

[illegible]

	PROJECT NORTH ARROW		EXTERIOR ELEVATION
	FLOOR ELEVATION		INTERIOR ELEVATION
	COLUMN GRID SYMBOLS		DETAIL CALLOUT VIEW NUMBER SHEET NUMBER
	CENTER LINE INDICATOR		SECTION VIEW VIEW NUMBER SHEET NUMBER
	DOOR TAG		REVISION INDICATOR
	WINDOW TYPE		CLOUD AREA OF REVISION
	WALL TYPE		NEW / EXISTING CONTOUR
	EXISTING CONTOUR TO BE MODIFIED		EXISTING TO BE REMOVED
	KEYED NOTE		NEW CONSTRUCTION
	FLOOR TRANSITION		EXISTING TO REMAIN, REMOVE FINISHES

PROJECT SITE

TAX COS. AREA: P-03

ASSESSOR'S MAP: 18716, 18717, 18718

MISSION ST.

SAN CARLOS ST.

DOLORES ST.

LINCOLN ST.

CARMEL BY THE SEA

SUBMIT PERMITS, MAPS, AND RECORDS TO THE CITY

GRADING CUT	535	CU.YDS.
GRADING FILL	0	CU.YDS.
GRADING NET EXPORT	535	CU.YDS.

WATER SOURCE	CAL AM
SEWER SYSTEM	CAWD
TREES TO BE REMOVED	0
REQUIRED ONSITE PARKING	NOT REQUIRED FOR CC DISTRICT
EXISTING PARKING	0

SPRINKLERS YES (UNDER DEFERRED SUBMITTAL)

THIS PROJECT SHALL COMPLY WITH THE FOLLOWING:

THE 2019 CALIFORNIA RESIDENTIAL CODE (CRC),
THE 2019 CALIFORNIA MECHANICAL CODE (CMC)
THE 2019 CALIFORNIA PLUMBING CODE (CPC)
THE 2019 CALIFORNIA ELECTRICAL CODE (CEC)
THE 2019 CALIFORNIA ENERGY CODE (CEC)

G1.0	COVER SHEET
G1.2	SURVEY
G1.8	SITE PHOTOS & RENDERING
G1.10	MPWMD EXHIBIT
G1.11	FLOOR AREA RATIO EXHIBIT
A1.0	SITE PLAN
A2.0	LEVEL 1 EXISTING / DEMO FLOOR PLAN
A2.1	LEVEL 1 BASEMENT FLOOR PLAN
A2.3	LEVEL 2 EXISTING / DEMO FLOOR PLAN
A2.4	LEVEL 2 FLOOR PLAN
A2.6	LEVEL 3 EXISTING / DEMO FLOOR PLAN
A2.7	LEVEL 3 FLOOR PLAN
A2.9	EXISTING / DEMO ROOF
A2.10	ROOF PLAN
A2.12	ROOF
A3.0	EXTERIOR ELEVATIONS
A3.1	EXTERIOR ELEVATIONS
A3.2	EXTERIOR ELEVATIONS
A3.5	BUILDING SECTIONS
A3.6	BUILDING SECTIONS
A5.0	ENTRY VESTIBULE

REMODEL AND STRUCTURAL SEISMIC RETROFIT OF AN HISTORIC STRUCTURE. BASEMENT ENLARGEMENT AND LEVEL 2 INTERIOR HALLWAY ADDITION. NEW ENTRY SOUND LOCK DOOR, STAIRCASE AND ELEVATOR. NEW ROOF MECHANICAL ROOM AND BATHROOM. REPLACE A LEAKING ROOF AND INSTALL NEW SOLAR PANEL ARRAY. NEW ELECTRICAL, HVAC, PLUMBING, AND ACOUSTIC INFRASTRUCTURE. NEW SKYLIGHT, EXTERIOR WINDOWS AND DOORS. NO EXTERIOR CHANGES ON DOLORES STREET ARE PROPOSED. 535 CU YDS OF EXCAVATION.

PROPERTY ADDRESS	6 SW OF OCEAN ON DOLORES CARMEL, CA 93923
APN	010-147-006-000
ZONING	CENTRAL COMMERCIAL
PLAN LAND USE DESIGNATION	COMMERCIAL
TYPE OF CONSTRUCTION	TYPE III-B
OCCUPANCY GROUP	B
PERMIT NUMBER	#21114

LOT SIZE	4,000 SF
BUILDING COVERAGE:	
ALLOWABLE BUILDING COVERAGE	3,200 SF or 80%
(E) BUILDING COVERAGE	3,981 SF or 99.5%
(P) BUILDING COVERAGE	3,981 SF or 99.5%
(E) FLOOR AREA:	
LEVEL 1	1,843 SF
LEVEL 2	3,794 SF
LEVEL 3	929 SF
ROOF	338 SF
TOTAL	6,904 SF
(P) FLOOR AREA:	
BASEMENT	1,061 SF
LEVEL 1	1,602 SF
LEVEL 2	3,792 SF
LEVEL 3	1,172 SF
ROOF	338 SF
TOTAL	7,965 SF

(E) FLOOR AREA RATIO	
LEVEL 1	1,843 SF
LEVEL 2	3,794 SF
LEVEL 3	929 SF
ROOF	338 SF
TOTAL	6,904 SF or 172%
(F) FLOOR AREA RATIO:	
LEVEL 1	1,608 SF
LEVEL 2	3,791 SF
LEVEL 3	1,167 SF
ROOF	338 SF
TOTAL	6,904 SF or 172%

OWNER	DOLORES & 7TH, LLC C/O ARCHITECT
ARCHITECT	STUDIO CARVER ARCHITECTS P.O. Box 2684, Carmel, CA 93921 Phone: (831) 624-2304 E-mail: robert@studiocarver.com Contact: Robert Carver, AIA, LEED AP
SURVEYOR	WHITSON ENGINEERS 6 Harris Court, Monterey, CA 93940 Phone: (831) 648-5225 E-mail: thannah@whitsonengineers.com Contact: Tom Hannah
CONTRACTOR	MCMAHAN CONSTRUCTION PO Box 3808, Carmel, CA 93921 Phone: (831) 915-1505 E-mail: johnmcmahan@me.com Contact: John McMaham
STRUCTURAL	ZFA STRUCTURAL ENGINEERS 801 Montgomery St., San Francisco, CA 94111 Phone: (415) 243-4091 E-mail: jason@zfa.com Contact: Jason Powers, PE, LEED AP

ELECTRICAL **AURUM ENGINEERING**
60 Garden Ct., Ste 210, Monterey, CA 93940
Phone: (831) 646-3330
Email: steve@acemb.com
Contact: Steve Cate

MECHANICAL

MONTEREY ENERGY GROUP
26465 Carmel Rancho Blvd. #8, Carmel, CA 93923
Phone: (831)-372-8328
E-mail: dave@meg4.com
Contact: David Knight

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△ REVISION #
1 12/17/2020 Revision 1

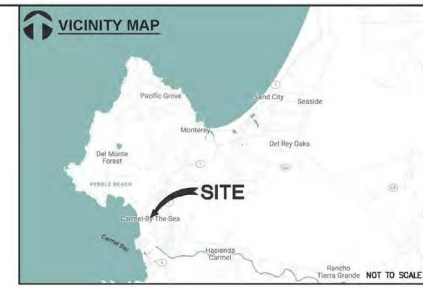
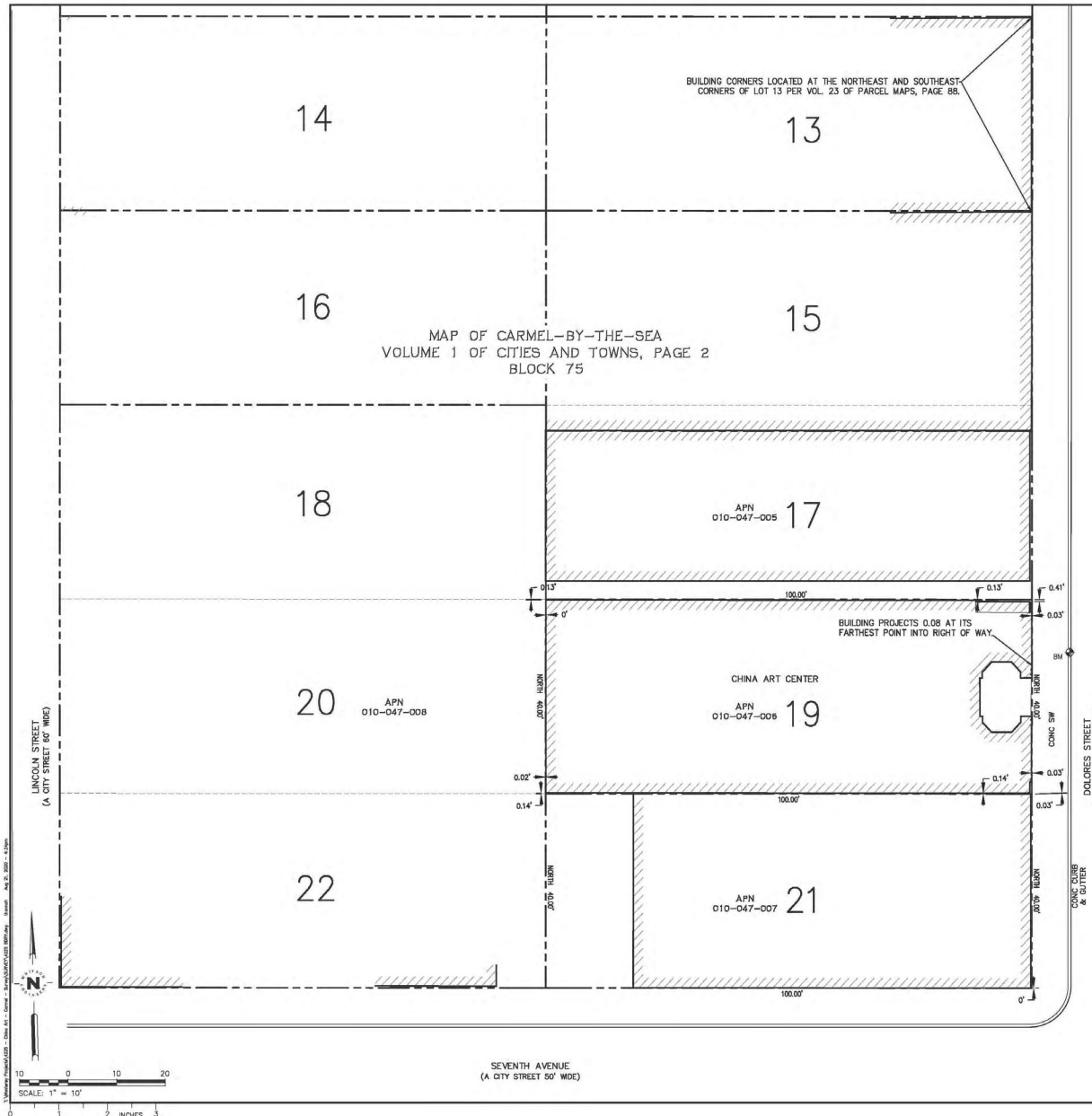
ARCHITECTURAL
COVER SHEET

Scale: As indicated
@ 24x36
Drawn By: DP
Job: 2014

G1.0

10/7/2021

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- TOPOGRAPHIC MAP NOTES:**
1. THIS MAP REPRESENTS A LIMITED TOPOGRAPHIC SURVEY PERFORMED BY WHITSON ENGINEERS ON AUGUST 6, 2020.
 2. THIS MAP PORTRAYS THE SITE AT THE TIME OF THE SURVEY AND DOES NOT SHOW SOILS OR GEOLOGIC INFORMATION, UNDERGROUND CONDITIONS, EASEMENTS, ZONING OR REGULATORY INFORMATION OR ANY OTHER ITEMS NOT SPECIFICALLY REQUESTED BY THE CLIENT.
 3. BOUNDARY LOCATIONS SHOWN HEREON WERE DETERMINED WITH THE BENEFIT OF A FIELD SURVEY OF LONG STANDING PHYSICAL IMPROVEMENTS ALONG THE SIDELINES OF DOLORES STREET, LINCOLN STREET, SEVENTH AVENUE, AND THE BUILDINGS THAT ARE SHOWN HEREON, IN CONJUNCTION WITH RECORD DATA AS SHOWN ON THAT MAP OF "CARMEL-BY-THE-SEA" DATED MARCH 7, 1992 AND ON FILE IN VOLUME 1 OF CITIES AND TOWNS, MONTEREY COUNTY RECORDS. THESE IMPROVEMENTS WERE FOUND TO VERY CLOSELY CORRELATE TO THE DIMENSIONS AS SHOWN ON SAID MAP. THE MAP DOES NOT INDICATE ANY MONUMENTS HAVING BEEN SET TO MARK THE CORNERS OF THE LOTS OR BLOCKS SHOWN. NO MONUMENTS, ORIGINAL OR OTHERWISE, WERE RECOVERED IN THE COURSE OF THIS SURVEY.
 4. THE BUILDING LOCATIONS SHOWN REPRESENT THE "FOOTPRINT". LOCATION OF EAVE OVERHANGS, DOWNSPOUTS, GUTTERS, ETC. WAS NOT WITHIN THE SCOPE OF THIS SURVEY. THIS IS NOT AN ALTA SURVEY.
 5. DISTANCES AND DIMENSIONS SHOWN ARE EXPRESSED IN FEET AND DECIMALS THEREOF, UNLESS OTHERWISE NOTED.
 6. BENCHMARK: SET MAG IN CONCRETE CURB. ELEVATION: 79.81' (ASSUMED)
 7. LOCATION OF UNDERGROUND UTILITIES WAS NOT WITHIN THE SCOPE THIS SURVEY.

- LEGEND**
- SUBJECT PROPERTY LINE
 - - - ADJACENT PROPERTY LINE
 - - - CENTER LINE
 - △200 CONTROL POINT
 - ⊕ BM BENCHMARK

- ABBREVIATIONS**
- B PLUS OR MINUS; APPROX
 - AT
 - CONC CONCRETE
 - SW SIDEWALK
 - BM BENCHMARK



SUBMITTAL / REVISION

CHINA ART CENTER
DOLORES STREET . 2 NORTHWEST OF SEVENTH AVENUE
Carmel-by-the-Sea, California
LIMITED TOPOGRAPHIC SURVEY
APN 010-047-006



SCALE: 1" = 10'
DRAWN: ECP
JOB No.: 4225
SHEET
G1.2
OF 1



SITE PHOTO



(P) ENTRY DOORS

PROPOSED RENDERING



SITE PHOTO



PROPOSED RENDERING

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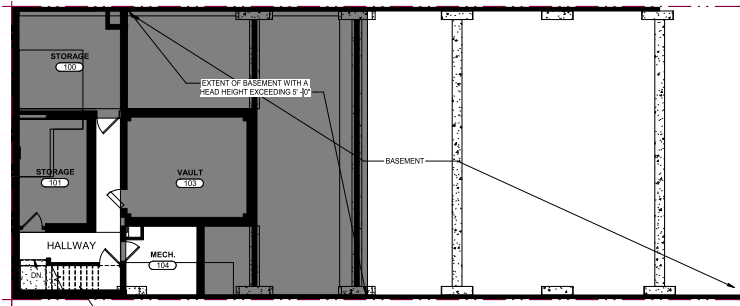
REVISION #

ARCHITECTURAL
SITE PHOTOS &
RENDERING

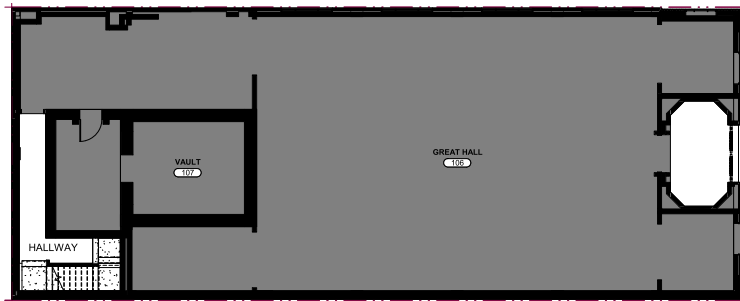
Scale: @ 24'x36'
Drawn By: CP
Job: 2014

G1.8
10/7/2021

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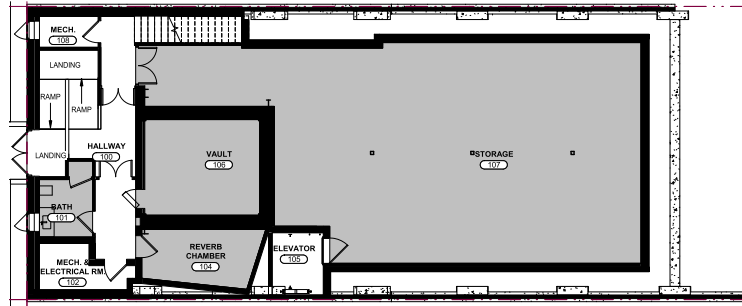
EXISTING LEVEL 1



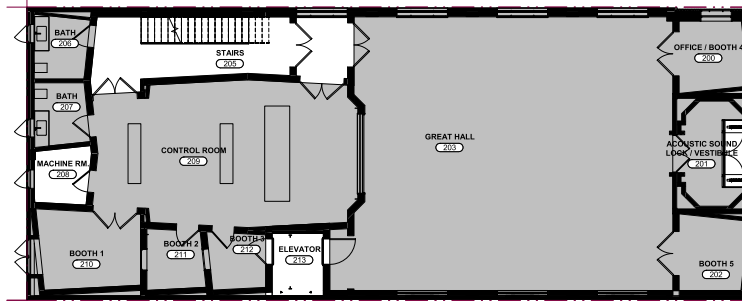
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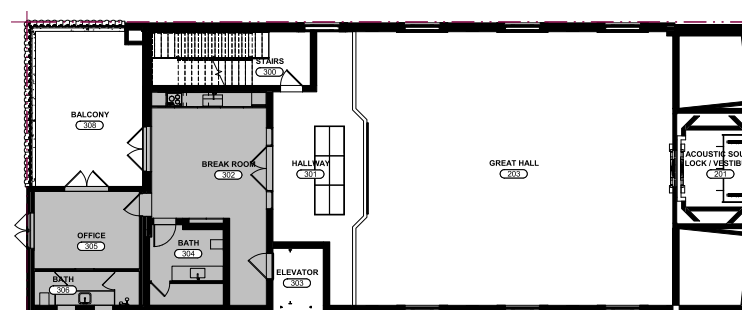
EXISTING LEVEL 3



PROPOSED LEVEL 1 / BASEMENT



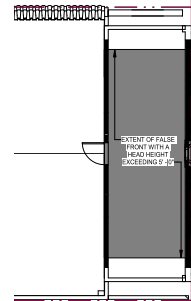
PROPOSED LEVEL 2



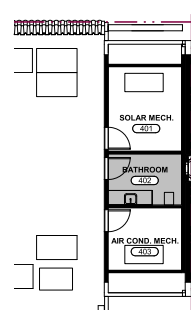
PROPOSED LEVEL 3

MPWMD FLOOR AREA

EXISTING	
LEVEL 1	1,571 SF
LEVEL 2	3,690 SF
LEVEL 3	924 SF
ROOF	338 SF
TOTAL	6,523 SF
PROPOSED	
LEVEL 1 / BASEMENT	2,117 SF
LEVEL 2	3,464 SF
LEVEL 3	826 SF
ROOF	70 SF
TOTAL	6,477 SF



EXISTING ROOF



PROPOSED ROOF

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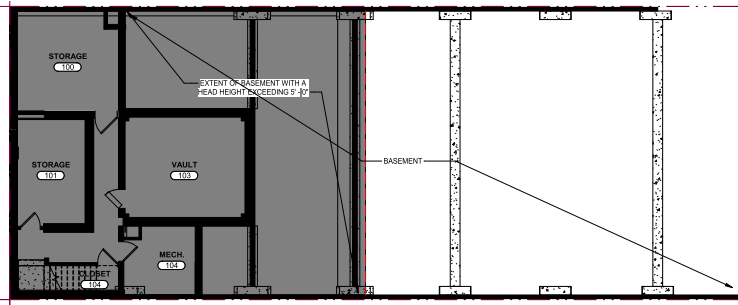
REVISION #

ARCHITECTURAL
MPWMD EXHIBIT

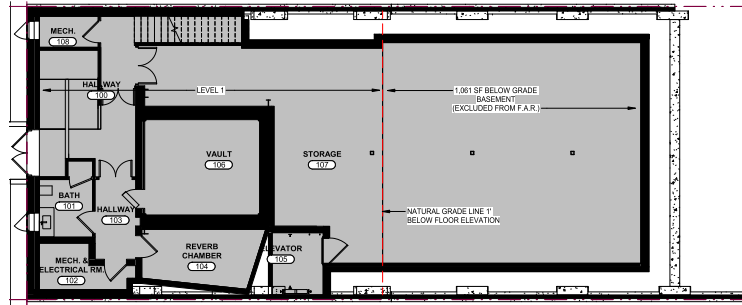
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@ 24x36
Drawn By: DP
Job: 2014

G1.10
10/7/2021

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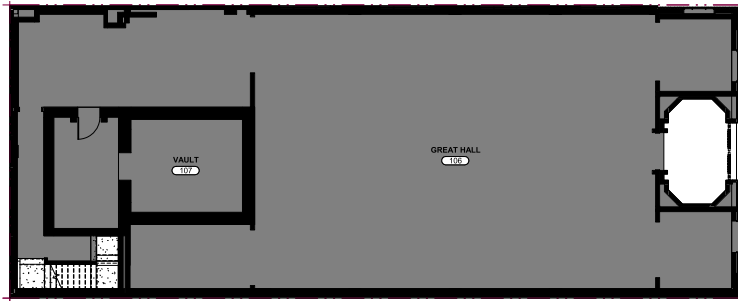


EXISTING LEVEL 1

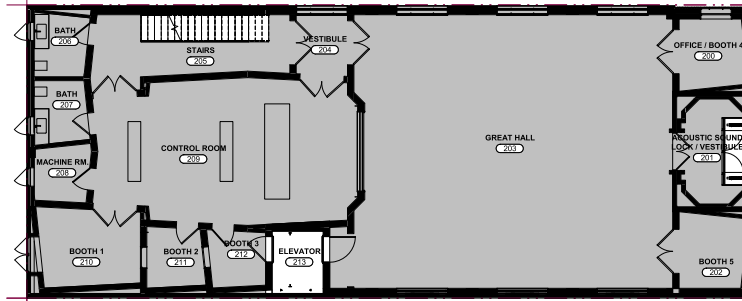


PROPOSED LEVEL 1 / BASEMENT

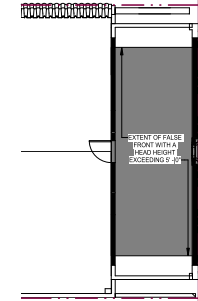
FLOOR AREA RATIO	
ALLOWABLE FAR	5,400 or 135%
(E) FLOOR AREA RATIO	
LEVEL 1	1,843 SF
LEVEL 2	3,794 SF
LEVEL 3	929 SF
ROOF	338 SF
TOTAL	6,904 SF or 172%
(P) FLOOR AREA RATIO:	
LEVEL 1	1,806 SF
LEVEL 2	3,791 SF
LEVEL 3	1,167 SF
ROOF	338 SF
TOTAL	6,904 SF or 172%



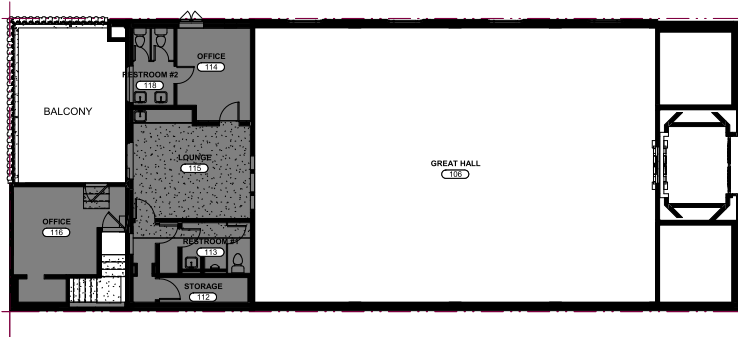
EXISTING LEVEL 2



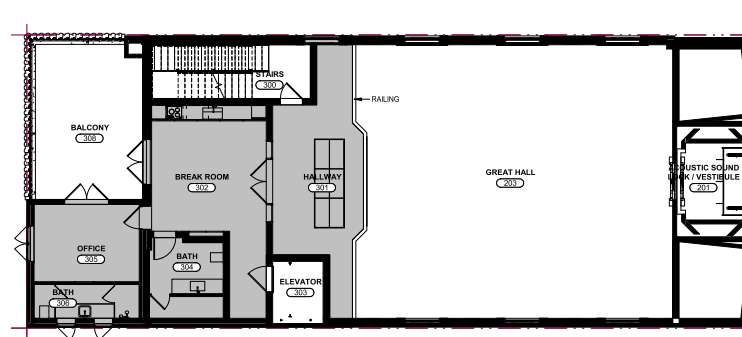
PROPOSED LEVEL 2



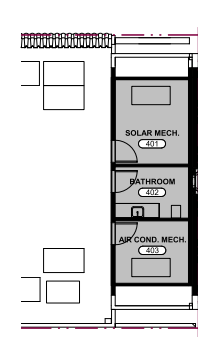
EXISTING ROOF



EXISTING LEVEL 3



PROPOSED LEVEL 3



PROPOSED ROOF

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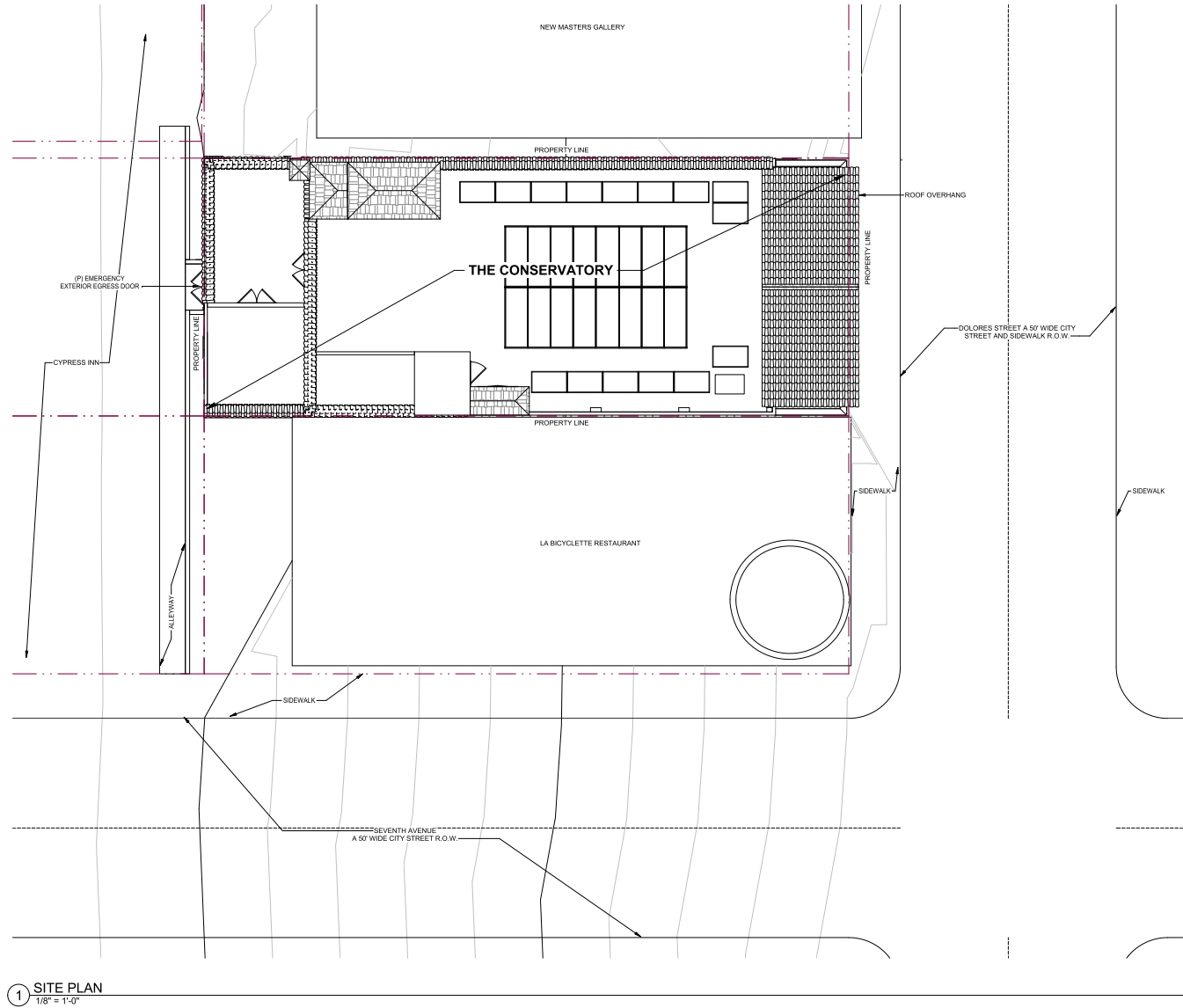
ARCHITECTURAL
FLOOR AREA
RATIO EXHIBIT

Scale: 1/8" = 1'-0"
@ 24x36
Drawn By: DP
Job: 2014

G1.11

10/7/2021

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ARCHITECTURAL
SITE PLAN

Scale: 1/8" = 1'-0"

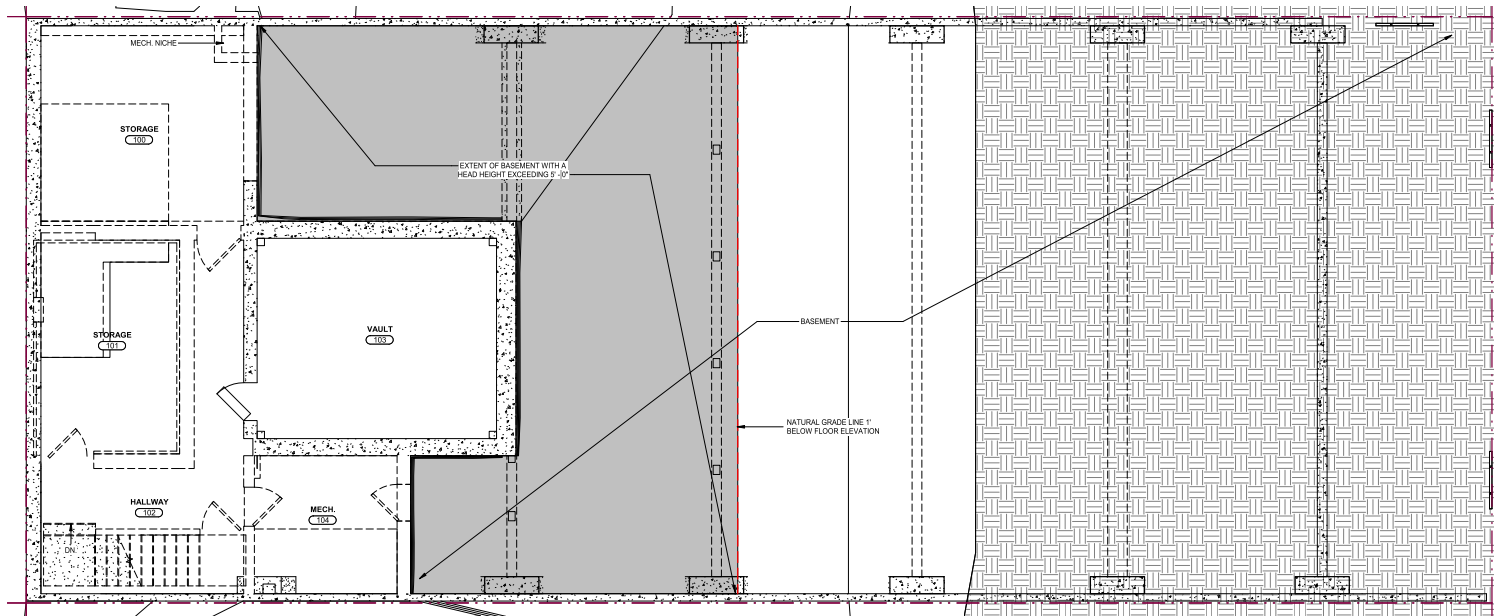
Drawn By: DP

Job: 2014

A1.0

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- DEMOLITION NOTES**
- NEW WALL
 - EXISTING WALL TO REMAIN
 - EXISTING DOOR TO REMAIN
 - EXISTING WALL TO REMOVE
 - EXISTING DOOR TO BE DEMOLISHED

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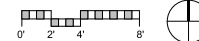


REVISION #

ARCHITECTURAL
LEVEL 1
EXISTING / DEMO
FLOOR PLAN

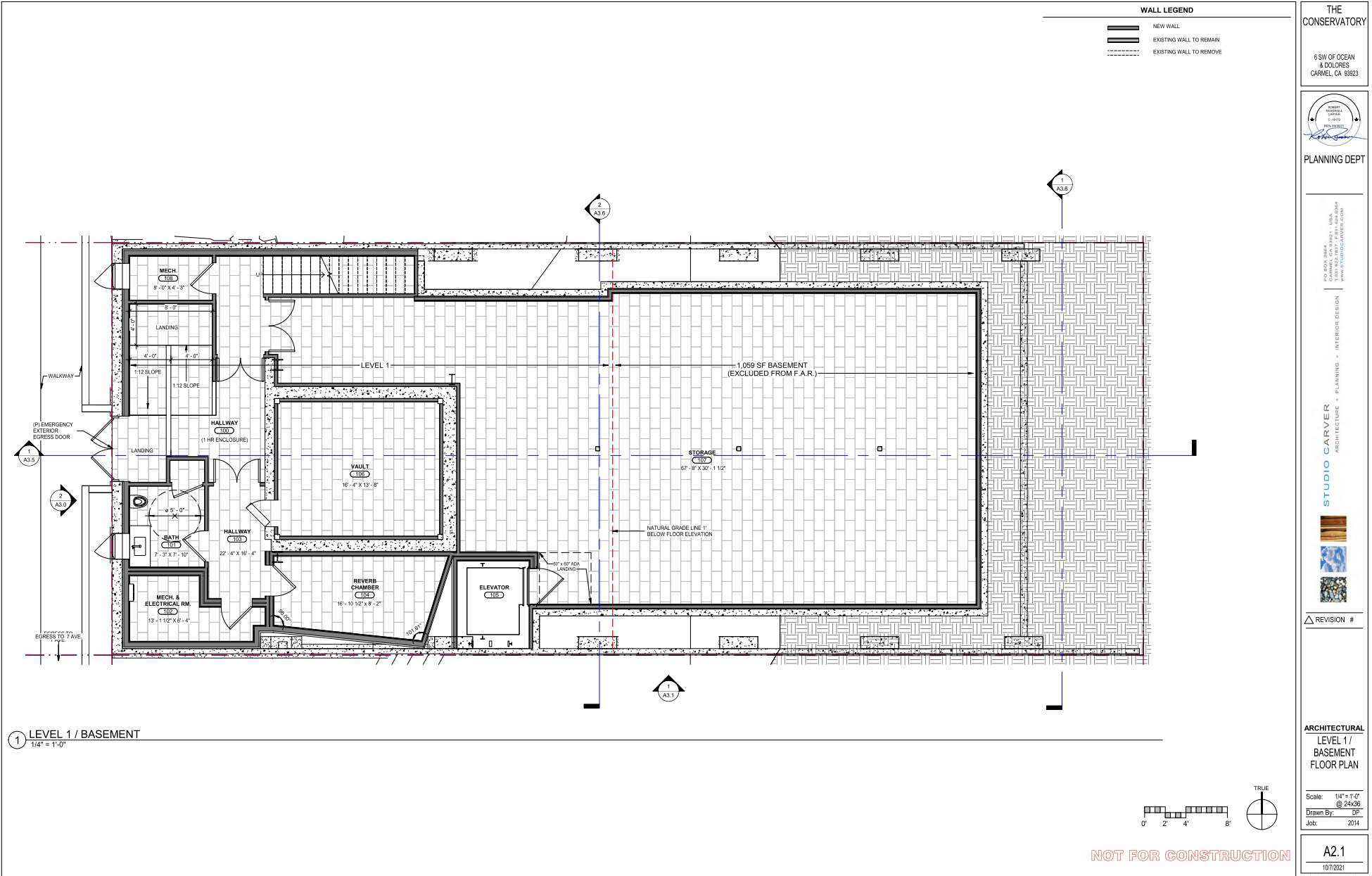
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@ 24x36
Drawn By: DP
Job: 2014

A2.0
10/7/2021

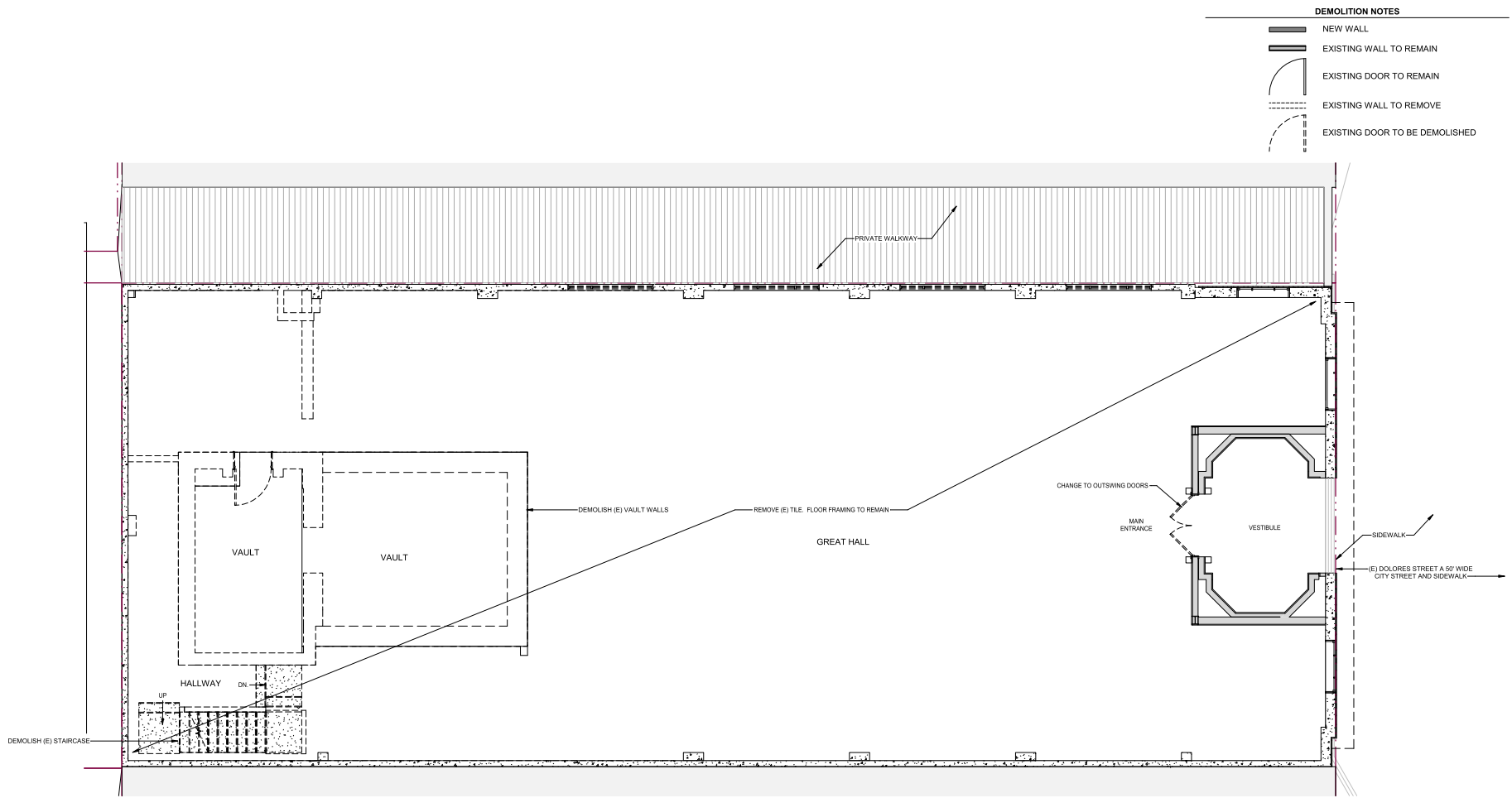


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REVISION #

REVISION #	DATE	DESCRIPTION
2	01/10/2021	BP 20-487 Revision

ARCHITECTURAL

LEVEL 2

EXISTING / DEMO

FLOOR PLAN

Scale: 1/4" = 1'-0"

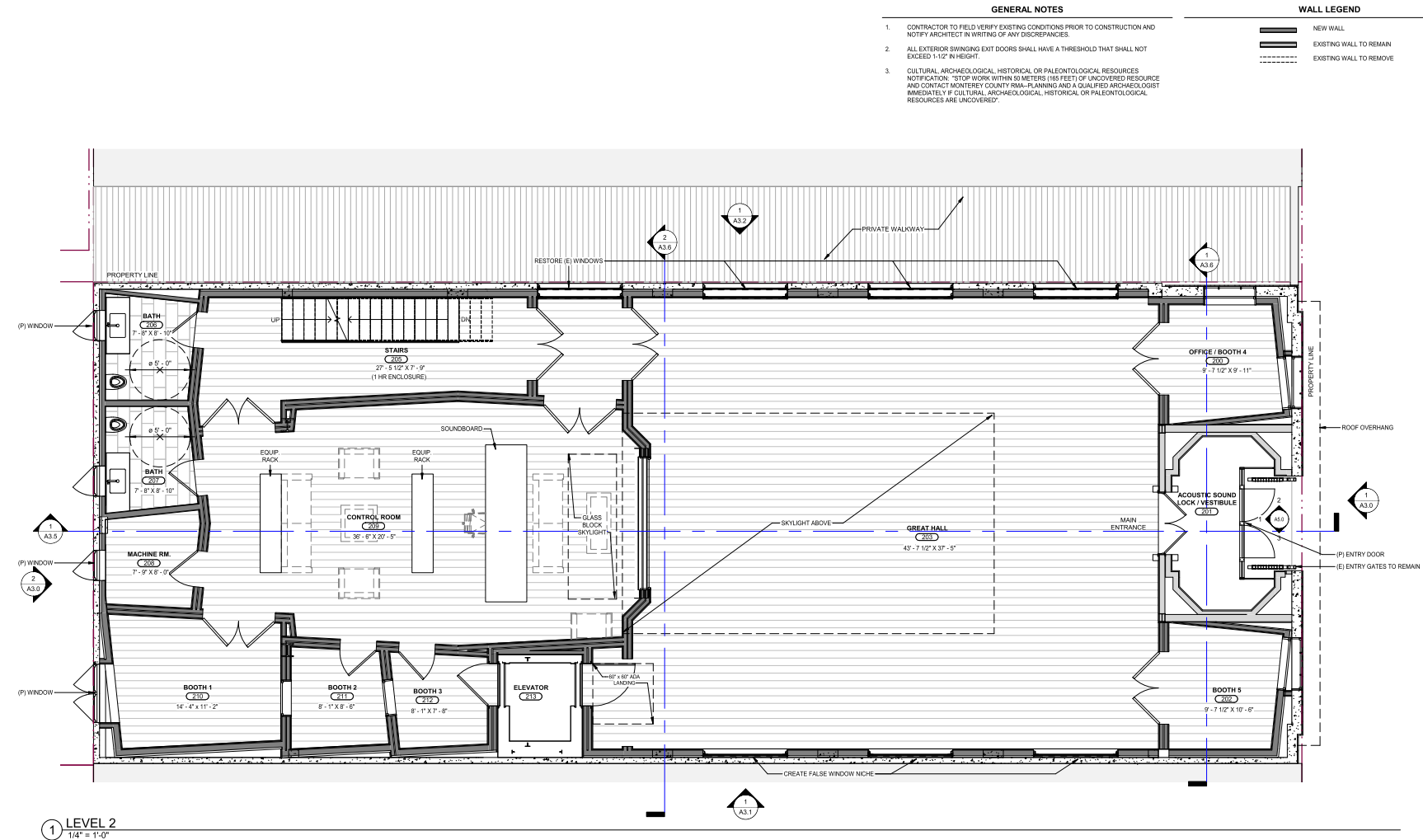
Drawn By: DP

Job: 2014

A2.3

10/7/2021

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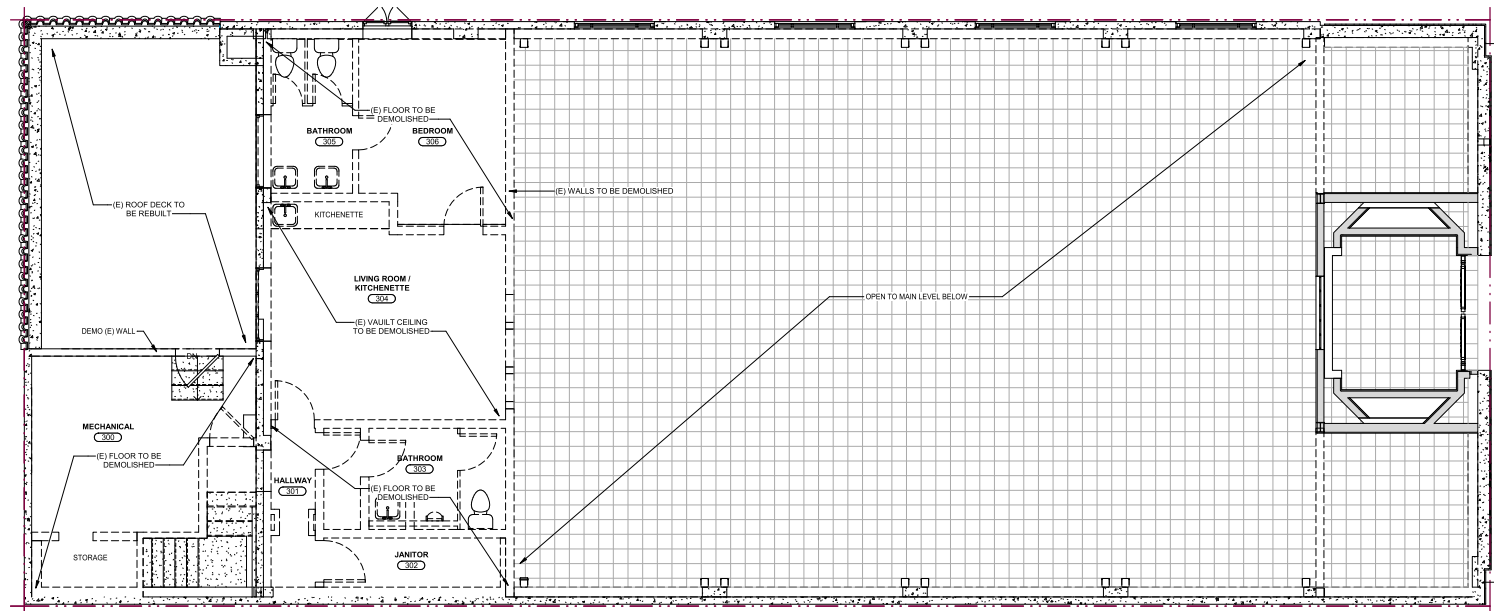
REVISION #

ARCHITECTURAL
LEVEL 2 FLOOR
PLAN

Scale: As indicated
@ 24/36
Drawn By: DP
Job: 2014

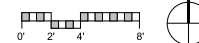
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10/7/2021

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- DEMOLITION NOTES**
- NEW WALL
 - EXISTING WALL TO REMAIN
 - EXISTING DOOR TO REMAIN
 - EXISTING WALL TO REMOVE
 - EXISTING DOOR TO BE DEMOLISHED

1 LEVEL 3 - EXISTING / DEMO
1/4" = 1'-0"



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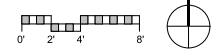
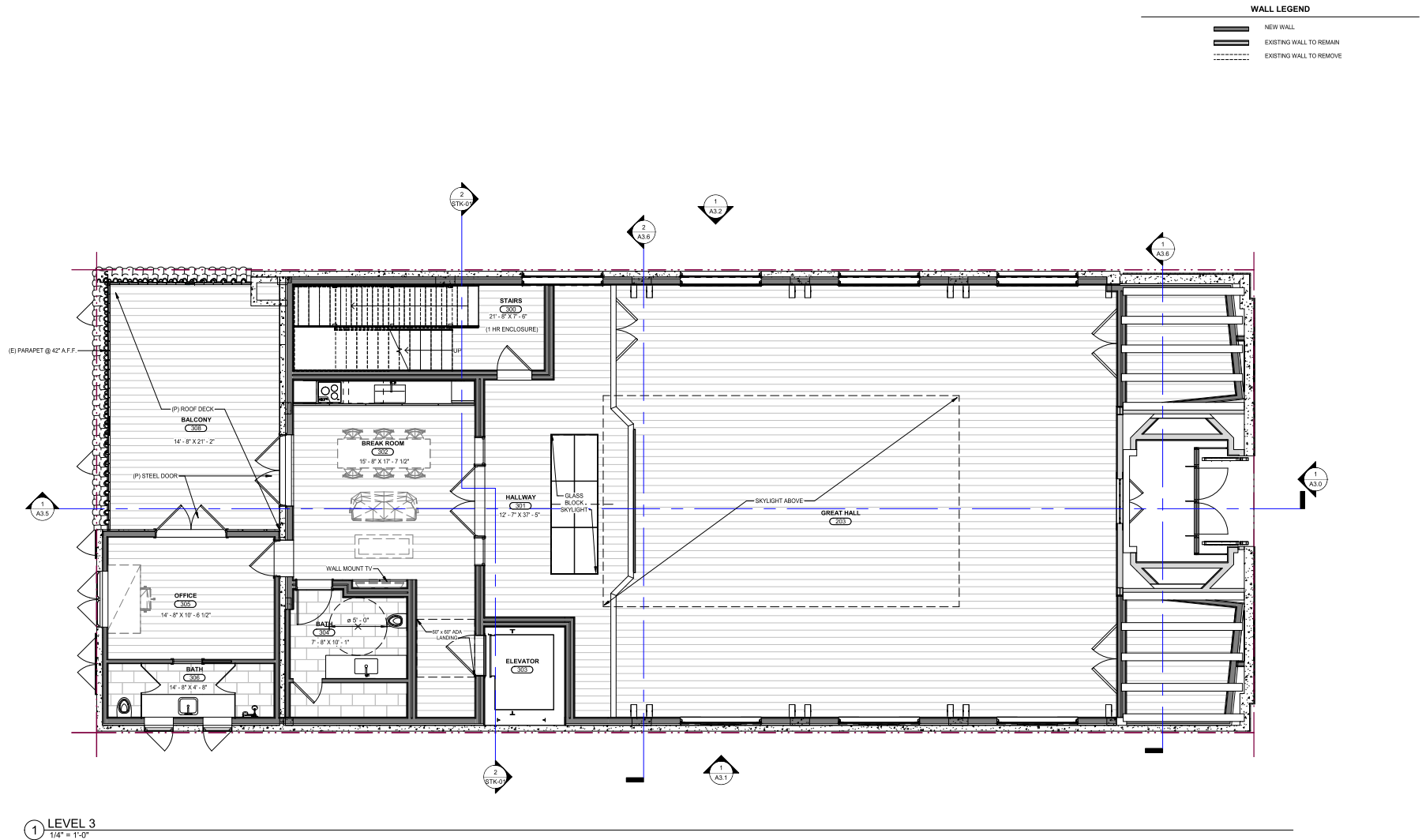
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2 01/10/2021 BP 20-487
Revision

ARCHITECTURAL
LEVEL 3
EXISTING / DEMO
FLOOR PLAN

Scale: 1/4" = 1'-0"
@ 24x36
Drawn By: DP
Job: 2014

A2.6
10/7/2021

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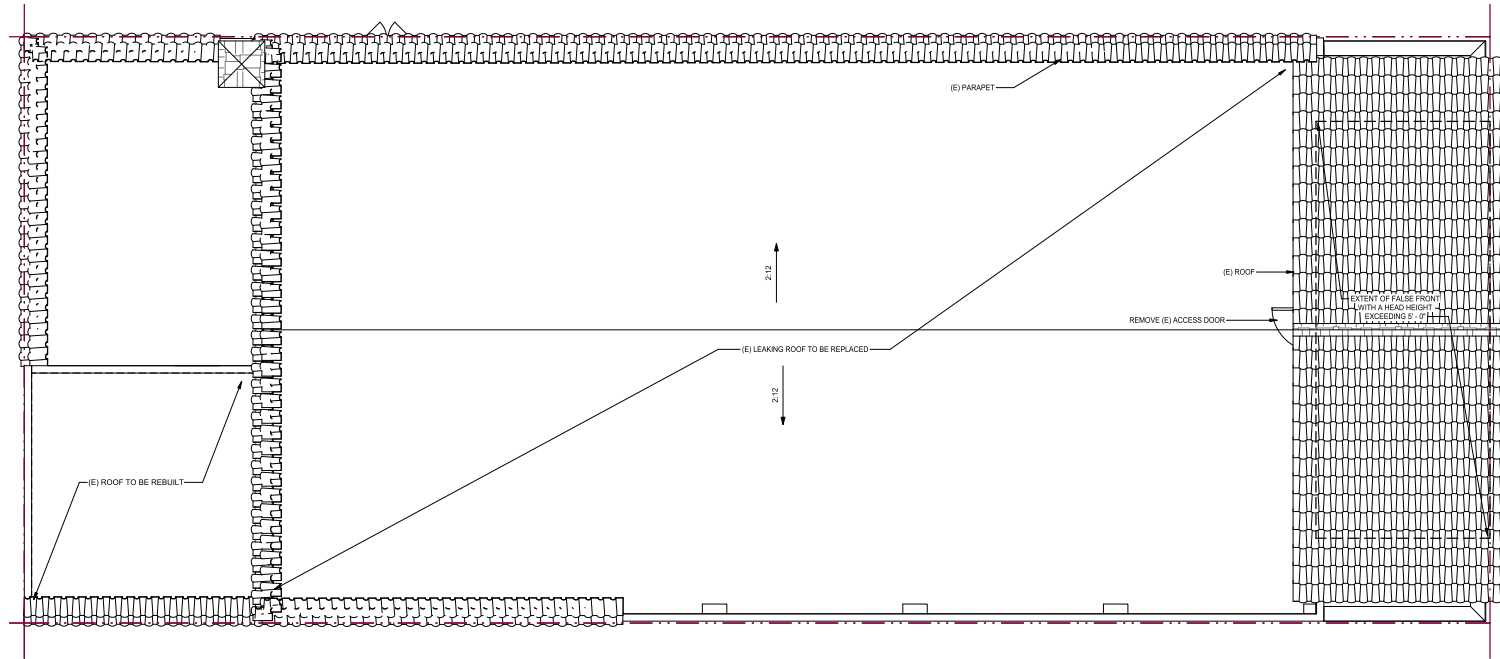
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ARCHITECTURAL
LEVEL 3 FLOOR
PLAN

Scale: 1/4" = 1'-0"
@ 24/06
Drawn By: DP
Job: 2014

A2.7
10/7/2021

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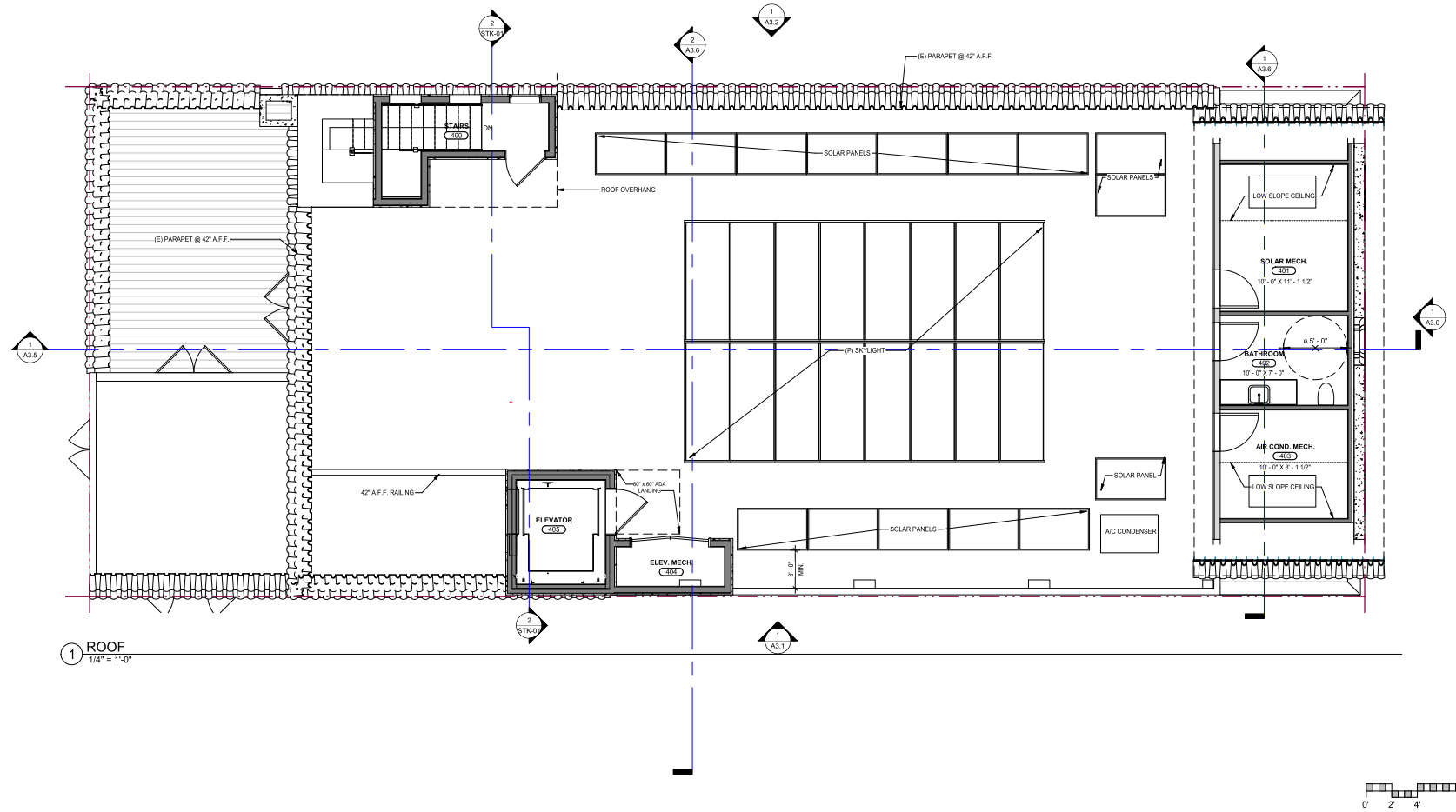
REVISION #

ARCHITECTURAL
EXISTING / DEMO
ROOF

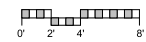
Scale: 1/4" = 1'-0"
@ 24/06
Drawn By: DP
Job: 2014

A2.9
10/7/2021

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NOT FOR CONSTRUCTION



- WALL LEGEND**
- NEW WALL
 - EXISTING WALL TO REMAIN
 - EXISTING WALL TO REMOVE

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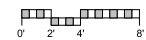
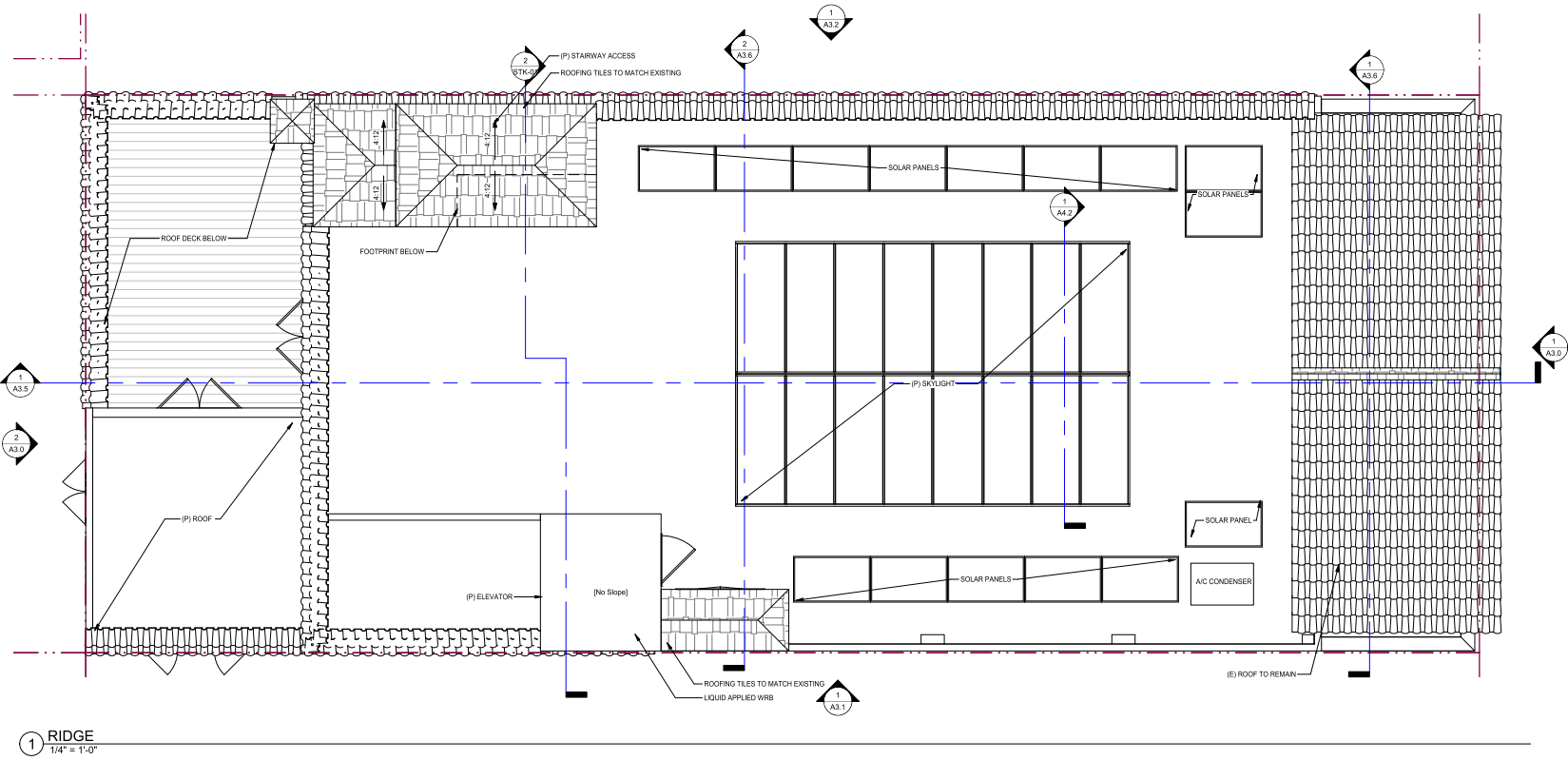
REVISION #

ARCHITECTURAL
ROOF PLAN

Scale: 1/4" = 1'-0"
Drawn By: @ 24/06
Job: 2014

A2.10
10/7/2021

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- ROOF NOTES**
1. ALL FLASHING, SHEET METAL VENT STACKS, AND PIPES SHALL BE COPPER OR PAINTED TO MATCH THE ADJACENT ROOFING MATERIAL.
 2. PIPES AND VENTS SHALL BE COMBINED FOR MINIMUM ROOF PENETRATIONS.
 3. GAS VENTS OR FLUES SHALL NOT PROJECT SIGNIFICANTLY ABOVE THE ROOF LINE. ALL ROOF ASSEMBLIES TO BE CLASS A FIRE RATED.

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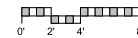
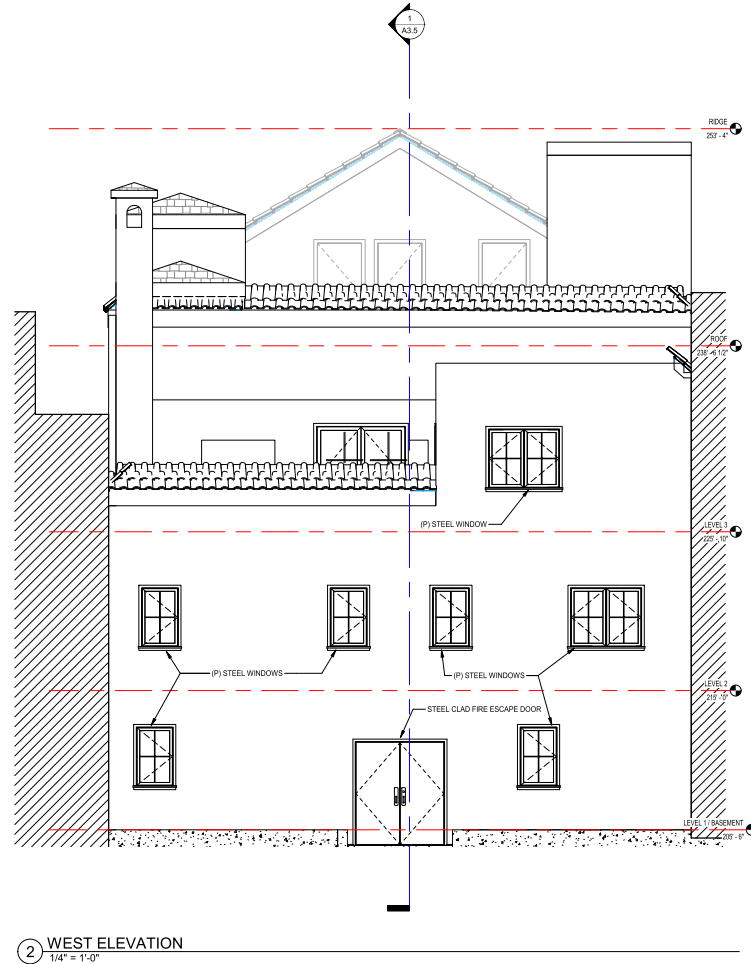
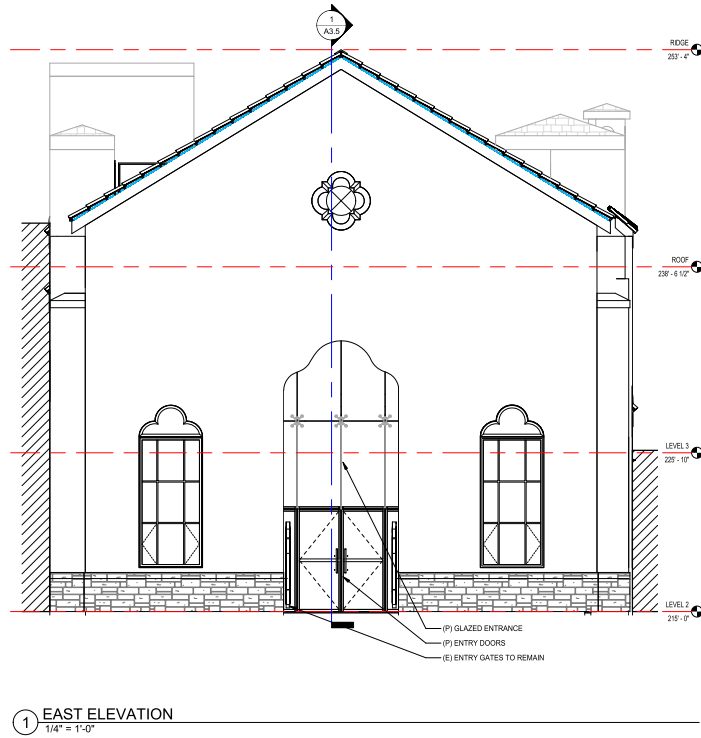
REVISION #

ARCHITECTURAL
ROOF

Scale: As indicated
@ 24x36
Drawn By: DP
Job: 2014

A2.12
10/7/2021

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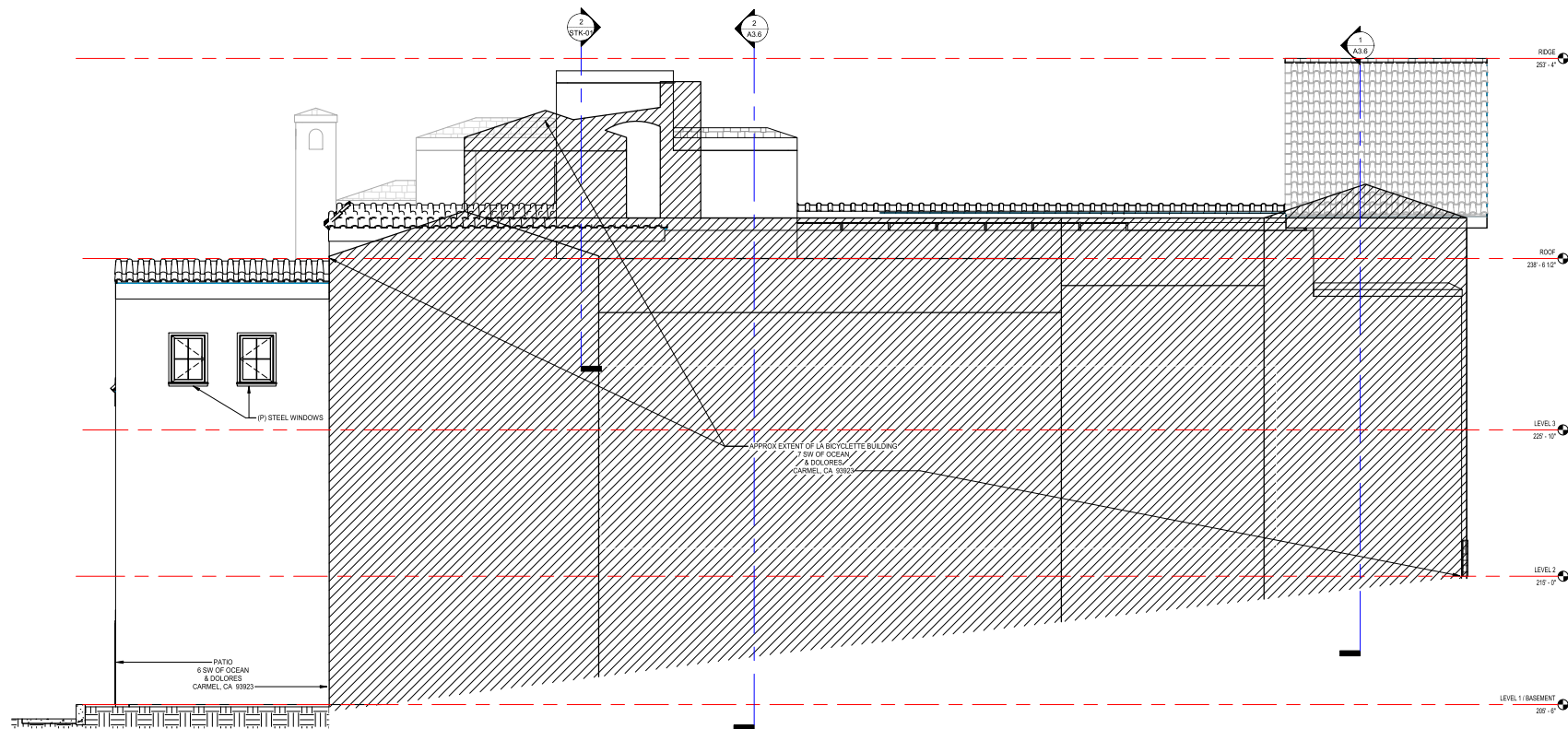
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ARCHITECTURAL
EXTERIOR
ELEVATIONS

Scale: 1/4" = 1'-0"
@ 24x36
Drawn By: DP
Job: 2014

A3.0
10/7/2021

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1 SOUTH ELEVATION
1/4" = 1'-0"

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ARCHITECTURE



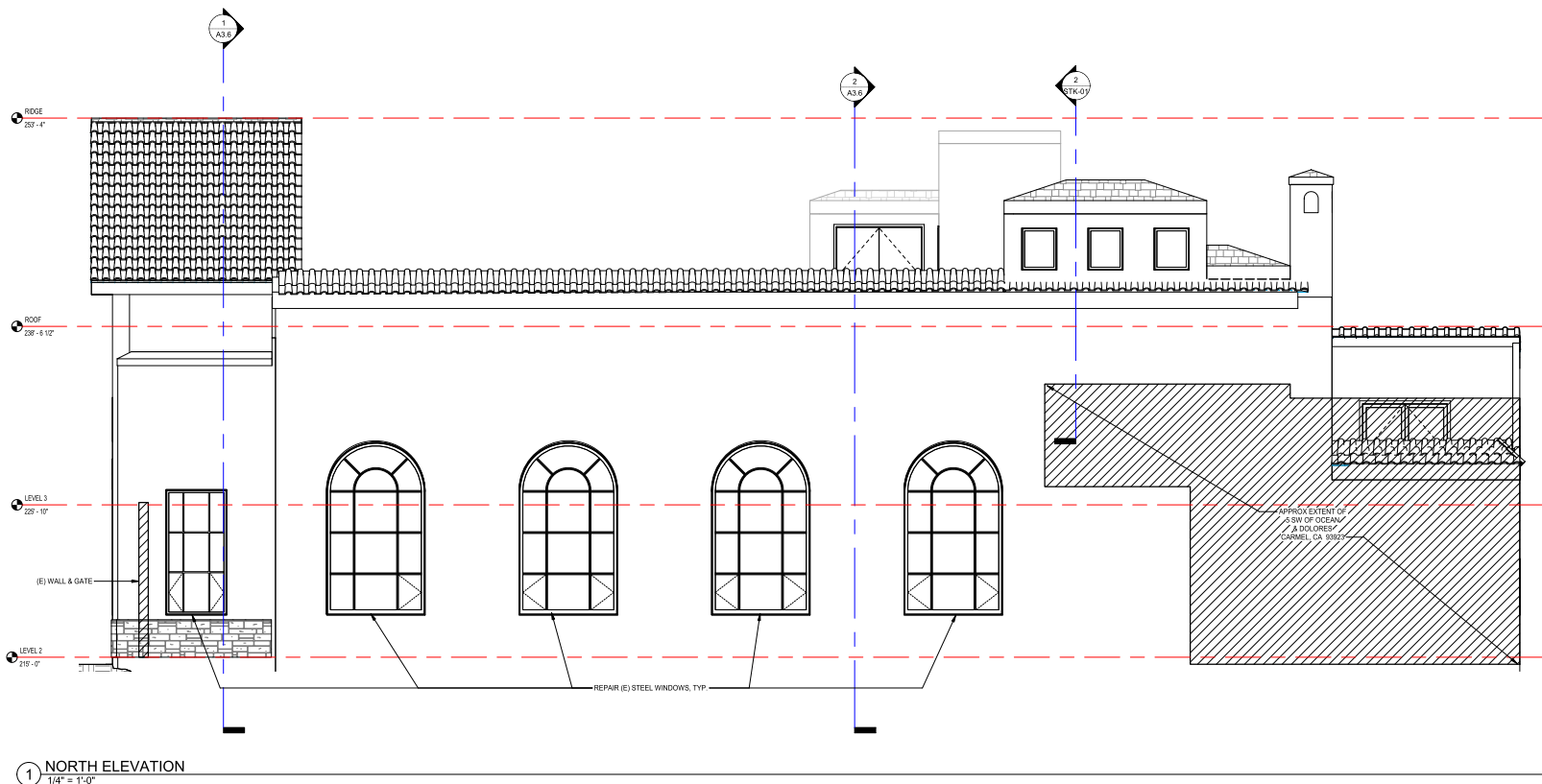
REVISION #

ARCHITECTURAL
EXTERIOR
ELEVATIONS

Scale: 1/4" = 1'-0"
@ 24x36
Drawn By: JAC
Job: 2014

A3.1
10/7/2021

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ARCHITECTURE



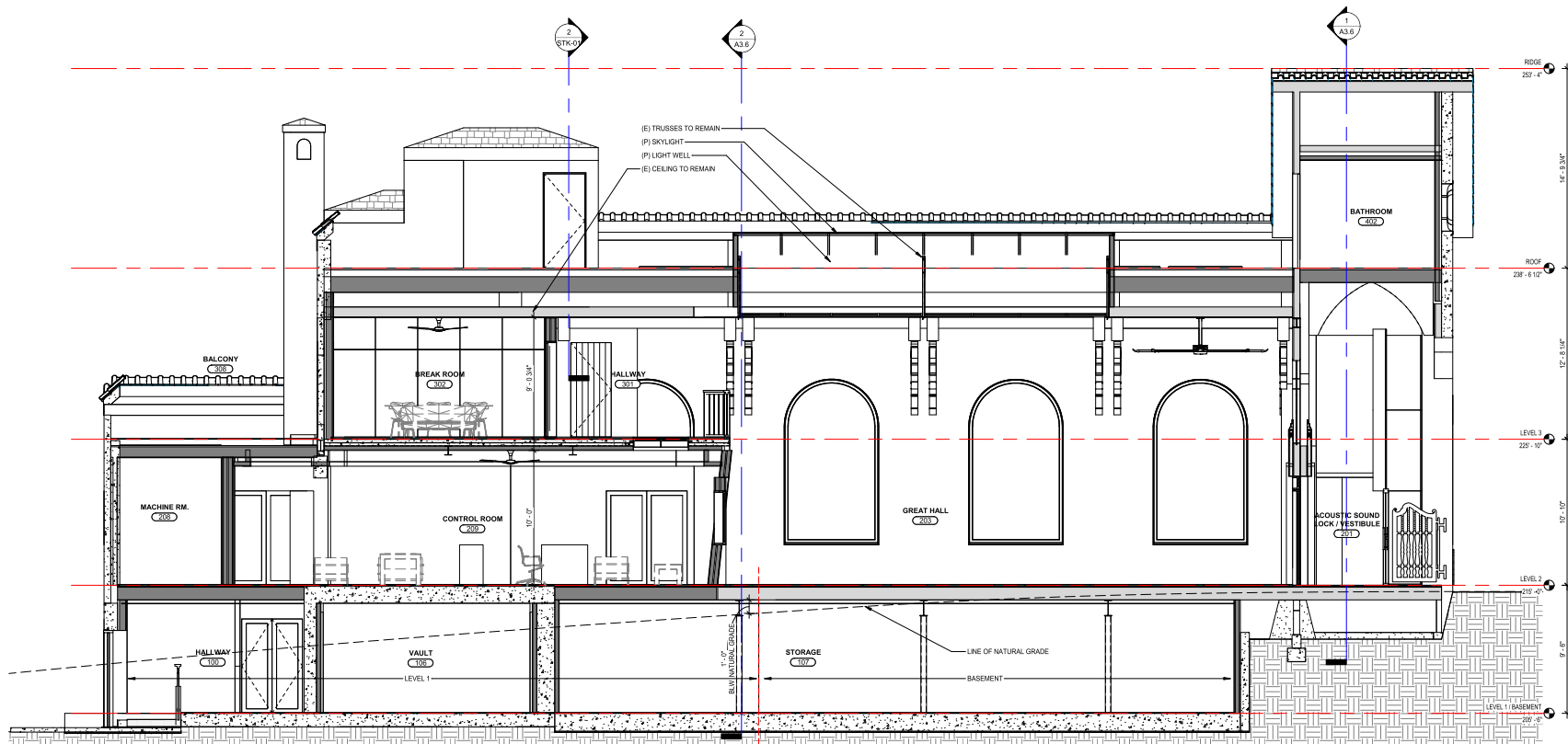
REVISION #

ARCHITECTURAL
EXTERIOR
ELEVATIONS

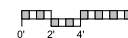
Scale: 1/4" = 1'-0"
@ 24x36
Drawn By: CP
Job: 2014

A3.2
10/7/2021

Use of these plans and specifications and the architect's name in connection with the project shall constitute an acknowledgment of the architect's responsibility for the design of these plans.



1 E/W SECTION
1/4" = 1'-0"



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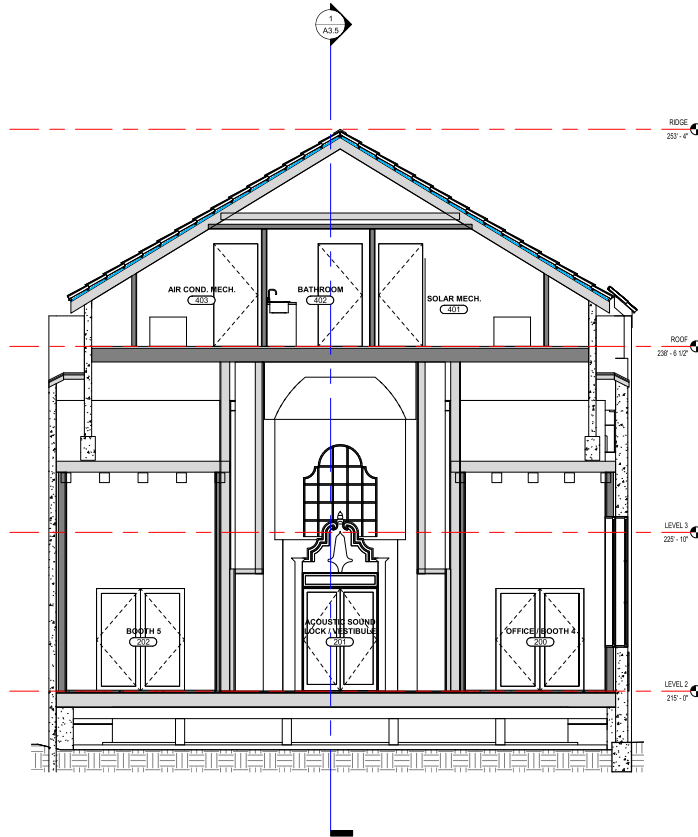
ARCHITECTURAL
BUILDING
SECTIONS

Scale: 1/4" = 1'-0"
@ 24/06
Drawn By: DP
Job: 2014

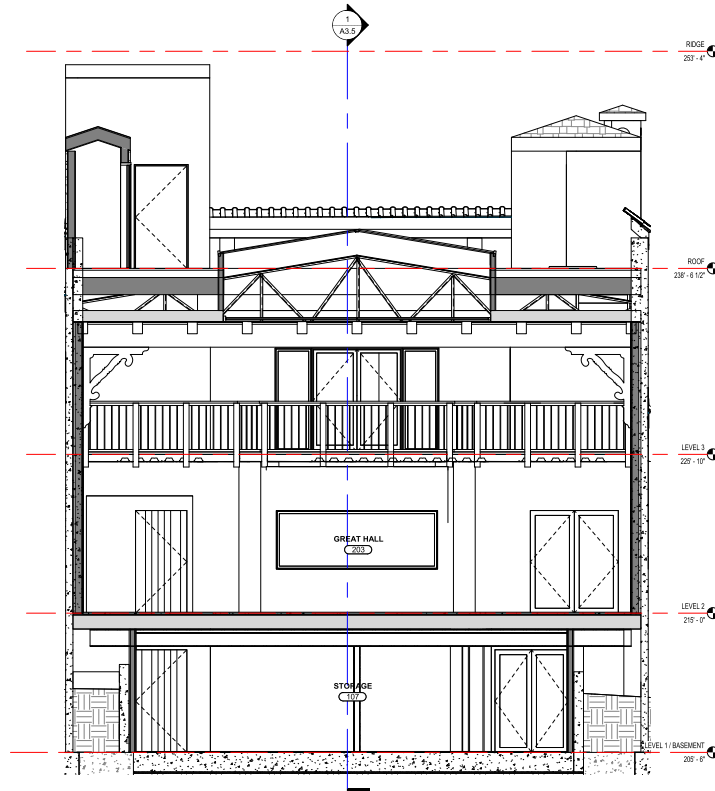
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10/7/2021

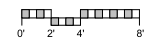
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① N/S SECTION 1
1/4" = 1'-0"



② N/S SECTION 2
1/4" = 1'-0"



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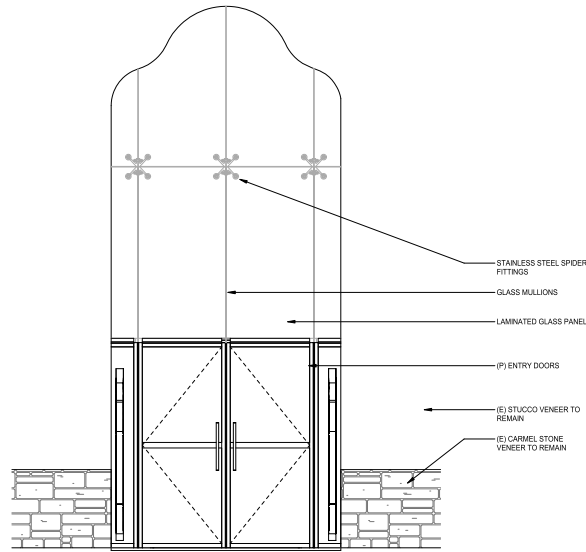
ARCHITECTURAL
BUILDING
SECTIONS

Scale: 1/4" = 1'-0"
@ 24/06
Drawn By: DP
Job: 2014

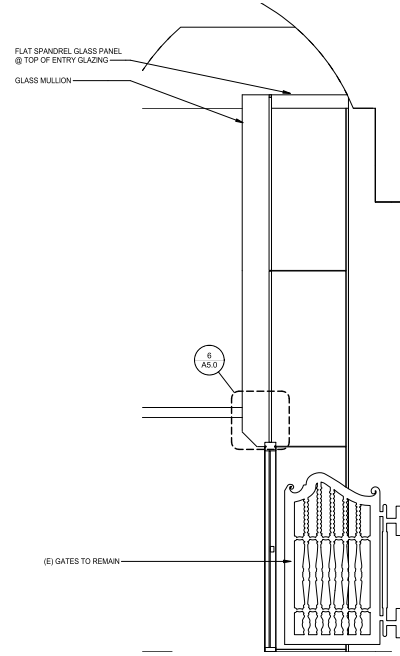
A3.6

10/7/2021

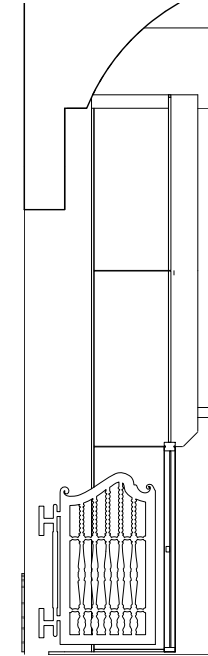
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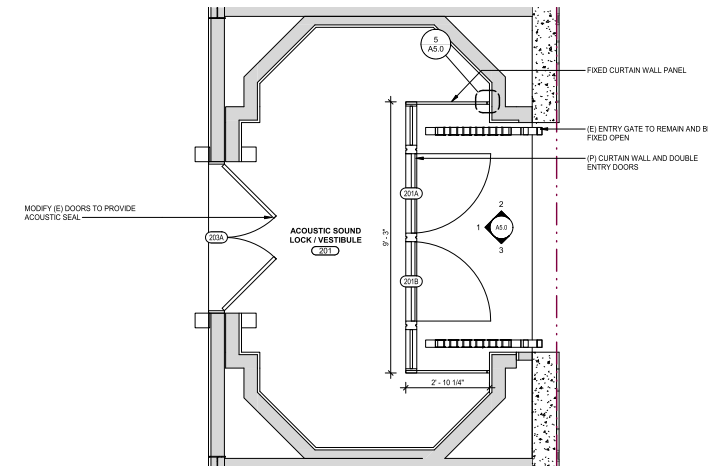
1 VESTIBULE EAST ELEVATION
1/2" = 1'-0"



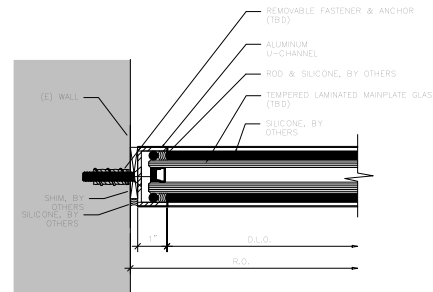
2 VESTIBULE NORTH ELEVATION
1/2" = 1'-0"



3 VESTIBULE SOUTH ELEVATION
1/2" = 1'-0"



4 ENTRY VESTIBULE
1/2" = 1'-0"



5 CONNECTION DETAIL
6" = 1'-0"



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6 STACKWALL DETAIL SAME AS SUNSET CENTER
6" = 1'-0"



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ENTRY
VESTIBULE

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@ 24/36
Drawn By: CP
Job: 2014

A5.0
10/7/2021