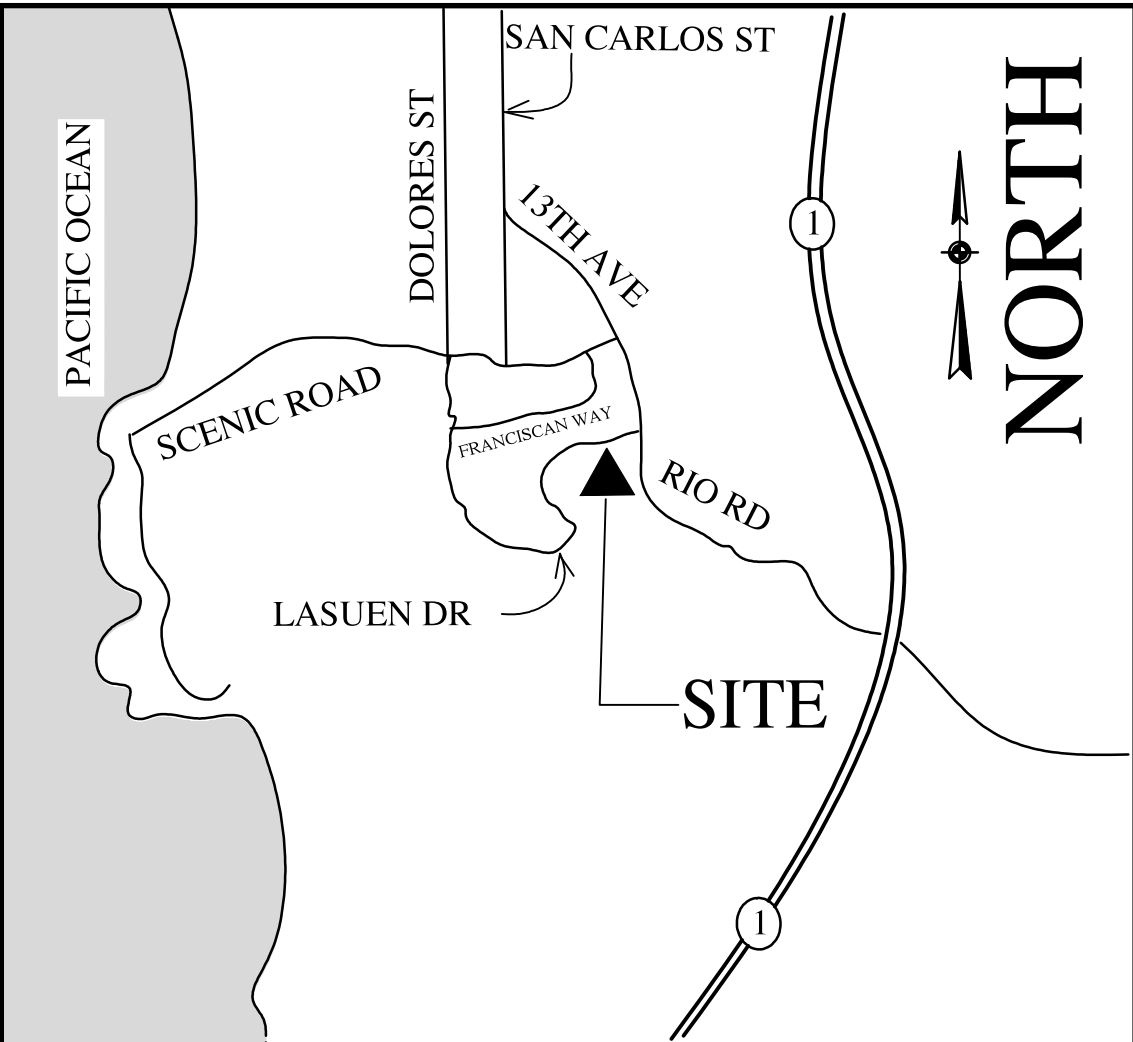


CARMEL MISSION



DOWNIE BUILDING AND FORECOURT



4 NTS VICINITY MAP

PARCEL #: 009-531-003

ADDRESS: SW CORNER RIO ROAD AND LASUEN
3080 RIO ROAD
CARMEL, CA. 93942

ZONING: R-1

PROPOSED PROJECT:

REMODEL EXISTING DOWNIE MUSEUM BUILDING: REMOVE NON- ACCESSIBLE RESTROOMS AND CONVERT INTO MUSEUM SPACE, ADD NEW SINGLE USER RESTROOMS, AND MODIFY FORECOURT PAVING TO CREATE ACCESSIBLE PATHS OF TRAVEL. INSTALL NEW GATE IN EXIST. WALL.

ORIG. PLANNING PERMIT: DR-14-38

3 NTS PROJECT NOTES

OWNER:
DIOCESE OF MONTEREY, PARISH
& SCHOOL OPERATING CORP.
PO BOX 2048
MONTEREY, CA. 93942
(831) 373-4345

FUNDING:
CARMEL MISSION FOUNDATION
PO BOX 221351
CARMEL, CA. 93922
(831) 624-3261

ARCHITECT:
FRANKS & BRENKWITZ, LLP
PO BOX 597
APTOS, CA 95001
(831) 662-8800

PRESERVATION ARCHITECT:
ARCH. RESOURCES GROUP
PIER 9, THE EMBARCADERO,
STE. 107
SAN FRANCISCO, CA. 94111
(415) 421-0127

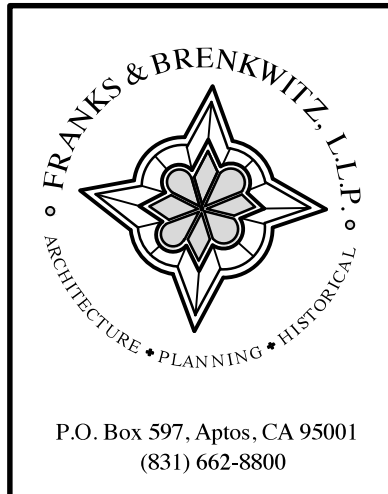
STRUCTURAL:
DONALD C. URFER
AND ASSOC., INC.
2715 PORTER STREET
SOQUEL, CA. 95073
(831) 476-3681

CIVIL ENGINEER:
BEAUTZ ENGINEERING
1360 15TH STREET
LOS OSOS, CA. 93402
(805) 528-5233

2 NTS PROJECT DATA

SHEET NO.	DESCRIPTION
A-1	TITLE SHEET
A-2	SITE PLAN
A-3	DETAILED SITE PLAN
A-4	EXISTING FLOOR PLAN
A-5	PROPOSED FLOOR PLAN
A-6	DETAILED RESTROOM FLOOR PLAN
A-7	EXTERIOR ELEVATIONS
A-8	EXISTING ROOF PLAN
A-9	SITE SECTION
A-10	FORECOURT PAVING DETAILS
A-11	NOTES
A-12	NEW GATE- EAST ELEVATION

1 NTS SHEET INDEX



CARMEL MISSION
DOWNIE BUILDING & FORECOURT

TITLE SHEET

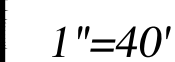
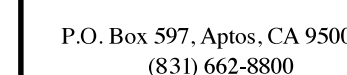
REVISION:

DATE: 5-15-20



SCALE: NTS

SHEET NO.
A-1
OF 12 SHEETS


$$1'' = 40'$$


CARMEL MISSION
DOWNIE BUILDING & FORECOURT

SITE PLAN

REVISION:

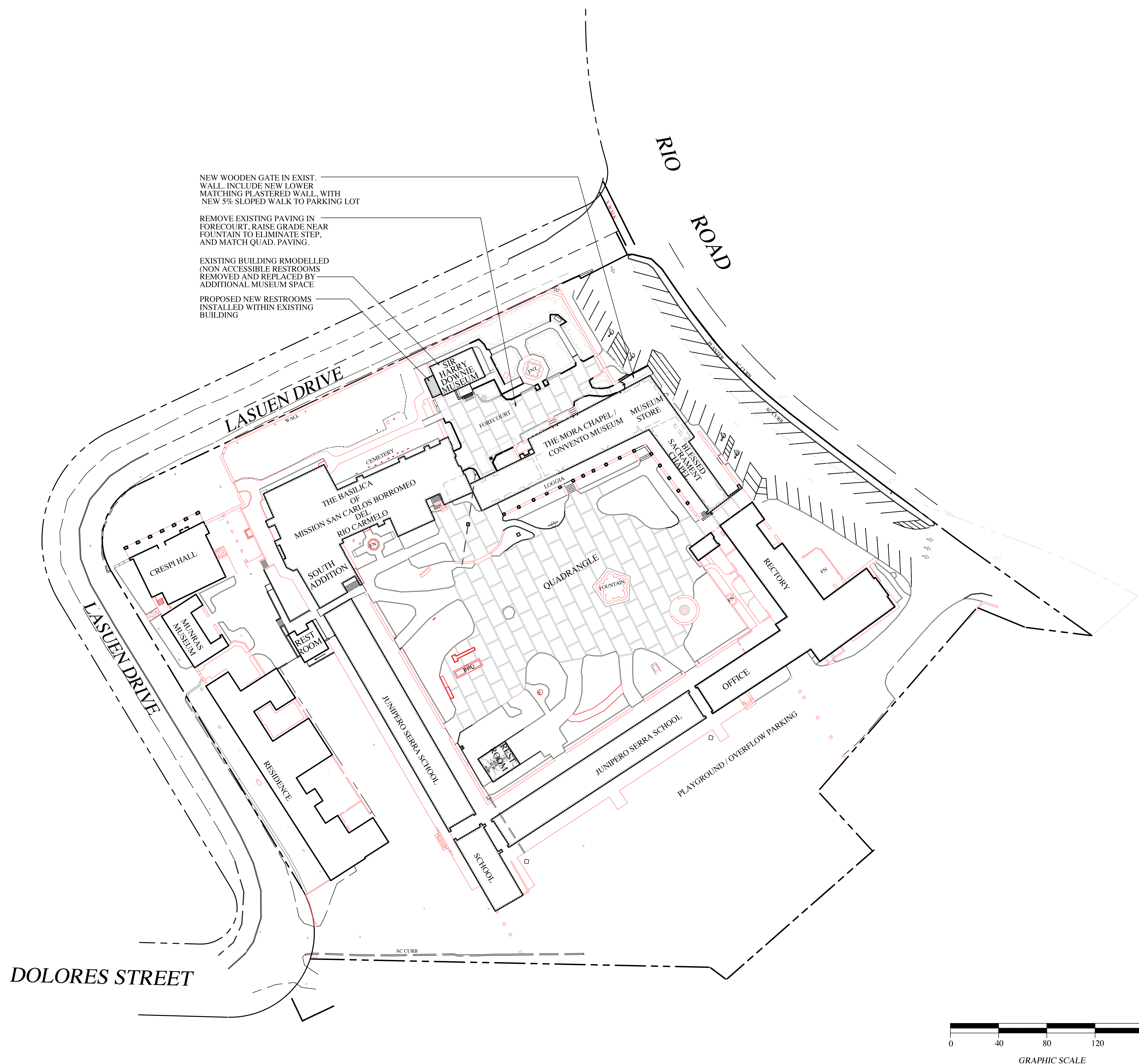
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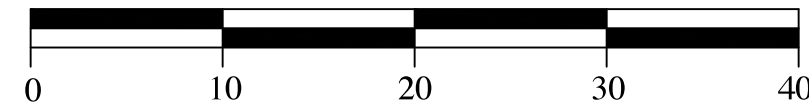
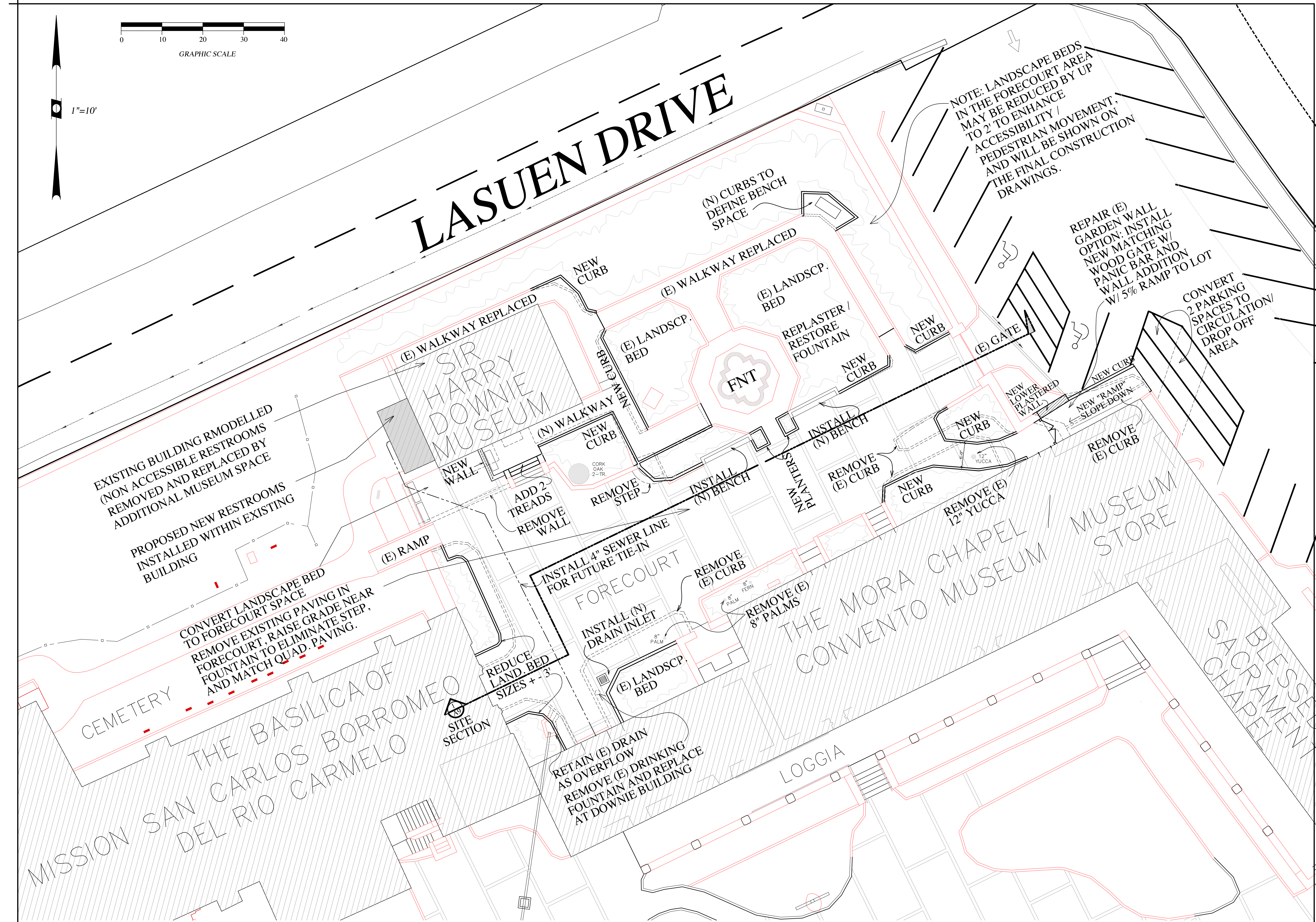


SHEET NO.

A-2

OF 12 SHEETS





GRAPHIC SCALE

1"=10'

LASUEN DRIVE

NOTE: LANDSCAPE BEDS
IN THE FORECOURT AREA
MAY BE REDUCED BY UP
TO 2' TO ENHANCE
PEDESTRIAN MOVEMENT,
AND WILL BE SHOWN ON
THE FINAL CONSTRUCTION
DRAWINGS.

REPAIR (E)
GARDEN WALL
OPTION: INSTALL
NEW MATCHING
WOOD GATE AND
PANIC BAR AND
WALL ADDITION
W/ 5% RAMP TO LOT

CONVERT
2 PARKING
SPACES TO
CIRCULATION/
DROP OFF
AREA

EXISTING BUILDING REMODELLED
(NON ACCESSIBLE RESTROOMS
REMOVED AND REPLACED BY
ADDITIONAL MUSEUM SPACE

PROPOSED NEW RESTROOMS
INSTALLED WITHIN EXISTING
BUILDING

CONVERT LANDSCAPE BED
TO FORECOURT SPACE
REMOVE EXISTING PAVING IN
FORECOURT. RAISE GRADE NEAR
FOUNTAIN TO ELIMINATE STEP,
AND MATCH QUAD. PAVING.

CEMETERY

THE BASILICA OF
SAN CARLOS BORROMEO
DEL RIO CARMELO

SITE
SECTION

REDUCE
LAND. BED
SIZES + - 3'

RETAIN (E) DRAIN
AS OVERFLOW
REMOVE (E) DRINKING
FOUNTAIN AND REPLACE
AT DOWNIE BUILDING

INSTALL 4" SEWER LINE
FOR FUTURE TIE-IN

FORECOURT

INSTALL (N)
DRAIN INLET

(E) LANDSCP.
BED

REMOVE
(E) CURB

REMOVE (E)
8" PALMS

THE MORA CHAPEL
CONVENTO MUSEUM /
MUSEUM STORE

LOGGIA

INSTALL
(N) BENCH

REMOVE
(E) CURB

NEW CURB

REMOVE (E)
12" YUCCA

NEW CURB

NEW LOWER
PLASTERED
WALL

NEW "RAMP"
SLOPE DOWN

REMOVE
(E) CURB

REPLASTER /
RESTORE
FOUNTAIN

(E) LANDSCP.
BED

(E) LANDSCP.
BED

NEW CURB

(E) WALKWAY REPLACED

(E) LANDSCP.
BED

NEW CURB

(N) CURBS TO
DEFINE BENCH
SPACE

(E) WALKWAY REPLACED

(E) LANDSCP.
BED

FRANKS & BRENKWITZ, L.P.
ARCHITECTURE • PLANNING • HISTORICAL
P.O. Box 597, Aptos, CA 95001
(831) 662-8800

CARMEL MISSION
DOWNIE BUILDING AND FORECOURT

DETAILED SITE PLAN

REVISION:

DATE: 5-15-20

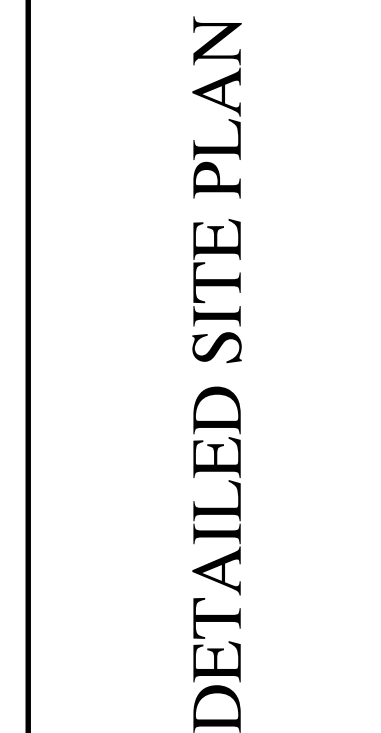
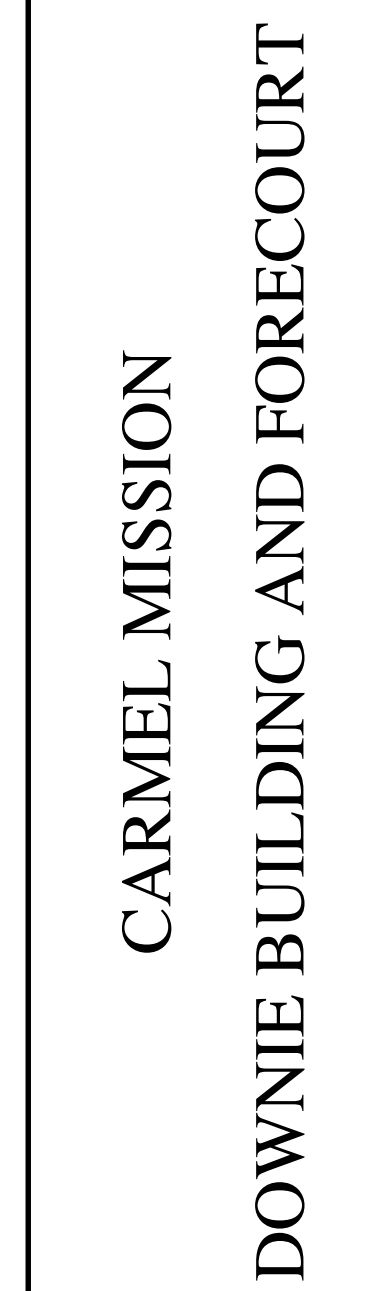
ROBERT W. BRENKOWITZ
No. C25131
REN. 9-30-21
STATE OF CALIFORNIA

SCALE: 1"=10'-0"

SHEET NO.

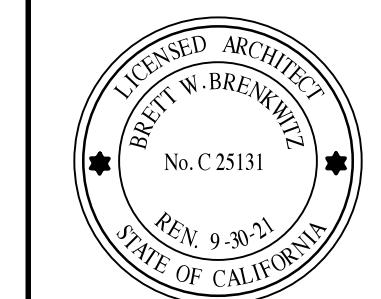
A-3

OF 12 SHEETS



REVISION:
 8-28-20

DATE: 5-15-20

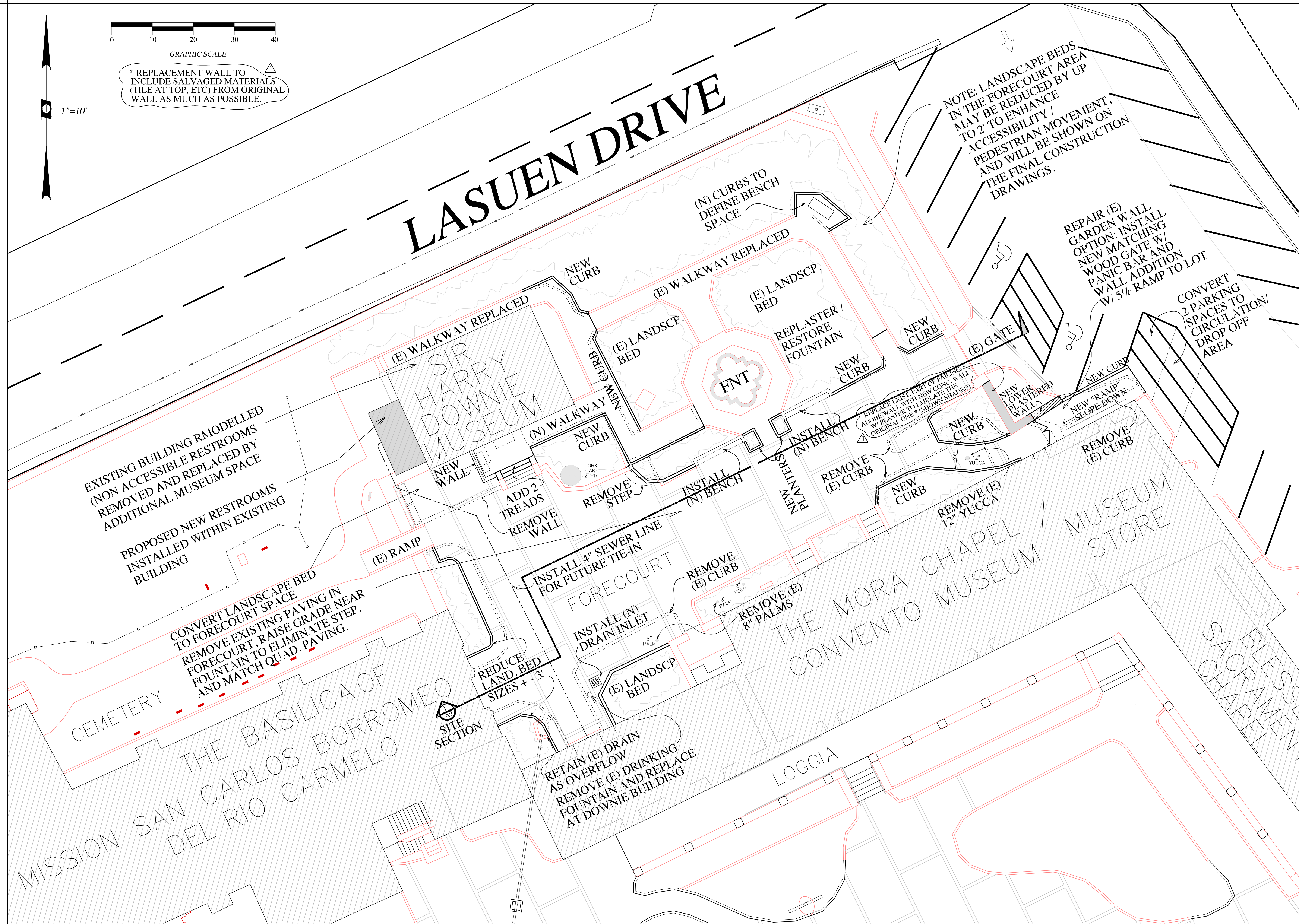


SCALE: 1"=10'-0"

SHEET NO.

A-3

OF 12 SHEETS





CARMEL MISSION
DOWNIE BUILDING & FORECOURT

DOWNIE MUSEUM
EXIST. FLOOR PLAN

REVISION:

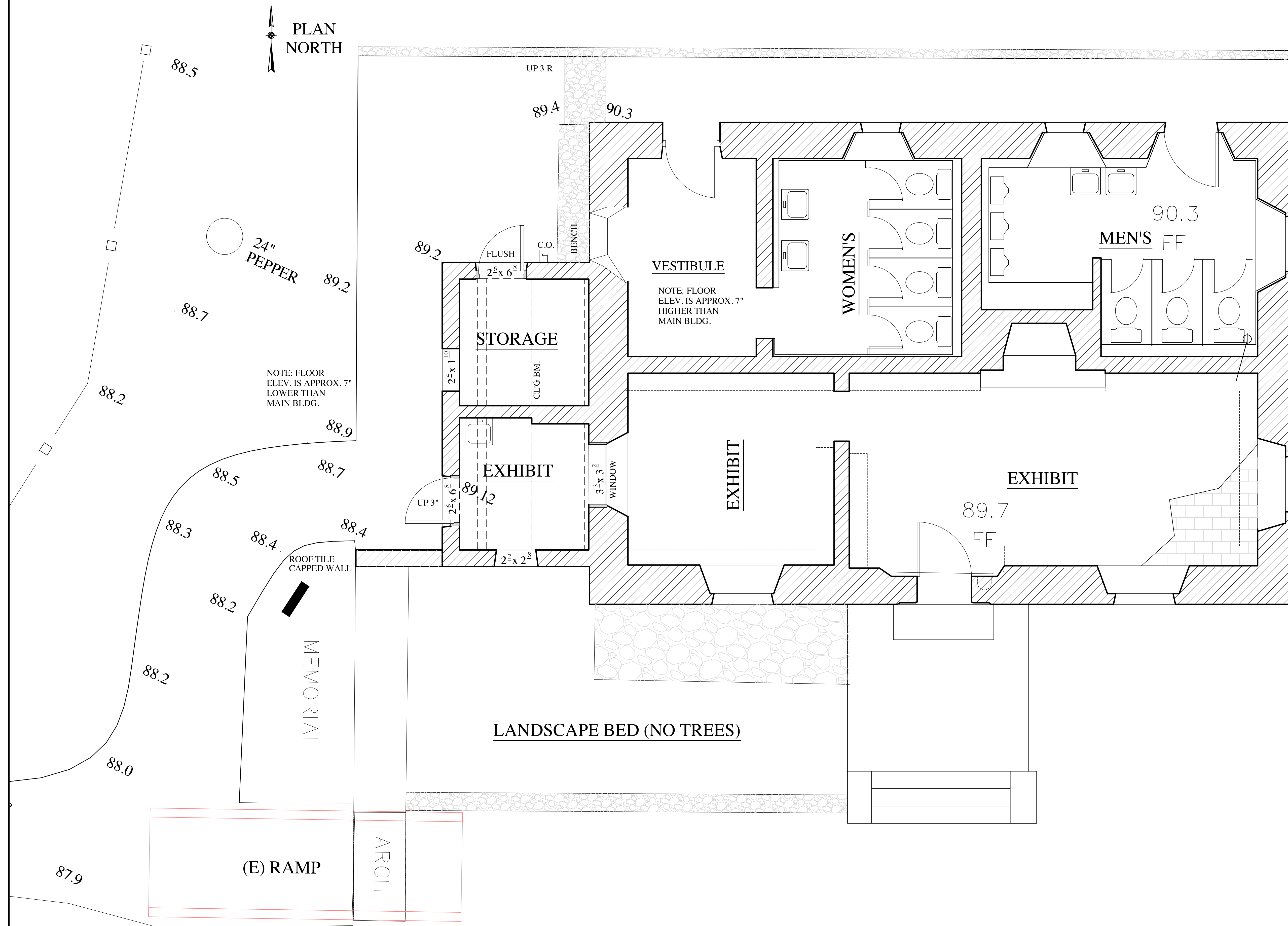
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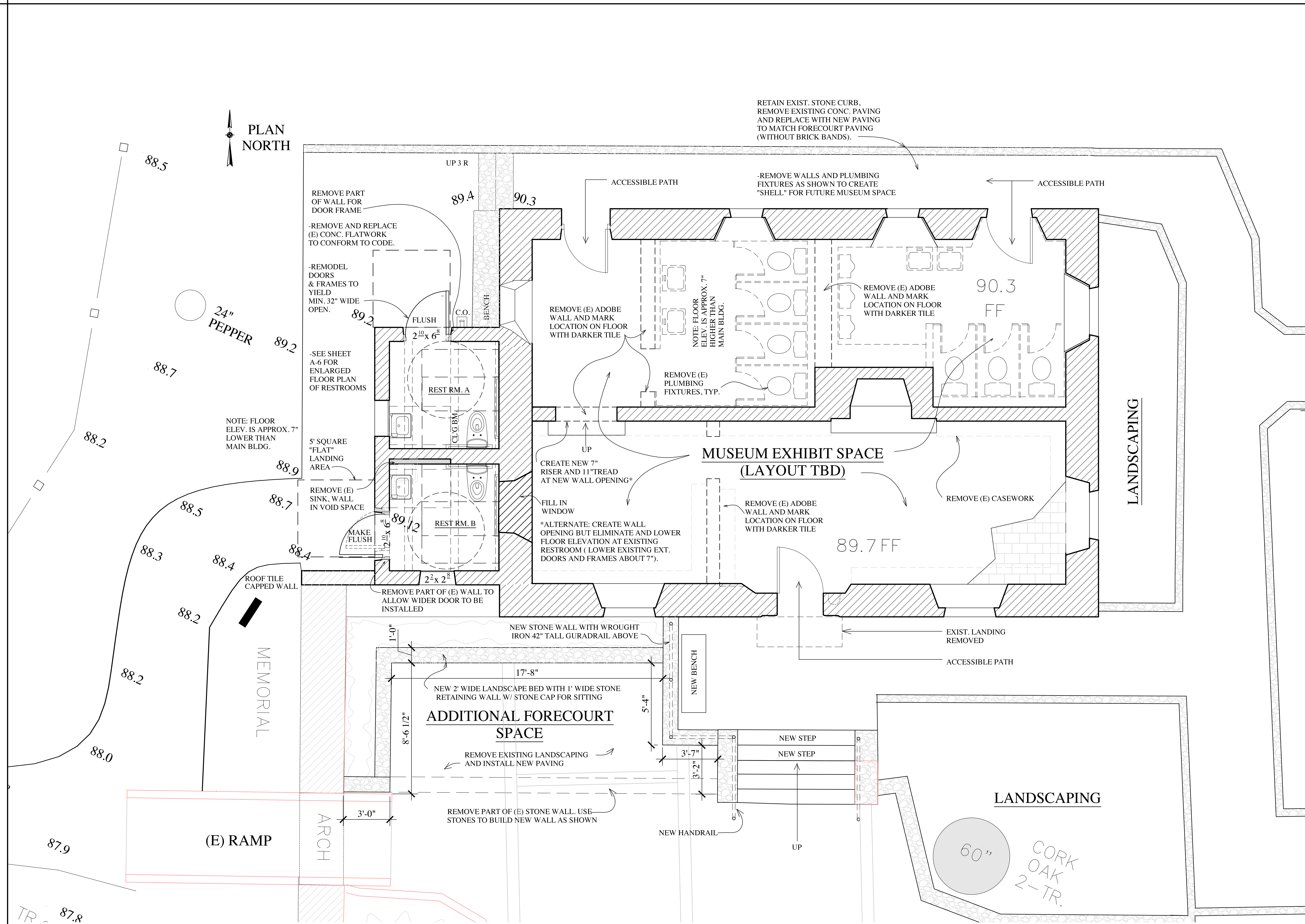
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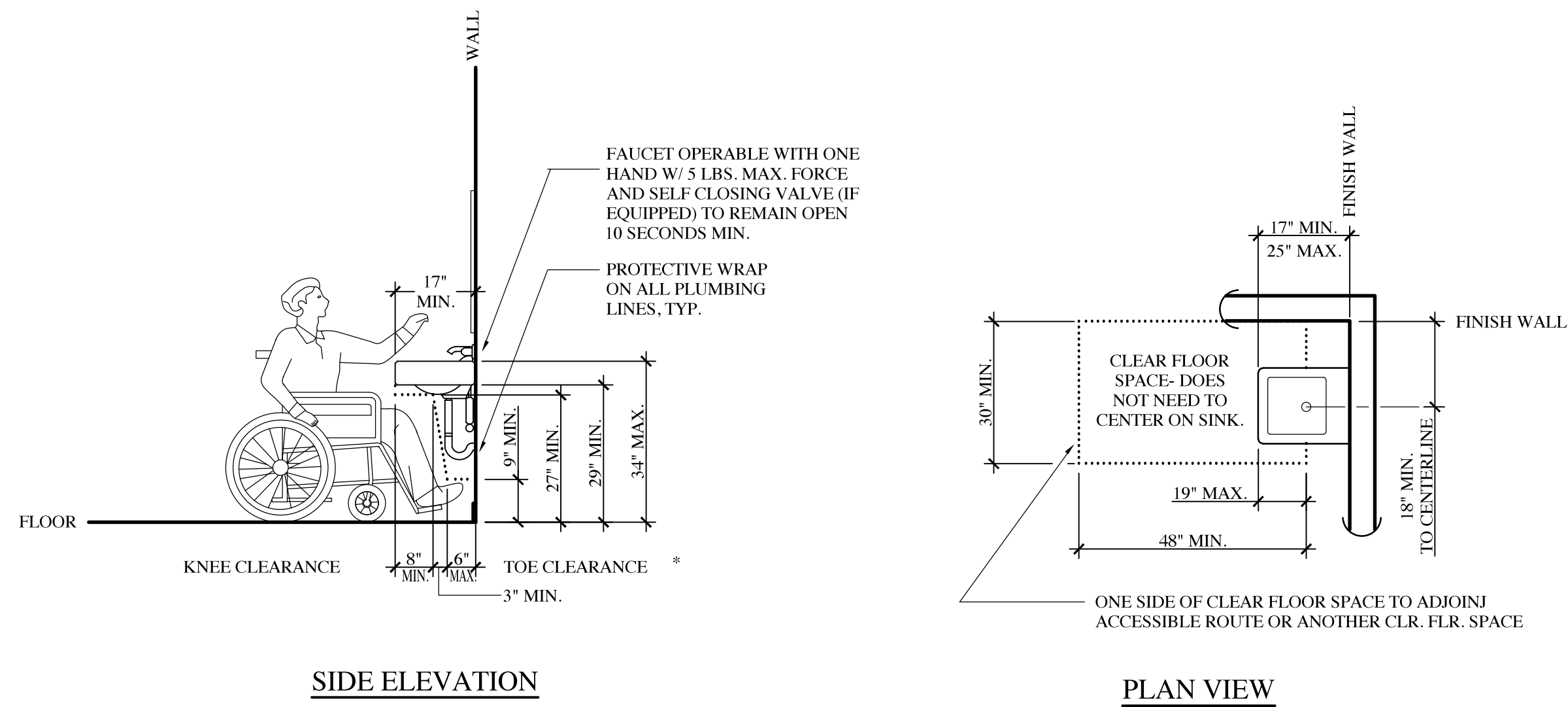
A-4

OF 12 SHEETS



TR 87.8		
1	3/8"=1'	EXISTING FLOOR PLAN



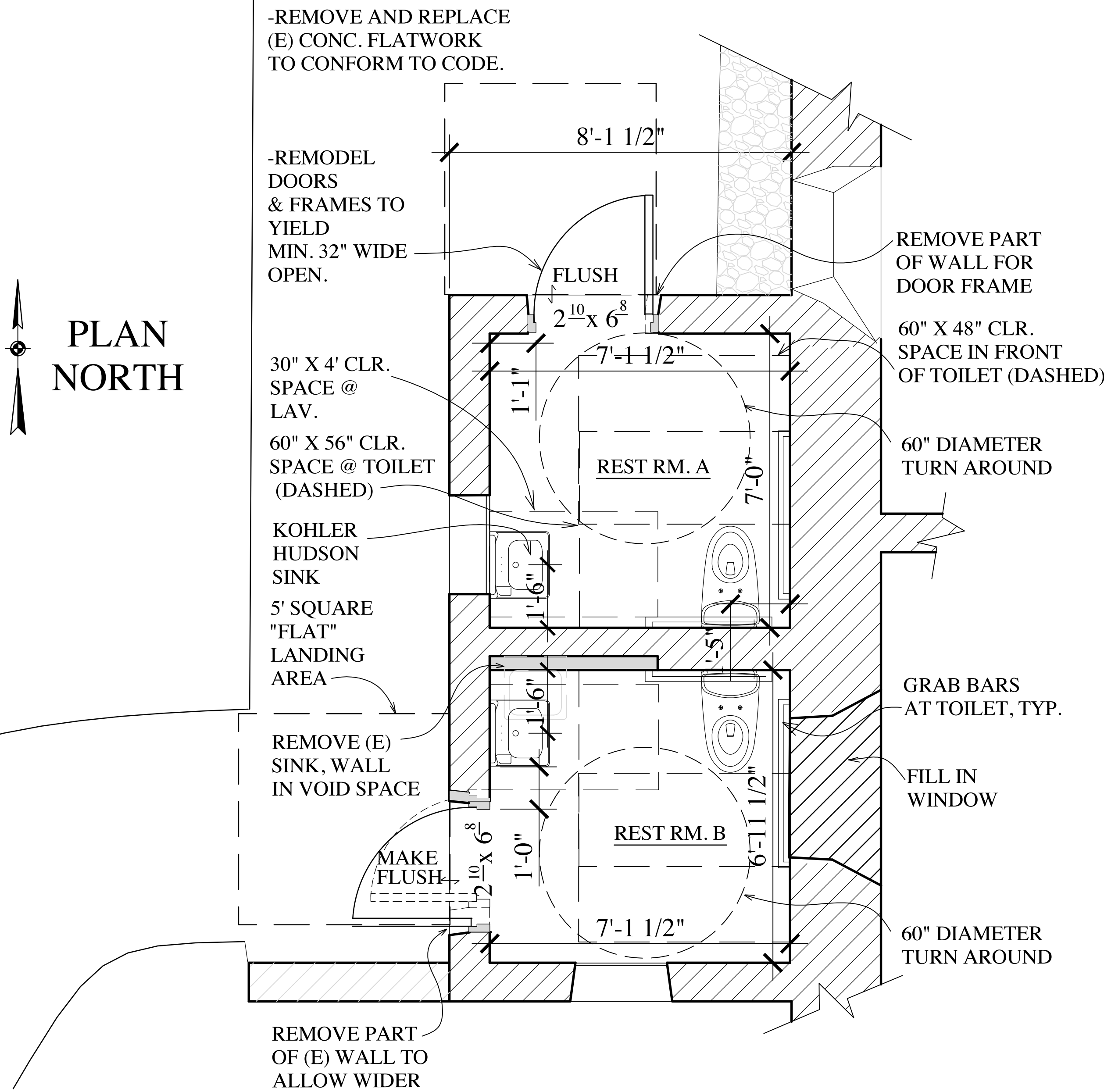


* NOTE: IF A MINIMUM 9 INCHES HEIGHT OF TOE CLEARANCE IS PROVIDED, A MAXIMUM OF 6 INCHES OF THE 48 INCHES OF CLEAR FLOOR SPACE REQUIRED AT THE FIXTURE MAY EXTEND INTO THE TOE SPACE.

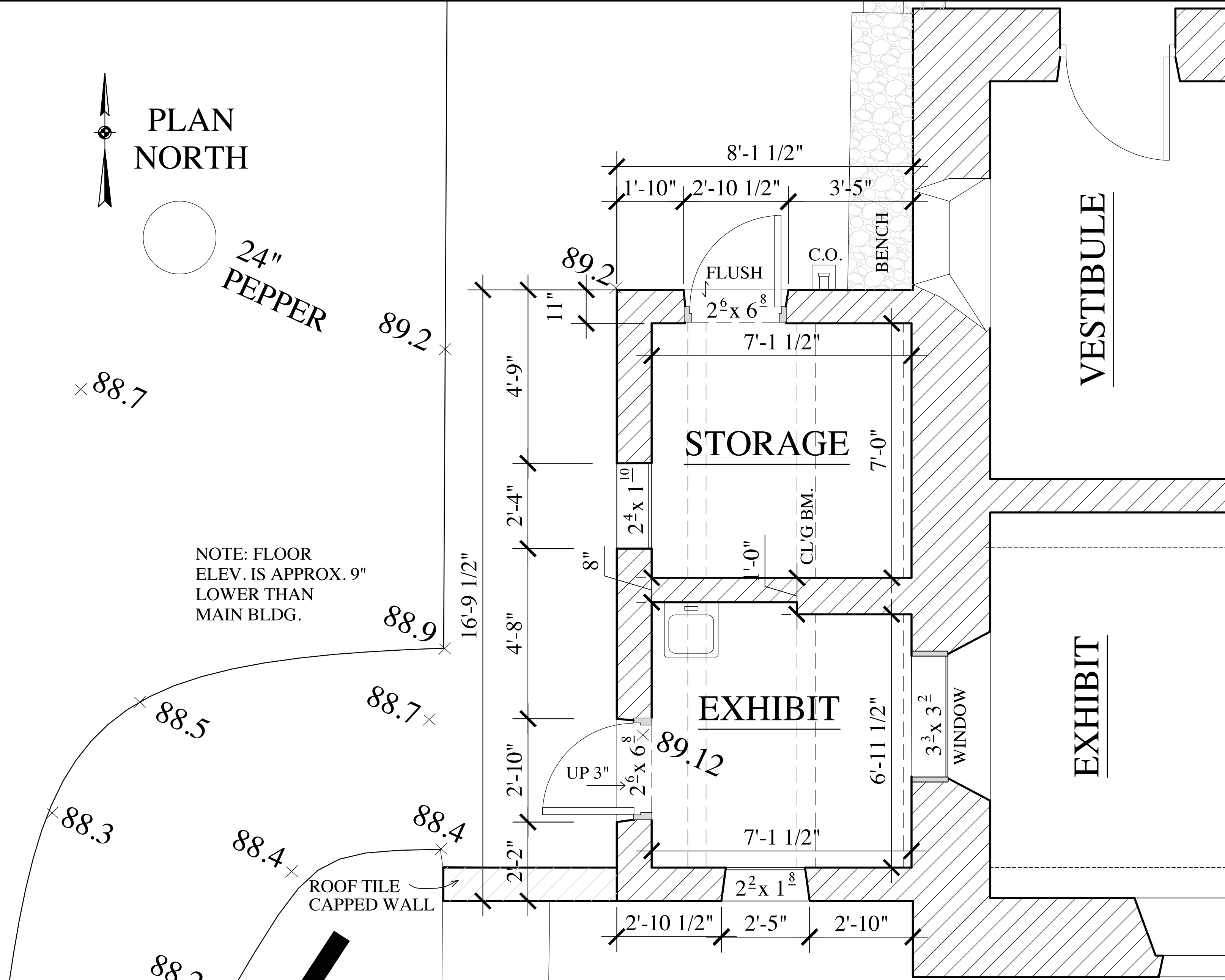
- ALL DIMENSIONS SHOWN ON FLOOR PLAN ARE TO FINISHED SURFACES UNLESS NOTED OTHERWISE.
- EXISTING WOODEN DOORS ARE TO BE ALTERED TO CONFORM TO ADA REQUIRMENTS. ADD 4" TO DOOR WIDTH AND MOVE AS SHOWN TO PERMIT STRIKE SIDE CLEARANCE, TYP. (NO CLOSERS TO BE USED ON DOORS).
- EXISTING WINDOWS TO BE RE-GLAZED WITH OBSCURE GLASS.
- NEW ELEC. HOT WATER POINT OF USE HEATERS TO BE PLACED IN TOILET ROOMS
- TOILET ROOM ACCESSORIES (T.P. HOLDER, HAND TOWELLS, ETC., NOT SHOWN)
- EXISTING WALLS ARE PLASTER OVER ADOBE. IN RESTROOM, PAINT PLASTER WALLS WITH SEMI GLOSS ENAMEL PAINT.
- EXISTING CONC. FLOOR TO BE COVERED WITH NEW FLOOR TILE.
- REMOVE EXIST. EXTERIOR CONC. FLATWORK AND POUR NEW CONCRETE TO CONFORM TO CODE.

4 NTS ADA SINK REQUIREMENTS

3 NTS NOTES



2 1/2"=1' PROPOSED FLOOR PLAN



1 1/2"=1' EXISTING FLOOR PLAN

CARMEL MISSION
DOWNIE BUILDING & FORECOURT

DOWNIE BUILDING
EXTERIOR ELEVATIONS

REVISION:

DATE: 5-15-20

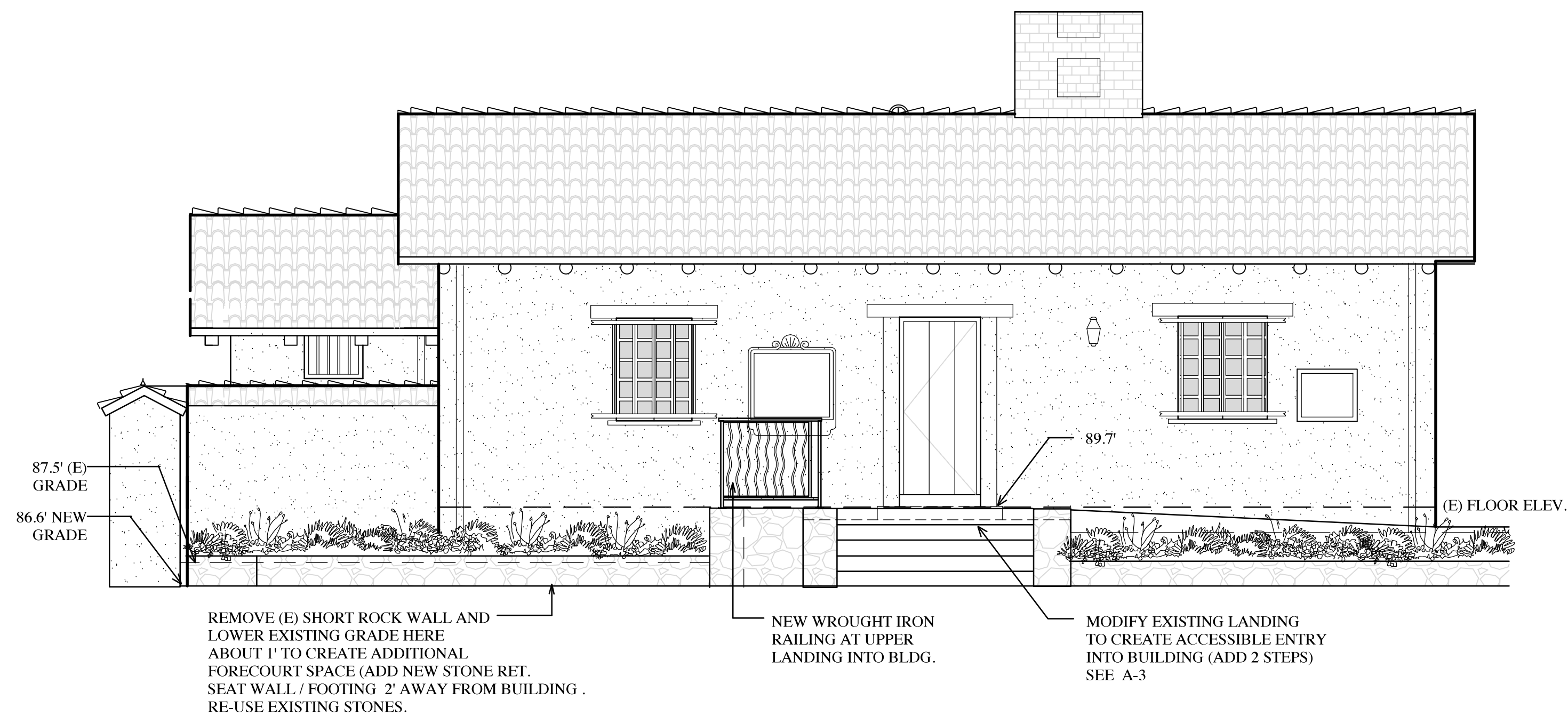


SCALE: 1/4"=1'-0"

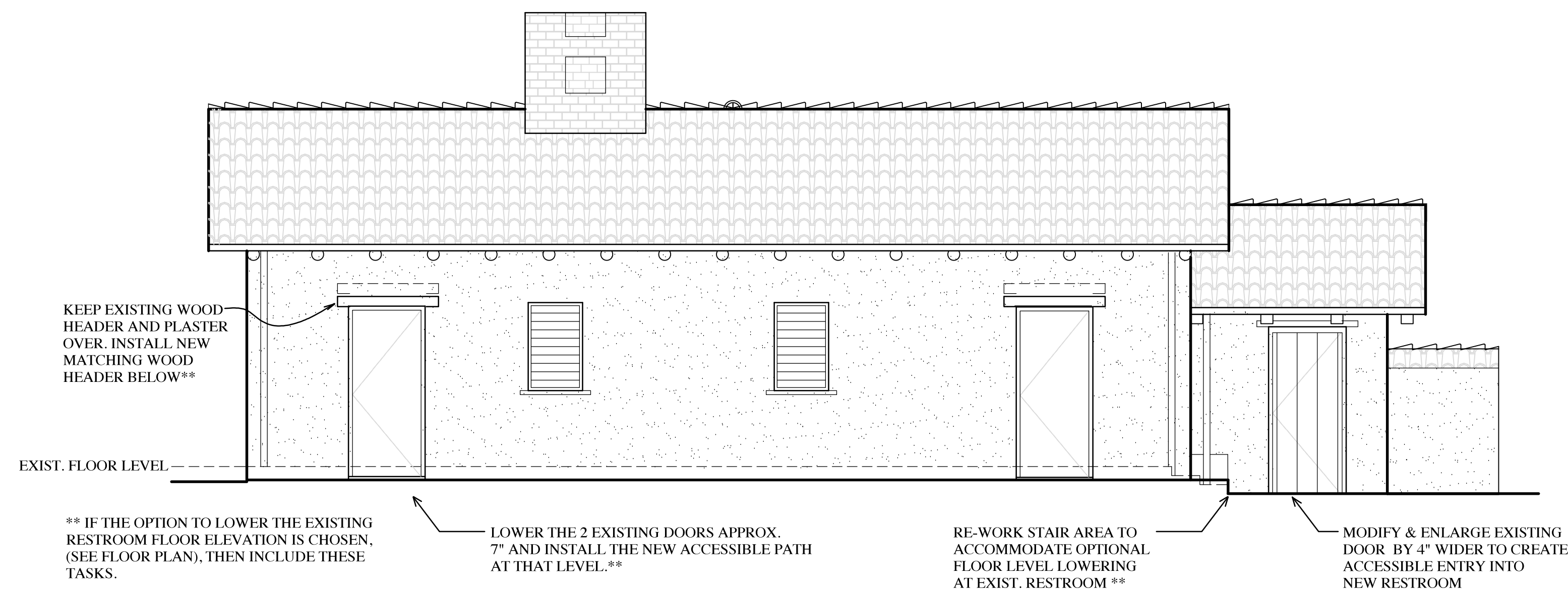
SHEET NO.

A-7

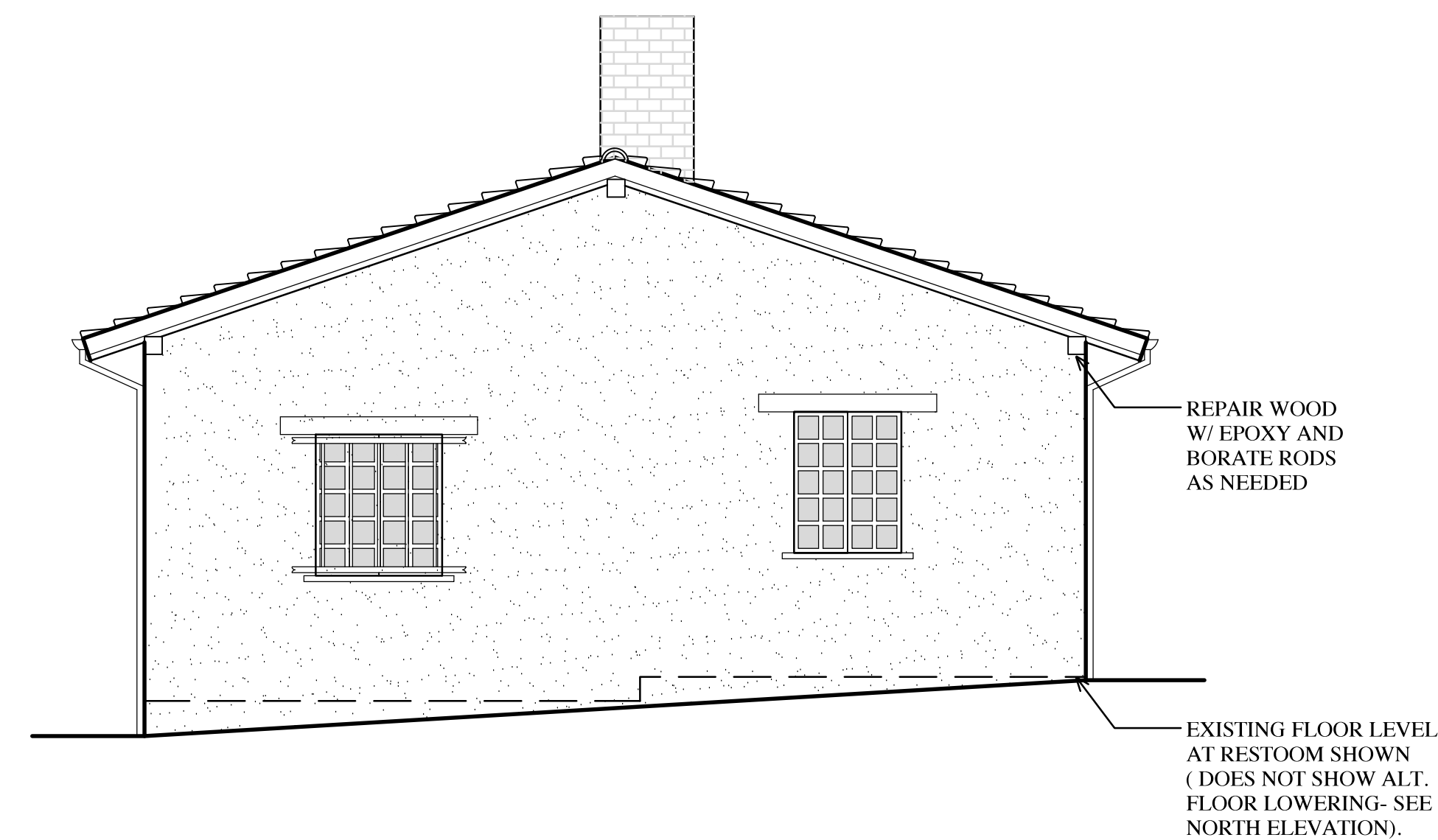
OF 12 SHEETS



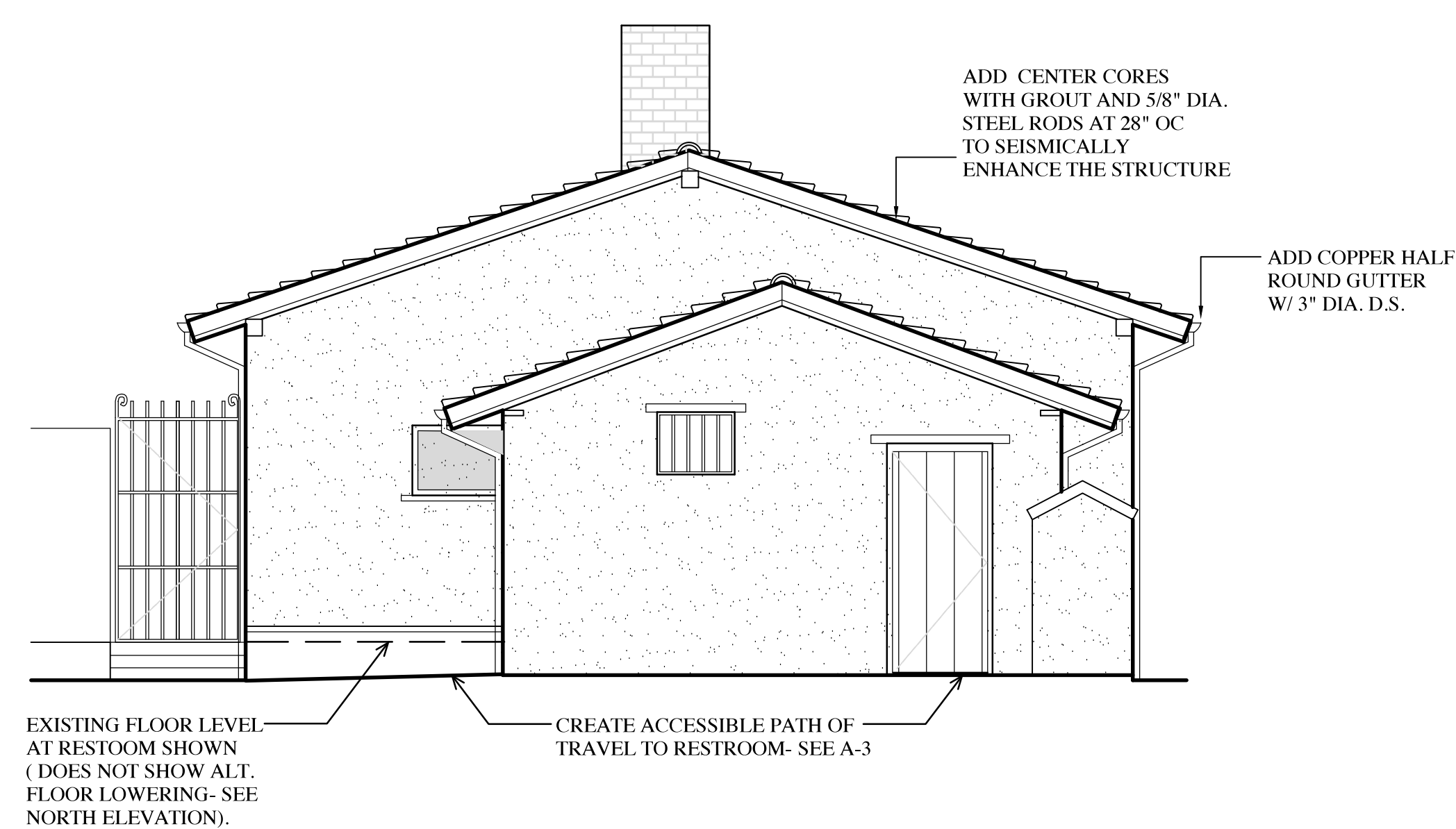
SOUTH ELEVATION



NORTH ELEVATION



EAST ELEVATION



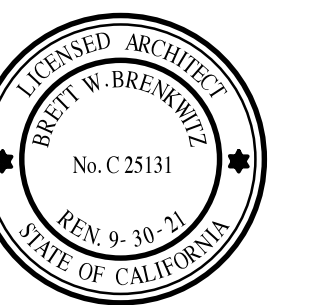
WEST ELEVATION

CARMEL MISSION
DOWNIE BUILDING & FORECOURT

DOWNIE BUILDING EXISTING
ROOF FRAMING PLAN

REVISION:

DATE: 5-15-20

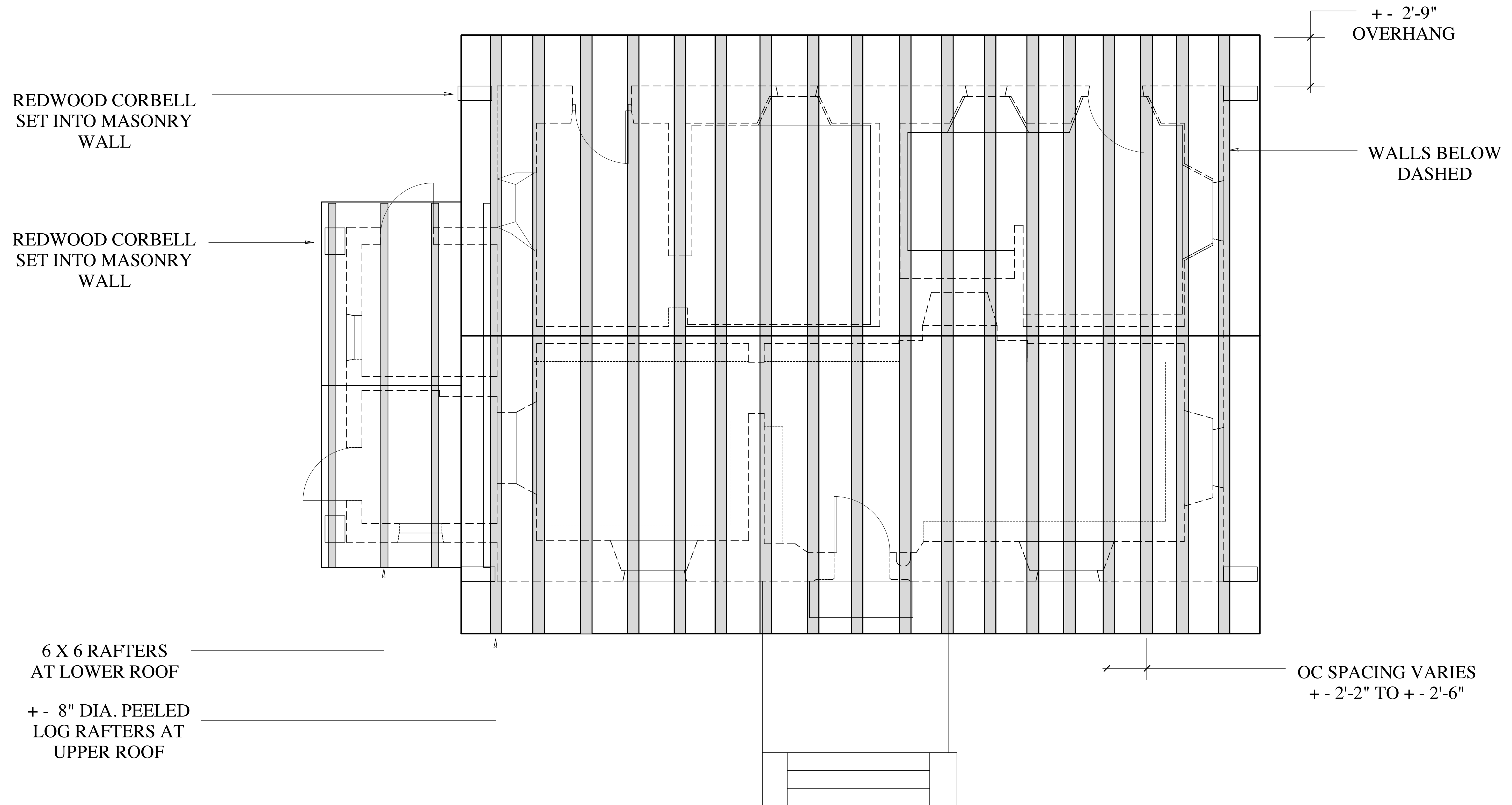


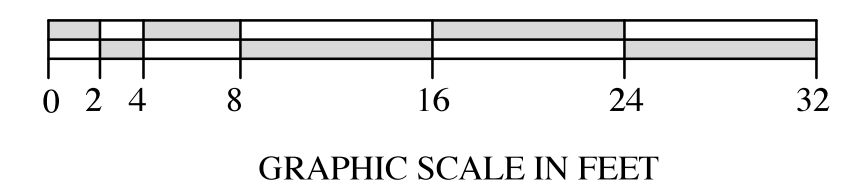
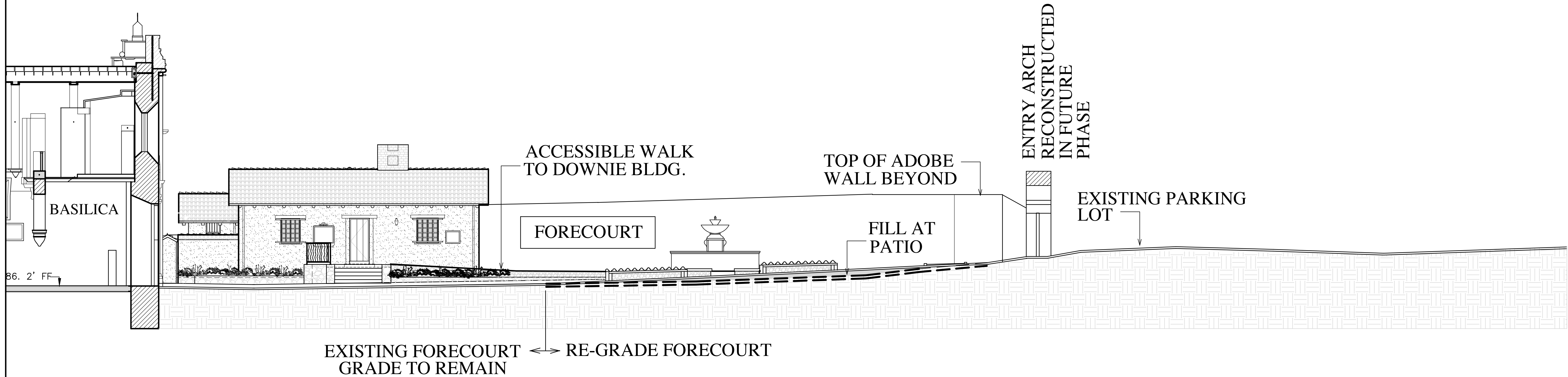
SCALE: 3/8"=1'-0"

SHEET NO.

A-8

OF 12 SHEETS





CARMEL MISSION
DOWNIE BUILDING & FORECOURT

SITE SECTION

REVISION:

DATE: 5-15-20

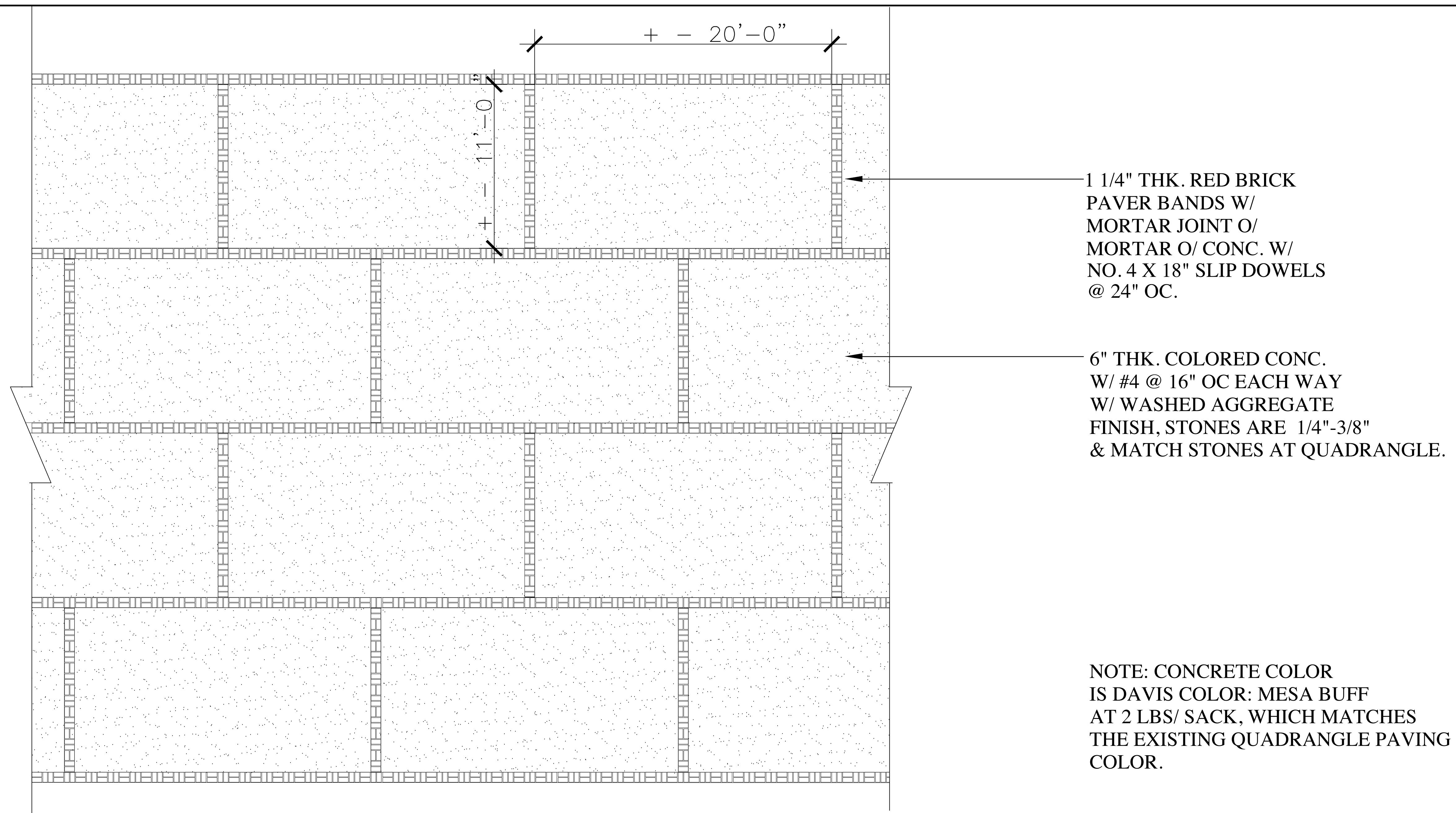


SCALE: 1/8"=1'

SHEET NO.

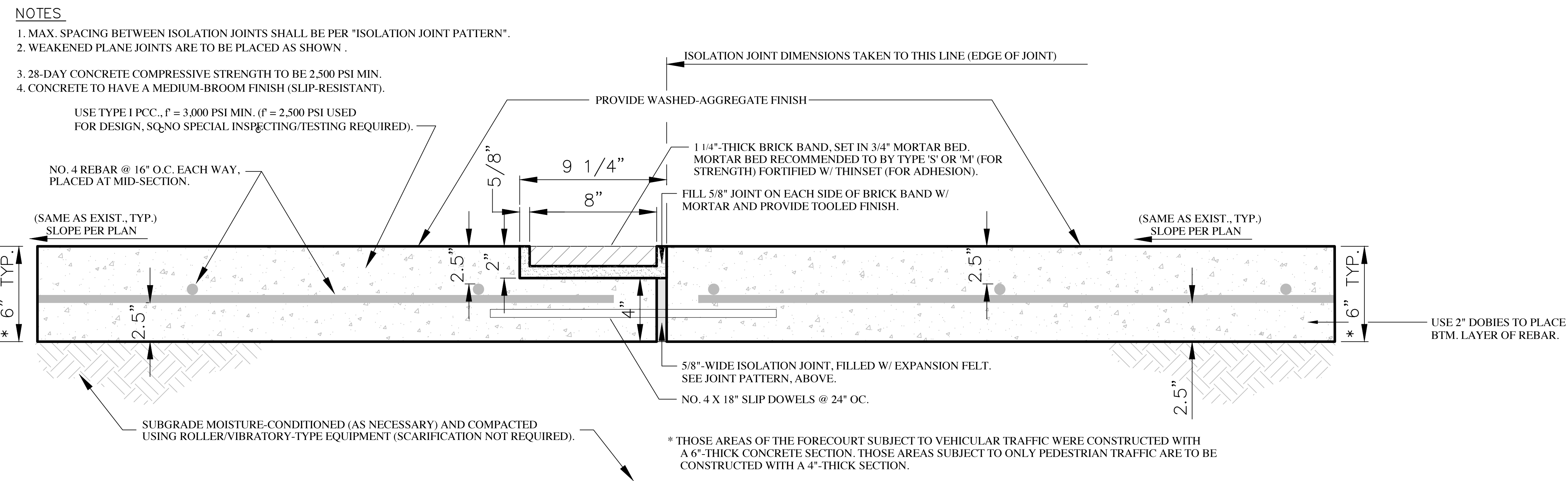
A-9

OF 12 SHEETS



NOTE: CONCRETE COLOR IS DAVIS COLOR: MESA BUFF AT 2 LBS/ SACK, WHICH MATCHES THE EXISTING QUADRANGLE PAVING COLOR.

2 1/4"=1' PAVING PATTERN AT FORECOURT



1 3"=1' PAVING DETAIL AT FORECOURT

P.O. Box 597, Aptos, CA 95001
(831) 662-8800

CARMEL MISSION
DOWNIE BUILDING & FORECOURT

FORECOURT PAVING DETAILS

REVISION:

DATE: 5-15-20

SCALE: SEE DWG.

SHEET NO.
A-10
OF 12 SHEETS

GENERAL NOTES

GENERAL

- 1) THE WORK SHALL CONFORM TO THE 2019 CALIFORNIA STATE HISTORICAL BUILDING CODE (CHBC), THE 2019 CALIFORNIA BUILDING CODE (CBC) AND THE REQUIREMENTS OF THE CITY OF CARMEL, CALIFORNIA, UNLESS NOTED OTHERWISE ON THESE DRAWINGS.

2) THE WORK SHALL COMPLY WITH THE SECRETARY OF THE INTERIOR'S STANDARDS FOR THE TREATMENT OF HISTORIC PROPERTIES.

3) PART OF THE WORK SHOWN ON THESE DRAWINGS IS FOR SEISMIC STRENGTHENING OF A HISTORICAL BUILDING WITH WALLS OF ADOBE MASONRY AND ROOF OF WOOD-FRAME CONSTRUCTION.

4) VERIFY THE EXISTING CONDITIONS AND DIMENSIONS BEFORE BEGINNING THE WORK, AND IN THE COURSE OF THE WORK NOTIFY THE ARCHITECT OF A DISCOVERED DISCREPANCY. DO NOT PROCEED WITH WORK INVOLVING A DISCREPANCY ON THE DRAWINGS WITHOUT CLARIFICATION FROM THE ARCHITECT.

5) ALTERNATIVE PRODUCTS TO THOSE SPECIFIED ON THESE DRAWINGS MAY BE PROPOSED. SUBMIT TO THE ARCHITECT A WRITTEN REQUEST ALONG WITH THE ICBO RESEARCH REPORT OR OTHER TECHNICAL DATA INDICATING EQUIVALENCE TO THE PRODUCT SPECIFIED. DO NOT PROCEED WITH THE USE OF AN ALTERNATIVE PRODUCT WITHOUT THE WRITTEN ACCEPTANCE OF THE ARCHITECT AND APPROVAL BY THE BUILDING DEPARTMENT.

6) SUBMIT TO THE ARCHITECT CERTIFICATES FROM THE MATERIAL SUPPLIERS INDICATING COMPLIANCE WITH THE MATERIALS QUALITY REQUIREMENTS INDICATED IN THESE GENERAL NOTES. DO NOT PROCEED WITH INSTALLATION OF MATERIALS UNTIL THE CERTIFICATION HAS BEEN ACCEPTED AND ACKNOWLEDGED IN WRITING BY THE ARCHITECT.

7) COORDINATE WITH THE ARCHITECT FOR STRUCTURAL OBSERVATION VISITS BY THE ENGINEER AT THE FOLLOWING TIMES:

• WHEN ROOF AND ROOF SHEATHING HAS BEEN REMOVED AS REQUIRED FOR CONSTRUCTION ACCESS.

• AT THE COMMENCEMENT OF DRILLING FOR AND INSTALLATION OF VERTICAL NATURAL LIME-GROUTED TOP-OF-WALL ANCHORS TO OBSERVE LAYOUT, DRILLING, AND INSTALLATION OF FIRST ANCHORS.

• AT COMPLETION OF ROOF AND CEILING FRAMING ENHANCEMENT, TOP-OF-WALL ANCHORS INSTALLED, BEFORE INSTALLATION OF (N) PLYWOOD ROOF SHEATHING

• AT COMMENCEMENT OF ANY CRACK REPAIR.

8) CONT. IS TO PROVIDE A MEANS FOR "COVERING UP" THE PROJECT OVERNIGHT OR IN THE EVENT OF INCLEMENT WEATHER APPROACHING IN ORDER TO PROTECT THE EXISTING BUILDING FROM WATER DAMAGE.

9) THE PROJECT IS LISTED ON THE NATIONAL REGISTER OF HISTORIC PLACES.

FOUNDATION AND EXCAVATION

- 1) THERE IS NO FOUNDATION WORK IN THIS PROJECT. NO INDICATION OF FOUNDATION SETTLEMENT HAS BEEN OBSERVED.
- 2) DO NOT PROCEED WITH EXCAVATION OF ANY KIND WITHOUT NOTIFYING THE ARCHITECT. EXCAVATIONS DONE FOR ANY REASON SHALL BE OBSERVED BY THE PROJECT ARCHEOLOGIST. NOTIFY THE ARCHEOLOGIST OF EXCAVATION SCHEDULE AND CONFIRM THE SCHEDULE WITH THE ARCHEOLOGIST 24 HOURS BEFORE BEGINNING AN EXCAVATION. DO NOT PROCEED WITH AN EXCAVATION WITHOUT OBSERVATION BY THE ARCHEOLOGIST.


LUMBER AND PLYWOOD:

- 1) PRESERVATIVE TREATMENT:

• PLYWOOD SHALL BE TREATED ON ALL SURFACES WITH BORA-CARE PRESERVATIVE INSECTICIDE AS MANUFACTURED BY NISUS CORPORATION (WWW.NISUSCORP.COM). APPLY IN COMPLIANCE WITH THE MANUFACTURER'S INSTRUCTIONS, OR PRE-TREAT LUMBER.

• SAWN LUMBER SHALL BE TREATED WITH WATER-BORNE PRESERVATIVE IN COMPLIANCE WITH AWPA STANDARD C2.

• FIELD APPLY BORA-CARE TO TREATED LUMBER FIELD CUTS IN COMPLIANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.

• AT ALL AREAS WHERE NEW PRESSURE TREATED WOOD BEARS ON CONCRETE OR STONE, WRAP WITH 60-MIL MINIMUM THICKNESS BITUTHENE SUCH AS JIFFY SEAL  BY PROTECTO-WRAP (WWW.PROTECTOWRAP.COM) TO ISOLATE THESE ELEMENTS PRIOR TO INSTALLATION AT BEARING POINT. APPLY TO WOOD SURFACES IN COMPLIANCE WITH THE MANUFACTURER'S INSTRUCTIONS. ALSO APPLY TO ALL WOOD ELEMENTS IN CONTACT W/ NEW CONCRETE TO PROTECT THEM.
- 2) ISOLATION OF PRESSURE TREATED WOOD TO GALVANIZED IRON HANGERS:

• RECENT CHANGES IN PRESSURE TREATING WOOD HAVE RESULTED IN A HIGHER COPPER CONTENT IN THE PRESERVATIVE. TO PREVENT ELECTROLYSIS BETWEEN PRESSURE TREATED MEMBERS AND GALVANIZED STEEL HANGERS AND CONNECTORS, WRAP THE ENDS OF ALL PRESSURE TREATED MEMBERS WITH 60-MIL MINIMUM THICKNESS BITUTHANE. APPLY TO WOOD SURFACES IN COMPLIANCE WITH THE MANUFACTURER'S INSTRUCTIONS.

• NOTE THAT THIS PROTECTION IS NOT NECESSARY WHERE STAINLESS STEEL HANGERS OR CONNECTORS ARE USED.
- 3) REPAIR OF TERMITE/DRYROT DAMAGE:

• THE DESIGN INTENT IS TO REPAIR DAMAGED WOOD MEMBERS IN LIEU OF REPLACEMENT WHERE POSSIBLE. COMB REPAIRS TO EXPOSED WOOD MEMBERS TO MATCH EXISTING TEXTURE AT FILLS.

• REPLACEMENT OF DAMAGED WOOD ELEMENTS DESIGNATED BY THE ARCHITECT OR ENGINEER SHALL BE "IN KIND" TO MATCH SPECIES, DIMENSIONS AND TEXTURE.

• REFER TO PROJECT SPECIFICATIONS FOR EPOXY REPAIR OF DECORATIVE WOOD ELEMENTS.

MASONRY REPAIR

- 1) SELECTION OF ADOBE FOR POSSIBLE MASONRY REPAIR:

• ADOBE BRICKS THAT ARE COMPLETELY FRACTURED AND EITHER COME APART OR BECOME LOOSE WHEN PREPARING THE SURFACE SHOULD BE RESET OR REPLACED WITH SIMILAR BRICKS. SOME SHAPING MAY BE NECESSARY.

EXISTING CONSTRUCTION

- 1) CUTS INTO EXISTING ADOBE MASONRY SHALL BE MADE WITH ROTARY POWER TOOLS AND HAND-HELD SCRAPING AND CHIPPING TOOLS. IMPACT TOOLS SHALL NOT BE USED.
- 2) MOST DRAWINGS SHOW THE COMPLETED CONSTRUCTION. PROVIDE SHORING AND TEMPORARY SUPPORTS AS NEEDED TO DO THE WORK SAFELY WITHOUT DAMAGE TO THE EXISTING CONSTRUCTION.
- 3) REPAIR FINISHES DAMAGED BY THE WORK. INCLUDING FINISHES DAMAGED TO MAKE ACCESS FOR THE WORK SHOWN ON THE DRAWINGS. MATCH THE ADJACENT EXISTING FINISH. REPORT DAMAGE TO FINISHES TO THE ARCHITECT WITH A REQUEST FOR INSTRUCTIONS BEFORE PROCEEDING WITH REPAIRS.
- 4) REPAIR DAMAGE TO NON-STRUCTURAL SYSTEMS (MECHANICAL, ELECTRICAL, PLUMBING, ETC.) RESULTING FROM THE WORK. REPORT DAMAGE TO NON-STRUCTURAL BUILDING SYSTEMS TO THE ARCHITECT WITH A REQUEST FOR INSTRUCTIONS BEFORE PROCEEDING WITH REPAIRS.
- 5) REPAIR STRUCTURAL DAMAGE CAUSED BY THE WORK. REPORT STRUCTURAL DAMAGE TO THE ENGINEER. DO NOT PROCEED WITH STRUCTURAL REPAIRS WITHOUT INSTRUCTIONS FROM THE ENGINEER THAT ARE APPROVED BY THE BUILDING DEPARTMENT.
- 6) REPAIR OF EXISTING DAMAGED FINISHES AND REPLICATION OF EXISTING FINISHES SHALL BE AS INSTRUCTED BY THE ARCHITECT.
- 7) ENVIRONMENTAL REQUIREMENTS:

• PROVIDE TARPING OVER THE OUTSIDE OF SCAFFOLDING TO PROTECT REPAIR PLASTER FROM UNEVEN AND EXCESSIVE EVAPORATION DURING DRY, HOT WEATHER.
- 8) MOCK-UP:

• MOCK-UPS OF REPAIR PROCEDURES WILL BE NEEDED UNTIL THE OWNER'S REPRESENTATIVE IS COMPLETELY SATISFIED OF THE RESULTS. MOCK-UPS SHOULD INCLUDE SEVERAL CONDITIONS, SUCH AS AREAS OF ORIGINAL MORTAR, AREAS OF ORIGINAL LIME MORTAR, AREAS HIGH ON THE WALLS AND AREAS NEAR GRADE.

• MOCK-UPS FOR THE REPAIR SHALL BE PREPARED AND APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO THE CONTINUATION OF THE REPAIR. MOCK-UP AREAS SHALL BE PART OF THE ORIGINAL STRUCTURE AND SHALL REMAIN AFTER APPROVAL AS THE STANDARD FOR THAT PART OF THE WORK. IT SHALL ALSO REMAIN A PART OF THE FINAL CONSERVATION TREATMENT.
- 9) QUALITY ASSURANCE:

• ALL REPAIRS SHALL BE TESTED ON SITE TO ENSURE THAT THE SPECIFICS OF THIS SECTION ARE COMPATIBLE WITH THE SITE CONDITIONS AND THE MATERIALS THAT ARE UTILIZED. THE OWNER'S REPRESENTATIVE SHALL APPROVE MODIFICATIONS AND/OR CHANGES TO THE SPECIFICS OF THIS SECTION.

PERMIT CONDITIONS

- 1) THE BUILDING SHALL NOT BE TEMPORARILY OCCUPIED UNDER THE FOLLOWING CONDITIONS:

• THE BUILDING STRENGTH HAS BEEN SUBSTANTIALLY WEAKENED.

• REQUIRED EXITS ARE OBSTRUCTED.

• REQUIRED FIRE-SAFETY DEVICES ARE NOT OPERATIONAL.
- 2) THE STAMPED SET OF DRAWINGS SHALL BE KEPT ON THE SITE AND SHALL BE AVAILABLE TO AUTHORIZED REPRESENTATIVES OF THE BUILDING DEPARTMENT AND TO THE ENGINEER AND ARCHITECT. THERE SHALL BE NO DEVIATION FROM THE APPROVED DRAWINGS WITHOUT APPROVAL IN WRITING FROM THE ARCHITECT AND THE BUILDING DEPARTMENT.
- 3) SECURE A SEPARATE PERMIT AS NEEDED FOR STRUCT. WORK NOT SHOWN ON THESE DRAWINGS AND FOR ELECT., PLUMB., AND / OR MECH. VENTILATION WORK.
- 4) FIND OUT THE SCHEDULE OF REQUIRED BUILDING DEPARTMENT INSPECTIONS BEFORE BEGINNING THE WORK.

JOBSITE SAFETY

- 1) CONSTRUCTION SAFETY MEASURES SHALL COMPLY WITH APPLICABLE REGULATIONS INCLUDING STATE OF CALIFORNIA AND OSHA REQUIREMENTS. THE CONTRACTOR SHALL ASSUME FULL AND SOLE RESPONSIBILITY FOR JOBSITE SAFETY, INCLUDING MEANS, METHODS, SEQUENCE OF OPERATIONS, PROCEDURES, TECHNIQUES, SAFETY EQUIPMENT AND CLOTHING, WORKER TRAINING, PROJECT-SPECIFIC SAFETY PLAN, AND EMERGENCY PROCEDURES.



CARMEL MISSION
DOWNIE BUILDING & FORECOURT

NOTES

REVISION:

DATE: 5-15-20

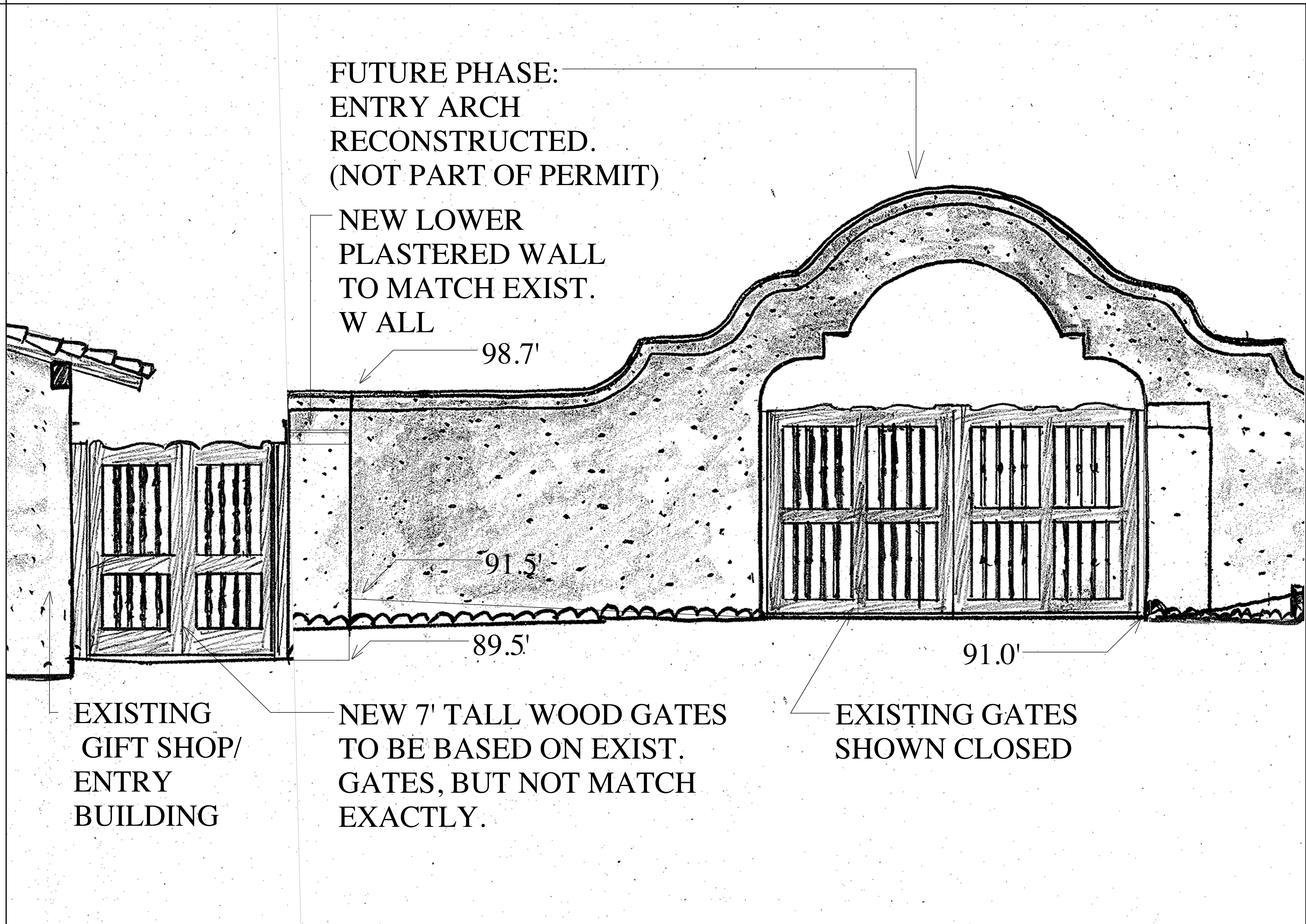


SCALE: NO SCALE

SHEET NO.

A-11

OF 12 SHEETS



CARMEL MISSION
DOWNIE BUILDING & FORECOURT

NEW GATE IN EXIST. GARDEN WALL
EXTERIOR ELEVATION- EAST

REVISION:
DATE: 5-15-20

SCALE: 3/4"=1'-0"

SHEET NO.
A-12
OF 12 SHEETS