

## VICINITY MAP

LOCATION OF PROJECT



## PLANNING INFO. CON'T.

- BUILDING COVERAGE ALLOWED  
17.14.130  
A. EXCEPTIONS MAY BE GRANTED UP TO A MAXIMUM BUILDING COVERAGE OF 95 PERCENT = 95% (3,800 SF)
- BUILDING COVERAGE CALCULATIONS

MAIN BUILDING	EXISTING TO BE REMOVED	PROPOSED
	2200	3,265
TOTAL	2200	3,265

81%

## PLANNING INFO. CON'T.

- TREE REMOVAL: N/A
- TOPOGRAPHY: SEE SITE PLAN
- PROJECT CODE COMPLIANCE:  
2016 CBC, CMC, CPC, CFC, CEC, CALIFORNIA RESIDENTIAL CODE,  
CALIFORNIA GREEN BUILDING CODE & 2016 CALIFORNIA ENERGY CODE
- LOT AREA: 4000 S.F. (.0912 AC.)
- FLOOR AREA ALLOWED:  
FOR 2 STORIES = 135% (5400 SF)

## ■ F.A.R. CALCULATIONS

MAIN BUILDING	EXISTING TO BE REMOVED	PROPOSED
MAIN FLOOR	2200	2,689
UPPER FLOOR	1600	2,672.6
TOTAL	3,800	5,361.6

## ■ NOT INCLUDED IN F.A.R. CALCULATIONS

LOWER FLOOR	0	3365
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## PLANNING INFO.

- PROPERTY OWNER:  
ESPERANZA CARMEL, LLC  
C/O JONATHAN M FELDMAN ESQ  
MAGASIN & FELDMAN  
4640 ADMIRALTY WAY, SUITE 402  
MARINA DEL REY, CA 90292
- PROJECT ADDRESS:  
Dolores St.  
2 SE of 7th Ave.  
Carmel-by-the-Sea, CA 93921
- PROJECT SCOPE:  
DEMOLITION OF EXISTING BUILDINGS.  
NEW CONSTRUCTION FOR PARKING GARAGE, 2692 S.F.  
COMMERCIAL SPACE AND 2708 S.F. RESIDENTIAL SPACE FOR TWO UNITS.
- OCCUPANCY: B, R-3, U
- CONST. TYPE: I-B
- A.P.N.: 010-145-012
- LEGAL DESC.: LOT:12 BLOCK: 91
- ZONE: SC (Service Commercial)
- STORIES: 3 (Including Basement)
- MAX BLDG. HT: 30 FT
- GRADING: FLAT
- PARKING: 4 SPACES  
1 HANDICAP  
1 STANDARD  
2 COMPACT

JUN A. SILLANO, AIA

721 LIGHTHOUSE AVE  
PACIFIC GROVE CA.  
93950

PH: (831) 648-1261  
FAX: (831) 648-1290  
EMAIL: [log@idg-hdr.net](mailto:log@idg-hdr.net)  
WEB: [idg-hdr.net](http://idg-hdr.net)

## DISCLAIMER:

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## STAMPS:

PROJECT/CLIENT:

ESPERANZA  
CARMEL  
COMMERCIAL LLC

PROJECT ADDRESS:

DOLORES ST  
2 SE of 7th Ave,  
CARMEL, CA 93921

APN: 010-145-012



DATE: May 14, 2019

CONCEPTUAL REVIEW

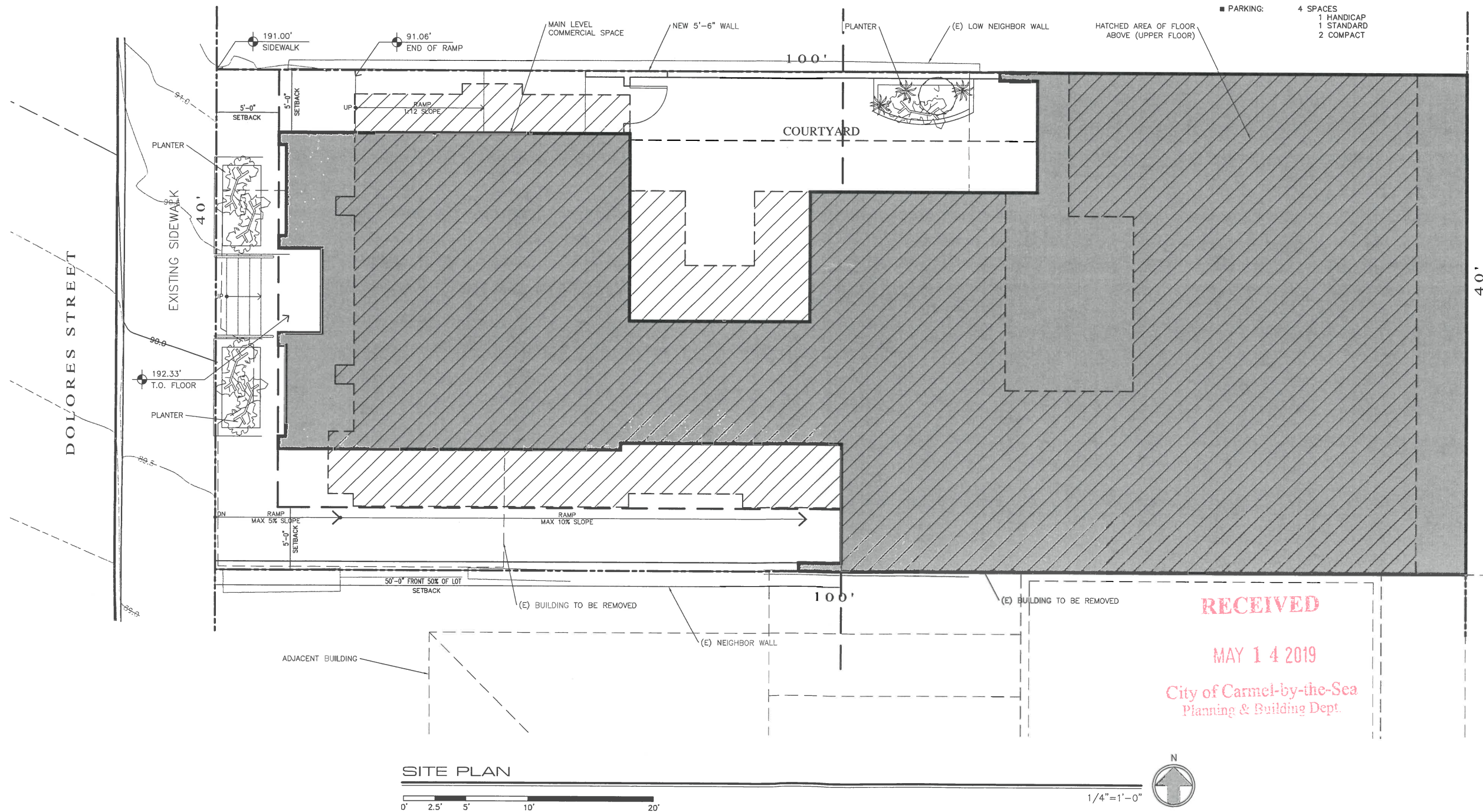
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SITE  
PLAN

SHEET NO.

A1.0



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MAY 14 2019

City of Carmel-by-the-Sea  
Planning & Building Dept.

731 LIGHTHOUSE AVE  
PACIFIC GROVE CA.  
93950

PH (831) 646-1261  
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EMAIL idg@idg-inc.net  
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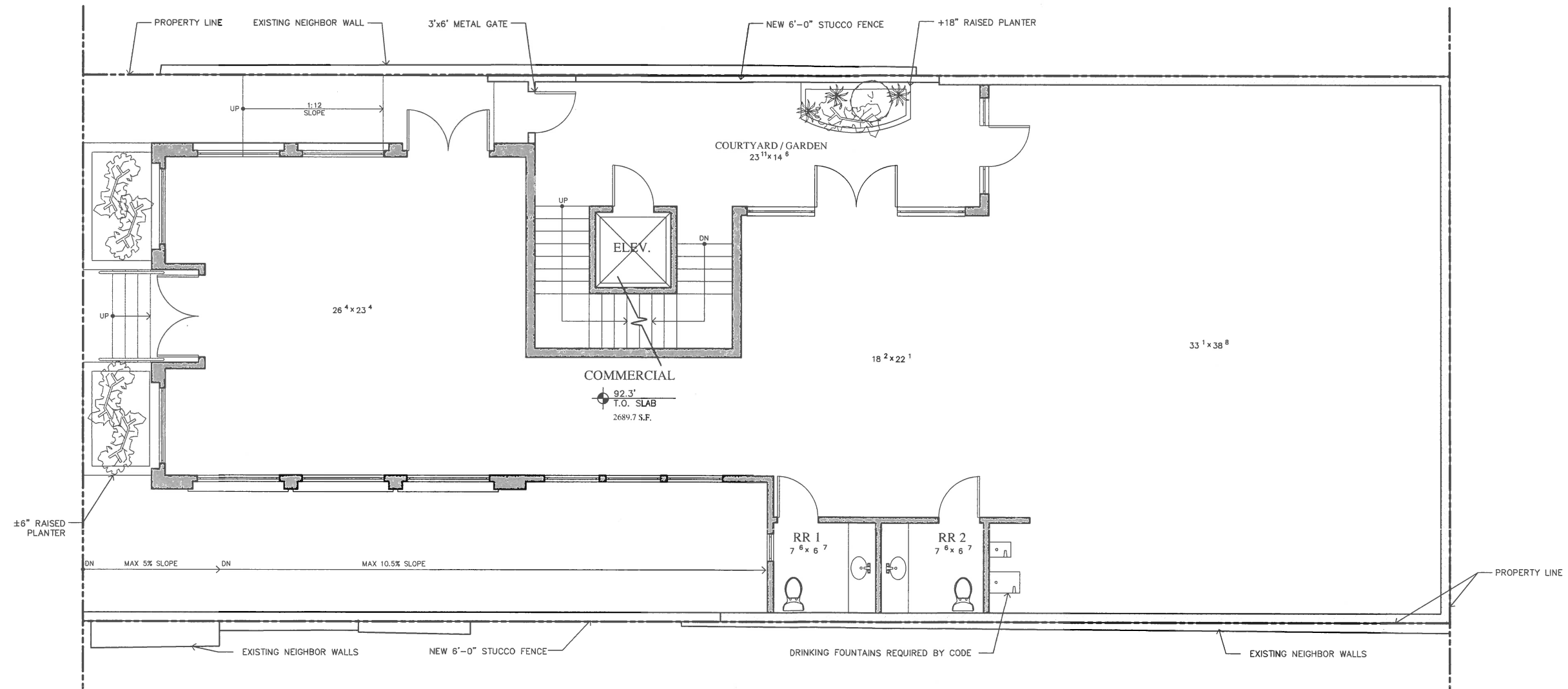
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MAIN LEVEL  
PLAN

SHEET NO.

A2.0



MAIN LEVEL PLAN

0' 2.5' 5' 10' 20'

1/4"=1'-0"



WALL LEGEND

- LOW WALL
- 2X STUD FRAMED WALL
- 8" CONCRETE WALL

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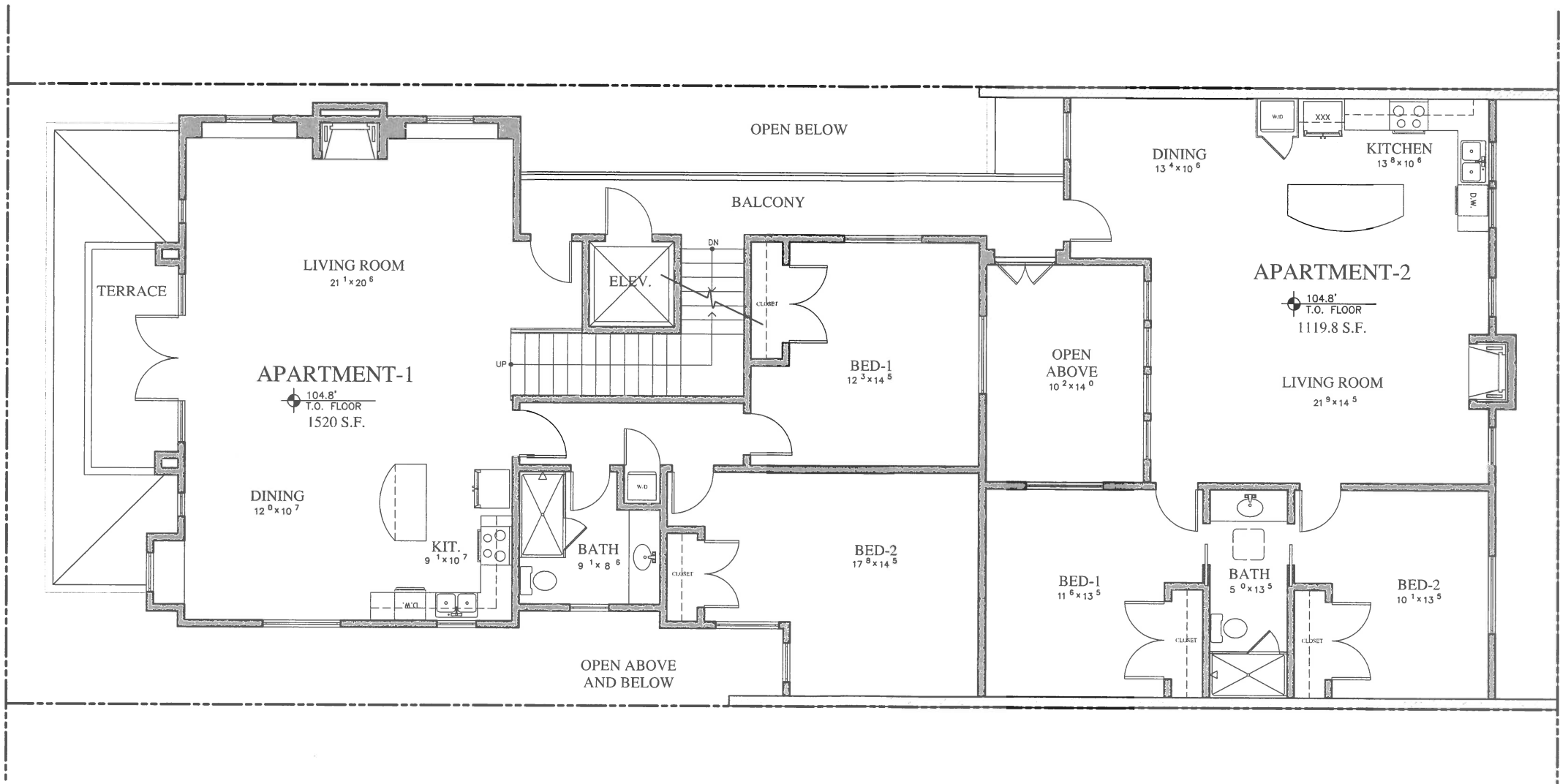
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UPPER LEVEL  
PLAN

SHEET NO.

A3.0



UPPER LEVEL PLAN

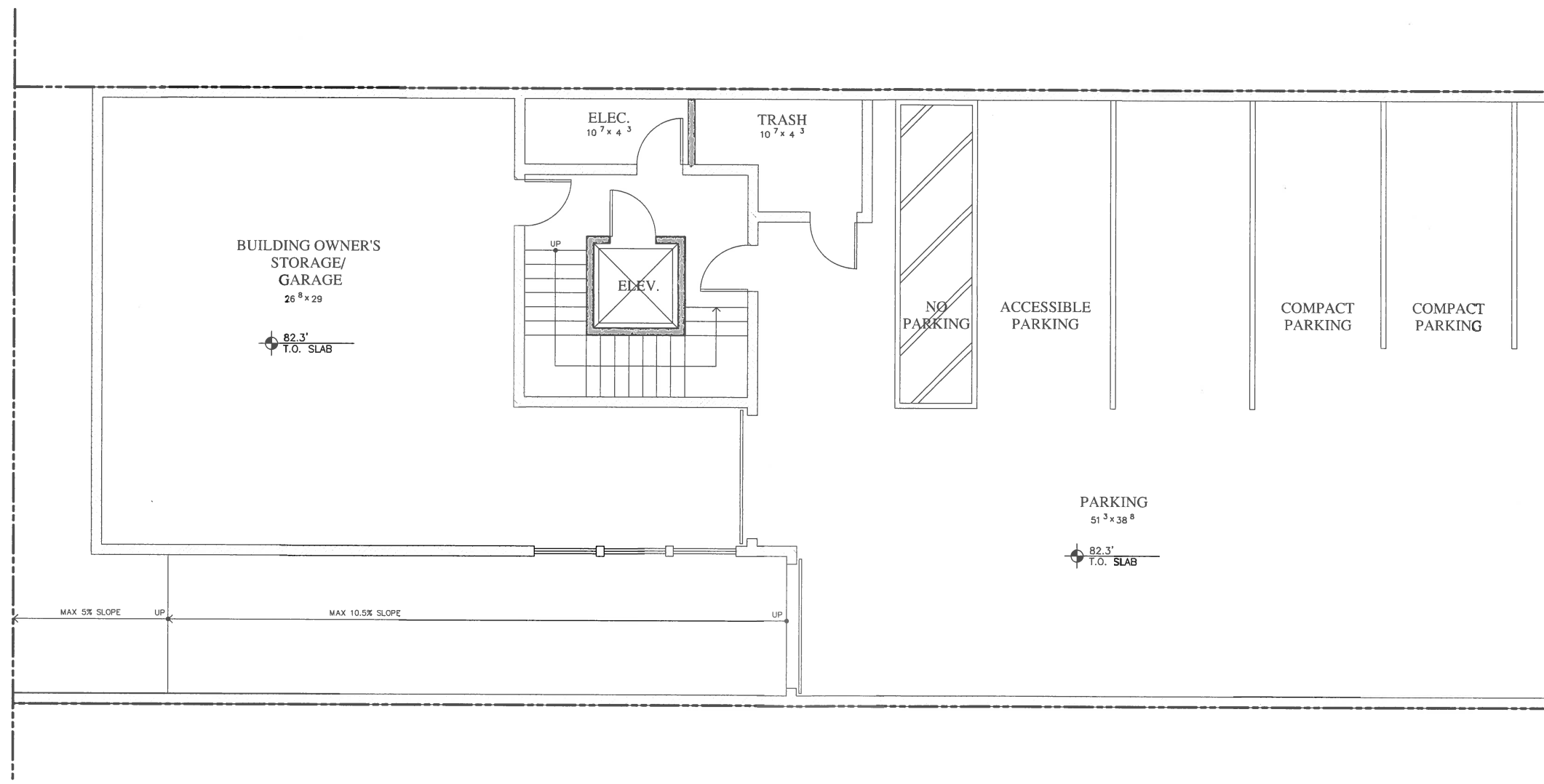
0' 2.5' 5' 10' 20'

1/4"=1'-0"

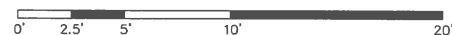


WALL LEGEND

- LOW WALL
- 2X STUD FRAMED WALL
- 8" CONCRETE WALL



LOWER LEVEL PLAN



1/4"=1'-0"



WALL LEGEND

- LOW WALL
- 2X STUD FRAMED WALL
- 8" CONCRETE WALL

JUN A. SILLANO, AIA



ARCHITECTURE • PLANNING • INTERIOR DESIGN

721 LIGHTHOUSE AVE  
PACIFIC GROVE CA,  
93950

PH (831) 848-1261  
FAX (831) 848-1260  
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CARMEL  
COMMERCIAL LLC

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DOLORES ST  
2 SE of 7th Ave,  
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APN: 010-146-012

DATE: May 14, 2019

CONCEPTUAL REVIEW

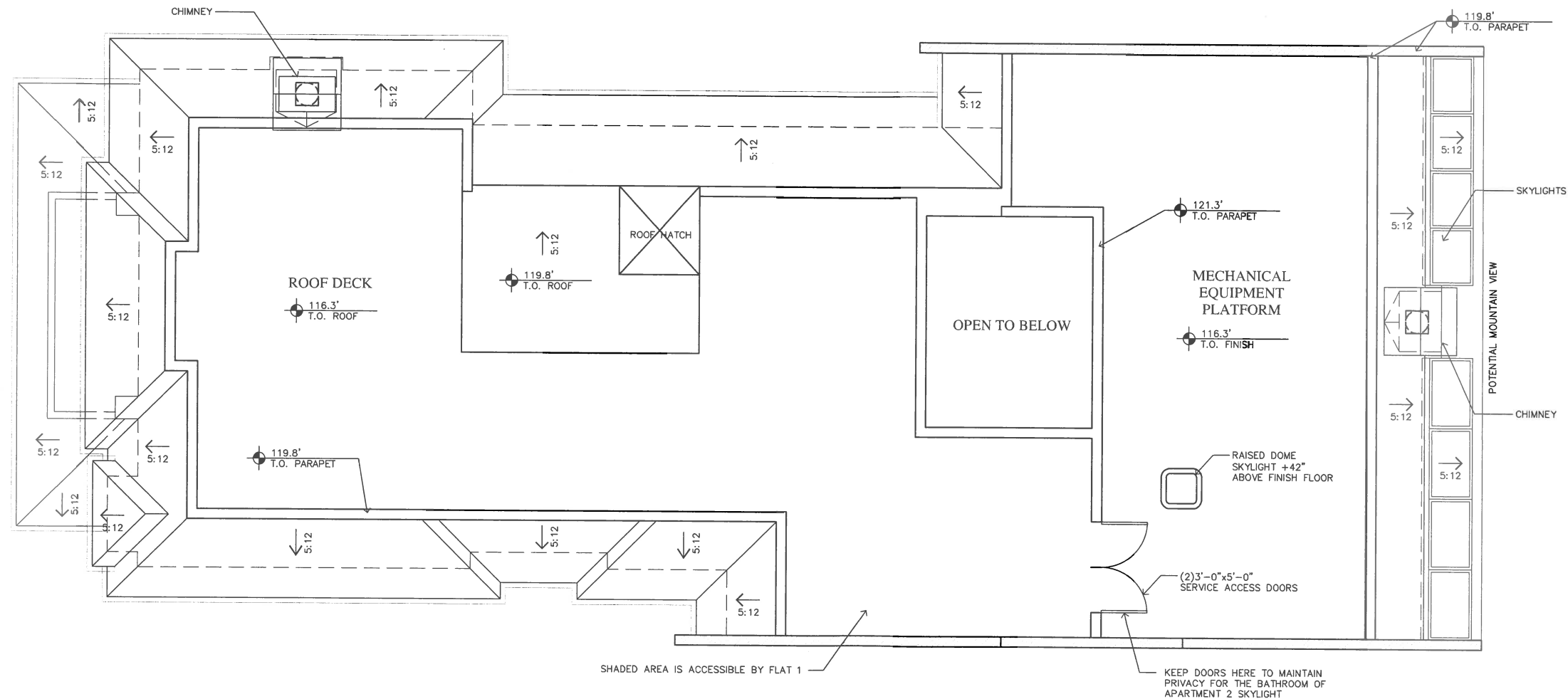
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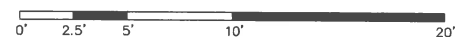
LOWER LEVEL  
PLAN

SHEET NO.

A4.0



ROOF PLAN



1/8"=1'-0"



JUN A. SILLANO, AIA



721 LIGHTHOUSE AVE  
PACIFIC GROVE CA.  
93950

PH (831) 646-1261  
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DOLORES ST  
2 SE of 7th Ave,  
CARMEL, CA 93921

APN: 018-145-012

DATE: May 14, 2019

CONCEPTUAL REVIEW

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ROOF  
PLAN

SHEET NO.

A5.0



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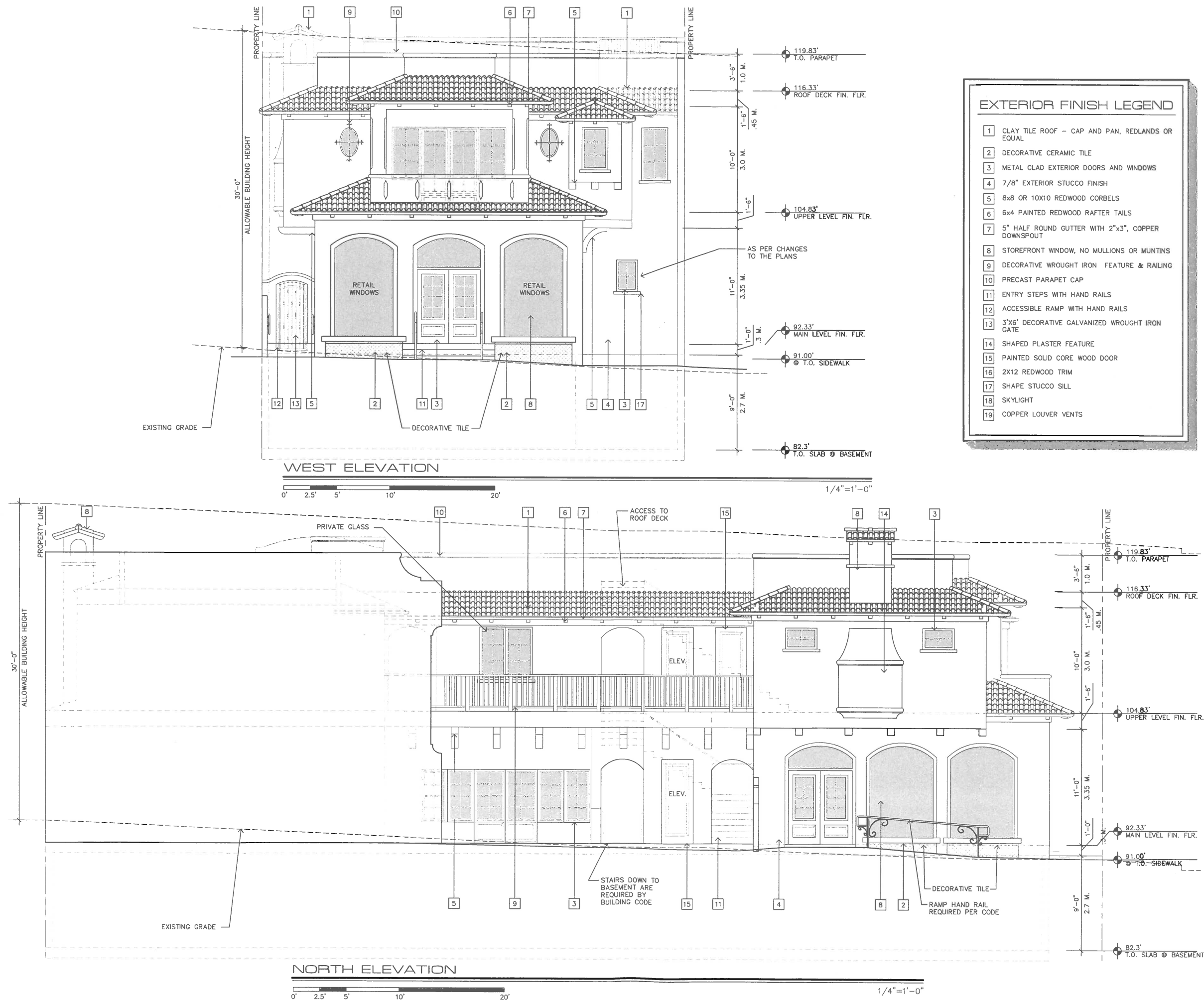
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ELEVATIONS

SHEET NO.

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APN: 010-145-012



DATE: May 14, 2019

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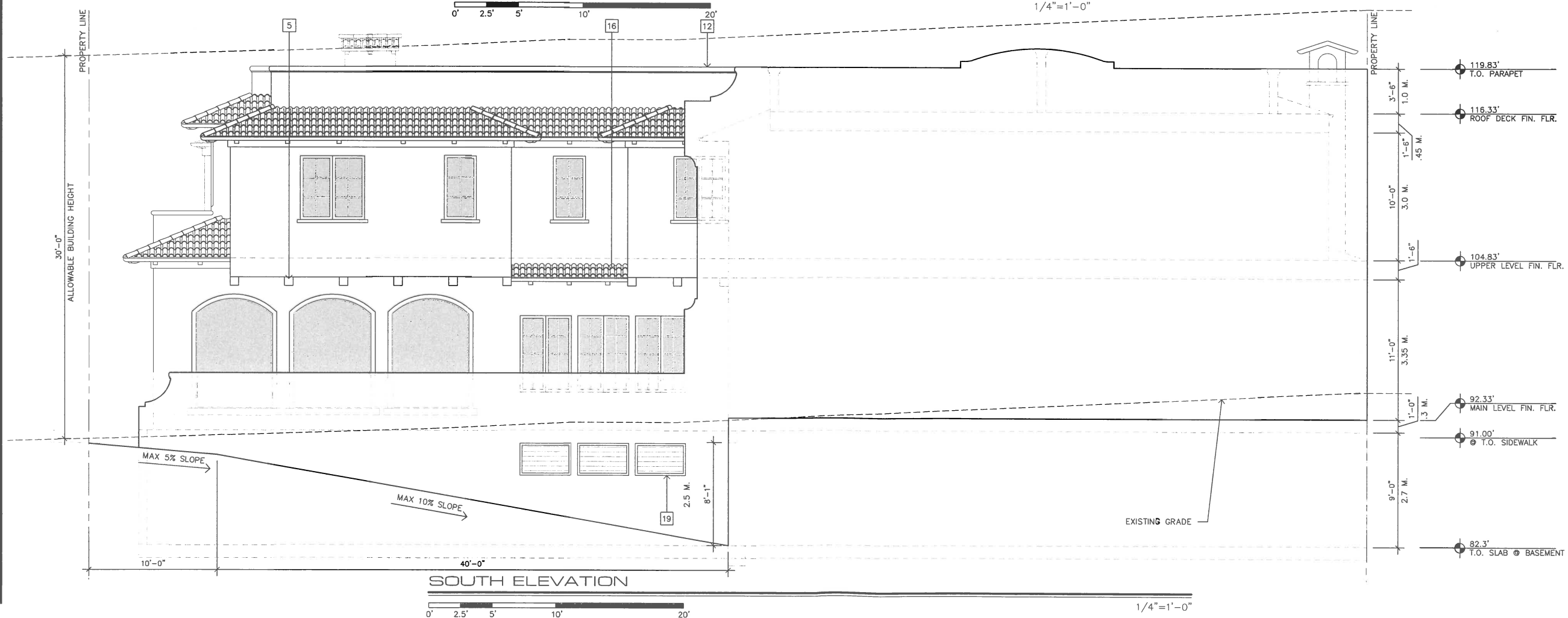
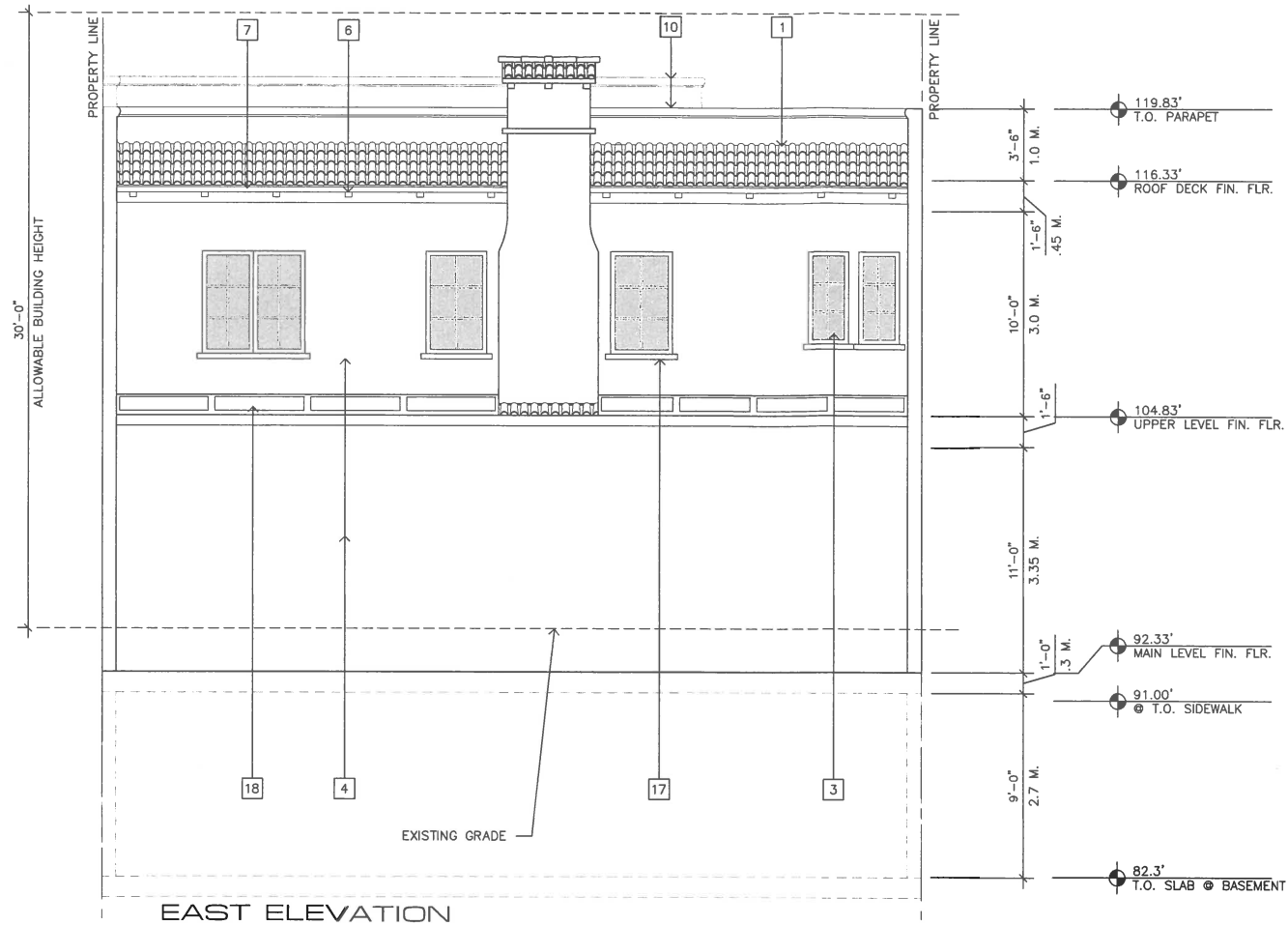
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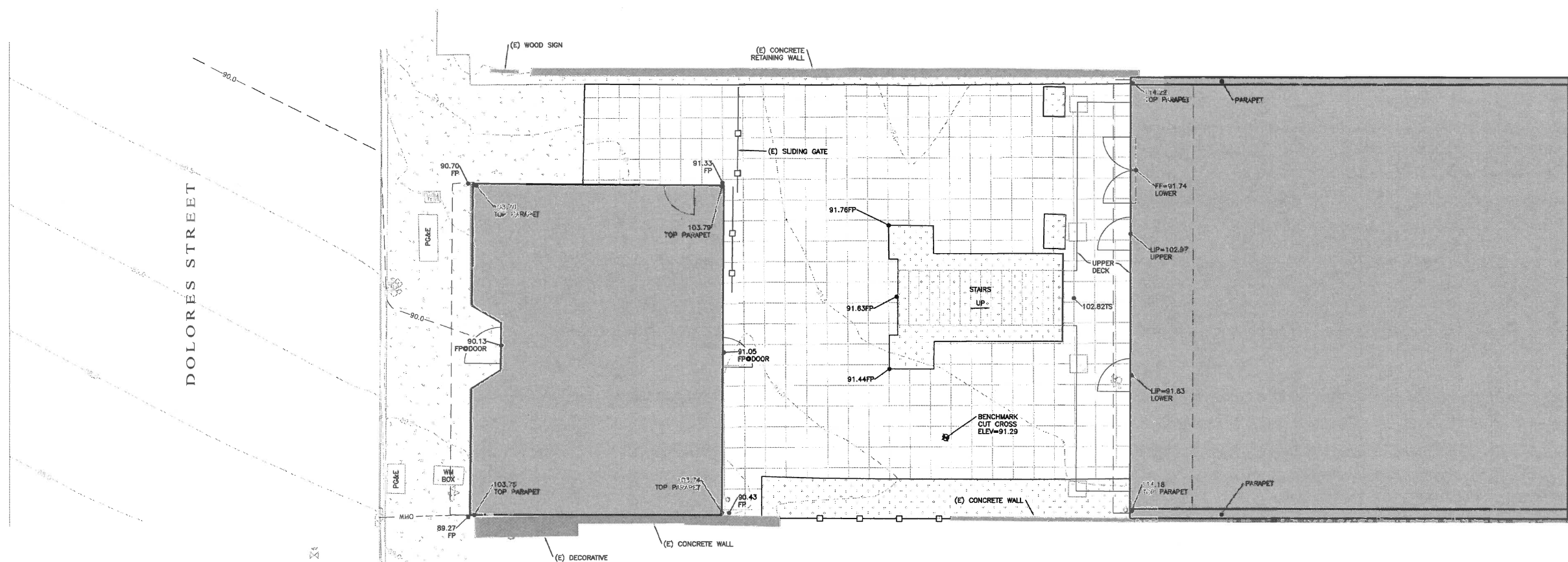
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### EXTERIOR FINISH LEGEND

- 1 CLAY TILE ROOF - CAP AND PAN, REDLANDS OR EQUAL
- 2 DECORATIVE CERAMIC TILE
- 3 METAL CLAD EXTERIOR DOORS AND WINDOWS
- 4 7/8" EXTERIOR STUCCO FINISH
- 5 8x8 OR 10X10 REDWOOD CORBELS
- 6 6x4 PAINTED REDWOOD RAFTER TAILS
- 7 5" HALF ROUND GUTTER WITH 2"x3", COPPER DOWNSPOUT
- 8 STOREFRONT WINDOW, NO MULLIONS OR MUNTINS
- 9 DECORATIVE WROUGHT IRON FEATURE & RAILING
- 10 PRECAST PARAPET CAP
- 11 ENTRY STEPS WITH HAND RAILS
- 12 ACCESSIBLE RAMP WITH HAND RAILS
- 13 3'x6' DECORATIVE GALVANIZED WROUGHT IRON GATE
- 14 SHAPED PLASTER FEATURE
- 15 PAINTED SOLID CORE WOOD DOOR
- 16 2X12 REDWOOD TRIM
- 17 SHAPE STUCCO SILL
- 18 SKYLIGHT
- 19 COPPER LOUVER VENTS





- NOTES:
1. NO BOUNDARY LOCATIONS SHOWN HEREON. THIS IS NOT A BOUNDARY SURVEY.
  2. NO TITLE REPORT/DEED WAS PROVIDED. ENTITLEMENTS OR ENCUMBRANCES AFFECTING THIS PROPERTY MAY NOT NECESSARILY BE SHOWN.
  3. DISTANCES SHOWN ARE EXPRESSED IN FEET AND DECIMALS THEREOF.
  4. CONTOUR INTERVAL = ONE HALF FOOT.
  5. TREE TYPES ARE INDICATED WHERE KNOWN. DIAMETERS OF TREES ARE SHOWN IN INCHES AND ARE APPROXIMATE ONLY, TO BE VERIFIED BY AN APPROVED ARBORIST. TREES SMALLER THAN 6" ARE NOT NECESSARILY SHOWN. DIRECTION OF GROWTH AND DRIP LINE SHAPE TO BE VERIFIED BY OTHERS.
  6. ELEVATION SHOWN ARE BASED ON AN ASSUMED DATUM. PROJECT BENCHMARK ELEVATION - CUT CROSS - ON PAVERS BETWEEN PLANTERS AS SHOWN ABOVE. ELEV=91.29



**LEGEND**

WATER METER	BUILDING OVERHANG
WATER VALVE	METAL FENCE
HOSE BIB	CONCRETE CURB
FIRE DEPARTMENT CONNECTION	CONCRETE
IRRIGATION CONTROL VALVE	PAVERS
JOINT POLE	PLANTER
ELECTRICAL METER	
DOWNSPOUT	
CLEANOUT	

**ABBREVIATIONS**

E	EXISTING
FF	FINISH FLOOR
FP	FINISH PAVEMENT
TS	TOP OF STAIR

DRAWN BY: PJM  
DESIGNED BY: N/A  
DATE: 11/26/18  
SCALE: 1" = 5'  
JOB NUMBER: 18-78  
LAST REVISED: 18-78  
REVISED BY:

PREPARED FOR:  
STERLING HUDDLESON  
ARCHITECTURE  
P.O. BOX 221092  
CARMEL, CA 93922

TOPOGRAPHIC SURVEY  
DOLORES, 2SE OF 7TH  
CARMEL-BY-SEA

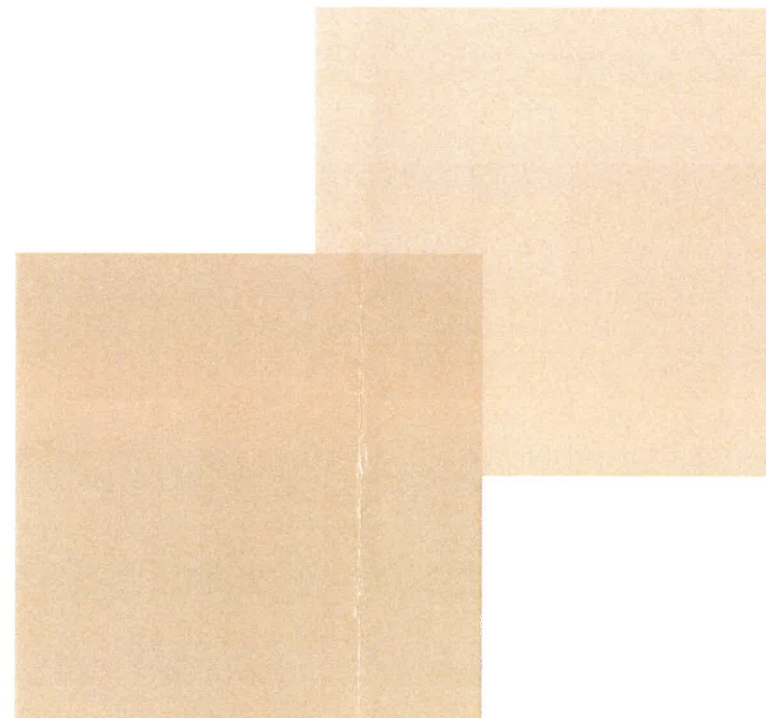


**COLOR AND MATERIAL SAMPLES FOR  
ESPERANZA CARMEL COMMERCIAL, LLC  
DOLORES 2 SE OF 7TH, CARMEL BY THE SEA, CA  
APN: 010-145-012**

**MISSION STYLE CAP AND PAN  
CLAY TILE ROOF**



**PAINTED EXTERIOR STUCCO  
WALLS**



DUNN EDWARDS  
VERONA BEACH #DE6135

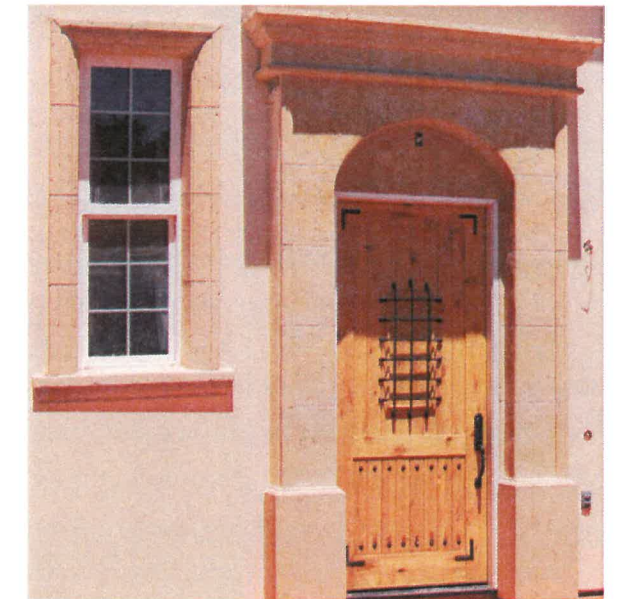
DUNN EDWARDS  
ALMOND LATTE #DE6143

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City of Carmel-by-the-Sea  
Planning & Building Dept.

**FAUX LIMESTONE SURROUNDS  
AND ACCENTS**



**METAL CLAD EXTERIOR  
DOORS AND WINDOWS  
MEDIUM BRONZE COLOR**



**POT BELLY WROUGHT  
IRON GUARDRAILS**



**PAINTED IRON RAILINGS  
BRONZE COLOR**

**HALF-ROUND COPPER  
GUTTERS & DOWNSPOUTS**

