



CITY OF CARMEL-BY-THE-SEA FOREST AND BEACH COMMISSION Staff Report

October 8, 2020
PUBLIC HEARINGS

TO: Forest and Beach Commissioners

SUBMITTED BY: Sara Davis, City Forester

SUBJECT: Approval or denial of the Tree Pruning Permit Application to remove a limb from a coast live oak at the Southwest Corner of Fifth Avenue and Lincoln Street.

RECOMMENDATION:

Approve the Tree Pruning Permit Application, and require the in lieu fee of \$250 to replant one tree. All requirements for tree preservation are to be adhered to.

BACKGROUND/SUMMARY:

A new two story residence with a detached garage is proposed to be built at the currently vacant lot at the Southwest Corner of Lincoln Street and Fifth Avenue. The lot currently has two significant trees, a cypress and an oak. The Significant Tree Evaluation Worksheet is Attachment 1, and the site map is Attachment 2.

Due to the constraint of the site, building plans have been prepared that would require the removal of one limb from the significant oak. Removal of the limb most likely will not adversely damage the tree's health. The structure and excavation required to build the structure will be outside of the Critical Root Zone (CRZ) of both trees, but will be inside of the driplines. These excavation will be done by pneumatic excavator, hydrovac at low pressure or other method that does not sever roots. The CRZ of the oak is a circle with a radius of nine feet, and the CRZ for the cypress is fourteen feet. Attachment 3 is the proposed building foot print. Attachment 4 has photos of the site with the story polls present.

The tree density recommendation for the four thousand square foot lot is three upper canopy trees and one lower canopy tree, for a total of four trees. The lot will have space to accommodate one additional lower canopy tree after the structures are built. To meet the recommendation for four trees, the in lieu fee \$250 to plant one tree outside of this lot should be paid.

FISCAL IMPACT:

The cost of the permit application fee of \$435 has been paid.

ATTACHMENTS:

Attachment 1 - tree evaluation

Attachment 2 - site map

Attachment 3 - building footprint

Attachment 4 - photos

Significant Tree Evaluation Worksheet

Block: 54 Lot(s): 1 APN: 010-212-022 Street Location: SW Corner 5th Avenue and Lincoln Street

Planner: Evan Kort

City Forester: Sara Davis

Property Owner: Terry Russey and Paula Hazdovac

Recommended Tree Planting: 3 upper canopy and 2 lower canopy

Part One: Initial Screening:

Complete Part One to determine if further assessment is warranted. Trees must pass all criteria in Part One to be considered significant or moderately significant.

A. Does the tree pose an above-normal potential risk to life and property?

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16
YES																
NO	X	X	X	X												

Any tree with structural impairment likely to cause failure should be marked as unsafe and removed. Use page five of this worksheet to document the safety risk. Trees that have limited and specific defects that can be remedied with selective pruning or other mitigation should be marked as safe and specific recommendations should be given to the owner for tree care. Such trees may still be assessed for significance.

B. Is the tree one of the following native species on the Carmel-by-the-Sea recommended tree list?

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16
Species	MP	MC	CO	MP												
YES	X	X	X	X												
NO																

MP – Monterey pine MC – Monterey cypress BP – Bishop pine CR – Coast redwood CO – Coast live oak

CI – Catalina Ironwood CS – California sycamore BL – Big leaf maple OT – Other

(Note: Other species on the recommended tree list may be determined to be Significant Trees only if they are exceptional examples of the species. Such trees also must exhibit excellent health, form, vigor, and substantial size to rate an overall score of at least 7 points in Part Two of the assessment.)

C. Does the tree meet the minimum size criteria for significance?

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16
YES	X	X	X													
NO				X												

	Diameter	Height
Monterey pine, Monterey cypress, Bishop pine, Coast redwood	6 inches @ dbh	15 Feet
Coast live oak – single trunk tree	6 inches @ dbh	N/A
Coast live oak – cluster or multi-trunk tree measured as an average diameter of all the trunks that reach breast height	6 inches @ dbh	N/A
California sycamore, Big leaf maple, Catalina ironwood	10 inches @ dbh	25 Feet

dbh = diameter at breast height or 4.5 feet above the adjacent ground surface

Part Two: Assessment For Tree Significance

For each of the criteria below assign points as shown to assess the tree. If any criteria score is zero the assessment may stop as the tree cannot qualify as significant or moderately significant.

D. What is the health and condition of the tree?

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16
score	1	2	2													

0 points: The tree is heavily infested with pests or has advanced signs of disease that indicates the tree is declining and has very limited life expectancy.

1 point: The tree shows some pests or disease that impair its condition, but which does not immediately threaten the health of the tree. The tree may recover on its own, or with appropriate intervention.

2 points: The tree appears healthy and in good condition.

3 points: The tree shows excellent health, is free of pests and disease and is in very strong condition.

E. What is the overall form and structure of the tree?

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16
score	1	3	3													

0 points: Prior pruning, disease or growth habit have left the tree deformed or unsound to an extent that it cannot recover or will never be a visual asset to the neighborhood or will likely deteriorate into a structural hazard.

1 point: The tree has poor form or structure but (a) can recover with proper maintenance or (b) it provides visual interest in its current form, and does not have structural defects that are likely to develop into a safety hazard.

2 points: The tree has average form and structure for the species but does not exhibit all the qualities of excellent form and structure.

3 points: The tree exhibits excellent form and structure. For all species there will be a good distribution of foliage on multiple branches with no defects. For conifers, the tree will have a single straight leader with balanced branching and with good taper. Oaks will exhibit a well-developed canopy with no suppressed branches. Oaks may be single-trunked or multi-trunked and will have a balanced distribution of foliage on each trunk/branch.

F. What is the age and vigor of the tree?

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16
score	1	2	2													

0 points: The tree is over-mature or shows signs of poor or declining vigor such as die-back of major limbs or of the crown, small leaves/needles and/or minimal new growth.

1 point: The tree is mature but retains normal vigor and is likely to continue as a forest asset for a substantial period into the future.

2 points: The tree is young to middle age and shows normal vigor.

3 points: The tree is young to middle age and shows exceptional vigor.

G. Are environmental conditions favorable to the tree?

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16
score	0	1	2													

0 points: The tree is crowded or has no room for growth to maturity. The tree has poor access to light, air or has poor soil for the species.

1 point: The tree has average environmental conditions including room for growth to maturity, access to light, air and soils suitable for the species.

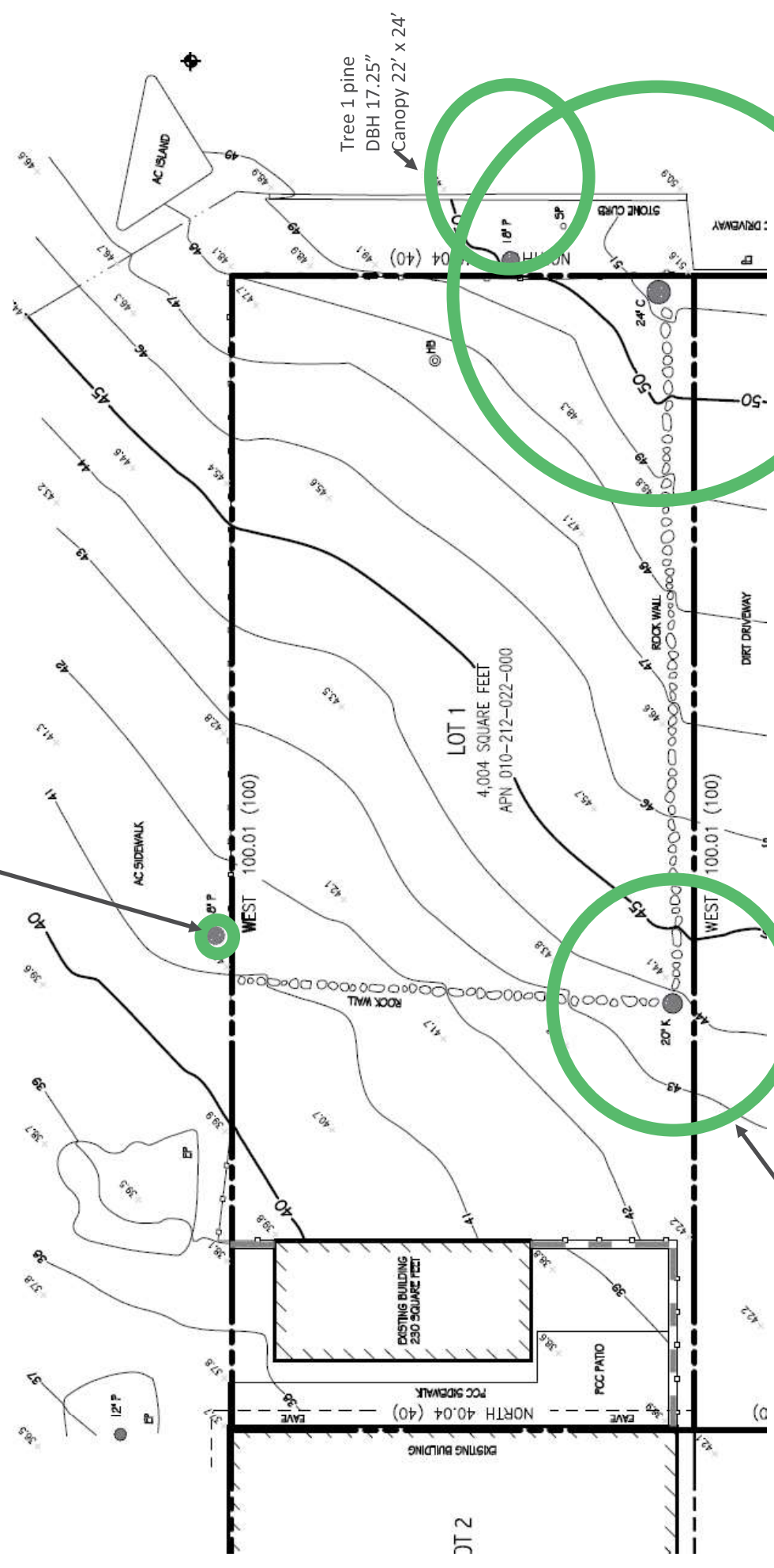
2 points: The tree has room for growth to maturity with no crowding from other significant trees or existing buildings nearby. The tree also has excellent access to light, air and excellent soils for root development.

Trees 2 and 3 have low limbs that could encroach into potential building area.

Requirements for tree preservation shall adhere to the following tree protection measures on construction site.

- Prior to grading, excavation, or construction, the developer shall clearly tag or mark all trees to be preserved.
- Excavation within 6 feet of a tree trunk is not permitted.
- No attachments or wires of any kind, other than those of a protective nature shall be attached to any tree.
- Per Municipal Code Chapter 17.48.110 no material may be stored within the dripline of a protected tree to include the drip lines of trees on neighboring parcels.
- Tree Protection Zone -- The Tree Protection Zone shall be equal to dripline or 18 inches radially from the tree for every one inch of trunk diameter at 4.5 feet above the soil line, whichever is greater. Minimum of 4 foot high transparent fencing is required unless otherwise approved by the City Forester. Tree protection shall not be resized, modified, removed, or altered in any manner without written approval. The fencing must be maintained upright and taught for the duration of the project. No more than 4 inches of wood mulch shall installed within the Tree Protection Zone. When the Tree Protection Zone is at or within the drip line, no less than 6 inches of wood mulch shall be installed 18 inches radially from the tree for every one inch of trunk diameter at 4.5 feet above the soil line outside of fencing.
- The Structural Root Zone -- Structural Root Zone shall by 6 feet from the trunk or 6 inches radially from the tree for every one inch of trunk diameter at 4.5' above the soil line, whichever is greater. Any excavation or changes to the grade shall be approved by the City Forester prior to work. Excavation within the Structural Root Zone shall be performed with pneumatic excavator, hydrovac at low pressure, or other method that does not sever roots.
- If roots greater than 2 inches in diameter or larger are encountered within the approved Structural Root Zone the City Forester shall be contacted for approval to make any root cuts or alterations to structures to prevent roots from being damaged.
- If roots larger than 2 inches in diameter are cut without prior City Forester approval or any significant tree is endangered as a result of construction activity, the building permit will be suspended and all work stopped until an investigation by the City Forester has been completed and mitigation measures have been put in place.

Tree 4 pine
DBH ~2"
Canopy 4' x 4'



Tree 1 pine
DBH 17.25"
Canopy 22' x 24'

Tree 2 cypress
DBH 28.25
Canopy 58' x 60

Tree 3 oak
DBH 18"
Canopy 32' x 30'

LOT 1
4,004 SQUARE FEET
APN 010-212-022-000

EXISTING BUILDING
230 SQUARE FEET

WEST 100.01 (100)

WEST 100.01 (100)

NORTH 40.04 (40)

NORTH 40.04 (40)

PCC SIDEWALK

PCC PATIO

DIRT DRIVEWAY

STONE CURB

AC ISLAND

AC SIDEWALK

ROCK WALL

ROCK WALL

DIRT DRIVEWAY

STONE CURB

DIRT DRIVEWAY

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SHEET TITLE:	SITE PLAN
DATE:	09-30-2020
SCALE:	1/4" = 1'-0"

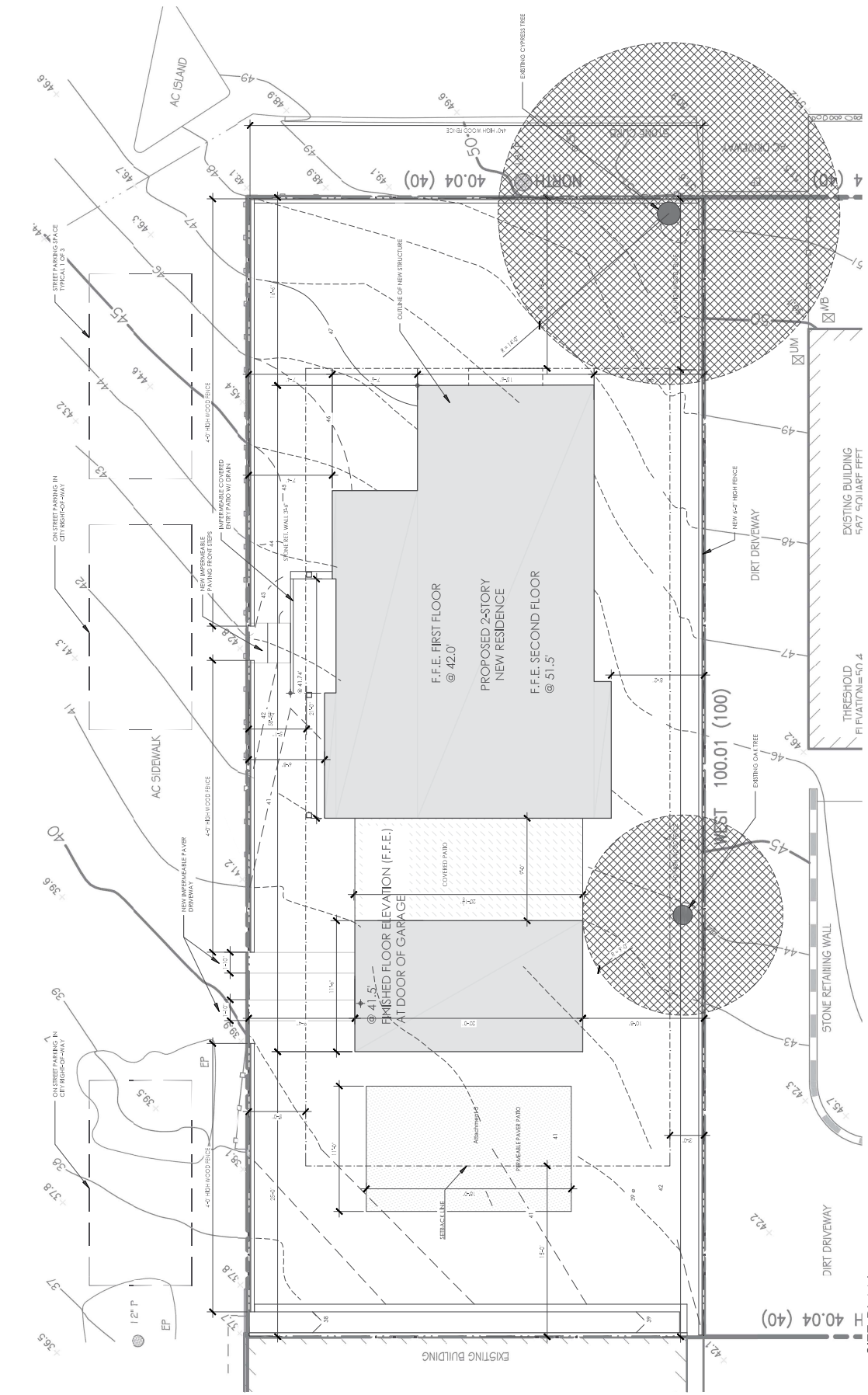
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GRADING PLAN NOTES:

- APPROXIMATE VOLUMES OF SOIL (CUT) TO BE REMOVED FOR NEW CONCRETE FOUNDATIONS ONLY AT ADDITIONAL COST TO CLIENT.
- NO CHANGES TO EXISTING SITE DRAINAGE PLAN.

SITE PLAN NOTES:

- PROJECT EXISTING TREES AS REQUIRED BY CITY CODE.
- NO CHANGES TO EXISTING SITE DRAINAGE PLAN.
- COORDINATE UTILITIES WITH LOCAL C.M.D. C.A.M.M. EXISTING UTILITIES SHALL BE SHOWN AS PROVIDED FOR REMOVAL OF THE LANDSCAPE PLANS SUBMITTED TO THE PLANNING COMMISSION FOR FINAL REVIEW.
- DEMOLITION LIMITED TO AREAS NOTED ON PLAN.
- FINISH TO DRIVE, SIDEWALK, AND DRIVEWAY SHALL BE AS SHOWN ON PLAN.
- REMOVE ALL EXISTING GRAVEL FENCING AND BRICK POSTS AND REINSTALL NEW GRAVEL FENCING AND BRICK POSTS AS SHOWN ON PLAN.
- FOR REMOVAL OF THE LANDSCAPE PLANS SUBMITTED TO THE PLANNING COMMISSION FOR FINAL REVIEW.



1 SITE PLAN
SCALE: 1/4" = 1'-0"



Southwest Corner of Lincoln Street and 5th Avenue
Limb proposed to be removed is now marked with pink tape at the site.



