

9/29/2022 12:46:01 PM
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SCOPE OF WORK

ADDITION OF 323 S.F. TO AN EXISTING 2,064 S.F. SINGLE-STOREY ^{W/ ATTACHED}_{OR} RESIDENTIAL W/ ATTACHED GARAGE. NO TREE SHALL BE REMOVED & NO CHANGES TO EXISTING LANDSCAPE.

PROJECT DATA

OWNER	Stefan and Tanya Karapetkov c/o Studio Schicketanz
ARCHITECT	Studio Schicketanz Inc. P.O. Box 2704 Carmel, California 93921 Phone: 831-622-9000 Fax: 831-309-9932 e-mail: buildingpermit@studioschicketanz.com Contact: Mary Ann Schicketanz

PROPERTY ADDRESS	3009 Lasuen Drive Carmel, CA 93923
APN	009-371-013
LOT SIZE	0.1735 AC (7,560 SF)
ZONING	R-1

WATER SOURCE	California American Water Company
SEWER PROVIDER	Septic
ELECTRIC & GAS	Pg & E

LOT COVERAGE CALCULATIONS			
MAXIMUM ALLOWABLE SITE COVERAGE (22 % OF MAX. BASE FLOOR AREA)			
		630	SF
EXISTING (43%)		1,219	SF
PROPOSED (21%)		599	SF
IMPERMEABLE SITE COVERAGE			
	EXISTING	PROPOSED	
(E) PATIO/FOOTPATH	758	138	SF
(E)CONC. DRIVEWAY	461	461	

TOTAL IMPERMEABLE SITE COVERAGE	1,219	599	SF
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MAXIMUM BASE FLOOR AREA			
= 7,560 S.F. (LOT AREA) X [0.45 - (3,560 S.F.) X 0.02]/ 1000]			
=2,863 S.F.			
FLOOR AREA CALCULATIONS	EXISTING	PROPOSED	
LEVEL 1	1,607	1,930	SF
ATTACHED GARAGE	457	457	SF

TOTAL FLOOR AREA	2,064	2,387	SF
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BUILDING HEIGHT			
MAIN HOUSE			
MAXIMUM ALLOWABLE BUILDING HEIGHT ABOVE A.N.G.	18'		FT
AVERAGE NATURAL GRADE:		99.15'	FT
BLDG. HEIGHT (ABOVE NATURAL GRADE):		14.16'	FT

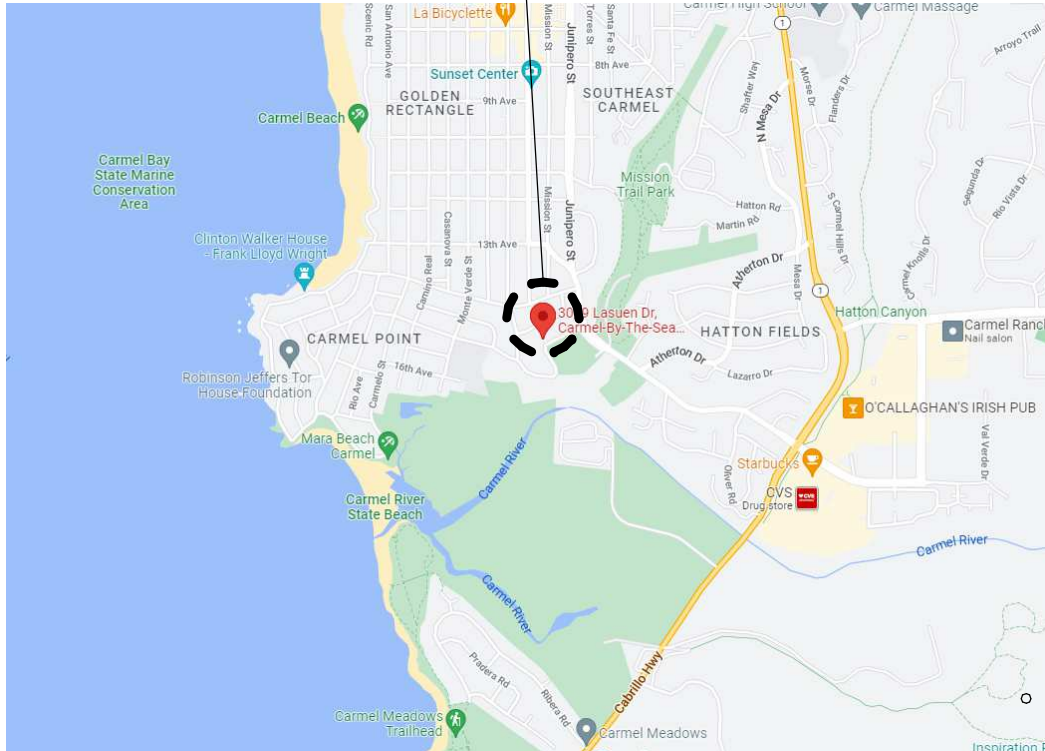
TREE REMOVAL			
NO. OF TREES TO REMOVE:		0	
GRADING			
CUT:		29.9	CY
FILL:		0	CY

NOTE: THE CUT GRADING WILL BE TAKEN OFF-SITE.

SHEET INDEX

1	COVER PAGE
2	EXISTING & PROPOSED FLOOR PLANS WITH INTEGRATED SITE PLAN
3	DEMOLITION PLAN
4	EXISTING & PROPOSED ROOF PLANS
5	EXTERIOR ELEVATIONS- EAST & WEST
6	EXTERIOR ELEVATIONS- NORTH & SOUTH
7	STREETSCAPE ELEVATIONS
8	GRADING & SITE COVERAGE DIAGRAM/ WINDOW AND DOOR ELEVATION TYPES
9	EXTERIOR MATERIALS

PROJECT LOCATION



VICINITY MAP



EXISTING SITE IMAGES

TITLE COVER PAGE

KARAPETKOV RESIDENCE

STEFAN AND TANYA KARAPETKOV 3009 Lasuen Drive, Carmel, CA 93923 APN 009-371-013

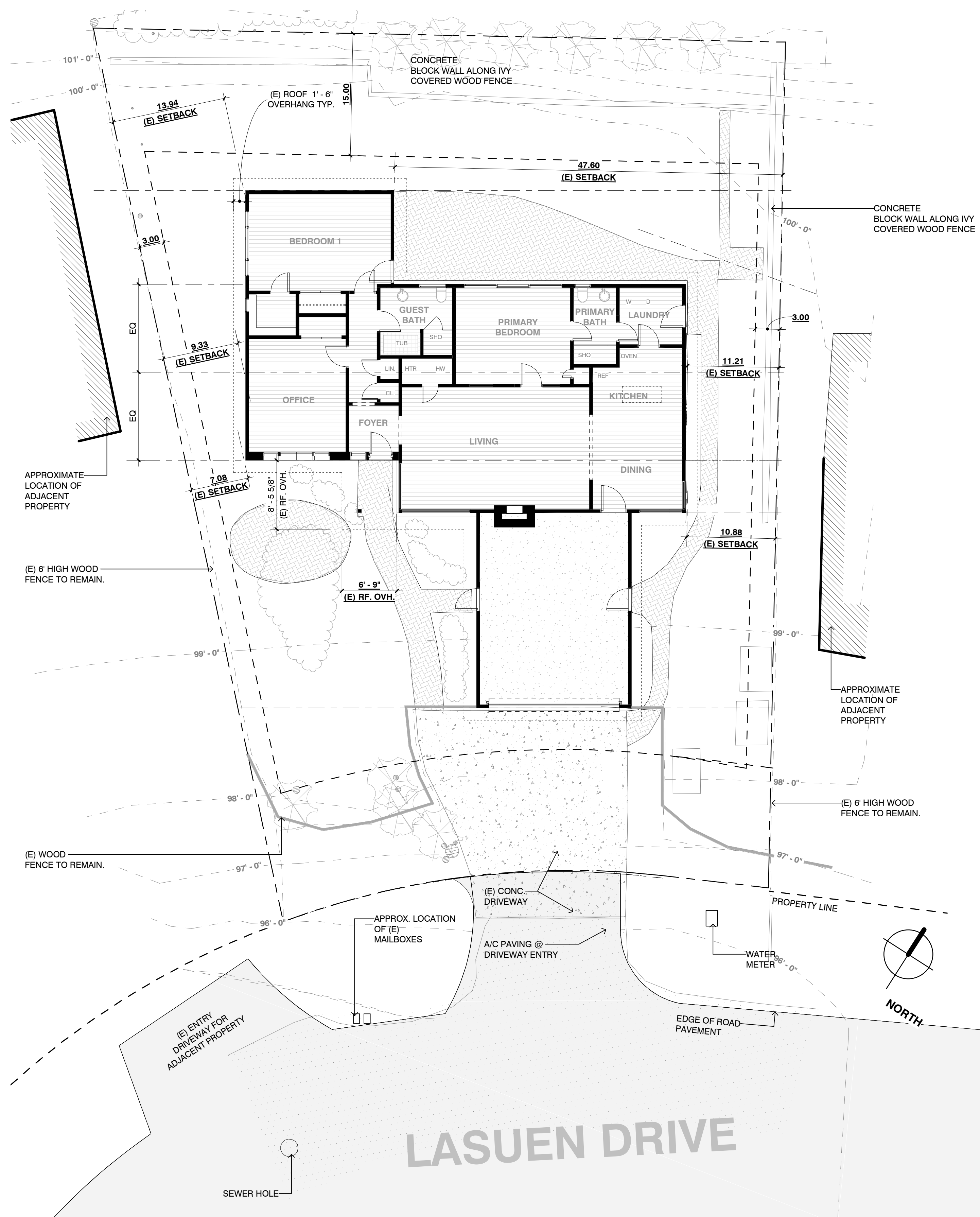
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JOB NUMBER	2202	

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P.O. Box 2704, Carmel, CA, 93921 831.622.9000

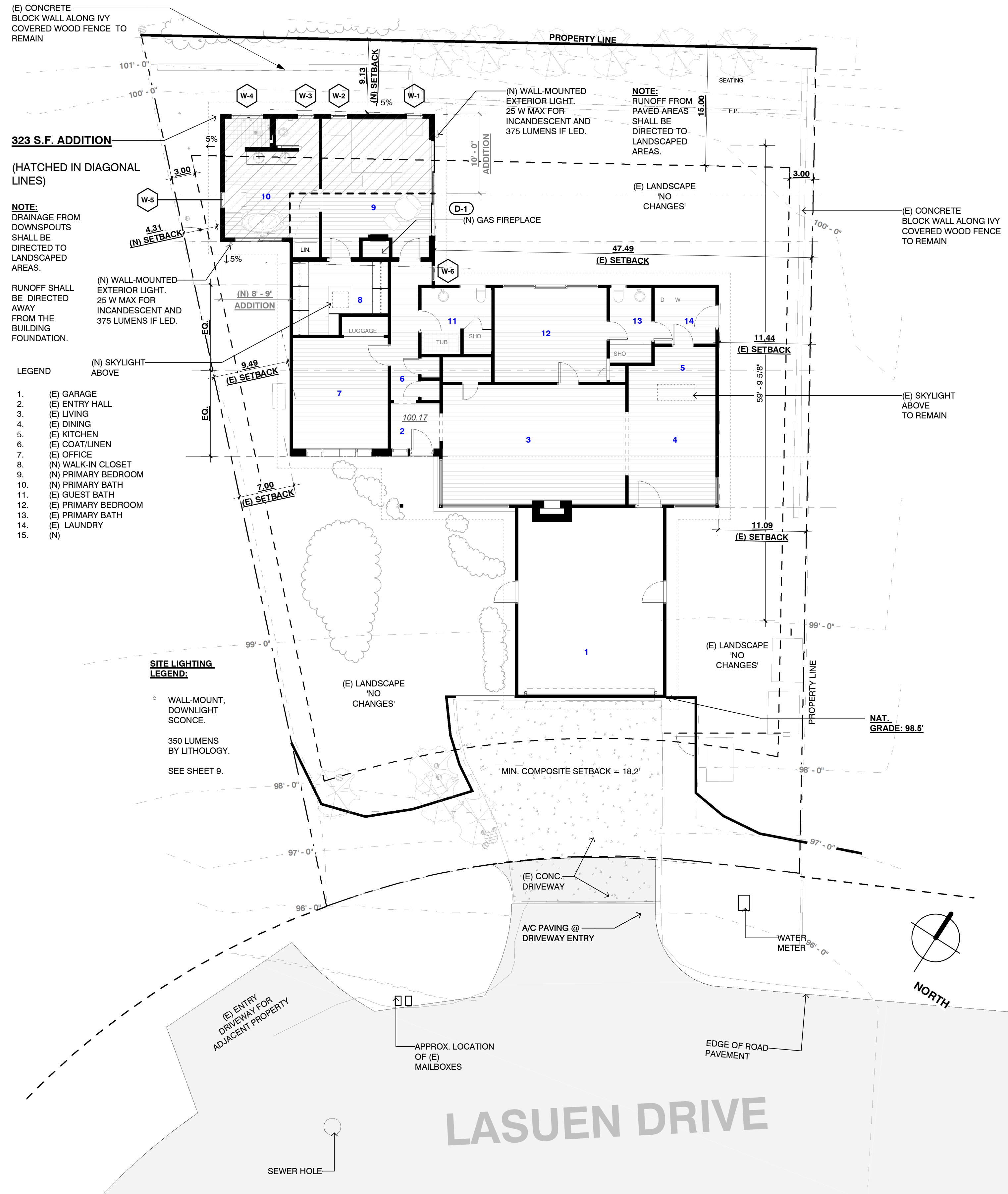
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1 FLOOR PLAN -EXISTING
1/8" = 1'-0"



2 FLOOR PLAN - PROPOSED
1/8" = 1'-0"

TITLE EXISTING & PROPOSED FLOOR PLANS WITH INTEGRATED SITE PLAN

KARAPETKOV RESIDENCE

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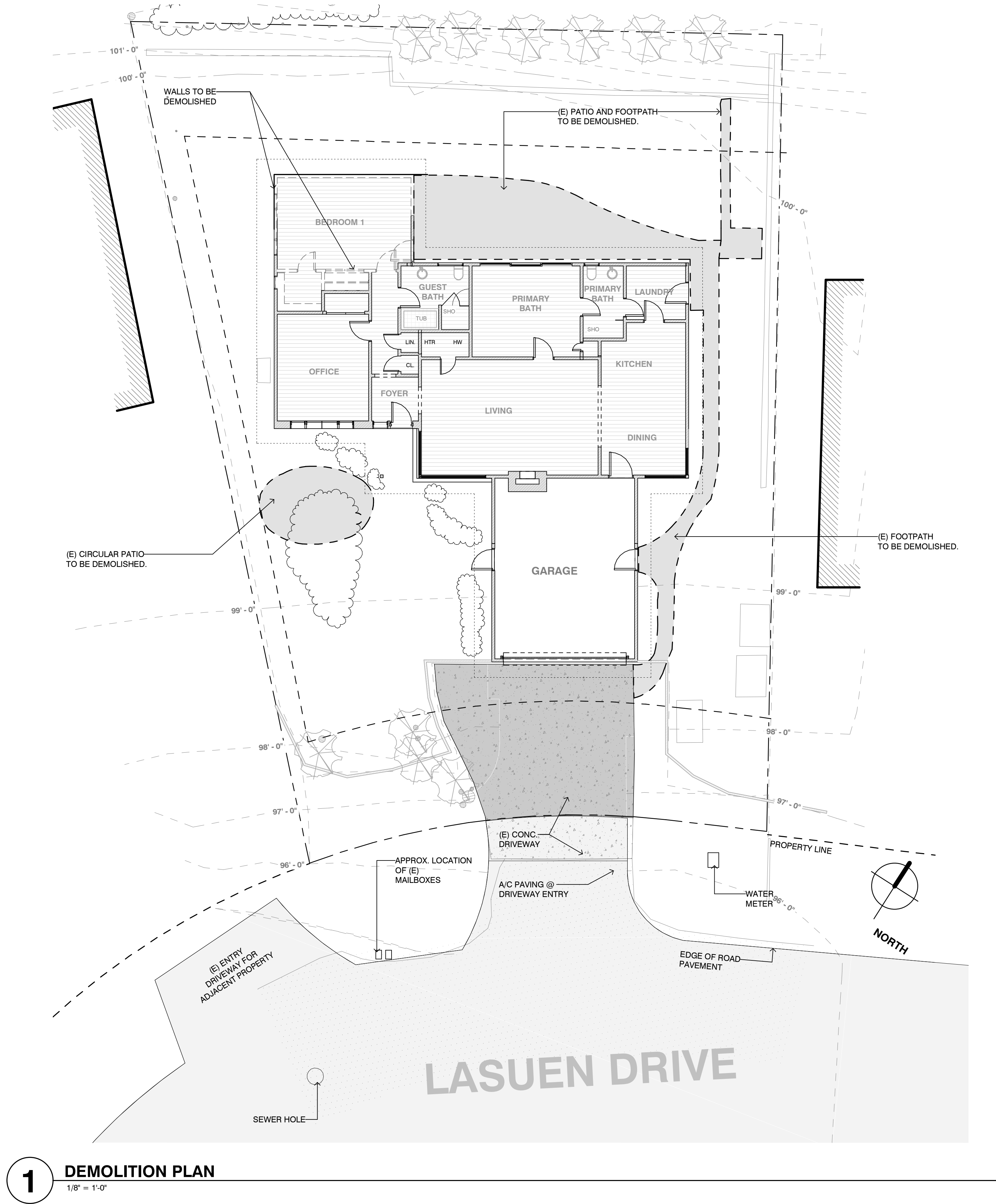
DATE 9/28/2022 SHEET
SCALE As indicated
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2

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LEGEND

- EXISTING WALL
- NEW WALL
- DEMOLISHED WALL

TITLE DEMOLITION PLAN

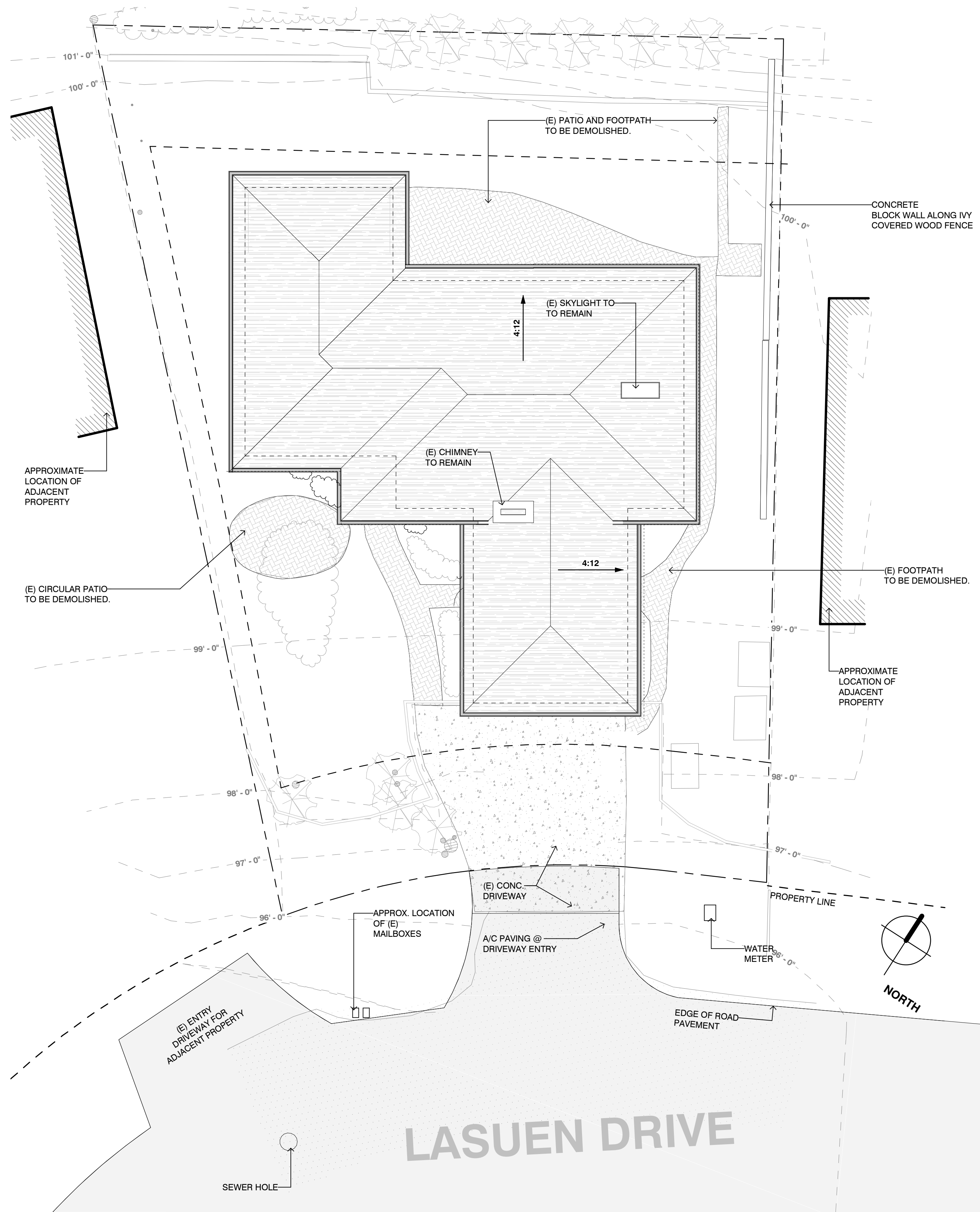
KARAPETKOV RESIDENCE

STEFAN AND TANYA KARAPETKOV 3009 Lasuen Drive, Carmel, CA 93923 APN 009-371-013

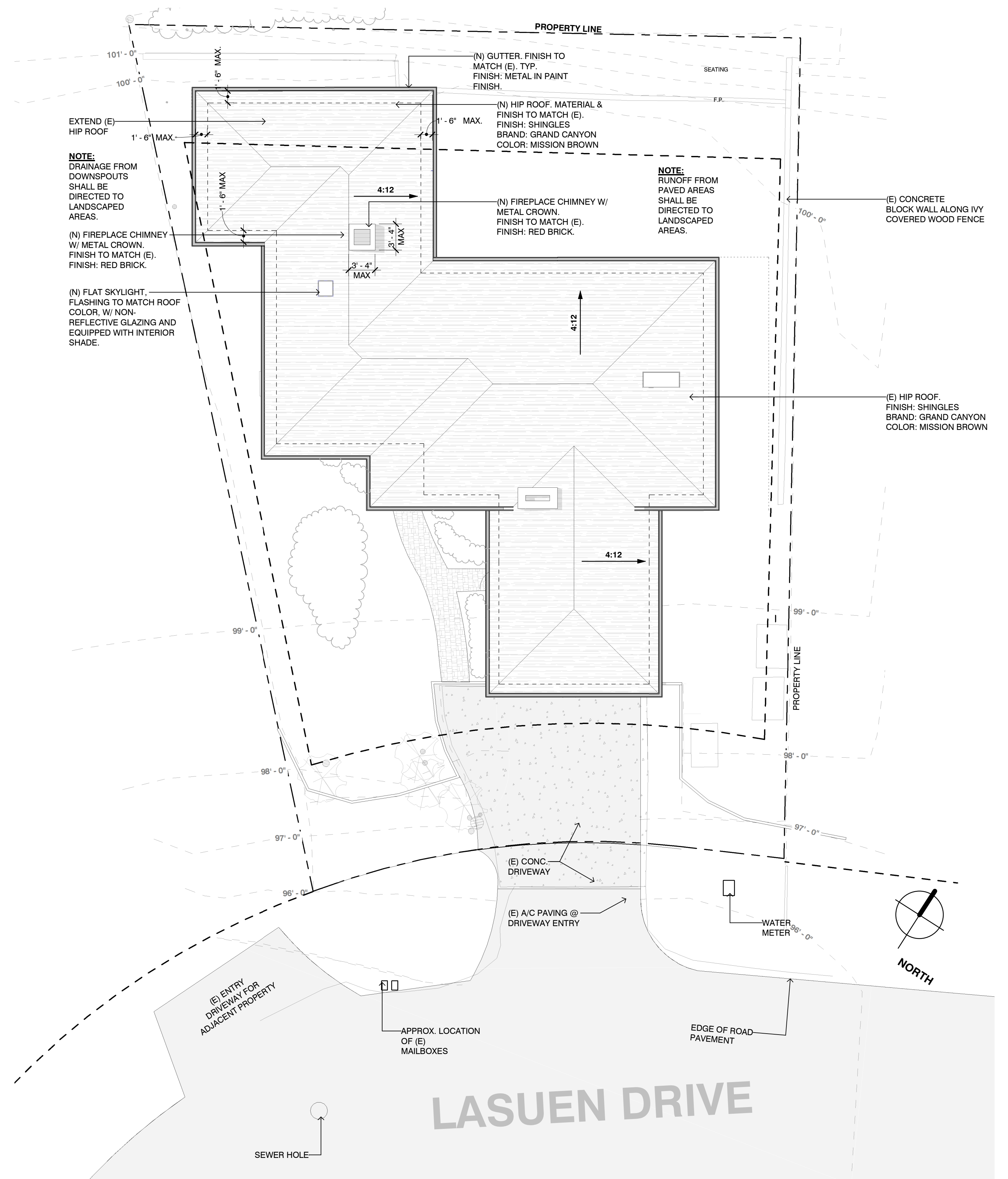
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JOB NUMBER	2202	9/28/2022

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1 ROOF PLAN -EXISTING
1/8" = 1'-0"



2 ROOF PLAN -PROPOSED
1/8" = 1'-0"

TITLE EXISTING & PROPOSED ROOF PLANS

KARAPETKOV RESIDENCE

STEFAN AND TANYA KARAPETKOV 3009 Lasuen Drive, Carmel, CA 93923 APN 009-371-013

DATE 9/28/2022
SCALE 1/8" = 1'-0"
DRAWN BY JS
JOB NUMBER 2202

SHEET

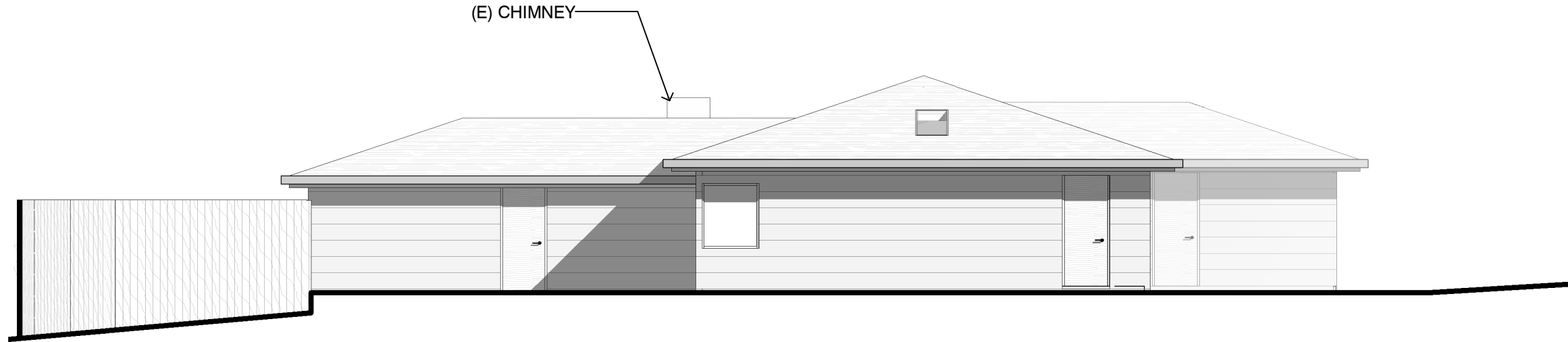
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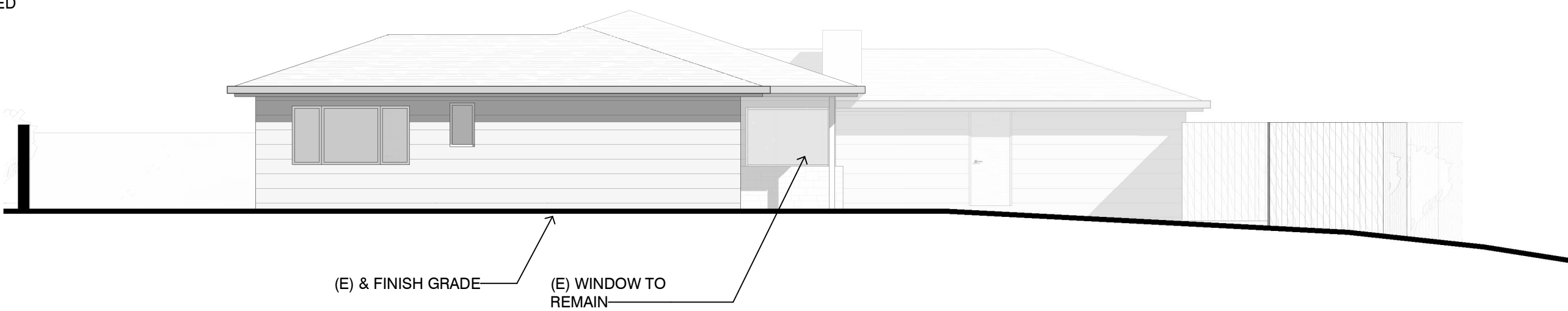
- MAX BLDG. HT. 117' - 1 13/16"
- (E) HT. OF BLDG. 113' - 3 13/16"
- (N) RIDGE HT. 111' - 2"
- (E) MAIN LEVEL 100' - 0"
- AVG. NAT. GRADE 99' - 1 13/16"



1 EAST ELEVATION- EXISTING

1/8" = 1'-0"

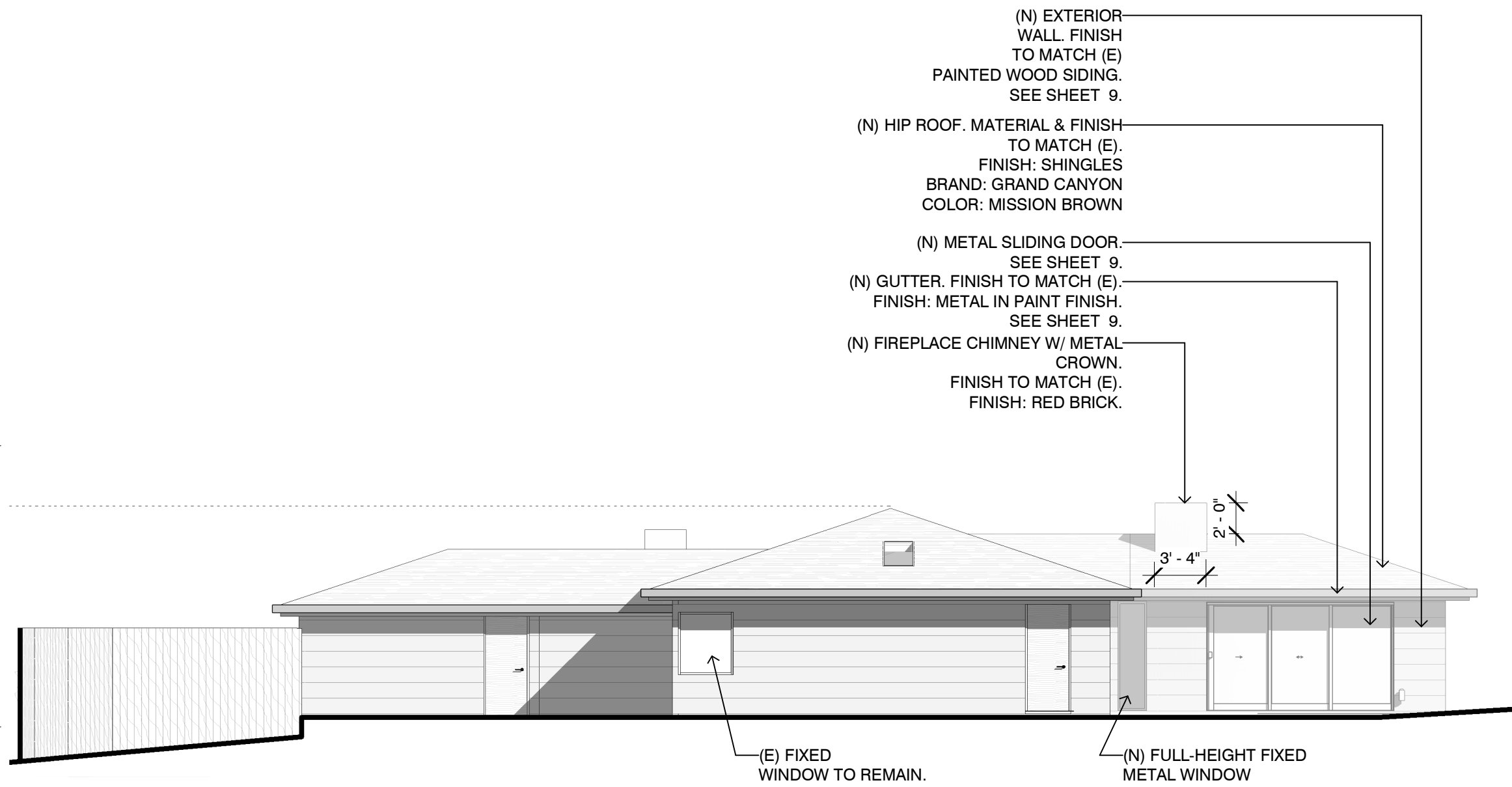
- MAX BLDG. HT. 117' - 1 13/16"
- (E) HT. OF BLDG. TO BE VERIFIED 113' - 3 13/16"
- (N) RIDGE HT. 111' - 2"
- (E) T. O. PLATE 108' - 1"
- (E) MAIN LEVEL 100' - 0"
- AVG. NAT. GRADE 99' - 1 13/16"



3 WEST ELEVATION- EXISTING

1/8" = 1'-0"

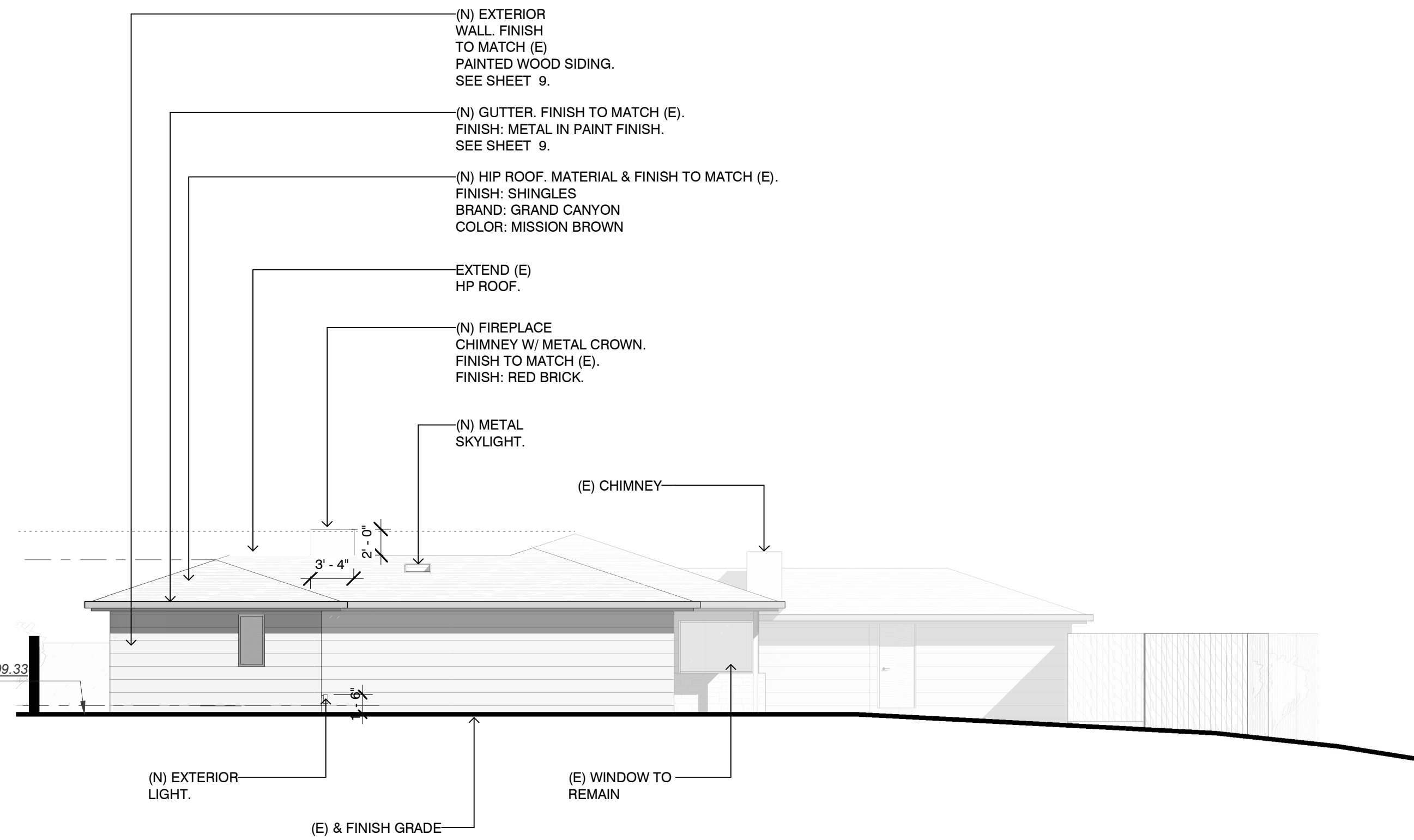
- MAX BLDG. HT. 117' - 1 13/16"
- (E) HT. OF BLDG. TO BE VERIFIED 113' - 3 13/16"
- (N) RIDGE HT. 111' - 2"
- (E) T. O. PLATE 108' - 1"
- (E) MAIN LEVEL 100' - 0"
- AVG. NAT. GRADE 99' - 1 13/16"



2 EAST ELEVATION -PROPOSED

1/8" = 1'-0"

- MAX BLDG. HT. 117' - 1 13/16"
- (E) HT. OF BLDG. TO BE VERIFIED 113' - 3 13/16"
- (N) RIDGE HT. 111' - 2"
- (E) T. O. PLATE 108' - 1"
- (E) MAIN LEVEL 100' - 0"
- AVG. NAT. GRADE 99' - 1 13/16"



4 WEST ELEVATION- PROPOSED

1/8" = 1'-0"

TITLE EXTERIOR ELEVATIONS - EAST & WEST

KARAPETKOV RESIDENCE

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DATE 9/28/2022

SCALE 1/8" = 1'-0"

DRAWN BY JS

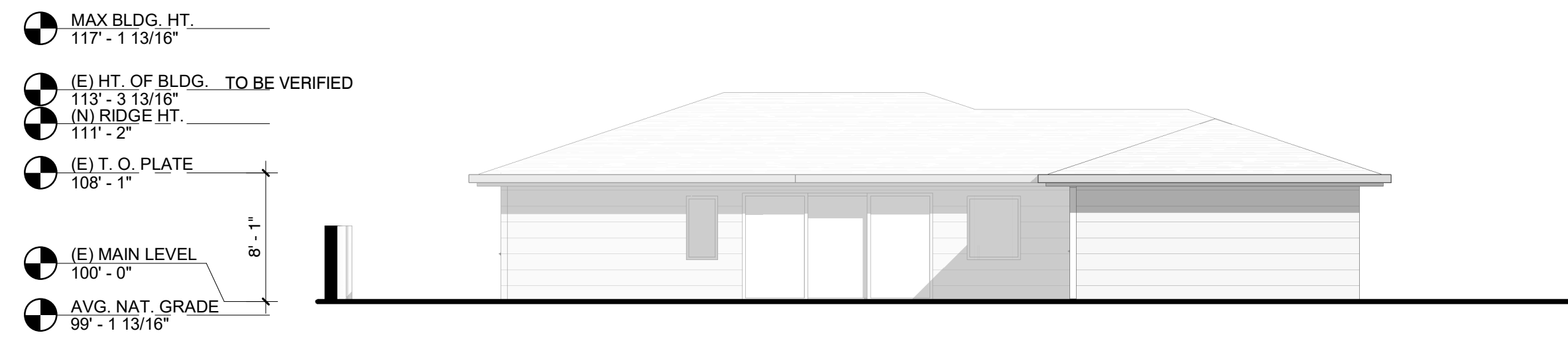
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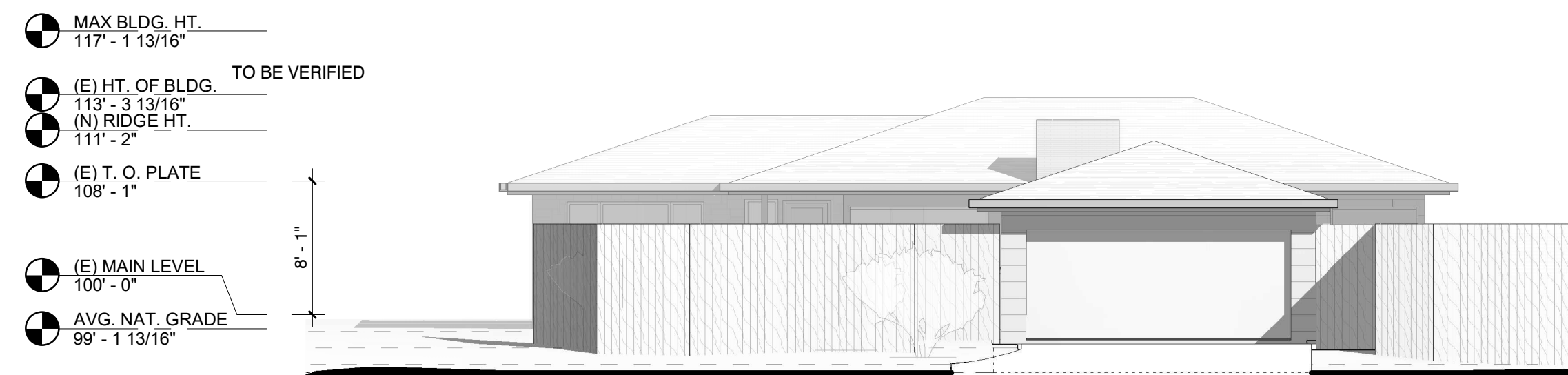
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9/28/2022

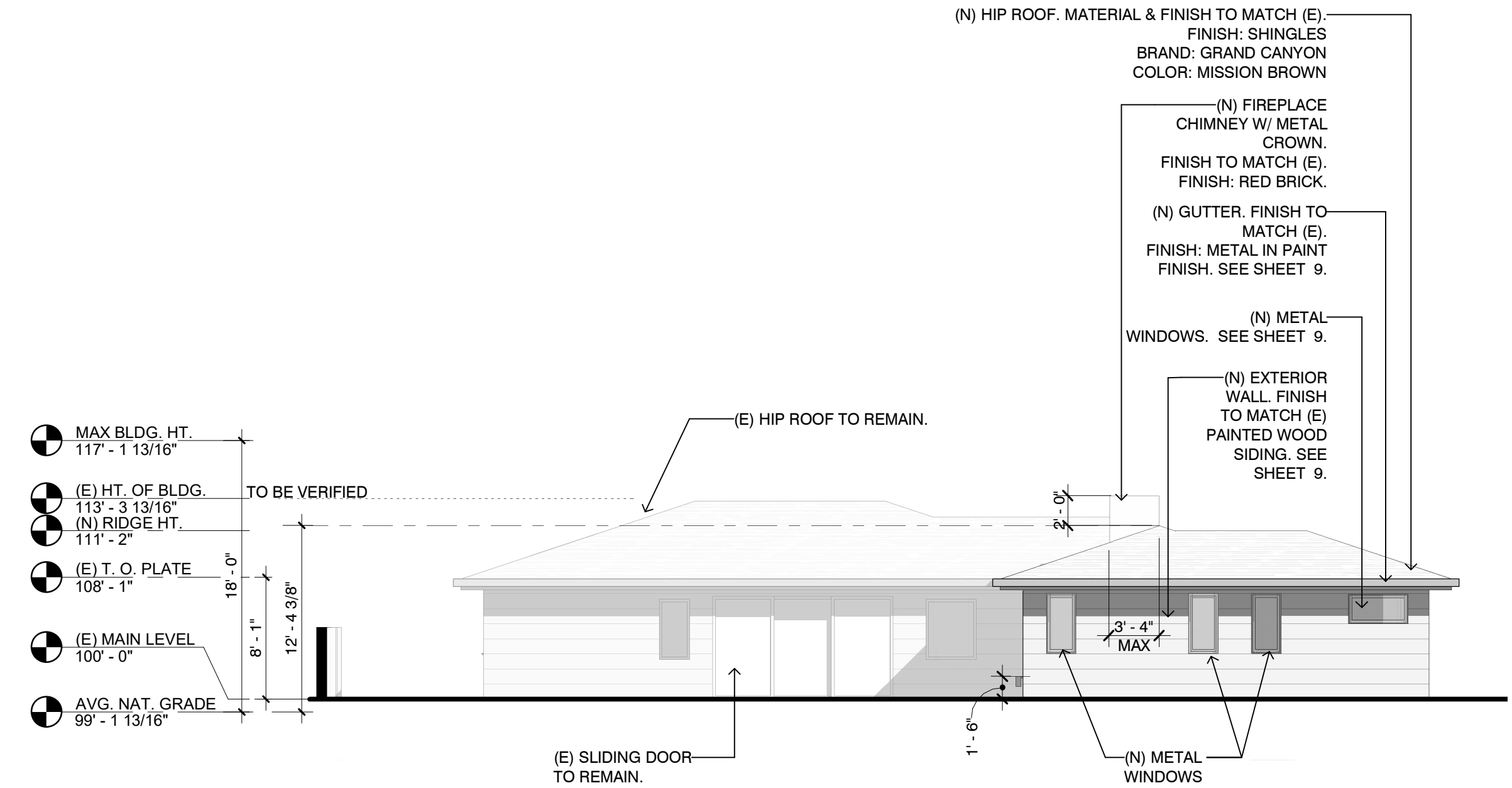
STUDIO SCHICKETANZ
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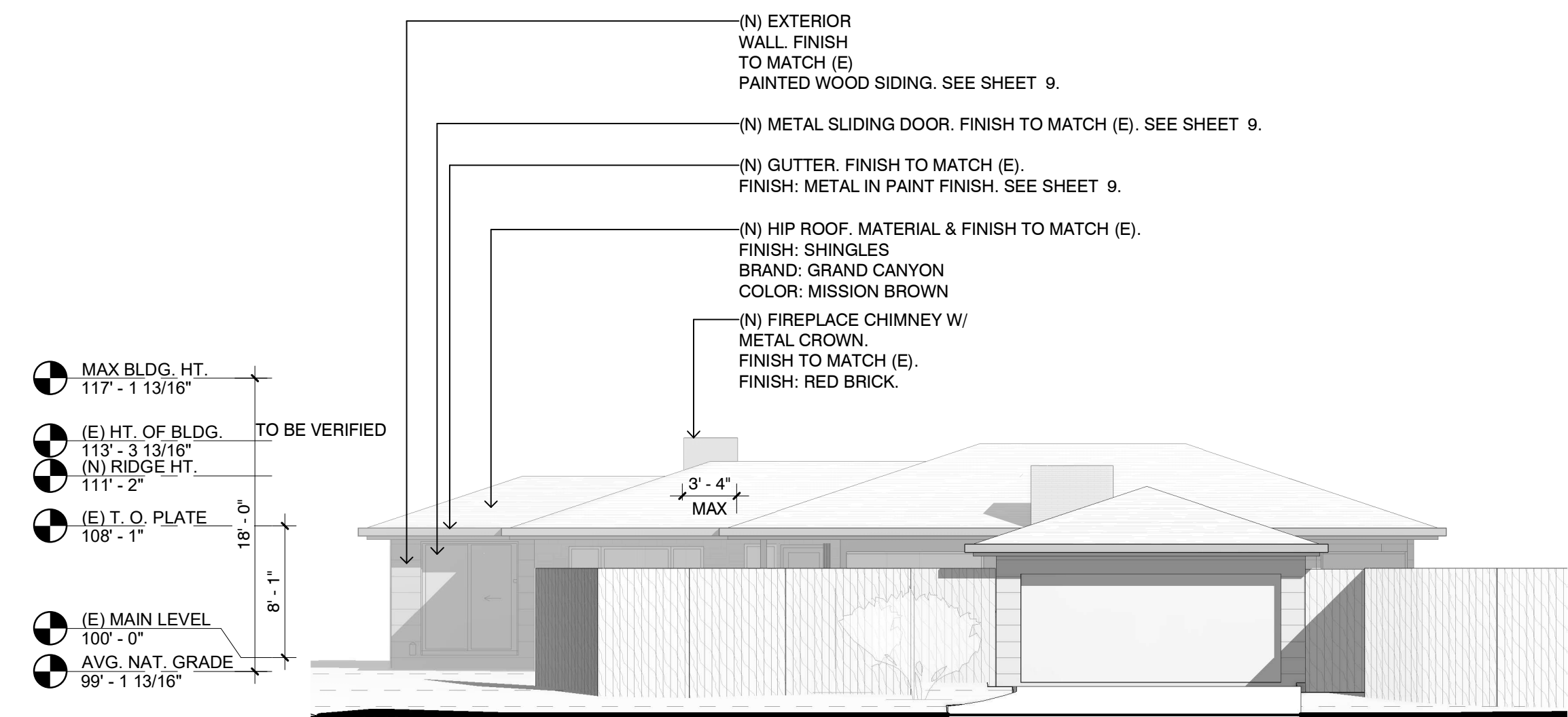
1 NORTH ELEVATION - EXISTING
1/8" = 1'-0"



3 SOUTH ELEVATION- EXISTING
1/8" = 1'-0"



2 NORTH ELEVATION - PROPOSED



4 SOUTH ELEVATION- PROPOSED
1/8" = 1'-0"

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STREETSCAPE IMAGES

1 : 45

TITLE STREETSCAPE ELEVATIONS

KARAPETKOV RESIDENCE

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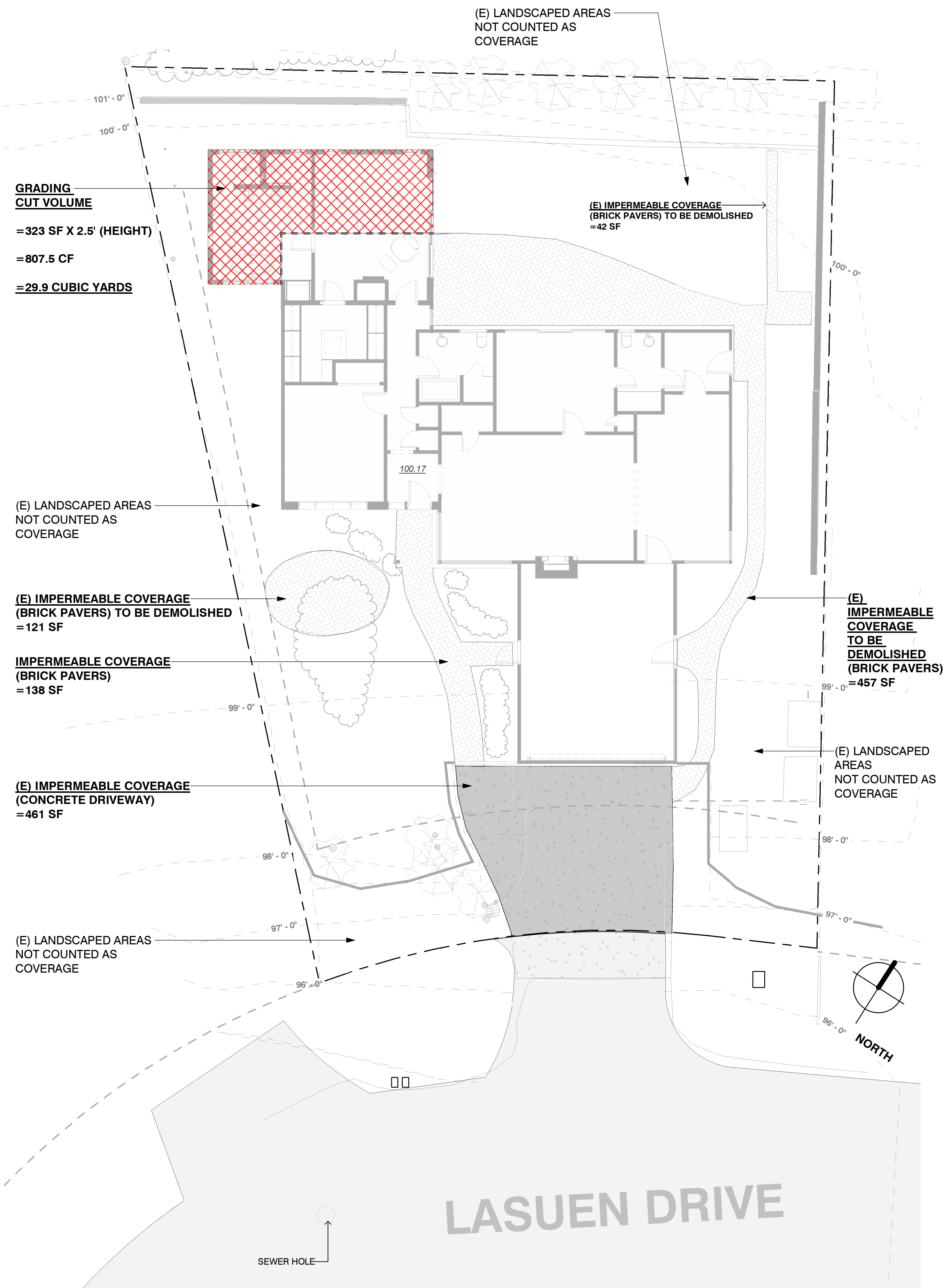
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DATE 9/28/2022
SCALE 1 : 45
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JOB NUMBER 2202

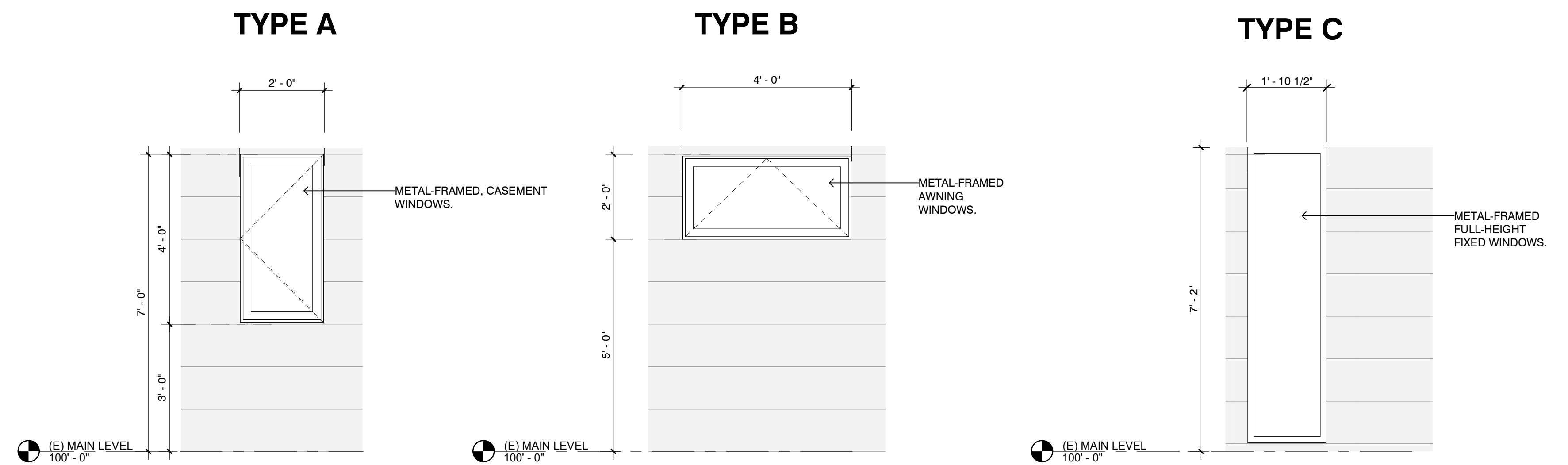
SHEET

7

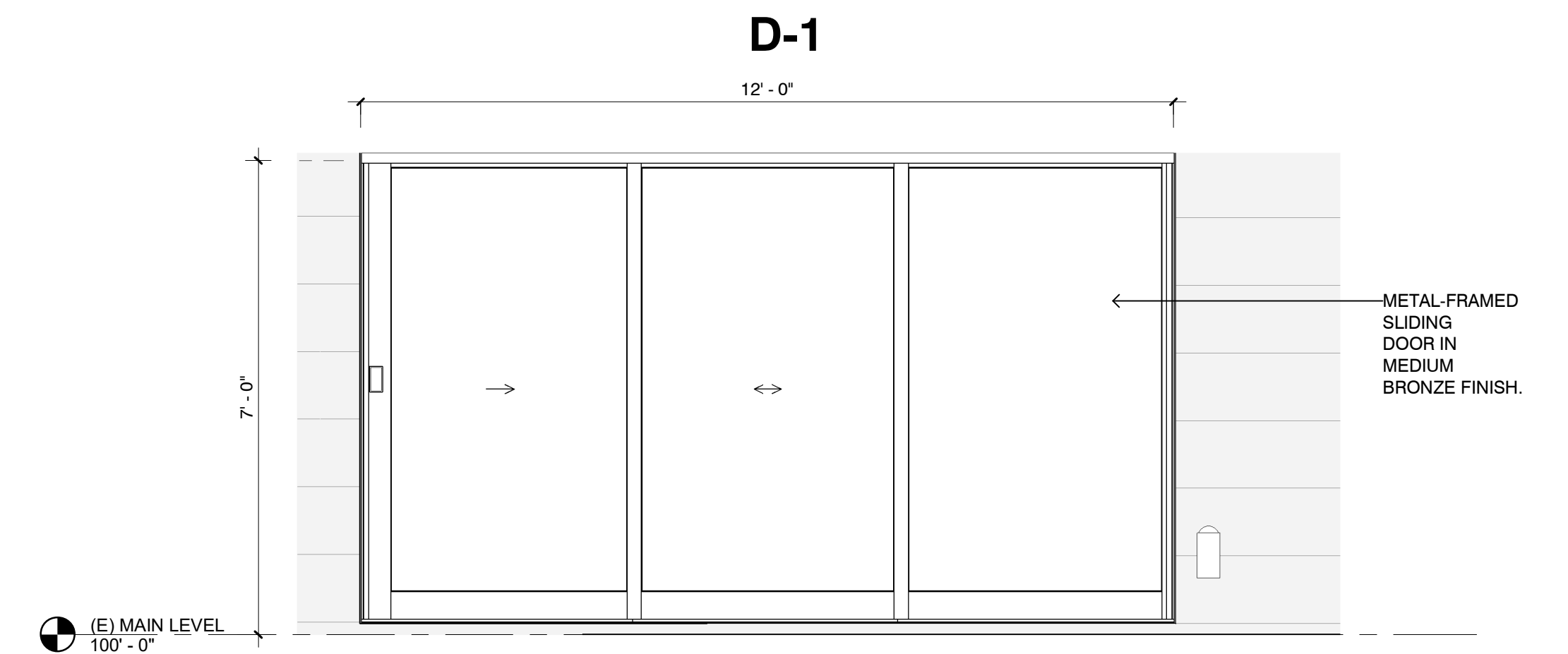
9/28/2022



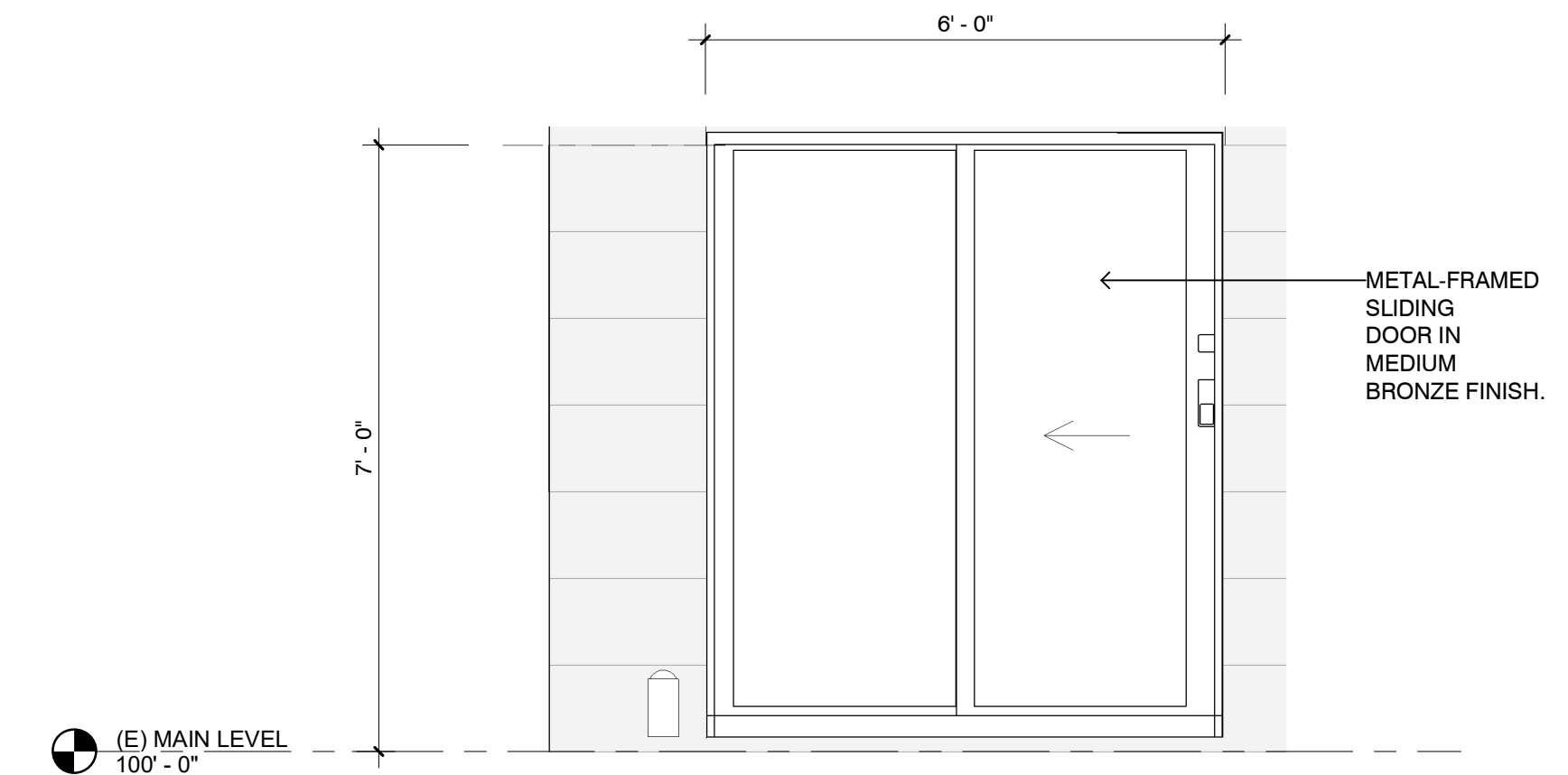
1 SITE COVERAGE & GRADING DIAGRAM



2 WINDOW ELEVATION TYPES



TYPE B



3 EXTERIOR DOOR ELEVATION TYPES

Skylight Schedule									
Number	Count	SIZE		MATERIALS			Operation	Manufacturer	Comments
		Height	Width	Frame Material	Glass type	Sun Shades			
SK-1	1	2' - 0"	2' - 0"	METAL	TEMPERED	YES	FIXED	VELUX	

Window Schedule								
Number	Location	Window Size			Frame Material	Sash Material	Glass Type	Numbered Notes Remarks
		Width	Height	Sill Height				
W-1	PRIMARY BEDROOM	2' - 0"	4' - 0"	3' - 0"	METAL	METAL	TEMPERED GLASS	CASEMENT
W-2	PRIMARY BEDROOM	2' - 0"	4' - 0"	3' - 0"	METAL	METAL	TEMPERED GLASS	CASEMENT
W-3	PRIMARY BATH - WC	2' - 0"	4' - 0"	3' - 0"	METAL	METAL	TEMPERED GLASS	CASEMENT
W-4	PRIMARY BATH - SHOWER	4' - 0"	2' - 0"	4' - 11 1/2"	METAL	METAL	TEMPERED GLASS	AWNING
W-5	PRIMARY BATH	2' - 0"	4' - 0"	3' - 0"	METAL	METAL	TEMPERED GLASS	CASEMENT
W-6	HALLWAY	1' - 10 1/2"	7' - 0"	0' - 2"	METAL	METAL	TEMPERED GLASS	FIXED

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(N) ROOF TO MATCH EXISTING
BRAND: GRAND CANYON
COLOR: 'MISSION BROWN'



(N) EXTERIOR WOOD SIDING TO MATCH EXISTING.
COLOR: 'SHAKER BEIGE'; BENJAMIN MOORE HC=45



(N) GUTTER TO MATCH EXISTING
PAINTED METAL GUTTER.
COLOR: 'WEATHERED COPPER'



PHOTO OF (E) GUTTER



PHOTO OF (E) GUTTER

(N) EXTERIOR LIGHTS
BRAND: LIGHTOLOGY
COLOR: ARCHITECTURAL BRONZE



(N) DECK-MOUNTED SKYLIGHTS
BRAND: VELUX



PHOTO OF (E) SKYLIGHT



PHOTO OF PROPOSED DECK MOUNTED VELUX SKYLIGHT

(N) METAL DOORS AND WINDOWS TO MATCH EXISTING.
COLOR: 'MEDIUM BRONZE' FINISH



TITLE EXTERIOR MATERIALS

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DATE 9/28/2022 SHEET 9
SCALE
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9/28/2022

LEGEND:

	PROPERTY BOUNDARY		CONDUIT		IRRIGATION BOX		FOUND MONUMENT (TYPE NOTED)
	ADJACENT PROPERTY BOUNDARY		CLEANOUT		LANDSCAPE LIGHT		SURVEY H&V CONTROL POINT
	ORIGINAL PROPERTY BOUNDARY		DOWNSPOUT		STREETLIGHT		SPOT ELEVATION
	EASEMENT (TYPE AS SHOWN)		ELECTRICAL HUB		PG&E BOX		RIDGELINE
	ROADWAY CENTERLINE		ELECTRIC METER		PG&E GAS MANHOLE		FINISHED FLOOR
	MAJOR CONTOUR LINE (5' INTERVAL)		ELECTRICAL OUTLET		PIPE		THRESHOLD
	MINOR CONTOUR LINE (1' INTERVAL)		ELECTRICAL PANEL		STORM DRAIN MANHOLE		TREE (TYPE/SIZE AS MARKED)
	FENCE		ELECTRIC MANHOLE		SANITARY SEWER CLEANOUT		SYMBOL CENTER IS APPROX CENTER OF TREE
	ASPHALT CONCRETE		FUSEBOX		SANITARY SEWER MANHOLE		TWO-PRONGED TREE (2P)
	BRICK		GAS LINE		TELEPHONE BOX		THREE-PRONGED TREE (3P)
	PORTLAND CEMENT CONCRETE		GAS METER		UNKNOWN UTILITY		MULTI-PRONGED TREE (MP)
	NATURAL GROUND SURFACE/ LANDSCAPED AREA		GAS VALVE		UTILITY HUB		
			GUY WIRE		UTILITY POLE		
			HOSE BIB		WATER METER		
			FIRE HYDRANT		WATER SERVICE		
			IRRIGATION CONTROL VALVE		WATER VALVE		

ABBREVIATIONS:

AC	=	ASPHALT CONCRETE	FF	=	FINISHED FLOOR	TH	=	THRESHOLD
AD	=	AREA DRAIN	FL	=	FLOWLINE	TR	=	TREE
BLDG	=	BUILDING	FNC	=	FENCE	TYP	=	TYPICAL
BRK	=	BRICK	FND	=	FOUND	UTL	=	UTILITY
BRKR	=	BREAKER	FTN	=	FOUNTAIN	VOUT	=	V-GUTTER
BSW	=	BACK OF SIDEWALK	GEN	=	GENERATOR	W	=	WILLOW
CB	=	CATCH BASIN	GR	=	GRATE	WD	=	WOOD
CE	=	CEDAR	GRND	=	GROUND			
CHK VLV	=	CHECK VALVE	GT	=	GATE			
CHNLNK	=	CHAINLINK	H	=	HOLLY			
CL	=	CENTERLINE	MON	=	MONUMENT			
CMU	=	CONCRETE MASONRY UNIT	MTL	=	METAL			
CONC	=	CONCRETE	O	=	OAK			
CTL	=	CONTROL	PA	=	PALM			
CW	=	COTTON WOOD	PE	=	PEPPER			
CYP	=	CYPRESS	P	=	PINE			
DG	=	DECOMPOSED GRANITE	PLST	=	PLASTIC			
DK	=	TOP OF DECK	R	=	REDWOOD			
E	=	EUCALYPTUS	RL	=	RIDGE LINE			
ELEC	=	ELECTRIC	RW	=	RETAINING WALL			
EP	=	EDGE OF PAVEMENT	SAT	=	SATELLITE			
ESMT	=	EASEMENT	STN	=	STONE			
FDC	=	FIRE DEPARTMENT CONNECTION	STP	=	STEP			
			SYS	=	SYSTEMS			

GENERAL NOTES:

- ELEVATIONS ARE BASED ON AN ASSUMED DATUM. PROJECT BENCHMARK IS SURVEY H&V CONTROL POINT #103, A MAGNETIC NAIL LOCATED APPROXIMATELY 6.5' SOUTHERLY AND 17.2' EASTERLY FROM THE SOUTHERLY PROPERTY CORNER, ELEVATION = 100.85' AS SHOWN.
- NOT ALL UNDERGROUND UTILITIES WERE LOCATED. ONLY VISIBLE FACILITIES ABOVE AND FLUSH WITH THE SURFACE ARE SHOWN. SUB-SURFACE UTILITY LINES DRAWN MAY NOT BE COMPLETE AND SHOULD BE VERIFIED BY FIELD RECONNAISSANCE. UNDERGROUND UTILITY LOCATIONS CAN BE OBTAINED FROM THE APPROPRIATE UTILITY COMPANIES, PUBLIC AGENCIES, OWNER'S AS-BUILT DRAWINGS, ETC., AND SHOULD BE THOROUGHLY COMPILED AND DEEMED COMPLETE WITHIN THE PROJECT AREA PRIOR TO ANY SITE DEVELOPMENT DESIGN AND/OR CONSTRUCTION.
- TREE TYPES ARE INDICATED WHEN KNOWN. TREE DIAMETERS ARE LABELED IN INCHES AS MEASURED AT 3" ABOVE THE GROUND. SYMBOL IS APPROXIMATE CENTER OF TREE. TREES SMALLER THAN 6" ARE NOT SHOWN.
- THIS MAP PORTRAYS THE SITE AT THE TIME OF THE SURVEY (08/9/22) AND DOES NOT SHOW SOILS OR GEOLOGY INFORMATION, UNDERGROUND CONDITIONS, EASEMENTS, ZONING OR REGULATORY INFORMATION OR ANY OTHER ITEMS NOT SPECIFICALLY REQUESTED BY THE PROPERTY OWNER AND/OR THEIR REPRESENTATIVES.
- BUILDING CORNERS SHOWN WERE LOCATED AT THE OUTERMOST FACE OF TRIM. DIMENSIONS SHOWN REPRESENT THE BUILDING AT GROUND LEVEL. SQUARE FOOTAGE WAS CALCULATED USING THE OUTERMOST BUILDING FOOTPRINT AS MEASURED. BUILDING OVERHANG(S) ARE NOT SHOWN.
- THIS MAP DOES NOT REPRESENT A BOUNDARY SURVEY. PROPERTY LINES SHOWN HEREON WERE COMPILED FROM RECORD INFORMATION AND FROM FIELD TIES TO EXISTING BOUNDARY MONUMENTATION. THE LOCATION OF THESE LINES IS SUBJECT TO CHANGE, PENDING THE RESULTS OF A COMPLETE BOUNDARY SURVEY.
- STRUCTURES AND/OR ACCOMPANYING ELEVATIONS SHOWN ON ADJACENT LOTS LOCATED WITHIN 15' OF THE SUBJECT PROPERTY BOUNDARIES ARE APPROXIMATE ONLY AND MAY NOT BE COMPLETE DUE TO RESTRICTED PHYSICAL ACCESS.

CONTACT INFORMATION:

CLIENT:
STEFAN AND TATIANA KARAPETKOV
3009 LASUEN DRIVE
CARMEL-BY-THE-SEA, CA 93923

SITE LOCATION:
3009 LASUEN DRIVE
CARMEL-BY-THE-SEA, CA 93923

8/26/22	AL	RELEASED TO CLIENT	
No.	DATE	BY	REVISION

TOPOGRAPHIC MAP
OF
LOT 13, "THIRD ADDITION TO MISSION TRACT"
VOLUME 4 OF CITIES AND TOWNS AT PAGE 57
CARMEL-BY-THE-SEA, CALIFORNIA

FOR
STEFAN AND TATIANA KARAPETKOV

A.P.N.: 009-371-013

SHEET
1
OF 1 SHEETS



APPROVED BY:
GUY R. GIRALDO
P.L.S. No. 8703

