

TITLE TO THESE DRAWINGS AND SPECIFICATIONS REMAINS WITH THE DESIGNER WITHOUT PREJUDICE. VISUAL CONTACT WITH THESE DRAWINGS AND SPECIFICATIONS SHALL CONSTITUTE PRIMA FIDE EVIDENCE OF THE ACCEPTANCE OF THESE RESTRICTIONS.

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DIVISION 1 – GENERAL REQUIREMENTS

- 1.1 THE WORK TO BE DONE BY EACH CONTRACTOR INCLUDES THE FURNISHING OF ALL LABOR, MATERIALS, SERVICES, AND EQUIPMENT NECESSARY FOR THE CONSTRUCTION AND COMPLETION OF THIS PROJECT, INCLUDING SITEWORK. ALL WORK PERFORMED AND MATERIALS SUPPLIED SHALL COMPLY WITH THE FOLLOWING:
- 1.1.1 THESE NOTES AND DRAWINGS.
- 1.1.2 ALL APPLICABLE LOCAL, STATE, AND FEDERAL CODES, ORDINANCES, AND REGULATIONS LISTED IN THESE DOCUMENTS.
- 1.1.3 WORKMANSHIP SHALL MEET NORMAL PROFESSIONAL STANDARDS OF THE TRADE AND SHALL MEET THE DESIGNER'S AND OWNER'S SATISFACTION WITHIN THE STANDARDS NORMALLY PROVIDED BY VARIOUS TRADES.
- 1.1.4 INSTALLATION OF EQUIPMENT AND MATERIAL SHALL BE IN STRICT CONFORMANCE WITH MANUFACTURER'S INSTRUCTIONS AND/OR APPLICABLE ASSOCIATION STANDARDS.
- 1.1.5 ALL MATERIALS SHALL BE NEW UNLESS OTHERWISE NOTED, AND SHALL BE EQUAL TO OR SUPERIOR TO THOSE ITEMS SPECIFIED IF A SUBSTITUTION IS APPROVED. NO SUBSTITUTIONS SHALL BE MADE WITHOUT THE DESIGNER'S PRIOR WRITTEN APPROVAL.
- 1.2 SITE VERIFICATION – EACH CONTRACTOR AND SUB-CONTRACTOR SHALL CAREFULLY EXAMINE THE SITE AND MAKE ALL INSPECTIONS NECESSARY IN ORDER TO DETERMINE THE FULL EXTENT OF THE WORK REQUIRED TO MAKE THE COMPLETED WORK CONFORM TO THE DRAWINGS AND SPECIFICATIONS. THE CONTRACTOR SHALL SATISFY HIMSELF AS TO THE NATURE AND LOCATION OF THE WORK, CONDITIONS, THE CONFORMATION AND CONDITION OF THE EXISTING GROUND SURFACE AND THE CHARACTER OF EQUIPMENT AND FACILITIES NEEDED PRIOR TO AND DURING PROSECUTION OF THE WORK. THE CONTRACTOR IS RESPONSIBLE FOR ALL UNUSUAL CONDITIONS ENCOUNTERED ON THE SITE DURING THE COURSE OF CONSTRUCTION EXCEPT THOSE BELOW EXISTING SLABS OR GRADE OF WHICH THE CONTRACTOR MAY NOT HAVE KNOWLEDGE. ALL SUCH EXISTING CONDITIONS SHALL BE INCORPORATED INTO THE CONTRACTOR'S BID PROPOSAL, WHETHER SHOWN ON THE DRAWINGS OR NOT. ANY INACCURACIES OR DISCREPANCIES BETWEEN THE ACTUAL FIELD CONDITIONS AND THE DRAWINGS AND SPECIFICATIONS MUST BE BROUGHT TO THE ATTENTION OF THE OWNER AND DESIGNER IN ORDER TO CLARIFY THE EXACT NATURE OF THE WORK PERFORMED.
- 1.3 CONSTRUCTION DOCUMENTS
- 1.3.1 THESE DRAWINGS ARE INTENDED AS A GUIDE ONLY FOR CONSTRUCTION. DEVIATIONS FROM THE DRAWINGS MUST BE APPROVED BY THE DESIGNER.
- 1.3.2 THE CONTRACTOR IS FULLY RESPONSIBLE FOR OBSERVATION OF CONSTRUCTION AND PROPER EXECUTION OF WORK SHOWN ON THE DRAWINGS, AS WELL AS FOR PERFORMANCE OF WORK ON THIS PROJECT. THE DESIGNER IS NOT RESPONSIBLE FOR METHODS USED, SAFETY ON, IN, OR ABOUT THE JOB SITE, OR FOR TIMELINESS OF PERFORMANCE OF CONSTRUCTION WORK.
- 1.3.3 THE CONTRACTOR IS RESPONSIBLE FOR THE ACCURACY OF ALL MATERIAL TAKE-OFFS FROM THESE DOCUMENTS. HE MUST VERIFY DIMENSIONS OF ALL EXISTING OR BUILT-IN ITEMS.
- 1.3.4 THE DESIGNER IS NOT RESPONSIBLE FOR ANY DEVIATION FROM OR INTERPRETATION OF CONSTRUCTION DOCUMENTS MADE BY THE CONTRACTOR WITHOUT OBTAINING WRITTEN DIRECTION FROM THE DESIGNER FIRST.
- 1.3.5 THESE DRAWINGS ARE NOT APPROVED FOR CONSTRUCTION UNTIL THEY ARE REVIEWED BY A QUALIFIED PLAN CHECK EXAMINER AND STAMPED "APPROVED" BY THE BUILDING DEPARTMENT AND A BUILDING PERMIT IS ISSUED.
- 1.4 THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE BUILDING LINES AND LEVELS. THE CONTRACTOR SHALL CAREFULLY THE LINES AND LEVELS SHOWN ON THE DRAWINGS WITH EXISTING LEVELS FOR LOCATION AND CONSTRUCTION OF THE WORK AND SHALL CALL THE DESIGNER'S ATTENTION TO ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK
- 1.5 ALL TRADES SHALL DO THEIR OWN CUTTING, FITTING, PATCHING, ETC. TO MAKE THE SEVERAL PARTS COME TOGETHER PROPERLY AND FIT IT TO RECEIVE OR BE RECEIVED BY WORK OF OTHER TRADES.
- 1.6 NEW AND REPAIR WORK IN THIS PROJECT WHICH ENCOMPASSES SIMILAR ITEMS IN EXISTING WORK SUCH AS STUCCO, DRYWALL, EAVES AND FASCIA, TRIM, GUTTERS AND DOWNSPOUTS, ELECTRICAL SWITCHING AND RECEPTACLE PLATES, AND OTHER ITEMS, SHALL MATCH EXISTING MATERIAL, INSTALLATION, FINISH, AND COLOR UNLESS OTHERWISE NOTED.
- 1.7 ALL TRADES SHALL, AT ALL TIMES, KEEP THE PREMISES FREE FROM ACCUMULATION OF WASTE MATERIALS OR RUBBISH CAUSED BY THEIR WORK. AT THE COMPLETION OF THE WORK THEY SHALL REMOVE ALL RUBBISH, TOOLS, SCAFFOLDING, AND SURPLUS MATERIAL AND LEAVE THE JOB IN A BROOM CLEAN CONDITION. CONTRACTOR SHALL PERFORM FINAL CLEAN UP.
- 1.8 THE CONTRACTOR SHALL COORDINATE AND SCHEDULE ALL WORK WITH THE APPROVAL OF THE OWNER AND WITH MINIMUM DISRUPTION. THE OWNER SHALL BE CONSULTED BEFORE ANY BUILDING SERVICES ARE TEMPORARILY CUT OFF. TEMPORARILY RE-ROUTE ANY UTILITIES REQUIRED BY THE OWNER FOR CONTINUOUS SERVICE.
- 1.9 THE CONTRACTOR SHALL PROVIDE ALL SHORING AND BRACING REQUIRED TO ADEQUATELY PROTECT PERSONS, EXISTING CONSTRUCTION, AND ADJACENT PROPERTY, AND TO ENSURE THE SAFETY OF THE STRUCTURE THROUGHOUT THE CONSTRUCTION PERIOD, INCLUDING ANY SHORING DESIGN DRAWINGS WHICH MAY BE REQUIRED. THE CONTRACTOR SHALL PROVIDE, AT HIS OWN EXPENSE, ERECTION BRACING AND DRAWINGS REQUIRED BY LAW, OSHA, OR FOR GENERAL SAFE CONSTRUCTION PRACTICES.
- 1.10 THE DESIGNER RESERVES THE RIGHT TO HAVE ANY WORK NOT DONE CORRECTLY AS PER DRAWINGS, SPECIFICATIONS, CONTRACT, OR ANY OTHER MEANS OF COMMUNICATION CORRECTED AT NO ADDITIONAL COST TO OWNER.
- 1.11 THE CONTRACTOR SHALL CARRY IN FORCE ALL NEEDED INSURANCE, LICENSES, FEES, PERMITS, TAXES AS REQUIRED BY LAW FOR THE DURATION OF THE PROJECT.

TREE PROTECTION NOTES

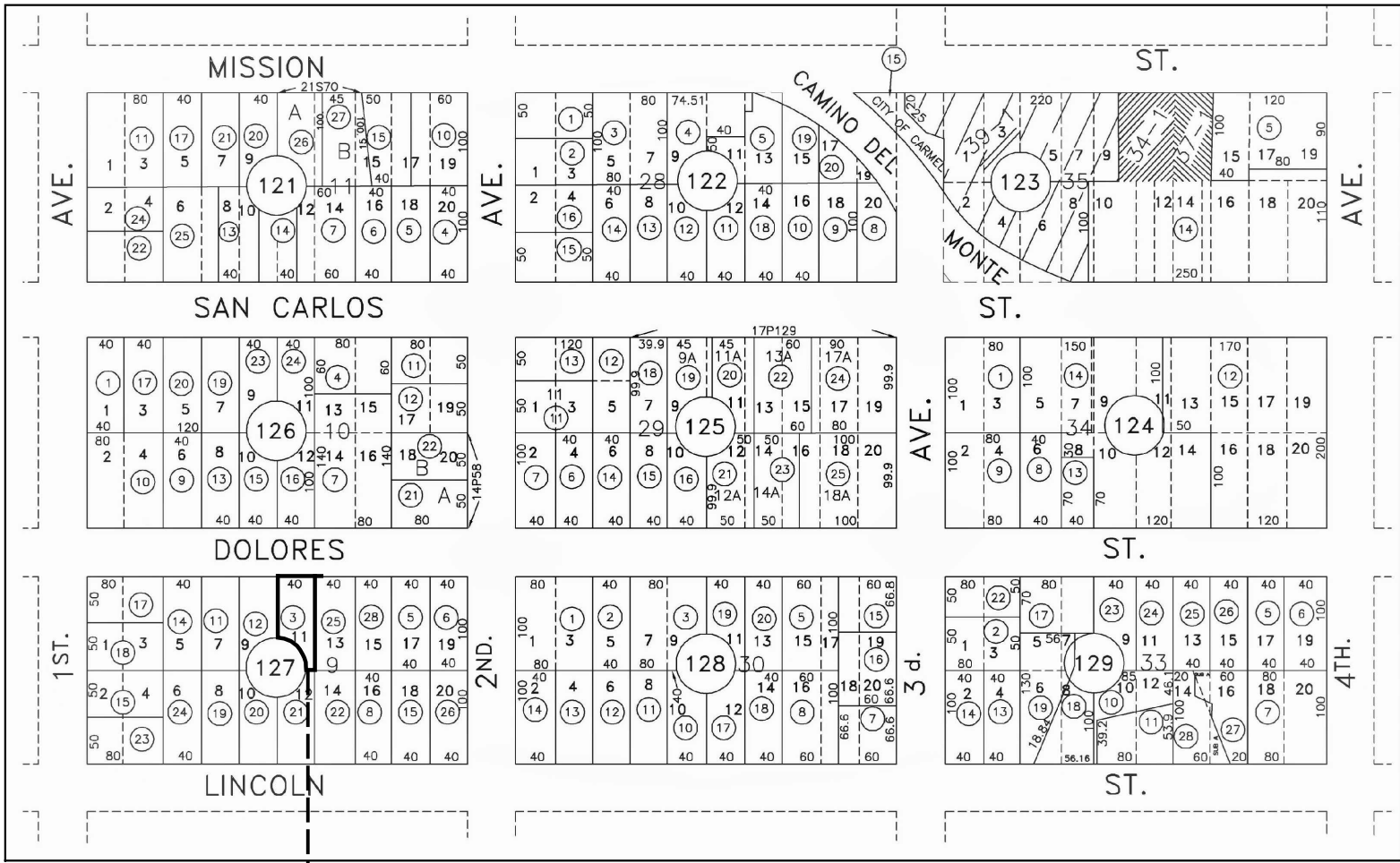
1. ESTABLISHMENT OF A TREE PRESERVATION ZONE (TPZ). CHAIN LINK OR ORANGE NETTING FENCING, WITH STAKES IN THE GROUND, NO LESS THAN 48 INCHES IN HEIGHT, SHALL BE INSTALLED AT THE DRIPLINE (THE PERIMETER OF THE FOLIAR CANOPY) OF THE TREE. THE INSTALLATION WILL BE DONE PRIOR TO ANY CONSTRUCTION ACTIVITIES ON SITE. ONCE IN PLACE, FENCING WILL NOT BE REMOVED WITHOUT THE CONSENT OF THE CONSULTING ARBORIST.
2. NO STORAGE OF CONSTRUCTION EQUIPMENT, MATERIALS, TOOLS, DEBRIS OR EXCESS SOIL WILL BE ALLOWED WITHIN THE TPZ. SOLVENTS OR LIQUIDS OF ANY TYPE SHOULD BE DISPOSED OF PROPERLY, NEVER WITHIN THIS PROTECTED AREA.
3. SOIL COMPACTION SHALL BE MINIMIZED WITHIN THE TPZ. SOIL SURFACE WITHIN THE TPZ SHALL BE MULCHED WITH A 6" LAYER OF MULCH. TREE CHIPS FROM SITE TREE REMOVAL ARE ACCEPTABLE.
4. NATURAL GRADE AROUND TPZ SHALL BE MAINTAINED. NO ADDITIONAL FILL OR EXCAVATION WILL BE PERMITTED WITHIN AREAS OF TREE ROOT DEVELOPMENT. IF TREES ROOTS ARE UNEARTHED DURING THE CONSTRUCTION PROCESS THE CONSULTING ARBORIST WILL BE NOTIFIED IMMEDIATELY. EXPOSED ROOTS WILL BE COVERED WITH MOISTENED BURLAP UNTIL A DETERMINATION IS MADE BY THE ON SITE ARBORIST.
5. ANY AREAS OF PROPOSED TRENCHING WILL BE EVALUATED WITH THE CONSULTING ARBORIST AND THE CONTRACTOR PRIOR TO CONSTRUCTION. ALL TRENCHING IN THE TPZ ON THIS SITE WILL BE APPROVED BY THE ARBORIST. TRENCHING WITHIN A TREE'S DRIPLINE WILL BE PERFORMED BY HAND. TREE ROOTS ENCOUNTERED WILL BE AVOIDED OR PROPERLY PRUNED UNDER GUIDANCE OF THE CONSULTING ARBORIST.

DECONSTRUCTION NOTES

1. PRIOR TO COMMENCING DECONSTRUCTION OR DEMOLITION CONTRACTOR SHALL REMOVE ALL ITEMS SUITABLE FOR SALE OR SALVAGE. THESE ITEMS SHALL BE DESIGNATED DURING A COMPREHENSIVE WALK-THROUGH WITH THE PROJECT MANAGER AS OWNER'S REPRESENTATIVE.
2. CONTRACTOR SHALL PROVIDE ADEQUATE TEMPORARY SUPPORT AND SHORING AS REQUIRED AT ALL AREAS WHERE EXISTING FOOTINGS, WALLS BEAMS AND HEADERS ARE DESIGNATED TO BE REMOVED. CONTRACTOR SHALL VERIFY THESE REQUIREMENTS WITH THE PROJECT ENGINEER PRIOR TO COMMENCING WORK.
3. DEMOLITION AND DECONSTRUCTION WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE MONTEREY BAY UNIFIED AIR POLLUTION CONTROL DISTRICT RULE 439.
- a. SUFFICIENTLY WET THE STRUCTURE PRIOR TO DECONSTRUCTION OR DEMOLITION. CONTINUE WETTING DURING THE ACTIVE DECONSTRUCTION OR DEMOLITION AND THE DEBRIS REMOVAL PROCESS.
- b. DEMOLISH THE STRUCTURE INWARD TOWARD THE BUILDING PAD. LAY DOWN ROOF AND WALLS SO THAT THEY FALL INWARD AND NOT AWAY FROM THE BUILDING.
- c. COMMENCEMENT OF DECONSTRUCTION OR DEMOLITION ACTIVITIES SHALL BE PROHIBITED WHEN THE PEAK WIND SPEED EXCEEDS 15 MILES PER HOUR.
4. CONTRACTOR SHALL IMMEDIATELY NOTIFY THE PROJECT STRUCT. ENGINEER OF ANY CONDITION DISCOVERED DURING DEMOLITION OR DECONSTRUCTION WHICH MAY REQUIRE REVISION OF THE PROJECT DRAWINGS AND DETAILS OR WHICH MAY AFFECT PROJECT TIME LINE OR COSTS.

Clausen Residence

Dolores St. 5 NW Second Ave.
Carmel-By-The-Sea, California
Remodel-Addition



Project Site

APPLICABLE CODES FOR THIS PROJECT:

- 2019 California Building Code (CBC)
- 2019 California Residential Code (CRC)
- 2019 California Fire Code (CFC)
- 2019 California Plumbing Code (CPC)
- 2019 California Mechanical Code (CMC)
- 2019 California Electrical Code (CEC)
- 2019 California Energy Code (CEnc)
- 2019 California Green Building Code (CGBC)
- 2019 City of Carmel Municipal Code

DEFERRED SUBMITTALS REQUIRING SEPARATE SUBMITTAL, PERMIT, REVIEW, AND APPROVAL ARE NOTED AT THE COVER SHEET FOR THE FOLLOWING ITEMS:

1. FIRE SPRINKLER SYSTEM MODIFICATION AND FIRE ALARM MODIFICATIONS: DRAWINGS AND CALCULATIONS SHALL BE SUBMITTED TO THE FIRE MARSHAL'S OFFICE FOR REVIEW AND APPROVAL PRIOR INSTALLATION.

DESIGN TEAM ASSOCIATED WITH THIS PROJECT

STRUCTURAL ENGINEER:
Structural-E Incorporated
230 6th Street
Pacific Grove, CA, 93950
Phone: (831) 424-9000

GENERAL CONTRACTOR: T.B.D.

ENERGY COMPLIANCE:

THE CONTRACTOR SHALL CARRY IN FORCE ALL NEEDED INSURANCE, LICENSES, FEES, PERMITS, TAXES AS REQUIRED BY LAW FOR THE DURATION OF THE PROJECT.

PROPOSED PLANS

SHEET G-1.1	TITLE SHEET- SITE PLAN
SHEET C-1.0	TOPOGRAPHIC SURVEY
SHEET C-1.1	PROPOSED SITE PLAN
SHEET C-1.2	PROPOSED SITE DEMOLITION PLAN
SHEET C-1.3	PROPOSED GRADING PLAN
SHEET A-1.0.1	EXISTING FLOOR - ROOF PLAN
SHEET A-1.0.2	VISUAL EXT. BUILDING ASSESSMENT
SHEET A-1.1	PROPOSED MAIN FLOOR PLAN
SHEET A-1.2	PROPOSED DEMOLITION PLAN
SHEET A-1.3	PROPOSED ROOF PLAN - D&W SCHEDULE
SHEET A-2.1	PROPOSED EXTERIOR ELEVATIONS
SHEET A-2.2	PROPOSED EXTERIOR ELEVATIONS

SHEET A-2.3	EXISTING & PROPOSED EXTERIOR ELEVATIONS
SHEET A-3.1	BUILDING SECTIONS

SCOPE OF WORK: Remodel-Addition to a Single Dwelling Unit with a Detached Garage & Workshop.

1) Main Residence - Interior remodel and 430 s.f. addition with a net increase in floor area of 266 s.f.

OWNERS:
Brian and Erin Clausen
1645 Woodland Drive
San Luis Obispo, CA. 93401

SITE INFORMATION:

Dolores St. 5NW Second Ave.
Carmel -By-The- Sea, CA. 93921
A.P.N : 010-127-003-000
Occupancy: R3, U1
Constr. Type: VN
Zoning Designation: Residential - R1
Property Area: 4,000 S.F.

BUILDING DATA:

RESIDENCE	EXISTING	PROPOSED
Main Floor	637 s.f.	675 s.f.
Stairs	38 s.f.	---
Main Floor Addition	---	430 s.f.
Upper Floor	164 s.f.	---
Workshop	104 s.f.	104 s.f. (No change)
Garage	185 s.f.	185 s.f. (No change)
Base Floor Area (1,800)	1,128 s.f.	1,394 s.f.
Building Coverage	964 s.f.	1,394 s.f.

SITE COVERAGE	EXISTING	PROPOSED
Rear Wood Deck	102 s.f.	---
Entry Patio	440 s.f.	486 s.f. Pavers on sand
Access Walk	310 s.f.	310 s.f.
	852 s.f.	796 s.f.

Cut: 8 Cu.Yd. Approx.
Fill: 15 Cu.Yd. Approx.

Trees To Be Removed: 1-Oak 14"Ø
Water company : CALAM
Water Management: MPWMD

Fire Sprinklers: Yes

SITE INFORMATION 2

DATE	REVISION



P.O. Box 2094, Carmel, CA. 93921
Ph. 831. 521. 5924
Email. formastudio@comcast.net

CLAUSEN RESIDENCE
DOLORES ST. 5 NW SECOND AVE
CARMEL-BY-THE-SEA, CALIFORNIA

Job Number	2020-06
Date	09-13-22
Revision	
Drawn By	FDS

Sheet Number

G-1.1

of: Sheets

SHEET INDEX 1

PROJECT INFORMATION

Map Legend:

Basis of Bearings: A line between the southeasterly corner of Lot 11, Block 9 and the southeasterly corner of Lot 11, Block 9 as shown on R1, shown hereon and as found monumented is taken as the basis of bearings for this survey. N00° 00' 00"E 120.00' R1 / N00° 00' 00"E 119.95' M.

Vertical Datum: Assumed.

Site Benchmark: Control Point 1 as shown hereon.

Contour Interval: Contours as shown hereon are interpolated using computer digital terrain modeling software and spot elevations. Ground may be more irregular than contours indicate.

Note: The abbreviation and symbol lists below are comprehensive and not all abbreviations or symbols will appear on the map.

Boundary Legend

A.G.S.- above ground surface
A.S.O. - as shown on
AP - angle point
BC - brass cap or begin curve
BFP - backflow preventer
B.G.S. - below ground surface
BOC - back of curb
COR - corner
CP - control point
CTL - CONTROL
DOC. - document
ENG/ENGR - engineer
FD/FND - found
F.T.C. - from true corner
I.P. - iron pipe
L-T/L&T - lead & tag
LS - land surveyor
M-T - MAG NAIL & tag
MAG - MAG NAIL
MKD - marked
MON - monument
N-T - nail & tag
N.R.F. - no reference found
O.R. - Official Records, Monterey County
O.U. - origin unknown
PER - map or corner record when monument was set
POL - point on line
RCE - registered civil engineer
ROW - right of way
S.F.N.F. - searched for, not found
SPK - spike
STA - station(control point)
TBM - temporary benchmark

Topography Legend

AC - asphalt concrete
AD - area drain
AL - arealight
BLD/BLDG - building
BLDR(S) - boulder(s)
BOC - back of curb
BRK - brick
BTM/BOT - bottom
BW - back of sidewalk
CF - curb face
CHIM - chimney
CL - centerline
GVL - gravel
HC - handicap
HDG - hedge
D - dirt
DG - decomposed granite
DK - deck
DW - driveway
EA - exposed aggregate concrete
ENCL - enclosure
EP - edge of paving
FF - finished floor
FF-THRESH - finished floor threshold
FH - fire hydrant
FL - flow line
FL-NG - flow line natural grade
FNC - fence
FNC-BRD - board fence
FNC-BW - barbed wire fence
FNC-CL - chain-link fence
FNC-GS - grapestake fence
FNC-HW - hogwire fence
FNC-I - iron fence
FNC-LAT - lattice fence
FNC-PR - post & rail fence
FNC-WD - wood fence

FNC-WI - wrought iron fence

FNC-WR - wire fence
FOB - face of building
FOW - face of wall
FS - finished surface
FIG - footing
FW - front of sidewalk
GAR - garage
GB - grade break
GUT - edge of gutter
GUYA - guy anchor
GUYP - guy pole
GVL - gravel
HC - handicap
HDG - hedge
D - dirt
DG - decomposed granite
DK - deck
DW - driveway
EA - exposed aggregate concrete
ENCL - enclosure
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FNC-I - iron fence
FNC-LAT - lattice fence
FNC-PR - post & rail fence
FNC-WD - wood fence

TOP - top of slope

TOE - toe of slope
TW/TOW - top of wall
WALL-AB - Allen Block wall
WALL-CMU - concrete masonry unit wall
WALL-CRML - Carmel stone wall
WALL-DSNM - dry stack stone wall
WALL-RR - rrlie wall
WALL-STC - stucco wall
WLK - sidewalk

Utility Legend

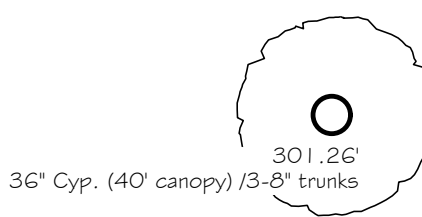
CAIV - cable tv
COMM - communications
CO or C/O - clean out
DDCV - double detector check valve
ELEC - electric
EM - electric meter
EO - electric outlet
GM - gas meter
GV - gas valve
HB - hose bib
ICV - irrigation control valve
IRR - irrigation
JP - joint utility pole
LT - light
LT-STD - light standard/pole
PB - utility pull box
PB-ø - unmarked pull box
PF-PIN FLAG
PF-B - blue pin flag
PF-G - green pin flag
PF-O - orange pin flag
PF-P - pink pin flag
PF-PL - purple pin flag
PF-R - red pin flag
PF-W - white pin flag

PF-Y - yellow pin flag

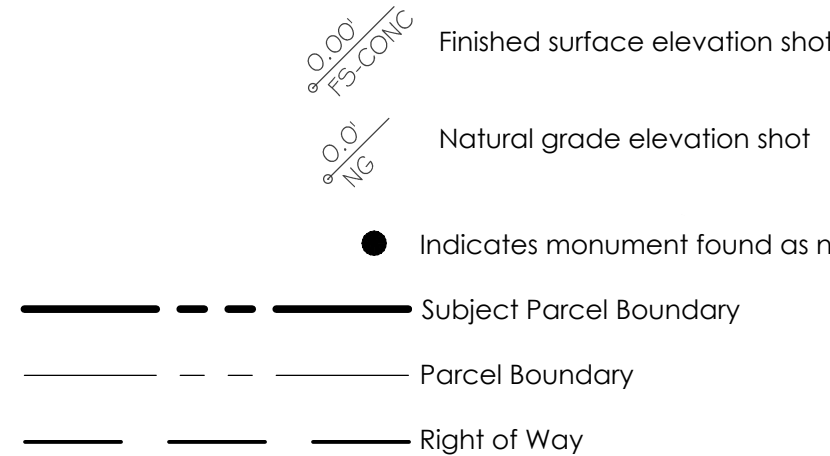
PM - paint mark
PM-B - blue PM (water)
PM-G - green PM (sewer)
PM-O - orange PM (cable/comm)
PM-P - pink PM (unknown facilities)
PM-PL - purple PM (reclaimed water/irr)
PM-R - red PM (elec)
PM-W - white paint mark
PM-Y - yellow PM (gas)
PP - power pole
PVR - paver
SCO - sewer clean out
SDMH - storm drain manhole
SSMH - sanitary sewer manhole
ST LT - street light
STN - stone
TELECO - telephone
TG - top of drain grate
UP - utility pole
UTIL - utility
VLT - vault
VLT-GTE - GTE vault
VLT-PB - PacBell vault
VLT-PGE - PG&E vault
VLT-TELCOM - telecommunications vault
VLT-ø - unmarked vault
VLT-VRZ - Verizon vault
WD-wood
WL - water line
WM - water meter
WV - water valve

Record Map References:

R1: Map of Addition No. 4 filed in Volume 1 of Cities & Towns at Page 46½, in the Monterey County Recorder's Office, State of California.



Typical tree notation. Indicates an elevation of 301.26' at the trunk of a cypress tree with a 36" trunk diameter (inner circle) and a 40' diameter canopy (outer free symbol). Multi-trunk trees denoted with an overall trunk diameter with clarifying notes following / symbol.



Surveyor's Notes:

This map portrays the site at the time of the survey and does not show soils or geology information, underground conditions, easements, zoning or regulatory information or any other items not specifically requested by the property owner. There may be easements or other rights, recorded or unrecorded, affecting the subject property which are not shown hereon.

Underground utilities, if any, were not located. Information regarding underground utility locations should be obtained from the appropriate utility companies or public agencies.

Elevations are based on an arbitrarily assumed datum as noted. Ground may be more irregular than contours indicate.

Distances are expressed in feet and decimals thereof.

The cross symbol (x) marks the horizontal position of the spot elevation shown. Tree symbols are drawn to scale only approximately.

Sufficient boundary ties were made to graphically show existing features however a complete boundary survey was not performed.

DOLORES STREET
a 50' wide city street

- catch basin-drain
- control point
- electric meter or pull box
- fire hydrant
- gas meter or pull box
- gas valve
- guy anchor
- irrigation pull box
- irrigation control valve
- light standard
- manhole
- point on line
- sewer clean out
- sign(pole)
- storm drain manhole
- sewer manhole
- telephone manhole
- telephone pull box
- traffic signal box
- cable television pull box
- unmarked pull box
- utility pole
- water meter
- water valve
- well

1" = 5'

Topographic Survey

5 NW 2nd, APN: 010-127-003
Located in Carmel-by-the-Sea, Monterey County, State of California

Prepared For & Requested By: Brian and Erin Clausen

March 2020

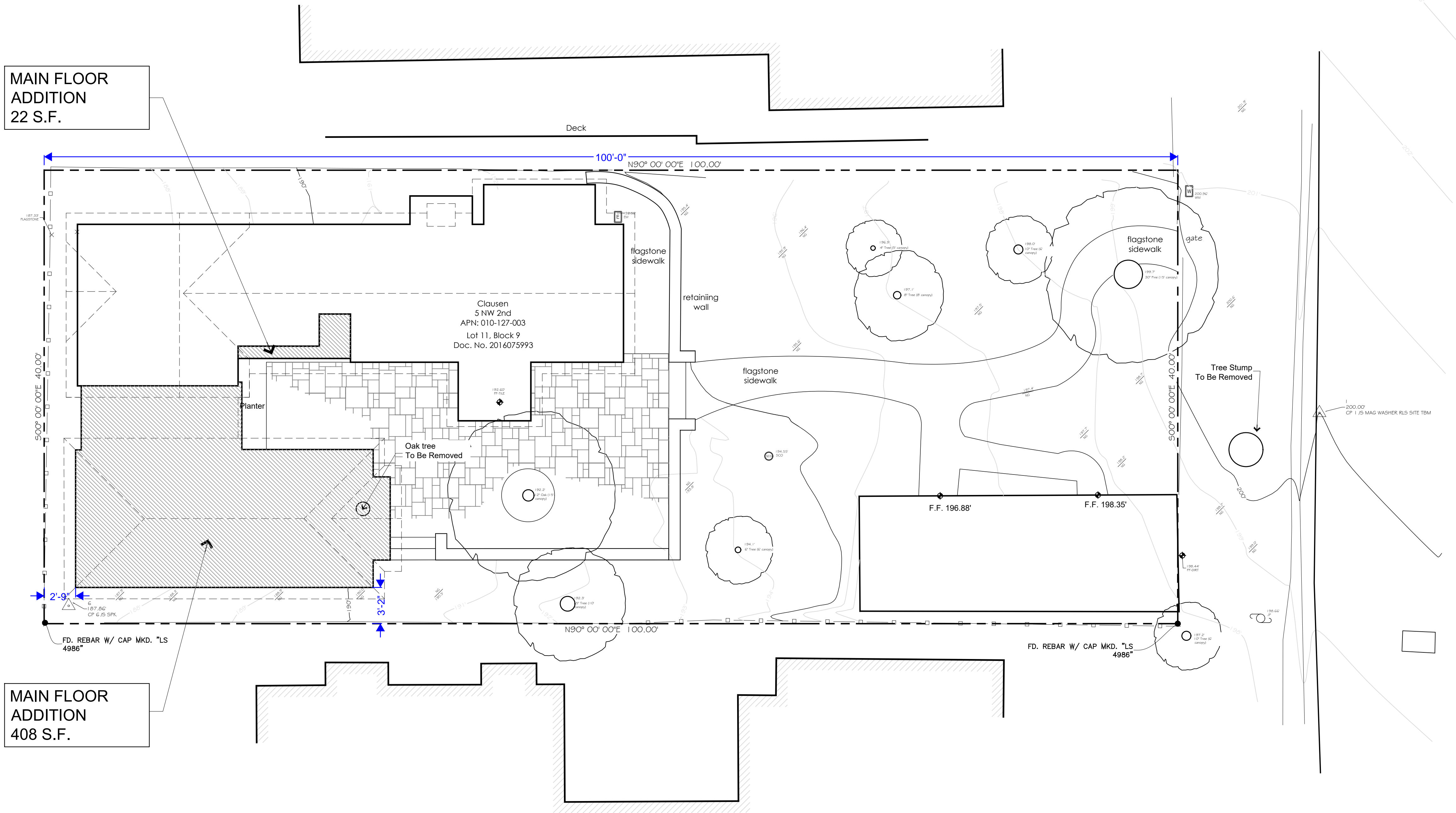
Rasmussen Land Surveying, Inc.
2150 Garden Road, Suite A-3, Monterey, California 93942
P: 831.375.7240 F: 831.375.2545

RLS W.O. # 2020-022

Sheet 1 of 1

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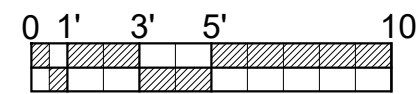
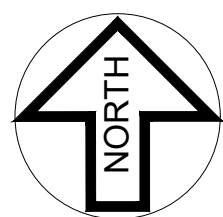
P.O. Box 2094, Carmel, CA 93921
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CLAUSEN RESIDENCE

DOLORES ST. 5 NW SECOND AVE
CARMEL-BY-THE-SEA, CALIFORNIA

Job Number	2020-06
Date	09-13-22
Revision	
Drawn By	FDS

Sheet Number	C-1.1
of:	Sheets
PROPOSED SITE PLAN	

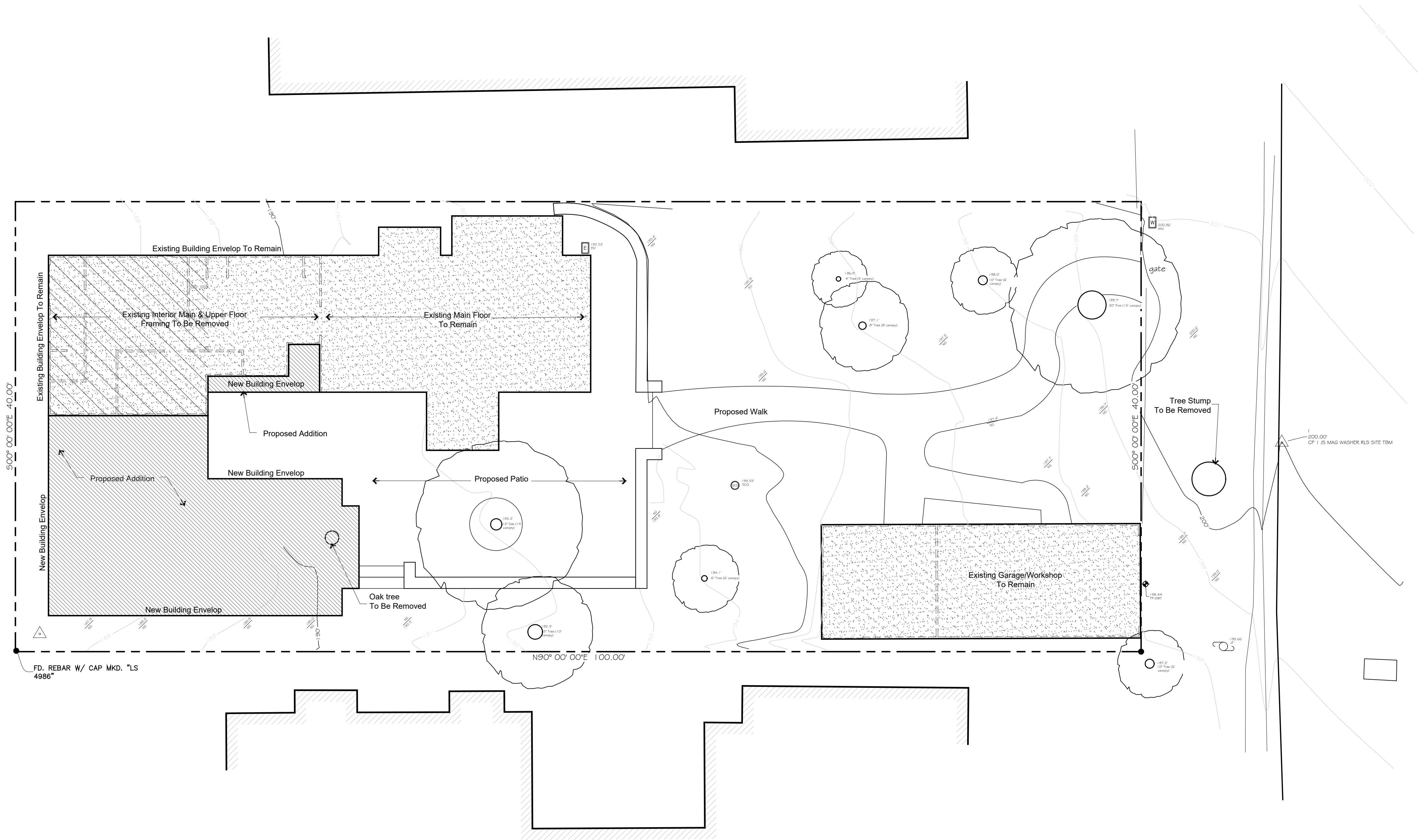


Scale	1
3/16"=1'-0"	

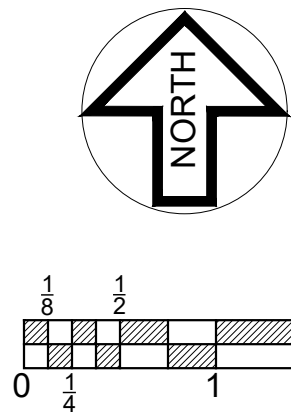
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- INDICATES (E) STRUCTURE TO REMAIN
- INDICATES (E) UPPER FLOOR AREA
- INDICATES NEW STRUCTURE ADDITION



PROPOSED DEMOLITION PLAN

Scale
1/8"=1'-0" 1

DATE	REVISION



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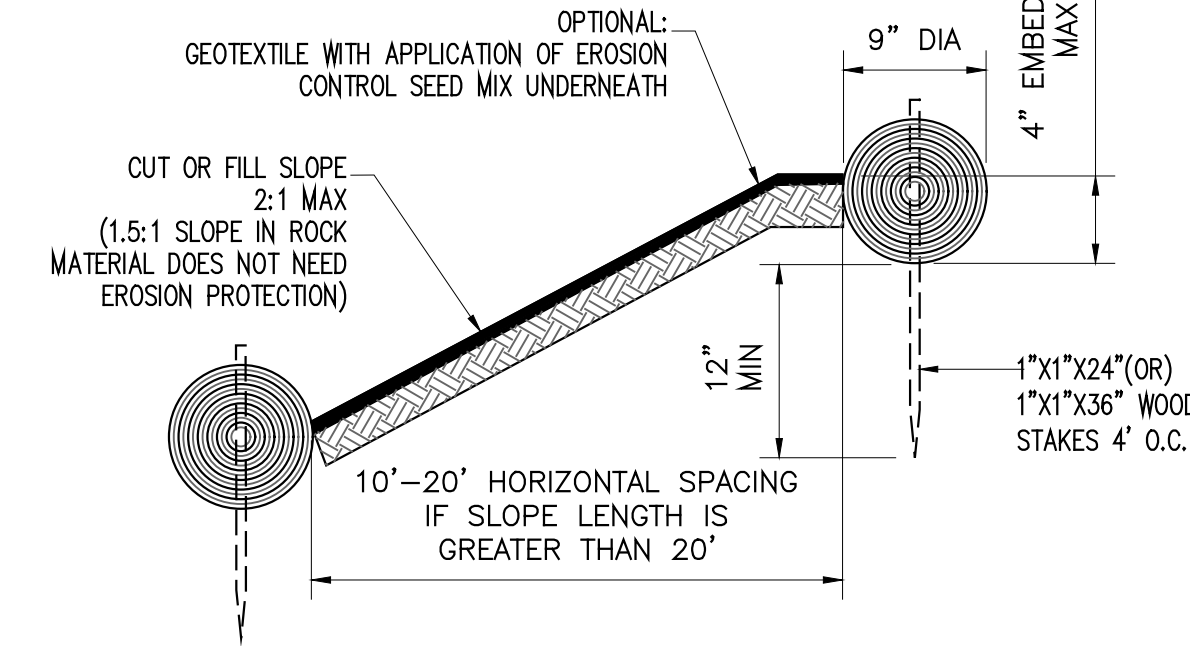
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Job Number	2020-06
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SHEET DEMOLITION PLAN	

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SUGGESTED ALTERNATE APPLICATION:
TO BE USED IN SMALL RESIDENTIAL CONSTRUCTION. PLACE FIBER ROLL AROUND LOT AT THE BACK OF SIDEWALK. BE SURE NOT TO PLACE IN PATH OF TRAVEL, AS VEHICLE TRAFFIC WILL COMPRESS THE ROLL DECREASING EFFECTIVENESS

A. FIBER ROLL DETAIL

NOT TO SCALE

FIBER ROLL

TO BE USED ALONG THE FACE OF EXPOSED AND ERODIBLE SLOPES TO SHORTEN SLOPE LENGTH, AT GRADE BREAKS WHERE SLOPES TRANSITION TO A STEEPER SLOPE, IN DRAINAGE SWALES TO SLOW FLOWS, AND ALONG STREAM BANKS TO ASSIST STABILIZATION AND REVEGETATION.

INSTALLATION

1. USE 1"x1"x2' OR 1"x1"x3' WOOD STAKES, DEPENDING ON THE SOIL AND SLOPE CONDITIONS. USE LONGER STAKES IN LOOSE SOIL, SHORTER STAKES IN DENSER SOILS.
2. POSITION FIBER ROLLS END-TO-END, TYING THE BUTTED ENDS TOGETHER WITH STRONG TWINE TO ENSURE A GOOD CONNECTION.
3. PLACE FIBER ROLLS SECURELY IN THE TRENCH SO THAT SILT LADEN RUN-OFF PASSES OVER OR THROUGH, NOT UNDER THE FIBER ROLL.
4. IF SLOPE LENGTH IS MORE THAN 20' HORIZONTALLY, SPACE FIBER ROLLS 10-20' FEET APART DOWN THE SLOPE.
5. OPTIONAL: GEOTEXTILE SHOULD BE USED ON SLOPES IN CONJUNCTION WITH FIBER ROLLS TO ENSURE PROPER FILTRATION.

IT IS CRITICAL THAT ROLLS/WATTLES ARE INSTALLED PERPENDICULAR TO WATER MOVEMENT, AND PARALLEL TO SLOPE CONTOURS. DO NOT INSTALL PARALLEL TO THE FLOW PATH. THE ROLLS/WATTLES SHOULD BE SLIGHTLY OVERLAPPED WHEN PLACED IN A ROW.

RUNOFF CONTROL

RUNOFF FROM ACTIVITIES SUBJECT TO A DEVELOPMENT PERMIT SHALL BE PROPERLY CONTROLLED TO PREVENT EROSION.

ON SOILS HAVING HIGH PERMEABILITY (MORE THAN TWO INCHES/HOUR), ALL RUNOFF IN EXCESS OF PREDEVELOPMENT LEVELS SHALL BE RETAINED ON THE SITE. THIS MAY BE ACCOMPLISHED THROUGH THE USE OF INFILTRATION BASINS, PERCOLATION PITS OR TRENCHES, OR OTHER SUITABLE MEANS. THIS REQUIREMENT MAY BE WAIVED WHERE THE DIRECTOR OF BUILDING INSPECTION UPON RECOMMENDATION OF THE HEALTH DEPARTMENT DETERMINES THAT HIGH GROUNDWATER, SLOPE STABILITY PROBLEMS, OR OTHER CONDITIONS, WOULD INHIBIT OR BE AGGRAVATED BY ONSITE RETENTION, OR WHERE RETENTION WILL PROVIDE NO BENEFITS FOR GROUND WATER RECHARGE OR EROSION CONTROL.

WHERE ONSITE PERCOLATION IS NOT FEASIBLE, ALL RUNOFF MUST BE DETAINED OR DISPERSED OVER NON-ERODIBLE VEGETATED SURFACES SO THAT THE RUNOFF RATE DOES NOT EXCEED THE PREDEVELOPMENT LEVEL. ONSITE DETENTION MAY BE REQUIRED WHERE EXCESSIVE RUNOFF WOULD CONTRIBUTE TO DOWNSTREAM FLOODING. ANY POLICES AND REGULATIONS FOR ANY DRAINAGE ZONES WHERE THE PROJECT IS LOCATED WILL ALSO APPLY.

ANY CONCENTRATED RUNOFF WHICH CANNOT BE EFFECTIVELY DETAINED OR DISPERSED WITHOUT CAUSING EROSION, SHALL BE CARRIED IN NON-ERODIBLE CHANNELS OR CONDUITS TO THE NEAREST DRAINAGE COURSE DESIGNATED FOR SUCH PURPOSE OR TO ONSITE PERCOLATION DEVICES. WHERE WATER WILL BE DISCHARGED TO NATURAL GROUND OR CHANNELS, APPROPRIATE ENERGY DISSIPATORS SHALL BE INSTALLED TO PREVENT EROSION AT THE POINT OF DISCHARGE.

RUNOFF FROM DISTURBED AREAS SHALL BE DETAINED OR FILTERED BY BERMS, VEGETATED FILTER STRIPS, CATCH BASINS, OR OTHER MEANS AS NECESSARY TO PREVENT THE ESCAPE OF SEDIMENT FROM THE DISTURBED AREA.

NO EARTH OR ORGANIC MATERIAL SHALL BE DEPOSITED OR PLACED WHERE IT MAY BE DIRECTLY CARRIED INTO A STREAM, MARSH, SLOUGH, LAGOON, OR BODY OF STANDING WATER.

LAND CLEARING

LAND CLEARING SHALL BE KEPT TO A MINIMUM. VEGETATION REMOVAL SHALL BE LIMITED TO THAT AMOUNT NECESSARY FOR BUILDING, ACCESS, AND CONSTRUCTION AS SHOWN ON THE APPROVED EROSION CONTROL PLAN. THE FOLLOWING PROVISIONS SHALL APPLY:

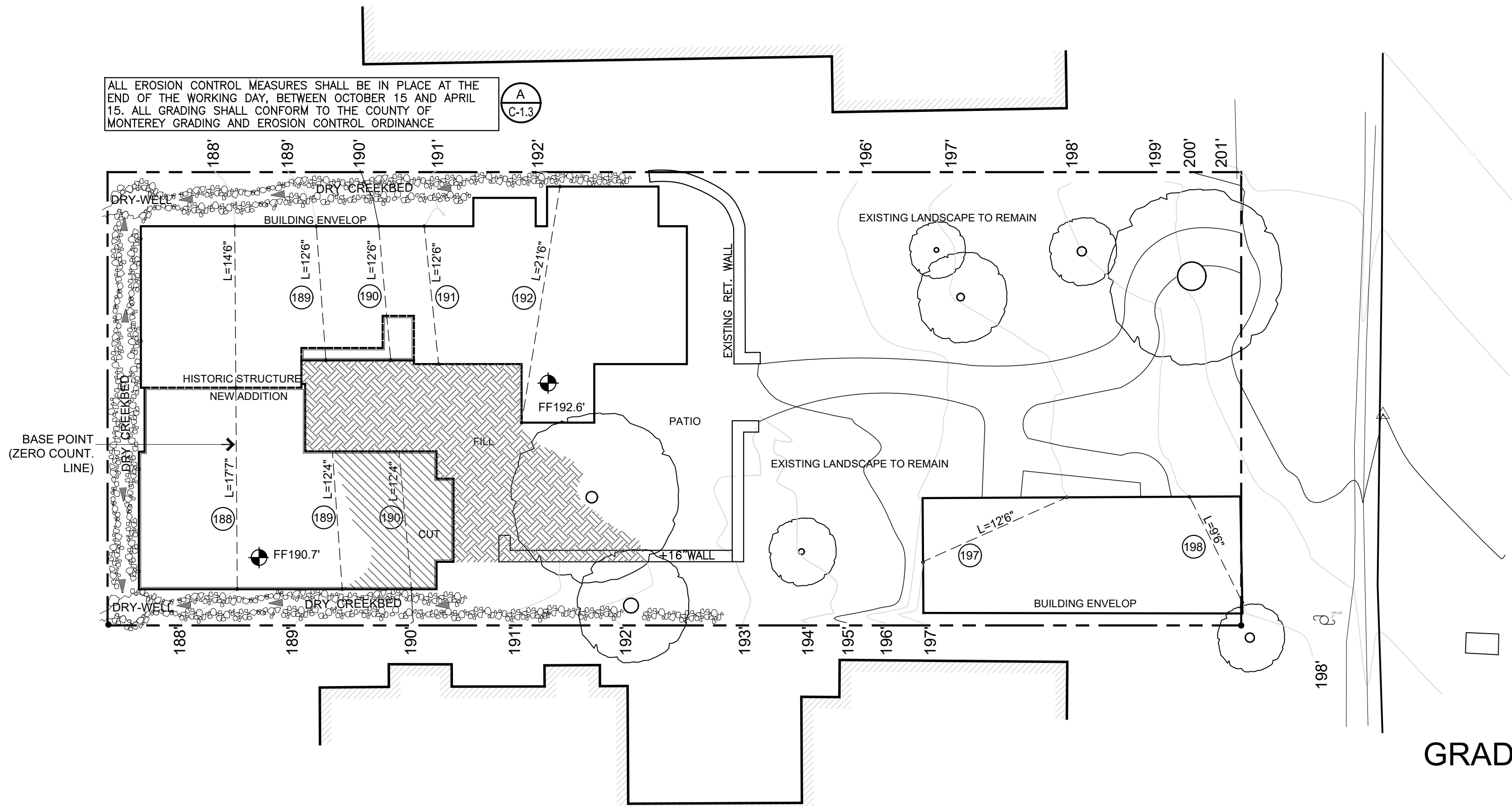
NO LAND CLEARING SHALL TAKE PLACE PRIOR TO APPROVAL OF THE EROSION CONTROL PLAN. VEGETATION REMOVAL BETWEEN OCTOBER 15TH AND APRIL 15TH SHALL NOT PRECEDE SUBSEQUENT GRADING OR CONSTRUCTION ACTIVITIES BY MORE THAN FIFTEEN (15) DAYS. DURING THIS PERIOD, EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE.

ALL DISTURBED SURFACES SHALL BE PREPARED AND MAINTAINED TO CONTROL EROSION AND TO ESTABLISH NATIVE OR NATURALIZED VEGETATIVE GROWTH COMPATIBLE WITH THE AREA. THIS CONTROL SHALL CONSIST OF:
EFFECT TEMPORARY PLANTING SUCH AS RYE GRASS, SOME OTHER FAST-GERMINATING SEED, AND MULCHING WITH STRAW AND/OR OTHER SLOPE STABILIZATION MATERIAL.
PERMANENT PLANTING OF NATIVE OR NATURALIZED DROUGHT RESISTANT SPECIES OF SHRUBS, TREES, OR OTHER VEGETATION, PURSUANT TO THE COUNTY'S LANDSCAPE CRITERIA, WHEN THE PROJECT IS COMPLETED; MULCHING, FERTILIZING, WATERING OR OTHER METHODS MAY BE REQUIRED TO ESTABLISH NEW VEGETATION. ON SLOPES LESS THAN TWENTY (20) PERCENT, TOPSOIL SHOULD BE STOCKPILED AND REAPPLIED.
THE PROTECTION REQUIRED BY THIS SECTION SHALL BE INSTALLED PRIOR TO CALLING FOR FINAL APPROVAL OF THE PROJECT AND AT ALL TIMES BETWEEN OCTOBER 15TH AND APRIL 15TH. SUCH PROTECTION SHALL BE MAINTAINED FOR AT LEAST ONE WINTER UNTIL PERMANENT PROTECTION IS ESTABLISHED.

WINTER OPERATIONS

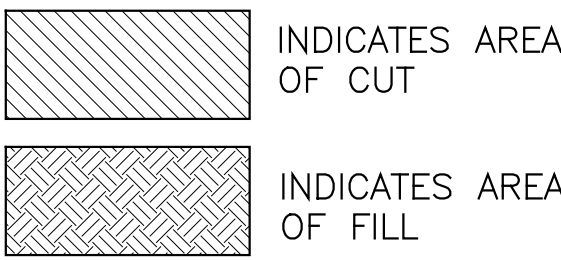
NO LAND CLEARING OPERATIONS GREATER THAN ONE ACRE PER YEAR PER SITE OR GRADING OPERATIONS GREATER THAN ONE HUNDRED (100) CUBIC YARDS MAY TAKE PLACE BETWEEN OCTOBER 15TH AND APRIL 15TH IN WATERSHEDS AND HIGH EROSION HAZARD AREAS, UNLESS AUTHORIZED BY THE DIRECTOR OF BUILDING INSPECTION AND FOUND TO BE CONSISTENT WITH THE PURPOSES OF THIS CHAPTER. WINTER OPERATIONS FOR OTHER PROJECTS MAY BE DISALLOWED IF A HIGH POTENTIAL FOR EROSION EXISTS DUE TO SLOPE, ROCK OR SOIL TYPE, PROXIMITY TO A STREAM OR DRAINAGE COURSE, MAGNITUDE OR DURATION OF DISTURBANCE, OR OTHER CHARACTERISTICS OF THE PROJECT AND THE SITE. WHEN CONSTRUCTION WILL BE DELAYED DUE TO THE LIMITATION ON WINTER OPERATIONS, THE DATE FOR EXPIRATION OF THE PERMIT SHALL BE EXTENDED BY THAT AMOUNT OF TIME THAT WORK IS DELAYED BY THIS CHAPTER.

WHEN WINTER OPERATIONS DO TAKE PLACE, THE FOLLOWING MEASURES MUST BE TAKEN TO PREVENT ACCELERATED EROSION. ADDITIONAL MEASURES MAY BE REQUIRED.
BETWEEN OCTOBER 15TH AND APRIL 15TH, DISTURBED SURFACES NOT INVOLVED IN THE IMMEDIATE OPERATIONS MUST BE PROTECTED BY MULCHING AND/OR OTHER EFFECTIVE MEANS OF SOIL PROTECTION.
ALL ROADS AND DRIVEWAYS SHALL HAVE DRAINAGE FACILITIES SUFFICIENT TO PREVENT EROSION ON OR ADJACENT TO THE ROADWAY OR ON DOWNHILL PROPERTIES. EROSION-PROOF SURFACING MAY BE REQUIRED IN AREAS OF HIGH EROSION HAZARD.
RUNOFF FROM A SITE SHALL BE DETAINED OR FILTERED BY BERMS, VEGETATED FILTER STRIPS, AND/OR CATCH BASINS TO PREVENT THE ESCAPE OF SEDIMENT FROM THE SITE. THESE DRAINAGE CONTROLS MUST BE MAINTAINED BY THE CONTRACTOR AND/OR PROPERTY OWNER AS NECESSARY TO ACHIEVE THEIR PURPOSE THROUGHOUT THE LIFE OF THE PROJECT.
EROSION CONTROL MEASURES SHALL BE IN PLACE AT THE END OF EACH DAYS WORK.
THE DIRECTOR OF BUILDING INSPECTION SHALL STOP OPERATIONS DURING PERIODS OF INCLEMENT WEATHER IF HE OR SHE DETERMINES THAT EROSION PROBLEMS ARE NOT BEING CONTROLLED ADEQUATELY.



Average Grade Calculation				
Base Point	Contour	Length	Sum	Length x Base Elevation
0	188	32.0	32.0	0.0
1	189	25.0	25.0	25.0
2	190	25.0	25.0	50.0
3	191	12.5	12.5	37.5
4	192	21.5	21.5	86.0
5	193			0
6	194			0
7	195			0
8	196			0
9	197	12.5	12.5	113.5
10	198	9.5	9.5	95.0
		138.0		406.0
Elevation above Zero		406.0 / 138.0 = 2.94		+ 188.00
		Average Grade		190.94

Cut: 8 Cu.Yd. Aprox.
Fill: 15 Cu.Yd. Aprox.

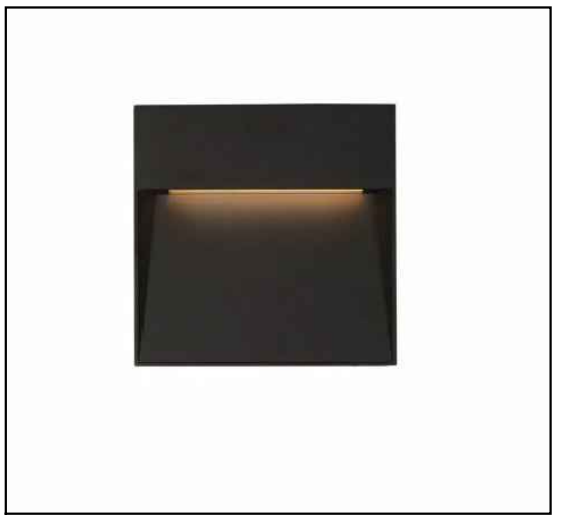


GRADING & DRAINAGE PLAN

Scale	2
1/8"=1'-0"	

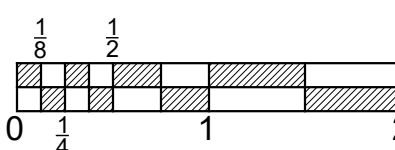
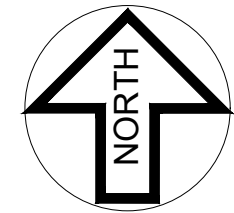
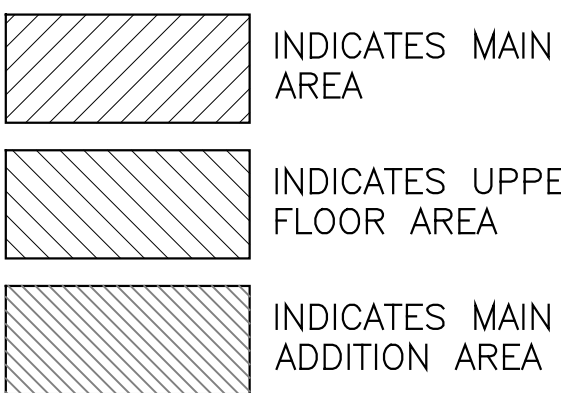


L 01 Modern Forms - Rain 16" High Bronze LED Outdoor Wall Light
One dimmable 8 watt high-powered replaceable LED module: 125 lumen light output, comparable to a 15 watt or Similar



L 02 Kuzco Lighting Casa 12" Wide LED Step Lighting Model:EW71305-BK or Similar

	WALL MOUNTED LIGHT FIXTURE
	TIMED, 6" RECESSED DOWN LIGHT
	SITE LIGHTING, SEE SPECIFICATIONS
	EQUIPMENT-SEE SPECIFICATIONS FOR DETAILS



PROPOSED SITE MAP PLAN

Scale	1
1/8"=1'-0"	

DATE	REVISION



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CLAUSEN RESIDENCE

DOLORES ST. 5 NW SECOND AVE
CARMEL-BY-THE-SEA, CALIFORNIA

Job Number	2020-06
Date	09-13-22
Revision	
Drawn By	FDS

Sheet Number

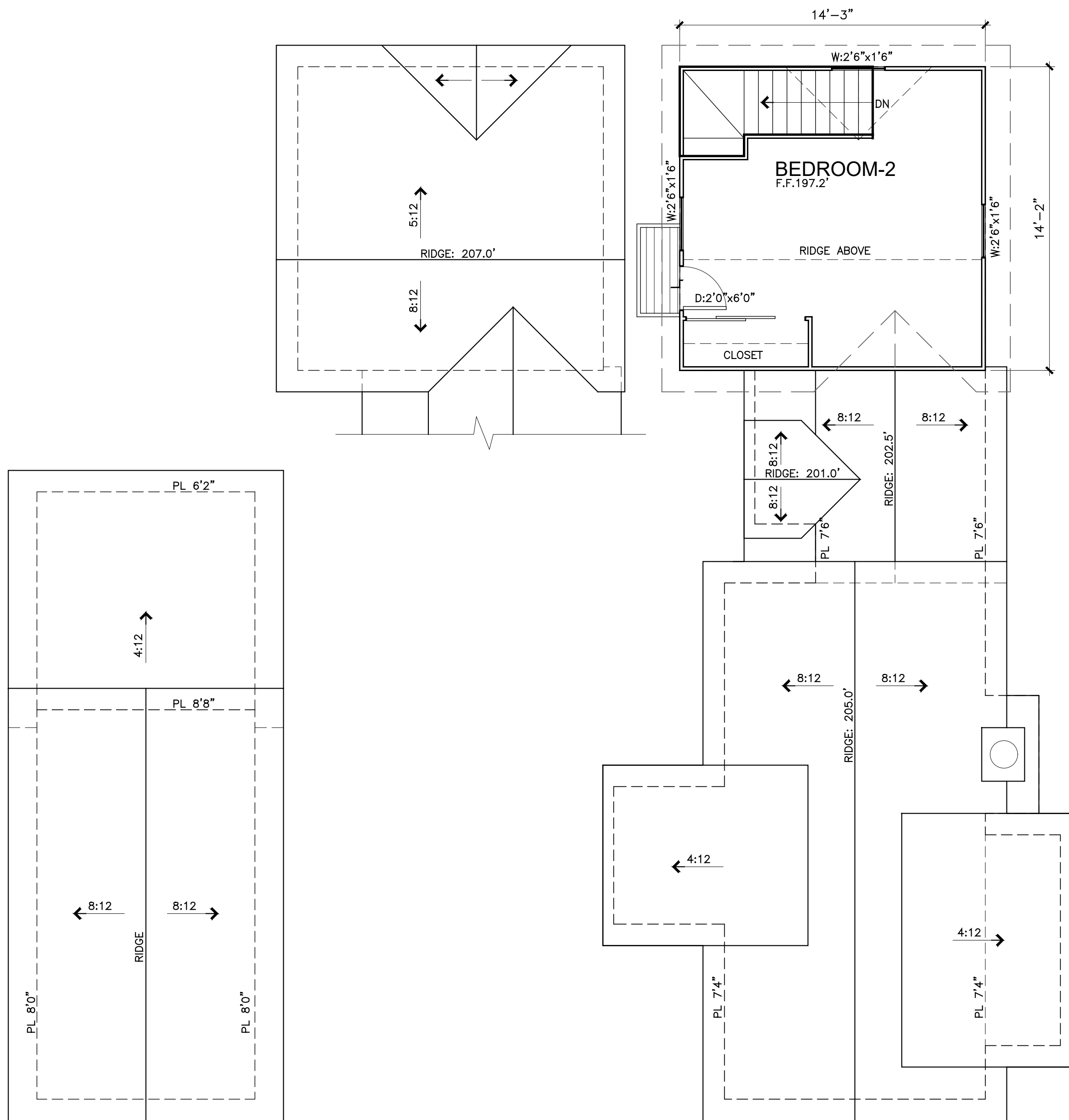
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of: Sheets

SITE MAP & GRADING PLAN

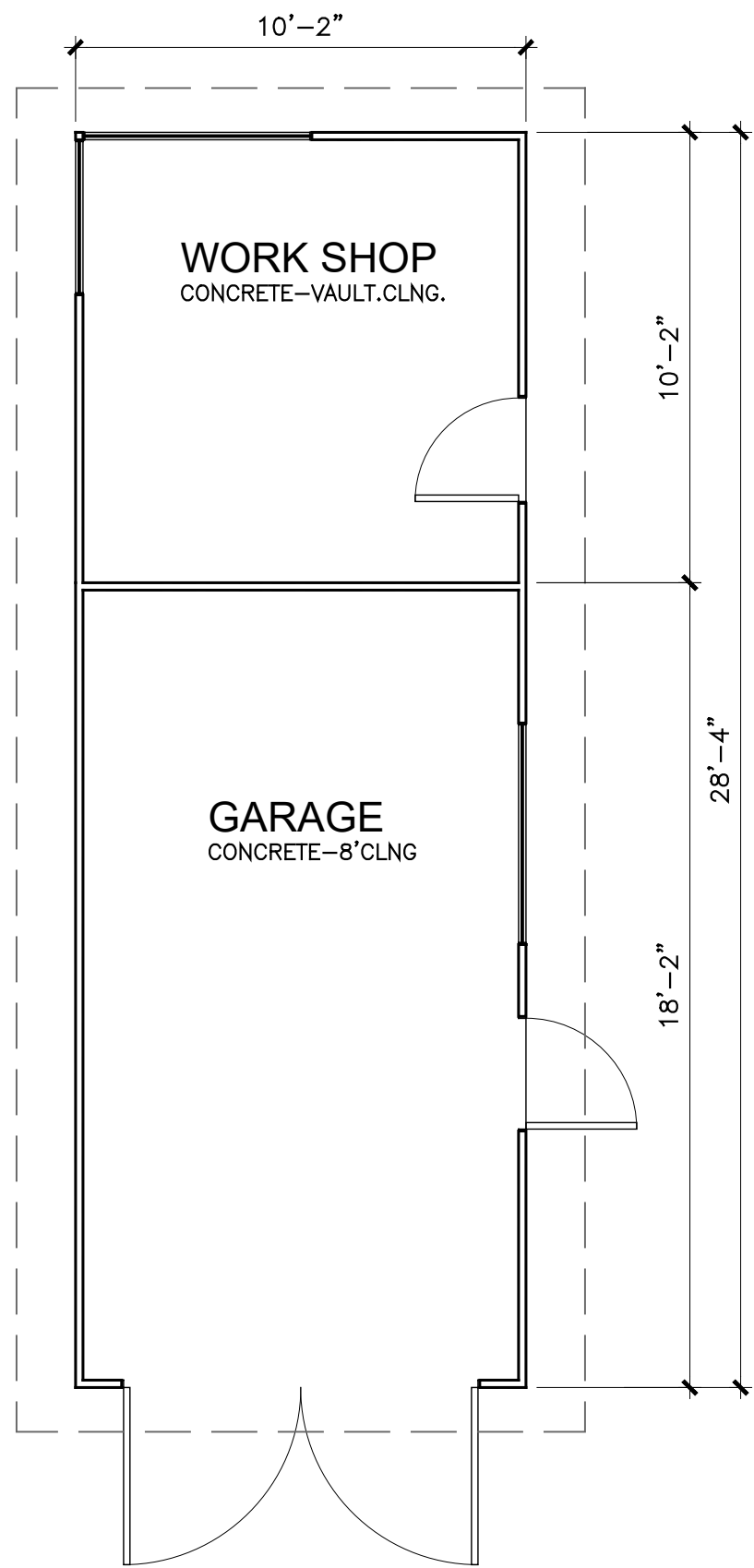
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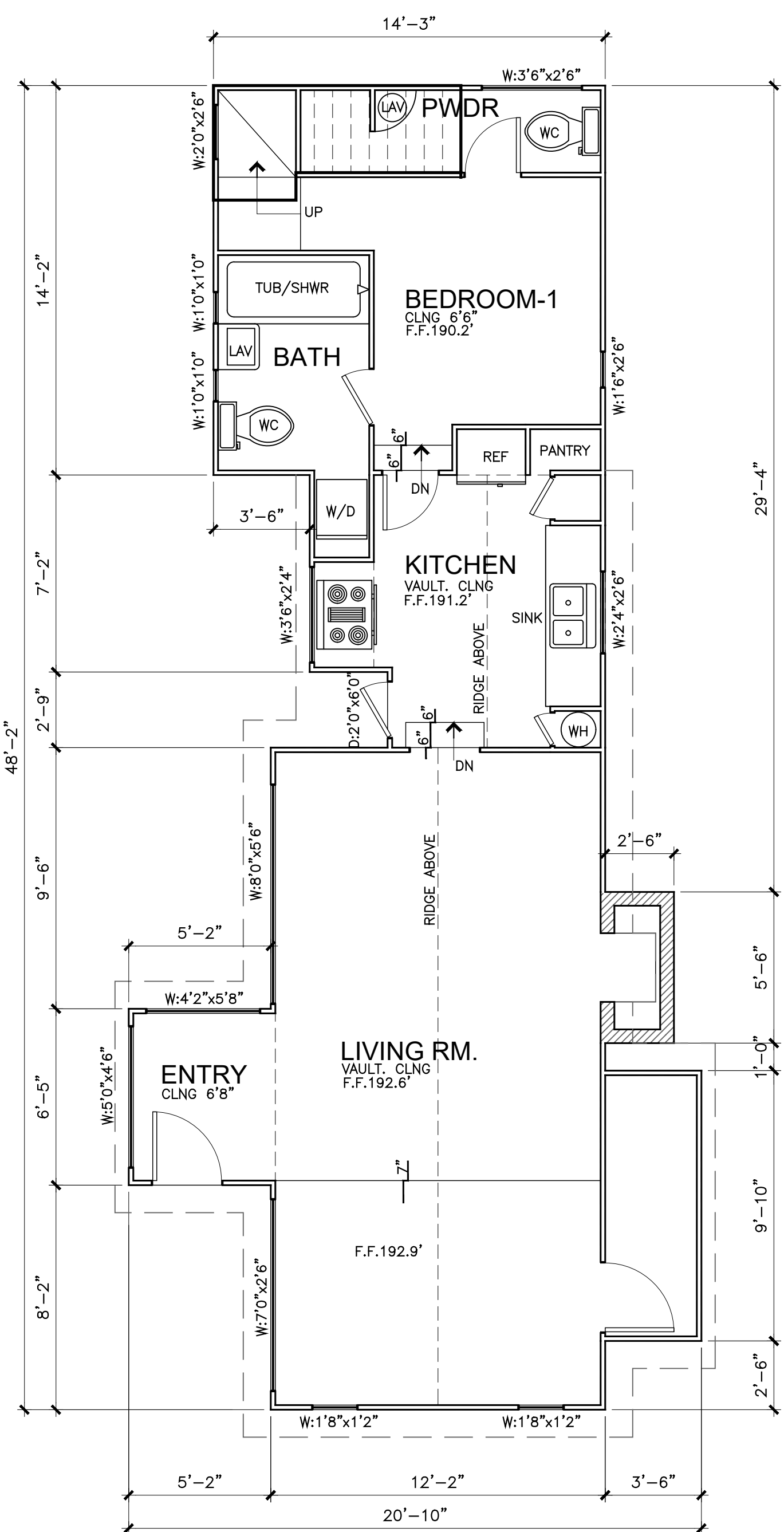


GARAGE ROOF PLAN
(NO CHANGE)

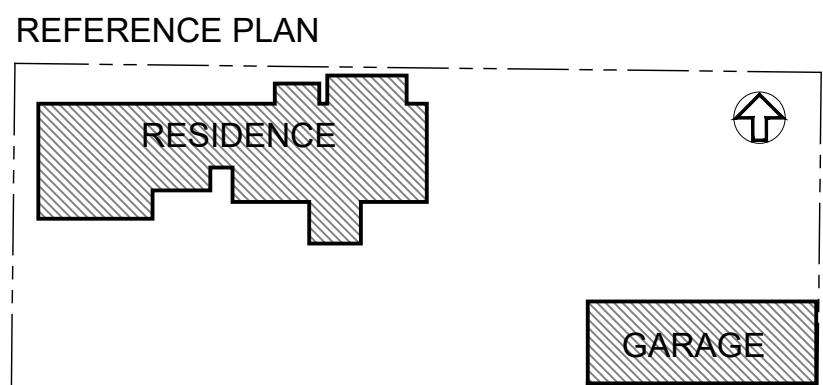
RESIDENCE FLOOR PLAN



GARAGE FLOOR PLAN
(NO CHANGE)

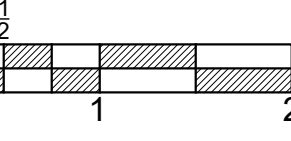


RESIDENCE FLOOR PLAN



- (E) FRAMED WALL
- (E) CONCRETE WALL

EXISTING MAIN FLOOR PLAN



EXISTING UPPER FLOOR / ROOF PLAN

Scale	2
1/4"=1'-0"	

Scale	1
1/4"=1'-0"	

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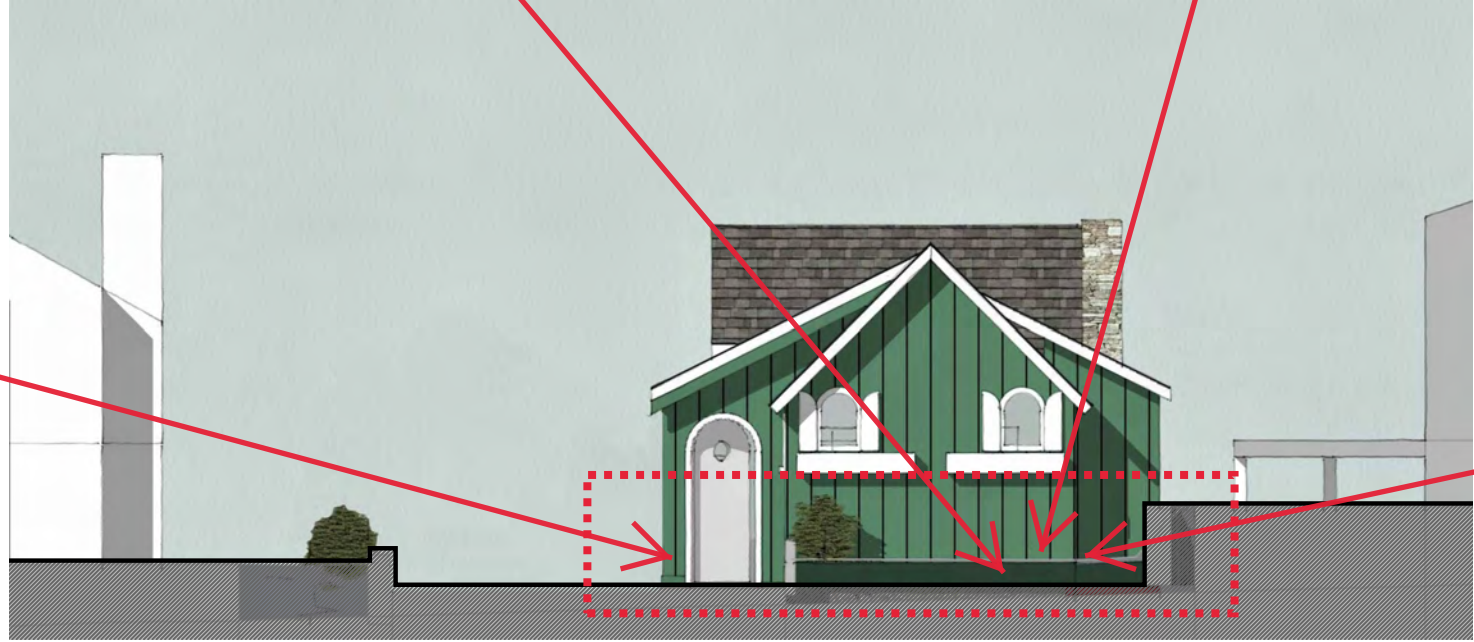
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'AS BUILT' FLOOR PLAN

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EAST ELEVATION

SITE:
The flagstone stone patio surrounding the front portion of the building doesn't slope away from the foundations. Water has entered the building causing wood deterioration. This damp environment is destroying the floor framing and provide conditions for mold growth. water stains were observed in the interior of the living room.

To reduce the amount of "water and moisture intrusion" into the building, the exterior ground levels should be maintained below the bottom of the wood siding, and the top of the concrete foundation. the exterior of the building should be properly sealed and additional sub-floor vents will increase the crawl spaces ventilation and reduce moisture. At ground level, properly installed french drains along eaves will re-direct running water away from foundations.

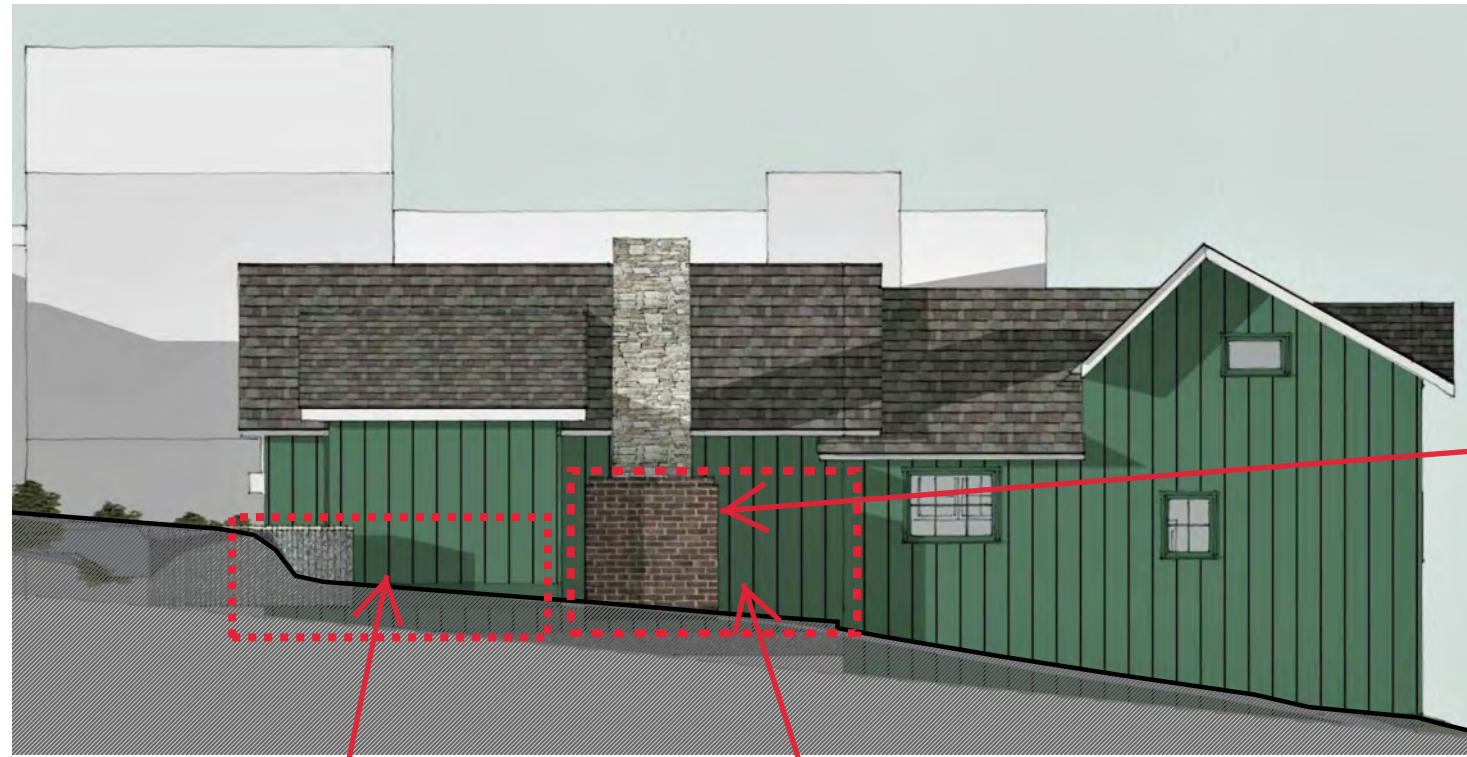


SOUTH ELEVATION



SCOPE OF INSPECTION: The limited, visual inspections, evaluations and reports for this building are intended for the exclusive use of the City of Carmel-by-the Sea / Historic resources Board only. The inspection is NOT an engineering evaluation of the property or structures.

Features of Single-Wall Construction
This type of construction is essentially a shell—just an outer wall around a floor built off the ground. The walls are typically made from thick 1" x 12" redwood planks featuring board and batten to fit them together. The walls are supported by a few 2" x 4" studs at window and door openings. The walls, typically around 8 feet tall, were capped by roofing rafters spaced 2 feet apart, tied together with flat 1" x 8" or 1"x6" decking supporting the asphalt shingles.



NORTH ELEVATION



CHIMNEY:
Not operable condition. Per Engineer's report.

EXTERIOR WALLS:
The structure shows some moderate to serious exterior wall maintenance deficiencies. Paint peeling and rotted wood can be found mostly in the lower portion of the walls due to splashing rain water and moisture absorption from siding in direct contact with the ground.
Rotted boards and trims will require to be replaced "like for like" using the same materials and installation methods.
The vertical joints of the board and batten wall should be completely sealed and caulked, with the caulk being pliable without gaps or voids. A good weather protective paint or varnish finish should be maintained on exterior wood.

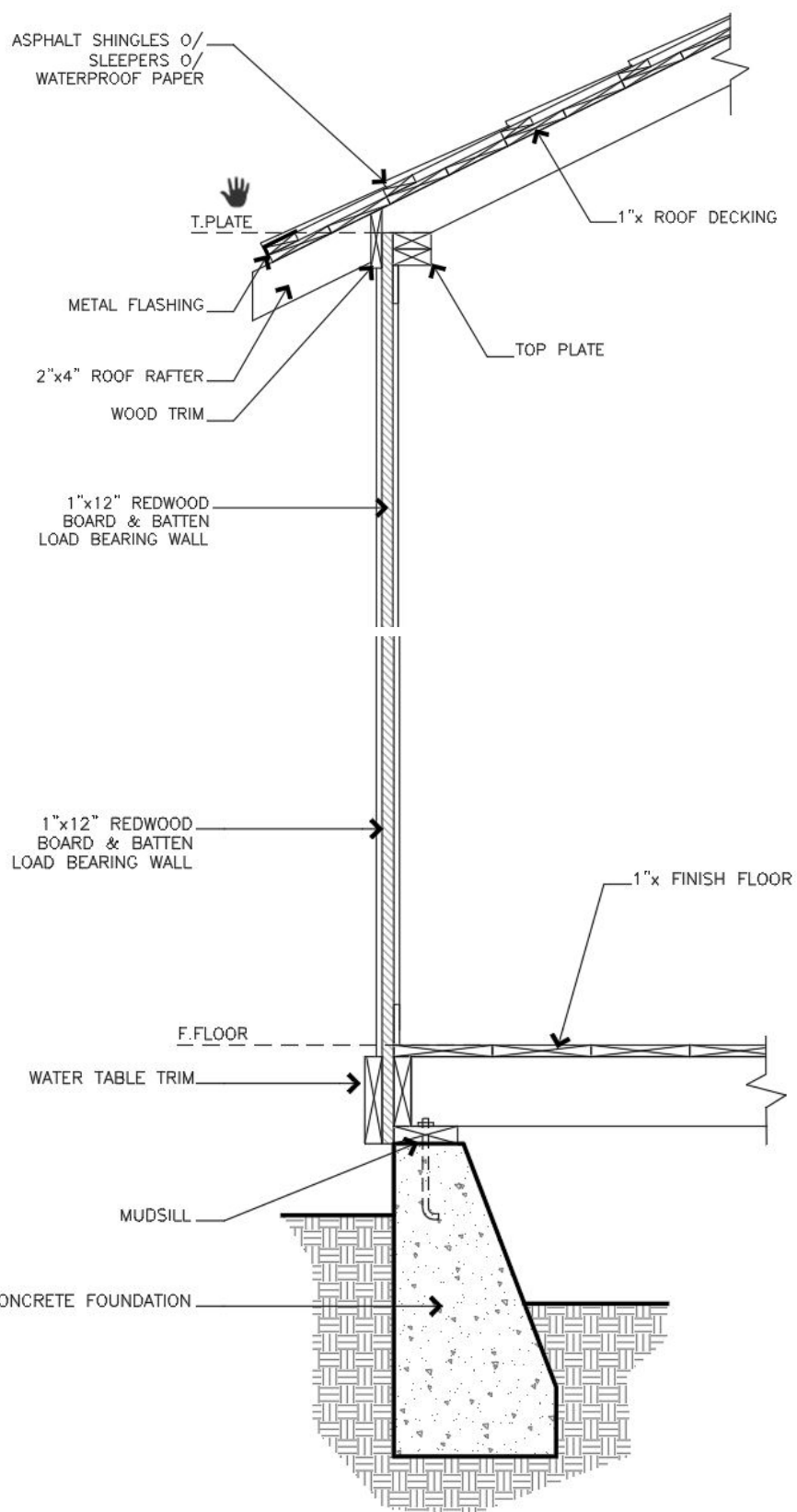
Much of the decorative exterior wood trim is not treated wood, and should be repaired, sealed, caulked, with the caulk being pliable without gaps or voids. If replacement of the trim becomes necessary, paint the backside and ends of the wood before installing.

In addition, it is recommended that the property owner have an independent inspection for wood destroying insects and other organism.

DOORS & WINDOWS:
The wooden entry door was found to operate and serviceable. A new threshold, hardware and weather- stripping should be installed. The exterior door surfaces should be finished and sealed and door components maintained and/or repaired as part of regular maintenance.
Wooden windows with single pane glass have been used in this building and some of the operable windows are painted closed and do not open. Damaged materials should be removed and replaced as part of the window retrofit.

The windows in the main entry and living room area have the most serious moisture damage. Its recommended to replace the rotted window sills, trims or, in some cases, wooden frame including exterior casing. For window rehabilitation, the condition of the sashes is critical to the performance of the window.

If repair/rehabilitation to stop moisture and air infiltration is not possible, a complete window replacement "like for like" may be required.
The gaps and openings around the doors and windows should be completely sealed and caulked.



Existing Single-Wall Construction - Assembly Detail

DATE	REVISION



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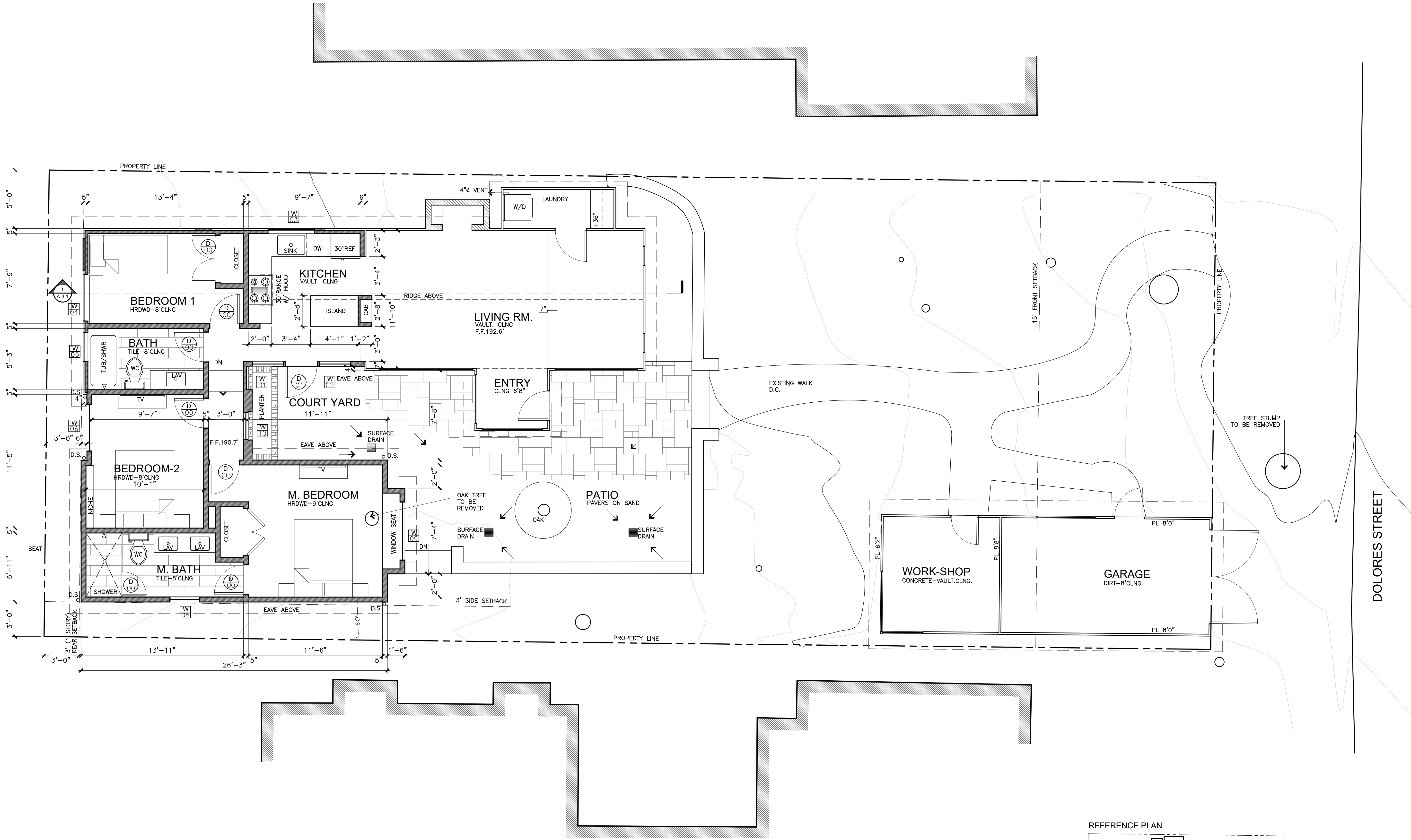
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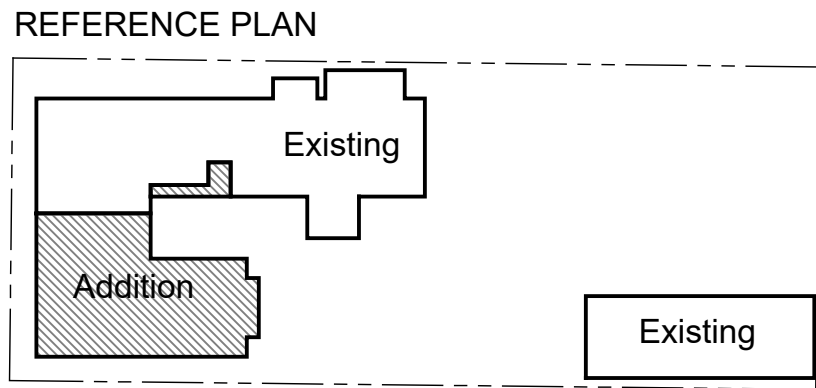
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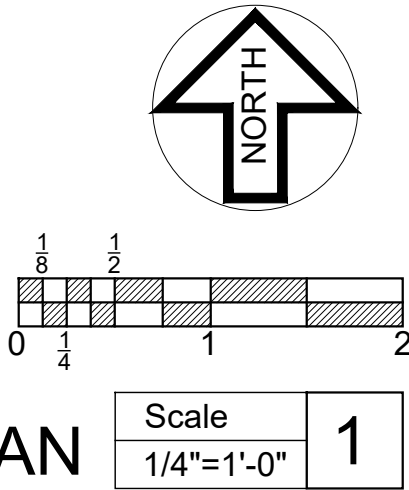


NOTE
CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO BEGINNING WORK. ALL DIMENSIONS SHOWN RELATING TO EXISTING CONSTRUCTION ARE APPROXIMATE. (EXISTING WALLS MAY NOT BE PLUM AND WALLS MAY NOT BE EXACTLY PARALLEL). THE CONTRACTOR SHALL FIELD VERIFY ALL ACTUAL DIMENSIONS AND CONTACT THE OWNER TO ADDRESS ANY DISCREPANCIES. DIMENSIONS ARE NOT ADJUSTABLE WITHOUT APPROVAL OF THE OWNER, UNLESS NOTED +/- OR VIF (VERIFY IN FIELD). EXACT LOCATIONS, DISTANCES, ELEVATIONS AND SIMILAR DATA SHALL BE GOVERNED BY ACTUAL FIELD CONDITIONS AND BY THEIR OWNER INSTRUCTIONS.



- (N) FRAMED WALL
- (E) FRAMED WALL
- (E) CONCRETE WALL

PROPOSED MAIN FLOOR PLAN



DATE	REVISION



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CLAUSEN RESIDENCE

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CARMEL-BY-THE-SEA, CALIFORNIA

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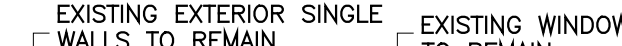
PROPOSED MAIN FLOOR PLAN

DATE	REVISION
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Scale	3
1/4"=1'-0"	

Scale	2
1/4"=1'-0"	







— NO CHANGES TO THIS PORTION OF THE BUILDING

SEE SHEET A-2.3

EXISTING EXTERIOR SINGLE
WALL TO REMAIN W/
INTERIOR FRAMING
REINFORCEMENT

NEW ADDITION
100 G.F.

408 S.F.

 (N) FRAMED WALL
 (E) FRAMED WALL
 (E) CONCRETE WALL
 (E) WALL TO BE REMOVED

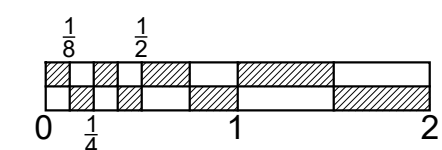
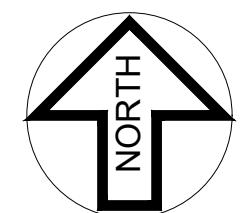
 (N) FRAMED WALL

 (F) FRAMED WALL

 (E) CONCRETE WALL

 (E) CONCRETE WALL

PROPOSED MAIN FLOOR DEMOLITION PLAN



Scale	1
1/4"=1'-0"	

Job Number 2020-06

Date 09-13-22

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Drawn By **EDS**

Sheet Number

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PROP. SEMOLITION PLAN

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DOOR & WINDOW NOTES:

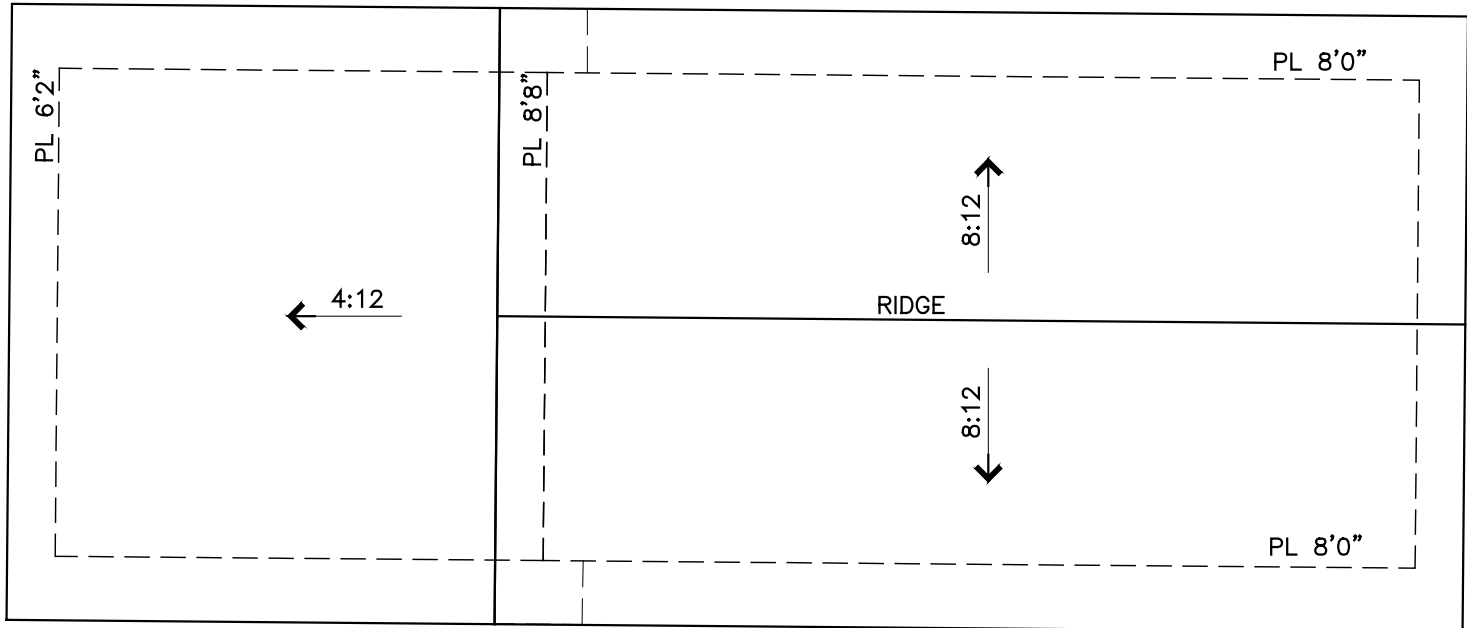
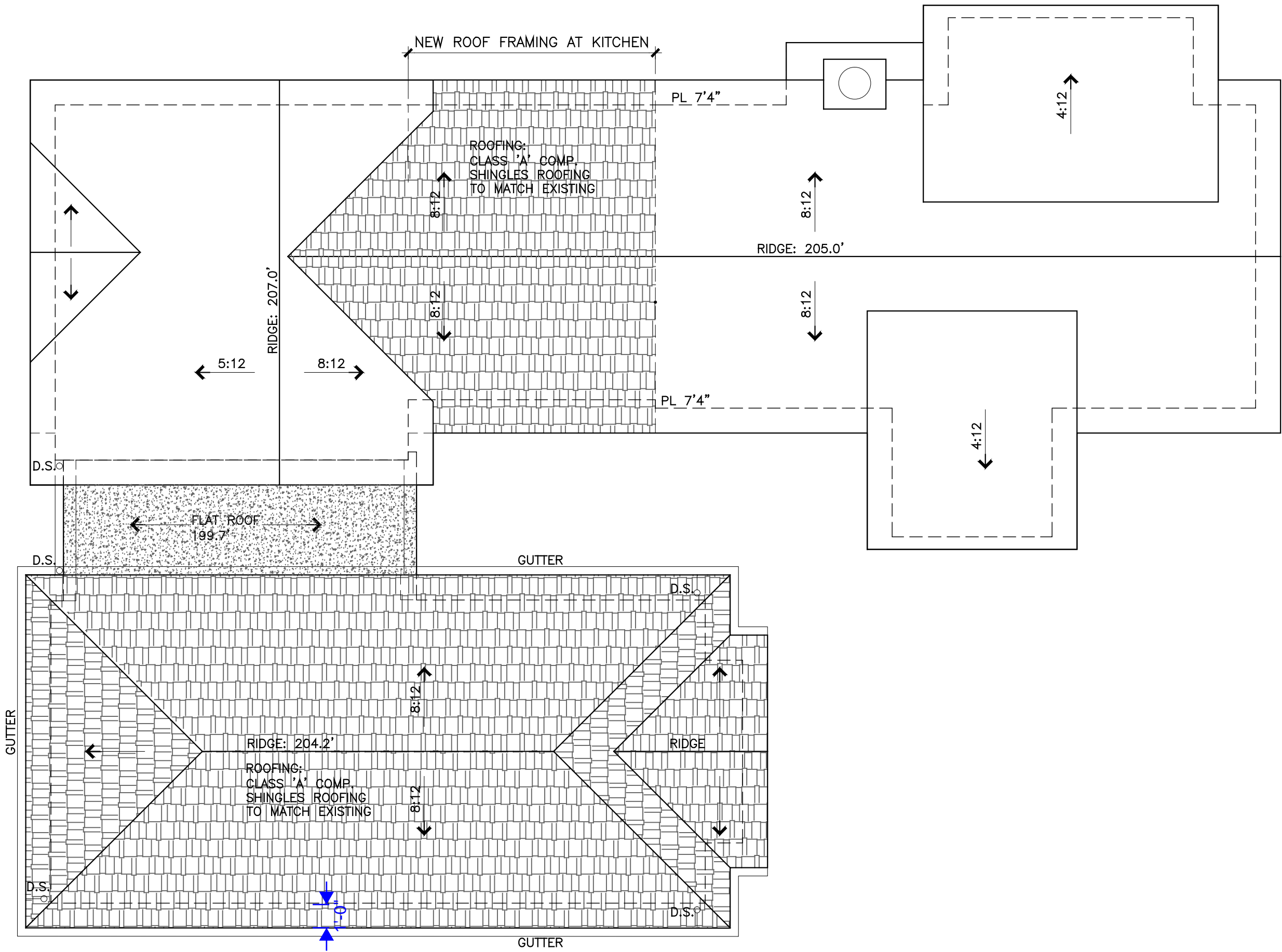
1. ALL WINDOW/DOOR SPECIFICATIONS TO COMPLY WITH CURRENT STATE AND COUNTY BUILDING CODES. REFER TO GENERAL NOTES FOR MORE INFORMATION.
2. DOOR AND WINDOW SIZE: 28-70= 2'-8" x 7'-0"
3. (T) = TEMPERED GLASS
4. GLAZING IN AREAS SUBJECT TO HUMAN IMPACT SHALL BE OF SAFETY GLAZING MATERIALS CONFORMING TO CURRENT BUILDING CODES. SUCH AREAS SHALL INCLUDE BUT ARE NOT LIMITED TO SLIDING GLASS DOORS, TUB & SHOWER ENCLOSURES & STEAM ROOMS. PROVIDE SAFETY GLAZING AT THE FOLLOWING LOCATIONS (U.B.C. 2406.3 AND 2406.4):
a) GLAZING WITHIN A 24" RADIUS OF THE VERTICAL JAMB OF ANY DOOR AND LESS THAN 60" ABOVE THE WALKING SURFACE.
b) GLAZING IN WALLS ENCLOSING A SHOWER OR BATHTUB WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60" ABOVE A STANDING SURFACE AND DRAIN INLET.
c) GLAZING WITH AN AREA MORE THAN 9SQ.FT., LESS THAN 18" ABOVE THE FLOOR AND WITH ONE OR MORE WALKING SURFACES WITHIN 36" HORIZONTALLY OF THE PLANE OF GLAZING.
d) GLAZING IN WALLS ENCLOSING STAIRWAY LANDINGS WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60" ABOVE A WALKING SURFACE.
5. COMBUSTION AIR: VENT OPENINGS WITHIN DOOR SHALL BE WITHIN 12" FROM THE TOP AND 12" FROM THE BOTTOM ENCLOSURE.
6. WINDOWS FOR NATURAL LIGHT & VENTILATION SHALL BE SIZED IN COMPLIANCE WITH CURRENT BUILDING CODE.
7. EMERGENCY ESCAPE OR RESCUE: BASEMENTS, HABITABLE ATTICS AND EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPERABLE EMERGENCY ESCAPE AND RESCUE OPENING. THE OPENING SHALL BE OPERABLE FROM THE INSIDE TO PROVIDE A FULL CLEAR OPENING WITHOUT THE USE OF SEPARATE TOOLS. ALL EGRESS OR RESCUE WINDOWS FOR SLEEPING ROOMS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQUARE FEET, GRADE FLOOR OPENINGS MAY BE 5.0 S.F. THE MINIMUM NET CLEAR OPENING HEIGHT DIMENSION SHALL BE 24". THE MINIMUM NET CLEAR OPENING WIDTH DIMENSION SHALL BE 20". WHERE WINDOWS ARE PROVIDED AS A MEANS OF EGRESS OR RESCUE THEY SHALL HAVE A FINISHED SILL HEIGHT NOT MORE THAN 44" ABOVE THE FLOOR (SEC. R310). ESCAPE AND RESCUE WINDOWS WITH A FINISHED SILL HEIGHT BELOW THE ADJACENT GROUND LEVEL SHALL HAVE A WINDOW WELL IN COMPLIANCE WITH THE FOLLOWING:
8. ALL GLAZING AT CONDITIONED SPACES SHALL BE DUAL-PANE.
9. ALL THRESHOLDS ARE TO COMPLY WITH CRC REQUIREMENTS, W/ MAX. RISE OF 1/2".

WINDOW SCHEDULE
WINDOW MATERIAL : WOOD - WHITE

NUMBER		MAIN FLOOR	SIZE	CONF.	TYPE	GLAZING	REMARKS
W-01	New	KITCHEN	2'4"-4'8"	X	CSMNT	DBL-LE	TEMP. GLASS
W-02	New	KITCHEN	2'4"-4'8"	X	CSMNT	DBL-LE	TEMP. GLASS
W-03	New	KITCHEN	4'0"-3'4"	XX	CSMNT	DBL-LE	TEMP. GLASS
W-04	New	BEDROOM-1	4'0"-4'0"	XX	CSMNT	DBL-LE	EGRESS
W-05	New	BATH	2'6"-2'0"	X	CSMNT	DBL-LE	TEMP. GLASS
W-06	New	BEDROOM-2	4'0"-4'0"	XX	CSMNT	DBL-LE	EGRESS
W-07		OMIT					
W-08	New	MASTER BATH	2'6"-3'8"	X	CSMNT	DBL-LE	TEMP. GLASS
W-09	New	M. BEDROOM	5'0"-5'6"	XX	CSMNT	DBL-LE	EGRESS - T. GLASS
W-10	New	HALLWAY	2'4"-2'8"	X	CSMNT	DBL-LE	TEMP. GLASS

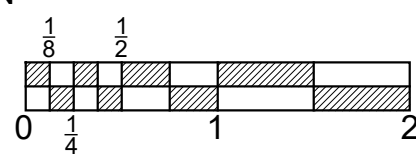
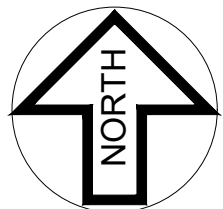
DOOR SCHEDULE
DOOR MATERIAL : WOOD - WHITE

NUMBER		MAIN FLOOR	SIZE	TYPE	HDW.	REMARKS
D-01	New	KITCHEN	2'8"-6'8"			TEMP. GLASS
D-02						
D-03						



ROOF LEGEND

- AREA OF (E) ROOF TO REMAIN
- AREA OF (N) SLOPED ROOF
- AREA OF (N) FLAT ROOF



Scale
1/4"=1'-0"

PROPOSED ROOF PLAN

1

DATE	REVISION



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Job Number	2020-06
Date	09-13-22
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ROOF PLAN - SCHEDULES

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EXTERIOR ELEVATIONS



PROPOSED NORTH ELEVATION

Scale	N
1/4"=1'-0"	



PROPOSED SOUTH ELEVATION

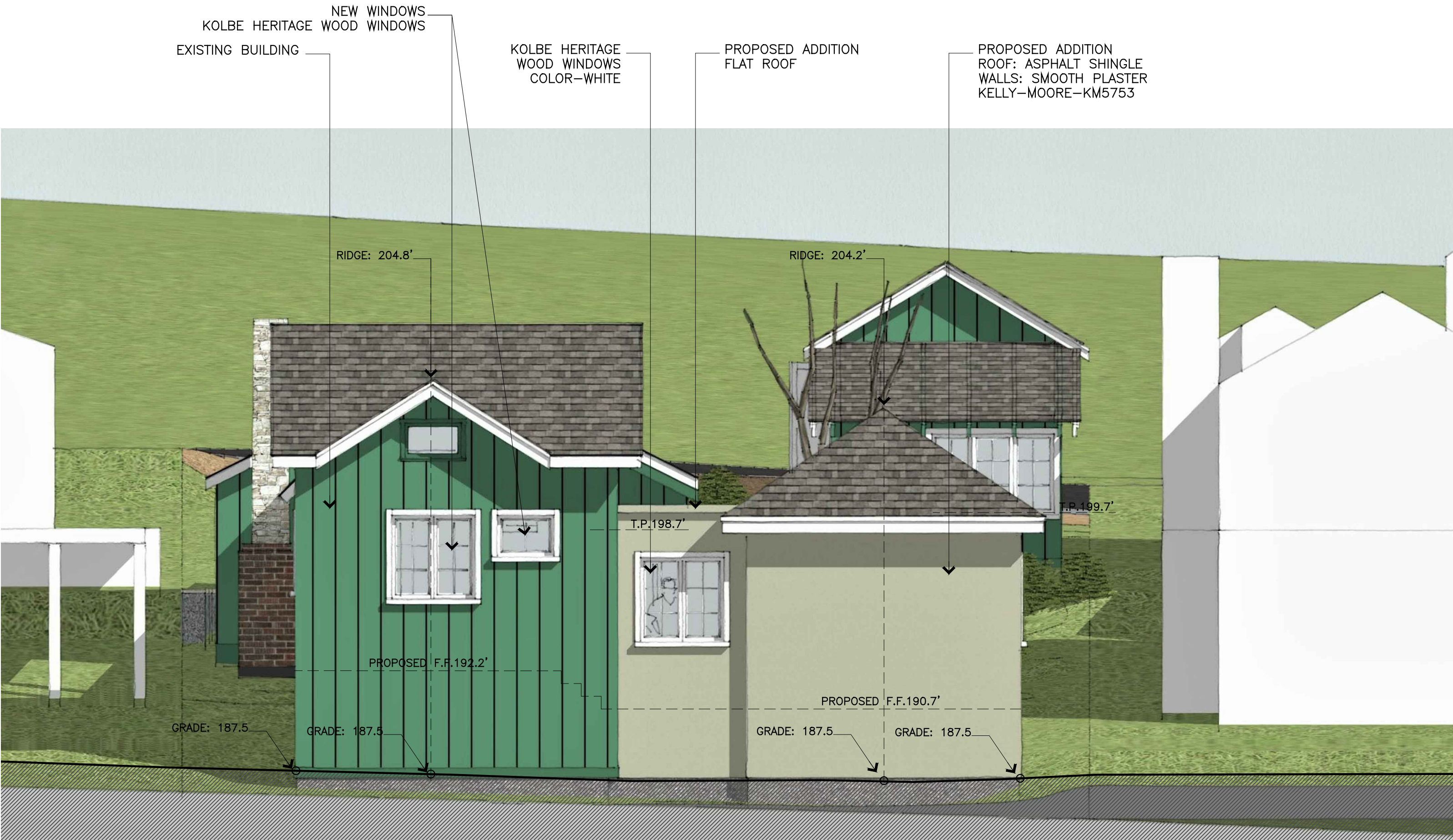
Scale	S
1/4"=1'-0"	

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PROPOSED STREET VIEW



PROPOSED WEST ELEVATION

Scale
1/4"=1'-0"

W



PROPOSED EAST ELEVATION

Scale
1/4"=1'-0"

E

DATE	REVISION



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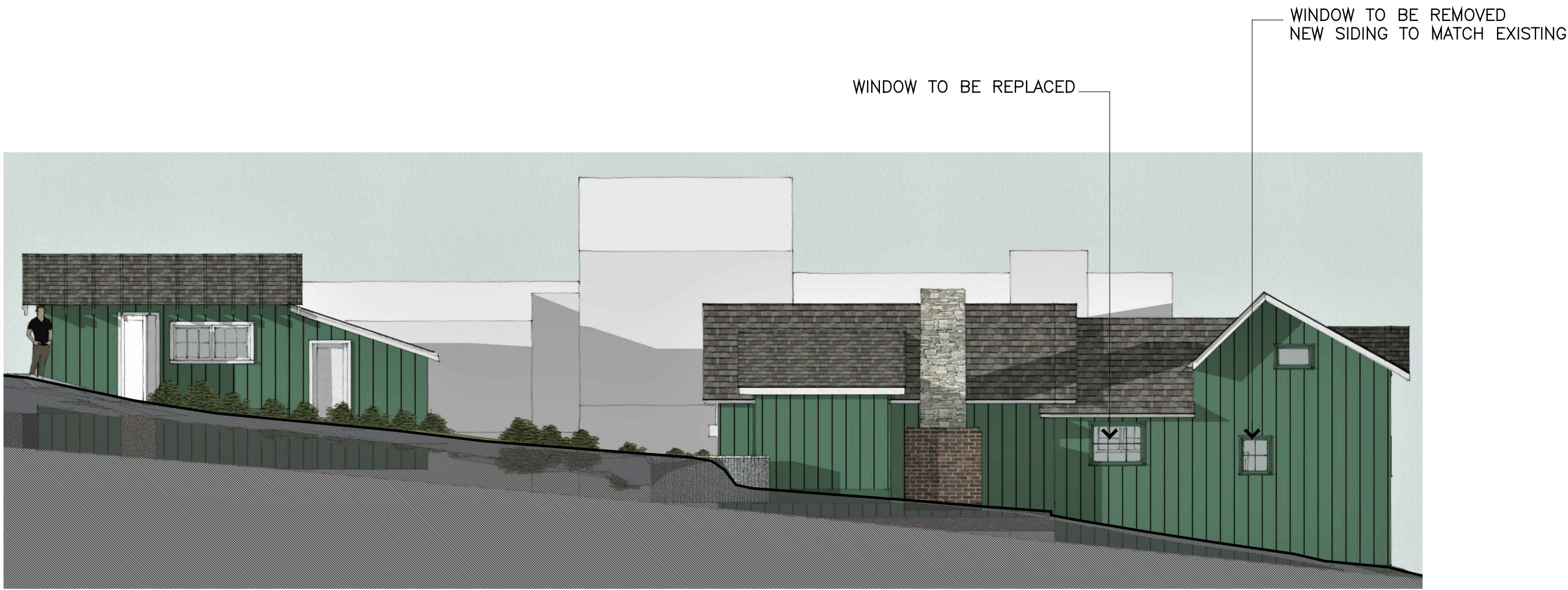
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EXTERIOR ELEVATIONS

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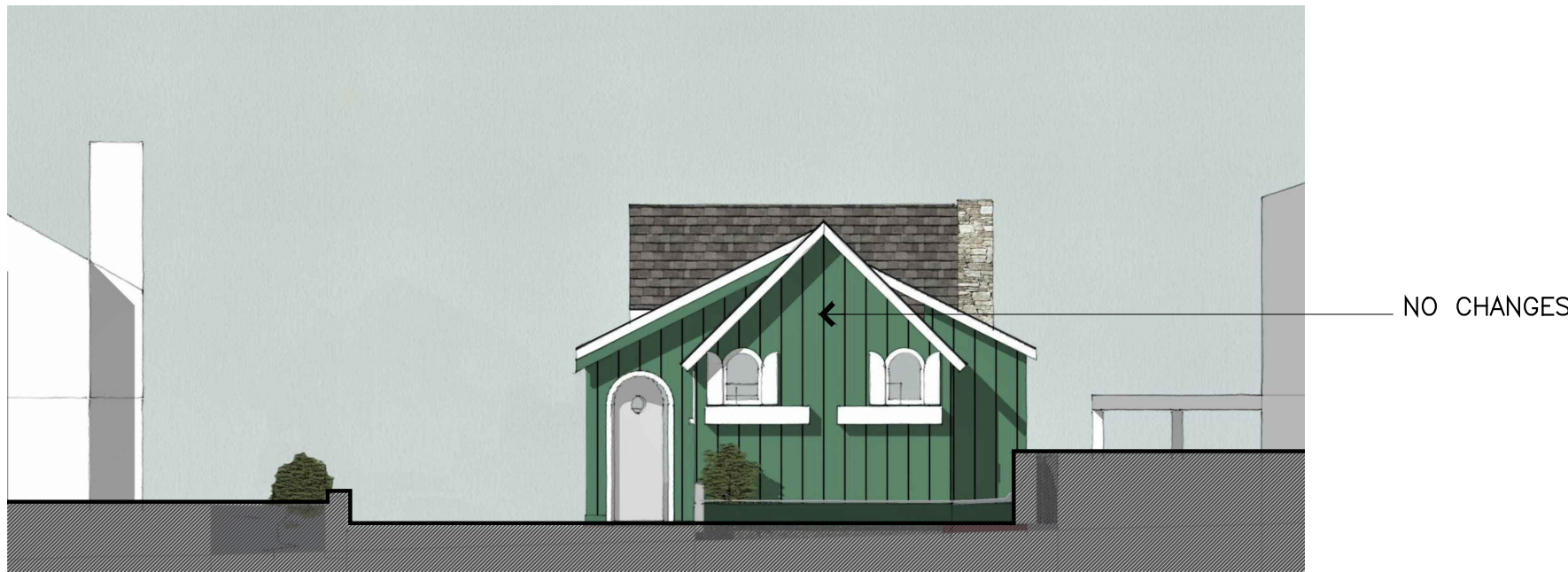


EXISTING NORTH ELEVATION

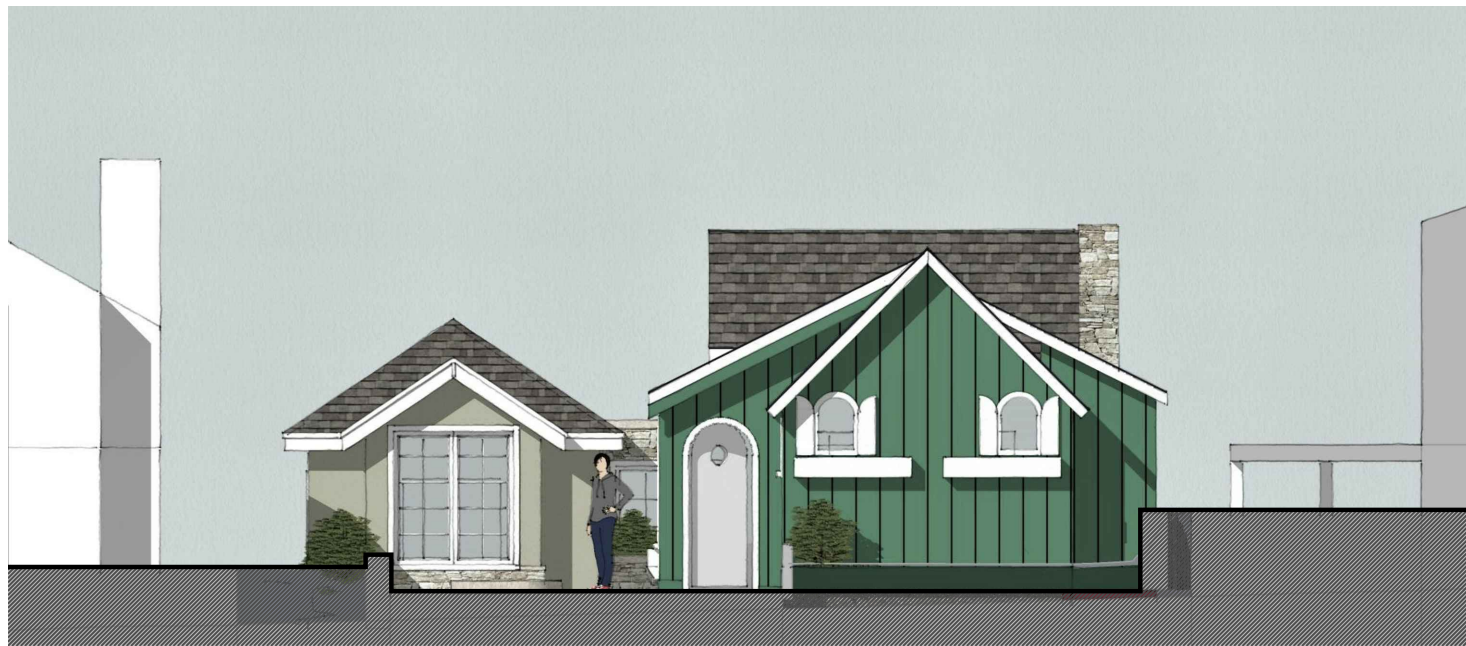


PROPOSED NORTH ELEVATION

Scale
1/8"=1'-0" N



EXISTING EAST ELEVATION



PROPOSED EAST ELEVATION

Scale
1/8"=1'-0" E



EXISTING WEST ELEVATION



PROPOSED WEST ELEVATION

Scale
1/8"=1'-0" W



EXISTING SOUTH ELEVATION



PROPOSED SOUTH ELEVATION

Scale
1/8"=1'-0" S

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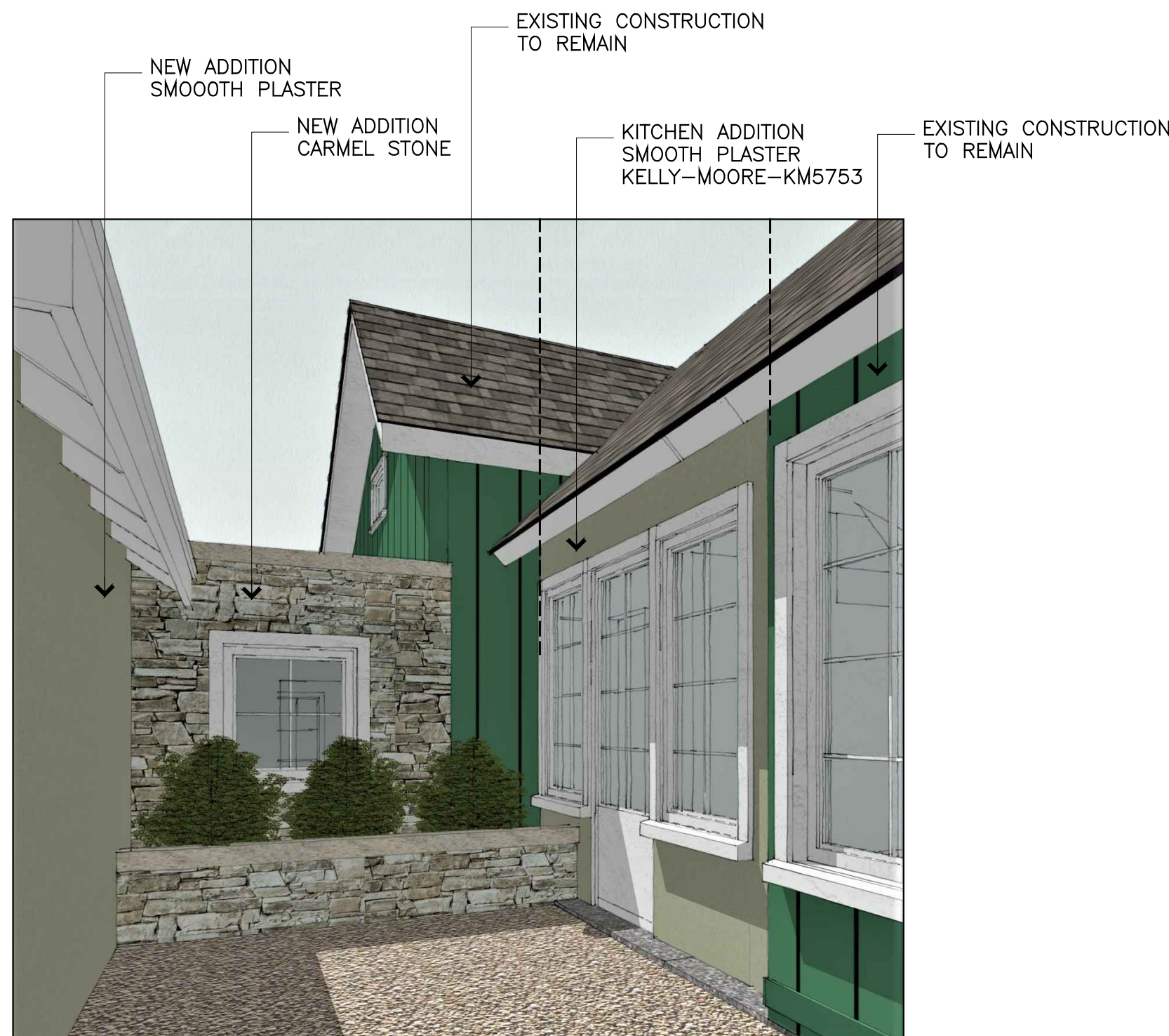
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EXISTING - PROPOSED ELEV

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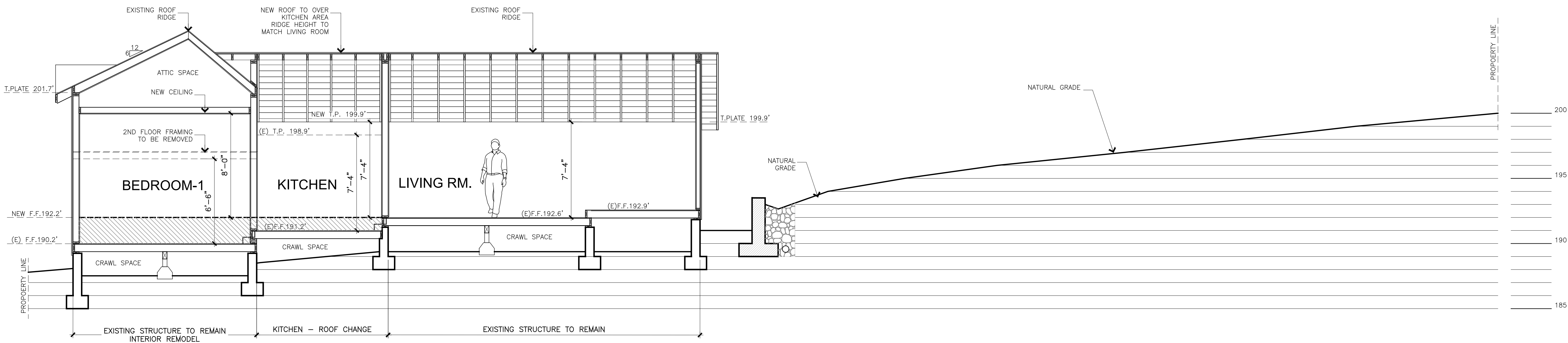
PROPOSED COURT YARD

Scale	3
N.T.S.	



AERIAL VIEW / BUILDING MASS

Scale	2
N.T.S.	



BUILDING SECTION

Scale	1
1/4"=1'-0"	

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BUILDING SECTIONS