

New Santa Rita Residence

Santa Rita 2 SW of 5th, Carmel, CA, 93923

GENERAL NOTES

- EXAMINATION OF THE SITE AND PORTIONS THEREOF WHICH WILL AFFECT THIS WORK SHALL BE MADE IMMEDIATELY BY THE CONTRACTOR, WHO SHALL COMPARE IT WITH THE DRAWINGS AND SATISFY HIMSELF TO CONDITIONS UNDER WHICH WORK IS TO BE PERFORMED. HE SHALL AT SUCH TIME ASCERTAIN AND CHECK LOCATIONS OF THE EXISTING STRUCTURES AND EQUIPMENT WHICH MAY AFFECT HIS WORK.
- THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS AND METHODS, ACTS OR OMISSIONS OF THE CONTRACTOR OR SUBCONTRACTOR, OR FAILURE ON ANY OF THEM TO CARRY OUT WORK IN ACCORDANCE WITH CONSTRUCTION DOCUMENTS. ANY DEFECT DISCOVERED IN CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BY WRITTEN NOTICE BEFORE PROCEEDING WITH WORK.
- ALL CONSTRUCTION WORK, MECHANICAL, PLUMBING, ELECTRICAL, ETC., AS MAY BE REQUIRED, SHALL CONFORM TO THE LATEST EDITION OF THE CALIFORNIA RESIDENTIAL CODE AND THE LATEST EDITION OF ALL GOVERNING CODES AND REGULATIONS AS ADOPTED BY THE CITY OF CARMEL. ALL WORK SHALL BE DONE IN A THOROUGH, WORKMANLIKE MANNER AND EQUAL TO THE BEST STANDARDS OF THE PRACTICE.
- DETAILS NOTED AS 'TYPICAL' SHALL APPLY IN ALL LIKE CONDITIONS UNLESS SPECIFICALLY SHOWN OR NOTED OTHERWISE. WHERE NO SPECIFIC DETAIL IS SHOWN, THE FRAMING OR CONSTRUCTION SHALL BE IDENTICAL OR SIMILAR TO THAT INDICATED FOR LIKE CASES OF CONSTRUCTION OF THIS PROJECT.
- DIMENSIONS, DETAILS, NOTES, AND/OR SYMBOLS THAT APPLY TO ONE UNIT, APPLY TO ALL UNITS IN LIKE SITUATIONS UNLESS NOTED OTHERWISE.
- ALL DIMENSIONS ON CONSTRUCTIONS DRAWINGS ARE TO FACE OF STUD (F.O.S.), OR FACE OF CONCRETE (F.O.C.), UNLESS OTHERWISE NOTED. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB. THE ARCHITECT MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS.
- THE STRUCTURE IS DESIGNED AS A STABLE UNIT AFTER ALL COMPONENTS ARE IN PLACE. THE CONTRACTOR SHALL PROVIDE ALL SHORING AND BRACING NECESSARY TO ENSURE THE STABILITY OF ANY AND ALL PARTS OF THE BUILDING DURING CONSTRUCTION.
- WORK WHICH IS OBVIOUSLY REQUIRED TO BE PERFORMED IN ORDER TO PROVIDE A COMPLETELY OPERABLE INSTALLATION WITHIN THE LIMITS AND SCOPE OF WORK, BUT WHICH MAY NOT BE SPECIFICALLY INCLUDED IN THE PLANS, SHALL BE PERFORMED BY CONTRACTOR
- THE CONTRACTOR IS RESPONSIBLE TO VERIFY LOCATION OF ALL SITE UTILITIES AND TO COORDINATE AND AVOID CONFLICT IN THE LOCATIONS OF NEW UNDERGROUND AND SITE UTILITIES.
- THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR FABRICATED ITEMS, CUT SHEETS OF ALL FIXTURES AND EQUIPMENT, AND SAMPLES OF ALL FINISHES CALLED FOR BY THE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO CONSTRUCTION AND/OR INSTALLATION.
- CONTRACTOR SHALL PERSONALLY SUPERVISE AND DIRECT THE WORK OR SHALL KEEP A COMPETENT EMPLOYEE, AUTHORIZED TO RECEIVE INSTRUCTIONS AND ACT ON THE CONTRACTOR'S BEHALF, CONTINUOUSLY ON SITE DURING WORKING HOURS.
- ALL WORK SHALL BE GUARANTEED AGAINST DEFECTS IN DESIGN, INSTALLATION AND MATERIAL FOR A MINIMUM PERIOD OF ONE YEAR FROM DATE OF COMPLETION.
- CONTRACTOR SHALL PROTECT OWNER'S AREA, NEW AND/OR EXISTING MATERIALS AND FINISHES FROM DAMAGE WHICH MAY OCCUR FROM CONSTRUCTION, DEMOLITION, DUST, WATER, ETC., AND SHALL PROVIDE AND MAINTAIN TEMPORARY BARRICADES, CLOSURE WALLS, ETC., AS REQUIRED TO PROTECT THE PUBLIC AND OWNER DURING THE PERIOD OF CONSTRUCTION. DAMAGE TO NEW AND EXISTING MATERIALS, FINISHES, STRUCTURES, AND EQUIPMENT SHALL BE REPAIRED OR REPLACED. CONTRACTOR SHALL COORDINATE TEMPORARY BARRICADES WITH OWNER PRIOR TO COMMENCEMENT OF WORK AS NECESSARY.
- THE CONTRACTOR SHALL REMOVE ALL RUBBISH AND WASTE MATERIALS OF ALL SUBCONTRACTORS AND TRADES ON A REGULAR BASIS, AND SHALL EXERCISE STRICT CONTROL OVER JOB CLEANING TO PREVENT ANY DIRT, DEBRIS OR DUST FROM AFFECTING, IN ANY WAY, FINISHED AREAS IN OR OUTSIDE THE JOB SITE.
- ALL HOSES USED IN CONNECTION WITH ANY CONSTRUCTION ACTIVITIES SHALL BE EQUIPPED WITH A NOZZLE SHUT-OFF. WHEN AN AUTOMATIC SHUT-OFF NOZZLE CAN BE PURCHASED OR OTHERWISE OBTAINED FOR THE SIZE OR TYPE OF HOSE IN USE, THE NOZZLE SHALL BE AN AUTOMATIC SHUT-OFF NOZZLE.
- NO POTABLE WATER MAY BE USED FOR COMPACTION OR DUST CONTROL PURPOSES IN CONSTRUCTION ACTIVITIES WHERE THERE IS A REASONABLY AVAILABLE SOURCE OF RECLAIMED OR OTHER SUB-POTABLE WATER APPROVED BY THE CITY OF CARMEL AND APPROPRIATE FOR SUCH USE.
- THE USE OF SOLDER CONTAINING LEAD IN MAKING JOINTS ON PRIVATE OR PUBLIC WATER SUPPLY SYSTEMS IS PROHIBITED.
- PROVIDE NON-REMOVABLE BACKFLOW DEVICES AT ALL HOSE BIBS.
- SEWER BACK WATER VALVE AND SEWER RELIEF VENT IS REQUIRED

EROSION CONTROL NOTES

- BETWEEN OCTOBER 15TH AND APRIL 15TH DISTURBED SURFACES NOT INVOLVED IN THE IMMEDIATE OPERATIONS MUST BE PROTECTED BY MULCHING AND/OR OTHER EFFECTIVE MEANS OF SOILS PROTECTION.
- RUN-OFF FROM THE SITE SHALL BE DETAINED OR FILTERED BY BERMS, VEGETATED FILTER STRIPS AND/OR CATCH BASINS TO PREVENT THE ESCAPE OF SEDIMENT FROM THE DISTURBED AREA OR SITE. THESE DRAINAGE CONTROL MEASURES MUST BE MAINTAINED BY THE CONTRACTOR AS NECESSARY TO ACHIEVE THEIR PURPOSE THROUGHOUT THE LIFE OF THE PROJECT.

FIRE NOTES

- THE BUILDING SHALL BE FULLY PROTECTED WITH AUTOMATIC FIRE SPRINKLER SYSTEM(S). INSTALLATION SHALL BE IN ACCORDANCE WITH THE APPLICABLE NFPA STANDARD. A MINIMUM OF FOUR (4) SETS OF PLANS FOR FIRE SPRINKLER SYSTEMS MUST BE SUBMITTED BY A CALIFORNIA LICENSED C-16 CONTRACTOR AND APPROVED PRIOR TO INSTALLATION. THIS REQUIREMENT IS NOT INTENDED TO DELAY ISSUANCE OF A BUILDING PERMIT.
- ALL NEW STRUCTURES, AND ALL EXISTING STRUCTURES RECEIVING NEW ROOFING OVER 50 PERCENT OR MORE OF THE EXISTING ROOF SURFACE WITHIN A ONE-YEAR PERIOD, SHALL REQUIRE A MINIMUM OF ICBO CLASS A ROOF CONSTRUCTION.

STREET ELEVATION



SANTA RITA STREET ELEVATION

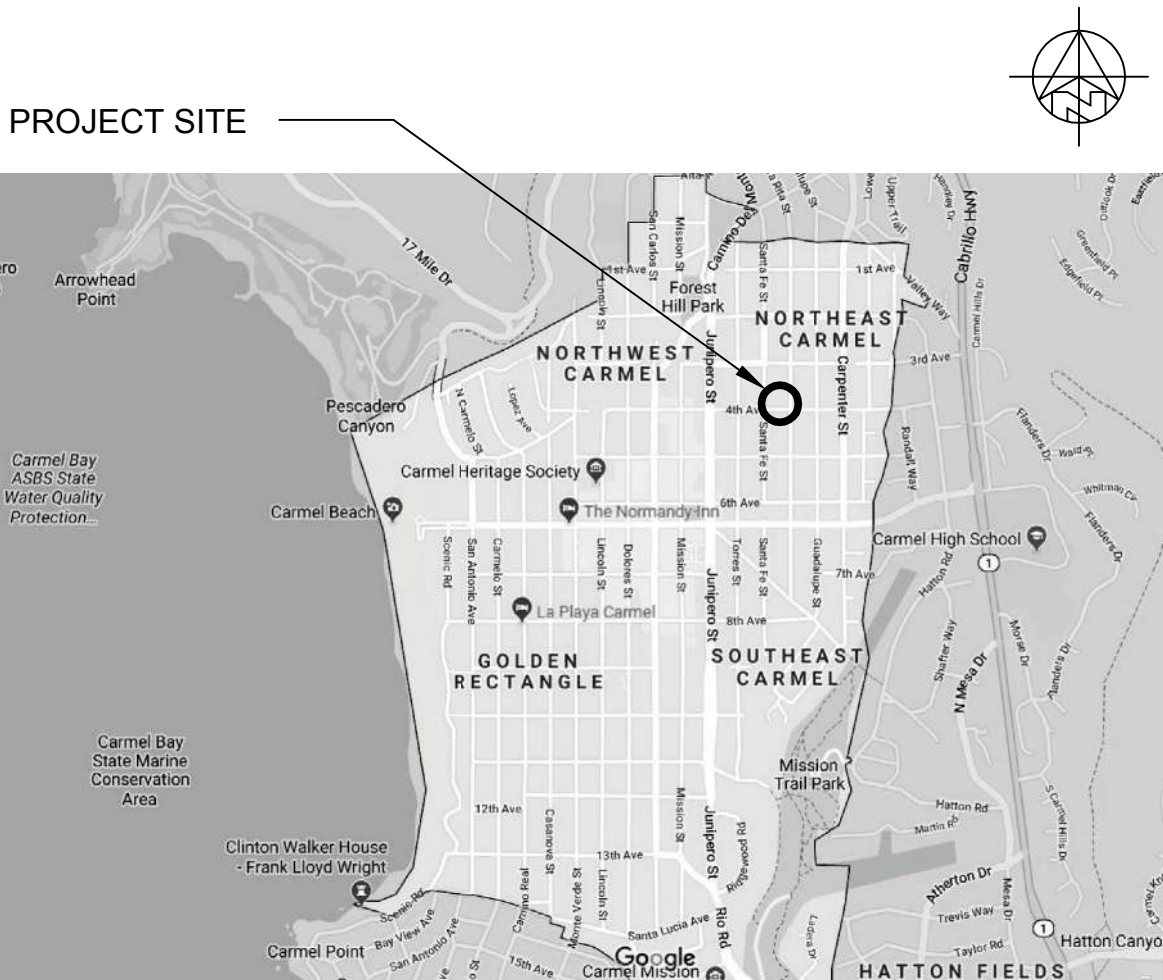
ABBREVIATIONS

| | | | |
|------------|-------------------|----------|------------------------------|
| A.B. | ANCHOR BOLT | HDR. | HEADER |
| ABV. | ABOVE | HGR. | HANGER |
| ALT. | ALTERNATE | HDWD. | HARDWOOD |
| ALUM. | ALUMINUM | HORIZ. | HORIZONTAL |
| APPROX. | APPROXIMATE | INT. | INTERIOR |
| ARCH. | ARCHITECT | INSUL. | INSULATION |
| ASPH. | ASPHALT | JST. | JOIST |
| AUTO. | AUTOMATIC | K | KIPS (1,000 LBS.) |
| BD. | BOARD | L.V.L. | LEVEL |
| BLKG. | BLOCKING | MAX. | MAXIMUM |
| BLDG. | BUILDING | M.B. | MACHINE BOLT |
| BM. | BEAM | MIN. | MINIMUM |
| BOT. | BOTTOM | M.I.W. | MALLEABLE IRON WASHER |
| BTWN. | BETWEEN | (N) | NEW |
| C.J. | CONTRACTION JOINT | N.I.C. | NOT IN CONCRACT |
| CLR. | CLEAR | N.T.S. | NOT TO SCALE |
| COL. | COLUMN | O | OVER |
| CONC. | CONCRETE | O.C. | ON CENTER |
| CONC. BLK. | CONCRETE BLOCK | P.E.N. | PLY EDGE NAILING |
| CONN. | CONNECTION | PL. | PLATE |
| CONSTR. | CONSTRUCTION | P.T.D.F. | PRESSURE TREATED DOUGLAS FIR |
| CONT. | CONTINUOUS | PLYWD. | PLYWOOD |
| CTR. | CENTER | REINF. | REINFORCED |
| CTSK. | COUNTERSINK | REQ'D | REQUIRED |
| D.F. | DOUGLAS FIR | REV. | REVERSED |
| DBL. | DOUBLE | S.A.D. | SEE ARCH. DRAWING |
| DIA. | DIAMETER | S.B. | SOLID BLOCKING |
| DWG. | DRAWING | S.F. | SQUARE FOOT |
| EA. | EACH | S.O.G. | SLAB ON GRADE |
| E.N. | EDGE NAILING | SCHED. | SCHEDULE |
| EL. | ELEVATION | SHT. | SHEET |
| ELEV. | ELEVATOR | SHTG. | SHEATHING |
| EQ. | EQUAL | SIM. | SIMILAR |
| EXP. | EXPANSION | SPEC. | SPECIFICATIONS |
| EXT. | EXTERIOR | STD. | STANDARD |
| F.E. | FIRE EXTINGUISHER | T.&G. | TONGUE & GROOVE |
| F.G. | FINISH GRADE | T.N. | TOE NAIL |
| FL. | FLOOR | T.O.C. | TOP OF CONCRETE |
| F.N. | FIELD NAILING | T.O.P. | TOP OF PLATE |
| FNDN. | FOUNDATION | T.O.W. | TOP OF WALL |
| F.O.M. | FACE OF MASONRY | T.S. | TUBE STEEL |
| FT. | FEET | TYP. | TYPICAL |
| FTG. | FOOTING | U.O.N. | UNLESS OTHERWISE NOTED |
| GA. | GAUGE | VERT. | VERTICAL |
| GALV. | GALVANIZED | W | WITH |
| G.I. | GALVINIZED IRON | W/O | WITHOUT |
| GLU-LAM. | GLUE LAMINATED | W.W.M. | WELDED WIRE MESH |
| GRD. | GRADE | W.I. | WROUGHT IRON |
| GYP. BD. | GYPSUM BOARD | | |

SHEET INDEX

| ARCHITECTURAL: | |
|----------------|--|
| A0.0 | COVER SHEET, PROJECT INFO NOTES & ABBREVIATIONS |
| A1.0 | SITE PLAN |
| A2.0 | MAIN LEVEL FLOOR PLAN |
| A2.1 | UPPER LEVEL FLOOR PLAN |
| A5.0 | ROOF PLAN |
| A6.0 | EXTERIOR ELEVATIONS |
| A6.1 | EXTERIOR ELEVATIONS |
| L-1 | PLANTING AND IRRIGATION PLAN |
| T | TREE SURVEY |

VICINITY MAP



PROJECT DATA

| | |
|--|---|
| PROPERTY OWNER: MS. JIE MEI 17201 SONORA RD. OAKDALE, CA 95361 TEL. (408) 497-0349 | |
| PROJECT ADDRESS: SANTA RITA 2 SW OF 5TH CARMEL, CA 93923 | |
| PROJECT DESCRIPTION/ SCOPE OF WORK: 1. NEW TWO-STORY SINGLE FAMILY RESIDENCE WITH ATTACHED GARAGE (1,800 SF). ROOF TOP DECK (246 SF) LOCATED ABOVE SINGLE-STORY MASTER BEDROOM/ BATHROOM | |
| LEGAL DESCRIPTION: | LOT: 5 BLOCK: 61 |
| APN: | 010-038-002-000 |
| ZONING: | R-1 |
| TYPE OF CONSTRUCTION: | V-B |
| OCCUPANCY: | R-3, U |
| STORIES: | 2 |
| HEIGHT LIMIT: | 24' (15' AT REAR SETBACK) |
| GRADING: | CUT (T.B.D.) |
| TREE REMOVAL: | NONE |
| APPLICABLE CODES: | 2016 CBC, 2016 CRC, 2016 CFC, 2016 CPC, 2016 CEC, 2016 CMC, 2016 CALIFORNIA ENERGY CODE, 2016 CALIFORNIA GREEN BUILDING CODE |
| LOT AREA: | 4,000 S.F. |
| FLOOR AREA ALLOWED: | 1,800 S.F. |
| FLOOR AREA PROPOSED: | 1,800 S.F. MAIN FLOOR - 1,245 S.F. UPPER FLOOR - 312 S.F. GARAGE - 243 S.F. |
| SITE COVERAGE ALLOWED: | 396 S.F. ADDITIONAL 4% OF LOT SIZE (160 SF) FOR DRIVEWAY TOTAL ALLOWED - 556 S.F. |
| SITE COVERAGE PROPOSED: | |

| | AREA |
|----------------------------------|----------|
| ROOF DECK (IMPERVIOUS) | 43 S.F. |
| LANDING @ BDRM 1 (IMPERVIOUS) | 3 S.F. |
| MAIN TERRACE (PERMEABLE) | 228 S.F. |
| COVERED PORCH (IMPERVIOUS) | 44 S.F. |
| FRONT PATHWAY (PERMEABLE) | 92 S.F. |
| DRIVEWAY 9'-0" (PERMEABLE) | 146 S.F. |
| UTILITY AREA (MULCH) NOT COUNTED | 36 S.F. |
| TOTAL COVERAGE | 556 S.F. |

| | |
|------------|----------------|
| PERMEABLE | 466 S.F. (84%) |
| IMPERVIOUS | 90 S.F. (16%) |



ANATOLY OSTRETISOV
P.O. BOX 2272
MONTEREY, CA 93942
(831) 682-1331

SINGLE FAMILY RESIDENCE
SANTA RITA 2 SW OF 5TH

CARMEL, CA, 93923

APN: 010-038-002

SANTA RITA 2 SW OF 5TH

| REVISIONS: | |
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| 2 | |
| 3 | |
| 4 | |
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COVER SHEET
PROJECT INFO

DATE: 05-10-2019
FINAL DESIGN
APPROVAL

SHEET NO.
A0.0

Use of these plans and specifications is restricted to the original site for which they were prepared and publication thereof is expressly limited to such use. Reuse or reproduction of publication, by any method in whole or in part is prohibited. Title to plans and specifications remain with the architect, and visual contact with them constitutes prima facie evidence of the acceptance of these restrictions

SINGLE FAMILY RESIDENCE
SANTA RITA 2 SW OF 5TH

APN: 010-038-002

SANTA RITA 2 SW OF 5TH

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SITE PLAN

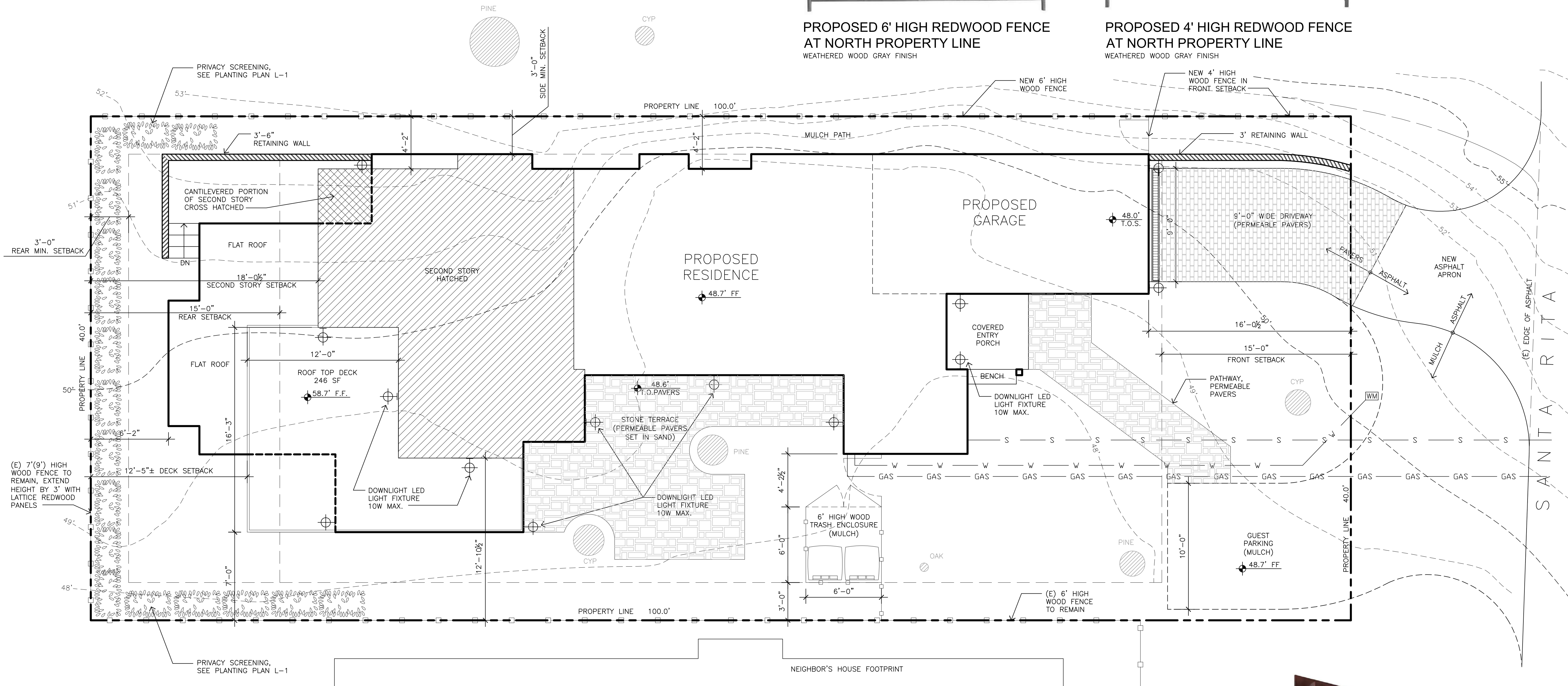
DATE: 05-10-2019

FINAL DESIGN
APPROVAL

SHEET NO.

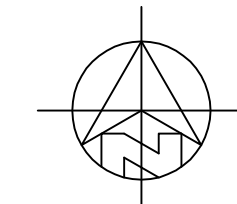
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EXTERIOR LIGHT FIXTURE

0' 1' 2' 5' 10' SITE PLAN



SINGLE FAMILY RESIDENCE
SANTA RITA 2 SW OF 5TH

APN: 010-038-002

SANTA RITA 2 SW OF 5TH

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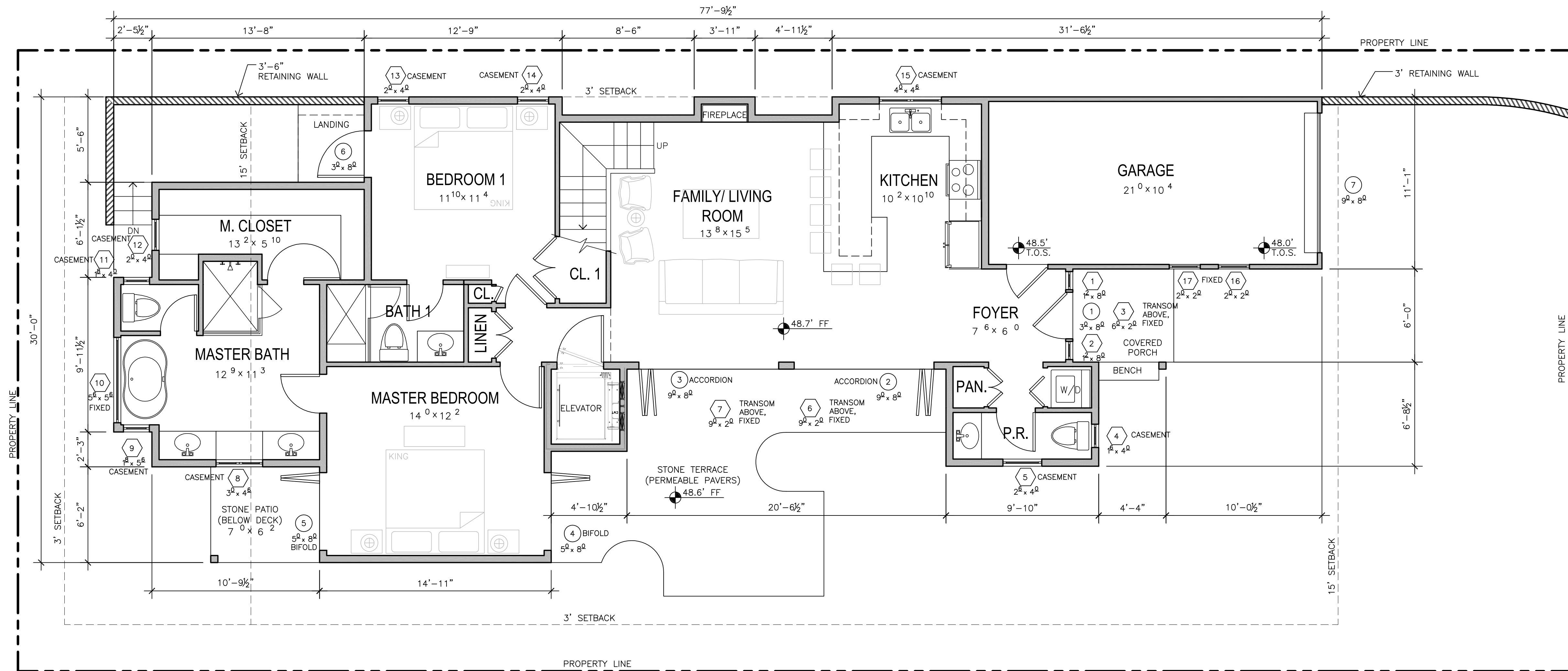
MAIN LEVEL
FLOOR PLAN

DATE: 05-10-2019

FINAL DESIGN
APPROVAL

SHEET NO.

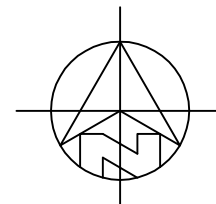
A2.0



DOOR / WINDOW LEGEND

- XX
x^x x^x DENOTES A WINDOW
- XX
x^x x^x DENOTES A DOOR

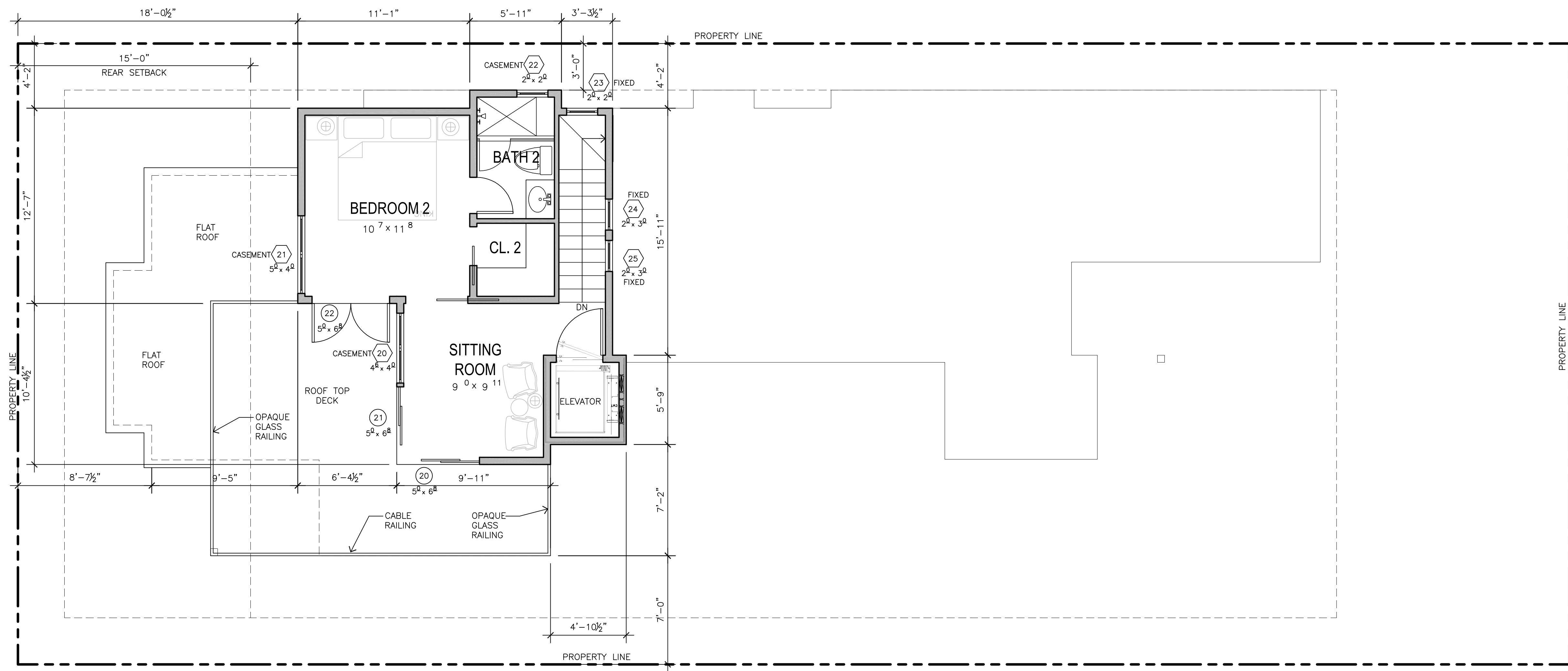
0' 1' 2' 5' 10'



MAIN LEVEL FLOOR PLAN

1/4"=1'-0"

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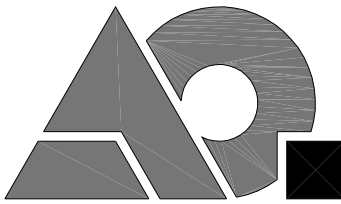


DOOR / WINDOW LEGEND

- DENOTES A WINDOW
- DENOTES A DOOR



UPPER LEVEL FLOOR PLAN 1/4"=1'-0"



AO ARCHITECTURAL
DESIGN

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SINGLE FAMILY RESIDENCE
SANTA RITA 2 SW OF 5TH

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APN: 010-038-002

CARMEL, CA, 93923

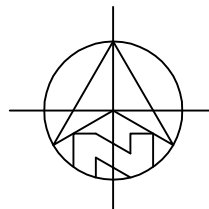
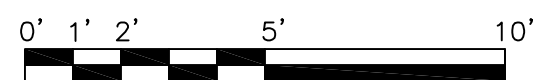
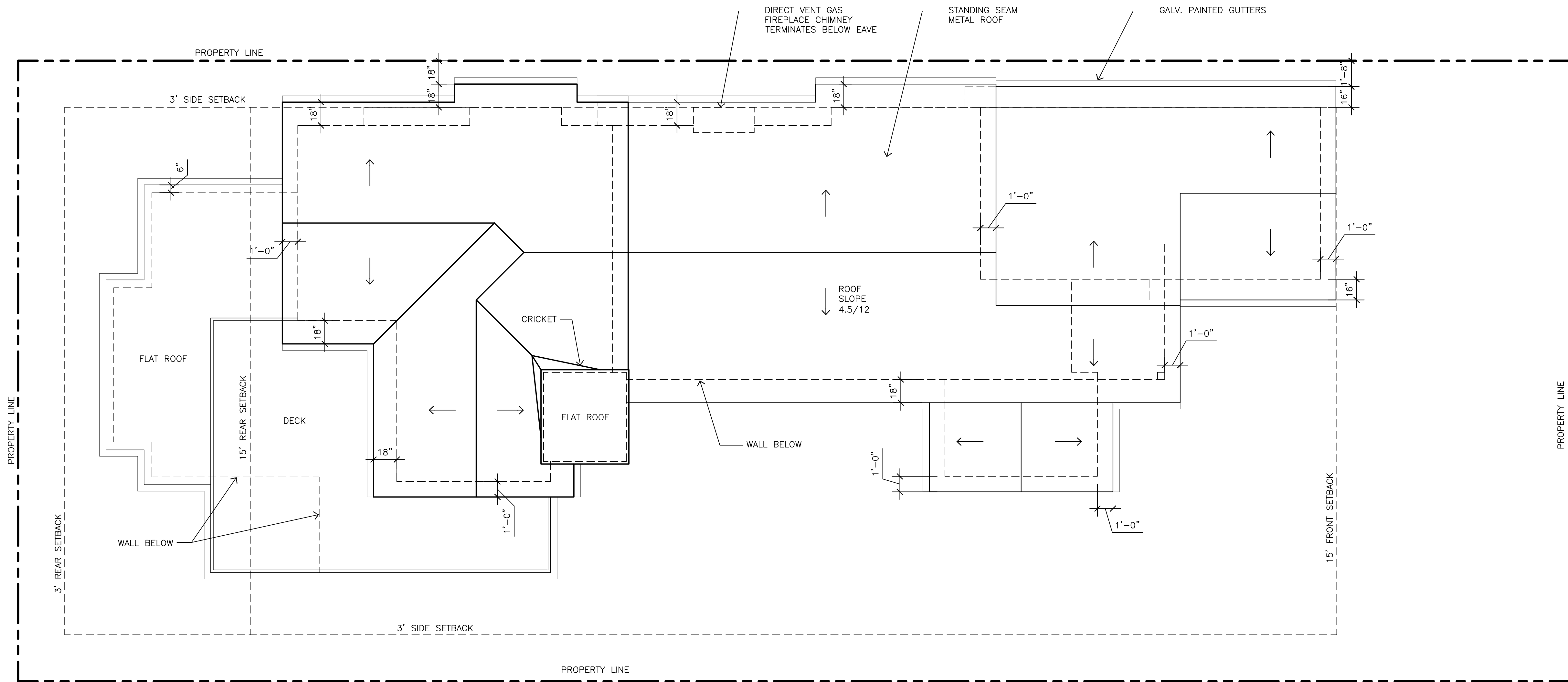
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UPPER LEVEL
FLOOR PLAN

DATE: 05-10-2019
FINAL DESIGN
APPROVAL

SHEET NO.
A2.1



ROOF PLAN

1/4"=1'-0"

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ROOF PLAN

DATE: 05-10-2019
FINAL DESIGN
APPROVAL

SHEET NO.
A5.0

SINGLE FAMILY RESIDENCE
SANTA RITA 2 SW OF 5TH

SANTA RITA 2 SW OF 5TH

APN: 010-038-002

CARMEL, CA, 93923

**SINGLE FAMILY RESIDENCE
SANTA RITA 2 SW OF 5TH**

APN: 010-038-002

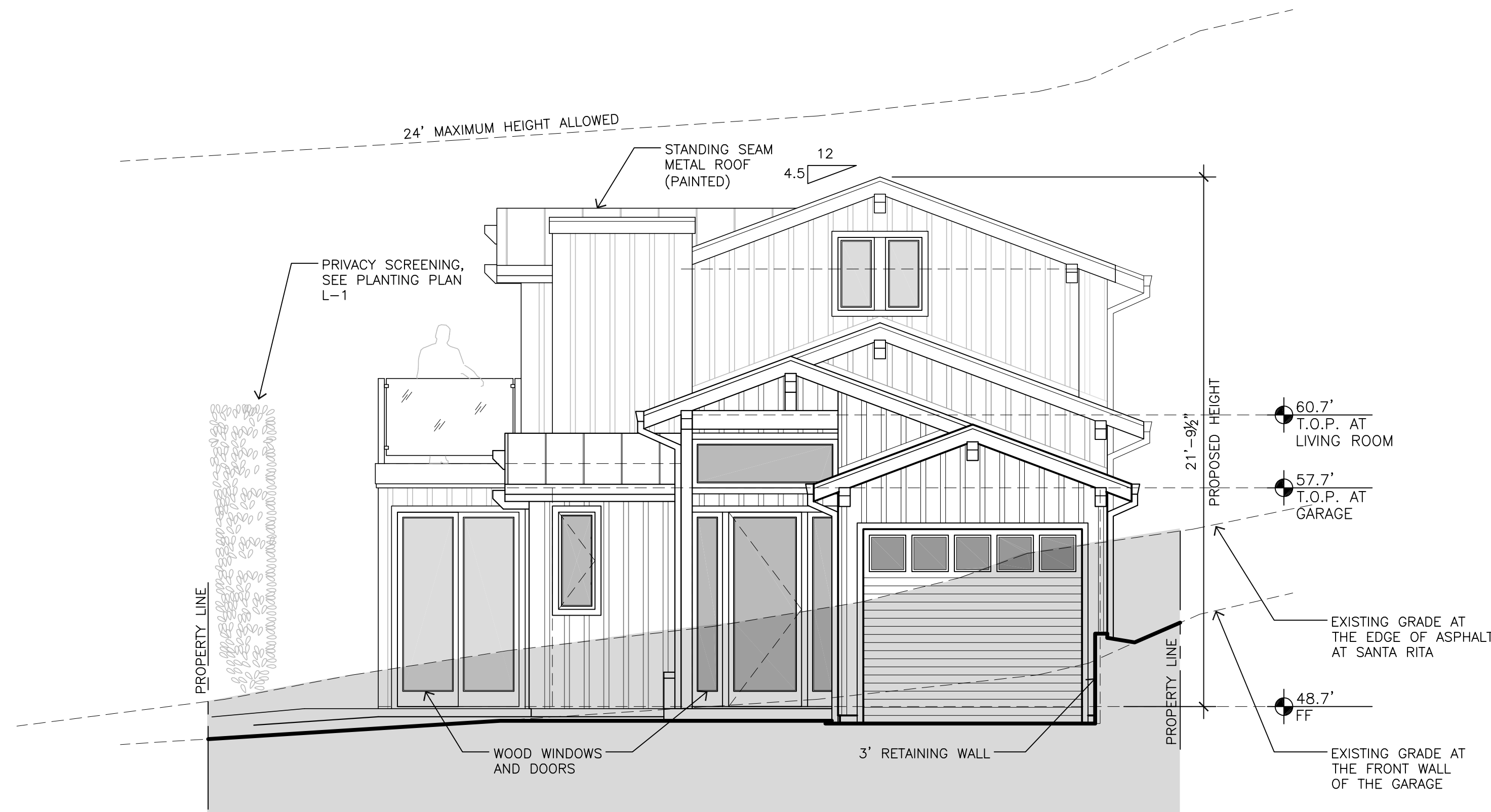
SANTA RITA 2 SW OF 5TH

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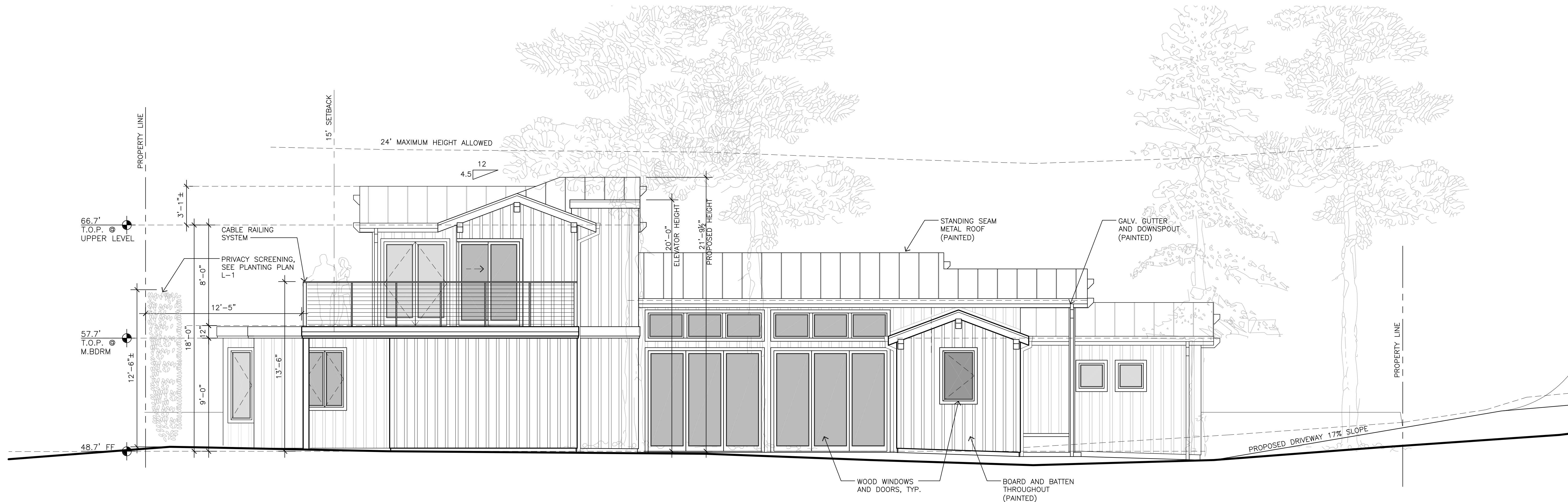
**EXTERIOR
ELEVATIONS**

DATE: 05-10-2019
FINAL DESIGN
APPROVAL

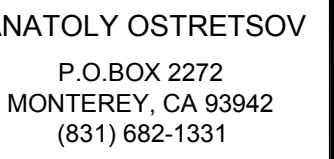
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A6.0



EAST ELEVATION (FRONT) 1/4"=1'-0"



SOUTH ELEVATION 1/4"=1'-0"



CARMEL, CA, 93923

SINGLE FAMILY RESIDENCE
SANTA RITA 2 SW OF 5TH

APN: 010-038-002

SANTA RITA 2 SW OF 5TH

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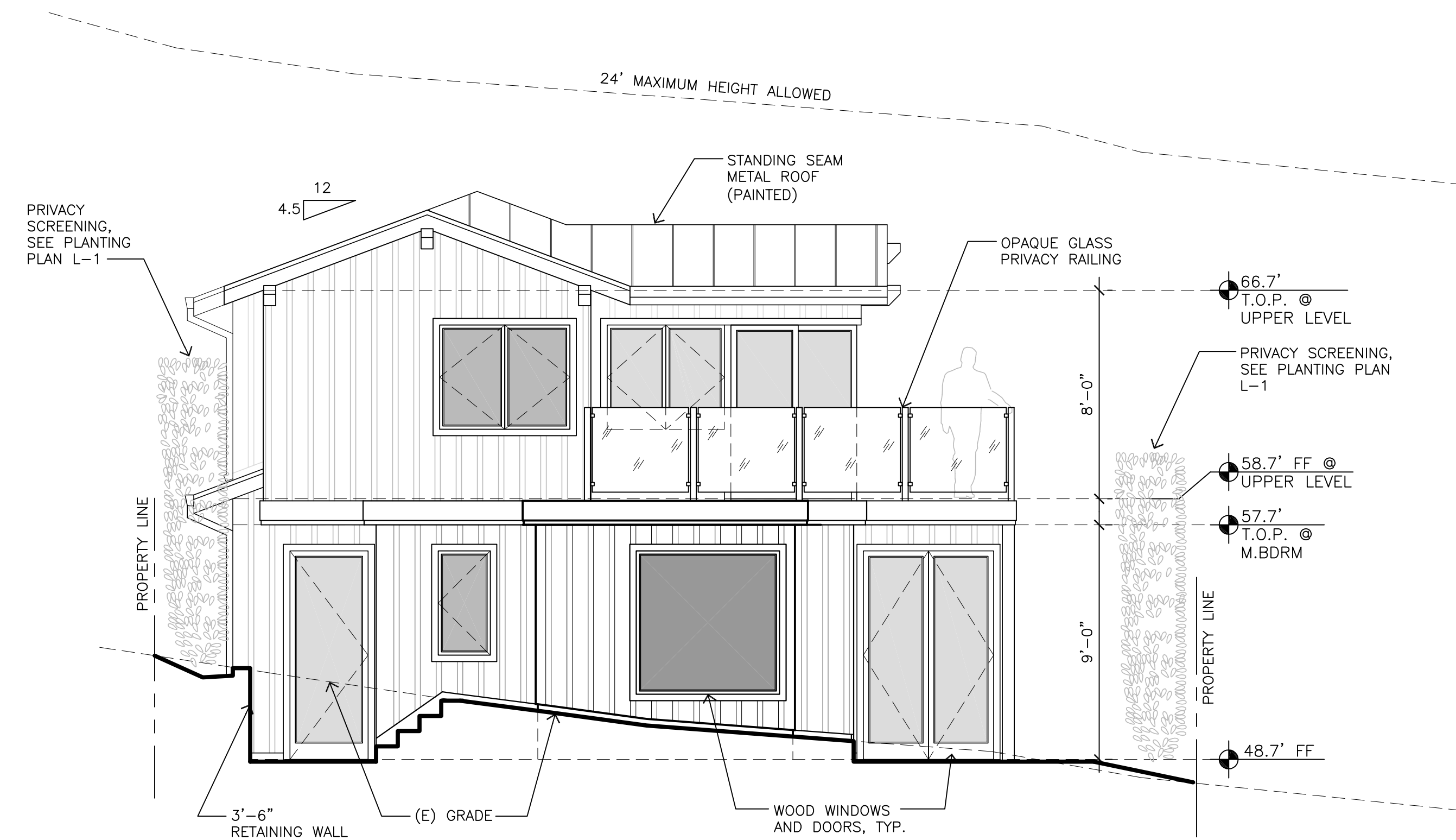
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EXTERIOR ELEVATIONS

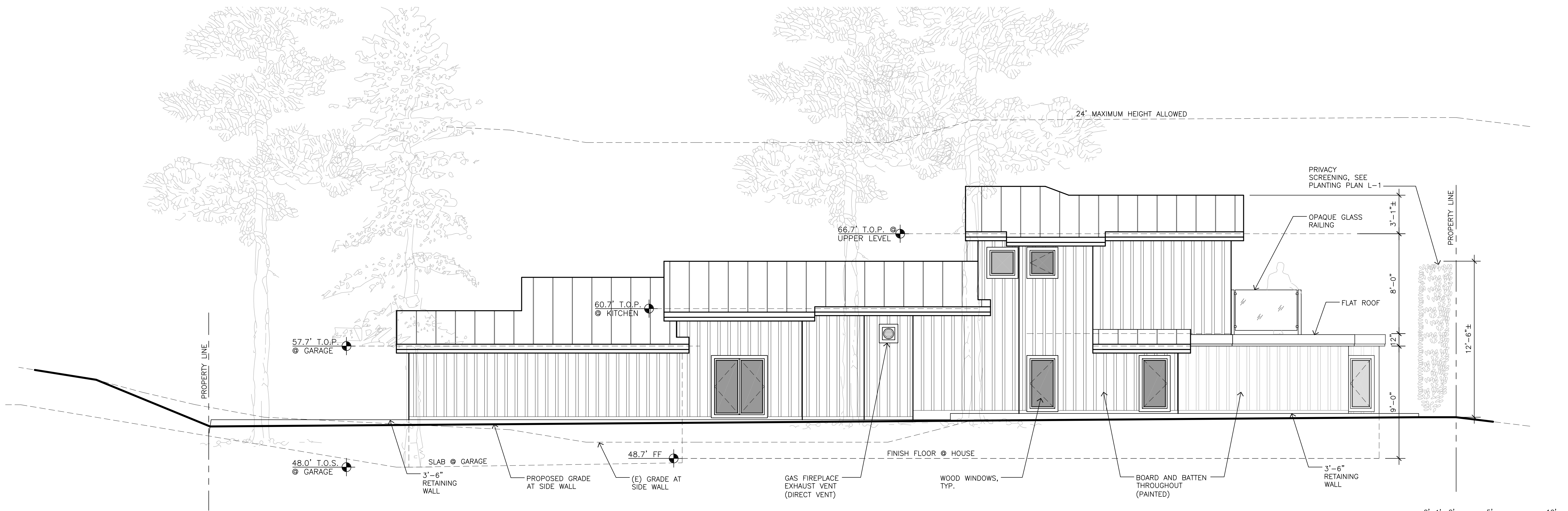
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FINAL DESIGN
APPROVAL

A6.1



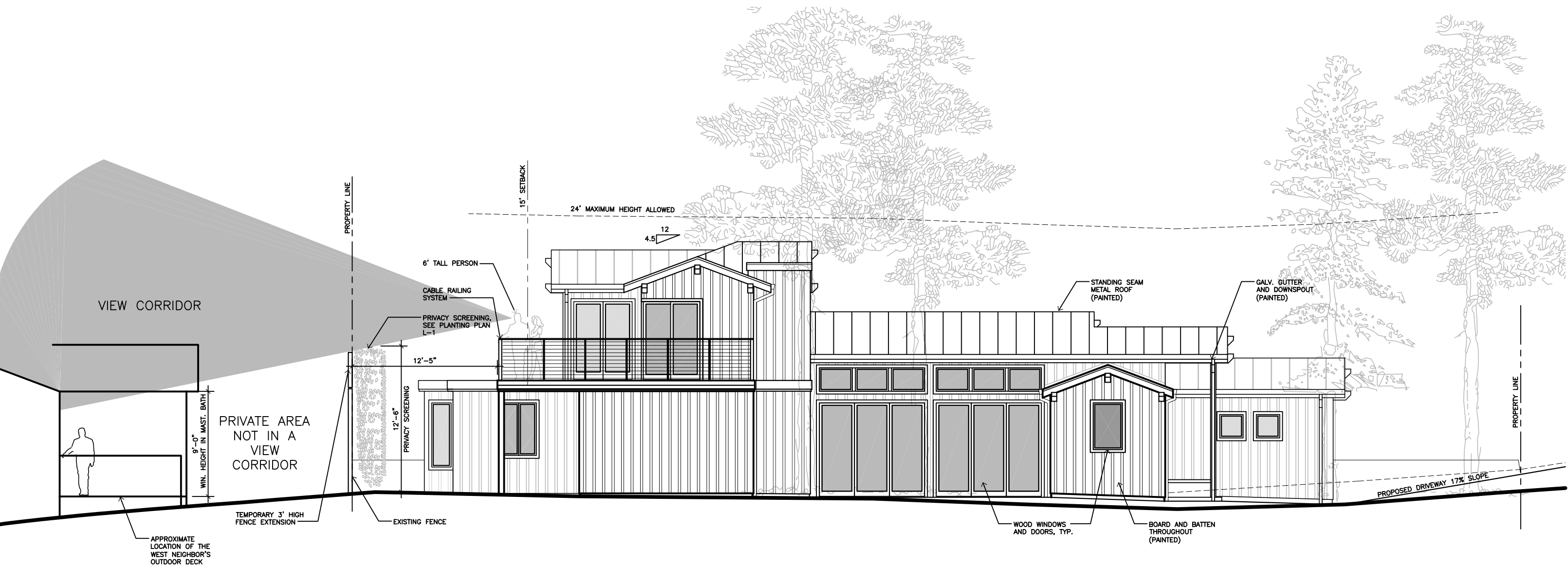
WEST ELEVATION (REAR)

$$1/4'' = 1' - 0''$$


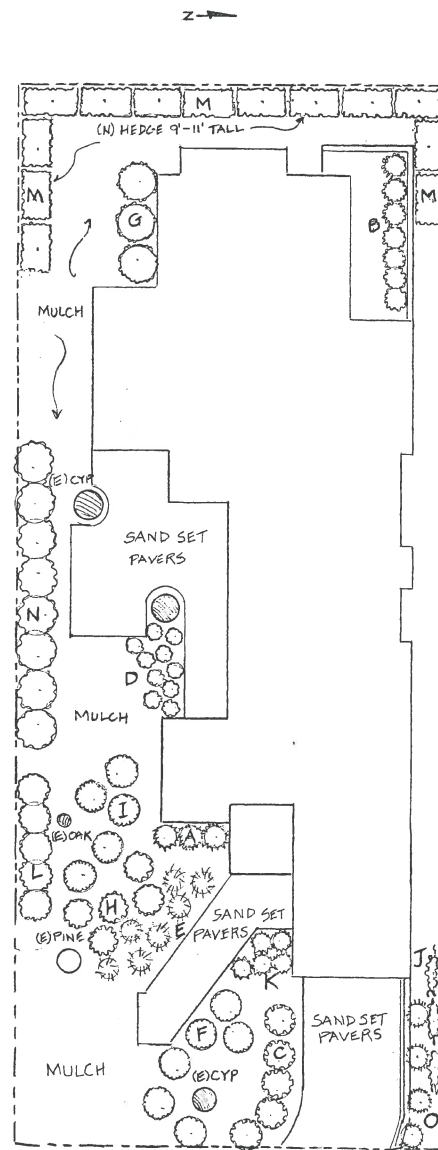
NORTH ELEVATION

$$1/4'' = 1' - 0''$$

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| 1 | 2 | 3 | 4 | 5 | 6 | 7 | 8 | 9 | 10 | 11 | 12 | 13 | 14 | 15 | 16 | 17 | 18 | 19 | 20 | 21 | 22 | 23 | 24 | 25 | 26 | 27 | 28 | 29 | 30 | 31 | 32 | 33 | 34 | 35 | 36 | 37 | 38 | 39 | 40 | 41 | 42 | 43 | 44 | 45 | 46 | 47 | 48 | 49 | 50 | 51 | 52 | 53 | 54 | 55 | 56 | 57 | 58 | 59 | 60 | 61 | 62 | 63 | 64 | 65 | 66 | 67 | 68 | 69 | 70 | 71 | 72 | 73 | 74 | 75 | 76 | 77 | 78 | 79 | 80 | 81 | 82 | 83 | 84 | 85 | 86 | 87 | 88 | 89 | 90 | 91 | 92 | 93 | 94 | 95 | 96 | 97 | 98 | 99 | 100 |
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SANTA RITA 2 SW OF 5TH
PRIVACY/ VIEW IMPACT STUDY
TOWARD WEST



Planting Plan
scale: 1/8" = 1'0"

MAWA NOTES

MAWA Calculations prepared for the
Jie Mei Project, Santa Rita 2 S/W of Carmel, CA (APN: 010-038-002)
by Robert Shuler Landscape Design March 20, 2019

Maximum allowable landscape irrigation usage for this site is 0.038 acre feet.

Formula & Calculations:

$MAWA = \frac{Eto \times ETadj \times LA \times 0.623}{325,851}$

Where:

Eto = Reference ET = 33" / yr (Zone 1)
ETadj = ET Adjustment Factor = KL/IE = 0.5 / .85 = .59
KL = Landscape Coefficient = 0.5
(Mediterranean Climate / Drought Tolerant Plant Material)
IE = Drip Irrigation Efficiency = 0.85
LA = Landscaped Area = 922 sq. ft.

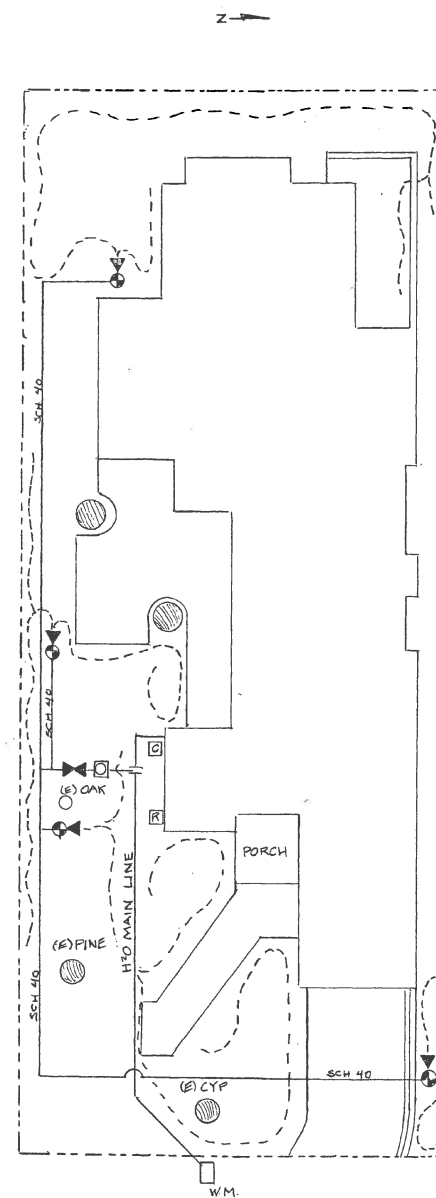
LA Calculation based on:

| | | | |
|----|-----------------|---------|--------------------------|
| 57 | 1 gal. plant @ | 4 SF = | 228 SF |
| 34 | 5 gal. plant @ | 9 SF = | 306 SF |
| 8 | 15 gal. plant @ | 16 SF = | 128 SF |
| 13 | 24" box Tree @ | 20 SF = | 260 SF |
| | | | Total SF = 922 SF |

Estimate Total Water Use (ETWU) for this site = $33 \times .59 \times 881 \times 0.623 = .035$ acre feet
325,851

Plant List

| code | Qty | Size | Botanical Name | Common Name |
|------|-----|--------------|------------------------------|------------------------|
| A | 3 | 5 gal | Acacia 'Cousin Itt' | Dwarf River Wattle |
| B | 7 | 1 gal | Agapanthus albiflorus | White African Lily |
| C | 5 | 5 gal | Arctostaphylos 'Carmel Sur' | Manzanita Ground Cover |
| D | 10 | 1 gal | Bergenia 'Bressingham White' | White Bergenia |
| E | 7 | 1 gal | Calamagrostis foliosa | Pacific Reed Grass |
| F | 5 | 5 gal | Ceanothus 'Anchor Bay' | Ceanothus |
| G | 3 | 5 gal | Choysia ternata | Mock Orange |
| H | 5 | 5 gal | Correa 'Ivory Bells' | Australian Fuchsia |
| I | 5 | 5 gal | Grevillea 'Coastal Gem' | Grevillea |
| J | 3 | 5 gal | Hardenbergia 'Alba' | White Lilac Vine |
| K | 5 | 1 gal | Liriope muscari variegata | Variegated Lily Turf |
| L | 5 | 5 gal | Pittosporum 'Marie Channon' | Variegated Pittosporum |
| M | 13 | 24" box x 9" | Prunus laurocerasus | English Laurel |
| N | 8 | 15 gal | Rhamnus alaternus | Italian Buckthorn |
| O | 4 | 1 gal | Rosmarinus 'Irene' | Trailing Rosemary |



Irrigation Plan
scale: 1/8" = 1'0"

GENERAL IRRIGATION NOTES:

1. Irrigation to be run off separate mainline extension with isolation shut off valve
2. All drip lines to have an in-line filter
3. Pressure for regulator for drip irrigation to be regulated to 25 - 35 PSI
4. All valves to be sub-grade within a weatherproof valve box.

IRRIGATION LEGEND

- ⊥ Point of connection from mainline
- ⊞ Gate shut off valve
- ⊞ Backflow Prevention Assembly
- ⊞ 3/4" pvc Schedule 40 to valves
- ⊞ Control Valve to Drip - Hunter PGV 1" globe Valve with 30 PSI pressure regulator and filter
- ⊞ Drip Zone Riser from PVC to 1/2" Tubing
- ⊞ Lateral tubing to Emitters - 1/2" Polyethelene
- ⊞ Controller - Hunter ProC
- ⊞ Rain Sensor - Hunter Rain Klik

RECEIVED

MAY 14 2019

City of Carmel-by-the-Sea
Planning & Building Dept.

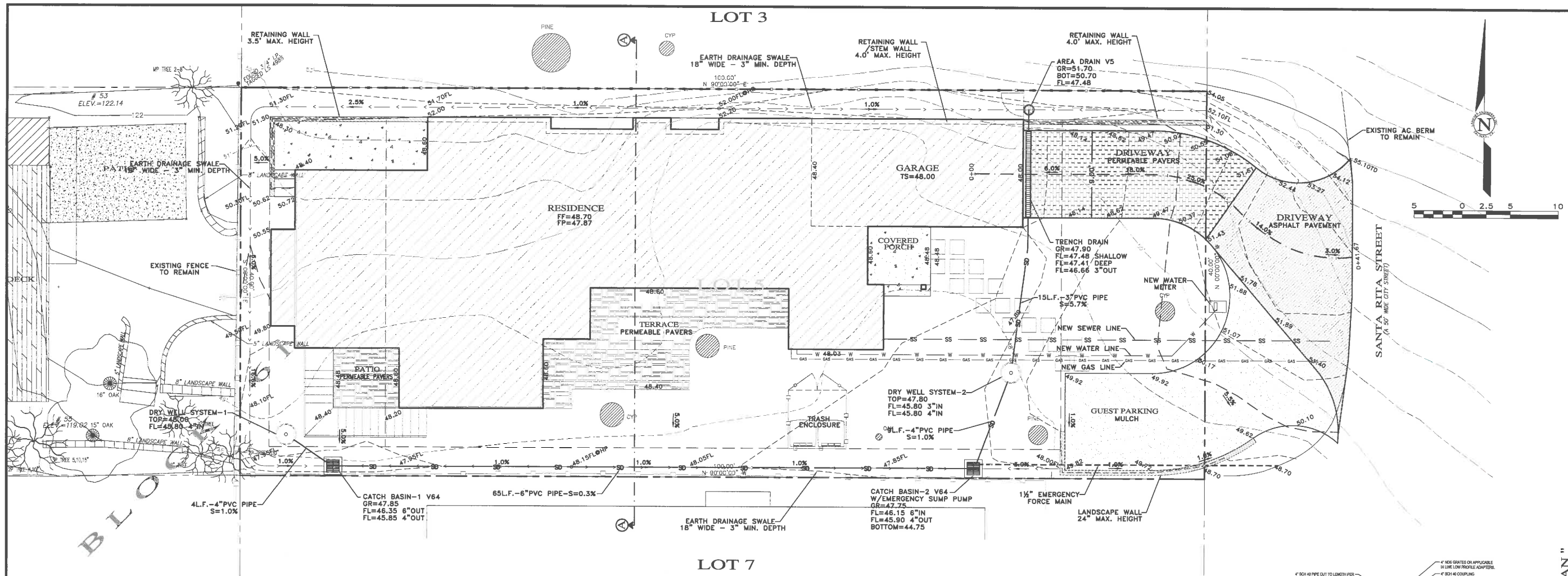
Robert Shuler Design
PO Box 2152
Carmel, CA 93921
RStowes3@att.net
831 624-4079

Planting and Irrigation Plan
Jie Mei Property Santa Rita 2 S/W of 5th Avenue
Carmel, CA 93921
APN 010-038-002

SCALE:
1/8" = 1'0"

DATE: 5-14-2019

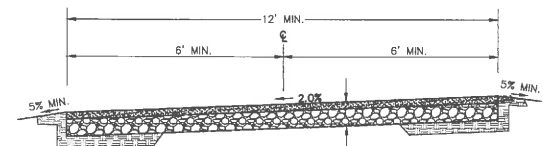
SHEET
L1



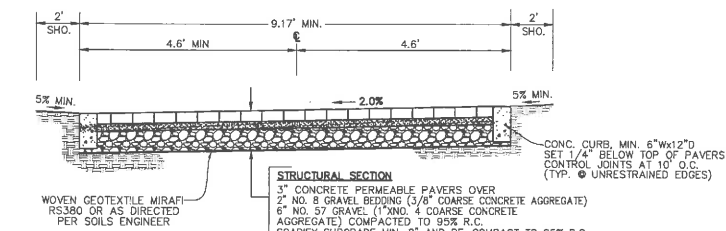
TOTAL IMPERVIOUS AREA = 1,587 SQ.FT.
TOTAL AREA OF DISTURBANCE = 4,000 SQ.FT.

Cut/Fill Summary

| Name | Cut Factor | Fill Factor | 2d Area | Cut | Fill | Net |
|---------------|------------|-------------|-----------------|----------------|---------------|---------------------|
| 1935-VOL EXSG | 1.000 | 1.000 | 4517.95 Sq. Ft. | 150.14 Cu. Yd. | 18.05 Cu. Yd. | 132.10 Cu. Yd.<Cut> |
| Totals | | | 4517.95 Sq. Ft. | 150.14 Cu. Yd. | 18.05 Cu. Yd. | 132.10 Cu. Yd.<Cut> |



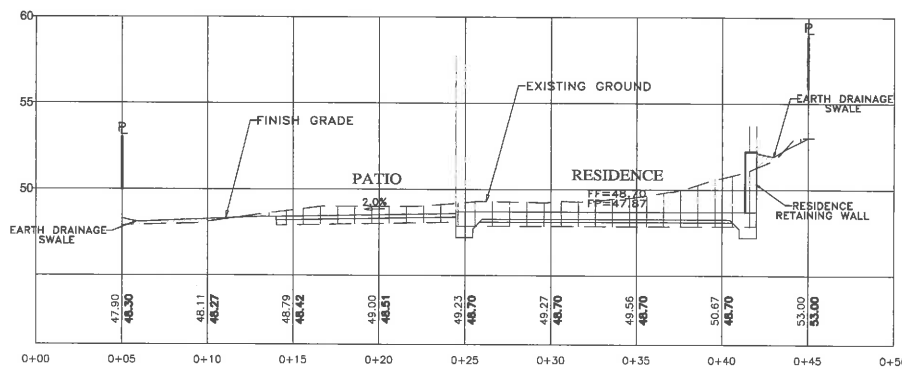
ASPHALT CONCRETE



PERVIOUS PAVERS

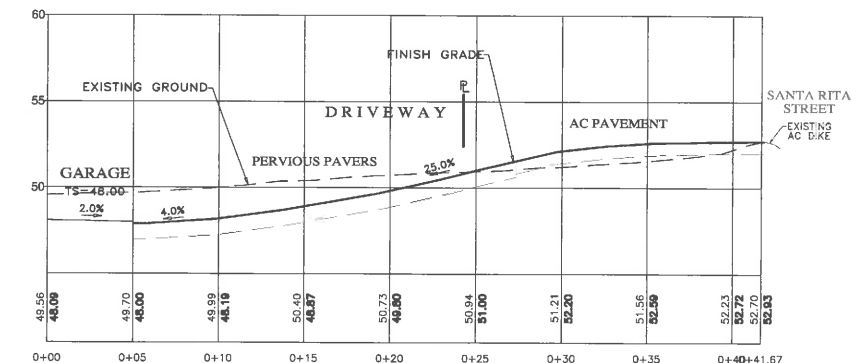
TYPICAL SECTIONS

NOT TO SCALE



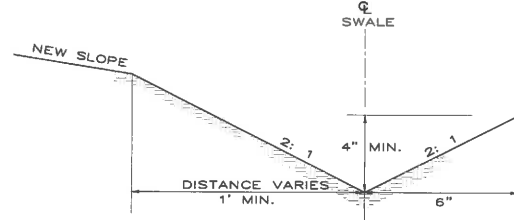
SECTION A-A

SCALE: 1"=5'



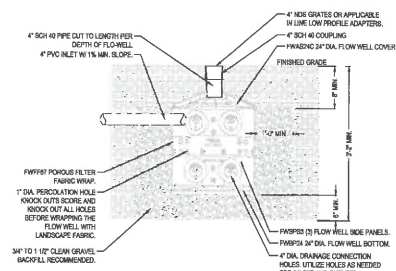
DRIVEWAY PROFILE

SCALE: 1"=5'



EARTH DRAINAGE SWALE

NOT TO SCALE



- NOTES:
1. MUST BE INSTALLED 12\"/>

FLO-WELL DRY WELL SYSTEM

FLO-WELL INSTALLATION DETAIL - LOAD CLASS 10\"/>

NDS FLOW-WELL DRY WELL SYSTEM

NOT TO SCALE

RECEIVED
APR 1 2019
City of Carmel-by-the-Sea
Planning & Building Dept

CONTACT INFORMATION:

PRIMARY: OWNER
MS. JIE MEI
17201 SONORA ROAD
CARMEL-BY-THE-SEA, CA 93921

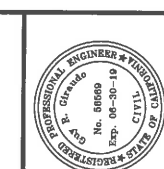
SECONDARY: ARCHITECT
AD ARCHITECTURAL DESIGN
ATTN: MR. ANATOLY OSTRETSOV
P.O. BOX 2272
MONTEREY, CA 93942
PH: (831) 682-1331

SITE LOCATION:

SANTA RITA STREET, 2 SW OF 5th AVE.
CARMEL-BY-THE-SEA, CA 93921

| No. | DATE | BY | REVISION |
|----------|------|--------------------|----------|
| 03/28/19 | AMS | RELEASED TO CLIENT | |

" CONCEPTUAL GRADING, DRAINAGE & EROSION CONTROL PLAN "



APPROVED BY:
GUY R. GIRARDO
3/28/19



GRADING, DRAINAGE & EROSION CONTROL PLAN

MEI RESIDENCE
A.P.N.: 010-038-002
CARMEL-BY-THE-SEA, MONTEREY COUNTY, CALIFORNIA

MS. JIE MEI

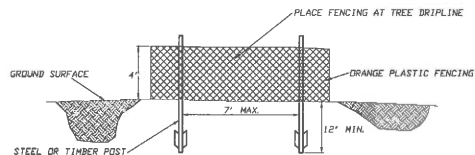
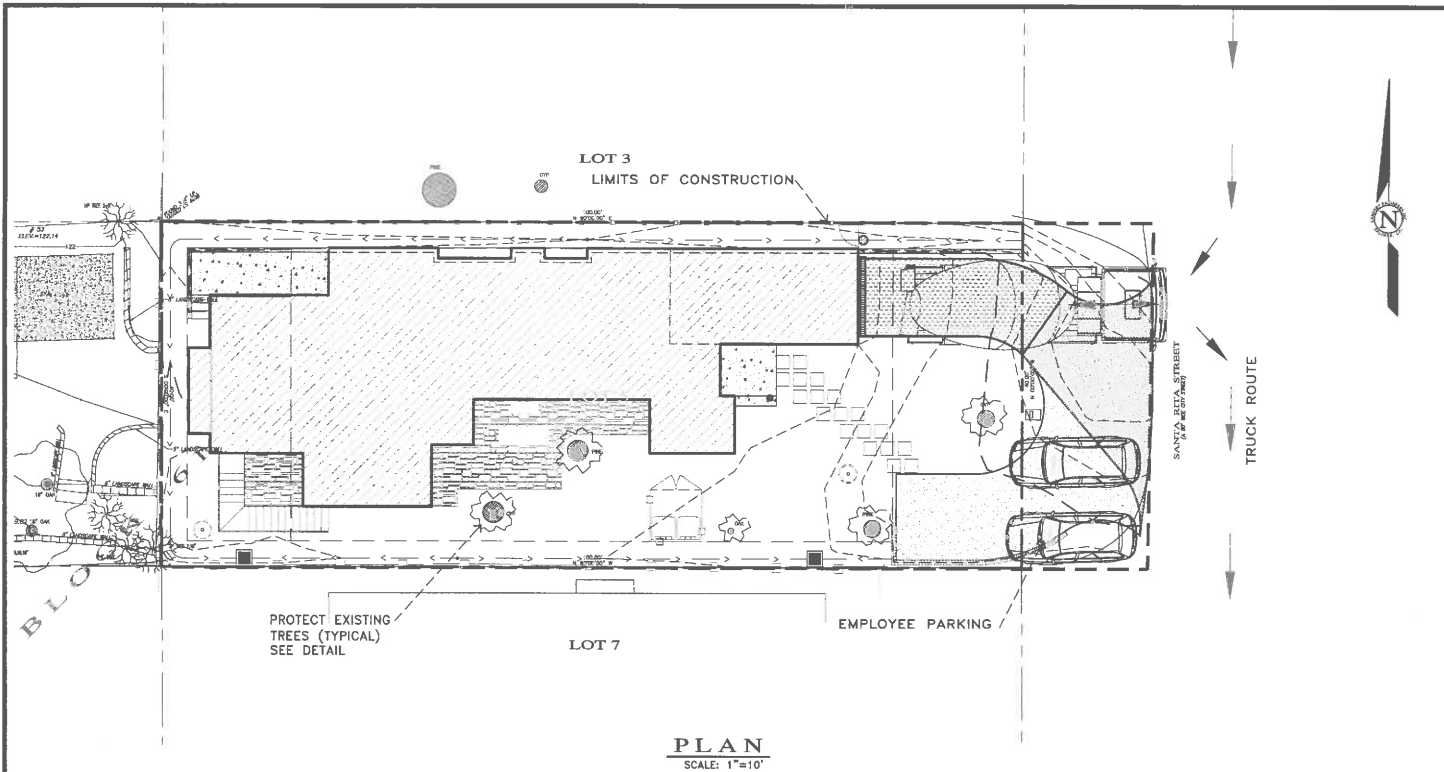
SCALE: AS SHOWN

DATE: MARCH 2019

JOB NO. 1935-01

SHEET **C1**

OF 1 SHEETS



FENCING (ESA) DETAIL

Scale: NTS

EARTHWORK QUANTITIES PER CIVIL ENGINEERING PLANS BY LANDSET ENGINEERS, INC.:

160 CY CUT

20 CY FILL

CONSTRUCTION STAGING:

A. MOBILIZE, CLEAR & GRAB.

B. SITE GRADING.

C. UTILITY INSTALLATION.

D. CONSTRUCT STRUCTURE.

E. INSTALL PAVERS AND LANDSCAPING.

F. SITE CLEANING, PUNCH LIST.

SEE ARCHITECTURAL AND CIVIL PLANS FOR EROSION CONTROL.

CONSTRUCTION EQUIPMENT AND MATERIALS SHALL NOT BE STAGED ON SANTA RITA STREET AT ANY TIME DURING CONSTRUCTION. MATERIAL DELIVERIES SHALL BE SCHEDULED SUCH THAT THEY ARE USED PROMPTLY AND MATERIAL STORAGE IS MINIMIZED. ALL CONSTRUCTION EQUIPMENT AND MATERIALS SHALL BE STORED IN A DESIGNATED AREA ON THE SUBJECT PROPERTY.

HAUL ROUTES:

THE HAUL ROUTE TO THE SITE IS FROM RIO ROAD TO JUNIPERO AVENUE TO 5TH AVENUE TO SANTA RITA STREET. HAUL TRUCKS EXIT TO SANTA RITA STREET TO OCEAN AVENUE TO JUNIPERO AVENUE TO RIO ROAD. VEHICLES SHALL NOT BE LEFT UNATTENDED WHILE IN QUEUE (IF NECESSARY) ON RIO ROAD. CONTRACTOR TO ENSURE THAT HEIGHT RESTRICTIONS WITHIN THE DRIVEWAY AREA SHALL BE ADDRESSED BEFORE CONSTRUCTION VEHICLES ENTER THE SITE. SEE DETAILS B AND C, TRUCK ROUTING PLANS.

MATERIAL DELIVERIES:

IN THE EVENT THAT MATERIAL DELIVERIES CAUSE SANTA RITA STREET TO BE PARTIALLY BLOCKED BY DELIVERY TRUCKS OR LOADING/UNLOADING OPERATIONS, A FLAGMAN SHALL BE PRESENT TO DIRECT TRAFFIC AROUND THE LANE OBSTRUCTION. THE FLAGMAN SHALL BE PRESENT AT ALL TIMES DURING WHICH DELIVERY CONSTRUCTION OPERATIONS MAY IMPACT TRAFFIC ON SANTA RITA STREET AND SURROUNDING STREETS.

EMPLOYEE PARKING:

LIMITED EMPLOYEE PARKING ON-SITE. EMPLOYEES SHALL USE PUBLIC PARKING LOTS AND CARPOOL TO JOBSITE. ON-SITE PARKING SHALL BE IN LEGAL SPACES ALONG SANTA RITA STREET, OBEYING ALL PARKING LAWS. PARKING IS PROHIBITED IN ALL NATURAL AREAS WHICH ARE NOT CURRENTLY PAVED OR GRAVEL.

LIMITS OF CONSTRUCTION: ALL CONSTRUCTION SHALL TAKE PLACE WITHIN THE BORDER AS SHOWN. EXISTING CYPRESS AND PINE TREES LOCATED WITHIN THE LIMITS SHOWN SHALL BE SURROUNDED BY ORANGE PROTECTIVE FENCING (SEE DETAIL).

NUMBER OF TRUCK TRIPS/DAY: 5

AMOUNT OF GRADING/DAY: 50 C.Y.

NUMBER OF EMPLOYEES/DAY: 4-8

HOURS OF OPERATION/DAY: 8

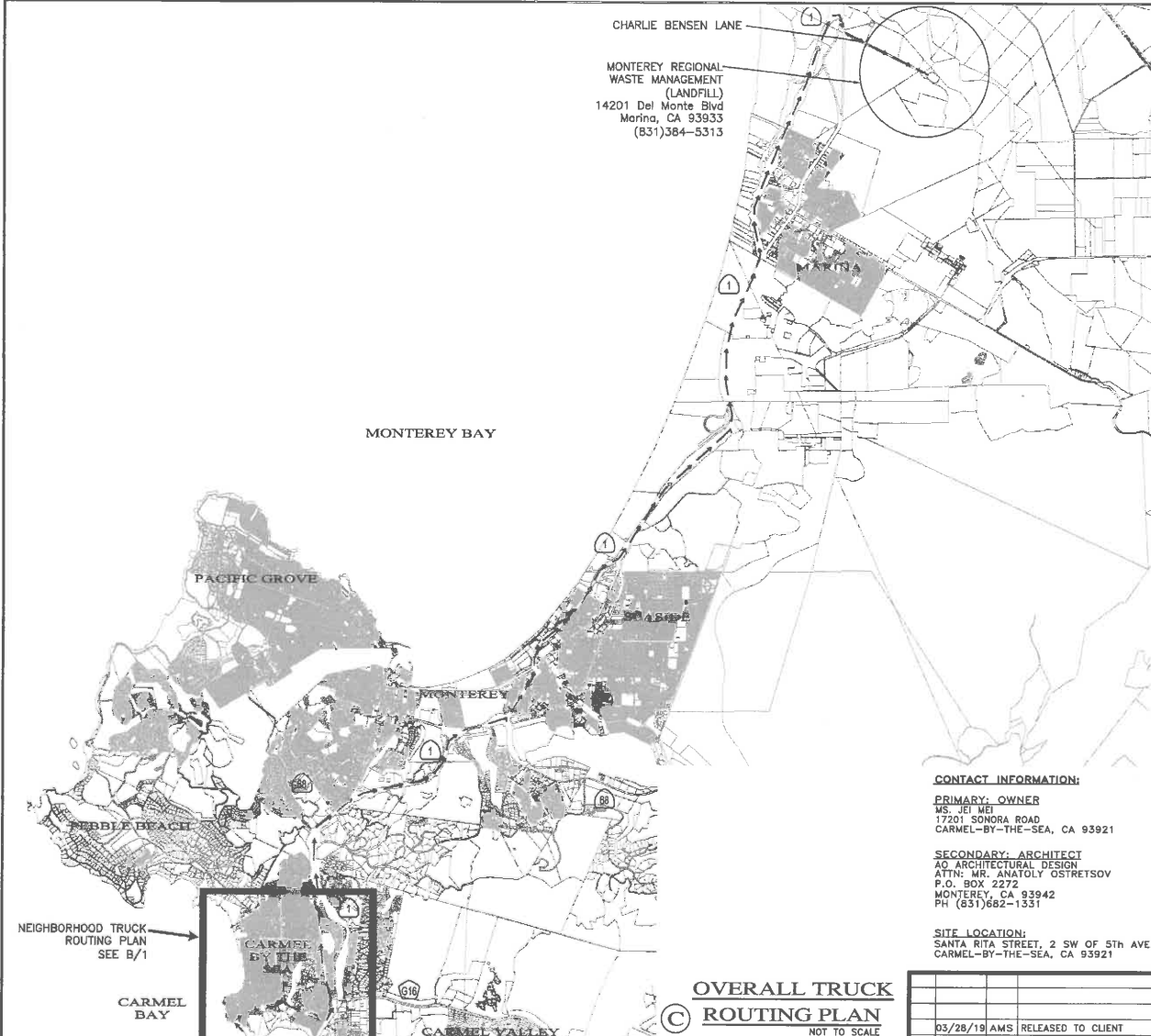
PROJECT SCHEDULING: PROJECTED START DATE 6 MAY 2019, 6 WORKING DAYS TO COMPLETE GRADING, MONDAY THRU FRIDAY, 8:00 A.M. - 4:30 P.M. TOTAL PROJECT DURATION IS APPROXIMATELY 12 MONTHS.

A CONSTRUCTION STAGING PLAN

SCALE: 1"=30'

D GOOGLE IMAGE OF PARKING AREA

B NEIGHBORHOOD TRUCK ROUTING PLAN



CONSTRUCTION MANAGEMENT PLAN

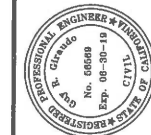
OF MEI RESIDENCE

A.P.N.: 010-038-002

CARMEL-BY-THE-SEA, MONTEREY COUNTY, CALIFORNIA

FOR

MS. JIE MEI



APPROVED BY:

3/28/19

GUY R. GRADDO

LANDSET ENGINEERS, INC.

530 E. Coyote Blvd., Suite 200

Salinas, California 93907

Office (831) 443-6970 Fax (831) 443-3801

www.landseteng.com



SCALE: AS SHOWN

DATE: MARCH 2019

JOB NO. 1935-01

SHEET CMP1

OF 1 SHEETS

Color and Material Samples for Santa Rita Residence

Santa Rita 2 SW of 5th, Carmel, CA

APN: 010-038-002-000

ROOF FINISH

Standing seam painted aluminum roof “OCM”, gutters, and downspouts
Color “Quartz Ore” Matte (Light Gray)



BOARD AND BATTEN WALLS



Elastomeric paint over B&B
Exterior Paint Color OC-68
Benjamin Moore "DISTANT GRAY"

Distant Gray

OC-68

WINDOWS AND DOORS

Jeld Wen wood windows and exterior doors with wood trims
Color: Bone White



DRIVEWAY PAVERS

Unilock Artline permeable pavers



FRONT PATHWAY AND COURTYARD TERRACE PAVERS

Hidrologic permeable pavers
Color: Brown Stone



ROOF DECK - OPAQUE GLASS RAILING SYSTEM



ROOF DECK - STAINLESS STEEL CABLE RAILING SYSTEM



EXTERIOR LIGHT FIXTURE

Minka "Westgate" outdoor wall mount light fixture
Model: 72382-246, LED bulb 10W max.
Finish: Alder Bronze



PROPERTY LINE FENCE

6' High redwood lattice top fence (4' high at front setback)
Finish: weathered wood gray

