY BE FILLED WITH UNTERATE BOARDE WATER REST AND DEMINISTALEZED BY Registrication through the filter as an optime. 12 provide and pressure par war feeder or court with treated water to matrix by system pressure and pressure par war feeder or court with treated water to matrix by system	3T-1 50 - 518 39-1/2122 CALEFFI NA320050
		HP WPH AMPS (%)
<form></form>		
		P.3 6.0 7.0 TADO 0010-F3-1 IPC 1/8 115/1 1.10 NA P1-P2
		P-8 4.82 18.8 TACO VIR1818-HYL-4C2A00 NA 12011 0,54 NA P1-P2
1 1 1 1 1 1 1 1 1 1 1 1 1 1 <td></td> <td>PLANDARY PLANDA</td>		PLANDARY PLANDA
		SYSTEM COMPONENTS
○ ○		
		B AIR ELIMINATOR TACO 4900 SERIES 49-100
Image: Section 1 Image: Section 2 Image: Section 2 <td< td=""><td></td><td></td></td<>		
○ ITEMPS1018 MLADOO REXENT ITEMPS1018 ○ ITEMPS1018 MLADOO MLADOO REXENT ITEMPS1018 ○ ITEMPS1018 MLADOO MLADOO MLADOO MLADOO ITEMPS1018 ○ ITEMPS1018 MLADOO MLADOO MLADOO MLADOO MLADOO ○ ITEMPS1018 MLADOO MLADOO MLADOO MLADOO MLADOO MLADOO <t< td=""><td></td><td></td></t<>		
Image: Control in the second of the secon		
(R) THANKER THE MULTISS NOTES ALL REGARDLESS AND LED COPER, INPINO TRAM MECHANICAL ROOM TO (R) C. ANTISSAL AND MARK THE STREET (R) C. ANTISSAL AND MARK THE STREET OF AND MARK		
States Compositions and line Control and line		
Roviewed for Code Compliance		SYSTEM COMPONENTS NOTES C1, UNLESS NOTED ALL MECHANICAL ROOM PENG SHALL BE COPPER, PIPING FROM MECHANICAL ROOM TO
Roviewed for Code Compliance		TANA IS ABOVE NOT WATER OUTLET. TANA IS ABOVE NOT WATER OUTLET. C3. VEREY EXPANSION TANK SIZE PER PLUMBING DESIGN, DAW EXPANSION TANK SHALL BE SIZED FOR 8.5 ACCEPTANCE RAIL AND A 1 440 RAIL ON 0.0 FOR THE UNIT UNDE TANK DENING TANK SHALL BE SIZED FOR 8.5 ACCEPTANCE RAIL AND A 1 440 RAIL ON 0.0 FOR THE UNIT UNDE TANK DENING THE DAY THE DETUNE THE AND THE DESIGN OF AND THE OWNER OF AND THE DAY THE DAY THE DETUNE OF A 140 DET
Reviewed for Code Compliance		MAX 20FT SYSTEM PIPING ABOVE INLET TO TANK. SEE MANUFACTURER'S GUIDELINES FOR SLAND OFFERENT THAN THESE PARAMETERS.
Reviewed for Code Compliance		
Reviewed for Code Compliance		
Reviewed for Code Compliance		
Roviewed for Code Compliance		
Reviewed for Code Compliance		
		Reviewed for Code Compliance

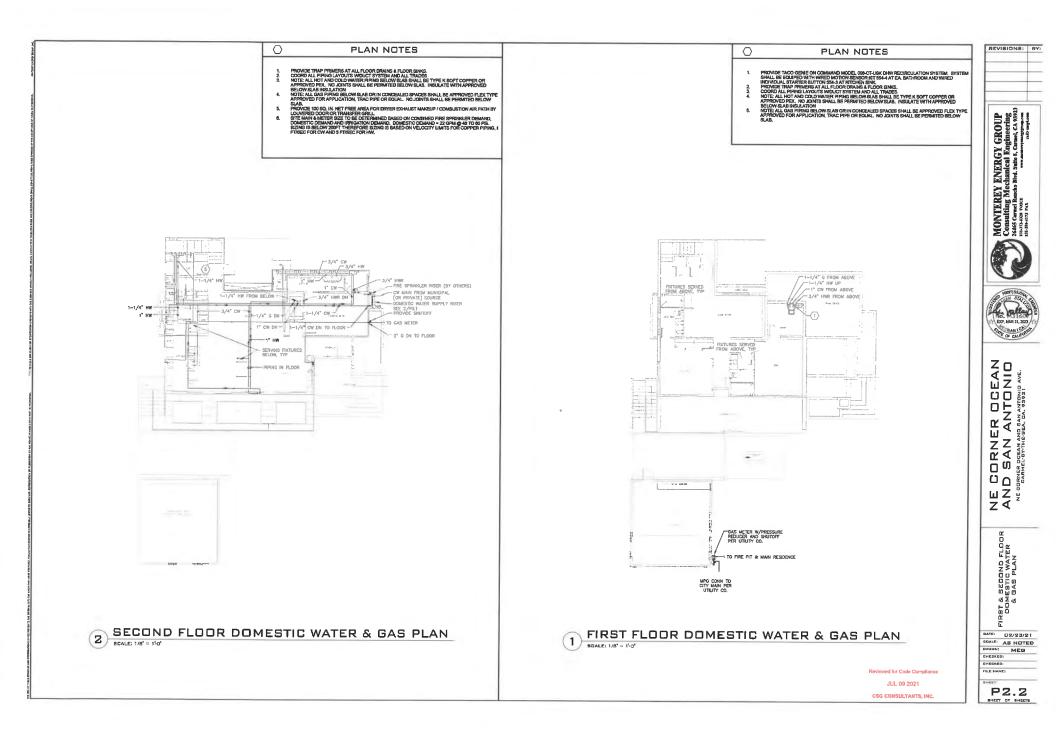


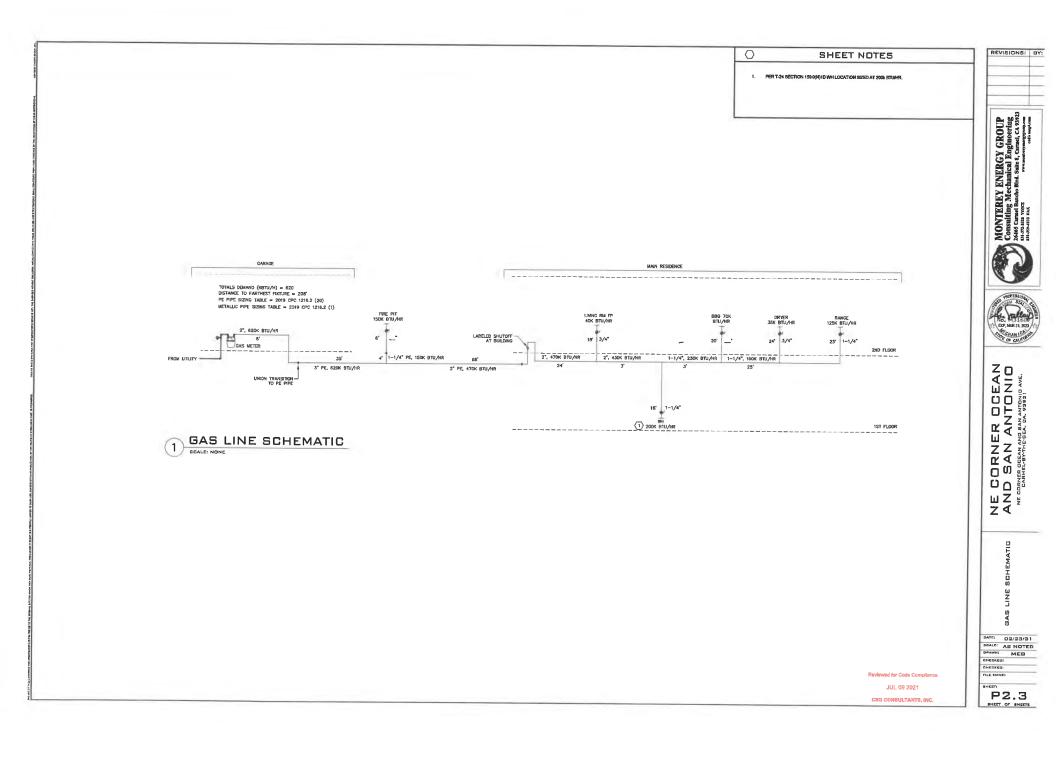




PIPE	INSU		N TH	HICKN	IESS	TABLE		PLI	JMBING	ABBREVIATIONS	PLUMBING SPECIF	ICATIONS	PLUMBING SPECIFICATIONS
FLUID MPERATURE RANGE (°F) RAI Imenoperature recorr 1°F1 BFACI ASDVE 350 0.32 251-350 0.32 201-230 0.27 141-200 0.25	And a where a strength of the product of the p	880 300 900 100 180 100 VATER. REF 100 VATER. REF 100 VATER. REF 100 V 2 100 2 101/21 11/21 101/21 11/22 101/21 11/22 101/22 100 101/23 100 101/24 100 101/25 100 101/25 100 101/25 100 101/25 100 101/25 100 101/25 100 101/25 100 101/25 100 101/25 100 101/25 100 101/25 100 101/25 100 101/25 100 101/25 100 101/25 100 101/25 100 101/25 100 101/25 100	Image: 1 Image: 1 Image: 1 Image: 1<	1 TO-C 1 TO-C	1.a La TGCMEE BALL TGCMEE BALL 1.a La GENCE 1.a La GENCE 1.a La GENCE 1.a La GENCE 1.a La GENCE 1.a La CALL 1.a La		E BAND LARGER NOTHER 3.0 2.0 1.5 1.5	ANGUL - ARCHIELT M3 - ANCHIELT M3 - BRITISH THER CC - CROULTON CONTECTURE CONTECTURE CONTECTURE CONTECTURE CONTECTURE CONTECTURE CONTECTURE CONTECTURE CONTECTURE CONTENT CONTENT <	MAL UNITS PER HOLI DRAIN D GRADE NITARI D WATER BY ABREVIATION KINUTE E GAS ETURN MINUTE E GAS ETURN MINUTE COOF COOF COOF COOF COOF COOF COOF COO	LAV - LAVATORY LIDS - POINDS LIDS - POINDS LIDS - LOCORD ROTOR AND MAX - MADUIN MIC - MADUNA MIC - MADUNA STATUST ST - STATUST ST - STATUST ST - STATUST ST - STATUST ST - STATUST ST - STATUST ST - STATUST MIC - S	 A. General Gondition A. General Gondition A. March shall be inconcenses with the 2018 CPC scale income income in the approximation of approximation o	ejevi alle and acquaint himself with all fram and horizons in By sub-allings a lad, na marhandros, have mecopied auch as in property his proposal. The normality of the sub-alling and the market structure and a lange and the structure of the sub-alling and the sub-alling of all and an ingolutions. Sterio one any auch detective lemma during this PC market structure and an ingolutions in the structure of the sub-alling and the sub-alling of all and the sub-alling and the sub-alling of all and the Boor, mid struy guideline boor, mid struy guideline boor, mid struy guideline boor, mid struy guideline boor, and struy guideline boor, and struy guideline boor, and struy guideline boor, and strug guideline boor and strug guideline boor and strug guideline boor and strug guideline structure structure structure. All structure structure structure structure structure structure structure structure structure structure structure structure. All structure structure structure structure structure structure structure structure structure structure structure structure structure structur	<section-header><section-header><section-header><section-header><list-item><list-item><list-item><list-item><list-item><list-item><list-item><list-item><list-item><list-item><list-item><list-item><list-item><list-item><list-item><list-item><list-item><list-item><list-item><list-item></list-item></list-item></list-item></list-item></list-item></list-item></list-item></list-item></list-item></list-item></list-item></list-item></list-item></list-item></list-item></list-item></list-item></list-item></list-item></list-item></section-header></section-header></section-header></section-header>
							JUL		TRAPS FOR ISL ROUGHED IN A EXTENDING THE DRAIN BOARD AND CONNECTE WITH A FLOOR WITH A FLOOR. THIS I WEANS OF A V FLOOR. THIS I CONNECTES TO (S) ABOVE H	AND SINKS AND SIMILAR EQUIPMENT SHAI SOVE THE FLOOR AND MAY BE VENTED B' VENT AS HIGH AS POSSIBLE, BUT NOT L HECHT. THE VENT IS THEN RETURNED D D TO THE HORIZONTAL DRAIN THROUGH CASE b' AND SHALL IN ADDITION BE I VENT TAKEN OFF THE VENTICAL FIXTURES VENT TAKEN FROM THE VENTICAL FIXTURES FOR THE TOTAL STATES AND SHALL IN ADDITION BE I VENT TAKEN FROM THE VENTICAL FIXTURES FOR THE TOTAL STATES AND SHALL IN ADDITION BE I HOUGH THE ROLF TO THE VENTICAL FIXTURES E FLOOD RIM LEVEL OF THE VENTICAL STATE OFFICIENT VENTS AT A POINT NOT LES E FLOOD RIM LEVEL OF THE FIXTURES SE CONTENT OF VENTS AT A POINT NOT LES CONTENT OF VENTS AT A POINT NOT LES FLOOD RIM LEVEL OF THE FIXTURES SE A, B, AND G ARE Y-BOWNEN FITTING ND FIXTURE VENTING	ESS THAN WWWARD WYFE ROVIDED VENT BY CONNECT TO ORER VENTS THE MAY BE S THAN S THAN	PRESSURE REDUCING V. WATTS M BACKFLOW P ANCHOR PI AUTOMATIC FIRE SPRINKERS BY SLEEVED PENETR THROUGH HARDSCAP FROM SITE MAIN	DET LEZANDE-23 VENTON DUCE VATTS MODEL 719 SHUTCHF PING TO BUILDING OTHER TOTHER TRANSITION POC TO COPPER









It is the new omitability of the Rectrical Contractor to new and understand the following prior to invtaliation of Lighting in documented by Anna Kondolf Lighting Design on this plan:

metor in perform the following: neo twieg plans and documents re-

printin the following: plant and discuss vols relating to Lighting, 0 ×, architectural, mechanical, elect printing third synchronic Vietly all dimensions, spotial segmamants, and points proteit. All where adjustments noc. scarp bettera conflict annes. All major good adjustments of all is in accident weitling port to finalitation. Any gues the 5 submittals and control specifications should be directed to Anne Kondelf

nant shown on this plan, and electrical equal satile lacks. Hechrical particle and prettraining ent shown on the electric o be cerforms disc

care paces interprate partys and optimal systems in syntamic control programming and back calculations to be perform 15.05 filling pring programmars, synda performand by Anna Kondolf Lighting Dankyn are baned en-provider by Acam Jeshick : Architect. Fulhillow plant han e ba-Delignor, Any Junisalari locations based on humiture placement Contractor or Constal

According to the approximation of the provided states of the states of t if Lighting Dusig fer line of a door, window, caper I plan (1/4" = 1"0"). Unit-to other Ons the from the centerline of the jonction box or n anticative lighting plans are not to aem to scale. Lut i lowish the site and itso all teminate locations pric rector is short, by articled to shut the join site price to

cations, and ny cyclind by what Kuddi Tubling Detain are to everified. Standard, and comply with by end na by their the standards of the standard of the Standards of the standards of the standards of the standards of the standard of the Standard of the standards of the standard of the standards of th

Bectric Corle and the Electric Co

rs shall be varify accessed swith proper ventiliation. Lighting Designer to approve all stillers prior to instelliet in Indoor maniferment shall be Gaus Bepgroved. ammon small the akty bacchools with project vestillation. Lighting the approved oppo-tion chains parts to a third within a model of the akty and the lighting the approved oppo-tand type. It makes a consideration, one chains of due to find a third within a the during. Statist Line and the akty and the statist and the statist of the akty and the website bendly within a the akty and the statist and the statist of the akty and the statistical statistical and the statistical and the statistical and the statistical and the statistical statistical and the statistical and the statistical and the statistical chains. In the statistical and the statistical and the statistical and the statistical and the statistical chains.

ad by Lighting Designer. Install Cont. ols p-locations prior to installation of " above the finished floor to the center 31. APJ University available interface to a shell be mean-1-4.2° above the flow-bend problem of problem of the control & & Howevers & Keyapad mail the emanths of 2° above the flow of the control & & Howevers & Keyapad mail the beaution of 2° above. An explosion of the control & Charles and Charles and

es shall consty with 2019 Coli formin This 24 n. six-ential rupsfattons. All permanene to high sillicar on have excitted high efficient Add.2009 Lumps installation. Denors ensence configured to oversica an manareat on/auto of 34 killicartisti al high-s hand Highth publicits, six-fights, kambainen in clover s 7 to suam 6-e-, hankers, co giftman much beautined segmentative and along byforg systems. Al loast on

bary of the upper cabinet, directly behind the feycla

m depth wallable for the recessing of luminalms (stree neowindess have been is and space consum 5d by pluming, HVAC, insulation, vitr) shall be determined for Contractor, or Project Manager, and shall notify Lighting Dx-Vgnor if the

cellings shall be railed for zero clearance insult title winfold Contractor shall first ensure that its 8, Val. 5 This howing of the luminal e shall an altight construction ing and coding and at any air loak paths between consistence ing fulfield in the comply, Electrical Continuetura shall notify a in the codinates with a restricted. Foreinaud Contractor are not in the codinates with an entiticated Foreinaud Contractor and a the codinates with an entiticated Foreinaud Contractor and and the codinates with an entiticated Foreinaud Contractor and the entities of the codinates with an entiticated Foreinaud Contractor and the entities of the codinates with an entities of Foreinaud Contractor and the entities of the codinates with an entities of Foreinaud Contractor and the entities of the codinates with a second codinates with a second codinates of the entities of t used. If appre n shall be valtable for seel or siams locations as approv

assion. Solver in the worker right to make mean account is "Artilians and discuss-st with the Ejectricaj Cont Becked by the alturations. etings, designs or any other material submitted which feild means as all user instant of to the solve is kine, with the NE Corner of Ocean and San Antor 5 - os by any method, whethur whole -r in print, w

LIGHTING LEGEND FIXTURE TYPE SWITCH GROUP & DAD NUP IBER

ROLLER SHADE/SOLLER BLACKOUT MOTOR LOAD NUMBER

15 UGHTING SYSTEM KEYPAD RECESSED FUTURE

WALL MOUNTED FIXTURE ю-÷. CELLING MOUNTED FUTURE

CRUNG RECESSED FORTURE p

• PENDANT FLKTLIRE ŏ, RECESSED INTERIOR ACCENT LIGHT

RECESSED TRAMLESS TRACK

RECESSED LINEAR FIXTURE

SURFACE MOUNT LINEAR FIXTURE

------ LED STRIP LIGHTING

CLOSET LED STRIP LIGHTING

VERTICAL MOUNT STRIP LIGHT UNEAR FISER OPTIC

FIBER OPTIC ILLUMINATOR BOX

Ē. Ð SURFACE MOUNTED PADDLE FAN

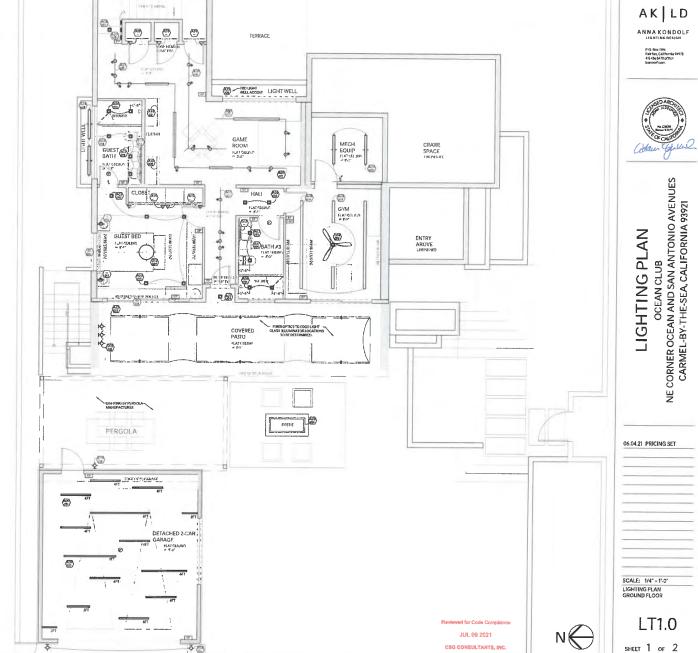
EXTERIOR BISTRO STRING LIGHTS \$.\$

ж. WALL OR RISER RECESSED STEP LIGHT

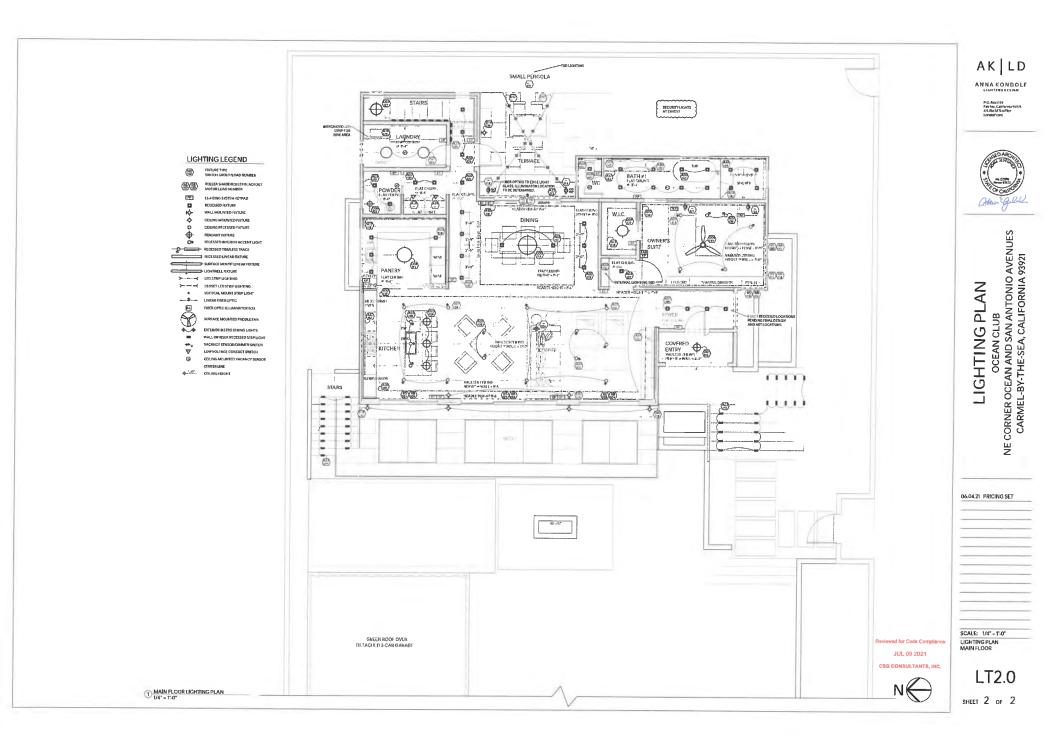
*, ⊽ VACANCY SENSOR/DIMMER SWITCH LOW VOLTAGE CONTACT SWITCH

ø CEILING MOUNTED VACANCY SENSOR

CENTERLINE



GROUND FLOOR LIGHTING PLAN
 1/4" = 1'-0"





CONSTRUCTION BEST MANAGEMENT PRACTICES (BMPs)

Construction Projects Are Required to Implement the Stormwater Best Management Practices (BMPs) on this Page, as they Apply to Your Project, All Year Long.



MATERIALS & WASTE MANAGEMENT

Non-Hazardous Materials

Berm and securely cover stockpiles of sand, dirt, or other construction materials with tarps when rain is forecast or if stockpiles are not actively being used. For best results. this should be done at the end of the work day throughout construction when feasible. Use (but don't overuse)

reclaimed water for dust control.

Hazardous Materials

- Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations
- C Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast
- G Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- Arrange for appropriate disposal of all hazardous wastes,

Construction Entrances and Perimeter

Establish and maintain effective perimeter controls and stabilize all construction entrances and evite to

Sweep or vacuum any street Maintenance and Parking tracking immediately and Designate an area, fitted with secure sediment source to appropriate BMPs, for vehicle prevent further tracking. Never and equipment parking and hose down streets to clean up storage. tracking.

Waste Management

- The California Green Building Code requires all permitted residential and non-residential construction, demolition and additions/alterations projects to recycle or salvage a minimum 65% of nonhazardous construction materials from the project.
- Cover waste disposal C If vehicle or equipment containers securely with taros cleaning must be done onsite. at the end of every work day and during wet weather. Clean or replace portable
- toilets, and inspect them frequently for leaks and spills. Incorporate secondary containment and locate them away from storm drain inlets.
- Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste (the Monterey Regional Waste Management District offers a Household Hazardous Waste Facility that accepts these items).
- clean with water only in a bermed area that will not allow rinse water to run into gutters. streets, storm drains, or surface waters. Do not clean vehicle or

waste

D Perform major maintenance,

repair jobs, and vehicle and

equipment washing off site.

maintenance must be done

away from storm drains and

over a drip pan big enough

to collect fluids. Recycle or

dispose of fluids as hazardous

onsite, work in a bermed area

If refueling or vehicle

equipment onsite using soaps. solvents, degreasers, steam cleaning equipment, etc. □ Inlet protection is the last

or safety.

line of spill defense. Drains/ inlets that receive storm water must be covered or otherwise protected from receiving sediment/dirt/mud. other debris, or illicit discharges, and include gutter controls and filtration where applicable in a manner not impeding traffic

MANAGEMENT & SPILL CONTROL

Erosion Control

C Schedule grading and excavation work for dry weather only. Stabilize all denuded areas.

- Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are Clean up spills or leaks
- immediately and dispose of cleanup materials properly (see the Monterey Regional Waste Management Districts guidelines for accepting hazardous waste materials). Do not hose down surfaces where fluids have spilled. Use dry cleanup methods

Spill Prevention and Control

C Keen spill cleanup materials

available at the construction

(rags, absorbents, etc.)

site at all times

made

EOUIPMENT

- (absorbent materials, cat litter, and/or rags). Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them Clean up spills on dirt areas
- by digging up and properly disposing of contaminated soil (see the Monterey Regional Waste Management District's Contaminated Soil Acceptance Criteria).
- C Report significant spills immediately. You are required by law to report all significant releases of hazardous materials. including oil. To report a spill: Dial 911.



EARTHWORK & CONTAMINATED SOILS

install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.

Seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.

Sediment Control Protect storm drain inlets. gutters, ditches, and drainage courses with appropriate BMPs, such as gravel bags. inlet filler, berms, etc.

Prevent sediment from migrating offsite by installing and maintaining sediment controls, such as fiber rolls, silt fences, or sediment basins. Keep excavated soil on the site

where it will not collect into the street Transfer excavated materials to dump trucks on the site, not in

the street. If any of the following conditions are observed test for contamination and contact the Monterey County Environmental Health Department, Regional Water

Quality Control Board, and

local municipal inspector.

· Unusual soil conditions.

discoloration, or odor



PAVING/ASPHALT WORK

Avoid paving and seal coating in wet weather, or when rain is forecast before fresh pavement will have time to cure. Cover storm drain inlets and

manholes when applying seal coat, tack coat, slurry seal, fog seal, etc. Collect and recycle or appropriately dispose of excess

abrasive gravel or sand. Do NOT sweep or wash it into putters

down fresh asphalt or concrete navement

Sawcutting & Asphalt/Concrete Removal

Completely cover or barricade storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.

Protect storm drain inlets, gutters, ditches, and drainage courses with appropriate BMPs, such as gravel bags, inlet filters, berms, etc.

Shovel, abosorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).

If sawcut slurry enters a catch basin, clean it up immediately.



CONCRETE, GROUT & MORTAR APPLICATION

Store concrete, grout and mortar Painting cleanup under cover, on pallets and away Never clean brushes or rinse from drainage areas. These materials must never reach a storm drain.

Wash out concrete equipment/ G For water-based paints, paint trucks offsite or in a contained area, so there is no discharge into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage. For oil-based paints, paint out

washing exposed aggregate concrete and remove it for appropriate disposal offsite.



LANDSCAPE MATERIALS

Contain stockpiled landscaping materials by storing them under tarps when they are not actively being used. Stack erodible landscape material on pallets. Cover or store these materials when they are not actively being used or applied.

Discontinue application of any crodible landscape material within 2 days before a forecast rain event or during wet



PAINTING & PAINT

REMOVAL

paint containers into a street.

gutter, storm drain, or surface

possible. Rinse to the sanitary

sewer once you have gained

permission from the local

out brushes to the extent

waters.



DEWATERING

Effectively manage all run-on, all runoff within the site, and all runoff that discharges from the site

Divert run-on water from offsite away from all disturbed areas or otherwise ensure protection of its water quality for compliance.

When dewatering, notify and obtain approval from the local wastewater treatment authority. municipality before discharging Never pour paint down a drain water to a street gutter or storm drain, Filtration or diversion through a basin tank or sediment trap, and/or disposal in

whether testing is required

and how to interpret results.

Contaminated groundwater

site for proper disposal.

must be treated or hauled off-

brushes to the extent possible and clean with thinner or sanitary sewer may be required. solvent in a proper container. Filter and reuse thinners and □ In areas of known solvents. Dispose of residue and contamination, testing is unusable thinner/solvents as required prior to reuse or hazardous waste. discharge of groundwater. Consult with the Engineer and Paint Removal municipal staff to determine

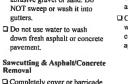
Chemical paint stripping residue and chips and dust from marine paints or paints containing lead or tributyltin must be disposed of as hazardone waste

Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.

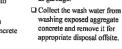
Reviewed for Code Compliance

JUL 09 2021

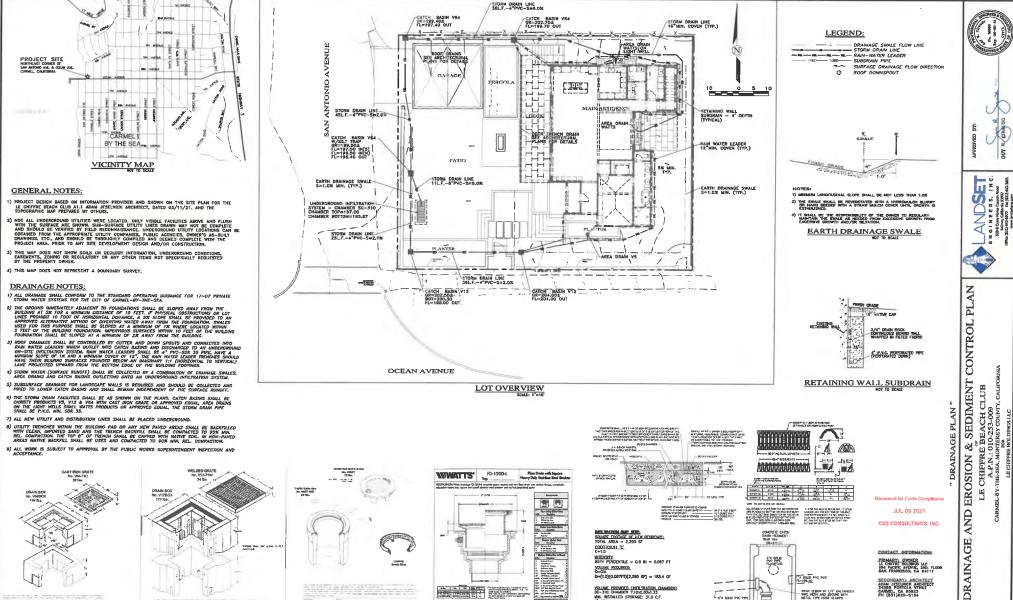
CSG CONSULTANTS, INC.











V12 OPUAIN BOX

VOI BOD

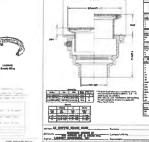
Oldcastie Precani*

VIZ DRAN BOX

Oldcastle Precest" -

VH DRAIN BOX 18-345" x 18-345

astle Procast



STIMPITS.

SCHOOL ST

Contraction of the second second

INTENSITY BSTH PERCENTILE = 0.5 M = 0.007 FT VOLUNE REQUIRED. 0=(1.0)(0.08777)(2.290 SF) = 153.4 CF To SOLD PHE PIPE VOLIME PROVIDED (INFILTRATION C) SC-310 CHAMPER 7 12/2 43/1 33 ----WRAP ELBOW IN 1/4" GALVANZE WRE HESH AND SECURE WITH METAL TYPE HOSE CLAMPS MIM. INSTALLED STORAGE: 31.0 C.F. 6" STONE AROUND & 0.4 VOID RATIO 5"# SOLID PVC PIP SLT TRA NUTERATION RATE: 3 IN/AR AREA TO INFLITRATE: 31.1 SQ.FT. V=31.1x(0.25/HB)=7.78 C.F./AR VOL INFLITRATED ON 24 HRS.=186.6 C.F. TOTAL VOLUME PROVIDED = 217.8 C.F.

INFILTRATION SYSTEM - ADS CHAMBER SC-310

195.4

CONCRETE BASE

SECONDARY, ARCHITECT ADAM JESELNICK ARCHITECT 24398 PORTOLA VENUE CARMEL, CA 95923 PH (831)820-5184

06/08/21 AMS BELEASED TO CLIENT

NO. DATE BY

SITE LOCATION; NORTHEAST CORNER OF SAR ANTONIO AVE. & OCEAN AVE. CARAEL-BY-THE-SEA, CA 93921

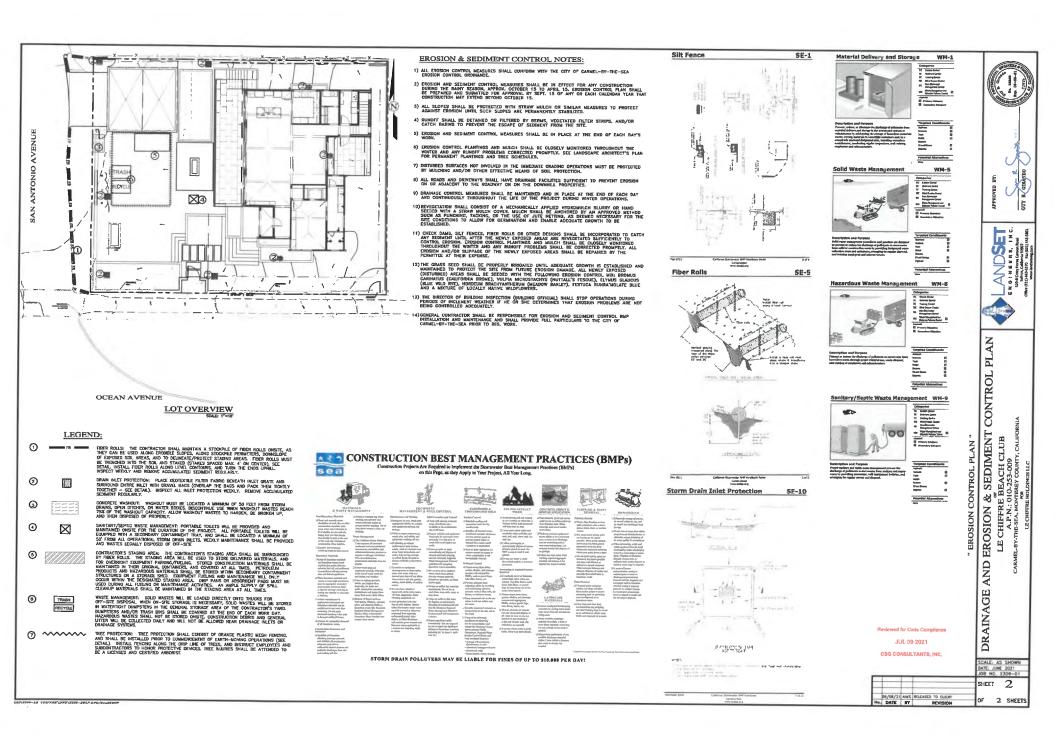
REVISION

SCALE: AS SHOWN DATE: JUNE 2021 JOB NO. 2309-01

2 SHEETS

SHEET 1

OF



From: Quinn, Heidi A. Sent: Friday, October 29, 2021 5:28 PM To: 'Brandon Swanson' Cc: Kemp, Christine Subject: RE: Request to Stop Work Importance: High

Brandon,

These plans don't align with the project the Planning Commission approved in February. At that meeting, the Commission expressly limited the plate height to 19' (Condition #33). These plans exceed the plate height. The plans also exceed the approved roof line by more than 1'4" – without the installation of final materials. The roof is not to exceed 23'.

Our client brought this discrepancy to the City's attention more than three weeks ago, and yet the construction continues. The construction needs to stop. The roof needs to be lowered to the Commission-approved plans.

Please let me know how the City will proceed.

Best Regards,

Heidi A. Quinn

NOLAND, HAMERLY, ETIENNE & HOSS

A Professional Corporation 333 Salinas Street

P.O. Box 2510

Salinas, CA 93902

(831) 424-1414 ext. 219

(831) 424-1975 (fax)

HQuinn@nheh.com

www.nheh.com

On Mon, Nov 1, 2021 at 2:55 PM Quinn, Heidi A. <HQuinn@nheh.com> wrote:

Good afternoon,

I'm following up on the email we sent Friday afternoon.

In addition to the questions we have about the elevation that differs and exceeds what was approved by the Planning Commission, we have not received sheet C1.1 (referenced by Whitson Engineers in its letter). We also request sheet C1.1 and a copy of the Topographic Site Survey for this project.

We look forward to your response.

Heidi A. Quinn

NOLAND, HAMERLY, ETIENNE & HOSS

A Professional Corporation 333 Salinas Street

P.O. Box 2510

Salinas, CA 93902

(831) 424-1414 ext. 219

(831) 424-1975 (fax)

HQuinn@nheh.com

www.nheh.com

Attachment 1

From:	Brandon Swanson <bswanson@ci.carmel.ca.us></bswanson@ci.carmel.ca.us>
Sent:	Monday, November 1, 2021 3:33 PM
То:	Quinn, Heidi A.
Cc:	Kemp, Christine; Marnie R. Waffle; Bo Grunde; Jermel Laurie; Sullivan Carey-Lang
Subject:	Re: Request to Stop Work - Follow up

Heidi,

Thanks for your time on the phone just now, it was good to sort of "meet" you. Please stop by City Hall one of these days and say hello.

As I mentioned, I will not be placing a stop work order on the project at this point. The reason is we are in productive conversations with the applicant's contractor and are working through any potential modifications that need to be made to bring the height of the ridges and plates into conformance with approved plans. Our practice is to only issue stop work orders as a means of elevated enforcement when an applicant is not working with the City, or in cases of immediate danger relating to life, health and safety. We have asked the contractor to not perform any more work on the subject portion of the house while we work on a solution. This practice allows construction on the rest of the property to continue, which helps to prevent construction projects from languishing unfinished, which can already be a problem around town. Rest assured though, that if we are not receiving cooperation from the property owner to resolve an issue, or if a dangerous situation presents itself, a stop work order will be issued.

As to your request for the additional materials, I will work with our staff to get you the approved versions ASAP.

Take care,

-Brandon

Brandon Swanson [he, him, his] Director, Community Planning and Building City of Carmel-by-the-Sea (831) 620-2024

×	fy stepsoner per pin ets Terrar Band	 _

Good morning Brandon,

Do you have time to chat briefly today?

Heidi A. Quinn

NOLAND, HAMERLY, ETIENNE & HOSS

A Professional Corporation 333 Salinas Street

P.O. Box 2510

Salinas, CA 93902

(831) 424-1414 ext. 219

(831) 424-1975 (fax)

HQuinn@nheh.com

www.nheh.com

From: Brandon Swanson [mailto:<u>bswanson@ci.carmel.ca.us</u>] Sent: Friday, November 12, 2021 8:40 AM To: Quinn, Heidi A. Subject: Re: NEC Ocean and San Antonio

I could chat at 11am?

-Brandon

Brandon Swanson [he, him, his]

Director, Community Planning and Building

City of Carmel-by-the-Sea

(831) 620-2024

On Fri, Nov 12, 2021 at 8:44 AM Quinn, Heidi A. <<u>HQuinn@nheh.com</u>> wrote:

Good morning,

÷

Great. I will call you at 11:00. Is the number below the best way to reach you?

Heidi A. Quinn

NOLAND, HAMERLY, ETIENNE & HOSS

A Professional Corporation 333 Salinas Street

P.O. Box 2510

Salinas, CA 93902

(831) 424-1414 ext. 219

(831) 424-1975 (fax)

HQuinn@nheh.com

www.nheh.com

From:	Brandon Swanson <bswanson@ci.carmel.ca.us></bswanson@ci.carmel.ca.us>
Sent:	Friday, November 12, 2021 8:49 AM
То:	Quinn, Heidi A.
Subject:	Re: NEC Ocean and San Antonio

Follow Up Flag: Flag Status: Follow up Flagged

Best to call my cell. 831-402-1381

-Brandon

Brandon Swanson [he, him, his] Director, Community Planning and Building City of Carmel-by-the-Sea (831) 620-2024

×

Attachment 1

Attachment 1

Good morning,

Please keep us informed of any submittals, applications or activity on the property at the NEC of Ocean and San Antonio.

Much appreciation in advance,

Heidi A. Quinn

NOLAND, HAMERLY, ETIENNE & HOSS

A Professional Corporation 333 Salinas Street

P.O. Box 2510

Salinas, CA 93902

(831) 424-1414 ext. 219

(831) 424-1975 (fax)

HQuinn@nheh.com

www.nheh.com

From:Brandon Swanson < bswanson@ci.carmel.ca.us>Sent:Thursday, November 18, 2021 1:42 PMTo:Quinn, Heidi A.Cc:Marnie R. WaffleSubject:Re: NEC Ocean and San Antonio

Heidi,

Will do.

-Brandon

Brandon Swanson [he, him, his] Director, Community Planning and Building City of Carmel-by-the-Sea (831) 620-2024

22 ×

On Mon, Dec 6, 2021 at 11:56 AM Quinn, Heidi A. <<u>HQuinn@nheh.com</u>> wrote:

Good morning,

We noticed that the applicant is continuing construction on the western elevation.

Has the City confirmed the applicant's compliance with Condition No. 33 regarding the restriction on plate height?

Best Regards,

Heidi A. Quinn

NOLAND, HAMERLY, ETIENNE & HOSS

A Professional Corporation 333 Salinas Street

P.O. Box 2510

Salinas, CA 93902

(831) 424-1414 ext. 219

(831) 424-1975 (fax)

HQuinn@nheh.com

From: Brandon Swanson [mailto:bswanson@ci.carmel.ca.us] Sent: Monday, December 6, 2021 12:02 PM To: Quinn, Heidi A.; Marnie R. Waffle Cc: Kemp, Christine Subject: Re: NEC Ocean and San Antonio

Heidi,

Could you be a little more specific please about which part of the western elevation you're talking about? They are allowed to work on portions of the home on the western elevation, just not the roof and ridge section that was determined to be over height unless that work is to bring it into conformance.

As I mentioned to you last week on the phone, we have received email confirmation from the property owner that they have ordered new structural material which will allow them to being the ridge and plate height down to the elevation approved by the Planning Commission. When those materials come in, they will obviously need to do work on the subject portion of the home.

-Brandon

Brandon Swanson [he, him, his]

Director, Community Planning and Building City of Carmel-by-the-Sea (831) 620-2024

×

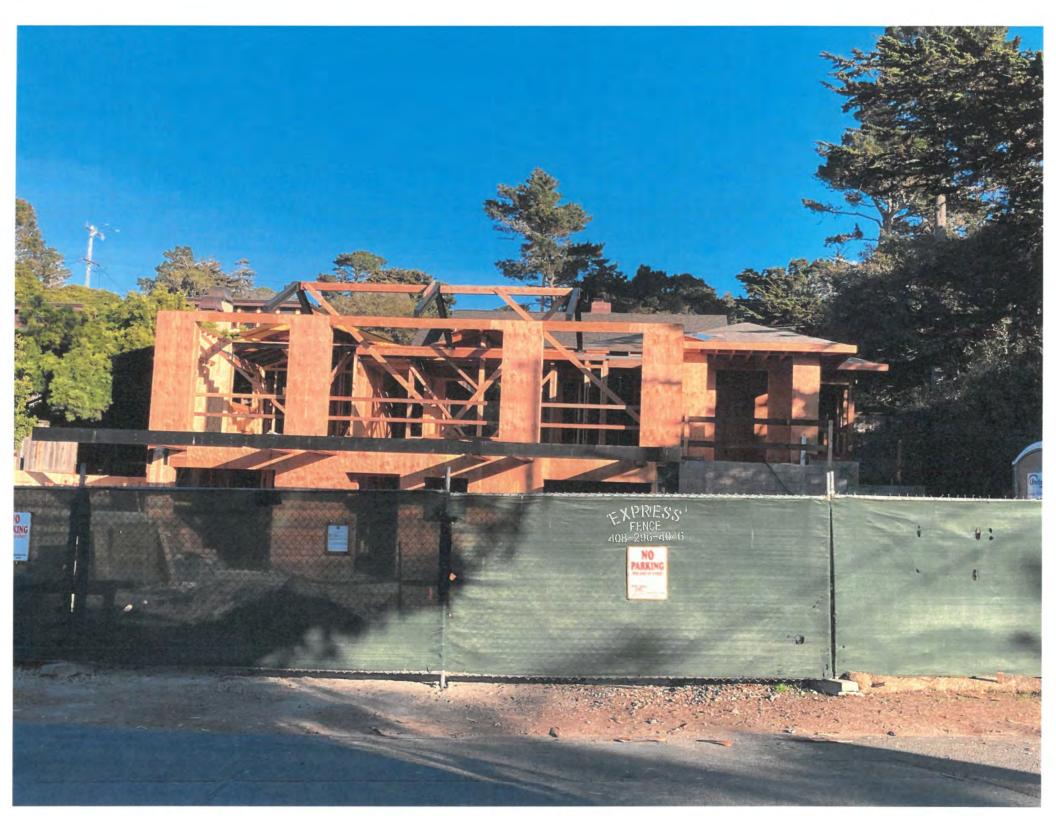
From:Quinn, Heidi A.Sent:Monday, December 6, 2021 1:55 PMTo:'Brandon Swanson'; Marnie R. WaffleCc:Kemp, ChristineSubject:RE: NEC Ocean and San AntonioAttachments:796F15A5-A5AA-4623-BCEE-13A3AF6E2978.jpeg; C4DF17C5-1D29-45DE-B0F8-
AF0C72AA6292.jpeg

Good afternoon,

It appears that the applicant is continuing construction, which reinforces the plate height. The first photo is from November, the second from a few days ago. I thought the plate height was going to be lowered?

Heidi A. Quinn NOLAND, HAMERLY, ETIENNE & HOSS A Professional Corporation 333 Salinas Street P.O. Box 2510 Salinas, CA 93902 (831) 424-1414 ext. 219 (831) 424-1975 (fax) HQuinn@nheh.com www.nheh.com





From:	Brandon Swanson <bswanson@ci.carmel.ca.us></bswanson@ci.carmel.ca.us>
Sent:	Monday, December 6, 2021 2:30 PM
To:	Quinn, Heidi A.
Cc:	Marnie R. Waffle; Kemp, Christine
Subject:	Re: NEC Ocean and San Antonio
Follow Up Flag:	Follow up
Flag Status:	Flagged

Heidi,

I will take a look at the plate height issue. I can confirm though that they have ordered new steel beam supports for the roof, which will get the ridge height down to the approved height. So you're client's view will be as presented at the Planning Commission.

-Brandon

Brandon Swanson [he, him, his] Director, Community Planning and Building City of Carmel-by-the-Sea (831) 620-2024

×

From:	Quinn, Heidi A.
Sent:	Tuesday, December 14, 2021 10:08 AM
То:	'Brandon Swanson'
Cc:	Marnie R. Waffle; Kemp, Christine
Subject:	RE: NEC Ocean and San Antonio

Good morning Brandon,

Just following up – have you had a chance to confirm the plate height?

Heidi A. Quinn NOLAND, HAMERLY, ETIENNE & HOSS A Professional Corporation 333 Salinas Street P.O. Box 2510 Salinas, CA 93902 (831) 424-1414 ext. 219 (831) 424-1975 (fax) HQuinn@nheh.com www.nheh.com

On Thu, Dec 16, 2021 at 9:33 AM Quinn, Heidi A. <<u>HQuinn@nheh.com</u>> wrote:

Good morning,

Just checking in again. What is the status of the project? Have you confirmed the plate height? Also, what will be the pitch of the roof? Has the applicant provided a plan for height reduction or a timeline for installation?

Much appreciation in advance,

Heidi A. Quinn

NOLAND, HAMERLY, ETIENNE & HOSS

A Professional Corporation 333 Salinas Street

P.O. Box 2510

Salinas, CA 93902

(831) 424-1414 ext. 219

(831) 424-1975 (fax)

HQuinn@nheh.com

www.nheh.com

¥.

From:	Brandon Swanson <bswanson@ci.carmel.ca.us></bswanson@ci.carmel.ca.us>
Sent:	Thursday, December 16, 2021 10:08 AM
То:	Quinn, Heidi A.
Cc:	Marnie R. Waffle; Kemp, Christine
Subject:	Re: NEC Ocean and San Antonio

Heidi,

Thanks for the nudge. To my knowledge, we have not seen revised drawings yet. Let me look into it and I will get back to you.

-Brandon

Brandon Swanson [he, him, his] Director, Community Planning and Building City of Carmel-by-the-Sea (831) 620-2024

×

On Thu, Dec 16, 2021 at 11:20 AM Quinn, Heidi A. <<u>HQuinn@nheh.com</u>> wrote:

Thank you, Brandon,

Do you know whether the plate height conforms with Condition 33?

Heidi A. Quinn

NOLAND, HAMERLY, ETIENNE & HOSS

A Professional Corporation 333 Salinas Street

P.O. Box 2510

Salinas, CA 93902

(831) 424-1414 ext. 219

(831) 424-1975 (fax)

HQuinn@nheh.com

www.nheh.com

From:	Brandon Swanson <bswanson@ci.carmel.ca.us></bswanson@ci.carmel.ca.us>
Sent:	Thursday, December 16, 2021 11:32 AM
То:	Quinn, Heidi A.
Cc:	Marnie R. Waffle; Kemp, Christine
Subject:	Re: NEC Ocean and San Antonio

Heidi,

My understanding in talking to Marnie is that the plate heights are not the issue. They are the same on both the Planning approval set and the Building Permit set. The issue is the ridge height, which was caused by the unapproved change in roof pitch by the architect. With the re-order of the steel roof elements, the ridge height should be lowered to the approved height. We will of course have another height verification done once the new roof is installed.

Does that answer your question?

-Brandon

Brandon Swanson [he, him, his] Director, Community Planning and Building City of Carmel-by-the-Sea (831) 620-2024

×

From: Quinn, Heidi A. Sent: Thursday, December 16, 2021 5:50 PM To: 'Brandon Swanson' Cc: Marnie R. Waffle; Kemp, Christine Subject: RE: NEC Ocean and San Antonio

Attachment 1

Good evening,

Yes, the ridge height is an issue, but the plate height is as well.

The stamped building plans and the Planning Commission plans applicant was utilizing reflect an incorrect plate height – it appears to be nearly 20 feet. Further, to date, there hasn't been any confirmation the plate height is in conformance with the Planning Commission's approval of Condition 33. Will that be forthcoming?

Best Regards,

Heidi A. Quinn NOLAND, HAMERLY, ETIENNE & HOSS A Professional Corporation 333 Salinas Street P.O. Box 2510 Salinas, CA 93902 (831) 424-1414 ext. 219

(831) 424-1975 (fax) HQuinn@nheh.com www.nheh.com

Serving the Central Coast Since 1928

From: Brandon Swanson [mailto:bswanson@ci.carmel.ca.us]
Sent: Thursday, December 16, 2021 11:32 AM
To: Quinn, Heidi A.
Cc: Marnie R. Waffle; Kemp, Christine
Subject: Re: NEC Ocean and San Antonio

Heidi,

My understanding in talking to Marnie is that the plate heights are not the issue. They are the same on both the Planning approval set and the Building Permit set. The issue is the ridge height, which was caused by the unapproved change in roof pitch by the architect. With the re-order of the steel roof elements, the ridge height should be lowered to the approved height. We will of course have another height verification done once the new roof is installed.

Does that answer your question?

-Brandon

Brandon Swanson [he, him, his] Director, Community Planning and Building City of Carmel-by-the-Sea (831) 620-2024

From:	Quinn, Heidi A.
Sent:	Tuesday, December 21, 2021 10:38 AM
То:	'Brandon Swanson'
Cc:	'Marnie R. Waffle'; Kemp, Christine
Subject:	RE: NEC Ocean and San Antonio

Good morning,

I'm just following up regarding the verification of the plate height per the plans.

Best Regards,

Heidi A. Quinn NOLAND, HAMERLY, ETIENNE & HOSS A Professional Corporation 333 Salinas Street P.O. Box 2510 Salinas, CA 93902 (831) 424-1414 ext. 219 (831) 424-1975 (fax) HQuinn@nheh.com www.nheh.com

Serving the Central Coast Since 1928

From: Quinn, Heidi A. Sent: Thursday, December 16, 2021 5:50 PM To: 'Brandon Swanson' Cc: Marnie R. Waffle; Kemp, Christine Subject: RE: NEC Ocean and San Antonio

Good evening,

Yes, the ridge height is an issue, but the plate height is as well.

The stamped building plans and the Planning Commission plans applicant was utilizing reflect an incorrect plate height – it appears to be nearly 20 feet. Further, to date, there hasn't been any confirmation the plate height is in conformance with the Planning Commission's approval of Condition 33. Will that be forthcoming?

Best Regards,

Heidi A. Quinn NOLAND, HAMERLY, ETIENNE & HOSS A Professional Corporation 333 Salinas Street P.O. Box 2510 Salinas, CA 93902 (831) 424-1414 ext. 219

Attachment 1

From:	Brandon Swanson <bswanson@ci.carmel.ca.us></bswanson@ci.carmel.ca.us>
Sent:	Thursday, December 23, 2021 11:09 AM
То:	Quinn, Heidi A.
Cc:	Marnie R. Waffle; Kemp, Christine
Subject:	Re: NEC Ocean and San Antonio

Hello Heidi,

Sorry for the delay in getting back to you. We are closed starting tomorrow and will reopen on Jan 3rd. Marnie is out of the office today. She did take a look at the plans before she left and the plate heights on the building permit set appear to match those on the planning set that was presented to the Commission. I will let Marnie confirm her findings when she returns in January.

Take care,

-Brandon

Brandon Swanson [he, him, his] Director, Community Planning and Building City of Carmel-by-the-Sea (831) 620-2024



Please take our Customer Satisfaction Survey at: https://www.surveymonkey.com/r/3L9PWYB

On Tue, Dec 21, 2021 at 10:38 AM Quinn, Heidi A. <HQuinn@nheh.com> wrote:

Good morning,

I'm just following up regarding the verification of the plate height per the plans.

Best Regards,

On Thu, Dec 23, 2021 at 11:13 AM Quinn, Heidi A. <HQuinn@nheh.com> wrote:

Thank you for your response.

The answer is problematic. The plans presented to the Planning Commission reflected a plate height 19'9, which was discussed by the Commission who expressly limited the plate height to 19, as reflected in Condition No. 33.

So, again, we are requesting confirmation that the plate height at the site conforms to the Planning Commission direction and Condition No. 33, which is noted on the Building Set.

Best Regards,

Heidi A. Quinn

NOLAND, HAMERLY, ETIENNE & HOSS

A Professional Corporation 333 Salinas Street

P.O. Box 2510

Salinas, CA 93902

(831) 424-1414 ext. 219

(831) 424-1975 (fax)

HQuinn@nheh.com

www.nheh.com

From:	Brandon Swanson <bswanson@ci.carmel.ca.us></bswanson@ci.carmel.ca.us>
Sent:	Thursday, December 23, 2021 11:44 AM
То:	Quinn, Heidi A.
Cc:	Marnie R. Waffle; Kemp, Christine
Subject:	Re: NEC Ocean and San Antonio

Thanks Heidi. I will look a little deeper into it and get back to you the first week of January.

-Brandon

Brandon Swanson [he, him, his] Director, Community Planning and Building City of Carmel-by-the-Sea (831) 620-2024



On Thu, Dec 23, 2021 at 11:13 AM Quinn, Heidi A. <<u>HQuinn@nheh.com</u>> wrote:

Thank you for your response.

The answer is problematic. The plans presented to the Planning Commission reflected a plate height 19'9, which was discussed by the Commission who expressly limited the plate height to 19, as reflected in Condition No. 33.

So, again, we are requesting confirmation that the plate height at the site conforms to the Planning Commission direction and Condition No. 33, which is noted on the Building Set.

Best Regards,

From:	Quinn, Heidi A.
Sent:	Monday, January 10, 2022 9:12 AM
То:	'Brandon Swanson'
Cc:	Marnie R. Waffle; Kemp, Christine
Subject:	RE: NEC Ocean and San Antonio

Good morning,

I'm just following up on the plate height confirmation. Have the measurements been confirmed per my comments below?

Best Regards,

Heidi A. Quinn NOLAND, HAMERLY, ETIENNE & HOSS A Professional Corporation 333 Salinas Street P.O. Box 2510 Salinas, CA 93902 (831) 424-1414 ext. 219 (831) 424-1975 (fax) HQuinn@nheh.com www.nheh.com

Serving the Central Coast Since 1928

From: Brandon Swanson [mailto:bswanson@ci.carmel.ca.us]
Sent: Thursday, December 23, 2021 11:44 AM
To: Quinn, Heidi A.
Cc: Marnie R. Waffle; Kemp, Christine
Subject: Re: NEC Ocean and San Antonio

Thanks Heidi. I will look a little deeper into it and get back to you the first week of January.

-Brandon

Brandon Swanson [he, him, his] Director, Community Planning and Building City of Carmel-by-the-Sea (831) 620-2024

From:	Quinn, Heidi A.
Sent:	Friday, January 14, 2022 1:47 PM
То:	'Brandon Swanson'; Marnie R. Waffle
Cc:	Kemp, Christine
Subject:	FW: FW: NEC Ocean and San Antonio
Attachments:	82522489-F883-4FD2-98B3-D4D0DEEC03BC.jpeg; 88DDA75F-130A-4F4C-
	BBE0-12151D56CF9C.jpeg

Importance:

High

Good afternoon,

I'm just following up with my voicemail earlier today.

Please see the attached photos depicting the plate height timeline and the current plate height. The Planning Commission's approval of the project was subject to Condition No. 33, which limited the plate height to 19 feet. The Commission was adamant the plate height could not exceed the current height of 19 feet given the legal nonconforming status of the property. As the pictures show, this condition is not being met; the current project plate height is too high. This is not insignificant or substantial compliance and is contrary to the approval.

Since November, we have repeatedly asked the City to confirm the plate height. We now ask the work be stopped until the City can confirm the plate height - particularly since we have a three day weekend ahead in which the work could be completed prior to verifying the plate height.

Please confirm you will issue a stop work notice until the plate height is confirmed.

Best Regards,

Heidi A. Quinn NOLAND, HAMERLY, ETIENNE & HOSS A Professional Corporation 333 Salinas Street P.O. Box 2510 Salinas, CA 93902 (831) 424-1414 ext. 219 (831) 424-1975 (fax) HQuinn@nheh.com www.nheh.com

HEIGHT CHANGE TIME LINE: MAY - AUGUST 2021

Demolition work on west side of the property

Removal of roof on residence west side in progress. * old plate height

West side roof and northwest wall has been taken out.

New northwest wall with new increased plate height **















From:	Quinn, Heidi A.
Sent:	Wednesday, January 19, 2022 2:17 PM
То:	'Brandon Swanson'; 'Marnie R. Waffle'
Cc:	Kemp, Christine
Subject:	RE: FW: NEC Ocean and San Antonio

Good afternoon,

Ń

I left another voicemail message for you yesterday but have not heard back from you regarding the plate height. Do you have any additional information?

Best Regards,

Heidi A. Quinn NOLAND, HAMERLY, ETIENNE & HOSS A Professional Corporation 333 Salinas Street P.O. Box 2510 Salinas, CA 93902 (831) 424-1414 ext. 219 (831) 424-1975 (fax) HQuinn@nheh.com www.nheh.com

Serving the Central Coast Since 1928

From: Quinn, Heidi A. Sent: Friday, January 14, 2022 1:47 PM To: 'Brandon Swanson'; Marnie R. Waffle Cc: Kemp, Christine Subject: FW: FW: NEC Ocean and San Antonio Importance: High

Good afternoon,

I'm just following up with my voicemail earlier today.

Please see the attached photos depicting the plate height timeline and the current plate height. The Planning Commission's approval of the project was subject to Condition No. 33, which limited the plate height to 19 feet. The Commission was adamant the plate height could not exceed the current height of 19 feet given the legal nonconforming status of the property. As the pictures show, this condition is not being met; the current project plate height is too high. This is not insignificant or substantial compliance and is contrary to the approval.

Since November, we have repeatedly asked the City to confirm the plate height. We now ask the work be stopped until the City can confirm the plate height - particularly since we have a three day weekend ahead in which the work could be completed prior to verifying the plate height.

From:	Quinn, Heidi A.
Sent:	Wednesday, January 19, 2022 3:06 PM
То:	'Brandon Swanson'; 'Marnie R. Waffle'
Cc:	Kemp, Christine
Subject:	RE: FW: NEC Ocean and San Antonio

We understand work continues on the roof despite our request for a stop work order. What is the status of our request?

It has been more than three months since we first raised the issue of the nonconforming ridge and plate height, and yet, the City has not provided confirmation the project conforms to the Planning Commission approval.

We reiterate our request for a stop work order pending confirmation of the plate height.

Best Regards,

Heidi A. Quinn NOLAND, HAMERLY, ETIENNE & HOSS A Professional Corporation 333 Salinas Street P.O. Box 2510 Salinas, CA 93902 (831) 424-1414 ext. 219 (831) 424-1975 (fax) HQuinn@nheh.com www.nheh.com

Serving the Central Coast Since 1928

From: Quinn, Heidi A. Sent: Wednesday, January 19, 2022 2:17 PM To: 'Brandon Swanson'; 'Marnie R. Waffle' Cc: Kemp, Christine Subject: RE: FW: NEC Ocean and San Antonio

Good afternoon,

I left another voicemail message for you yesterday but have not heard back from you regarding the plate height. Do you have any additional information?

Best Regards,

Heidi A. Quinn NOLAND, HAMERLY, ETIENNE & HOSS A Professional Corporation 333 Salinas Street P.O. Box 2510 From:Brandon Swanson <bswanson@ci.carmel.ca.us>Sent:Wednesday, January 19, 2022 3:28 PMTo:Quinn, Heidi A.Cc:Marnie R. Waffle; Kemp, ChristineSubject:Re: FW: NEC Ocean and San Antonio

Heidi,

Thanks for your email, and I appreciate your patience on this one. I will gather the information pulled together regarding the plate height surveyed, which I believe was previously sent to you, relative to the height approved by the Planning Commission, which I believe was also sent to you, and send it to you in one email no later than tomorrow by noon.

-Brandon

Brandon Swanson [he, him, his] Director, Community Planning and Building City of Carmel-by-the-Sea (831) 620-2024



Please take our Customer Satisfaction Survey at: https://www.surveymonkey.com/r/3L9PWYB

On Wed, Jan 19, 2022 at 3:06 PM Quinn, Heidi A. <<u>HQuinn@nheh.com</u>> wrote:

We understand work continues on the roof despite our request for a stop work order. What is the status of our request?

It has been more than three months since we first raised the issue of the nonconforming ridge and plate height, and yet, the City has not provided confirmation the project conforms to the Planning Commission approval.

We reiterate our request for a stop work order pending confirmation of the plate height.

From:	Quinn, Heidi A.
Sent:	Thursday, January 20, 2022 8:40 AM
То:	'Brandon Swanson'
Cc:	Marnie R. Waffle; Kemp, Christine
Subject:	RE: FW: NEC Ocean and San Antonio

Good morning,

Yes, we already have information regarding the survey and Planning Commission approval, which is why we have repeatedly requested a physical confirmation that the project's plate height is only 19', as approved by the Planning Commission. The Commission was very clear that there was not to be expansion of a legal non-conforming use.

The Whitson report listed the following elevations:

PT. NO.	ELEV	
206	200.93	BENCHMARK (This point is in the street - it's the project benchmark)
1026	220.209	TOP PLATE BEAM *P (This appears to be the top of plate)
1025	200.37	CONC SLAB LOWER (This appears to be the lower floor elevation)

Under these calculations (220.209-200.93), the plate height would be 19.84 or 19 feet 10 inches above the floor. That is well beyond the approval.

We would like to see any information you have that the project is in compliance.

Best Regards,

Heidi A. Quinn NOLAND, HAMERLY, ETIENNE & HOSS A Professional Corporation 333 Salinas Street P.O. Box 2510 Salinas, CA 93902 (831) 424-1414 ext. 219 (831) 424-1975 (fax) HQuinn@nheh.com www.nheh.com

Serving the Central Coast Since 1928

From: Brandon Swanson [mailto:bswanson@ci.carmel.ca.us]
Sent: Wednesday, January 19, 2022 3:28 PM
To: Quinn, Heidi A.
Cc: Marnie R. Waffle; Kemp, Christine
Subject: Re: FW: NEC Ocean and San Antonio

Heidi,

From:Quinn, Heidi A.Sent:Friday, January 21, 2022 4:34 PMTo:'Brandon Swanson'; Marnie R. WaffleCc:Kemp, ChristineSubject:Plate Height - IllustrationAttachments:0AFFB30E-30F8-49A8-B26D-5D1C554654F5.jpeg

Good afternoon Brandon,

As we have discussed, the Planning Commission approval set specific parameters for both the plate height and the ridge height for the Project considering its location and its legal non-conforming status.

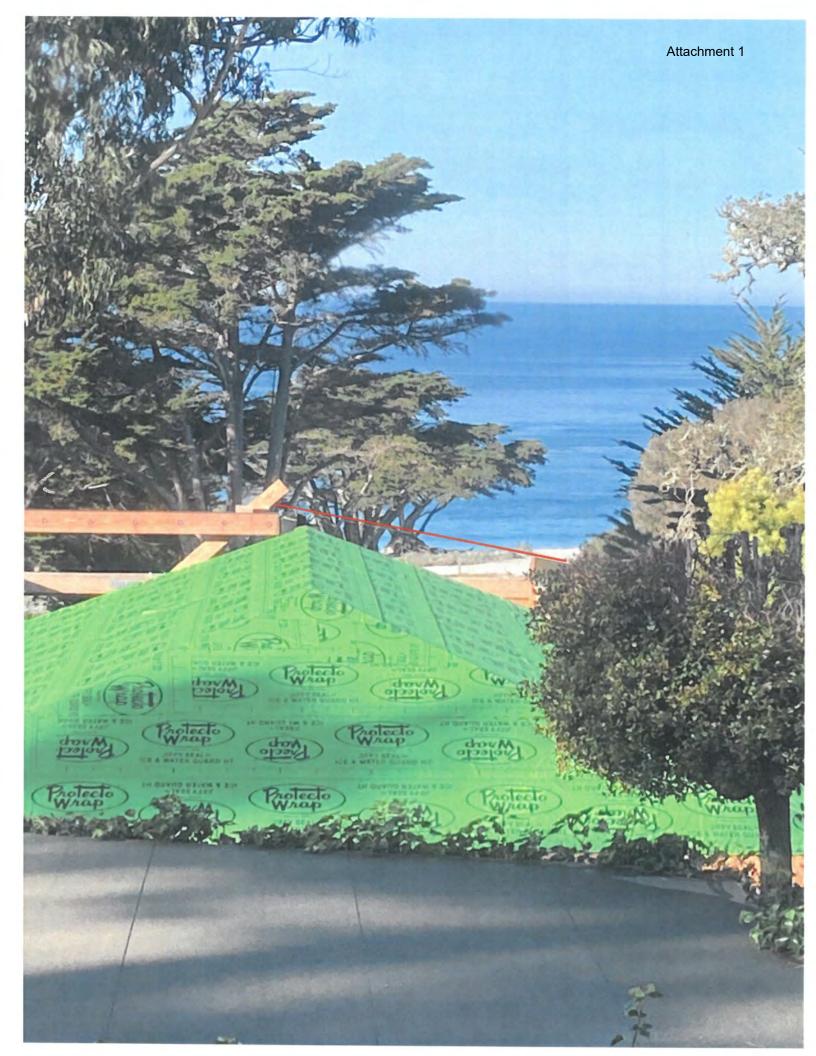
I've attached a photo that may help clarify the importance of the plate height. As the red line indicates, a higher plate height affects the pitch of the roof and impacts the view of the beach/sand.

Were you able to schedule a survey of the Project?

Best Regards,

Heidi A. Quinn NOLAND, HAMERLY, ETIENNE & HOSS A Professional Corporation 333 Salinas Street P.O. Box 2510 Salinas, CA 93902 (831) 424-1414 ext. 219 (831) 424-1975 (fax) HQuinn@nheh.com www.nheh.com

Serving the Central Coast Since 1928



From: <u>bswanson@ci.carmel.ca.us</u> [<u>mailto:bswanson@ci.carmel.ca.us</u>] Sent: Friday, January 21, 2022 4:47 PM To: Quinn, Heidi A. Cc: Marnie R. Waffle; Kemp, Christine Subject: Re: Plate Height - Illustration

Heidi,

I'm happy to report that I just heard back from the property owner and they will be having the survey done Monday of next week. I will share when we have the info.

Sent from my iPhone, please excuse brevity or typos.

On Jan 21, 2022, at 4:34 PM, Quinn, Heidi A. <<u>HQuinn@nheh.com</u>> wrote:

Good afternoon Brandon,

As we have discussed, the Planning Commission approval set specific parameters for both the plate height and the ridge height for the Project considering its location and its legal non-conforming status.

I've attached a photo that may help clarify the importance of the plate height. As the red line indicates, a higher plate height affects the pitch of the roof and impacts the view of the beach/sand.

From:	Quinn, Heidi A.
Sent:	Friday, January 21, 2022 4:50 PM
То:	'bswanson@ci.carmel.ca.us'
Subject:	RE: Plate Height - Illustration

Thank you Brandon - have a nice weekend!

Heidi A. Quinn NOLAND, HAMERLY, ETIENNE & HOSS A Professional Corporation 333 Salinas Street P.O. Box 2510 Salinas, CA 93902 (831) 424-1414 ext. 219 (831) 424-1975 (fax) HQuinn@nheh.com www.nheh.com

Serving the Central Coast Since 1928

From: bswanson@ci.carmel.ca.us [mailto:bswanson@ci.carmel.ca.us] Sent: Friday, January 21, 2022 4:47 PM To: Quinn, Heidi A. Cc: Marnie R. Waffle; Kemp, Christine Subject: Re: Plate Height - Illustration

Heidi,

I'm happy to report that I just heard back from the property owner and they will be having the survey done Monday of next week. I will share when we have the info.

Sent from my iPhone, please excuse brevity or typos.

On Jan 21, 2022, at 4:34 PM, Quinn, Heidi A. <<u>HQuinn@nheh.com</u>> wrote:

Good afternoon Brandon,

As we have discussed, the Planning Commission approval set specific parameters for both the plate height and the ridge height for the Project considering its location and its legal non-conforming status.

I've attached a photo that may help clarify the importance of the plate height. As the red line indicates, a higher plate height affects the pitch of the roof and impacts the view of the beach/sand.

From: Quinn, Heidi A. Sent: Tuesday, January 25, 2022 11:33 AM To: <u>bswanson@ci.carmel.ca.us</u>' Subject: Status of Survey?

Good afternoon Brandon,

Just following up. Any progress?

Heidi A. Quinn

NOLAND, HAMERLY, ETIENNE & HOSS

A Professional Corporation 333 Salinas Street

P.O. Box 2510

Salinas, CA 93902

(831) 424-1414 ext. 219

(831) 424-1975 (fax)

HQuinn@nheh.com

www.nheh.com

Serving the Central Coast Since 1928

From: <u>bswanson@ci.carmel.ca.us</u> [mailto:<u>bswanson@ci.carmel.ca.us</u>] Sent: Friday, January 21, 2022 4:47 PM To: Quinn, Heidi A. Cc: Marnie R. Waffle; Kemp, Christine Subject: Re: Plate Height - Illustration

Heidi,

I'm happy to report that I just heard back from the property owner and they will be having the survey done Monday of next week. I will share when we have the info.

Sent from my iPhone, please excuse brevity or typos.

On Thu, Jan 27, 2022 at 5:08 PM Quinn, Heidi A. <<u>HQuinn@nheh.com</u>> wrote:

Good evening,

I'm just following up regarding the plate height. To you have any information you can share?

Best Regards,

Heidi A. Quinn

Р. Г

NOLAND, HAMERLY, ETIENNE & HOSS

A Professional Corporation 333 Salinas Street

P.O. Box 2510

Salinas, CA 93902 (831) 424-1414 ext. 219

(831) 424-1975 (fax)

HQuinn@nheh.com

www.nheh.com

Serving the Central Coast Since 1928

From: Quinn, Heidi A. Sent: Tuesday, January 25, 2022 11:33 AM To: <u>bswanson@ci.carmel.ca.us</u>' Subject: Status of Survey?

Good afternoon Brandon,

Just following up. Any progress?

From:Brandon Swanson <bswanson@ci.carmel.ca.us>Sent:Thursday, January 27, 2022 5:28 PMTo:Quinn, Heidi A.Subject:Re: Status of Survey?

Hello Heidi, I haven't seen the survey yet. I will ask for a status.

Take care,

-Brandon

×	

Brandon Swanson [he, him, his] Director, Community Planning and Building City of Carmel-by-the-Sea (831) 620-2024

Please take our Customer Satisfaction Survey.

On Thu, Jan 27, 2022 at 5:08 PM Quinn, Heidi A. <<u>HQuinn@nheh.com</u>> wrote:

Good evening,

I'm just following up regarding the plate height. To you have any information you can share?

Best Regards,

Heidi A. Quinn

NOLAND, HAMERLY, ETIENNE & HOSS

A Professional Corporation 333 Salinas Street

P.O. Box 2510

Salinas, CA 93902

From:	Quinn, Heidi A.
Sent:	Thursday, January 27, 2022 5:35 PM
То:	'Brandon Swanson'
Subject:	RE: Status of Survey?

Thank you, Brandon.

Have a good evening.

Heidi A. Quinn NOLAND, HAMERLY, ETIENNE & HOSS A Professional Corporation 333 Salinas Street P.O. Box 2510 Salinas, CA 93902 (831) 424-1414 ext. 219 (831) 424-1975 (fax) HQuinn@nheh.com www.nheh.com

Serving the Central Coast Since 1928

From: Brandon Swanson [mailto:bswanson@ci.carmel.ca.us] Sent: Thursday, January 27, 2022 5:28 PM To: Quinn, Heidi A. Subject: Re: Status of Survey?

Hello Heidi, I haven't seen the survey yet. I will ask for a status.

Take care,

-Brandon

×	<u></u>	 	

Brandon Swanson [he, him, his] **Director, Community Planning and Building** City of Carmel-by-the-Sea (831) 620-2024

Please take our Customer Satisfaction Survey.

On Thu, Jan 27, 2022 at 5:08 PM Quinn, Heidi A. <HQuinn@nheh.com> wrote:

Good evening,

From:Quinn, Heidi A.Sent:Monday, January 31, 2022 4:06 PMTo:'Brandon Swanson'Subject:RE: Status of Survey?

Good afternoon,

Just checking in again. Any updates?

Heidi A. Quinn NOLAND, HAMERLY, ETIENNE & HOSS A Professional Corporation 333 Salinas Street P.O. Box 2510 Salinas, CA 93902 (831) 424-1414 ext. 219 (831) 424-1975 (fax) HQuinn@nheh.com www.nheh.com

Serving the Central Coast Since 1928

From: Quinn, Heidi A. Sent: Thursday, January 27, 2022 5:35 PM To: 'Brandon Swanson' Subject: RE: Status of Survey?

Thank you, Brandon.

Have a good evening.

Heidi A. Quinn NOLAND, HAMERLY, ETIENNE & HOSS A Professional Corporation 333 Salinas Street P.O. Box 2510 Salinas, CA 93902 (831) 424-1414 ext. 219 (831) 424-1975 (fax) HQuinn@nheh.com www.nheh.com

Serving the Central Coast Since 1928

From:	Brandon Swanson <bswanson@ci.carmel.ca.us></bswanson@ci.carmel.ca.us>
Sent:	Monday, January 31, 2022 4:07 PM
То:	Quinn, Heidi A.
Subject:	Re: Status of Survey?

As of Friday, the survey was complete but they were awaiting the report. I will keep you posted.

Take care,

-Brandon

×	

Brandon Swanson [he, him, his] **Director, Community Planning and Building** City of Carmel-by-the-Sea (831) 620-2024

Please take our Customer Satisfaction Survey.

On Mon, Jan 31, 2022 at 4:06 PM Quinn, Heidi A. <<u>HQuinn@nheh.com</u>> wrote:

Good afternoon,

Just checking in again. Any updates?

Heidi A. Quinn

NOLAND, HAMERLY, ETIENNE & HOSS

A Professional Corporation 333 Salinas Street

P.O. Box 2510

Salinas, CA 93902

(831) 424-1414 ext. 219

From:Quinn, Heidi A.Sent:Wednesday, February 2, 2022 11:07 AMTo:Brandon SwansonCc:Kemp, Christine; Marnie R. WaffleSubject:RE: Status of Survey?

Good morning,

I'm just following up. It appears the roof construction is progressing. Do you have any information on the plate height or status of the survey?

Best Regards,

Heidi A. Quinn NOLAND, HAMERLY, ETIENNE & HOSS A Professional Corporation 333 Salinas Street P.O. Box 2510 Salinas, CA 93902 (831) 424-1414 ext. 219 (831) 424-1975 (fax) HQuinn@nheh.com www.nheh.com

Serving the Central Coast Since 1928

From: Brandon Swanson [mailto:bswanson@ci.carmel.ca.us] Sent: Monday, January 31, 2022 4:07 PM To: Quinn, Heidi A. Subject: Re: Status of Survey?

As of Friday, the survey was complete but they were awaiting the report. I will keep you posted.

Take care,

-Brandon

From:	Brandon Swanson <bswanson@ci.carmel.ca.us></bswanson@ci.carmel.ca.us>
Sent:	Wednesday, February 2, 2022 1:33 PM
То:	Quinn, Heidi A.
Cc:	Kemp, Christine; Marnie R. Waffle
Subject:	Re: Status of Survey?

Hello Heidi,

I still have not received the report from the property owner. I will ping them now.

-Brandon

 ×

Brandon Swanson [he, him, his] **Director, Community Planning and Building** City of Carmel-by-the-Sea (831) 620-2024

Please take our Customer Satisfaction Survey.

On Wed, Feb 2, 2022 at 11:07 AM Quinn, Heidi A. <<u>HQuinn@nheh.com</u>> wrote:

Good morning,

I'm just following up. It appears the roof construction is progressing. Do you have any information on the plate height or status of the survey?

Best Regards,

Heidi A. Quinn

NOLAND, HAMERLY, ETIENNE & HOSS

A Professional Corporation 333 Salinas Street

P.O. Box 2510

From: Sent:	Brandon Swanson <bswanson@ci.carmel.ca.us> Wednesday, February 2, 2022 1:51 PM</bswanson@ci.carmel.ca.us>
То:	Quinn, Heidi A.
Cc:	Kemp, Christine; Marnie R. Waffle; Jermel Laurie
Subject:	Re: Status of Survey?
Attachments:	2022-0127 Ridge Certification.pdf

Heidi,

I'm sorry, I spoke too soon. Looks like this came in at the end of yesterday while I was in City Council. I had not gotten to my emails from yesterday afternoon yet. Based on the calculations in this survey, it appears that the top of the plate is at 19.3 feet above the base elevation point of 200.93 (220.23 plate elevation - 200.93 base elevation = 19.30). The 0.3 foot difference represents 3.6 inches in excess of 19 feet.

I will confer with my team and get back to you soon regarding next steps.

Take care,

-Brandon

Brandon Swanson [he, him, his] **Director, Community Planning and Building** City of Carmel-by-the-Sea (831) 620-2024

Please take our Customer Satisfaction Survey.

On Wed, Feb 2, 2022 at 1:32 PM Brandon Swanson <<u>bswanson@ci.carmel.ca.us</u>> wrote: Hello Heidi,

I still have not received the report from the property owner. I will ping them now.

-Brandon

Brandon Swanson [he, him, his] **Director, Community Planning and Building** City of Carmel-by-the-Sea (831) 620-2024

Please take our Customer Satisfaction Survey.

Attachment 1



Civil Engineering + Land Surveying 6 Harris Court, Monterey, CA 93940 | 831.649.5225 whitsonengineers.com

January 28, 2022

Job No.: 4425.00

Andrew Ellis Groza Construction

Re: Ridge Height Certification Le Chiffre Beach Club NE Corner Ocean & San Antonio Avenues Carmel-By-The-Sea, CA 93921 APN: 010-253-009

Dear Mr. Ellis:

On January 27, 2022, Whitson Engineers checked the height of the framing of the residence at the NE Corner of Ocean & San Antonio Avenues, Carmel-By-The-Sea.

The survey data as follow:

Point 1037	Top of a 1 ½" x 7" sill, representing lower finish floor elevation was found to
	be at an elevation of 200.59 feet.

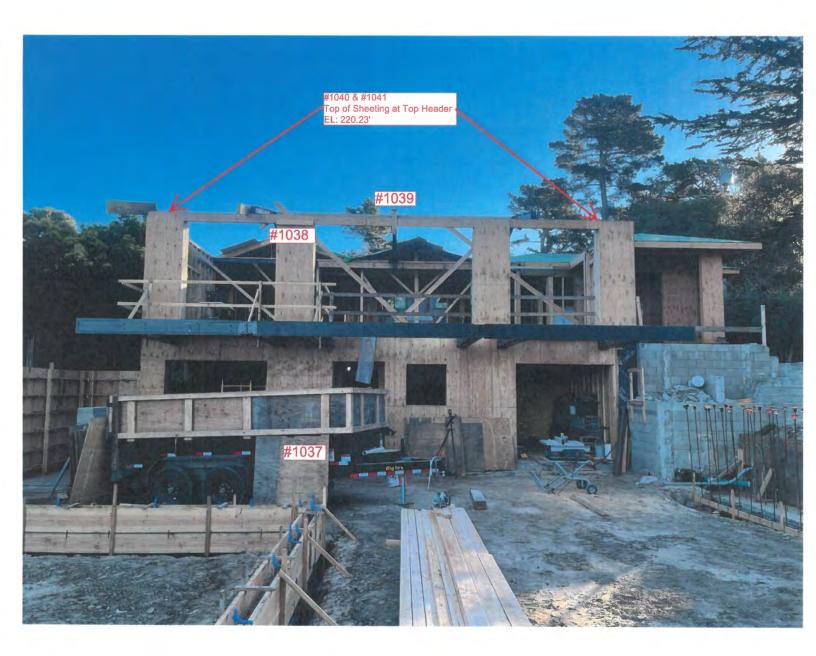
- **Point 1038** Top of a 2 x 4" stud, representing top of finished ceiling was found to be at an elevation of 219.28 feet.
- **Point 1039** The surveyed ridge, a 2" x 12" joist, at its highest point, was found to be at an elevation of 223.32 feet at its highest point.
- **Point 1040** Top plywood sheeting at top header beam was found to be at an elevation of 220.23 feet.
- **Point 1041** Top plywood sheeting at top header beam was found to be at an elevation of 220.22 feet.

Elevation of all points surveyed relative to the designated Site Benchmark (elevation 200.93 feet, assumed datum, (tied by Whitson Engineers at Point #206) as shown on Sheet C1.1 of the Civil plans dated May 17, 2021.

Sincerely,

Richard Weber PE, LS LS 8002 Principal













From: Sent: To: Cc: Subject: Attachments: Quinn, Heidi A. Thursday, February 3, 2022 11:49 AM 'Brandon Swanson'; Marnie R. Waffle Kemp, Christine Height Calculations City Height Limits (01522581xE4B5B).jpeg; Height Calculation V2 (01522560xE4B5B).jpeg

Good morning Brandon,

Can you please clarify the City's calculation of plate height you sent yesterday? Your plate height measurement was from the project benchmark elevation of 200.93. We question this calculation.

Attached are the height measurement criteria obtained from the City's information page. It clearly states that height is measured from existing or finished grade, whichever is lower. Accordingly, per the City rules, the plate height should be measured from Point 1025 elevation **200.371**, as set forth in Whitson's Report dated October 18, 2021, which is elevation of the finished grade at the "concrete slab lower".

Calculating plate height from the finished grade at Point 1025 (**200.371**), to the plate height of **220.23** (Point 1040 set forth in Whitson's dated January 28, 2022), the plate height is actually **19.86**, which exceeds the City's approval by over 10 inches (**220.23** – **200.37** = 19.86' = **19'10.3**'') A 10" height difference between what was approved and permitted at 19', is not inconsequential.

Why is your calculation originating from the project benchmark elevation 200.93 feet?

Also attached, is a synopsis of the plans and measurements that relate to the measured 19.86' plate height.

Further, we cannot locate Sheet C1.1 of the Civil Plans, dated 5/17/2021. Please provide this to us.

We look forward to your reply.

Heidi A. Quinn NOLAND, HAMERLY, ETIENNE & HOSS A Professional Corporation 333 Salinas Street P.O. Box 2510 Salinas, CA 93902 (831) 424-1414 ext. 219 (831) 424-1975 (fax) HQuinn@nheh.com www.nheh.com

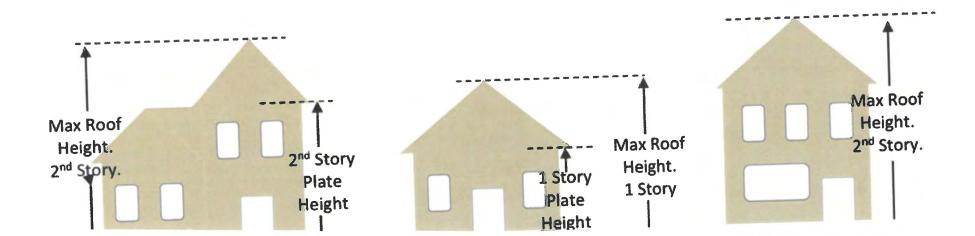
Serving the Central Coast Since 1928

Measuring Height: The height of a building is measured as the plumb vertical distance from existing or finished grade (whichever is lower) to the highest point on the roof.

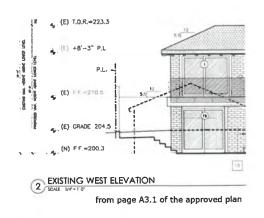
Height limitations are summarized below:

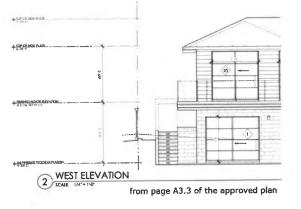
R-1 District	R-1-BR District	R-1-PO District
2	2	1*
18 feet	18 feet	18 feet
12 feet	12 feet	12 feet
24 feet	18 feet 🦰	24 feet*
18 feet	18 feet 🔶	18 feet*
	2 18 feet 12 feet	R-1 bistrict22218 feet18 feet12 feet12 feet24 feet18 feet

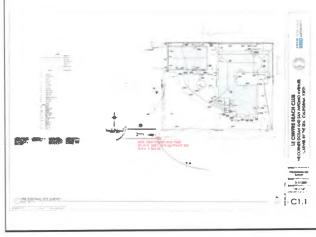
*R-1-PO (Park Overlay) District: The Planning Commission <u>may</u> grant a 2nd story if determined that the height will not negatively affect the nearby park or open space.



HEIGHT CALCULATION







At the Planning Commission meeting, the plate height was noted as 19 feet.

Number for the finished floor is 200.3

	lidas Helaht C	-					
- 1	te Chille Beac	th Club					
	NE Corner Oce Cornel-Ity-The			1983			
	APH: 010-253-0						
Decr M	e. 1965						
residen surveye (point 4 craume	ober 18, 2021 (ce of the NE C d ridge, of its f 1019), related d datum, (hed t plans dated it	omer of Oceo vghest point v to the detign by Whitson Er	n & Son A vas found afed \$/1e i	Informa Ave to be of an Benchmark	nues. Come n elevation o t (elevation 2	Hy-The-Set 224 63 Jee 00.93 Neet.	
Richard Richard	ee tat	Ф		- Hereit	SHA		
				370	a callon		
				Ser.	or callored	2	
					o culture		
					A CALLOR		
					T CALLOR		
	Sec 4 (sec)						
PT.WO N				2156			
206	20%33.66	5703900.673 5787464755		OF FO MAG N	AR, SITE RENOT	MARX	
	20195338.647 20191594.647 20191596.427	5703901-673 5703964-735 5701967-14	300 93 0 234 639 8 277 134 9	op fo mag n Ndge Ngge 1	AND SATE OF ACCH		
205 1019 1020 1021	2018/33/4-07 2018/36-427 2018/36-427 2018/35-425	5703903.673 5703904.755 5703967.34 5703963.594	300 93 C 234 639 8 277 134 9 223 462 8	CP FO MAG N NDGE NDGE 1 NDGE 2	AR SITE OF ACH	MAARX	
208 1919 1920 1923 1923	201953 86 447 2019159 427 2019159 427 2019175 57 20194175 57	57039021-673 5703964 735 5701967-14 5701962 594 5701962 594	300 93 0 224 639 9 227,124 9 223 462 9 223 627 9	CP FO MAG N NDGE NDGE 1 NDGE 2 NDGE 3		MARX	
205 1019 1020 1023 1023 1023	20145386.437 20141596.477 20141596.477 20141596.475 20141216.217 20141216.217 20141216.217	57039021-673 5702964 735 5702964 735 5702967 34 5702982 594 5702982 594 5702982 594 5702977 807	300 93 0 234 639 9 277, 134 9 223 462 9 223 662 9 223 667 9 221 775 9	CP FO MAG N WDGE NDGE 1 WDGE 2 NDGE 3 NDGE 4 7 HV		MARX	
208 1019 1020 1023 1023 1023 1023 1023	2016238.647 2018238.647 2018236.427 2018275.57 20182151.8414 20182151.414	57039021-673 5702964 735 5702964 735 5702967 34 5702962 594 5702962 594 5702962 594 5702977 8077 5702977 8077	300 93 0 224 629 0 227, 124 9 223 462 8 223 627 9 223 627 9 221 775 9 239 463 9	CP FO MAG N NDGE NDGE 1 NDGE 2 NDGE 3	GHER		
205 1019 1020 1023 1023 1023	20145386.437 20141596.477 20141596.477 20141596.475 20141216.217 20141216.217 20141216.217	57039021-673 5702964 735 5702964 735 5702967 34 5702982 594 5702982 594 5702982 594 5702977 807	200 93 C 224 629 9 227, 124 9 223 627 9 223 627 9 223 627 9 223 627 9 221 775 9 210 403 9 720 375 6 210, 109 1	TP FO HAAS N WDGE NOGE 1 NDGE 2 NDGE 3 NDGE 4 7 HN SUMFLOOR CONC SLAD EI TOP PLATE BC	GHER CHIZE		

The plan shows the finish floor at 200.22.

Job No.: 4425.00

Point #206 noted as the site benchmark

QUESTIONS:

1. HOW WAS THE PLATE HEIGHT OF 19 FEET MEASURED? FROM THE FINISH FLOOR OR FROM THE POINT #206?

2. THE NEW PROJECTED FINISH FLOOR LEVEL OF 200.59 EXCEED THE PREVIOUS ONE AT 200.3. THAI IS ABOUT 3 AND A HALF INCH?

3. WOULD NOT THE PLATE HEIGHT CALCULATION ACCORDING TO THE CITY INFO PAGE BE AS FOLLOW?

> POINT 1040 AT 220.23 POINT 1025 AT - 200.371 = 19.859 PLATE HEIGHT = 19 FEET AND 10 INCHES

Sincerely. <u>P:OC</u> Richard Weber PE, LS LS 8002 Principal

Whitson

January 28, 2022

Dear Mr. Ellis

Point 1037

Point 1038

Point 1039

Point 1040

Point 1041

Andrew Ems Groza Construction

Re: Ridge Height Certification Le Chittre Beach Club NE Corner Ocean & San Antonio Avenues Carmel-By-The-Sea, CA 93921

On January 27, 2022, Whitson Engineers checked the height of the framing of the registence at the NE Corner of Ocean & San Antonie Avenues, Carmel-By-Tae-Saa

Top of a 1 %" x 7" se, representing lower Sobh floor elevation was found to be at an elevation of 200.59 levt.

Top of a 2 x 4" stud, representing top of Robbed colling was found to be at an elevation of 219.26 to at.

The surveyed ridge, a 2" x 12" jobs, at its highest point, was found to be at an elevation of 223,32 test at its highest point

Top phywood sheeting at top header beam was found to be at an elevation of 220,23 feat.

Top glywood sheeting at lop header beam was found to be at an elevation of 220.22 feet.

Elevation of all points surveyed relative to the designated Site Benchmark (slevation 200,93 feet, assemed datum, (lied by Whisson Engine ars at Point #206) az showa on Sheet C.1; a bite Cikel piant dated May 17, 2021.

APN: 010-253-009

The survey data as follow:



From:Quinn, Heidi A.Sent:Thursday, February 3, 2022 6:32 PMTo:Brandon Swanson; Marnie R. WaffleCc:Kemp, ChristineSubject:Meeting Request

Importance:

High

Good evening Brandon,

I have not heard back from you regarding this email or my voicemail, and construction on the project continues. As you know, we have been seeking clarification as to the approved plate height since October 2021 and still do not have confirmation that this project is in compliance with the Planning Commission approval. There appears to be a significant discrepancy.

We would like to schedule a meeting with you as soon as possible to discuss the calculations and the Whitson Reports. What is your availability for a meeting?

Best Regards,

Heidi A. Quinn NOLAND, HAMERLY, ETIENNE & HOSS A Professional Corporation 333 Salinas Street P.O. Box 2510 Salinas, CA 93902 (831) 424-1414 ext. 219 (831) 424-1975 (fax) HQuinn@nheh.com www.nheh.com

Serving the Central Coast Since 1928

From: Quinn, Heidi A. Sent: Thursday, February 3, 2022 11:49 AM To: 'Brandon Swanson'; Marnie R. Waffle Cc: Kemp, Christine Subject: Height Calculations

Good morning Brandon,

Can you please clarify the City's calculation of plate height you sent yesterday? Your plate height measurement was from the project benchmark elevation of 200.93. We question this calculation.

Attached are the height measurement criteria obtained from the City's information page. It clearly states that height is measured from existing or finished grade, whichever is lower. Accordingly, per the City rules, the plate height should be

From:	Brandon Swanson <bswanson@ci.carmel.ca.us></bswanson@ci.carmel.ca.us>
Sent:	Friday, February 4, 2022 10:26 AM
То:	Quinn, Heidi A.
Cc:	Marnie R. Waffle; Kemp, Christine
Subject:	Re: Meeting Request

Heidi,

I do my best to get back to people the same day, but was not able to respond to you yesterday. How does next Wednesday at 9am work for you?

-Brandon

×	Name and Address of South State of South State of States	a man tan

Good evening Brandon,

Brandon Swanson [he, him, his] **Director, Community Planning and Building** City of Carmel-by-the-Sea (831) 620-2024

Please take our Customer Satisfaction Survey.

On Thu, Feb 3, 2022 at 6:32 PM Quinn, Heidi A. <<u>HQuinn@nheh.com</u>> wrote:

I have not heard back from you regarding this email or my voicemail, and construction on the project continues. As you know, we have been seeking clarification as to the approved plate height since October 2021 and still do not have confirmation that this project is in compliance with the Planning Commission approval. There appears to be a significant discrepancy.

We would like to schedule a meeting with you as soon as possible to discuss the calculations and the Whitson Reports. What is your availability for a meeting?

Best Regards,

Heidi A. Quinn

NOLAND, HAMERLY, ETIENNE & HOSS

From: Sent: To: Cc: Subject: Kemp, Christine Friday, February 4, 2022 11:06 AM 'Brandon Swanson'; Quinn, Heidi A. Marnie R. Waffle RE: Meeting Request

Brandon,

Wednesday is too late as the work continues today. We need to have them stop work until this is sorted out.

We sent a very clear message yesterday with why the plate height is wrong. We have been raising this issue for months. Please confirm today that the plate height is 10 inches over what was approved and what the City intends to do.

If there is no stop work in place today, you are forcing our client to pursue legal recourse.

Christine

Christine G. Kemp NOLAND, HAMERLY, ETIENNE & HOSS A Professional Corporation 333 Salinas Street P.O. Box 2510 Salinas, CA 93901 (831) 424-1414 ext. 271 (831) 424-1975 (fax) ckemp@nheh.com www.nheh.com

Serving the Central Coast Since 1928

From: Brandon Swanson [mailto:bswanson@ci.carmel.ca.us]
Sent: Friday, February 4, 2022 10:26 AM
To: Quinn, Heidi A.
Cc: Marnie R. Waffle; Kemp, Christine
Subject: Re: Meeting Request

Heidi,

I do my best to get back to people the same day, but was not able to respond to you yesterday. How does next Wednesday at 9am work for you?

From:	Brandon Swanson <bswanson@ci.carmel.ca.us></bswanson@ci.carmel.ca.us>
Sent:	Friday, February 4, 2022 11:17 AM
То:	Kemp, Christine
Cc:	Quinn, Heidi A.; Marnie R. Waffle
Subject:	Re: Meeting Request

Christine,

I need to take another look at the plans with my team because we came up with a different number than Heidi, and will do that before we meet. I can confirm that the plate height is higher than 19 feet, but I cannot confirm the exact number yet. I have asked the property owner to stop work on that portion of the home until we are able to resolve the issue with the plate height. I can move a couple things around and meet at 2:00pm on Tuesday. Will that work for you?

If the property owner wished to keep the plates in excess of 19 feet, they will need to apply for an amendment to their permit. We will process that application accordingly.

-Brandon

Brandon Swanson [he, him, his] **Director, Community Planning and Building** City of Carmel-by-the-Sea (831) 620-2024

Please take our Customer Satisfaction Survey.

On Fri, Feb 4, 2022 at 11:06 AM Kemp, Christine <<u>CKemp@nheh.com</u>> wrote:

Brandon,

Wednesday is too late as the work continues today. We need to have them stop work until this is sorted out.

We sent a very clear message yesterday with why the plate height is wrong. We have been raising this issue for months. Please confirm today that the plate height is 10 inches over what was approved and what the City intends to do.

From: Sent: To: Cc: Subject: Kemp, Christine Friday, February 4, 2022 11:31 AM Brandon Swanson Quinn, Heidi A.; Marnie R. Waffle RE: Meeting Request

Brandon,

Thank you for your quick reply. Please confirm they will stop work until this sorted out. While it was our understanding they were already under an order to stop work on the roof, the work has been continuing. If we can be assured that the work will stop, then Tuesday at 2:00 should be ok, but if the work does not stop, our client needs to seek relief to protect herself so the building stops.

Please confirm they will stop work now.

Christine

Christine G. Kemp NOLAND, HAMERLY, ETIENNE & HOSS A Professional Corporation 333 Salinas Street P.O. Box 2510 Salinas, CA 93901 (831) 424-1414 ext. 271 (831) 424-1975 (fax) ckemp@nheh.com www.nheh.com

Serving the Central Coast Since 1928

From: Brandon Swanson [mailto:bswanson@ci.carmel.ca.us]
Sent: Friday, February 4, 2022 11:17 AM
To: Kemp, Christine
Cc: Quinn, Heidi A.; Marnie R. Waffle
Subject: Re: Meeting Request

Christine,

I need to take another look at the plans with my team because we came up with a different number than Heidi, and will do that before we meet. I can confirm that the plate height is higher than 19 feet, but I cannot confirm the exact number yet. I have asked the property owner to stop work on that portion of the home until we are able to resolve the issue with the plate height. I can move a couple things around and meet at 2:00pm on

From: Sent: To: Cc: Subject: Attachments: Kemp, Christine Friday, February 4, 2022 12:17 PM 'Brandon Swanson' Quinn, Heidi A.; 'Marnie R. Waffle' RE: Meeting Request 8FA098A9-860C-45B2-8BCC-859AA5DE9371.jpeg

Brandon,

The work continues on the roof today – see attached photo.

PLEASE have them stop work until this is sorted out. And PLEASE confirm the will comply.

Please send confirmation that work will stop today and not start until we have the additional information and we know what will occur with the City.

Thank you,

Christine Christine G. Kemp NOLAND, HAMERLY, ETIENNE & HOSS A Professional Corporation 333 Salinas Street P.O. Box 2510 Salinas, CA 93901 (831) 424-1414 ext. 271 (831) 424-1975 (fax) ckemp@nheh.com www.nheh.com

Serving the Central Coast Since 1928

From: Kemp, Christine Sent: Friday, February 4, 2022 11:31 AM To: 'Brandon Swanson' Cc: Quinn, Heidi A.; Marnie R. Waffle Subject: RE: Meeting Request

Brandon,



From:bswanson@ci.carmel.ca.usSent:Friday, February 4, 2022 12:37 PMTo:Kemp, ChristineCc:Quinn, Heidi A.; Marnie R. WaffleSubject:Re: Meeting Request

Christine,

I just talked to the property owner and confirmed that they will stop work on the portion of the project related to this roof and plate height issue. They have been asked to stop until the plate height issue is resolved. As we do with other projects in town, we will allow them to keep working on other areas of the site. If they do not comply, and continue to work on the area designated to stop, then we would issue a stop work order on the entire job site.

Sent from my iPhone, please excuse brevity or typos.

On Feb 4, 2022, at 12:16 PM, Kemp, Christine <CKemp@nheh.com> wrote:

Brandon,

The work continues on the roof today – see attached photo.

PLEASE have them stop work until this is sorted out. And PLEASE confirm the will comply.

Please send confirmation that work will stop today and not start until we have the additional information and we know what will occur with the City.

Thank you,

Christine

Christine G. Kemp NOLAND, HAMERLY, ETIENNE & HOSS A Professional Corporation 333 Salinas Street P.O. Box 2510 Salinas, CA 93901 (831) 424-1414 ext. 271 (831) 424-1975 (fax) ckemp@nheh.com From:Kemp, ChristineSent:Friday, February 4, 2022 12:52 PMTo:'bswanson@ci.carmel.ca.us'Cc:Quinn, Heidi A.; Marnie R. WaffleSubject:Stop work confirmation

Brandon,

Thank you for the stop work confirmation. I know our client will be watching, so hopefully, all goes well.

If the work is stopped, your original suggested meeting on Wednesday at 9:00 should be fine. Was that to be in person or by Zoom? If you can confirm, I will confirm your meeting with Heidi and Ms. Rangthong.

It would also be helpful if you can let us know what you find regarding the plate height related to the detailed information we provided yesterday.

Thank you,

Christine

Christine G. Kemp NOLAND, HAMERLY, ETIENNE & HOSS A Professional Corporation 333 Salinas Street P.O. Box 2510 Salinas, CA 93901 (831) 424-1414 ext. 271 (831) 424-1975 (fax) ckemp@nheh.com www.nheh.com

Serving the Central Coast Since 1928

From: bswanson@ci.carmel.ca.us [mailto:bswanson@ci.carmel.ca.us]
Sent: Friday, February 4, 2022 12:37 PM
To: Kemp, Christine
Cc: Quinn, Heidi A.; Marnie R. Waffle
Subject: Re: Meeting Request

Christine,

From:	Brandon Swanson <bswanson@ci.carmel.ca.us></bswanson@ci.carmel.ca.us>
Sent:	Friday, February 4, 2022 1:39 PM
То:	Kemp, Christine
Cc:	Quinn, Heidi A.; Marnie R. Waffle
Subject:	Re: Stop work confirmation

Ok, 9:00am on Wednesday is great. I will send a zoom link

-Brandon

×	A shares are party local the part of the set

Brandon Swanson [he, him, his] **Director, Community Planning and Building** City of Carmel-by-the-Sea (831) 620-2024

Please take our Customer Satisfaction Survey.

On Fri, Feb 4, 2022 at 12:52 PM Kemp, Christine <<u>CKemp@nheh.com</u>> wrote:

Brandon,

Thank you for the stop work confirmation. I know our client will be watching, so hopefully, all goes well.

If the work is stopped, your original suggested meeting on Wednesday at 9:00 should be fine. Was that to be in person or by Zoom? If you can confirm, I will confirm your meeting with Heidi and Ms. Rangthong.

It would also be helpful if you can let us know what you find regarding the plate height related to the detailed information we provided yesterday.

Thank you,

From:	bswanson@ci.carmel.ca.us
Sent:	Wednesday, February 9, 2022 7:19 AM
To:	Quinn, Heidi A.; Kemp, Christine
Subject:	Meeting today
Follow Up Flag:	Follow up
Flag Status:	Completed

Heidi,

It looks like we need to move our meeting today. We have planning commission this evening and there are a couple of morning fires that we need to work on. With Friday being a holiday, would Monday work for you?

We will continue to keep work stopped on the NW corner of the house and wait to make any decisions until we are able to meet with you of course.

Sent from my iPhone, please excuse brevity or typos.

From:	Quinn, Heidi A.
Sent:	Wednesday, February 9, 2022 9:29 AM
То:	bswanson@ci.carmel.ca.us; Kemp, Christine
Cc:	Kemp, Christine
Subject:	RE: Meeting today

Good morning Brandon,

We understand your need to reschedule today. Is it possible to meet tomorrow? We believe it is in everyone's best interests to resolve these issues as soon as possible.

We want to clarify that work will be stopped on the NW corner, which includes the roof and the western plate height.

We also want to bring the garage to your attention, which has been completely demolished. Based upon the Planning Commission approval and the plans, the nonconforming structure was to be retained.

Have there been any amendments or modifications to the permit and/or approvals for this project? If so , please provide us copies.

We look forward to your response,

Heidi A. Quinn NOLAND, HAMERLY, ETIENNE & HOSS A Professional Corporation 333 Salinas Street P.O. Box 2510 Salinas, CA 93902 (831) 424-1414 ext. 219 (831) 424-1975 (fax) HQuinn@nheh.com www.nheh.com

Serving the Central Coast Since 1928

-----Original Message-----From: <u>bswanson@ci.carmel.ca.us</u> [mailto:bswanson@ci.carmel.ca.us] Sent: Wednesday, February 9, 2022 7:19 AM To: Quinn, Heidi A.; Kemp, Christine Subject: Meeting today

Heidi,

It looks like we need to move our meeting today. We have planning commission this evening and there are a couple of morning fires that we need to work on. With Friday being a holiday, would Monday work for you?

We will continue to keep work stopped on the NW corner of the house and wait to make any decisions until we are able to meet with you of course.

From:	Brandon Swanson <bswanson@ci.carmel.ca.us></bswanson@ci.carmel.ca.us>
Sent:	Wednesday, February 9, 2022 4:22 PM
To:	Quinn, Heidi A.; Marnie R. Waffle
Cc:	Kemp, Christine
Subject:	Re: Meeting today
Follow Up Flag:	Follow up
Flag Status:	Completed

Heidi,

Thank you for understanding, it's been a wild day. I'm actually just now getting a chance to respond to a couple emails (while I'm in the PC Zoom meeting). Unfortunately, tomorrow is booked solid, but I will make myself available any time on Monday that works for you and your client with the exception of 11:00-Noon because of a meeting I can't move.

Please let me know what time you would like to meet on Monday and I will send a zoom link.

-Brandon

× -----

Brandon Swanson [he, him, his] Director, Community Planning and Building City of Carmel-by-the-Sea (831) 620-2024

Please take our Customer Satisfaction Survey.

On Wed, Feb 9, 2022 at 9:29 AM Quinn, Heidi A. <<u>HQuinn@nheh.com</u>> wrote: Good morning Brandon,

We understand your need to reschedule today. Is it possible to meet tomorrow? We believe it is in everyone's best interests to resolve these issues as soon as possible.

We want to clarify that work will be stopped on the NW corner, which includes the roof and the western plate height.

We also want to bring the garage to your attention, which has been completely demolished. Based upon the Planning Commission approval and the plans, the nonconforming structure was to be retained.

Have there been any amendments or modifications to the permit and/or approvals for this project? If so, please provide us copies.

We look forward to your response,

Heidi A. Quinn

From:	Quinn, Heidi A.
Sent:	Thursday, February 10, 2022 8:43 AM
То:	Brandon Swanson; Marnie R. Waffle
Cc:	Kemp, Christine
Subject:	RE: Meeting today

Good morning,

I hope the meeting went well last night.

We are all available Monday at 10:00. Does that work for your team?

I also want to follow up on my question below regarding permit amendments or modifications. If there have been any, can you please forward the information to me for review?

Much appreciation in advance,

Heidi A. Quinn NOLAND, HAMERLY, ETIENNE & HOSS A Professional Corporation 333 Salinas Street P.O. Box 2510 Salinas, CA 93902 (831) 424-1414 ext. 219 (831) 424-1975 (fax) HQuinn@nheh.com www.nheh.com

Serving the Central Coast Since 1928

From: Brandon Swanson [mailto:bswanson@ci.carmel.ca.us]
Sent: Wednesday, February 9, 2022 4:22 PM
To: Quinn, Heidi A.; Marnie R. Waffle
Cc: Kemp, Christine
Subject: Re: Meeting today

Heidi,

Thank you for understanding, it's been a wild day. I'm actually just now getting a chance to respond to a couple emails (while I'm in the PC Zoom meeting). Unfortunately, tomorrow is booked solid, but I will make myself available any time on Monday that works for you and your client with the exception of 11:00-Noon because of a meeting I can't move.

Please let me know what time you would like to meet on Monday and I will send a zoom link.

-Brandon

From:	Quinn, Heidi A.
Sent:	Thursday, February 10, 2022 5:05 PM
То:	Brandon Swanson; Marnie R. Waffle
Cc:	Kemp, Christine
Subject:	RE: Meeting today

Good evening,

Just following up regarding confirmation of Monday's meeting given that you are out of the office tomorrow. Are we scheduled?

Best Regards,

Heidi A. Quinn NOLAND, HAMERLY, ETIENNE & HOSS A Professional Corporation 333 Salinas Street P.O. Box 2510 Salinas, CA 93902 (831) 424-1414 ext. 219 (831) 424-1975 (fax) HQuinn@nheh.com www.nheh.com

Serving the Central Coast Since 1928

From: Quinn, Heidi A. Sent: Thursday, February 10, 2022 8:43 AM To: 'Brandon Swanson'; Marnie R. Waffle Cc: Kemp, Christine Subject: RE: Meeting today

Good morning,

I hope the meeting went well last night.

We are all available Monday at 10:00. Does that work for your team?

I also want to follow up on my question below regarding permit amendments or modifications. If there have been any, can you please forward the information to me for review?

Much appreciation in advance,

Heidi A. Quinn NOLAND, HAMERLY, ETIENNE & HOSS

From:	bswanson@ci.carmel.ca.us
Sent:	Thursday, February 10, 2022 7:42 PM
То:	Quinn, Heidi A.
Cc:	Marnie R. Waffle; Kemp, Christine
Subject:	Re: Meeting today

Heidi,

10:00am works perfect. I will send a zoom link before the meeting.

Sent from my iPhone, please excuse brevity or typos.

On Feb 10, 2022, at 5:05 PM, Quinn, Heidi A. <HQuinn@nheh.com> wrote:

Good evening,

Just following up regarding confirmation of Monday's meeting given that you are out of the office tomorrow. Are we scheduled?

Best Regards,

Heidi A. Quinn NOLAND, HAMERLY, ETIENNE & HOSS A Professional Corporation 333 Salinas Street P.O. Box 2510 Salinas, CA 93902 (831) 424-1414 ext. 219 (831) 424-1975 (fax) HQuinn@nheh.com www.nheh.com

Serving the Central Coast Since 1928

From: Quinn, Heidi A. Sent: Thursday, February 10, 2022 8:43 AM To: 'Brandon Swanson'; Marnie R. Waffle Cc: Kemp, Christine Subject: RE: Meeting today

Good morning,

I hope the meeting went well last night.

From: Sent: To: Subject: Quinn, Heidi A. Monday, February 14, 2022 9:19 AM 'Brandon Swanson' Zoom link?

Good morning,

Are we on for 10? If so, please send a zoom link. Ms. Rangthong will be participating in addition to Christine and myself.

Heidi A. Quinn NOLAND, HAMERLY, ETIENNE & HOSS A Professional Corporation 333 Salinas Street P.O. Box 2510 Salinas, CA 93902 (831) 424-1414 ext. 219 (831) 424-1975 (fax) HQuinn@nheh.com www.nheh.com

Serving the Central Coast Since 1928

From:	Quinn, Heidi A.
Sent:	Thursday, February 17, 2022 8:41 AM
То:	'Brandon Swanson'; 'Marnie R. Waffle'
Cc:	Kemp, Christine
Subject:	Follow-up

Good morning,

Thank you for meeting with us on Monday. I'm just following up regarding the information and documents you agreed to provide:

- 1. All permit amendments or modifications regarding the project, including the staff approval of the demolition of the garage.
- 2. Information as to how the City is currently calculating the plate height for the construction.
- 3. Information as to how staff calculated the existing plate height of 19' versus 18'6 as had been depicted in the staff report for the February Planning Commission meeting.
- 4. Any update as to further conversations with the Property Owner regarding compliance?
- 5. The date of the Planning Commission hearing should a resubmittal be necessary.

Please let me know if you have any questions, or would like to discuss further.

Much appreciation in advance,

Heidi A. Quinn NOLAND, HAMERLY, ETIENNE & HOSS A Professional Corporation 333 Salinas Street P.O. Box 2510 Salinas, CA 93902 (831) 424-1414 ext. 219 (831) 424-1975 (fax) HQuinn@nheh.com www.nheh.com

Serving the Central Coast Since 1928

From:	Quinn, Heidi A.
Sent:	Tuesday, March 1, 2022 3:25 PM
То:	'Brandon Swanson'; 'Marnie R. Waffle'
Cc:	Kemp, Christine
Subject:	RE: Follow-up

Good afternoon,

More than 2 weeks have passed since our meeting, and we still don't have any of the information that you agreed to provide. We have been requesting this information for months.

As we don't have the materials and will not have time to sufficiently review and prepare a response, we respectfully request the matter be heard at the April Planning Commission meeting.

Please confirm the matter will be scheduled for April 13, 2022.

Best Regards,

Heidi A. Quinn NOLAND, HAMERLY, ETIENNE & HOSS A Professional Corporation 333 Salinas Street P.O. Box 2510 Salinas, CA 93902 (831) 424-1414 ext. 219 (831) 424-1975 (fax) HQuinn@nheh.com www.nheh.com

Serving the Central Coast Since 1928

From: Quinn, Heidi A. Sent: Thursday, February 17, 2022 8:41 AM To: 'Brandon Swanson'; 'Marnie R. Waffle' Cc: Kemp, Christine Subject: Follow-up

Good morning,

Thank you for meeting with us on Monday. I'm just following up regarding the information and documents you agreed to provide:

- 1. All permit amendments or modifications regarding the project, including the staff approval of the demolition of the garage.
- 2. Information as to how the City is currently calculating the plate height for the construction.

From:	Brandon Swanson <bswanson@ci.carmel.ca.us></bswanson@ci.carmel.ca.us>
Sent:	Tuesday, March 1, 2022 3:37 PM
To:	Quinn, Heidi A.
Cc:	Marnie R. Waffle; Kemp, Christine
Subject:	Re: Follow-up
Follow Up Flag:	Follow up
Flag Status:	Flagged

Heidi,

We will have the information to you by the end of day tomorrow, as we had City Council yesterday and today. We still plan to take this in March since it has been noticed, but you can certainly ask the Planning Commission for a continuance if you feel that you don't have enough time to analyze and respond to the information you receive tomorrow.

-Brandon

× *******	, Sand Personal data lands Prophysics

Brandon Swanson [he, him, his] Director, Community Planning and Building City of Carmel-by-the-Sea (831) 620-2024

Please take our Customer Satisfaction Survey.

On Tue, Mar 1, 2022 at 3:25 PM Quinn, Heidi A. <<u>HQuinn@nheh.com</u>> wrote:

Good afternoon,

More than 2 weeks have passed since our meeting, and we still don't have any of the information that you agreed to provide. We have been requesting this information for months.

As we don't have the materials and will not have time to sufficiently review and prepare a response, we respectfully request the matter be heard at the April Planning Commission meeting.

Please confirm the matter will be scheduled for April 13, 2022.

From: Sent: To: Cc: Subject: Quinn, Heidi A. Tuesday, March 1, 2022 4:09 PM Brandon Swanson Marnie R. Waffle; Kemp, Christine RE: Follow-up

Brandon,

The continuance of the item to the April meeting can be noted on the agenda that will be published within the next few days. Re-noticing will not be required if the hearing continued to a date certain. My understanding is that staff can also request a continuance from the Chair at the meeting.

Providing the requested information (if it is provided) just days before the hearing and without an opportunity to meaningfully review and timely respond to the Commission is not equitable or fair to my client.

I hope you will reconsider.

Heidi A. Quinn NOLAND, HAMERLY, ETIENNE & HOSS A Professional Corporation 333 Salinas Street P.O. Box 2510 Salinas, CA 93902 (831) 424-1414 ext. 219 (831) 424-1975 (fax) HQuinn@nheh.com www.nheh.com

Serving the Central Coast Since 1928

From: Brandon Swanson [mailto:bswanson@ci.carmel.ca.us]
Sent: Tuesday, March 1, 2022 3:37 PM
To: Quinn, Heidi A.
Cc: Marnie R. Waffle; Kemp, Christine
Subject: Re: Follow-up

Heidi,

We will have the information to you by the end of day tomorrow, as we had City Council yesterday and today. We still plan to take this in March since it has been noticed, but you can certainly ask the Planning Commission for a continuance if you feel that you don't have enough time to analyze and respond to the information you receive tomorrow.

-Brandon

From: Sent: To: Cc: Subject: Kemp, Christine Wednesday, March 2, 2022 9:53 AM Brandon Swanson Marnie R. Waffle; Quinn, Heidi A. NEC Ocean/San Antonio project - 3/9/22 PC meeting

Brandon,

As Heidi mentioned, our client is prejudiced by our inability to timely see the City's plate height calculations and obtain information on the garage demo, before the staff report is prepared and posted for the March 9th Planning Commission meeting. We have asked for the information for months.

Nevertheless, as the City seems unwilling to accommodate the delay in providing us with the requested information and support our request for a continuance of the March 9th meeting to April 13th, we need to know:

- 1. When is the staff report posted and circulated to the Planning Commission members?
- 2. When does our information need to be sent to your office to go out with the staff report?
- 3. How much time will the Planning Commission allow for Ms. Rangthong's presentation at the meeting?

Thank you,

Christine

Christine G. Kemp NOLAND, HAMERLY, ETIENNE & HOSS A Professional Corporation 333 Salinas Street P.O. Box 2510 Salinas, CA 93901 (831) 424-1414 ext. 271 (831) 424-1975 (fax) ckemp@nheh.com www.nheh.com

Serving the Central Coast Since 1928

From: Quinn, Heidi A. Sent: Tuesday, March 1, 2022 4:09 PM To: Brandon Swanson

From:	Brandon Swanson <bswanson@ci.carmel.ca.us></bswanson@ci.carmel.ca.us>
Sent:	Wednesday, March 2, 2022 11:55 AM
То:	Quinn, Heidi A.
Cc:	Marnie R. Waffle; Kemp, Christine
Subject:	Re: Follow-up
Attachments:	BP 21-087 (Le Chiffre Holdings) RV01 Partial Approved Plans_garage only.pdf; BP 21-087 (Le Chiffre Holdings) RV01 Plans_submitted_on hold.pdf

Heidi,

Rest assured, we are in no way trying to prejudice or create inequity for your client. Our staff is continually trying to stay above water, and we do our best to respond. We have been able to meet with you on multiple occasions and have been corresponding regularly.

A full week to review the limited information below seems adequate, so I am not inclined to have a staff recommendation for continuance. If you and your client spend the week reviewing in earnest, and you still feel like you need a continuance, I am glad to make the Chair aware of that prior to the meeting so he can address that first prior to opening the heading on the matter. The crux of the Planning Commission hearing is whether or not the applicant should be allowed to increase the plate height above 19 feet, which would require a modification of the previous condition of approval. I think your client's position has been very clear after reviewing all the previous materials including surveys and drawings that have been provided to you.

Here are responses to your last set of questions:

1. All permit amendments or modifications regarding the project, including the staff approval of the demolition of the garage.

Attached are the plans for the BP revision submitted for the ridge height modification and garage modification. This revision was bifurcated and only the garage revision was issued. That set of approved plans is also attached.

2. Information as to how the City is currently calculating the plate height for the construction.

Plate height is measured from grade, the same as building height, which you pointed out in one of your previous emails. We are all in agreement that the plate height is over 19 feet, which is the reason for the public hearing. I would encourage you to do your own independent calculation based on all of the plans and surveys that have been shared with you and your client in the past. If you do not agree with the staff report that comes out this week for the Planning Commission, then you will have an opportunity to make your case at the hearing.

3. Information as to how staff calculated the existing plate height of 19' versus 18'6 as had been depicted in the staff report for the February Planning Commission meeting.

I'm unsure why this is being requested, since this came up on our previous call. At that time I mentioned that this was a decision that has already been made, memorialized in a condition of approval, and is long past the appeal period. The Planning Commission will be considering whether or not to modify this condition to allow a plate height of greater than 19 feet. If you would like to rewatch the hearing where this 19 foot plate height was

decided, here is the link from our City website: https://carmel.novusagenda.com/agendapublic/VODPreview.aspx?meetingVideoID=80e99b 11-4d81-49e2-9cf0-8646251ed7b1&index=5268

4. Any update as to further conversations with the Property Owner regarding compliance?

I have been providing updates as they happen to you, including the most recent one when I let you know ahead of time that we were going to allow tarping of the site. There are no further updates at this time.

The date of the Planning Commission hearing should a resubmittal be necessary. 5.

We spoke on the phone previously, so I think you're aware of this being on March 9th. I believe we also mentioned on our previous call that March 9th was the target.

-Brandon

×	le bile entite para a barrat	eren Yened W	 	1	

Brandon Swanson [he, him, his] **Director, Community Planning and Building** City of Carmel-by-the-Sea (831) 620-2024

Please take our Customer Satisfaction Survey.

On Tue, Mar 1, 2022 at 4:09 PM Quinn, Heidi A. <HQuinn@nheh.com> wrote:

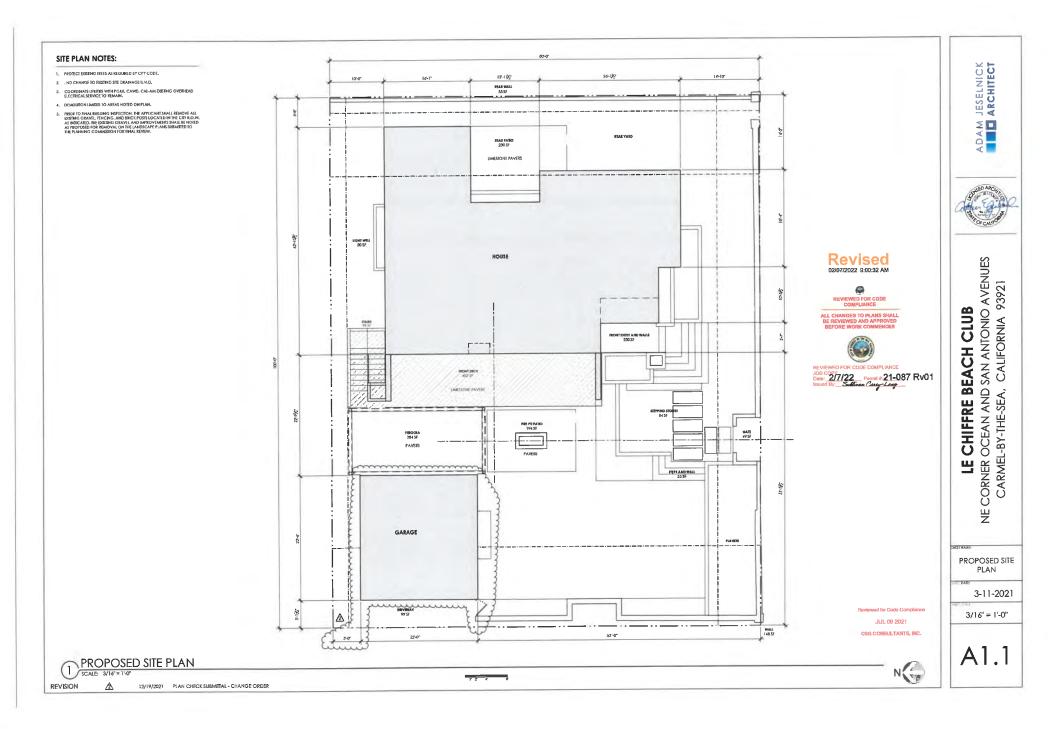
Brandon,

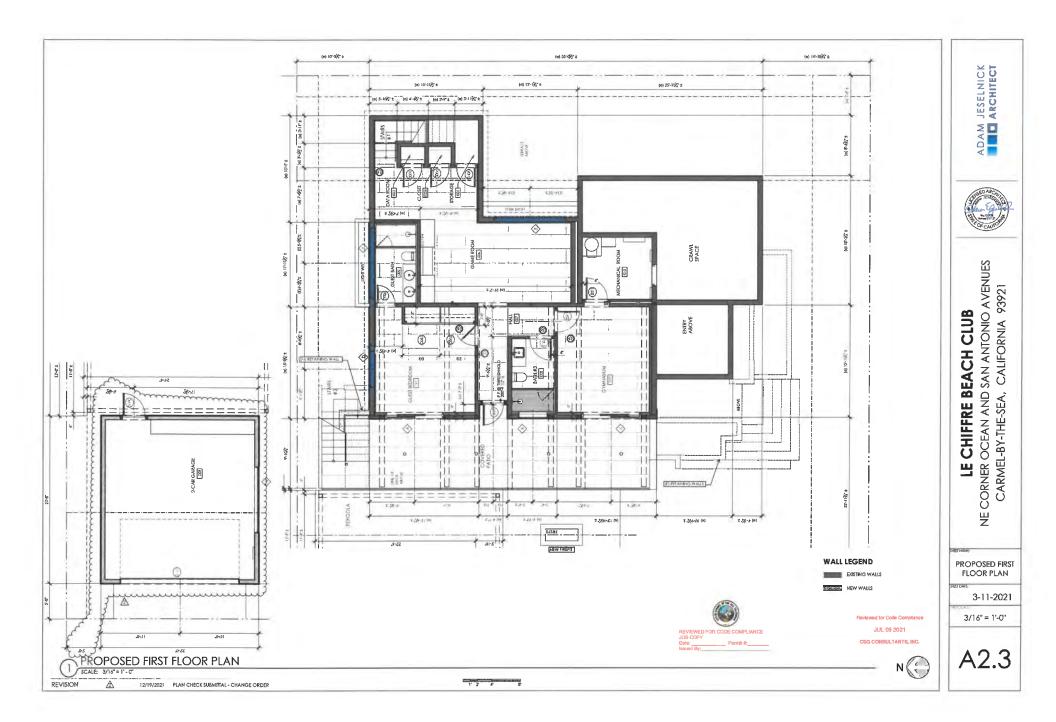
The continuance of the item to the April meeting can be noted on the agenda that will be published within the next few days. Re-noticing will not be required if the hearing continued to a date certain. My understanding is that staff can also request a continuance from the Chair at the meeting.

Providing the requested information (if it is provided) just days before the hearing and without an opportunity to meaningfully review and timely respond to the Commission is not equitable or fair to my client.

I hope you will reconsider.

Heidi A. Quinn





METAL ROOF SPECIFICATION

WESTERN STATES METAL ROOFING STANDING SEAM MATTE DARK BRONZE. SEE SPECIFICATIONS PROVIDED. LIVING ROOF NOTES:

- GENERAL HOTE: 1. MAXIMA WERKI LOAD FOR ALL GREEN ROOF COMPONENTS NOT TO EXCEED SOLISOF 2. CONTINUENT TO PROTECT ALL EXISTING UTILITIES, MIPROVEMENTS AND STRUCTURES AND RESTORE TO NEW F DAMAGED DURING THE COURSE OF THE WORK.
- I. COORDNATE ALL WORK TO PREVENT CONFLIGTS BETWEEN TRADES AND REPORT INCONDUSTENCIES BETWEEN NEW WORK AND SID DRAWINGS TO LANDSCAPE ARCHITECT BIBLIONTELY.
- LUNCIDE ADDITION DESCRIPTION DE LES MENDORS DE LES MENDES DE LES MENDES

- CONSERVATION: REQUIST CONTICUES: 1. THE GREEN ROOF CONTRACTOR IS RESPONSIBLE FOR CONFIRMING THAT THE EXISTING INDURING IS DOMPLETE, FREE OF LEAKS AND READY RECEIPTIC GREEN ROOF MATERIALS EPECAPED HEREIN.
- INVALVA UNANTROP MATERIAL SPECTED RETER > DE OCIÓNICIO DE UNITARIAL SPECTED RETERIO > DE OCIÓNICIO DE UNITARIAL EL DEL DE UNITARIAL DE UNA DE UN > DE UNITARIAL CARRENDO DE UNA DE UNA DEPUNISIÓN DE UNA > DE UNA DE INTERNA DE UNA DE

INCLUSION DEVICES OF THE ADVISION OF THE ADVISOR OF 2. WHERE GROWING MEDIUM DIPTH IS GREATER THAM I INCHES, INSTALL IN 2' LIFTS AND ACCOUNT FOR SETTLING TO ACHIEVE SPECIFIED DEPTH

ANTING NOTES:

- имальна, и нат тые, ор ирконерев занятититете то 18 белейно. 2. Октимства то политу индожере Алонстват и вык о ег имовая белоте тые илист ор соктажер илист в то осолк он тые коор оре. Это так и илистика илист и илистика и илист и илистика белоте то илистика и илистика и илистика и илистика илист Пата илистика илистика илисто илистика илистика и егонования илистика илистика илистика илистика илистика илист 1. Окаки от илистика илистика илистика илистика и результати илистика илистика илистика или политика илистика и на общетака.

PROPOSED ROOF PLAN

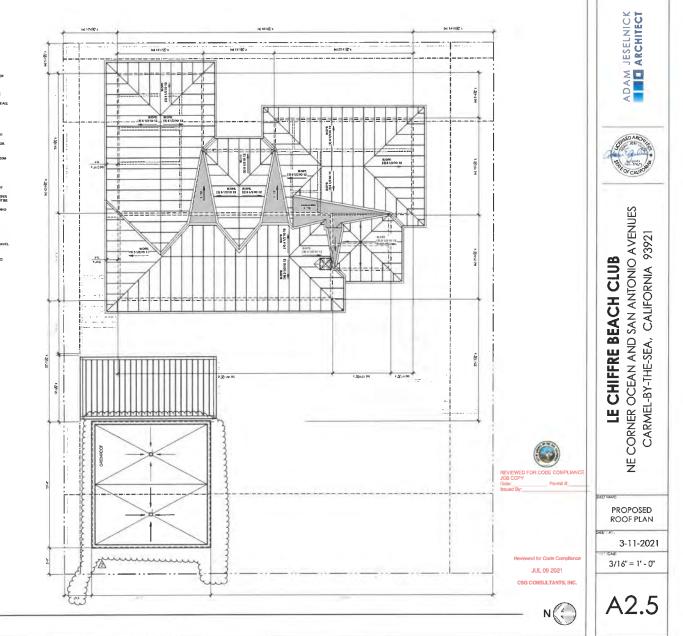
12/19/2021 PLAN CHECK SUBMETAL - CHANGE ORDER

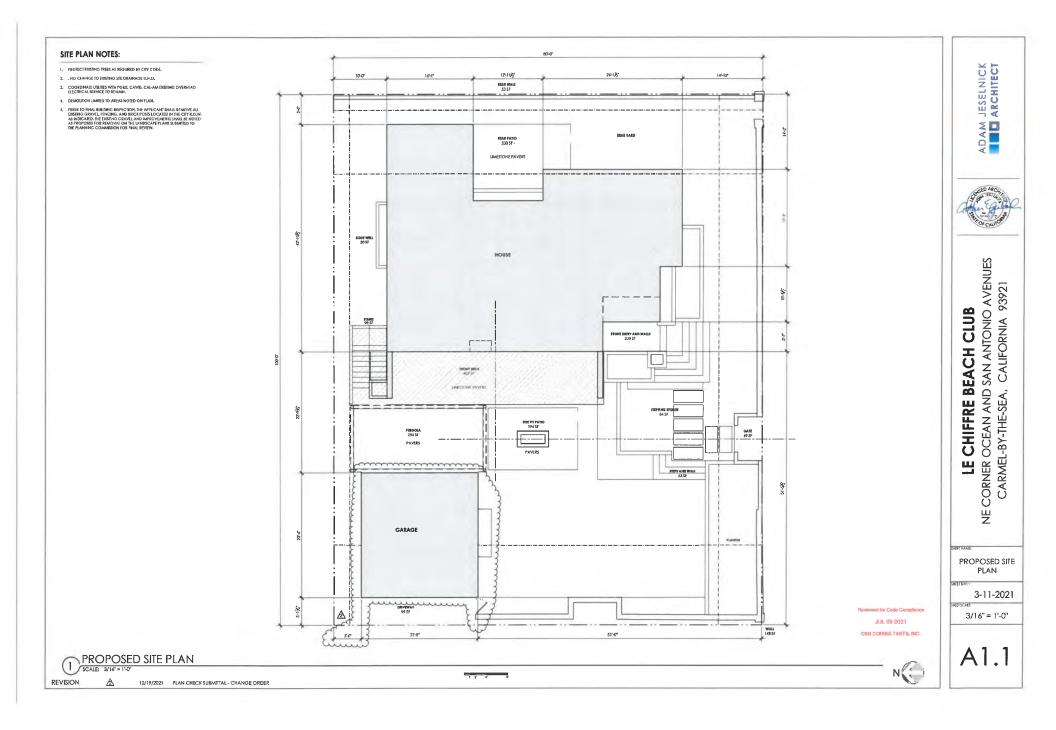
1) SCALE: 3/16"=1"-0"

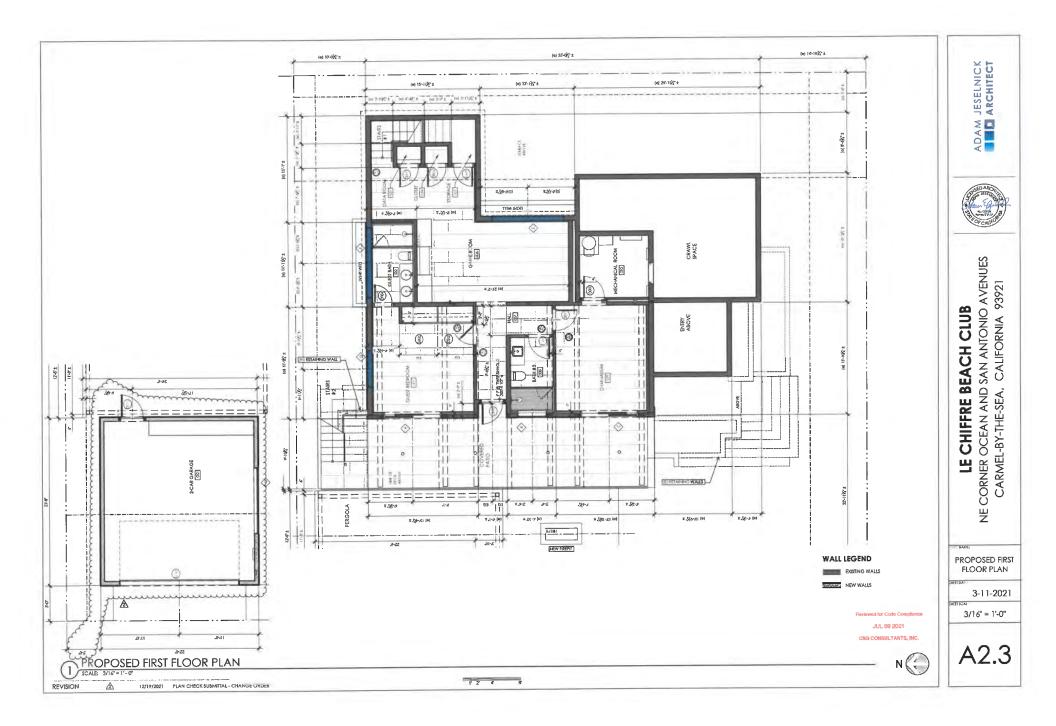
A

REVISION

- EXEMPLY I CONTRACT, ILLINGHUE TO BE CONCRETENT DI ETVILLES FIELLOS LOUL, INERE OMERNAEROTED. 2. NOTALE MANUACTURES CONSELT ALCENTION VELES OMERNAEROTES. 2. NOTALE MANUACTURES CONTRACT ALCENTION DU LES OMERNA CONSEL O RECO PANAET NO LOUISANE I' MUNIMITATION DU LES 2. NOTALES DU LES DU 4. DIVENDENTION DU LES DU 4. DIVENDENTION DU LES DU LE







METAL ROOF SPECIFICATION:

WESTERN STATES METAL ROOFING STANDING SEAM MATTE DARK BRONZE, SEE SPECIFICATIONS PROVIDED.

LIVING ROOF NOTES:

GENERAL NOTES:

<u>DENEMBANATESE</u> I MARABAN WEGERT LAND FOR ALL GREEN ROOF CEMPTONENTS NOT TO EXCEED SCL8565 2. CONTRACTOR TO PROTECT ALL EXCEPTIOL THES, MIRROWEIGHTS AND STRUCTURES AND RESTORE TO NEW CONDITION AT NO COST TO THE OWN F DAMAGED DURING THE COUNCES OF THE WORK. COORDNATE ALL WORK TO PREVENT CONFLICTS BETWEEN TRADES AND REPORT INCONSISTENCIES BETWEEN NEW WORK AND IND DRAWINGS TO LANDBCAPE ARCHITECT DIMEDIATELY.

- CONSTRUCTOR REALIZED CONSTRUMENTS IN THE MERININGON CONTINUENDE IN RESIDUALISE FOR CONTINUEND THAT THE EVENING ROOFING IS CONFLETE, FREE OF LEAKS NOT REALIZED IN THE MERININGON MATCHINE SEPTEMBER RECIVE ORDER FOOT MATC
- NECTIVE OF HERE NOOF MATTERIAL BECKERE HEREN. In En Galer noof van Tendel, beckere heren. In En Galer noof van Tendel, beckere heren en de heren en de heren heren en de heren

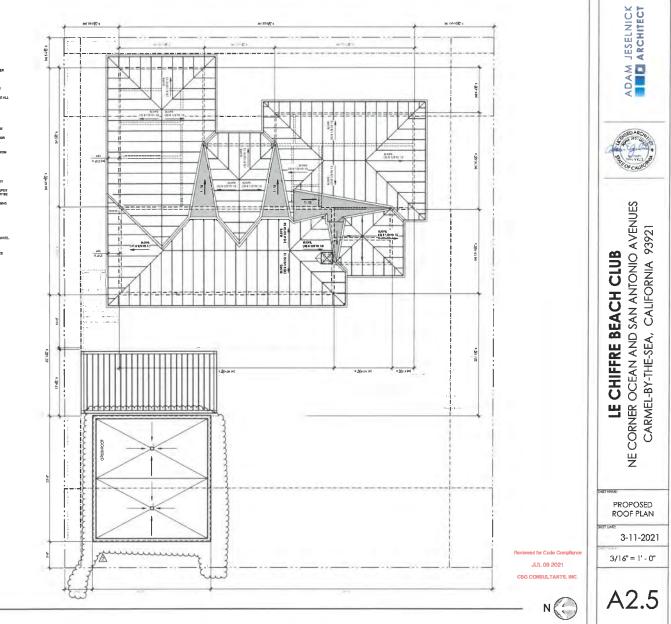
<u>Media conducto a constance do media de constance a regar do media constance de la constance da activación a constance da seconomica constance da constan Necessaria da constance da const</u>

2. WHERE GREANING MEDICAL DE HET FORM ON STOCKALE OF AN ANTERIOLS OF THE GREATING MEDICAL PARTY AND ACCOUNT POR SETTLING TO ACHIEVE SPECIFIED DEPTH. PLANTING HIGHES:

TATE UNDER RECEISION ENVECTORS IN OUT JULY DEDUCATION OF PERSITIONS. "IN ADDRESS TRUCK MAN DE DUCATION THE TELESCONDO A LINEARIA OF TORANTI A DATA DE DUCATION DE

PRODUCTS:

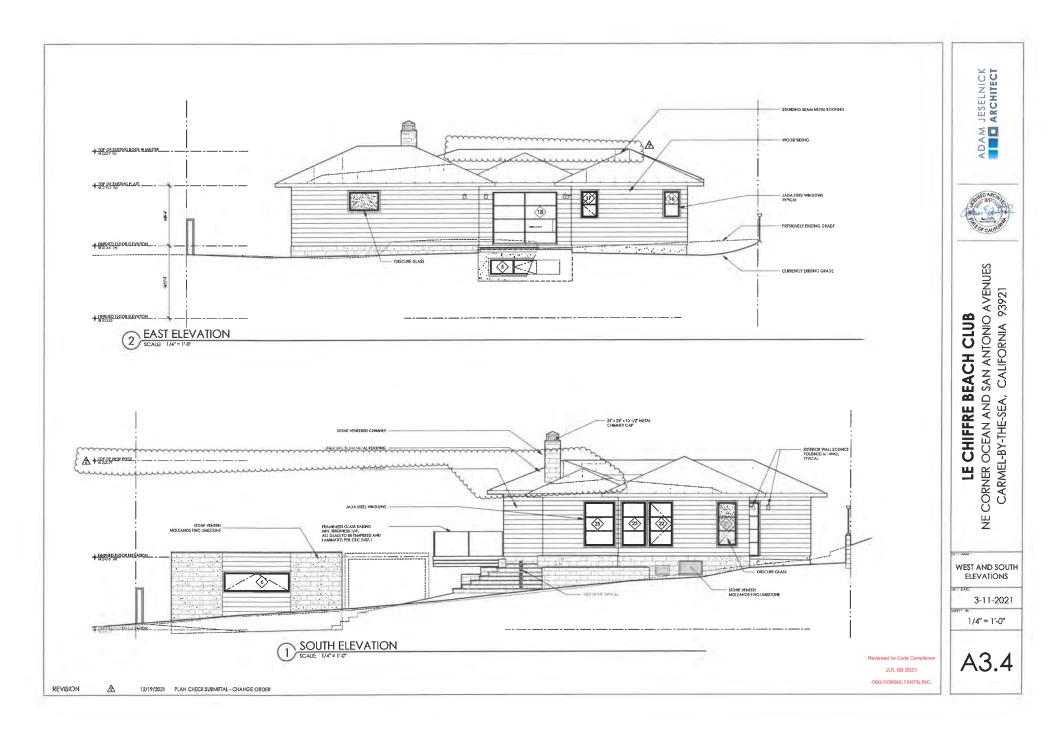
ERODATE I EXOLUTION I EXOTORIAL MANOME TO BE COMORDON RESETVOT 311 ETARLESS OFTERMARE MOTEO I EXOTORIAL MANOME TO BE COMORDON RESETVOT 311 ETARLESS OFTERMARE MOTEO I EXOTORIAL MANOME TO BE COMORDON RESETVOT 311 ETARLESS OFTERMARE MOTEO I COMORDON RESERVATIONS OF INCLUSION DE LA REMAIN DE MAREE VA DE COMORDON AL VIOL TO MEMBRINA I "BELON TOP OF ORAVEL I COMORDON REMAINMENTE OFTERMA TO EXO ANOMORDO DUAL IN TRADA DE LA DEMONSTRATIONAL DE LA DEMONDO DUAL IN MORDON OF RECONSTRUCTIONS DE LA DEMONDO DUAL DE MORDON DUAL DE MORDON DUAL DE MONDON DUAL DE MONDON DUAL DE MORDON DUAL DE MONDON D 8 SOE AN EN

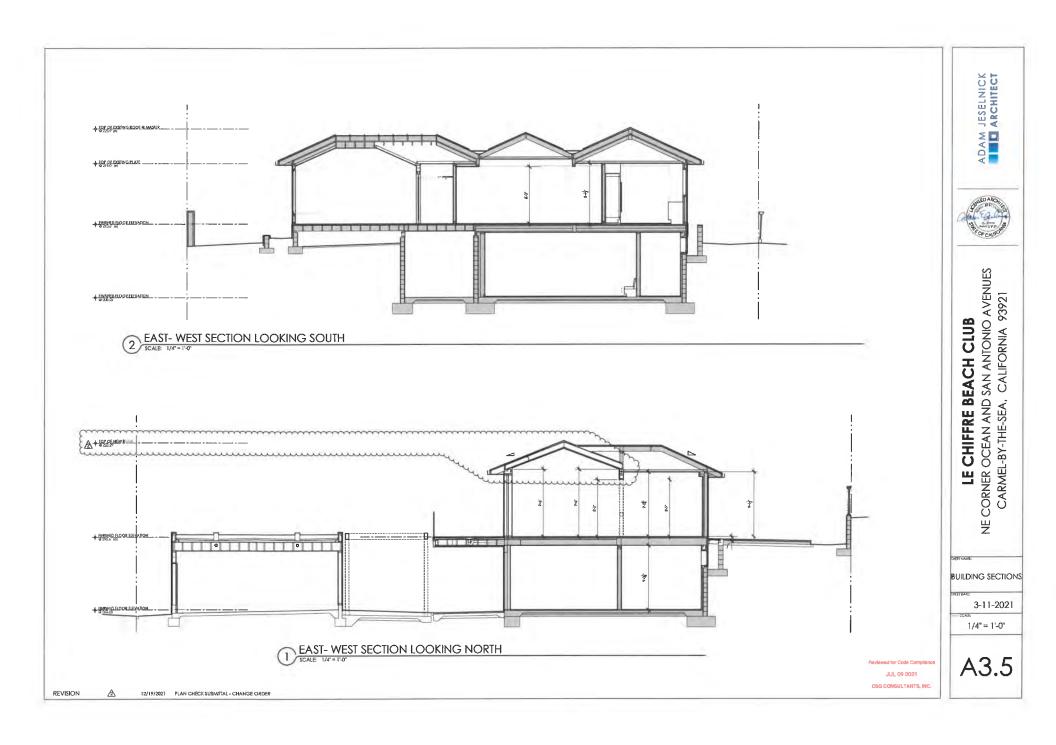


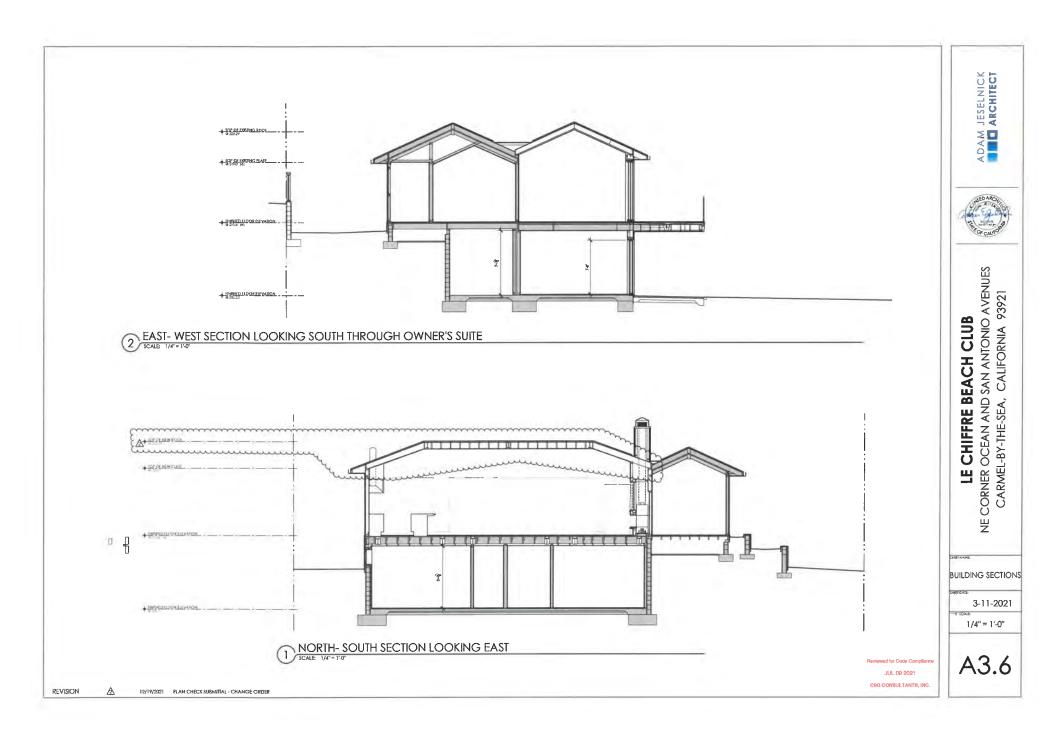
PROPOSED ROOF PLAN SCALE: 3/16"=1'-0"

REVISION A 12/19/2021 PLAN CHECK SUBMITTAL - CHANGE ORDER









From:	Brandon Swanson <bswanson@ci.carmel.ca.us></bswanson@ci.carmel.ca.us>
Sent:	Wednesday, March 2, 2022 1:14 PM
To:	Kemp, Christine
Cc:	Marnie R. Waffle; Quinn, Heidi A.
Subject:	Re: NEC Ocean/San Antonio project - 3/9/22 PC meeting
Follow Up Flag:	Follow up
Flag Status:	Flagged

Christine,

I sent an email a little bit ago in response to Heidi as well. In addition to that email:

1. When is the staff report posted and circulated to the Planning Commission members?

The report package will be out by the end of the day on Friday

2. When does our information need to be sent to your office to go out with the staff report?

If you would like something you prepare to go out at the same time as the staff report, we need it by Thursday afternoon. However, we will make sure the Planning Commission receives any correspondence that is received right up to the hearing on Wednesday. So, if you send us something on Monday, we will turn around and immediately forward it to the Commission

3. How much time will the Planning Commission allow for Ms. Rangthong's presentation at the meeting?

Time for public comments is usually three (3) minutes per speaker. This time is set by the Chair, and it is at their discretion to grant more time upon request. I would suggest that if you need more than three minutes, to make that request in advance.

-Brandon

Brandon Swanson [he, him, his] **Director, Community Planning and Building** City of Carmel-by-the-Sea (831) 620-2024

Please take our Customer Satisfaction Survey.

From:	Quinn, Heidi A.
Sent:	Wednesday, March 2, 2022 4:07 PM
То:	'Brandon Swanson'
Cc:	Marnie R. Waffle; Kemp, Christine
Subject:	RE: Follow-up

Good afternoon,

We have a few questions regarding your statements below.

- We don't understand your reference to the BP revision below. It appears applicant submitted an application for a ridge line increase last year? We were not informed of this submittal although we had repeatedly requested information as to any submittals or revisions by the applicant.
- In #2, we asked for the permits for the garage, but only received the plans. Can you please forward the permit?
- Also, given the location and the complete demolition of the garage, wasn't a CDP necessary? If so, may we please have a copy of that as well?
- Regarding #3, what is the City's calculation as to plate height? While you state you agree it exceeds 19', you haven't provided the City's calculation. This information has been repeatedly requested, and I understood that you agreed to provide it during our meeting. It now sounds like you won't be providing this information until the staff report is released, which again limits our ability to review and respond prior to the hearing.

Best Regards,

Heidi A. Quinn NOLAND, HAMERLY, ETIENNE & HOSS A Professional Corporation 333 Salinas Street P.O. Box 2510 Salinas, CA 93902 (831) 424-1414 ext. 219 (831) 424-1975 (fax) HQuinn@nheh.com www.nheh.com

Serving the Central Coast Since 1928

From: Brandon Swanson [mailto:bswanson@ci.carmel.ca.us] Sent: Wednesday, March 2, 2022 11:55 AM To: Quinn, Heidi A. Cc: Marnie R. Waffle; Kemp, Christine Subject: Re: Follow-up

From:	Brandon Swanson <bswanson@ci.carmel.ca.us></bswanson@ci.carmel.ca.us>
Sent:	Tuesday, February 22, 2022 8:45 AM
То:	Quinn, Heidi A.; Kemp, Christine
Cc:	Marnie R. Waffle; Jermel Laurie
Subject:	Tarping at LeChiffre project

Good morning Heidi,

I wanted to let you know that you might see a tarp going up over the top of that northwest corner that we've all been discussing. The property owner understands that this will not be a fast solution since we need to go to the Planning Commission, so they have requested to protect the materials from the elements. This is something that we allow on a regular basis for projects that have received a stop work order so there is no damage to the exposed materials while the case is working through resolution. They may need to install some boards to support the tarp, but rest assured that they are aware this is temporary, and if they are required by the Planning Commission to lower the plat height, all of this temporary work will be removed as well.

I also saw your other email, and we will work to get you answers in the next couple of days.

Thanks,

-Brandon

×	hang menyakan sering bergalak paranta penyakan selaman kan	

Brandon Swanson [he, him, his] Director, Community Planning and Building City of Carmel-by-the-Sea (831) 620-2024

Please take our Customer Satisfaction Survey.

From:	Quinn, Heidi A.
Sent:	Tuesday, February 22, 2022 8:55 AM
То:	'Brandon Swanson'
Subject:	RE: Tarping at LeChiffre project

Good morning,

Thank you for letting us know. We look forward to your responses.

Best Regards,

Heidi A. Quinn NOLAND, HAMERLY, ETIENNE & HOSS A Professional Corporation 333 Salinas Street P.O. Box 2510 Salinas, CA 93902 (831) 424-1414 ext. 219 (831) 424-1975 (fax) HQuinn@nheh.com www.nheh.com

Serving the Central Coast Since 1928

From: Brandon Swanson [mailto:bswanson@ci.carmel.ca.us]
Sent: Tuesday, February 22, 2022 8:45 AM
To: Quinn, Heidi A.; Kemp, Christine
Cc: Marnie R. Waffle; Jermel Laurie
Subject: Tarping at LeChiffre project

Good morning Heidi,

I wanted to let you know that you might see a tarp going up over the top of that northwest corner that we've all been discussing. The property owner understands that this will not be a fast solution since we need to go to the Planning Commission, so they have requested to protect the materials from the elements. This is something that we allow on a regular basis for projects that have received a stop work order so there is no damage to the exposed materials while the case is working through resolution. They may need to install some boards to support the tarp, but rest assured that they are aware this is temporary, and if they are required by the Planning Commission to lower the plat height, all of this temporary work will be removed as well.

I also saw your other email, and we will work to get you answers in the next couple of days.

Thanks,

-Brandon

From:Quinn, Heidi A.Sent:Tuesday, February 22, 2022 10:37 AMTo:'Brandon Swanson'Cc:'Marnie R. Waffle'Subject:RE: Tarping at LeChiffre project

Just following up. I hope the property owner will be tarping the project in a way that does not unnecessarily impact Ms. Rangthong's property. Can you please confirm?

Best Regards,

Heidi A. Quinn NOLAND, HAMERLY, ETIENNE & HOSS A Professional Corporation 333 Salinas Street P.O. Box 2510 Salinas, CA 93902 (831) 424-1414 ext. 219 (831) 424-1975 (fax) HQuinn@nheh.com www.nheh.com

Serving the Central Coast Since 1928

From: Brandon Swanson [mailto:bswanson@ci.carmel.ca.us]
Sent: Tuesday, February 22, 2022 8:45 AM
To: Quinn, Heidi A.; Kemp, Christine
Cc: Marnie R. Waffle; Jermel Laurie
Subject: Tarping at LeChiffre project

Good morning Heidi,

I wanted to let you know that you might see a tarp going up over the top of that northwest corner that we've all been discussing. The property owner understands that this will not be a fast solution since we need to go to the Planning Commission, so they have requested to protect the materials from the elements. This is something that we allow on a regular basis for projects that have received a stop work order so there is no damage to the exposed materials while the case is working through resolution. They may need to install some boards to support the tarp, but rest assured that they are aware this is temporary, and if they are required by the Planning Commission to lower the plat height, all of this temporary work will be removed as well.

I also saw your other email, and we will work to get you answers in the next couple of days.

Thanks,

-Brandon

From: Brandon Swanson [mailto:<u>bswanson@ci.carmel.ca.us</u>] Sent: Tuesday, February 22, 2022 11:01 AM To: Quinn, Heidi A. Cc: Marnie R. Waffle Subject: Re: Tarping at LeChiffre project

Heidi,

Can you clarify a little what you mean by unnecessarily impact Ms. Rangthong's property?

-Brandon

×			

Brandon Swanson [he, him, his] Director, Community Planning and Building City of Carmel-by-the-Sea (831) 620-2024

Please take our Customer Satisfaction Survey.

On Tue, Feb 22, 2022 at 10:37 AM Quinn, Heidi A. <<u>HQuinn@nheh.com</u>> wrote:

From:Quinn, Heidi A.Sent:Tuesday, February 22, 2022 11:50 AMTo:'Brandon Swanson'Cc:Marnie R. WaffleSubject:RE: Tarping at LeChiffre project

Good morning,

I'm just wanting to confirm that the tarping will not obstruct the view.

Heidi A. Quinn NOLAND, HAMERLY, ETIENNE & HOSS A Professional Corporation 333 Salinas Street P.O. Box 2510 Salinas, CA 93902 (831) 424-1414 ext. 219 (831) 424-1975 (fax) HQuinn@nheh.com www.nheh.com

Serving the Central Coast Since 1928

From: Brandon Swanson [mailto:bswanson@ci.carmel.ca.us]
Sent: Tuesday, February 22, 2022 11:01 AM
To: Quinn, Heidi A.
Cc: Marnie R. Waffle
Subject: Re: Tarping at LeChiffre project

Heidi,

Can you clarify a little what you mean by unnecessarily impact Ms. Rangthong's property?

-Brandon

Brandon Swanson [he, him, his] **Director, Community Planning and Building** City of Carmel-by-the-Sea (831) 620-2024

Please take our Customer Satisfaction Survey.

On Tue, Feb 22, 2022 at 10:37 AM Quinn, Heidi A. <<u>HQuinn@nheh.com</u>> wrote:

From:	Brandon Swanson <bswanson@ci.carmel.ca.us></bswanson@ci.carmel.ca.us>
Sent:	Tuesday, February 22, 2022 12:05 PM
То:	Quinn, Heidi A.
Cc:	Marnie R. Waffle
Subject:	Re: Tarping at LeChiffre project

The tarping will be going over the top of the existing structure, so any views through the building will of course be blocked for the temporary period that the tarps are installed.

-Brandon

×	han an a

Brandon Swanson [he, him, his] **Director, Community Planning and Building** City of Carmel-by-the-Sea (831) 620-2024

Please take our Customer Satisfaction Survey.

On Tue, Feb 22, 2022 at 11:50 AM Quinn, Heidi A. <<u>HQuinn@nheh.com</u>> wrote:

Good morning,

I'm just wanting to confirm that the tarping will not obstruct the view.

Heidi A. Quinn

NOLAND, HAMERLY, ETIENNE & HOSS

A Professional Corporation 333 Salinas Street

P.O. Box 2510

Salinas, CA 93902

(831) 424-1414 ext. 219

(831) 424-1975 (fax)

From:	Quinn, Heidi A.
Sent:	Thursday, February 24, 2022 2:15 PM
То:	Brandon Swanson
Cc:	Marnie R. Waffle; Kemp, Christine
Subject:	Roof being built?
Attachments:	4D87D206-8D39-4237-9331-F659FB95BEB2.jpeg; 4945B847-D5ED-4B71-9866- C1BB8B6F5E12.jpeg; B4E67A39-23CF-4D37-9BEB-7C237209AD2E.jpeg

Good afternoon,

It appears applicant is building the roof by installing all the rafters rather than simply securing a tarp. This does not appear to be temporary. What happened to the stop work order?

Our client is being prejudiced by work continuing after months of correspondence with the City regarding construction in violation of the Planning Commission approval.

Heidi A. Quinn NOLAND, HAMERLY, ETIENNE & HOSS A Professional Corporation 333 Salinas Street P.O. Box 2510 Salinas, CA 93902 (831) 424-1414 ext. 219 (831) 424-1975 (fax) HQuinn@nheh.com www.nheh.com

Serving the Central Coast Since 1928

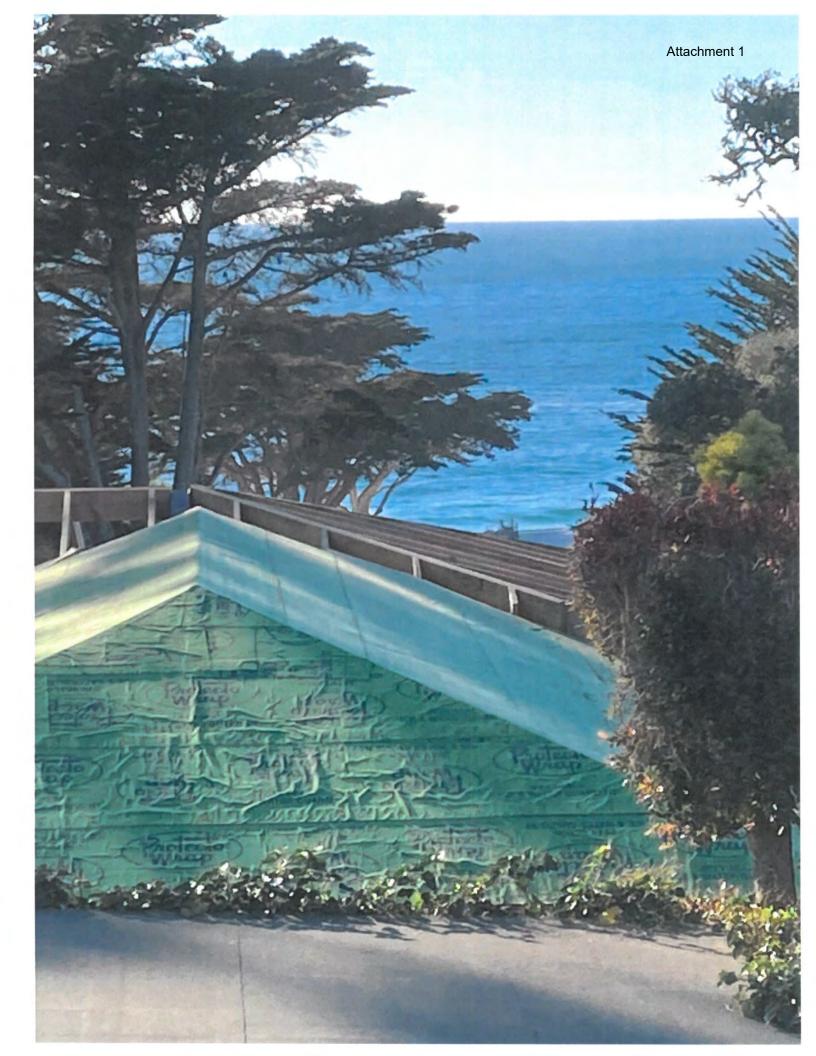
From: Brandon Swanson [mailto:<u>bswanson@ci.carmel.ca.us</u>] Sent: Tuesday, February 22, 2022 8:45 AM To: Quinn, Heidi A.; Kemp, Christine Cc: Marnie R. Waffle; Jermel Laurie Subject: Tarping at LeChiffre project

Good morning Heidi,

I wanted to let you know that you might see a tarp going up over the top of that northwest corner that we've all been discussing. The property owner understands that this will not be a fast solution since we need to go to the Planning Commission, so they have requested to protect the materials from the elements. This is something that we allow on a regular basis for projects that have received a stop work order so there is no







Attachment 2

March 7, 2022

Members of the Planning Commission City of Carmel-by-the-Sea Carmel CA 93921

Re: Ulrika Plaza

Dear Commissioners:

Ten months ago I spoke about the importance of this site and the special opportunity it presents. Despite modest improvements in some areas, that opportunity still exists unmet. The design needs further study and basic change.

Carmel's urban fabric is small-scale; intimate courtyards and passageways that--in the words of the guidelines--"provide the anticipation of unusual and often intriguing connecting routes". What we see here is the antithesis: a large, monolithic U-shaped complex wrapping around wide, geometric cross-axes of space, barren and grandiose. The design should be broken up into discrete buildings, separated by multiple intimate courtyards and "intriguing" passageways connecting them. See the interlocking courtyards of the Court of the Golden Bough. This can be easily achieved in the same space.

The guidelines call for minimizing differentiation in one building. The elevations can be improved by following that precept, not by contrasting materials, colors and rooflines such as at the corner building at Fifth and Dolores in particular.

The street wall is all-important; what is shown is largely flat and unrelieved. The guidelines call for punctuations by projections. entries, small planters and entrances to courtyards and intrablock walkways as stated above. The proposal shows these only minimally, no fountains or sculpture; entrances to the courtyards and intra-block walkways are limited to the one toogrand opening along the street, then a narrow ramp as an intra-block walkway. A project of this magnitude demands these civic gestures.

Everyone is concerned about the Pit and eager to see a resolution. However, we must not rush the process essential to achieve a solution we can all be proud of.

Sincerely,

le Samle

Donald Goodhue FAIA, Architect Former Carmel Planning Commissioner

From: **Tom Parks** < Date: Mon, Mar 7, 2022 at 9:20 AM Subject: Re: Dolores and 5th To: Brandon Swanson <<u>bswanson@ci.carmel.ca.us</u>>

Yes, please, Brandon. And thanks for taking the time to respond. t.

On Mon, Mar 7, 2022 at 8:38 AM Brandon Swanson <<u>bswanson@ci.carmel.ca.us</u>> wrote: Tom,

Thanks for the email. Would you like me to forward this to the Planning Commission? I hope you will join us virtually for the PC meeting this Wednesday to provide your comments in person.

Take care

-Brandon



Brandon Swanson [he, him, his] Director, Community Planning and Building City of Carmel-by-the-Sea (831) 620-2024

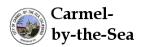
Please take our Customer Satisfaction Survey.

On Sun, Mar 6, 2022 at 4:19 PM Tom Parks <<u>tomparks.carmel@gmail.com</u>> wrote: Hello, Brandon. Below is a letter I was about to send to the Pinecone. Instead I thought you should see it. A personal opinion, of course, but my thoughts are not altogether different from others I'm spoken to.

Red Flags Over the Pit. No, that's not a song, more like a warning to many Carmelites who pass the seemingly forever hole in the ground at Dolores and 5th. The latest elevation rendering warns us yet again just what Carmel isn't. In fact, this design has absolutely nothing to do with the storied character of our iconic Village.

It could be characterized as shopping mall chic or perhaps, Disneyland fantasy facade or two hundred adorable homes in a gated community on the outskirts of Akron or Salinas or Dallas. Back to the drawing board, fellows. But before that, take a walk around the town and get a real feel for it and come up with something worthy of our historic hamlet. Oh, just one more thing: I wonder if this design would enhance downtown Monaco? Just asking.

Yes, I've used humor but I'm quite serious. With your background surely you too can see real problems. Thanks for reading it. t.



Marnie R. Waffle <mwaffle@ci.carmel.ca.us>

Application: DS 21-211 (Rachleff) for Hearing on 3/9/22

Marnie R. Waffle <mwaffle@ci.carmel.ca.us> To: Marnie Waffle <mwaffle@ci.carmel.ca.us> Mon, Mar 7, 2022 at 8:55 AM

------ Forwarded message ------From: **Stan Meresman** <REDACTED> Date: Sat, Mar 5, 2022 at 12:14 PM Subject: Application: DS 21-211 (Rachleff) for Hearing on 3/9/22 To: Brandon Swanson <bswanson@ci.carmel.ca.us>, Marnie Waffle <mwaffle@ci.carmel.ca.us>

Brandon and Marnie,

Re: Scenic Road 3 Northeast of 13th Avenue, Block 5A, Lot 5, APN: 010-292-007-000; Application: DS 21-211 (Rachleff).

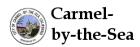
Sharon and I enthusiastically support the remodel construction project proposed by the Rachleffs at Scenic Road 3 Northeast of 13th Avenue.

We live two doors south (NE Corner of Scenic Rd and 13th Avenue) of the Rachleff residence. We have walked by and seen the story poles, including the additions, which to us will be unobtrusive, and a design that fits into our neighborhood. The Debit and Andy Rachleff have been proactive in reaching out to us (and others in the neighborhood) to communicate their plans and listen to us. This remodel will enhance our neighborhood.

We are also happy to have the Rachleff as neighbors knowing that they are very caring for the trees and the beach of our Village.

Respectfully submitted, Stan and Sharon Meresman

Stan and Sharon Meresman NE Corner of Scenic Road & 13th Avenue Carmel-by-the-Sea, CA 93921-6085 REDACTED REDACTED REDACTED



Debbie and Andy Rachleff Project

Marnie R. Waffle <mwaffle@ci.carmel.ca.us> To: Marnie Waffle <mwaffle@ci.carmel.ca.us> Mon, Mar 7, 2022 at 8:57 AM

------ Forwarded message ------From: Jim Messemer <REDACTED> Date: Sat, Mar 5, 2022 at 11:56 AM Subject: Debbie and Andy Rachleff Project To: <bswanson@ci.carmel.ca.us>, Marnie R. Waffle <mwaffle@ci.carmel.ca.us> Cc: Debbie Rachleff <REDACTED>, Debbie Rachleff <REDACTED>, Debbie McDonald Messemer <REDACTED>

Brandon and Marnie, good morning.

My wife Debbie Messemer and I are providing this letter of enthusiastic support for the construction being proposed by Andrew and Debra Rachleff at Scenic Road 3 Northeast of 13th Avenue, Block 5A, Lot 5, APN: 010-292-007-000; Application: DS 21-211 (Rachleff).

We live at Scenic Road 2 Northeast of 13th Avenue, the immediate southern neighbor of this property. We have appreciated the level of proactive and helpful communication with the Rachleffs on this proposed project. They have shared the design plans with us which are just beautiful and capture the natural beauty of the area. It will be a muchneeded upgrade from the existing home. We have observed the story poles which are not obtrusive in any way. We believe the proposed project design preserves reasonable privacy and view opportunities to natural features for our adjacent property.

We couldn't be more pleased to have the Rachleffs (who are absolutely wonderful people!) as our neighbors and for them to build their beautiful home. Please accept this as our enthusiastic support of this project.

Best,

Jim and Debbie Messemer REDACTED

TO: Carmel Planning Commissioners
From: Tom Stevens (Neighbor to the West)
Subject: 5th & Carpenter Proposal #2 – Response to Staff Report
Date: March 7th, 2022
Cc: Concerned Neighbors

The Staff Report is well written and makes many excellent points and recommendations. I would like to further discuss 3 subjects:

FOREST CHARACTER

The location of the replacement trees is a very important design issue. The original proposal showed the replacement zones nicely spread out in the open area to the north and east of the garage. The current proposal does not show their location and it is not apparent where they could be placed. Condition 1 does require this to be done prior to final detail reviews, but why wait til then? If there is insufficient space the design will need to change. Doesn't it make more sense to address the issue now at the conceptual stage?

PARKING & ACCESS

The neighbors contend that having the garage located 10" from the property line creates an unnecessary safety hazard. Staff argues that the proposed location is the most feasible and that there would be 19 feet of back up space utilizing the unimproved right away.

The best location for the garage and the driveway is next to the west property line – furthest away from the busy intersection. However, we don't agree that it needs to be 10" from the property line. Yes, there is the unimproved right away but keep in mind this is approximately just the length of a car.

Again, we point out that the visibility of the garage and driveway is and will be significantly impaired by big oak trees and parked cars in the unimproved right away. This off-street parking is currently heavily used and will be more so with the addition of a 3 bedroom house with an ADU. Cars speed up and down 5th all the time. Surely, the further the garage can be pushed away from the property line the better the chance to see a car backing up. When you visit the site study the lack of visibility. The neighbors who live there every day are telling you this will be a problem. Unnecessary accidents will happen.

Why make a bad situation worse. The set back is 4'. You have a good reason not to allow a variance.

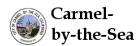
APPROVAL RECOMMENDATION

Staff is recommending the design be approved with 13 conditions. They have indicated the design gets 7 "yes" and 5 "no" on their Concept Phase Approval Findings checklist. We question the "yes" vote on item 1 and 11. Item 1 discusses appropriate permits and/or variances and we refer to the above discussion on the garage and safety. Item 11 discusses landscaping and we refer to the lack of designated replacement tree zones.

Our count is 7 "no". There are some big open items. Let's get them resolved before we go further and then have to backtrack.

I look forward to the site visit and meeting.

All the best,



Re; DS-21-243 (Heyermann) – NWC Carpenter and 5th Avenue, Block 44, Lot 19, APN: 010-031-021-000

Kiang Zee

Mon, Mar 7, 2022 at 2:55 PM

To: "mwaffle@ci.carmel.ca.us" <mwaffle@ci.carmel.ca.us>

Marnie,

We are Linda Schenk and Kiang Zee and we live across the street from the subject project. A ached is an MS Word document with our comments. I hope you and your staff will review our comments and consider them in your efforts to protect and preserve the character of our village.

Thank you for your considera on,

Linda Schenk and Kiang Zee

DS 21-243 Comments.docx 16K

Subject: DS 21-243 (Heyermann) – NWC Carpenter and 5th Avenue, Block 44, Lot 19, APN: 010-031-021-000

We are residents of Carmel and live across the street from the proposed project location. We have reviewed the plans of the subject project and have concerns that the cognizant city agency should address.

- 1. Chapter 17.10.010 of the R-1 District Design Regulations provides several fundamental design objectives that the subject project violates.
 - a. The proposed project as depicted on the submitted plans would result in a property that is essentially devoid and any practical available space for "urban forest or other vegetation characteristic of the neighborhood". All other adjacent properties are characterized by a variety of trees and plants while this property seems to be devoid of any such characteristics.
 - b. The 'mass and bulk' of this project is not consistent with the neighborhood.
 - c. The project also creates a situation where the adjacent property to the north of the project will be 'boxed-in' due to the width and height of the proposed structure.
- 2. The plans for the project do not show all the impacted trees. The plans show the removal of one cluster at the garage and the removal of one tree at the front entrance. It does not show the impact to the trees on the northeast corner of the property where several very large limbs are impacted.
- 3. The project also involves significant removal of earth to a depth of at least 6 feet adjacent to an existing tree. It would seem to be a reasonable and foreseeable consequence if this project is allowed as configured to subject this tree to deleterious impacts.
- 4. The proposed location of the garage appears to be in conflict with multiple requirements. The position of the garage should be moved towards the rear of the property to be consistent and harmonious with the neighborhood.
- 5. The two-story portion of the project uses a flat roof and the plans indicate that solar panels are to be installed. This flat roof conflicts with the remainder of the property design and seems to have been specifically designed to comply with the height limit that applies given its location on the property. There needs to be a specific stipulation that no portion of the solar panels and/or any appurtenances thereof be allowed to violate this height limit. In addition, the Planning Commission needs to evaluate the acceptability of this design independent of the solar panels.
- 6. This project as it is currently proposed would seem to require notable actions on the part of the owner to replace or otherwise mitigate the removal of the trees and to offset the consequences of the extensive hard surface associated with this property. However, it is unclear how any such requirements can be protected until such time that any attempts to remove or alter them would be subject to the existing rules and regulations associated with the protection of mature trees. In other words, given the likely sale of this property once construction is completed, how does one ensure that the new owners will not simply cut down any newly planted trees while they are still 'small' and not protected by the city ordinances?
- 7. While the proposed ADU seems to be compliant with current regulations, the lot is not big enough to realistically support 2 dwellings, resulting in the possibility of 8 adults residing at the property. One of our greatest concerns is the amount of parking required for the number of residents at the proposed home along with the ADU. With 3 bedrooms in the main dwelling in addition to the ADU which could realistically house 2 adults each with an automobile, there could easily be up to 6 autos coming to the property, and as many as 8 autos if every person staying at the

property brings an auto. There is no available street parking on 5th between Carpenter and Guadalupe and one has to question how the neighborhood can support the number of adults that could be staying at the 2 separate dwellings.

WWW.NHEH.COM E-MAIL CKEMP@NHEH.COM 831-424-1414 ext. 271 Our File No. 3------

Attorneys at Law A PROFESSIONAL CORPORATION

March 7, 2022

Randy Meyenberg Michael Masuda Christine G. Kemp Timothy J. Baldwin * Charles Des Roches * Robert D. Simpson Ana C. Toledo * Leslie E. Finnegan Lindsey Berg-James Anne Frassetto Olsen Sharilyn Payne Heidi A. Quinn Daniel J. Little Jacob Weeks Harry L. Noland (1904-1991) Paul M. Hamerly

NOLAND

HAMERLY ETIENNE

Hoss

Stephen W. Pearson Anne K. Secker

(1904-1991) Paul M. Hamerly (1920-2000) Myron E. Etienne, Jr. (1924-2016) Peter T. Hoss (1934-2018)

* CERTIFIED SPECIALIST IN PROBATE, ESTATE PLANNING, AND TRUST LAW BY THE CALIFORNIA BOARD OF LEGAL SPECIALIZATION STATE BAR OF CALIFORNIA ------

VIA E-MAIL DELIVERY

Carmel Planning Commission c/o City Community Development Department City Hall Carmel-by-the-Sea Carmel, California 93923

> Re: <u>NEC Ocean & San Antonio</u> <u>Modification to DS 20-323; Planning Commission Resolution 2021-009</u> March 9, 2022 Planning Commission Meeting

Dear Members of the Commission:

I am writing on behalf of Hataitip Rangthong, the neighbor immediately east of the above referenced project, as a follow-up to Ms. Quinn's March 4, 2022 letter.

We request the Commission deny a modification to DS 20-323, which modification is expressly contrary to your Commission's February 10, 2021 project approval and the City of Carmel-by-the-Sea ("City") Municipal Code. We have now had an opportunity to review the City Staff Report and offer the following additional comments.

Ms. Rangthong Raised the Plate Height Issue Beginning October 2021.

The Staff Report incorrectly states Ms. Rangthong did not raise the plate height issue until after the roof was lowered. This is NOT correct.

The Staff Report includes just one letter from Ms. Rangthong to the City, yet we had hundreds of pages of communications between our office and the City on this matter as set forth on Attachment 1 submitted concurrently to the Commission with our March 4th letter.

Our correspondence clearly demonstrates Ms. Rangthong has been raising the plate height issue continually since October 14, 2021. Attached as **Exhibit A** is a compilation of these e-mails and letters to the City specifically referencing the plate

height. This correspondence was also included as part of Attachment 1 to our March 4, 2022 letter, but is pulled out here for ease of reference.

In fact, Ms. Rangthong contacted the City before the Applicant's project came before the Planning Commission. She called the City to ask about the proposed plans, and was assured the project was a "minor revision" to the plans and that there would be no change to ridgeline that would affect her view.

Despite Ms. Rangthong's pleas for information regarding the plate height, the City delayed in providing the requested information. Staff initially stated plate height was not an issue, and then in late January 2022, finally provided confirmation the plate height was, in fact, over 10" too high. Ms. Rangthong was not late in her efforts; she was timely and diligent, even requesting stop work orders pending confirmation – but to no avail.

This is a key issue in weighing the equities of this situation, as it shows the Applicant was well aware of the plate height expansion early on and had the opportunity to verify and correct it before further work was done. Instead, Applicant continued with construction.

The City's Miscalculation of Plate Height was Immediately Brought to Its Attention

Upon receipt of the Whitson Engineers January 28, 2022 plate height certification, the City miscalculated the plate height at just 3' too high, using the incorrect base point. The plate height was, in fact, at least 10" too high.

We received the Whitson height certification on February 2, 2022 and immediately informed the City of its erroneous calculation. We provided our calculation that the plate height was more than 10" too high. (See February 3, 2022 e-mail with attachment, **Exhibit B**.) The City did not respond and despite repeated requests for information, we did not learn of the City's calculation until the Staff Report was released late last Friday (3/4/22). Now, after all this time, Staff agrees the plate height is, in fact, 11" too high.

The City's delay goes to the equities of the situation, as Ms. Rangthong has raised this issue since October 2021, has been seeking information, and has done everything possible to bring the plate height error to the attention of the City and the Applicant.

The City Does Not Have Discretion to Disregard the Municipal Code

In addition to the limits of the Planning Commission approval, the Applicant's structure must conform to the Carmel-by-the-Sea Municipal Code ("CMC"). In

Carmel P March 7, 2022 Page 3

Horwitz v. City of Los Angeles (2004) 124 Cal.App.4th 1344, homeowners remodeled their house after obtaining a permit based on an erroneous calculation of the required front-yard setback. (*Id.*) The trial court ordered the city to revoke the permits, and the homeowners appealed. The appellate court stated that the remodel "must conform to the mandatory requirements of the zoning ordinance." (*Id.* at 1355.)

"Just as the City has no discretion to deny a building permit when an applicant has complied with all applicable ordinances, the City has no discretion to issue a permit in the absence of compliance." (Id.)

The City does not have the ability to disregard the applicable laws. The CMC is clear that in this area of the City, the plate height limit is 18'. The Commission found that existing nonconforming plate height on the structure was 19', and conditioned the Project on the Applicant lowering their plate height to conform to the existing nonconforming height of 19'. The Commission does not have a basis to allow Applicant to circumvent Code requirements. The laws must be enforced equally for all residents.

The Applicant was aware the Commission had expressly limited the plate height to 19' as is noted on the plans. The Applicant was also aware Ms. Rangthong was concerned the plate height was too high. Yet, the Applicant continued construction at its own risk.

The Project history between 2015 and February 10, 2021 is Irrelevant

This hearing has nothing to do with the status of the project between 2015 and February 2021 – other than to note that the northeastern structure was completely demolished in 2017, and that the Applicant purchased the property in 2020.

This hearing is about the Planning Commission's Project approval on February 10, 2021, and events that have transpired through the present date.

At the February 2021 meeting, the Planning Commission reviewed plans that showed a roof elevation of 223.3" (See Nov. 2020 Plans, Sheet A7, **Exhibit C**), and a plate height elevation of 19'9". (See Feb. 10, 2021 Project Data Sheet, **Exhibit D**.) Staff expressly stated that the existing nonconforming plate height was 19'0", and recommended imposing Condition 33 to restrict the plate height to 19'0". The Commission imposed this Condition.

Thereafter, the Applicant submitted erroneous plans dated March 2021, to the building department with an roof elevation of 224.65 (1'4" taller than approved by the Commission) and without the reduction in the 19'9" plate height as required by Condition 33 (See March 2021 plans, Sheet 3.3A, **Exhibit E.)** Nonetheless, Condition 33 was expressly stated on the face sheet of the March 2021 plans, evidencing the

Carmel P March 7, 2022 Page 4

Applicant had full knowledge of the requirement limiting the plate height. (See March 2021, Sheet A0.2, **Exhibit F.**)

The plate height is over 10" higher than it was originally, and more than 10" higher than approved by the Commission. The higher plate height blocks Ms. Rangthong's white sand and white water views (See photos, **Exhibit G**.) Maintaining the white sand and white water view is of utmost importance to Ms. Rangthong and the basis for her concern and objection to changing the plans "after the fact" to her detriment.

Had the Applicant built what was approved by the Planning Commission, this view would have remained intact. Unfortunately, the Applicant did not build the structure as approved by the Commission or required by the CMC, and Ms. Rangthong has been injured by the Applicant's actions. The City should not let that happen. The laws should apply equally to all residents.

Additionally, Commission approval of the expansion of an already nonconforming plate height triggers additional CMC regulations, which are not currently being met.

The Staff Report Does Not Mention or Address Nonconforming Garage Demolition

Not only did the Applicant submit plans for a roof ridge line and plate height that were both higher than what was approved by the Planning Commission, the Applicant unilaterally, without permission, demolished the garage in May 2021. The Commission understood the garage was to have new siding and a flat roof; demolition was not approved. (See Photos, **Exhibit H.**) Then, without authority, Applicant proceeded to relocate and enlarge the garage. The Applicant only recently obtained an after-the-fact administrative permit in February 2022.

The Applicant's demolition of this nonconforming structure also triggers compliance with the CMC's provisions related to the expansion of nonconforming structures, none of which are addressed in the staff report. The City's administrative permit, without notice to the Commission or the public, on February 7, 2022, nine months after the fact, does not rectify situation.

The Balancing Hardships and Equities favor Ms. Rangthong

The Applicant submitted incorrect plans to the City, with knowledge of the height limitations. Ms. Rangthong brought these errors to the attention of the City and Applicant starting last October, in the hopes the errors would be remedied. The Applicant proceeded with construction at its own risk.

Carmel P March 7, 2022 Page 5

The City does not have the authority to simply disregard the CMC requirements. If the Applicant's increased plate height is approved, after the fact, Ms. Rangthong's white sand and white water views will be eliminated. It is an irreversible loss if the Applicant is not required to comply with the Planning Commission's original February 10, 2021 approval and the CMC restrictions on plate height and nonconforming structures.

For the reasons stated in our March 4th letter, set forth above, and information presented at the hearing, we respectfully request that the Commission:

- Deny the Applicant's request to modify the plate height and require the plate height be lowered to 19'; and
- Require the demolished garage to be processed as a Coastal Development Permit related to the demolition of a nonconforming building and rebuilt in compliance with current CMC provisions.

Sincerely,

NOLAND, HAMERLY, ETIENNE & HOSS A Professional Corporation

Christine Kemp

Christine G. Kemp

Encls: Exhibits A-H

Attachment 8

EXHIBIT A

RANGTHONG COMMUNICATIONS WITH CITY RE PLATE HEIGHT

OCTOBER 14, 2021 – FEBRUARY 4, 2022

•	October 14, 2021	Requests City issue stop work notice and confirm plate and ridge height, pitch
•	October 21, 2021	Request timeline for the survey to confirm plate and ridge heights
•	October 25, 2021	Letter to City regarding height of the roof and ridge line under construction
•	October 27, 2021	Request for copy of the ridge height letter prepared by Whitson Engineers.
•	October 28, 29, 2021	Emails requesting stop work notice due to ridge height
•	November 1, 2021	City requests Applicant stop work on portion in dispute
•	December 6, 14, 16, 2021	Emails regarding construction on western elevation; requests compliance with Condition No. 33 and confirmation of plate height
•	December 16, 2021	City denies plate height at issue.
•	December 21, 2021	Email requesting status of plate height confirmation.
•	December 23, 2021	City states plate heights match building permit; Request confirmation re: Condition No. 33.
•	January 10, 2022	Requests plate height confirmation.
•	January 14, 19 2022	Photos depicting plate height too high and requesting stop work.
•	January 20, 2022	Request for plate height confirmation based on 10/2021 survey
•	January 21, 2022	Email photos to City re: impact of higher plate height on pitch and beach/sand view; City promises survey following week.
•	January 25, 27, 31, 2022	Emails to City regarding progress on survey
•	February 2, 2022	Email to city re: continuing construction; requesting update on survey. City responds with 1/29/2022 Whitson letter, states plate is at 19'3
•	February 3, 2022	Email to City asking for clarification on calculations as plate height is 19'10"
•	February 4, 2022	Email to City requesting stop work order and explanation for City calculation; City states Applicant will stop work on portion related to plate height

From:	Quinn, Heidi A.
Sent:	Thursday, October 14, 2021 1:01 PM
То:	'Marnie R. Waffle'
Cc:	Kemp, Christine; 'bswanson@ci.carmel.ca.us'
Subject:	Northeast Corner of Ocean and San Antonio - Stop Work Request
Attachments:	Photo - 3 of 4 (01459688xE4B5B).jpeg

Importance:

High

Good afternoon Marnie,

Thank you for your response. I am available on Tuesday; however, my concern is that the ongoing construction does not appear consistent with the plans presented and approved by the Planning Commission (PC), or the prior netting.

I watched the video of the PC meeting, and reviewed the agenda report and understood that the design approved consisted of a garage with a flat roof and was limited to remain the same height as it was before per the conditions of approval. Attached, please find before and after pictures showing a completely different design as well as substantial increase in the pitch of the west side roof.

We respectfully request the City issue a stop work notice on the project until what appears to be a substantial discrepancy is resolved. Given the urgency of the situation, are you available by phone today? I look forward to hearing from you.

Best Regards,

Heidi A. Quinn NOLAND, HAMERLY, ETIENNE & HOSS A Professional Corporation 333 Salinas Street P.O. Box 2510 Salinas, CA 93902 (831) 424-1414 ext. 219 (831) 424-1975 (fax) HQuinn@nheh.com www.nheh.com

Serving the Central Coast Since 1928





Attachment 8

From:	Brandon Swanson <bswanson@ci.carmel.ca.us></bswanson@ci.carmel.ca.us>
Sent:	Thursday, October 14, 2021 4:30 PM
To:	Quinn, Heidi A.
Cc:	Marnie R. Waffle; Kemp, Christine; Jermel Laurie
Subject:	Re: Northeast Corner of Ocean and San Antonio - Stop Work Request
Follow Up Flag:	Follow up
Flag Status:	Flagged

Hello Heidi, appreciate you following back up with us on this.

At this point, we don't have any substantial evidence that would support a stop work order, since it cannot be determined for certain with the naked eye whether the height is in conformance with the plans approved by the Planning Commission. However, to be sure that we are responding to your client's concerns, we are asking for a height verification to be completed by a licensed professional right now so that the construction does not get too much farther down the road before we know the situation. Typically this would not take place until the end of a project, but in this case it seems appropriate to do it early. I appreciate your patience as we wait for this survey to be performed, and we will be sure to keep you informed once we have more information in hand.

If you have any other questions, please feel free to reach out directly and I would be happy to speak with you.

Take care,

-Brandon

Brandon Swanson [he, him, his] Director, Community Planning and Building City of Carmel-by-the-Sea (831) 620-2024



Please take our Customer Satisfaction Survey at: https://www.surveymonkey.com/r/3L9PWYB On Thu, Oct 14, 2021 at 5:27 PM Quinn, Heidi A. <<u>HQuinn@nheh.com</u>> wrote:

Attachment 8

Good evening,

Thank you for your response.

I appreciate that the City will verify the height. Who will be conducting the survey? Is there an anticipated time frame?

I reviewed the plans and the video of the Planning Commission meeting. Can you confirm the approved plate height, the height to the peak of the roof, as well as the approved roof pitch - I just want to make sure I understand the project approvals.

Thank you for your assistance,

Heidi A. Quinn

NOLAND, HAMERLY, ETIENNE & HOSS

A Professional Corporation 333 Salinas Street

P.O. Box 2510

Salinas, CA 93902

(831) 424-1414 ext. 219

(831) 424-1975 (fax)

HQuinn@nheh.com

www.nheh.com

Serving the Central Coast Since 1928

From:	Brandon Swanson <bswanson@ci.carmel.ca.us></bswanson@ci.carmel.ca.us>
Sent:	Friday, October 15, 2021 12:22 PM
To:	Quinn, Heidi A.
Cc:	Marnie R. Waffle; Kemp, Christine; Jermel Laurie
Subject:	Re: Northeast Corner of Ocean and San Antonio - Stop Work Request
Follow Up Flag:	Follow up
Flag Status:	Flagged

Heidi,

The survey will be performed by a licensed professional who will certify the actual heights with their stamp. I do not have an anticipated timeline for you yet, but when I get one I will let you know. I am hoping to be able to have this done in the next couple of weeks.

As for the approved plate height and other specifications, I can confirm that the set of plans approved by the Planning Commission is what we will be holding the project to.

-Brandon

Brandon Swanson [he, him, his] Director, Community Planning and Building City of Carmel-by-the-Sea (831) 620-2024

×

Please take our Customer Satisfaction Survey at: https://www.surveymonkey.com/r/3L9PWYB

On Thu, Oct 21, 2021 at 10:12 AM Quinn, Heidi A. <<u>HQuinn@nheh.com</u>> wrote:

Good morning,

Just following up. Do you have a timeline for the survey?

Also, I would like to meet with Marnie to review the approved plans. What is your availability either tomorrow or Monday?

Best Regards,

Heidi A. Quinn

NOLAND, HAMERLY, ETIENNE & HOSS

A Professional Corporation 333 Salinas Street

P.O. Box 2510

Salinas, CA 93902

(831) 424-1414 ext. 219

(831) 424-1975 (fax)

HQuinn@nheh.com

www.nheh.com

Serving the Central Coast Since 1928



Attorneys at Law A PROFESSIONAL CORPORATION

WWW.NHEH.COM E-MAIL HQUINN@NHEH.COM 831-424-1414 ext. 219 Our File No. 30637.000

October 25, 2021

VIA E-MAIL BSWANSON@CI.CARMEL.CA.US

Brandon Swanson Director, Community Planning and Building City of Carmel-by-the-Sea Carmel, CA

Re: Northeast Corner of Ocean Avenue and San Antonio

Dear Mr. Swanson:

I am writing on behalf of Ms. Hataitip Rangthong. This letter follows previous communications with the City of Carmel-by-the-Sea ("City") regarding the project approval by the Planning Commission on February 10, 2021 and subsequent construction at the Northeast Corner of San Antonio and Ocean Avenue ("Property") immediately west of our client's Property.

We have repeatedly expressed concerns regarding the height of the roof or ridge line now under construction, and yet the work continues to progress. We asked for a meeting with City staff on October 14 when we were first made aware of this issue, and asking to discuss concerns, which include but are not limited to the following:

1. <u>City Assurances to our Client</u>. City staff made repeated assurances to our client that the Project would not modify the roof or ridge line. There was no staking or flagging on the western side of the structure prior to the hearing to indicate a change. Yet, the new framing under construction clearly reflects a marked change in ridge height. The ridge height of the existing structure, running east to west on the north side is lower than the ridge height of the new framing on the western roof running north to south. The two ridgeline heights were the same on the prior approval.

2. <u>Raised Roofline.</u> The project is described in the staff report as involving only "minor alterations" to an existing single-family dwelling; however, the second story area on the western elevation was completely removed and now the framing for a much higher roof is being constructed. Our understanding is that voluntary demolition of any nonconforming building or structure shall require

Anne K. Secker Randy Meyenberg Michael Masuda Christine G. Kemp Timothy J. Baldwin * Charles Des Roches * Robert D. Simpson Ana C. Toledo * Leslie E. Finnegan Lindsey Berg-James Anne Frassetto Olsen Heidi A. Quinn Daniel J. Little Ashley N. Garvey Anthony Mendoza

Stephen W. Pearson

Harry L. Noland (1904-1991) Paul M. Hamerly (1920-2000) Myron E. Etienne, Jr. (1924-2016) Peter T. Hoss (1934-2018)

* CERTIFIED SPECIALIST IN PROBATE, ESTATE PLANNING, AND TRUST LAW BY THE CALIFORNIA BOARD OF LEGAL SPECIALIZATION STATE BAR OF CALIFORNIA Brandon Swanson October 25, 2021 Page 2

that all new construction on the site meet all requirements for new buildings and structures.

3. <u>Planning Commission Approval</u>. The Planning Commission approved the Project, subject to Condition No. 33, which limited the plate height of the legal nonconforming structure to 19'. It was clear when watching the Planning Commission meeting that, for the reasons stated above, the Planning Commission would not agree to raise the roof height. Further, the roof pitch was to be reduced to 4:12 along the west facing portion of the residence. Were there any further modifications or approvals by the Planning Commission after the February 10, 2021 meeting?

4. <u>Failure to Send Documents</u>. We have requested the City provide the the Planning Commission approved plate and roof heights, as well as, confirm the plate height and roofline height under construction, to assure the as built heights are not in excess of the approval. We still do not have the City's information on the approved plate and roof heights nor a timeframe as to when the City's survey of the work is to be completed. We further request a copy of the approved plan.

The attached information confirms the roof discrepancies and approvals.

We respectfully repeat our request that work on the roof be stopped until these issues can be resolved. We also request a meeting with City staff as soon as possible to review the plans and the approval.

Best regards,

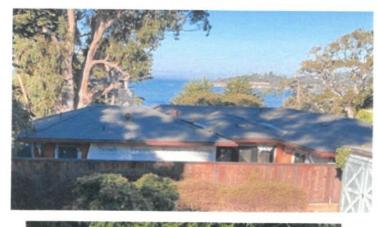
NOLAND, HAMERLY, ETIENNE & HOSS A Professional Corporation

Heidí A. Quínn

Heidi A. Quinn

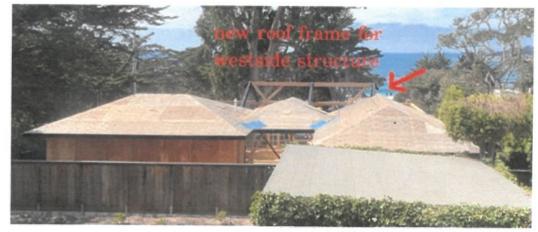
cc: Marnie Waffle

HAQ









Circled area and the area pointed to by the arrows are the same. New ridge height on the westside clearly exceeds the previous level.

Picture A

On Wed, Oct 27, 2021 at 11:35 AM Frank Lucido Jr. <frank@lucidosurveyors.com> wrote:

COVID-19 UPDATE: In response to governmental orders, and to protect the general public, Lucido Surveyors continues to serve its clients by e-mail, telephone, text and social-distanced field visits while our office is temporarily closed to public access.

You may contact us through our office phone number during regular business hours at (831) 620-5032. If we do not answer, please leave me a message and we will return your call.

Hello Marnie,

I am inquiring about the City of Carmel Case or Building No. 210087 located at NE Corner of Ocean & San Antonio, APN 010253009000, approved 07/12/2021.

And I would like to obtain a copy of the Ridge Height Letter prepared for the site. I understand a letter was submitted by Whitson Engineers, and I would like to review that letter.

What is the best way for me to obtain a copy of that letter?

I can come in to pick up a hard copy, or you can email me a PDF, or any suggestion you may have.

Please let me know, and/or feel free to contact me directly at 831-224-3686.

Sincerely,

Frank Lucido Jr.



Frank Lucido Jr. Professional Land Surveyor California State License #8368

lucidosurveyors.com

From:	Frank Lucido Jr. <frank@lucidosurveyors.com></frank@lucidosurveyors.com>
Sent:	Wednesday, October 27, 2021 3:21 PM
То:	Marnie R. Waffle
Cc:	jlaurie@ci.carmel.ca.us
Subject:	RE: Case or Building No. 210087

COVID-19 UPDATE: In response to governmental orders, and to protect the general public, Lucido Surveyors continues to serve its clients by e-mail, telephone, text and social-distanced field visits while our office is temporarily closed to public access.

You may contact us through our office phone number during regular business hours at (831) 620-5032. If we do not answer, please leave me a message and we will return your call.

Thank you so much Marnie.

I have one more question for right now – before I review these documents:

The plans set I found shows the lower floor is more or less at the elevation Whitson confirms in their letter. And those plans show a proposed roof ridge of 223.3.

Whitson says the roof ridge is at 224.6.

It seems to me, the roof ridge is 1.3 feet to high already, and this is even before the finihsed material is installed.

Am I missing something, or has there been a change to the appoved height of 223.3?

(That might be two questions, but I'm trying to figure this out). I'm hoping you can help.

Sincerely, Frank Lucido Jr., PLS 8368

LUCIDO SURVEYORS 2 Saucito Avenue Del Rey Oaks, CA 93940 831-620-5032

frank@lucidosurveyors.com

CONFIDENTIALITY NOTICE: The information contained in this e-mail message is privileged and confidential information. It is intended only for the use of the individual or entity named above. If you are not the intended recipient, you are notified that any disclosure, copying, distribution, electronic storage or use of this communication is prohibited. If you received this communication in error, please notify us immediately by e-mail, attaching the original message, and delete the original message from your computer, and any network to which your computer is connected. Thank you.



Stephen W. Pearson Anne K. Secker Randy Meyenberg Michael Masuda

Christine G. Kemp

Timothy J. Baldwin

* Charles Des Roches

Attorneys at Law A PROFESSIONAL CORPORATION

WWW.NHEH.COM E-MAIL HQUINN@NHEH.COM 831-424-1414 ext. 219 Our File No. 30637.000

October 28, 2021

VIA E-MAIL BSWANSON@CI.CARMEL.CA.US

Brandon Swanson Director, Community Planning and Building City of Carmel-by-the-Sea Carmel, CA

Re: Northeast Corner of Ocean Avenue and San Antonio

Dear Mr. Swanson:

I am writing on behalf of Ms. Hataitip Rangthong. This letter follows previous communications with the City of Carmel-by-the-Sea ("City") regarding the Planning Commission approval of a project at the Northeast Corner of San Antonio and Ocean Avenue ("Property") on n February 10, 2021.

We have repeatedly expressed concerns regarding the height of the roof or ridge line now under construction.

Yesterday, we obtained a copy of the letter by Whitson Engineers dated October 18, 2021 regarding the Ridge Height Certification. This letter confirms the ridge height to be 224.63. This is in direct conflict with the approved plans we reviewed, which show a proposed roof ridge of 223.3. The roof ridge under construction exceeds the approval by approximately 1'4", which is before installation of the finished materials.

We have also requested a copy of the final approved plans for the project. In response, we received a copy of plans dated January 28, 2021. We reiterate our request for a copy of the official approved set of plans and the documents referenced in the October 18, 2021 letter. Please confirm you will provide the documents, and a timeline.

* Robert D. Simpson Ana C. Toledo * Leslie E. Finnegan Lindsey Berg-James Anne Frassetto Olsen Heidi A. Quinn Daniel J. Little Ashley N. Garvey Anthony Mendoza Harry L. Noland (1904-1991) Paul M. Hamerly

(1904-1991) Paul M. Hamerly (1920-2000) Myron E. Etienne, Jr. (1924-2016) Peter T. Hoss (1934-2018)

* CERTIFIED SPECIALIST IN PROBATE, ESTATE PLANNING, AND TRUST LAW BY THE CALIFORNIA BOARD OF LEGAL SPECIALIZATION STATE BAR OF CALIFORNIA

FAX 831-424-1975

Brandon Swanson October 28, 2021 Page 2

Due to the concerns regarding the ridge line, we request for the City to immediately issue a stop work notice.

Best regards,

NOLAND, HAMERLY, ETIENNE & HOSS A Professional Corporation

Heidí A. Quínn

Heidi A. Quinn

cc: Marnie Waffle

HAQ

From:	Brandon Swanson <bswanson@ci.carmel.ca.us></bswanson@ci.carmel.ca.us>
Sent:	Thursday, October 28, 2021 4:40 PM
То:	Quinn, Heidi A.
Cc:	Marnie R. Waffle; Kemp, Christine
Subject:	Re: Request to Stop Work

Hello Heidi,

Getting back to you. I wanted to provide an update that we are in contact with the contractor and discussing potential discrepancies in the subject ridge height. I will keep you posted as to the outcome of those discussions, and will provide you another update tomorrow.

Thanks,

-Brandon

Brandon Swanson [he, him, his] Director, Community Planning and Building City of Carmel-by-the-Sea (831) 620-2024



Please take our Customer Satisfaction Survey at: https://www.surveymonkey.com/r/3L9PWYB Hello Brandon,

Thank you for your response.

When can we expect to obtain a copy of the official approved plans referenced in the Whitson letter?

Best Regards,

Heidi A. Quinn

NOLAND, HAMERLY, ETIENNE & HOSS

A Professional Corporation 333 Salinas Street

P.O. Box 2510

Salinas, CA 93902

(831) 424-1414 ext. 219

(831) 424-1975 (fax)

HQuinn@nheh.com

www.nheh.com

Serving the Central Coast Since 1928

Attachment 8

From: Quinn, Heidi A. Sent: Friday, October 29, 2021 5:28 PM To: 'Brandon Swanson' Cc: Kemp, Christine Subject: RE: Request to Stop Work Importance: High

Brandon,

These plans don't align with the project the Planning Commission approved in February. At that meeting, the Commission expressly limited the plate height to 19' (Condition #33). These plans exceed the plate height. The plans also exceed the approved roof line by more than 1'4" – without the installation of final materials. The roof is not to exceed 23'.

Our client brought this discrepancy to the City's attention more than three weeks ago, and yet the construction continues. The construction needs to stop. The roof needs to be lowered to the Commission-approved plans.

Please let me know how the City will proceed.

Best Regards,

Heidi A. Quinn

NOLAND, HAMERLY, ETIENNE & HOSS

A Professional Corporation 333 Salinas Street

P.O. Box 2510

Salinas, CA 93902

(831) 424-1414 ext. 219

(831) 424-1975 (fax)

HQuinn@nheh.com

www.nheh.com

From:	Brandon Swanson <bswanson@ci.carmel.ca.us></bswanson@ci.carmel.ca.us>
Sent:	Monday, November 1, 2021 3:33 PM
То:	Quinn, Heidi A.
Cc:	Kemp, Christine; Marnie R. Waffle; Bo Grunde; Jermel Laurie; Sullivan Carey-Lang
Subject:	Re: Request to Stop Work - Follow up

Heidi,

Thanks for your time on the phone just now, it was good to sort of "meet" you. Please stop by City Hall one of these days and say hello.

As I mentioned, I will not be placing a stop work order on the project at this point. The reason is we are in productive conversations with the applicant's contractor and are working through any potential modifications that need to be made to bring the height of the ridges and plates into conformance with approved plans. Our practice is to only issue stop work orders as a means of elevated enforcement when an applicant is not working with the City, or in cases of immediate danger relating to life, health and safety. We have asked the contractor to not perform any more work on the subject portion of the house while we work on a solution. This practice allows construction on the rest of the property to continue, which helps to prevent construction projects from languishing unfinished, which can already be a problem around town. Rest assured though, that if we are not receiving cooperation from the property owner to resolve an issue, or if a dangerous situation presents itself, a stop work order will be issued.

As to your request for the additional materials, I will work with our staff to get you the approved versions ASAP.

Take care,

-Brandon

Brandon Swanson [he, him, his] Director, Community Planning and Building City of Carmel-by-the-Sea (831) 620-2024

×	Spatial strength of the second of the second strength strength of the generic linear

Please take our Customer Satisfaction Survey at: https://www.surveymonkey.com/r/3L9PWYB On Mon, Dec 6, 2021 at 11:56 AM Quinn, Heidi A. <<u>HQuinn@nheh.com</u>> wrote:

Good morning,

We noticed that the applicant is continuing construction on the western elevation.

Has the City confirmed the applicant's compliance with Condition No. 33 regarding the restriction on plate height?

Best Regards,

Heidi A. Quinn

NOLAND, HAMERLY, ETIENNE & HOSS

A Professional Corporation 333 Salinas Street

P.O. Box 2510

Salinas, CA 93902

(831) 424-1414 ext. 219

(831) 424-1975 (fax)

HQuinn@nheh.com

From: Brandon Swanson [mailto:bswanson@ci.carmel.ca.us] Sent: Monday, December 6, 2021 12:02 PM To: Quinn, Heidi A.; Marnie R. Waffle Cc: Kemp, Christine Subject: Re: NEC Ocean and San Antonio

Heidi,

Could you be a little more specific please about which part of the western elevation you're talking about? They are allowed to work on portions of the home on the western elevation, just not the roof and ridge section that was determined to be over height unless that work is to bring it into conformance.

As I mentioned to you last week on the phone, we have received email confirmation from the property owner that they have ordered new structural material which will allow them to being the ridge and plate height down to the elevation approved by the Planning Commission. When those materials come in, they will obviously need to do work on the subject portion of the home.

-Brandon

Brandon Swanson [he, him, his]

Director, Community Planning and Building City of Carmel-by-the-Sea (831) 620-2024

×

Please take our Customer Satisfaction Survey at: https://www.surveymonkey.com/r/3L9PWYB From:Quinn, Heidi A.Sent:Monday, December 6, 2021 1:55 PMTo:'Brandon Swanson'; Marnie R. WaffleCc:Kemp, ChristineSubject:RE: NEC Ocean and San AntonioAttachments:796F15A5-A5AA-4623-BCEE-13A3AF6E2978.jpeg; C4DF17C5-1D29-45DE-B0F8-
AF0C72AA6292.jpeg

Good afternoon,

It appears that the applicant is continuing construction, which reinforces the plate height. The first photo is from November, the second from a few days ago. I thought the plate height was going to be lowered?

Heidi A. Quinn NOLAND, HAMERLY, ETIENNE & HOSS A Professional Corporation 333 Salinas Street P.O. Box 2510 Salinas, CA 93902 (831) 424-1414 ext. 219 (831) 424-1975 (fax) HQuinn@nheh.com www.nheh.com





From:	Brandon Swanson <bswanson@ci.carmel.ca.us></bswanson@ci.carmel.ca.us>
Sent:	Monday, December 6, 2021 2:30 PM
To:	Quinn, Heidi A.
Cc:	Marnie R. Waffle; Kemp, Christine
Subject:	Re: NEC Ocean and San Antonio
Follow Up Flag:	Follow up
Flag Status:	Flagged

Heidi,

I will take a look at the plate height issue. I can confirm though that they have ordered new steel beam supports for the roof, which will get the ridge height down to the approved height. So you're client's view will be as presented at the Planning Commission.

-Brandon

Brandon Swanson [he, him, his] Director, Community Planning and Building City of Carmel-by-the-Sea (831) 620-2024

×

Please take our Customer Satisfaction Survey at: https://www.surveymonkey.com/r/3L9PWYB

From:	Quinn, Heidi A.
Sent:	Tuesday, December 14, 2021 10:08 AM
То:	'Brandon Swanson'
Cc:	Marnie R. Waffle; Kemp, Christine
Subject:	RE: NEC Ocean and San Antonio

Good morning Brandon,

Just following up – have you had a chance to confirm the plate height?

Heidi A. Quinn NOLAND, HAMERLY, ETIENNE & HOSS A Professional Corporation 333 Salinas Street P.O. Box 2510 Salinas, CA 93902 (831) 424-1414 ext. 219 (831) 424-1975 (fax) HQuinn@nheh.com www.nheh.com

On Thu, Dec 16, 2021 at 9:33 AM Quinn, Heidi A. <<u>HQuinn@nheh.com</u>> wrote:

Good morning,

Just checking in again. What is the status of the project? Have you confirmed the plate height? Also, what will be the pitch of the roof? Has the applicant provided a plan for height reduction or a timeline for installation?

Much appreciation in advance,

Heidi A. Quinn

NOLAND, HAMERLY, ETIENNE & HOSS

A Professional Corporation 333 Salinas Street

P.O. Box 2510

Salinas, CA 93902

(831) 424-1414 ext. 219

(831) 424-1975 (fax)

HQuinn@nheh.com

www.nheh.com

From: Sent: To: Cc: Subject: Brandon Swanson <bswanson@ci.carmel.ca.us> Thursday, December 16, 2021 10:08 AM Quinn, Heidi A. Marnie R. Waffle; Kemp, Christine Re: NEC Ocean and San Antonio

Heidi,

Thanks for the nudge. To my knowledge, we have not seen revised drawings yet. Let me look into it and I will get back to you.

-Brandon

Brandon Swanson [he, him, his] Director, Community Planning and Building City of Carmel-by-the-Sea (831) 620-2024

×

Please take our Customer Satisfaction Survey at: https://www.surveymonkey.com/r/3L9PWYB On Thu, Dec 16, 2021 at 11:20 AM Quinn, Heidi A. <<u>HQuinn@nheh.com</u>> wrote:

Thank you, Brandon,

Do you know whether the plate height conforms with Condition 33?

Heidi A. Quinn

NOLAND, HAMERLY, ETIENNE & HOSS

A Professional Corporation 333 Salinas Street

P.O. Box 2510

Salinas, CA 93902

(831) 424-1414 ext. 219

(831) 424-1975 (fax)

HQuinn@nheh.com

www.nheh.com

From:	Brandon Swanson <bswanson@ci.carmel.ca.us></bswanson@ci.carmel.ca.us>
Sent:	Thursday, December 16, 2021 11:32 AM
То:	Quinn, Heidi A.
Cc:	Marnie R. Waffle; Kemp, Christine
Subject:	Re: NEC Ocean and San Antonio

Heidi,

My understanding in talking to Marnie is that the plate heights are not the issue. They are the same on both the Planning approval set and the Building Permit set. The issue is the ridge height, which was caused by the unapproved change in roof pitch by the architect. With the re-order of the steel roof elements, the ridge height should be lowered to the approved height. We will of course have another height verification done once the new roof is installed.

Does that answer your question?

-Brandon

Brandon Swanson [he, him, his] Director, Community Planning and Building City of Carmel-by-the-Sea (831) 620-2024

×

Please take our Customer Satisfaction Survey at: https://www.surveymonkey.com/r/3L9PWYB From: Quinn, Heidi A. Sent: Thursday, December 16, 2021 5:50 PM To: 'Brandon Swanson' Cc: Marnie R. Waffle; Kemp, Christine Subject: RE: NEC Ocean and San Antonio

Good evening,

Yes, the ridge height is an issue, but the plate height is as well.

The stamped building plans and the Planning Commission plans applicant was utilizing reflect an incorrect plate height – it appears to be nearly 20 feet. Further, to date, there hasn't been any confirmation the plate height is in conformance with the Planning Commission's approval of Condition 33. Will that be forthcoming?

Best Regards,

Heidi A. Quinn NOLAND, HAMERLY, ETIENNE & HOSS A Professional Corporation 333 Salinas Street P.O. Box 2510 Salinas, CA 93902 (831) 424-1414 ext. 219

(831) 424-1975 (fax) HQuinn@nheh.com www.nheh.com

Serving the Central Coast Since 1928

From: Brandon Swanson [mailto:bswanson@ci.carmel.ca.us]
Sent: Thursday, December 16, 2021 11:32 AM
To: Quinn, Heidi A.
Cc: Marnie R. Waffle; Kemp, Christine
Subject: Re: NEC Ocean and San Antonio

Heidi,

My understanding in talking to Marnie is that the plate heights are not the issue. They are the same on both the Planning approval set and the Building Permit set. The issue is the ridge height, which was caused by the unapproved change in roof pitch by the architect. With the re-order of the steel roof elements, the ridge height should be lowered to the approved height. We will of course have another height verification done once the new roof is installed.

Does that answer your question?

-Brandon

Brandon Swanson [he, him, his] Director, Community Planning and Building City of Carmel-by-the-Sea (831) 620-2024 From: Sent: To: Cc: Subject: Quinn, Heidi A. Tuesday, December 21, 2021 10:38 AM 'Brandon Swanson' 'Marnie R. Waffle'; Kemp, Christine RE: NEC Ocean and San Antonio

Good morning,

I'm just following up regarding the verification of the plate height per the plans.

Best Regards,

Heidi A. Quinn NOLAND, HAMERLY, ETIENNE & HOSS A Professional Corporation 333 Salinas Street P.O. Box 2510 Salinas, CA 93902 (831) 424-1414 ext. 219 (831) 424-1975 (fax) HQuinn@nheh.com www.nheh.com

Serving the Central Coast Since 1928

From: Quinn, Heidi A. Sent: Thursday, December 16, 2021 5:50 PM To: 'Brandon Swanson' Cc: Marnie R. Waffle; Kemp, Christine Subject: RE: NEC Ocean and San Antonio

Good evening,

Yes, the ridge height is an issue, but the plate height is as well.

The stamped building plans and the Planning Commission plans applicant was utilizing reflect an incorrect plate height – it appears to be nearly 20 feet. Further, to date, there hasn't been any confirmation the plate height is in conformance with the Planning Commission's approval of Condition 33. Will that be forthcoming?

Best Regards,

Heidi A. Quinn NOLAND, HAMERLY, ETIENNE & HOSS A Professional Corporation 333 Salinas Street P.O. Box 2510 Salinas, CA 93902 (831) 424-1414 ext, 219

From:	Brandon Swanson <bswanson@ci.carmel.ca.us></bswanson@ci.carmel.ca.us>
Sent:	Thursday, December 23, 2021 11:09 AM
То:	Quinn, Heidi A.
Cc:	Marnie R. Waffle; Kemp, Christine
Subject:	Re: NEC Ocean and San Antonio

Hello Heidi,

Sorry for the delay in getting back to you. We are closed starting tomorrow and will reopen on Jan 3rd. Marnie is out of the office today. She did take a look at the plans before she left and the plate heights on the building permit set appear to match those on the planning set that was presented to the Commission. I will let Marnie confirm her findings when she returns in January.

Take care,

-Brandon

Brandon Swanson [he, him, his] Director, Community Planning and Building City of Carmel-by-the-Sea (831) 620-2024



Please take our Customer Satisfaction Survey at: https://www.surveymonkey.com/r/3L9PWYB

On Tue, Dec 21, 2021 at 10:38 AM Quinn, Heidi A. <HQuinn@nheh.com> wrote:

Good morning,

I'm just following up regarding the verification of the plate height per the plans.

Best Regards,

On Thu, Dec 23, 2021 at 11:13 AM Quinn, Heidi A. <HQuinn@nheh.com> wrote:

Thank you for your response.

The answer is problematic. The plans presented to the Planning Commission reflected a plate height 19'9, which was discussed by the Commission who expressly limited the plate height to 19, as reflected in Condition No. 33.

So, again, we are requesting confirmation that the plate height at the site conforms to the Planning Commission direction and Condition No. 33, which is noted on the Building Set.

Best Regards,

Heidi A. Quinn

NOLAND, HAMERLY, ETIENNE & HOSS

A Professional Corporation 333 Salinas Street

P.O. Box 2510

Salinas, CA 93902

(831) 424-1414 ext. 219

(831) 424-1975 (fax)

HQuinn@nheh.com

www.nheh.com

From:	Brandon Swanson <bswanson@ci.carmel.ca.us></bswanson@ci.carmel.ca.us>
Sent:	Thursday, December 23, 2021 11:44 AM
То:	Quinn, Heidi A.
Cc:	Marnie R. Waffle; Kemp, Christine
Subject:	Re: NEC Ocean and San Antonio

Thanks Heidi. I will look a little deeper into it and get back to you the first week of January.

-Brandon

Brandon Swanson [he, him, his] Director, Community Planning and Building City of Carmel-by-the-Sea (831) 620-2024



On Thu, Dec 23, 2021 at 11:13 AM Quinn, Heidi A. <<u>HQuinn@nheh.com</u>> wrote:

Thank you for your response.

The answer is problematic. The plans presented to the Planning Commission reflected a plate height 19'9, which was discussed by the Commission who expressly limited the plate height to 19, as reflected in Condition No. 33.

So, again, we are requesting confirmation that the plate height at the site conforms to the Planning Commission direction and Condition No. 33, which is noted on the Building Set.

Best Regards,

From:Quinn, Heidi A.Sent:Monday, January 10, 2022 9:12 AMTo:'Brandon Swanson'Cc:Marnie R. Waffle; Kemp, ChristineSubject:RE: NEC Ocean and San Antonio

Good morning,

I'm just following up on the plate height confirmation. Have the measurements been confirmed per my comments below?

Best Regards,

Heidi A. Quinn NOLAND, HAMERLY, ETIENNE & HOSS A Professional Corporation 333 Salinas Street P.O. Box 2510 Salinas, CA 93902 (831) 424-1414 ext. 219 (831) 424-1975 (fax) HQuinn@nheh.com www.nheh.com

Serving the Central Coast Since 1928

From: Brandon Swanson [mailto:bswanson@ci.carmel.ca.us]
Sent: Thursday, December 23, 2021 11:44 AM
To: Quinn, Heidi A.
Cc: Marnie R. Waffle; Kemp, Christine
Subject: Re: NEC Ocean and San Antonio

Thanks Heidi. I will look a little deeper into it and get back to you the first week of January.

-Brandon

Brandon Swanson [he, him, his] Director, Community Planning and Building City of Carmel-by-the-Sea (831) 620-2024

From:	Quinn, Heidi A.
Sent:	Friday, January 14, 2022 1:47 PM
То:	'Brandon Swanson'; Marnie R. Waffle
Cc:	Kemp, Christine
Subject:	FW: FW: NEC Ocean and San Antonio
Attachments:	82522489-F883-4FD2-98B3-D4D0DEEC03BC.jpeg; 88DDA75F-130A-4F4C-
	BBE0-12151D56CF9C.jpeg

Importance:

High

Good afternoon,

I'm just following up with my voicemail earlier today.

Please see the attached photos depicting the plate height timeline and the current plate height. The Planning Commission's approval of the project was subject to Condition No. 33, which limited the plate height to 19 feet. The Commission was adamant the plate height could not exceed the current height of 19 feet given the legal nonconforming status of the property. As the pictures show, this condition is not being met; the current project plate height is too high. This is not insignificant or substantial compliance and is contrary to the approval.

Since November, we have repeatedly asked the City to confirm the plate height. We now ask the work be stopped until the City can confirm the plate height - particularly since we have a three day weekend ahead in which the work could be completed prior to verifying the plate height.

Please confirm you will issue a stop work notice until the plate height is confirmed.

Best Regards,

Heidi A. Quinn NOLAND, HAMERLY, ETIENNE & HOSS A Professional Corporation 333 Salinas Street P.O. Box 2510 Salinas, CA 93902 (831) 424-1414 ext. 219 (831) 424-1975 (fax) HQuinn@nheh.com www.nheh.com

HEIGHT CHANGE TIME LINE: MAY - AUGUST 2021

Demolition work on west side of the property

Removal of roof on residence west side in progress. * old plate height

West side roof and northwest wall has been taken out.

New northwest wall with new increased plate height **















From:	Quinn, Heidi A.
Sent:	Wednesday, January 19, 2022 3:06 PM
То:	'Brandon Swanson'; 'Marnie R. Waffle'
Cc:	Kemp, Christine
Subject:	RE: FW: NEC Ocean and San Antonio

We understand work continues on the roof despite our request for a stop work order. What is the status of our request?

It has been more than three months since we first raised the issue of the nonconforming ridge and plate height, and yet, the City has not provided confirmation the project conforms to the Planning Commission approval.

We reiterate our request for a stop work order pending confirmation of the plate height.

Best Regards,

Heidi A. Quinn NOLAND, HAMERLY, ETIENNE & HOSS A Professional Corporation 333 Salinas Street P.O. Box 2510 Salinas, CA 93902 (831) 424-1414 ext. 219 (831) 424-1975 (fax) HQuinn@nheh.com www.nheh.com

Serving the Central Coast Since 1928

From: Quinn, Heidi A. Sent: Wednesday, January 19, 2022 2:17 PM To: 'Brandon Swanson'; 'Marnie R. Waffle' Cc: Kemp, Christine Subject: RE: FW: NEC Ocean and San Antonio

Good afternoon,

I left another voicemail message for you yesterday but have not heard back from you regarding the plate height. Do you have any additional information?

Best Regards,

Heidi A. Quinn NOLAND, HAMERLY, ETIENNE & HOSS A Professional Corporation 333 Salinas Street P.O. Box 2510 From: Sent: To: Cc: Subject:

Brandon Swanson <bswanson@ci.carmel.ca.us> Wednesday, January 19, 2022 3:28 PM Quinn, Heidi A. Marnie R. Waffle; Kemp, Christine Re: FW: NEC Ocean and San Antonio

Heidi,

Thanks for your email, and I appreciate your patience on this one. I will gather the information pulled together regarding the plate height surveyed, which I believe was previously sent to you, relative to the height approved by the Planning Commission, which I believe was also sent to you, and send it to you in one email no later than tomorrow by noon.

-Brandon

Brandon Swanson [he, him, his] Director, Community Planning and Building City of Carmel-by-the-Sea (831) 620-2024



Please take our Customer Satisfaction Survey at: https://www.surveymonkey.com/r/3L9PWYB

On Wed, Jan 19, 2022 at 3:06 PM Quinn, Heidi A. <<u>HQuinn@nheh.com</u>> wrote:

We understand work continues on the roof despite our request for a stop work order. What is the status of our request?

It has been more than three months since we first raised the issue of the nonconforming ridge and plate height, and yet, the City has not provided confirmation the project conforms to the Planning Commission approval.

We reiterate our request for a stop work order pending confirmation of the plate height.

From:	Quinn, Heidi A.
Sent:	Thursday, January 20, 2022 8:40 AM
То:	'Brandon Swanson'
Cc:	Marnie R. Waffle; Kemp, Christine
Subject:	RE: FW: NEC Ocean and San Antonio

Good morning,

Yes, we already have information regarding the survey and Planning Commission approval, which is why we have repeatedly requested a physical confirmation that the project's plate height is only 19', as approved by the Planning Commission. The Commission was very clear that there was not to be expansion of a legal non-conforming use.

The Whitson report listed the following elevations:

rk)

Under these calculations (220.209-200.93), the plate height would be 19.84 or 19 feet 10 inches above the floor. That is well beyond the approval.

We would like to see any information you have that the project is in compliance.

Best Regards,

Heidi A. Quinn NOLAND, HAMERLY, ETIENNE & HOSS A Professional Corporation 333 Salinas Street P.O. Box 2510 Salinas, CA 93902 (831) 424-1414 ext. 219 (831) 424-1975 (fax) HQuinn@nheh.com www.nheh.com

Serving the Central Coast Since 1928

From: Brandon Swanson [mailto:bswanson@ci.carmel.ca.us]
Sent: Wednesday, January 19, 2022 3:28 PM
To: Quinn, Heidi A.
Cc: Marnie R. Waffle; Kemp, Christine
Subject: Re: FW: NEC Ocean and San Antonio

Heidi,

From:Quinn, Heidi A.Sent:Friday, January 21, 2022 4:34 PMTo:'Brandon Swanson'; Marnie R. WaffleCc:Kemp, ChristineSubject:Plate Height - IllustrationAttachments:0AFFB30E-30F8-49A8-B26D-5D1C554654F5.jpeg

Good afternoon Brandon,

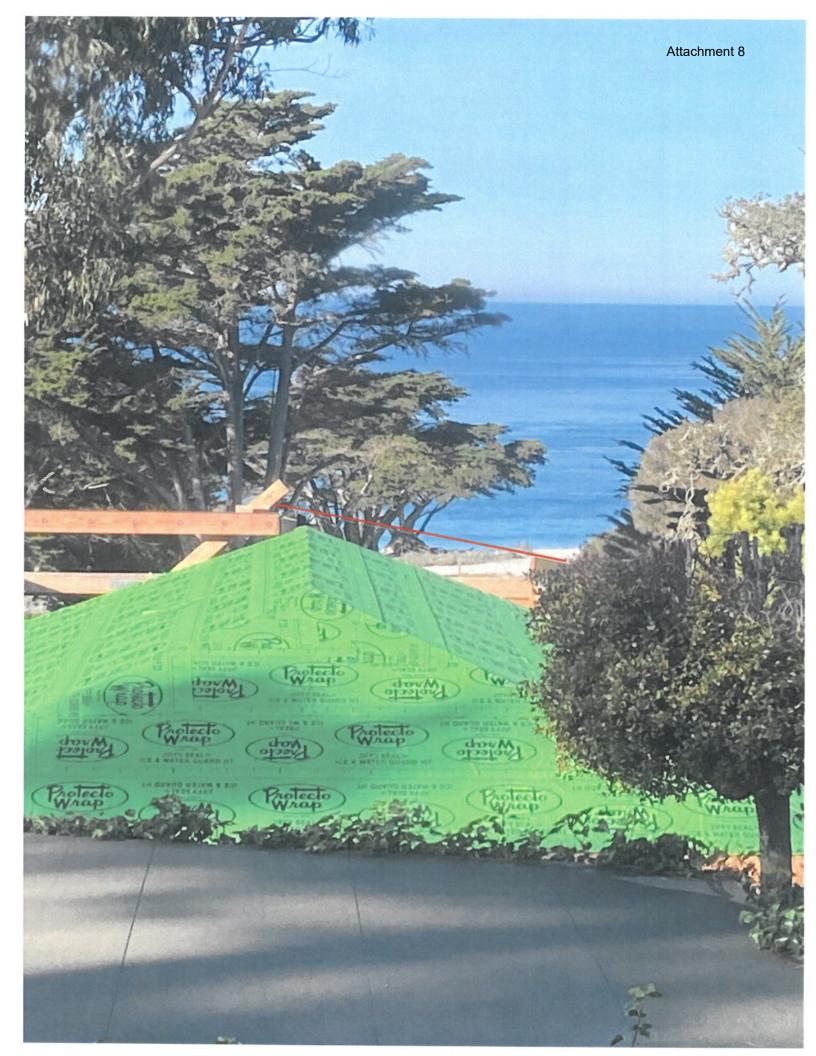
As we have discussed, the Planning Commission approval set specific parameters for both the plate height and the ridge height for the Project considering its location and its legal non-conforming status.

I've attached a photo that may help clarify the importance of the plate height. As the red line indicates, a higher plate height affects the pitch of the roof and impacts the view of the beach/sand.

Were you able to schedule a survey of the Project?

Best Regards,

Heidi A. Quinn NOLAND, HAMERLY, ETIENNE & HOSS A Professional Corporation 333 Salinas Street P.O. Box 2510 Salinas, CA 93902 (831) 424-1414 ext. 219 (831) 424-1975 (fax) HQuinn@nheh.com www.nheh.com



From: Quinn, Heidi A. Sent: Tuesday, January 25, 2022 11:33 AM To: <u>bswanson@ci.carmel.ca.us</u>' Subject: Status of Survey?

Good afternoon Brandon,

Just following up. Any progress?

Heidi A. Quinn

NOLAND, HAMERLY, ETIENNE & HOSS

A Professional Corporation 333 Salinas Street

P.O. Box 2510

Salinas, CA 93902

(831) 424-1414 ext. 219

(831) 424-1975 (fax)

HQuinn@nheh.com

www.nheh.com

Serving the Central Coast Since 1928

From: <u>bswanson@ci.carmel.ca.us</u> [mailto:<u>bswanson@ci.carmel.ca.us</u>] Sent: Friday, January 21, 2022 4:47 PM To: Quinn, Heidi A. Cc: Marnie R. Waffle; Kemp, Christine Subject: Re: Plate Height - Illustration

Heidi,

I'm happy to report that I just heard back from the property owner and they will be having the survey done Monday of next week. I will share when we have the info.

Sent from my iPhone, please excuse brevity or typos.

On Thu, Jan 27, 2022 at 5:08 PM Quinn, Heidi A. <<u>HQuinn@nheh.com</u>> wrote:

Good evening,

I'm just following up regarding the plate height. To you have any information you can share?

Best Regards,

Heidi A. Quinn

Р. Г

NOLAND, HAMERLY, ETIENNE & HOSS

A Professional Corporation 333 Salinas Street

P.O. Box 2510

Salinas, CA 93902 (831) 424-1414 ext. 219

(831) 424-1975 (fax)

HQuinn@nheh.com

www.nheh.com

Serving the Central Coast Since 1928

From: Quinn, Heidi A. Sent: Tuesday, January 25, 2022 11:33 AM To: <u>bswanson@ci.carmel.ca.us</u>' Subject: Status of Survey?

Good afternoon Brandon,

Just following up. Any progress?

From: Brandon Swanson <bswanson@ci.carmel.ca.us> Sent: Thursday, January 27, 2022 5:28 PM Quinn, Heidi A. Subject: Re: Status of Survey?

Hello Heidi, I haven't seen the survey yet. I will ask for a status.

Take care,

To:

-Brandon

×	

Brandon Swanson [he, him, his] **Director, Community Planning and Building** City of Carmel-by-the-Sea (831) 620-2024

Please take our Customer Satisfaction Survey.

On Thu, Jan 27, 2022 at 5:08 PM Quinn, Heidi A. <<u>HQuinn@nheh.com</u>> wrote:

Good evening,

I'm just following up regarding the plate height. To you have any information you can share?

Best Regards,

Heidi A. Quinn

NOLAND, HAMERLY, ETIENNE & HOSS

A Professional Corporation 333 Salinas Street

P.O. Box 2510

Salinas, CA 93902

From:Quinn, Heidi A.Sent:Thursday, January 27, 2022 5:35 PMTo:'Brandon Swanson'Subject:RE: Status of Survey?

Thank you, Brandon.

Have a good evening.

Heidi A. Quinn NOLAND, HAMERLY, ETIENNE & HOSS A Professional Corporation 333 Salinas Street P.O. Box 2510 Salinas, CA 93902 (831) 424-1414 ext. 219 (831) 424-1975 (fax) HQuinn@nheh.com www.nheh.com

Serving the Central Coast Since 1928

From: Brandon Swanson [mailto:bswanson@ci.carmel.ca.us] Sent: Thursday, January 27, 2022 5:28 PM To: Quinn, Heidi A. Subject: Re: Status of Survey?

Hello Heidi, I haven't seen the survey yet. I will ask for a status.

Take care,

-Brandon

×	And the state of t

Brandon Swanson [he, him, his] **Director, Community Planning and Building** City of Carmel-by-the-Sea (831) 620-2024

Please take our Customer Satisfaction Survey.

On Thu, Jan 27, 2022 at 5:08 PM Quinn, Heidi A. <<u>HQuinn@nheh.com</u>> wrote:

Good evening,

From: Sent: To: Subject: Quinn, Heidi A. Monday, January 31, 2022 4:06 PM 'Brandon Swanson' RE: Status of Survey?

Good afternoon,

Just checking in again. Any updates?

Heidi A. Quinn NOLAND, HAMERLY, ETIENNE & HOSS A Professional Corporation 333 Salinas Street P.O. Box 2510 Salinas, CA 93902 (831) 424-1414 ext. 219 (831) 424-1975 (fax) HQuinn@nheh.com www.nheh.com

Serving the Central Coast Since 1928

From: Quinn, Heidi A. Sent: Thursday, January 27, 2022 5:35 PM To: 'Brandon Swanson' Subject: RE: Status of Survey?

Thank you, Brandon.

Have a good evening.

Heidi A. Quinn NOLAND, HAMERLY, ETIENNE & HOSS A Professional Corporation 333 Salinas Street P.O. Box 2510 Salinas, CA 93902 (831) 424-1414 ext. 219 (831) 424-1975 (fax) HQuinn@nheh.com www.nheh.com

From:	Brandon Swanson <bswanson@ci.carmel.ca.us></bswanson@ci.carmel.ca.us>
Sent:	Monday, January 31, 2022 4:07 PM
То:	Quinn, Heidi A.
Subject:	Re: Status of Survey?

As of Friday, the survey was complete but they were awaiting the report. I will keep you posted.

Take care,

-Brandon

<u> </u>	
×	-

Brandon Swanson [he, him, his] **Director, Community Planning and Building** City of Carmel-by-the-Sea (831) 620-2024

Please take our Customer Satisfaction Survey.

On Mon, Jan 31, 2022 at 4:06 PM Quinn, Heidi A. <<u>HQuinn@nheh.com</u>> wrote:

Good afternoon,

Just checking in again. Any updates?

Heidi A. Quinn

NOLAND, HAMERLY, ETIENNE & HOSS

A Professional Corporation 333 Salinas Street

P.O. Box 2510

Salinas, CA 93902

(831) 424-1414 ext. 219

From: Sent: To: Cc: Subject: Quinn, Heidi A. Wednesday, February 2, 2022 11:07 AM Brandon Swanson Kemp, Christine; Marnie R. Waffle RE: Status of Survey?

Good morning,

I'm just following up. It appears the roof construction is progressing. Do you have any information on the plate height or status of the survey?

Best Regards,

Heidi A. Quinn NOLAND, HAMERLY, ETIENNE & HOSS A Professional Corporation 333 Salinas Street P.O. Box 2510 Salinas, CA 93902 (831) 424-1414 ext. 219 (831) 424-1975 (fax) HQuinn@nheh.com www.nheh.com

Serving the Central Coast Since 1928

From: Brandon Swanson [mailto:bswanson@ci.carmel.ca.us] Sent: Monday, January 31, 2022 4:07 PM To: Quinn, Heidi A. Subject: Re: Status of Survey?

As of Friday, the survey was complete but they were awaiting the report. I will keep you posted.

Take care,

-Brandon

From:	Brandon Swanson <bswanson@ci.carmel.ca.us></bswanson@ci.carmel.ca.us>
Sent:	Wednesday, February 2, 2022 1:33 PM
То:	Quinn, Heidi A.
Cc:	Kemp, Christine; Marnie R. Waffle
Subject:	Re: Status of Survey?

Hello Heidi,

I still have not received the report from the property owner. I will ping them now.

-Brandon

×	Na se anna an a

Brandon Swanson [he, him, his] **Director, Community Planning and Building** City of Carmel-by-the-Sea (831) 620-2024

Please take our Customer Satisfaction Survey.

On Wed, Feb 2, 2022 at 11:07 AM Quinn, Heidi A. <<u>HQuinn@nheh.com</u>> wrote:

Good morning,

I'm just following up. It appears the roof construction is progressing. Do you have any information on the plate height or status of the survey?

Best Regards,

Heidi A. Quinn

NOLAND, HAMERLY, ETIENNE & HOSS

A Professional Corporation 333 Salinas Street

P.O. Box 2510

From:	Brandon Swanson <bswanson@ci.carmel.ca.us></bswanson@ci.carmel.ca.us>
Sent:	Wednesday, February 2, 2022 1:51 PM
To:	Quinn, Heidi A.
Cc:	Kemp, Christine; Marnie R. Waffle; Jermel Laurie
Subject:	Re: Status of Survey?
Attachments:	2022-0127 Ridge Certification.pdf

Heidi,

I'm sorry, I spoke too soon. Looks like this came in at the end of yesterday while I was in City Council. I had not gotten to my emails from yesterday afternoon yet. Based on the calculations in this survey, it appears that the top of the plate is at 19.3 feet above the base elevation point of 200.93 (220.23 plate elevation - 200.93 base elevation = 19.30). The 0.3 foot difference represents 3.6 inches in excess of 19 feet.

I will confer with my team and get back to you soon regarding next steps.

Take care,

-Brandon

× -----

Brandon Swanson [he, him, his] **Director, Community Planning and Building** City of Carmel-by-the-Sea (831) 620-2024

Please take our Customer Satisfaction Survey.

On Wed, Feb 2, 2022 at 1:32 PM Brandon Swanson <<u>bswanson@ci.carmel.ca.us</u>> wrote: Hello Heidi,

I still have not received the report from the property owner. I will ping them now.

-Brandon

Brandon Swanson [he, him, his] **Director, Community Planning and Building** City of Carmel-by-the-Sea (831) 620-2024

Please take our Customer Satisfaction Survey.

From: Sent: To: Cc: Subject: Attachments: Quinn, Heidi A. Thursday, February 3, 2022 11:49 AM 'Brandon Swanson'; Marnie R. Waffle Kemp, Christine Height Calculations City Height Limits (01522581xE4B5B).jpeg; Height Calculation V2 (01522560xE4B5B).jpeg

Good morning Brandon,

Can you please clarify the City's calculation of plate height you sent yesterday? Your plate height measurement was from the project benchmark elevation of 200.93. We question this calculation.

Attached are the height measurement criteria obtained from the City's information page. It clearly states that height is measured from existing or finished grade, whichever is lower. Accordingly, per the City rules, the plate height should be measured from Point 1025 elevation **200.371**, as set forth in Whitson's Report dated October 18, 2021, which is elevation of the finished grade at the "concrete slab lower".

Calculating plate height from the finished grade at Point 1025 (**200.371**), to the plate height of **220.23** (Point 1040 set forth in Whitson's dated January 28, 2022), the plate height is actually **19.86**, which exceeds the City's approval by over 10 inches (**220.23** – **200.37** = 19.86' = **19'10.3**'') A 10" height difference between what was approved and permitted at 19', is not inconsequential.

Why is your calculation originating from the project benchmark elevation 200.93 feet?

Also attached, is a synopsis of the plans and measurements that relate to the measured 19.86' plate height.

Further, we cannot locate Sheet C1.1 of the Civil Plans, dated 5/17/2021. Please provide this to us.

We look forward to your reply.

Heidi A. Quinn NOLAND, HAMERLY, ETIENNE & HOSS A Professional Corporation 333 Salinas Street P.O. Box 2510 Salinas, CA 93902 (831) 424-1414 ext. 219 (831) 424-1975 (fax) HQuinn@nheh.com www.nheh.com

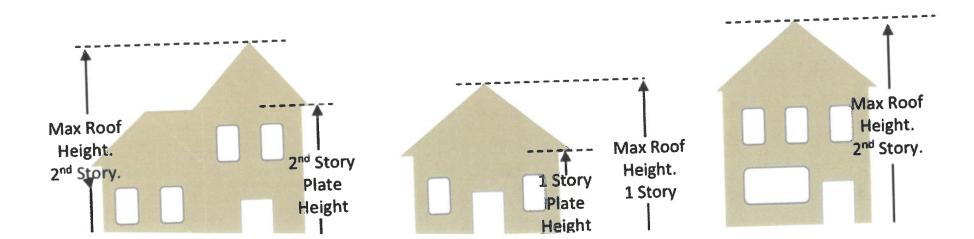
Serving the Central Coast Since 1928

Measuring Height: The height of a building is measured as the plumb vertical distance from existing or finished grade (whichever is lower) to the highest point on the roof.

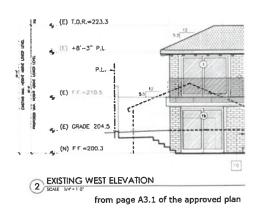
Height limitations are summarized below:

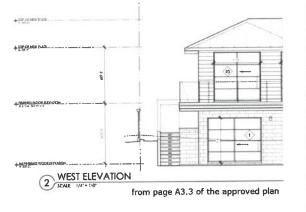
R-1 District	R-1-BR District	R-1-PO District
2	2	1*
18 feet	18 feet	18 feet
12 feet	12 feet	12 feet
24 feet	18 feet <mark>-</mark>	24 feet*
18 feet	18 feet	18 feet*
	2 18 feet 12 feet	R-1 bistrict2218 feet18 feet12 feet12 feet24 feet18 feet

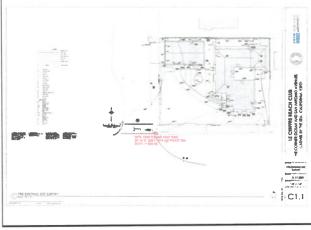
*R-1-PO (Park Overlay) District: The Planning Commission <u>may</u> grant a 2nd story if determined that the height will not negatively affect the nearby park or open space.



HEIGHT CALCULATION







At the Planning Commission meeting, the plate height was noted as 19 feet.

Number for the finished floor is 200.3

Graz	a Commuction							
Ret	Bidge Height Cr te Chilhe Beac NE Conner Oce Connel-By-The- APN: 918-253-0	h Club on & Son Anio -Seo, CA 9392		649				
Dep	AN ERS							
reside Suitre (poin cristur	ctober 18, 2021 V mbe of Re NE Co yed nage, of Rs N t 4 1019], relative ned clatum, (hed wit plans dated a	omer of Ocea ighest point w to the detign by Whitson En	n & San A vas found afed \$/1e	Intonio Ave lo be of a Benchmor	inues. Com In elevation k (elevation	ol 274 62 200 73 A	e-Seci IIve Sleet set.	
Since Richi LS NO Princ	2.00 dat	6			STAN STAN			
				N.	Torcand			
				4	tor call	*		
				1	or call	*		
	an lagarh dei Rass 10	10 - 10 - 10 - 10 - 10			a cull			
FT 147			nev a	DIFSC	2 or call			
PT. NO 200	N E	5703901-671	300 93 0	CP FO HAG P	Cor callo			
201	N E 20195336.647 2020156.427	5703901 671 5701964 735	200 93 0 224 629 1	CP FO MAG P NDGE	AND SITE OF M			
101 101	N E 2019339.647 2009394.427 2009394.427	5703901-671	200 93 0 224 629 7 277, 124 7	CIP FO HAAG I RUDGE RUDGE 1	To call	HMARE		
201	N E 2019336.497 2019354.2792 2019354.2792	5703901.673 5701964.735 5701967.14	300 93 0 224 639 7 277,124 7 223 462 7 223 627 7	CF FD MAG F RIDGE RIDGE 3 AIDGE 2 RIDGE J				
200 101 102 102 102 102	N 20083 30 647 20083 30 647 2 20083 30 407 2 20083 30 407 2 20083 13 47 2 20084 13 47	5703901.673 5703904.735 5701964.735 5701967.14 5703961.594 5703973.975 5701977.077	300 93 0 234 639 1 277, 134 1 223 462 1 223 627 1 223 627 1 221 775 1	CP FD MAG P RUDGE RUDGE 1 RUDGE 2 RUDGE 3 RUDGE 4 7 H		CHIMAGRE		
101 102 103 103 103 103 103	N C 2019354.47 2019154.27 2019157 201	5703901.673 5703904.735 5701967.14 5703981.594 5703981.594 5703973.975 5701972.807 5701959.938	200 93 0 224 629 1 227, 124 1 223 462 1 223 627 1 223 627 1 221 775 1 239 463 1	CP FD HAAG P RIDGE RIDGE 1 AIDGE 2 RIDGE 3 RIDGE 4 7 H SUIPLOOR	NGOIEA	HMAR		
201 101 102 102 102 102 102 102	N C 2005334.447 200534.473 2005354.473 2005055 200645134 200645134 200645732 200645734	5703901.673 5703904.735 5701964.735 5701967.14 5703961.594 5703973.975 5701977.077	200 93 0 224 629 9 227, 124 9 223 402 9 223 627 1 223 627 1 221 775 9 230 463 9 200 878 6	CP FD HAAG P RIDGE RIDGE 1 AIDGE 2 RIDGE 3 RIDGE 4 7 H SUIPLOOR	NGHER LTV/201			
101 102 103 103 103 103 103	N E 2003 30 447 2003 54 477 2004 50 477 2004 50 478 2004 51 51 51 2004 51 51 51 2004 51 51 51 2004 51 51 51 51 51 51 51 51 51 51 51 51 51	57039021-673 5701967-34 5701967-34 5701967-34 5701967-34 5701977-807 5701977-807 5701979-938 5701959-938 5701959-938 5701959-5340	200 93 (234 639) 277, 134 (223 637) 223 637) 223 637) 223 637) 221 775 (239 463) 239 463 (239 463) 239 463 (239 463)	CP FD HAAG P NUDGE 1 NUDGE 2 NUDGE 2 NUDGE 3 NUDGE 4 7 H SUMFLOOR CONC SSAD 5 TOP PLATE 8	NGHER LTV/201		-	

The plan shows the finish floor at 200.22.

841 949 1425

Job No.: 4425.00

Point #206 noted as the site benchmark

QUESTIONS:

1. HOW WAS THE PLATE HEIGHT OF 19 FEET MEASURED? FROM THE FINISH FLOOR OR FROM THE POINT #206?

2. THE NEW PROJECTED FINISH FLOOR LEVEL OF 200.59 EXCEED THE PREVIOUS ONE AT 200.3. THAI IS ABOUT 3 AND A HALF INCH?

3. WOULD NOT THE PLATE HEIGHT CALCULATION ACCORDING TO THE CITY INFO PAGE BE AS FOLLOW?

> POINT 1040 AT 220.23 POINT 1025 AT - 200.371 = 19.859 PLATE HEIGHT = 19 FEET AND 10 INCHES

Sincerely, 2.22400 Richard Weber PE. LS 15 8002 Principal

Whitson ENGINEERS

January 28, 2022

Dear Mr. Ellis:

Foint \$037

Point 1038

Point 1039

Point 1040

Point 1041

Andrew Ems Groza Construction

Re: Ridge Helght Certification Le Chiltre Beach Club NE Corner Ocean & San Antonio Avenues Cermel-By-The-Sea, CA 93921

On January 27, 2022, Whitson Engineers checked the height of the framing of the registence at the NE Corner of Ocean & San Antonie Avenues, Carmel-By-Tae-Saa

APN: 010-253-009

The survey data as follow:



Top of a 1 %" x 7" se, representing lower Sobh floor elevation was found to be at an elevation of 200.59 levt.

Top of a 2 x 4" stud, representing top of Robbed colling was found to be at an elevation of 219.26 to at.

The surveyed eldge, a 2" x 12" jobs, at its highest point, was found to be at an elevation of 223,32 test at its highest point

Top phywood sheeting at top header beam was found to be at an elevation of 220,23 feat.

Top plywood sheeting at lop header beam wasfound to be at an elevation of 220.22 feet.

Elevation of all points surveyed relative to the designated Site Benchmark (slevation 200,93 feet, assemed datum, (lied by Whison Engine ars at Point #206) az showa on Sheet C.1; a bibe Cikel pianto dated May 17, 2021.

From:Quinn, Heidi A.Sent:Thursday, February 3, 2022 6:32 PMTo:Brandon Swanson; Marnie R. WaffleCc:Kemp, ChristineSubject:Meeting Request

Importance:

High

Good evening Brandon,

I have not heard back from you regarding this email or my voicemail, and construction on the project continues. As you know, we have been seeking clarification as to the approved plate height since October 2021 and still do not have confirmation that this project is in compliance with the Planning Commission approval. There appears to be a significant discrepancy.

We would like to schedule a meeting with you as soon as possible to discuss the calculations and the Whitson Reports. What is your availability for a meeting?

Best Regards,

Heidi A. Quinn NOLAND, HAMERLY, ETIENNE & HOSS A Professional Corporation 333 Salinas Street P.O. Box 2510 Salinas, CA 93902 (831) 424-1414 ext. 219 (831) 424-1975 (fax) HQuinn@nheh.com www.nheh.com

Serving the Central Coast Since 1928

From: Quinn, Heidi A. Sent: Thursday, February 3, 2022 11:49 AM To: 'Brandon Swanson'; Marnie R. Waffle Cc: Kemp, Christine Subject: Height Calculations

Good morning Brandon,

Can you please clarify the City's calculation of plate height you sent yesterday? Your plate height measurement was from the project benchmark elevation of 200.93. We question this calculation.

Attached are the height measurement criteria obtained from the City's information page. It clearly states that height is measured from existing or finished grade, whichever is lower. Accordingly, per the City rules, the plate height should be

From:	Brandon Swanson <bswanson@ci.carmel.ca.us></bswanson@ci.carmel.ca.us>
Sent:	Friday, February 4, 2022 10:26 AM
То:	Quinn, Heidi A.
Cc:	Marnie R. Waffle; Kemp, Christine
Subject:	Re: Meeting Request

Heidi,

I do my best to get back to people the same day, but was not able to respond to you yesterday. How does next Wednesday at 9am work for you?

-Brandon

×	Name and Party Court Star proved and in the last of \$70,000 to 100

Brandon Swanson [he, him, his] **Director, Community Planning and Building** City of Carmel-by-the-Sea (831) 620-2024

Please take our Customer Satisfaction Survey.

On Thu, Feb 3, 2022 at 6:32 PM Quinn, Heidi A. <<u>HQuinn@nheh.com</u>> wrote:

Good evening Brandon,

I have not heard back from you regarding this email or my voicemail, and construction on the project continues. As you know, we have been seeking clarification as to the approved plate height since October 2021 and still do not have confirmation that this project is in compliance with the Planning Commission approval. There appears to be a significant discrepancy.

We would like to schedule a meeting with you as soon as possible to discuss the calculations and the Whitson Reports. What is your availability for a meeting?

Best Regards,

Heidi A. Quinn

NOLAND, HAMERLY, ETIENNE & HOSS

From: Sent: To: Cc: Subject: Kemp, Christine Friday, February 4, 2022 11:06 AM 'Brandon Swanson'; Quinn, Heidi A. Marnie R. Waffle RE: Meeting Request

Brandon,

Wednesday is too late as the work continues today. We need to have them stop work until this is sorted out.

We sent a very clear message yesterday with why the plate height is wrong. We have been raising this issue for months. Please confirm today that the plate height is 10 inches over what was approved and what the City intends to do.

If there is no stop work in place today, you are forcing our client to pursue legal recourse.

Christine

Christine G. Kemp NOLAND, HAMERLY, ETIENNE & HOSS A Professional Corporation 333 Salinas Street P.O. Box 2510 Salinas, CA 93901 (831) 424-1414 ext. 271 (831) 424-1975 (fax) ckemp@nheh.com www.nheh.com

Serving the Central Coast Since 1928

From: Brandon Swanson [mailto:bswanson@ci.carmel.ca.us]
Sent: Friday, February 4, 2022 10:26 AM
To: Quinn, Heidi A.
Cc: Marnie R. Waffle; Kemp, Christine
Subject: Re: Meeting Request

Heidi,

I do my best to get back to people the same day, but was not able to respond to you yesterday. How does next Wednesday at 9am work for you?

From:	Brandon Swanson <bswanson@ci.carmel.ca.us></bswanson@ci.carmel.ca.us>
Sent:	Friday, February 4, 2022 11:17 AM
То:	Kemp, Christine
Cc:	Quinn, Heidi A.; Marnie R. Waffle
Subject:	Re: Meeting Request

Christine,

I need to take another look at the plans with my team because we came up with a different number than Heidi, and will do that before we meet. I can confirm that the plate height is higher than 19 feet, but I cannot confirm the exact number yet. I have asked the property owner to stop work on that portion of the home until we are able to resolve the issue with the plate height. I can move a couple things around and meet at 2:00pm on Tuesday. Will that work for you?

If the property owner wished to keep the plates in excess of 19 feet, they will need to apply for an amendment to their permit. We will process that application accordingly.

-Brandon

Brandon Swanson [he, him, his] **Director, Community Planning and Building** City of Carmel-by-the-Sea (831) 620-2024

Please take our Customer Satisfaction Survey.

On Fri, Feb 4, 2022 at 11:06 AM Kemp, Christine <<u>CKemp@nheh.com</u>> wrote:

Brandon,

Wednesday is too late as the work continues today. We need to have them stop work until this is sorted out.

We sent a very clear message yesterday with why the plate height is wrong. We have been raising this issue for months. Please confirm today that the plate height is 10 inches over what was approved and what the City intends to do.

From: Sent: To: Cc: Subject: Kemp, Christine Friday, February 4, 2022 11:31 AM Brandon Swanson Quinn, Heidi A.; Marnie R. Waffle RE: Meeting Request

Brandon,

Thank you for your quick reply. Please confirm they will stop work until this sorted out. While it was our understanding they were already under an order to stop work on the roof, the work has been continuing. If we can be assured that the work will stop, then Tuesday at 2:00 should be ok, but if the work does not stop, our client needs to seek relief to protect herself so the building stops.

Please confirm they will stop work now.

Christine

Christine G. Kemp NOLAND, HAMERLY, ETIENNE & HOSS A Professional Corporation 333 Salinas Street P.O. Box 2510 Salinas, CA 93901 (831) 424-1414 ext. 271 (831) 424-1975 (fax) ckemp@nheh.com www.nheh.com

Serving the Central Coast Since 1928

From: Brandon Swanson [mailto:bswanson@ci.carmel.ca.us]
Sent: Friday, February 4, 2022 11:17 AM
To: Kemp, Christine
Cc: Quinn, Heidi A.; Marnie R. Waffle
Subject: Re: Meeting Request

Christine,

I need to take another look at the plans with my team because we came up with a different number than Heidi, and will do that before we meet. I can confirm that the plate height is higher than 19 feet, but I cannot confirm the exact number yet. I have asked the property owner to stop work on that portion of the home until we are able to resolve the issue with the plate height. I can move a couple things around and meet at 2:00pm on

From: Sent: To: Cc: Subject: Attachments: Kemp, Christine Friday, February 4, 2022 12:17 PM 'Brandon Swanson' Quinn, Heidi A.; 'Marnie R. Waffle' RE: Meeting Request 8FA098A9-860C-45B2-8BCC-859AA5DE9371.jpeg

Brandon,

The work continues on the roof today – see attached photo.

PLEASE have them stop work until this is sorted out. And PLEASE confirm the will comply.

Please send confirmation that work will stop today and not start until we have the additional information and we know what will occur with the City.

Thank you,

Christine Christine G. Kemp NOLAND, HAMERLY, ETIENNE & HOSS A Professional Corporation 333 Salinas Street P.O. Box 2510 Salinas, CA 93901 (831) 424-1414 ext. 271 (831) 424-1975 (fax) ckemp@nheh.com www.nheh.com

Serving the Central Coast Since 1928

From: Kemp, Christine Sent: Friday, February 4, 2022 11:31 AM To: 'Brandon Swanson' Cc: Quinn, Heidi A.; Marnie R. Waffle Subject: RE: Meeting Request

Brandon,



From:bswanson@ci.carmel.ca.usSent:Friday, February 4, 2022 12:37 PMTo:Kemp, ChristineCc:Quinn, Heidi A.; Marnie R. WaffleSubject:Re: Meeting Request

Christine,

I just talked to the property owner and confirmed that they will stop work on the portion of the project related to this roof and plate height issue. They have been asked to stop until the plate height issue is resolved. As we do with other projects in town, we will allow them to keep working on other areas of the site. If they do not comply, and continue to work on the area designated to stop, then we would issue a stop work order on the entire job site.

Sent from my iPhone, please excuse brevity or typos.

On Feb 4, 2022, at 12:16 PM, Kemp, Christine < CKemp@nheh.com> wrote:

Brandon,

The work continues on the roof today – see attached photo.

PLEASE have them stop work until this is sorted out. And PLEASE confirm the will comply.

Please send confirmation that work will stop today and not start until we have the additional information and we know what will occur with the City.

Thank you,

Christine

Christine G. Kemp NOLAND, HAMERLY, ETIENNE & HOSS A Professional Corporation 333 Salinas Street P.O. Box 2510 Salinas, CA 93901 (831) 424-1414 ext. 271 (831) 424-1975 (fax) ckemp@nheh.com From: Sent: To: Cc: Subject: Kemp, Christine Friday, February 4, 2022 12:52 PM 'bswanson@ci.carmel.ca.us' Quinn, Heidi A.; Marnie R. Waffle Stop work confirmation

Brandon,

Thank you for the stop work confirmation. I know our client will be watching, so hopefully, all goes well.

If the work is stopped, your original suggested meeting on Wednesday at 9:00 should be fine. Was that to be in person or by Zoom? If you can confirm, I will confirm your meeting with Heidi and Ms. Rangthong.

It would also be helpful if you can let us know what you find regarding the plate height related to the detailed information we provided yesterday.

Thank you,

Christine

Christine G. Kemp NOLAND, HAMERLY, ETIENNE & HOSS A Professional Corporation 333 Salinas Street P.O. Box 2510 Salinas, CA 93901 (831) 424-1414 ext. 271 (831) 424-1975 (fax) ckemp@nheh.com www.nheh.com

Serving the Central Coast Since 1928

From: bswanson@ci.carmel.ca.us [mailto:bswanson@ci.carmel.ca.us]
Sent: Friday, February 4, 2022 12:37 PM
To: Kemp, Christine
Cc: Quinn, Heidi A.; Marnie R. Waffle
Subject: Re: Meeting Request

Christine,

EXHIBIT B

From: Sent: To: Cc: Subject: Attachments: Quinn, Heidi A. Thursday, February 3, 2022 11:49 AM 'Brandon Swanson'; Marnie R. Waffle Kemp, Christine Height Calculations City Height Limits (01522581xE4B5B).jpeg; Height Calculation V2 (01522560xE4B5B).jpeg

Good morning Brandon,

Can you please clarify the City's calculation of plate height you sent yesterday? Your plate height measurement was from the project benchmark elevation of 200.93. We question this calculation.

Attached are the height measurement criteria obtained from the City's information page. It clearly states that height is measured from existing or finished grade, whichever is lower. Accordingly, per the City rules, the plate height should be measured from Point 1025 elevation **200.371**, as set forth in Whitson's Report dated October 18, 2021, which is elevation of the finished grade at the "concrete slab lower".

Calculating plate height from the finished grade at Point 1025 (200.371), to the plate height of 220.23 (Point 1040 set forth in Whitson's dated January 28, 2022), the plate height is actually 19.86, which exceeds the City's approval by over 10 inches (220.23 - 200.37 = 19.86' = 19'10.3'') A 10" height difference between what was approved and permitted at 19', is not inconsequential.

Why is your calculation originating from the project benchmark elevation 200.93 feet?

Also attached, is a synopsis of the plans and measurements that relate to the measured 19.86' plate height.

Further, we cannot locate Sheet C1.1 of the Civil Plans, dated 5/17/2021. Please provide this to us.

We look forward to your reply.

Heidi A. Quinn NOLAND, HAMERLY, ETIENNE & HOSS A Professional Corporation 333 Salinas Street P.O. Box 2510 Salinas, CA 93902 (831) 424-1414 ext. 219 (831) 424-1975 (fax) HQuinn@nheh.com www.nheh.com

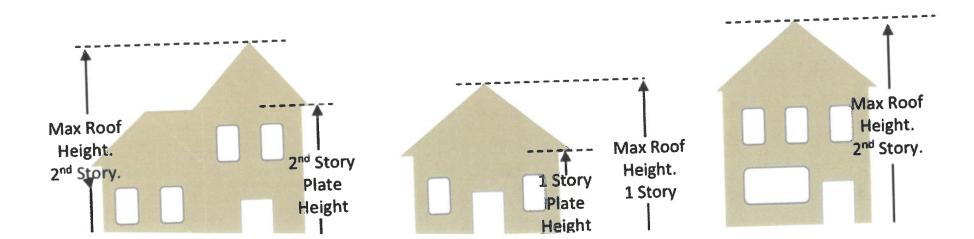
Serving the Central Coast Since 1928

Measuring Height: The height of a building is measured as the plumb vertical distance from existing or finished grade (whichever is lower) to the highest point on the roof.

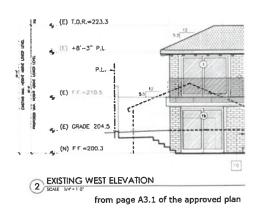
Height limitations are summarized below:

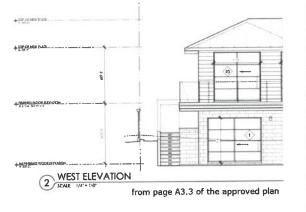
R-1 District	R-1-BR District	R-1-PO District
2	2	1*
18 feet	18 feet	18 feet
12 feet	12 feet	12 feet
24 feet	18 feet <mark>-</mark>	24 feet*
18 feet	18 feet	18 feet*
	2 18 feet 12 feet	R-1 bistrict2218 feet18 feet12 feet12 feet24 feet18 feet

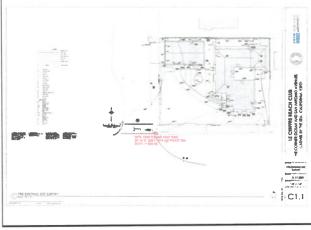
*R-1-PO (Park Overlay) District: The Planning Commission <u>may</u> grant a 2nd story if determined that the height will not negatively affect the nearby park or open space.



HEIGHT CALCULATION







At the Planning Commission meeting, the plate height was noted as 19 feet.

Number for the finished floor is 200.3

Graz	a Commuction							
Ret	Bidge Height Cr te Chilhe Beac NE Conner Oce Connel-By-The- APN: 918-253-0	h Club on & Son Anio -Seo, CA 9392		649				
Dep	AN ERS							
reside Suitre (poin cristur	ctober 18, 2021 V mbe of Re NE Co yed nage, bills t 4 1019], relative ned clatum, (hed wit plans dated a	omer of Ocea ighest point w to the detign by Whitson En	n & San A vas found afed \$/10	Intonio Ave lo be of a Benchmor	inues. Com In elevation k (elevation	ol 274 62 200 73 A	e-Seci IIve Sleet set.	
Since Richi LS NO Princ	2.00 dat	6			STAN STAN			
				N.	Torcand			
				N.	tor call	*		
				1	or call	*		
	an lagarh dei Rass 12	10 - 10 - 10 - 10 - 10			a cull			
FT 147			nev a	DIFSC	2 or call			
PT. NO 200	N E	5703901-671	300 93 0	CP FO HAG P	Cor callo			
201	N E 20195336.6427 20201546.427	5703901 671 5701964 735	200 93 0 224 639 1	CP FO MAG P NDGE	AND, SITE BEN			
101 101	N E 2019339.647 2009394.427 2009394.427	5703901-671	200 93 0 224 629 7 277, 124 7	CIP FO HAAG I RUDGE RUDGE 1	To call	HMARE		
201	N E 2019336.497 20291594.577 20291594.5775	5703901.673 5701964.735 5701967.14	300 93 0 224 639 7 277,124 7 223 462 7 223 627 7	CF FD MAG F RIDGE RIDGE 3 AIDGE 2 RIDGE J				
200 101 102 102 102 102	N 20083 30 647 20083 30 647 2 20083 30 407 2 20083 30 407 2 20083 10 47 2 20083 11 47 2 20083 11 47	5703901.673 5703904.735 5701964.735 5701967.14 5703961.594 5703973.975 5701977.077	300 93 0 234 639 1 277, 134 1 223 462 1 223 627 1 223 627 1 221 775 1	CP FD MAG P RUDGE RUDGE 1 RUDGE 2 RUDGE 3 RUDGE 4 7 H		CHIMAGRE		
101 102 103 103 103 103 103	N C 2019354.47 2019154.27 2019157 201	5703901.673 5703904.735 5701967.14 5703981.594 5703981.594 5703973.975 5701972.807 5701959.938	200 93 0 224 629 1 227, 124 1 223 462 1 223 627 1 223 627 1 221 775 1 239 463 1	CP FD HAAG P RIDGE RIDGE 1 AIDGE 2 RIDGE 3 RIDGE 4 7 H SUIPLOOR	NGOIEA	HMAR		
201 101 102 102 102 102 102 102	N C 2005334.447 200534.473 2005354.473 2005055 200645134 200645134 200645732 200645734	5703901.673 5703904.735 5701964.735 5701967.14 5703961.594 5703973.975 5701977.077	200 93 0 224 629 9 227, 124 9 223 402 9 223 627 1 223 627 1 221 775 9 230 463 9 200 878 6	CP FD HAAG P RIDGE RIDGE 1 AIDGE 2 RIDGE 3 RIDGE 4 7 H SUIPLOOR	NGHER LTV/201			
101 102 103 103 103 103 103	N E 2003 30 447 2003 54 477 2004 50 477 2004 50 478 2004 51 51 51 2004 51 51 51 2004 51 51 51 2004 51 51 51 51 51 51 51 51 51 51 51 51 51	57039021-673 5701967-34 5701967-34 5701967-34 5701967-34 5701977-807 5701977-807 5701979-938 5701959-938 5701959-938 5701959-5340	200 93 (234 639) 277, 134 (223 637) 223 637) 223 637) 223 637) 221 775 (239 463) 239 463 (239 463) 239 463 (239 463)	CP FD HAAG P NUDGE 1 NUDGE 2 NUDGE 2 NUDGE 3 NUDGE 4 7 H SUMFLOOR CONC SSAD 5 TOP PLATE 8	NGHER LTV/201		-	

The plan shows the finish floor at 200.22.

841 949 1425

Job No.: 4425.00

Point #206 noted as the site benchmark

QUESTIONS:

1. HOW WAS THE PLATE HEIGHT OF 19 FEET MEASURED? FROM THE FINISH FLOOR OR FROM THE POINT #206?

2. THE NEW PROJECTED FINISH FLOOR LEVEL OF 200.59 EXCEED THE PREVIOUS ONE AT 200.3. THAI IS ABOUT 3 AND A HALF INCH?

3. WOULD NOT THE PLATE HEIGHT CALCULATION ACCORDING TO THE CITY INFO PAGE BE AS FOLLOW?

> POINT 1040 AT 220.23 POINT 1025 AT - 200.371 = 19.859 PLATE HEIGHT = 19 FEET AND 10 INCHES

Sincerely, 2.22400 Richard Weber PE. LS 15 8002 Principal

Whitson ENGINEERS

January 28, 2022

Dear Mr. Ellis:

Foint \$037

Point 1038

Point 1039

Point 1040

Point 1041

Andrew Ems Groza Construction

Re: Ridge Helght Certification Le Chiltre Beach Club NE Corner Ocean & San Antonio Avenues Carmel-By-The-Sea, CA 93921

On January 27, 2022, Whitson Engineers checked the height of the framing of the registence at the NE Corner of Ocean & San Antonie Avenues, Carmel-By-Tae-Saa

APN: 010-253-009

The survey data as follow:



Top of a 1 %" x 7" se, representing lower Sobh floor elevation was found to be at an elevation of 200.59 levt.

Top of a 2 x 4" stud, representing top of Robbed colling was found to be at an elevation of 219.26 to at.

The surveyed eldge, a 2" x 12" jobs, at its highest point, was found to be at an elevation of 223,32 test at its highest point

Top phywood sheeting at top header beam was found to be at an elevation of 220,23 feat.

Top plywood sheeting at lop header beam wasfound to be at an elevation of 220.22 feet.

Elevation of all points surveyed relative to the designated Site Benchmark (slevation 200,93 feet, assemed datum, (lied by Whison Engine ars at Point #206) az showa on Sheet C.1; a bibe Cikel pianto dated May 17, 2021.

From:Quinn, Heidi A.Sent:Thursday, February 3, 2022 6:32 PMTo:Brandon Swanson; Marnie R. WaffleCc:Kemp, ChristineSubject:Meeting Request

Importance:

High

Good evening Brandon,

I have not heard back from you regarding this email or my voicemail, and construction on the project continues. As you know, we have been seeking clarification as to the approved plate height since October 2021 and still do not have confirmation that this project is in compliance with the Planning Commission approval. There appears to be a significant discrepancy.

We would like to schedule a meeting with you as soon as possible to discuss the calculations and the Whitson Reports. What is your availability for a meeting?

Best Regards,

Heidi A. Quinn NOLAND, HAMERLY, ETIENNE & HOSS A Professional Corporation 333 Salinas Street P.O. Box 2510 Salinas, CA 93902 (831) 424-1414 ext. 219 (831) 424-1975 (fax) HQuinn@nheh.com www.nheh.com

Serving the Central Coast Since 1928

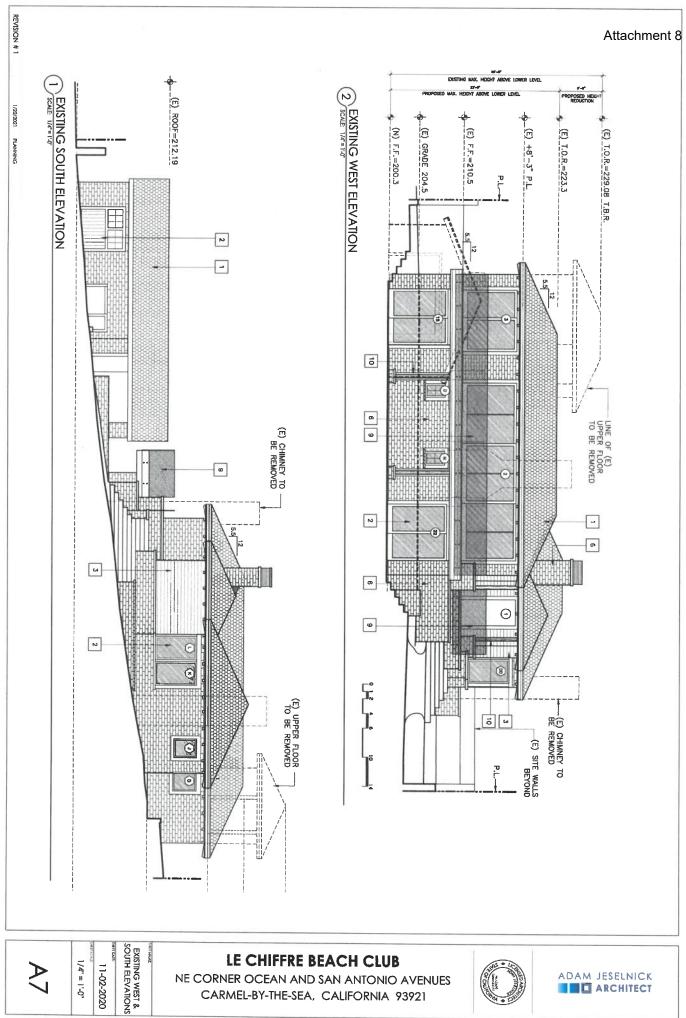
From: Quinn, Heidi A. Sent: Thursday, February 3, 2022 11:49 AM To: 'Brandon Swanson'; Marnie R. Waffle Cc: Kemp, Christine Subject: Height Calculations

Good morning Brandon,

Can you please clarify the City's calculation of plate height you sent yesterday? Your plate height measurement was from the project benchmark elevation of 200.93. We question this calculation.

Attached are the height measurement criteria obtained from the City's information page. It clearly states that height is measured from existing or finished grade, whichever is lower. Accordingly, per the City rules, the plate height should be

EXHIBIT C



CARMEL-BY-THE-SEA, CALIFORNIA 93921

EXHIBIT D

PROJECT DATA FOR AN 8,000 SQUARE FOOT SITE						
Site Considerations	Allowed	Existing (DS 15-322)	Proposed (DS 20-323)			
Floor Area	2,960 SF (37%)	3,175 SF	3,175 SF			
Basement Bonus	100 SF	100 SF	100 SF			
Basement Incentive	284 SF	257 SF	257 SF			
Site Coverage	651 SF/971 SF	1,961 SF	1,950 SF			
Trees (Upper/Lower)	5/4	0/0	0/0			
Ridge Height (1 st /2 nd)**	18'/18'	23' (residence)	23' (residence)			
Ridge Height (1-72-4)	10/10	12'-6" (garage)	10'-9" (garage)			
Plate Height (1 st /2 nd)	12′ <mark>/18′</mark>	18'-6" (residence)	<mark>19'-9" (residence)</mark>			
		7'-9" (garage)	10'-9" (garage)			
Setbacks	Minimum Required	Existing (DS 15-322)	Proposed			
Front	15'	48' residence	48' residence			
FIOIIL		5'-5" garage	5' garage			
Composite Side Yard	20' (25%)	14'-6"	14'-6"			
Side Yard	3'	North: 7'	North: 7'			
	5	North (garage): 3'-6"	North (garage): 3'			
Street Side Yard	5′	South: 2'-6"	South: 2'-6"			
Rear	15'/3'*	East: 5'	East: 5'			

*The rear setback is three feet for those portions of structures less than 15 feet in height.

** Park Overlay District: Projects of more than one-story or over 18' in height require Planning Commission approval (CMC 17.20.100.C). Approvals granted under this section (CMC 17.20.110.A) shall not violate any height limits established for the property by the underlying zoning district or any other overlay districts (CMC 17.20.110.A.3).

** Beach & Riparian District: All proposed construction shall be limited to a height of 18' above existing or finished grade whichever results in a lower height (CMC 17.20.160.B.3, Height).

EXHIBIT E

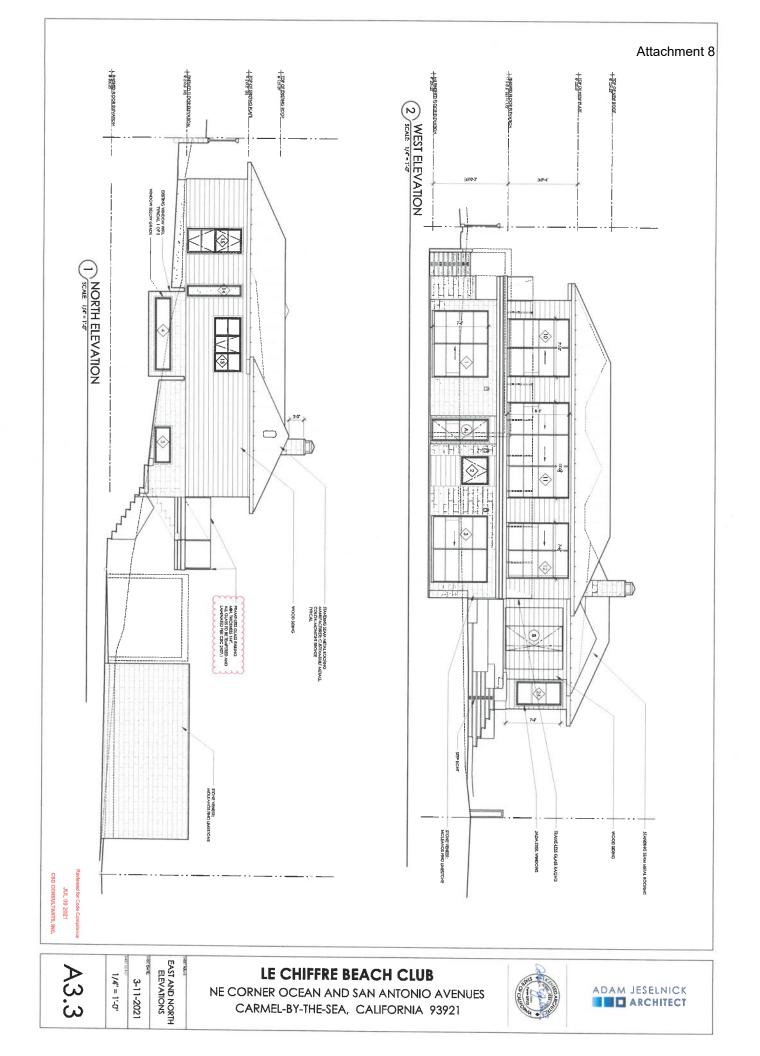


EXHIBIT F

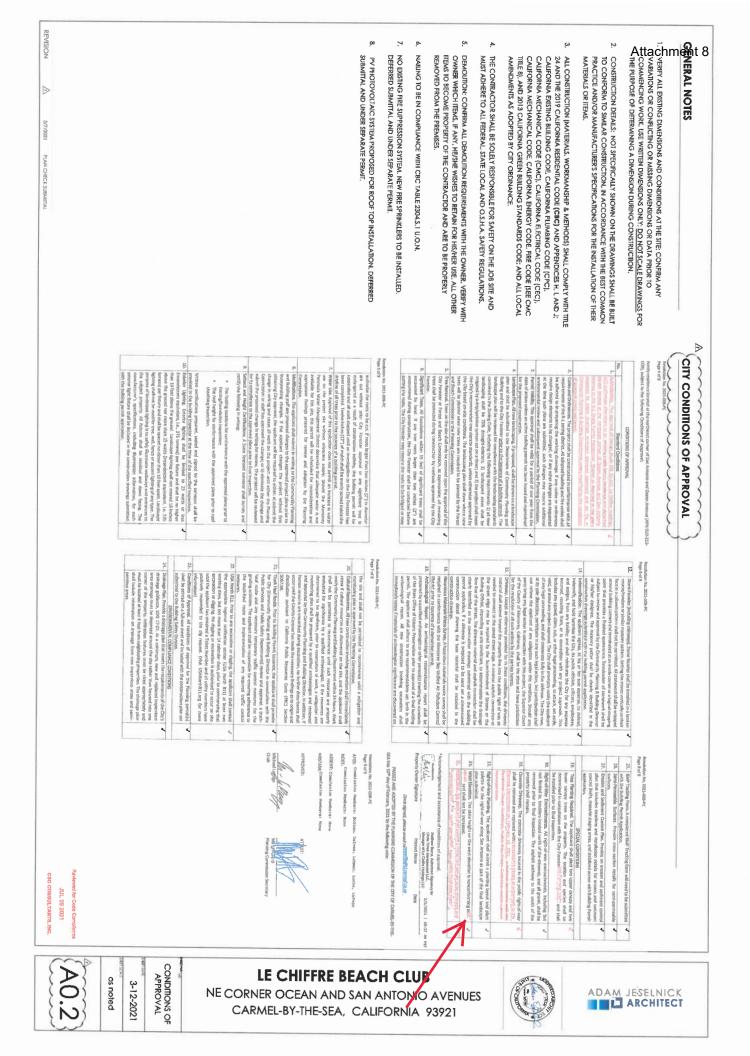


EXHIBIT G

Plate Height Increased 10"



Plate Height View Impact 10" difference

As illustrated on the superimposed picture beion, root installed on the higher plate height effectively blocked most of the beach and sand dure view.

EXHIBIT H

Applicant Demolishes Garage





May 25, 2021



From: Lindamarie Rosier Date: Mon, Mar 7, 2022 at 4:40 PM Subject: Re: Ulrika Plaza ~PLEASE SHARE WITH PLANNING COMMISSION! To: <<u>bswanson@ci.carmel.ca.us</u>>

Dear Brandon,

Unfortunately, I am not available to attend Wednesday's meeting, in person or by zoom. However, as a resident of Carmel who lives on Dolores a few blocks north, I certainly would like to give input on decisions that lie ahead for this project.

Overall, the first design by Pastor was much more charming than the second. It is my hope and of other Carmelites that more of the initial design by Pastor be retained.

In my opinion: #1. the courtyard is a nice addition #2. sadly, the Tudor style frontage is gone #3. sadly, the Mediterranean architecture is gone

Mr. Pastor's original design truly enhanced the essence of the charm of Carmel. I attended the meeting he held for residents. Both he and his design were very well received. I am sure he was totally aghast with the Commission throwing his work back in his face. Carmel is indeed blessed that he did not walk from the project.

I support Mr. Pastor's first architectural design with modifications. I like the look of separate buildings. The Mediterranean and Tudor styles need to be put back on the plans as they create that charm which is so important to our town.

Thank you, Brandon, for taking the time to read this. I've heard nothing but good things about you and your "TLC" for Carmel. So appreciate your work.

Sincerely, Lindamarie Rosier Carmel Visitor Center Volunteer **VICTORIA BEACH**

Dear Planning Commissioners,

7 March 2022

Thank you, as always, for your dedication to our village and your respect for the design regulations that preserve and enhance it for all of us. The current "Ulrika Plaza" proposal before you unfortunately does not yet show the same respect: it remains in direct violation of numerous principles enshrined in our laws.

As you know and as the staff report re-iterates, Carmel's Design Guidelines and your own analysis of them have the force of law. This is because following the Guidelines is required by our Municipal Code; in fact, many of their principles are enshrined in both documents, as you will see below. In other words, city officials determine compatibility with these principles, but the principles are not optional.

- **CMC 17.58.010.6.** Encourage **originality and invention** so long as the results encompass the unifying values of human scale and the use of **natural materials** and their role in preserving village character and **avoid out-of-scale or bizarre building forms** or incompatible design.
- **CMC 17.14.090.** ... The City has **consciously chosen architectural eclecticism and encourages originality and invention** so long as the results encompass the unifying values of human scale and the use of natural materials and their role in preserving village character. (Ord. 2004-02 § 1, 2004; Ord. 2004-01 § 1, 2004).

These two clauses in the Municipal Code introduce the forward-looking stylistic approach that is legally required in all Commercial Districts to "consciously" create an evolving eclecticism in the downtown that is not required elsewhere in the village.

CDG III.A.2. New buildings **should not imitate styles of the past** but strive to achieve compatibility with the old.

The proposal blatantly attempts to imitate a variety of faux Victorian and neo-colonial styles. This historical imitation is certainly not sanctioned in any commercial district. Nor, is this particular east-coast approach relevant to coastal California. Moreover, the proposal, with its oversized fenestration, patchwork of materials, and Disney strip-mall facades, does not even imitate its chosen "styles" with integrity and authenticity — violating perhaps the key architectural principle running through all Carmel regulations.

CDG III.A.4. Adding a new design element in order to create a separate business identity is inappropriate if it breaks the basic lines, materials and concept of a building or imposes a **hodgepodge of design elements**.

The proposal currently consists of one oversized building mis-labelled as "three" buildings and architecturally expressed as six buildings. The hodgepodge nature of design elements can be seen throughout, with abrupt and colliding changes of color, siding materials, roof materials, detailing, and the like. When the number of buildings on this site is actually settled, each actual building must maintain its own "basic lines, materials, and concept."

17.14.220.B.1. Special Design Topics. **Roofing materials** shall be selected that are consistent with the design character of the buildings on which they are placed. Roofing materials should be

consistent in color and composition on each roof plane of the building and on the roofs of each building within a single complex or courtyard.

The clashing roof shapes and materials of this proposal are in flagrant violation of the Municipal Code.

CDG III.A.7. Roof forms should be complete and **not present false fronts**.

Even from the one street-level view provided on drawing "A404: New Site Perspective", three false fronts are clearly visible. The standing seam roof on the blue-colored section can be seen coming to an abrupt half peak and missing its back half. Similarly visible on the white-colored section are the missing back halves of the two shingled roofs facing 5th Avenue and the rear of the lot. There are even more false fronts that would be visible from other vantage points.

CDG III.A.8. Partial mansard roofs (typical of franchise architecture) and pitched roofs that do not reach a true peak or hip should be **avoided**.

This project utilizes mansard roofs throughout. This appears to be the chosen approach to accommodating many large terraces and equipment, which could be handled otherwise. The mention of "franchise architecture" here is spot-on, since this literal cutting of corners is what reveals the cheapness and Disney-esque characteristic of strip malls. (See also commentary above for III.A.7.)

CMC 17.14.120. Maximum Building Site Area. The **maximum land area used as a single building site** in the CC district is 8,000 square feet, **in the SC district is 12,000 square feet** and in the RC district is 32,000 square feet. Development of a parcel larger than these limits **requires that the land area be broken up into two or more distinctly different developments to avoid the appearance of a single large project** and to maintain the small scale and village character of the City. (Ord. 2004-02 § 1, 2004; Ord. 2004-01 § 1, 2004).

As stated on project drawing "A003: F.A.R. Coverage Diagram," the land area for this SC building site is 16,000sf, **33% larger than legally permissible**. By law, the land must be broken up into legally separate developments and must not appear as one project.

CMC 17.14.140.C. Floor Area Ratio - Maximum Floor Area. No single structure shall contain more than 10,000 square feet of floor area. Interaccessibility between adjacent structures on one or more building sites by any means that allows passage between structures without first exiting to an open space area shall not be allowed if the resulting floor area contained within the combined structures would exceed 10,000 square feet of area.
 IBC §1023 (2003) Exit Discharge. Accessible means of egress must connect exits to a public way, such as a street or alley (i.e., space permanently deeded and dedicated to public use).

As also stated on drawing "A003: F.A.R. Coverage Diagram," the building area is 23,200sf, **132% larger than legally permissible**. A note on drawing "A004: Building Areas" claims that the building is composed of three smaller buildings. In fact, the connections between "buildings" in this project were anticipated by our Code as a possible loophole device and are explicitly forbidden by law to be used this way. The building code also makes clear that distinct buildings must have distinct egresses. For buildings to truly be separate

buildings per our regulations, they must be truly independent in their structures, systems, circulations, and uses. In this proposal, the only separation is on paper: a thick black line on one drawing.

CMC 17.14.170 Open Space Courtyards and Intra-Block Walkways.

C. An intra-block walkway is a publicly accessible ground level pedestrian path providing a connecting route between two or more different streets around a block. Such walkways are often **coordinated with courtyards and may involve more than one property ownership to complete**. To qualify for floor area bonus provisions the minimum width of an intra-block walkway shall be four feet.

D. Existing courtyards and intra-block walkways are to be conserved as an essential element of the City's design character and shall not be removed. All proposals to alter the size, location or configuration of a courtyard or intra-block walkway require review by the Planning Commission. Generally, such changes shall be approved **only if the Commission finds that the proposed change would be an improvement** over existing conditions **such as improving public access, allowing for creation of a new or better link with courtyards or walkways nearby** or eliminating a safety hazard. (Ord. 2004-02 § 1, 2004; Ord. 2004-01 § 1, 2004).

This project ignores all but one (#7) of the seven or more possible intra-block linkages from the proposed project to public uses:

- 1. the landscaped post office parklet corner (diagonally across the intersection),
- 2. the public parkland (across 5th Avenue),
- 3. the public backstair to the post office (across Dolores Street),
- 4. the public forecourt garden of the Carmel Art Association,
- 5. the charming courtyard at Lincoln and 5th (boarded up due to demo foundation damage),
- 6. the public easement through to Lincoln in the middle rear of the site (that existed before demolition),
- 7. the preserved walkway through the courtyard of Pocket restaurant (on Lincoln Street).

Instead, the project proposes a stark, symmetrical, formal, T-shaped, light-well, which is clearly designed to reach storefront and apartment doors in the bluntest possible way and terminates at random, mid-block spots, such as against the blank wall of the CAA building (see A201: Proposed [First] Floor Plan). The one labelled "intra-block connection" (through to #7 - Pocket restaurant) appears as the narrow, dark, canyon-like afterthought that it is. This approach in no way reflects the letter or spirit of the law, which **requires an improvement** over the prior layout, through **"better links," "coordinated"** with existing **"courtyards or walkways nearby"** on other properties. Presenting a looming wall to the beautiful CAA garden is just one of so many lost opportunities.

I am glad that this latest proposal is presented so schematically, which suggests that input will be welcome before further design development. I support the suggestion that the eyesore pit must be more artfully concealed so as afford the city the time to help this struggling project succeed. I similarly support the suggestion that the next presentation include a 3-d model, including surrounding buildings, to help the city help the project.

Any one of the numerous violations above would alone legally disqualify this proposal. Please reject this very troubled project for a complete re-design.

Sincerely, Tutme E. Bent

From: cheri ann Date: March 8, 2022 at 9:14:14 AM PST To: bswanson@ci.carmel.ca.us Cc: Cheri McCarty ; Karyl Hall Subject: Ulrika Plaza

Dear Mr. Swanson,

I am writing to you in support of the project at the corner of Dolores and fifth, also known as Ulrika Plaza, with some modifications.

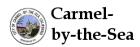
The most current renderings on the internet are somewhat pleasing and mostly keep with architecture known as traditional Carmel style. The roof styles blend into downtown, but one of my objections is the mansard roof and pink color on the corner of Dolores and Fifth. Also, there are lots of large paned windows which could be smaller panes. I would like to see more Carmel stone on the bottom buildings along with the board and batten style siding in place of the horizontal boards.

I also support the first design, keeping the look of several separate buildings in the traditional Carmel style.

Please enter my comments into public records.

Best wishes, and thank you.

Cheri A. McCarty



Heyermann Property located at Carpenter & 5th Ave.

Marnie R. Waffle <mwaffle@ci.carmel.ca.us> To: Marnie Waffle <mwaffle@ci.carmel.ca.us> Tue, Mar 8, 2022 at 10:58 AM

------ Forwarded message ------From: **Angela Cordrey** <REDACTED> Date: Tue, Mar 8, 2022 at 10:56 AM Subject: Heyermann Property located at Carpenter & 5th Ave. To: Marnie Aicp <mwaffle@ci.carmel.ca.us>

Dear Ms. Waffle;

The purpose of my correspondence is to offer support for property owner Cheryl Heyermann's proposed design at Carpenter and 5thAve.

As a lifelong resident of Carmel, I am truly committed to maintaining the integrity of our unique town. In addition to having the rare perspective as a lifelong resident here, I am also a commercial and residential property owner of the "Biason Building" and recently sold 2 SW of Carpenter on 6th.

According to the research I've conducted regarding this matter, Ms. Heyermann has redesigned the initial project to accommodate the requests of city officials and surrounding neighbors. Just a few noteworthy features of the include; a single level, Carmel-style design in keeping with scale and materials consistent with Carmel character and the relocation of the garage away from the street corner, as to improve traffic flow and minimize traffic congestion. All of which will add value to the neighborhood and ultimately generate additional tax revenue for the city.

I've known Ms. Heyermann professionally for many years and can attest to her ethical and sophisticated approach to real estate projects throughout the city. It is my belief this project will enhance the beauty and value of the neighborhood. Therefore, it is my hope the planning commission will recognize the value this project offers and approve the design as it's currently proposed. Thank you for your consideration.

Sincerely,

Angela M. Cordrey

Sent from my iPhone

Tuesday, March 8, 2022

Re: Ulrika Plaza design (a.k.a. "the Pit")

Dear Planning Commissioners,

The location of this project at the southwest corner of Dolores and Fifth is one virtually every Carmel resident will pass by almost daily. Furthermore as it is such a massive space, it will stand out tremendously. Sadly as such, none of the three proposed designs so far are acceptable, compatible, or appropriate for our small, unique, and historic town.

The first design is much too modern and boxy. The second with Tudor and Spanish elements feels like a tired, uninspired rehash of old styles. The third is too ordinary and is a stylistic mishmash reminiscent of an outlet shopping mall, with different colored buildings and materials, particularly the ubiquitous horizontal siding. Furthermore, the rooflines are still too high.

I strongly agree with former Carmel Planning Commissioner and architect Donald Goodhue who in his March 7th letter to the Planning Commission accurately describes the latest proposed design as the **"antithesis"** of quaint Carmel charm...**"a large, monolithic U-shaped complex."** I also support his accurate and thoughtful recommendation that <u>"...The design should be</u> <u>broken up into discrete buildings, separated by multiple</u> <u>intimate courtyards and 'intriguing' passageways connecting</u> <u>them."</u> The design needs to aesthetically fit Carmel.

This is a colossal-sized, un-Carmel-like project that residents will have to live with for a very long time. Let's make sure the final design doesn't make them come up with an epithet that's worse than the current one of "the Pit".

Sincerely, Alissandra Dramov February 28, 2022

Regarding: NW Corner of 5th and Carpenter, APN # 010-031-021

I have lived on Carpenter and Valley Way since 1997 and I am writing this letter on behalf of the new build at 5th/Carpenter. After reviewing the design, I believe the home will be a great addition to the neighborhood. It is old Carmel style, single story and is a great use of materials. I think the design is an attractive addition to the neighborhood.

Please let me know if you need to discuss this further however I am in complete support of the home build as it is a great addition that benefits the corner and adds a great looking home to the neighborhood.

Sincerely, Cheryl Panattoni

Mr. Michael LePage, Chairman Members of the Planning Commission City of Carmel-by-the-Sea % City Hall Carmel-by-the-Sea, California -93921-

RE: Ulrika Plaza---(DR 20-350)

Chairman LePage and Members of the Planning Commission,

The Commission convenes at a historic time, for it was exactly a century ago, in early 1922, that Councilor Perry Newberry persuaded his colleagues that Carmel-by-the-Sea, now incorporated as a municipality for one-half decade, should establish a Planning Commission. On 7 February of that year, the Council adopted Ordinance Number 43, its effective date in March, one-hundred years ago this week.

Newberry's mantra, carried forth by the first Planning Commission chairman, Dr. Arthur Burton, and Burton's inaugural colleagues, was for Carmel-by-the-Sea to be "different." As Newberry wrote after the creation of the Commission, "community originality is what has made Carmel a different town," continuing with "Carmel is a town that has built its prosperity upon originality."

A few years after the Commission was launched, Allen Griffin, publisher of the Monterey Herald, wrote in his "News Comment" column regarding Carmel's then "planning and zoning movement" that "More and more, merchants have come to realize that the exterior of a building forms the setting..."

What would Newberry and Griffin, Burton and Barrett, Mora and Mertens and Flanders, Swain and Stephenson, White and Wright and Watson and all the others who have served as commissioners this past century, promulgate on the compatibility of the Ulrika project to our downtown "setting?"

TO FIT THE SETTING—THE DESIGN GUIDELINES

To "fit" the setting, a development at this site should have its second stories recessed, for NO building currently fronting Dolores Street between Fifth and Sixth Avenues is two-stories at the sidewalk. The Design Guidelines, Object 15, extol us to "preserve the scale and character" of our downtown. The scale and character of this one block of Dolores Street is one-story buildings at the sidewalk. Ulrika Plaza is not consistent with Guidelines Objective 15.

To "fit" the setting, a development at this site should be less massive. The Design Guidelines (Policy 1-50) instruct us "continue to control the scale and mass of both one and two-story buildings." Today, a citizen can stand at the western entry to the Post Office and observe the

height poles and flags at the project site and ascertain the massiveness of the proposal. The Ulrika project does not comply with Guidelines Policy 1-50.

To "fit" the setting, the development at this site should have a pedestrian corridor in width and entry akin to that of neighboring Su Vecino Court. It should have a "place of entry"--- a street frontage amenity--- comparable to the neighboring Carmel Foundation's housing complex corner greenspace. The connectivity corridor should be welcoming, not of de minimis width.

The Design Guidelines, A3, address the need for complementing the "rhythms" established by other buildings and developments in the "immediate vicinity." Su Vecino Court is two parcels southerly of this project site. The Carmel Foundation complex, with the intimate Carmelita Park as entry to the housing, is immediately across Fifth Avenue. The adjoining Carmel Art Association has a fronting garden entry. The Ulrika project fails Design Guideline, A3.

To "fit" the setting, a development in downtown Carmel shall have a design with originality. It was our forebears, and your ancestors on the Planning Commission, that answered Newberry's call over the past century for authenticity and originality in design. The Ulrika project does not demonstrate design originality; it is a hodgepodge of styles from elsewhere, a farrago from afar.

Does the Ulrika proposal "fit the setting" that Colonel Griffin addressed in his column? Is it an exemplar of design and style and originality as Newberry advocated? A search on-line of Seaport Village--- bayside in San Diego--- or the webpage of any hamlet or city along the Maine coast, reveals a similar style of design consistent with the Ulrika proposal. Ulrika does not meet the community standard of Carmel-by-the-Sea for originality, authenticity or "being different."

The Ulrika Plaza is not the DeYoe Building; it is not the Percy Parkes Building; it is not the Isabel Leidig or the Leidig-Draper buildings. The proposal does not match the majesty of Las Tiendas or Monterey County Trust and Savings or the Kocher historic structures. Nor is it dignified as is the Seven Arts or La Ribera or La Rambla or the Harrison Memorial Library or the 1937 Carmel Fire House or the Court of the Golden Bough. These buildings have nobility; they are unique, authentic, original in design. They are enduring, they are endearing, they are stately. Ulrika Plaza is not.

TRAFFIC

The Institute of Transportation Engineers (ITE) is the "gold standard" resource for matters involving traffic. It is an international educational and scientific association of professionals, founded in 1930, and is the lodestar for public entities regarding transportation matters. The Institute has assigned a "land use code" (LUC) to all conceivable zoning designations. It projects

a "Daily Trip Rate" and a "PM Peak Hour Trip Rate" for each Land Use Code designation, coupled with a "Unit of Measurement," i.e., gross square footage or dwelling unit, for each use.

From the ITE's Trip Generation Manual, for this proposal, I utilized Land Use Code 826 (Specialty Retail Center) and LUC 220 (Apartment.) Although the site is zoned Service Commercial, the plans do not delineate whether the first-level units are service elements or retail. Since the marketing and promotional booklet for the original proposal (2020) identified retail for the first floor, the "specialty retail center" LUC of the ITE Manual was utilized for this calculation of traffic. Mr. Kort has also referenced "commercial units" on page two (2) of the staff report in describing the first level of the project.

APARTMENTS---12 units

Daily Trip Rate: 6.65 trips/day per dwelling unit-----79.80 trips

COMMERCIAL---8943 sq. ft. Daily Trip Rate: 44.32 trips/day per 1000 gross sq. ft.----396.35 trips

TOTAL: 79.80 + 396.35= 476 trips per day. (Source: ITE Trip Generation Manual, Ninth Edition)

There may be modifiers that can be applied. There may be an alternative LUC designation advanced which more aptly illuminates the first floor uses. I would welcome such clarification or augmentation. But the trip generation estimates will not decline so significantly that the magnitude of traffic impacts will diminish to a negligible status. Double-parked trucks and delivery vehicles in the downtown are already a constant impediment to the efficient functioning of traffic. Nearly 9000 additional square feet of commercial or offices and residences is not going to improve the situation. Almost all Carmelites, residents and business owners/employees, must travel to the post office, already generating significant traffic on Dolores Street and its intersection with Fifth Ave.

A project of this magnitude and massiveness will only exacerbate the traffic complexity.

Municipal Code Section 17.14.050 (H) (2&3) is applicable if a project is within 300' of an R-1 District, as is this site. Municipal Code Section 10.36, Loading and Unloading, may have application to this project.

Municipal Code Section 17.14.210, Parking Design, mandates "Garages SHALL be ventilated..." I do not see a reference to, or identification of, a ventilation system on the Basement Plan.

Based upon the estimated trips per day and referenced Code sections, it would be beneficial for the Commission to seek a thorough traffic and parking analysis.

ECONOMIC IMPACTS

If put side-by-side, the fifteen (15) commercial units would be the equivalent of an entire new commercial street frontage on one-side of Dolores between Fifth and Sixth Avenues. With a

second Pastor project anticipated but currently in abeyance for Dolores south of Seventh Avenue, the question arises---how many more shops can downtown Carmel-by-the-Sea absorb? The Commission should initiate an economic impact analysis of the downtown.

PATIENCE

To those Carmel citizens longing for a more immediate eradication of the inchoate hollowness of "the Pit," I would countenance that quality development takes time to "get right." St. Mark's in Venice, New York City's Central Park, the San Francisco Transamerica Pyramid all took decades from the seminal moment of conception until momentous completion.

Today, each of the cited cities promote and advertise these Titanic civic paragons. Edifices and parks and buildings of renown take time to "get right." They eventually become "Landmarks upon the Landscape." The Ulrika project, as proposed, will never become a Carmel landmark.

Carmelites have had a characteristic of patience during the centenary. It is in our DNA! Between 1916 and 1946, civic leaders pursued numerous options for a city hall. Proposals were advanced for building new; for buying existing; for construction in air rights on Ocean Avenue.

Civic Center construction on Block 69, now Devendorf Park, was a frequent destination. Junipero at Seventh Avenue was a late entry, as was a proposal for building on Block 58. The citizenry, for thirty years, continually rejected all proposals. No option expressed the verve or values or the dignity that the citizenry thought was most aligned with Carmel-by-the-Sea. After three decades, the All Saints Church became available and the community, in near unanimity, said "yes."

A Scenic Road pedestrian pathway was initially advanced and advocated by newspaper publisher W.K. Bassett in 1940; it was finally constructed a half-century thereafter.

Our ancestors were patient. We too must be patient; we too must wait until the most compliant project that melds with our Municipal Code and our Design Guidelines and our architectural heritage is proposed at Fifth and Dolores.

NOW, AT THIS TIME......

At a conclave of civic leaders held at the La Playa Hotel on 3 April 1956, long-time Carmel resident and writer Talbert Josselyn spoke of this village and the importance to "shape its destiny." Josselyn concluded "that only by eternal vigilance could that beauty be retained."

Chairman LePage and Commissioners, now is the time, at this meeting, to add your imprimatur in shaping our destiny by saying "no" to this specific Ulrika Plaza proposal.

Now, at this time, is your opportunity to be "eternally vigilant," protecting the high standards and aesthetics and dignity that we, as a Carmel community, have inherited from our ancestors.

Now, at this time, we, as Carmel citizens, need patience, awaiting a project that is consistent with our heritage. Patience for the "right" project is a long-time characteristic of our heritage.

Now, at this time, is the opportunity for all of us to recommit ourselves to that incantation passed down through the many years of the civic engagements--- that Carmel-by-the-Sea is authentic, and it is original; it is unique, and.... it is different.

The Ulrika Plaza proposal is not Carmel-by-the-Sea! WE CAN DO BETTER BECAUSE THIS IS--- CARMEL-BY-THE-SEA!

Respectfully Submitted,

Douglas J. Schmitz 8 March 2022 From: Linda L. Smith Date: Wed, Mar 9, 2022 at 1:40 PM Subject: DR 20-350 (Ulrika Plaza) To: <u>bswanson@ci.carmel.ca.us</u> <<u>bswanson@ci.carmel.ca.us</u>>

Dear Chairman LePage and Planning Commissioners:

Things have surely changed in Carmel since I was a child here in the 50s. On the northwest corner of this site was a great old Victorian, where the Wurmuth family lived, with lots of trees and open space, and next door to the south was a wild ramble of grape arbor, apple and pear trees and rambling roses surrounding an old Carmel board and bat house, as i remember. It was the old Leidig house, and my childhood nurse Lupe lived there. Much had already changed since early Carmel's halcyon days, but this site still held the old magic.

So my vantage point is colored by these wonderful memories of my hometown, which was so lovely, with it's open spaces and Monterey pine and live oaks and modest wooden Arts and Crafts or stucco houses fitting into this particular natural environment. It's a time gone by, but i still believe it's important to hold as much as possible to the original soul of Carmel in any new construction today, in order to honor what has made Carmel such a special place in the heart of it natives and the discriminating judgement of visitors from the world over.

That said, I think this iteration of design for a new building project at this site, while so much better than the design originally proposed by the former owners, could stand improvement to make it more "Carmel". Overall the horizontal siding is not appealing to our eyes, particularly on the pink building on the north corner. Perhaps some of the elements of the previous design could be reintroduced. They seemed more in keeping with Carmel's traditional style. The color scheme seems very stark to us, and the pink color on the north corner especially looks wrong. The building on to the south seems to us to be more modest and in keeping. It looks like a residence, which is a relief.

Thank you for taking our concerns into your consideration.

Sincerely,

Linda and Jackson Smith