

**PROJECT ABBREVIATIONS**

ANW	AWNING	MAX	MAXIMUM
BLD'G	BUILDING	MIN	MINIMUM
BLK	BLOCK, BLOCKING, BLOCKS	(N)	NEW
BM	BEAM, BEAMS	N/C	NO CHANGE
BOT	BOTTOM		
CEIL'G	CEILING	PL	PLATE
CJ	CEILING JOIST	PW	PLYWOOD
CL'G	CEILING	PLYWD	PLYWOOD
CLR	CLEAR	RCP	REFLECTED CEILING PLAN
CLST	CLOSET	REF	REFERENCE
CMU	CONCRETE MASONRY UNITS	REINF	REINFORCEMENT
CONC	CONCRETE	RF	ROOF
CONT	CONTINUOUS	REQ'D	REQUIRED
CSMT	CASEMENT	REQMT	REQUIREMENT
CTR	CENTER	RFT	RAFTER
		RR	ROOF RAFTER
		RS	RISER
DBL	DOUBLE		
DIFF	DIFFERENCE	o/	OVER
DR	DOOR(S)	o/c	ON CENTER
DS	DOWNSPOUT		
FIN	FINISH	SECT	SECTION
FLR	FLOOR	SF	SQUARE FEET
		SHT	SHEET
EA	EACH	SHT'G	SHEATHING
ELEC	ELECTRICAL	SIM	SIMILAR
ELEV	ELEVATION(S)	SIN	SINGLE
EQ	EQUAL	SLD	SLIDER
EXTER	EXTERIOR	SQ	SQUARE
(E)	EXISTING	SPEC	SPECIFICATION
		ST'L	STEEL
FAU	FORCED AIR UNIT	SS	STAINLESS STEEL
FLR	FLOOR	STRUCT	STRUCTURAL
FJ	FLOOR JOIST		
FLR JST	FLOOR JOIST	TBD	TO BE DECIDED
FOOT'G	FOOTING	THK (NS)	THICK (THICKNESS)
FR	FRENCH	TP	TOP PLATE
FT	FOOT or FEET	TRD	TREAD
FT'G	FOOTING	TYP	TYPICAL
GB	GYPSUM BOARD	U.N.O.	UNLESS NOTED OTHERWISE
GRD	GRADE		
GYP BRD	GYPSUM BOARD	VERT	VERTICAL
INTER	INTERIOR	w/	WITH
		w/o	WITHOUT
HGT	HEIGHT	WD	WOOD
HRD	HARD	WHT	WEIGHT
HOZ	HORIZONTAL	WIND	WINDOW
HTR	HEATER	WND	WINDOW
		WTR	WATER
JST	JOIST		
MFG	MANUFACTURER	CL	CENTER LINE
MECH	MECHANICAL	PL ±	PROPERTY LINE PLUS or MINUS
		°	DEGREE(S)
		∅	DIAMETER
LF	LEAF		
LT	LIGHT		

**CONSULTANT LIST**

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# FIVE SAND & SEA

5 SAND & SEA, CARMEL-BY-THE-SEA, CA

A.P.N. 010-321-025

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LANDSCAPE

L1.0	LANDSCAPE PLAN
L2.0	EXTERIOR LIGHTING PLAN

**PROJECT DESCRIPTION**

CONSTRUCTION OF NEW 2-STORY SINGLE FAMILY RESIDENCE TO REPLACE EXISTING 1659 S.F. RESIDENCE.

**PROJECT DATA**

OWNER: NORTHPOINT INVESTMENTS  
P.O. BOX 470577  
SAN FRANCISCO, CA 94147

SITE ADDRESS: FIVE SAND & SEA  
CARMEL-BY-THE-SEA, CA

**ZONING DATA**

ZONING: R-1

DESCRIPTION OF USE: SINGLE FAMILY RESIDENTIAL

TYPE OF CONSTRUCTION: TYPE V-N

STORIES: 2

HEIGHT LIMIT: 18 FT

TREES: NO REMOVAL

PARKING: REQUIRED PROVIDED

GRADING: CUT: 500 C.Y. APPROX.  
FILL: 200 C.Y. APPROX.

WATER PROVIDER: CAL-AM

SEWER PROVIDER: CAWD

**SQUARE FOOTAGE ANALYSIS**

**SITE ANALYSIS**

LOT SIZE	8928 S.F.
ALLOWABLE BASE FLOOR AREA	3136 S.F.
MAX ALLOWABLE BONUS AREA	1045 S.F.

**FLOOR AREA TABULATION:**

MAIN LEVEL	1750 S.F.
LOWER LEVEL	1181 S.F.
TOTAL BASE FLOOR	2931 S.F.
TOTAL ALLOWABLE BASEMENT AREA [(3136-2931)x2] = 410 S.F.	
GARAGE & STORAGE (BASEMENT AREA)	410 S.F.
BASEMENT BONUS AREA	100 S.F.
TOTAL FLOOR AREA	3431 S.F.

**SITE COVERAGE TABULATION (ALL IMPERVIOUS):**

UPPER TERRACES (NOT OVER LOWER LEVEL)	275 S.F.
DECK	202 S.F.
ENTRY STEPS + LANDING	129 S.F.
TOTAL SITE COVERAGE	606 S.F.
ALLOWABLE SITE COVERAGE (.22 X 3136)*	690 S.F.
EXISTING SITE COVERAGE TO BE REMOVED	(1598 S.F.)
CHANGE IN SITE COVERAGE	(992 S.F.)

**ADDITIONAL AREAS NOT COUNTED IN TABULATIONS**

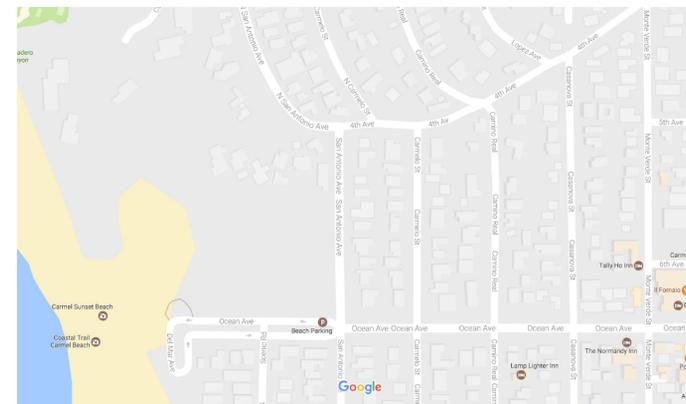
MECHANICAL (LESS THAN 5' CEILING)	87 S.F.
UPPER TERRACES (OVER LOWER LEVEL)	82 S.F.

\* NEIGHBORHOOD SHARED PARKING NOT INCLUDED

**PROJECT NOTES**

- THIS PROJECT SHALL COMPLY WITH TITLE 24 AND 2016 CALIFORNIA RESIDENTIAL CODE (CRC), 2016 CALIFORNIA MECHANICAL CODE (CMC), 2016 CALIFORNIA PLUMBING CODE (CPC), 2016 CALIFORNIA ELECTRICAL CODE (CEC) CALIFORNIA ENERGY CODE (CENC).
- CONSTRUCTION WASTE MANAGEMENT: RECYCLE AND/OR SALVAGE FOR REUSE A MINIMUM OF 50 PERCENT OF THE NONHAZARDOUS CONSTRUCTION AND DEMOLITION WASTE IN ACCORDANCE WITH THE CALIFORNIA GREEN BUILDING CODE, CHAPTER 4, DIVISION 4.4.
- PRIOR TO BUILDING PERMIT FINAL APPROVAL, THE PROPERTY SHALL BE IN COMPLIANCE WITH THE VEGETATION MANAGEMENT REQUIREMENTS PRESCRIBED IN CALIFORNIA FIRE CODE SECTION 4906, INCLUDING CALIFORNIA PUBLIC RESOURCES CODE 4291 OR CALIFORNIA GOVERNMENT CODE SECTION 51182 PER CRC R327.1.5.

**VICINITY MAP**



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Prepared by:

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Action:

09.17.18	PRELIM. PLANNING
02.11.19	TRACK 2 PLANNING

Date: 05.11.17

Scale:

Drawn:

Description:  
TITLE SHEET

Sheet No:  
**T-1.0**



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Action:

Date: 12.06.17

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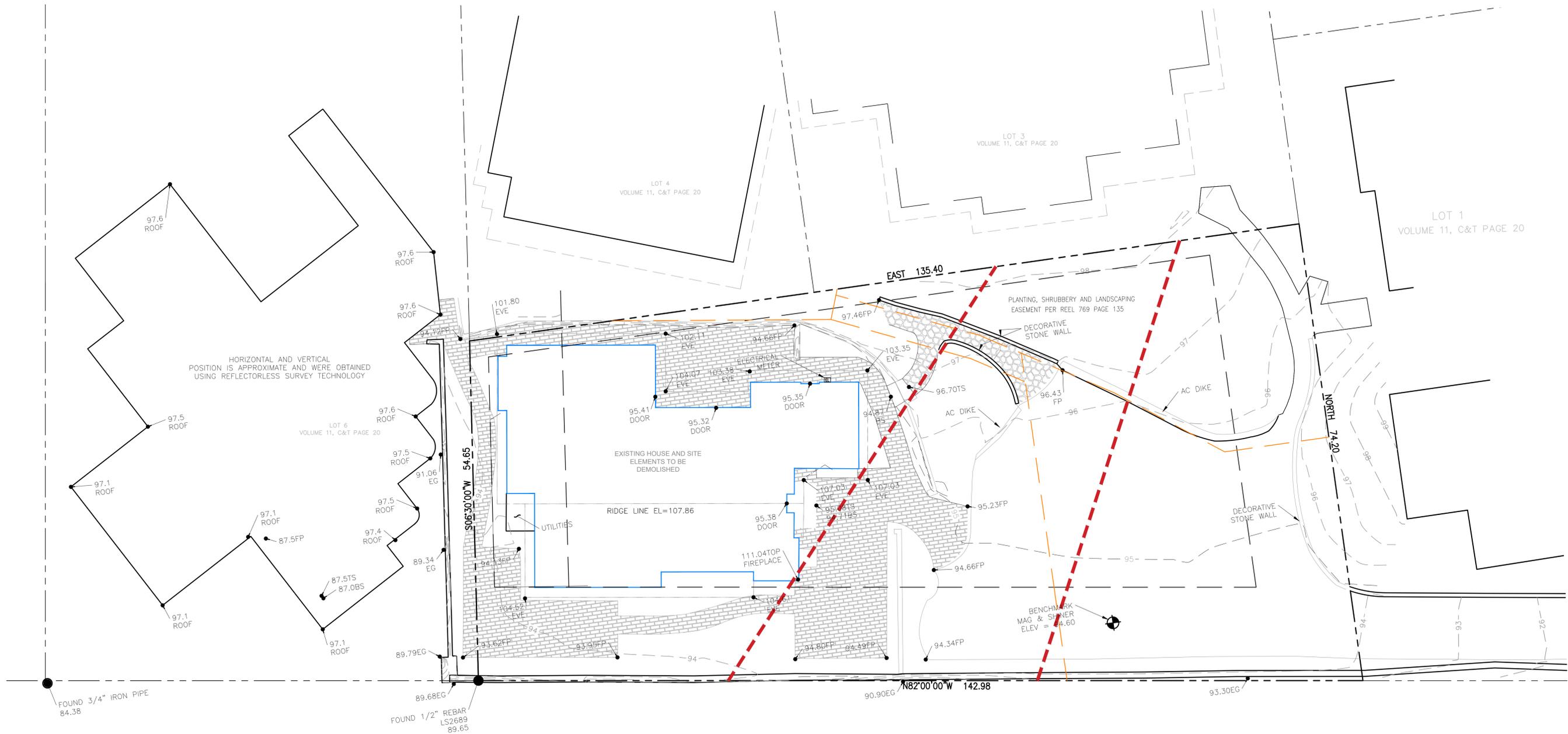
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SURVEY

Sheet No:

**A-1.0**



HORIZONTAL AND VERTICAL POSITION IS APPROXIMATE AND WERE OBTAINED USING REFLECTORLESS SURVEY TECHNOLOGY

LOT 4  
VOLUME 11, C&T PAGE 20

LOT 3  
VOLUME 11, C&T PAGE 20

LOT 1  
VOLUME 11, C&T PAGE 20

LOT 6  
VOLUME 11, C&T PAGE 20

FOUND 3/4" IRON PIPE  
84.38

FOUND 1/2" REBAR  
LS2689  
89.65

BENCHMARK  
MAG & SHINER  
ELEV = 94.60

**LEGEND**

---	PROPERTY LINE	---	ASPHALT
- - -	BUILDING OVERHANG	▨	BRICK PAVERS
---	EXISTING	▨	STONE PAVERS
---	MAJOR CONTOUR		
---	MINOR CONTOUR		
---	WOOD FENCE		
95.00	SPOT ELEVATION		
AC	ASPHALT		
BS	BOTTOM OF STAIRS		
C	CYPRESS TREE		
E	EXISTING		
EG	EXISTING GROUND ELEVATION		
EL	FINISH PAVEMENT		
FP	FACE OF WALL		
FW	OAK TREE		
O	PINE TREE		
P	TRUNK		
T	TOP OF STAIRS		
TS	TYPICAL		
TYP			

- NOTES:**
- BOUNDARY LOCATIONS SHOWN HEREON WERE DETERMINED WITH THE BENEFIT OF A FIELD SURVEY SUPPLEMENTED BY RECORD DATA AND A TITLE REPORT DATED DECEMBER 29, 2016. ALL BOUNDARY DATA SHOWN HEREON ARE FROM THE RECORDS.
  - ENTITLEMENTS OR ENCUMBRANCES AFFECTING THIS PROPERTY MAY NOT NECESSARILY BE SHOWN.
  - DISTANCES SHOWN ARE EXPRESSED IN FEET AND DECIMALS THEREOF.
  - CONTOUR INTERVAL = ONE FOOT.
  - TREE TYPES ARE INDICATED WHERE KNOWN. DIAMETERS OF TREES ARE SHOWN IN INCHES AND ARE APPROXIMATE ONLY. TO BE VERIFIED BY AN APPROVED ARBORIST. TREES SMALLER THAN 6" ARE NOT NECESSARILY SHOWN. DIRECTION OF GROWTH AND DRIP LINE SHAPE TO BE VERIFIED BY OTHERS.
  - POSITION AND DIMENSIONS (IF ANY) OF BUILDINGS AND OTHER STRUCTURES ARE SHOWN HEREON APPROXIMATE ONLY DUE TO MEASUREMENT LIMITATIONS. IRREGULAR SHAPE OF BRICK FACING, POP-OUTS, BULL NOSE CORNERS, ETC.
  - NOT ALL UTILITY BOXES AND/OR UTILITY STRUCTURES ARE SHOWN INCLUDING BUT NOT LIMITED TO HOSE BIBS AND IRRIGATION VALVES. ONLY THE VISIBLE UTILITY BOXES AND/OR UTILITY STRUCTURES THAT WERE CONSIDERED TO CONVEY THE GENERAL UTILITY CONDITIONS ARE SHOWN.
  - A LOCAL BENCHMARK FOR THIS PROJECT IS A SET MAG & SHINER IN THE DRIVEWAY AS SHOWN HEREON, HAVING AN ELEVATION OF 94.60, ESTABLISHED BY SURVEYOR JON HAGEMeyer AND BASED UPON MEAN SEA LEVEL.



**SITE SURVEY**

SCALE: 1/8"=1'-0"



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Action: \_\_\_\_\_

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Date: 03.05.19

Scale: 1/8"=1'-0"

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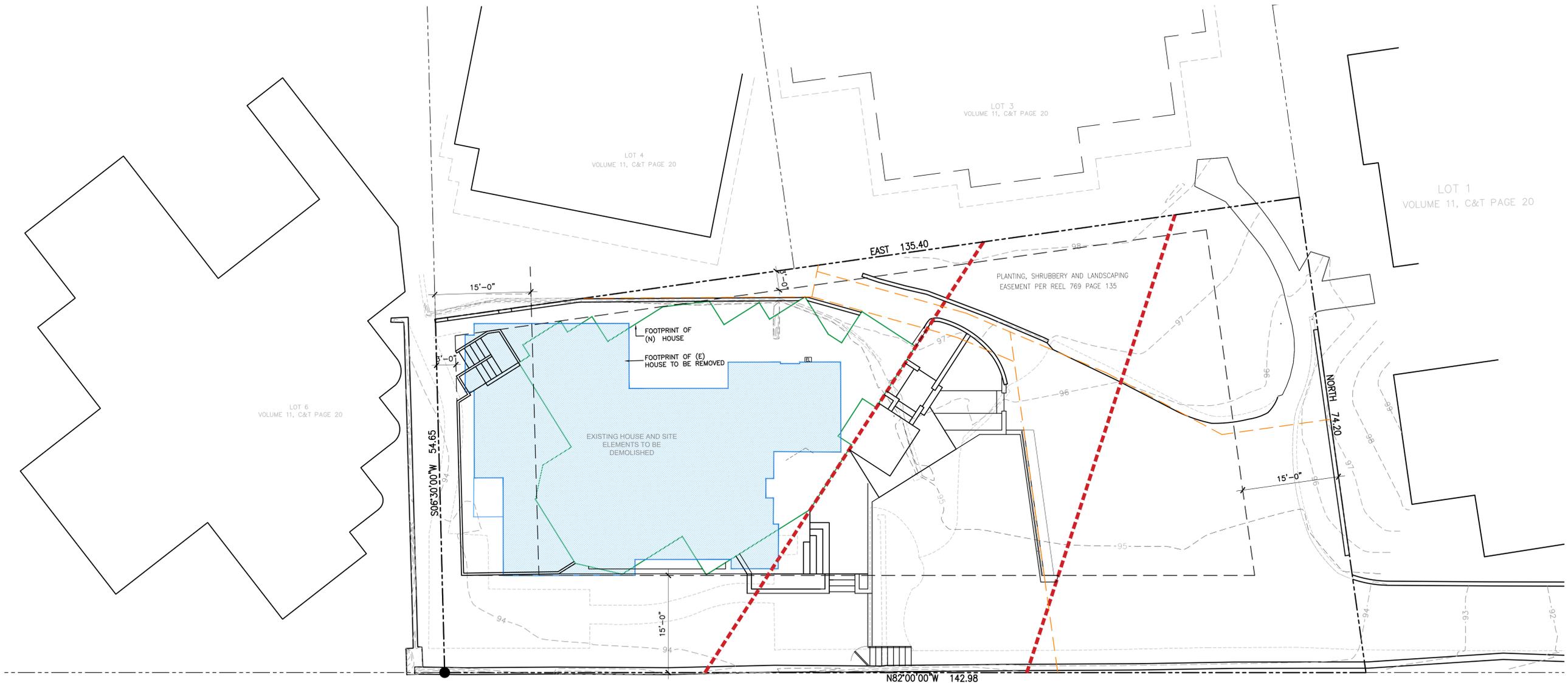
Description: \_\_\_\_\_

SITE OVERLAY

\_\_\_\_\_

Sheet No:

**A-1.1**



SYMBOLS LEGEND	
	EXISTING HOUSE FOOTPRINT
	PROPOSED HOUSE FOOTPRINT



**EXISTING-PROPOSED SITE PLAN (OVERLAY)**

SCALE: 1/8"=1'-0"



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Action:

Date: 03.05.19

Scale: 1/8"=1'-0"

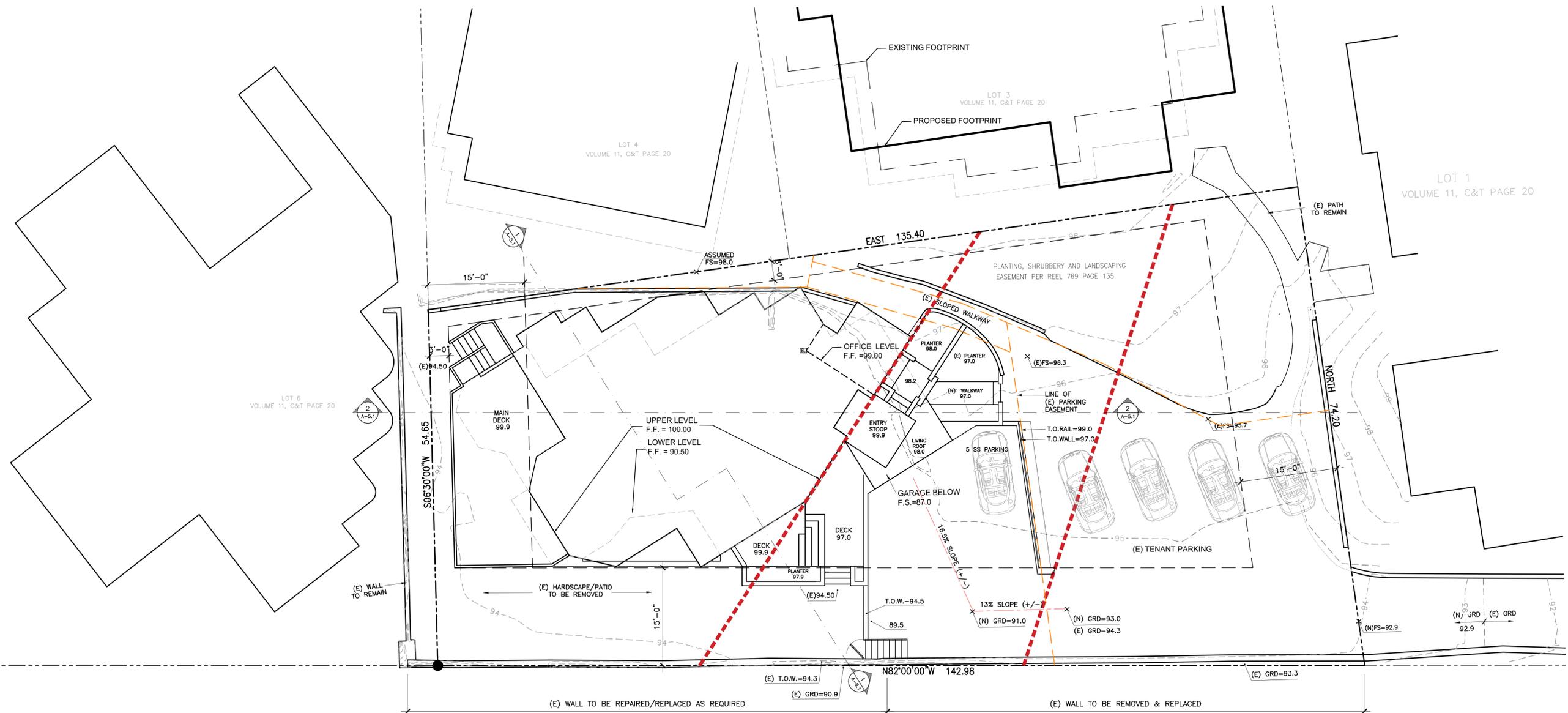
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Description:

SITE PLAN

Sheet No:

**A-1.2**



SYMBOLS LEGEND	
	PROPOSED LOWER FLOOR FOOTPRINT
	PROPOSED MAIN LEVEL FOOTPRINT



**PROPOSED SITE PLAN**

SCALE: 1/8"=1'-0"

# CONSTRUCTION NOTES



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Action:

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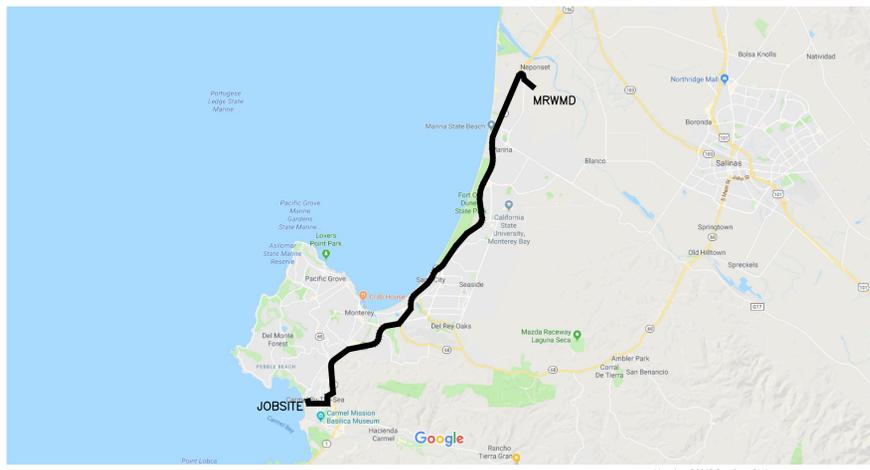
Description:

**CONSTRUCTION MANAGEMENT PLAN**

Sheet No:

**A-1.3**

- ALL WORK SHALL TAKE PLACE DURING DAYLIGHT HOURS, MONDAY – SATURDAY, 8AM TO 5PM (EXCLUDING NATIONAL HOLIDAYS).
- THE SIGNED PERMITS AND THE APPROVED CONSTRUCTION PLANS SHALL BE MAINTAINED IN A CONSPICUOUS LOCATION AT THE CONSTRUCTION JOB SITE AT ALL TIMES, AND THAT SUCH COPIES ARE AVAILABLE FOR AGENCY REVIEW ON REQUEST. ALL PERSONS INVOLVED WITH THE CONSTRUCTION SHALL BE BRIEFED ON THE CONTENT AND MEANING OF THE PERMITS AND THE APPROVED CONSTRUCTION PLANS, AND THE PUBLIC REVIEW REQUIREMENTS APPLICABLE TO THEM, PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- EQUIPMENT WASHING, REFUELING AND SERVICING SHALL TAKE PLACE ONLY ONSITE. APPROPRIATE BEST MANAGEMENT PRACTICES SHALL BE USED TO ENSURE THAT NO SPILLS OF PETROLEUM PRODUCTS OR OTHER CHEMICALS TAKE PLACE DURING THESE ACTIVITIES.
- THE CONSTRUCTION SITE SHALL MAINTAIN GOOD CONSTRUCTION SITE HOUSEKEEPING CONTROLS AND PROCEDURES (E.G. CLEANUP ALL LEAKS, DRIPS, AND OTHER SPILLS IMMEDIATELY; KEEP MATERIALS COVERED AND OUT OF THE RAIN, INCLUDING COVERING EXPOSED PILES OF SOIL AND WASTES; DISPOSE OF ALL WASTES PROPERLY, PLACE TRASH RECEPTACLES ON SITE FOR THAT PURPOSE, AND COVER OPEN TRASH RECEPTACLES DURING WET WEATHER).
- ALL EROSION AND SEDIMENT CONTROLS SHALL BE IN PLACE PRIOR TO THE COMMENCEMENT OF CONSTRUCTION AS WELL AS AT THE END OF EACH WORKDAY, AT A MINIMUM, SILT FENCES, OR EQUIVALENT APPARATUS, SHALL BE INSTALLED AT THE PERIMETER OF THE CONSTRUCTION SITE TO PREVENT CONSTRUCTION-RELATED RUNOFF AND/OR SEDIMENT FROM LEAVING THE SITE.
- THE CONTRACTOR SHALL IMPLEMENT THE FOLLOWING MEASURES TO CONTROL FUGITIVE DUST EMISSIONS DURING CONSTRUCTION (MM AQ C1 – DUST CONTROL):
  - WATER ALL ACTIVE CONSTRUCTION AREAS AT LEAST TWICE DAILY. FREQUENCY SHOULD BE BASED ON THE TYPE OF CONSTRUCTION, SOIL, AND WIND EXPOSURE.
  - PROHIBIT ALL GRADING ACTIVITIES DURING PERIODS OF HIGH WIND MORE THAN 15 MILES PER HOUR.
  - APPLY CHEMICAL SOIL STABILIZERS ON INACTIVE CONSTRUCTION AREAS SUCH AS DISTURBED LANDS WITHIN CONSTRUCTION PROJECTS THAT ARE UNUSED FOR AT LEAST FOUR CONSECUTIVE DAYS.
  - APPLY NON-TOXIC BINDERS LIKE LATEX ACRYLIC COPOLYMER TO EXPOSED AREAS AFTER CUT AND FILL OPERATIONS AND HYDROSEED AREA.
  - MAINTAIN AT LEAST 2 FEET OF FREEBOARD ON HAUL TRUCKS.
  - COVER ALL TRUCKS HAULING DIRT SANDS OR LOOSE MATERIALS.
  - PLANT TREE WINDBREAKS ON THE WINDWARD PERIMETER OF CONSTRUCTION PROJECTS IF ADJACENT TO OPEN LAND, PRIOR TO CONSTRUCTION (N/A).
  - PLANT VEGETATIVE GROUND COVER IN DISTURBED AREAS AS SOON AS POSSIBLE.
  - COVER INACTIVE STORAGE PILES.
  - INSTALL WHEEL WASHERS AT THE ENTRANCE TO CONSTRUCTION SITES FOR ALL EXITING TRUCKS.
  - SWEEP STREETS IF VISIBLE SOIL MATERIAL IS CARRIED OUT FROM THE CONSTRUCTION SITE AND CHECK AT LEAST ONCE DAILY.
  - POST A PUBLICLY VISIBLE SIGN THAT SPECIFIES THE TELEPHONE NUMBER AND PERSON TO CONTACT REGARDING DUST COMPLAINTS. THIS PERSON WILL RESPOND TO COMPLAINTS AND TAKE CORRECTIVE ACTION WITHIN 48 HOURS. THE PHONE NUMBER OF THE MBUAPCD WILL BE VISIBLE TO ENSURE COMPLIANCE WITH RULE 402 NUISANCE.
  - LIMIT THE AREA UNDER CONSTRUCTION AT ANY ONE TIME. THE CONSTRUCTION CONTRACTOR WILL ENSURE THESE MEASURES ARE IMPLEMENTED DURING CONSTRUCTION AS VERIFIABLE UPON COUNTY INSPECTION.
- THE CONTRACTOR SHALL IMPLEMENT THE FOLLOWING MEASURES TO CONTROL CONSTRUCTION RELATED EXHAUST EMISSIONS FROM HEAVY DUTY OFF ROAD DIESEL POWERED CONSTRUCTION EQUIPMENT DURING CONSTRUCTION (MM AQ C2 – EMISSION CONTROL):
  - LIMIT USE OF EQUIPMENT.
  - REPLACE DIESEL POWERED EQUIPMENT WITH GASOLINE POWERED EQUIPMENT.
  - MODIFY ENGINE WITH ARB VERIFIED RETROFIT.
  - REPOWER WITH CURRENT STANDARD DIESEL TECHNOLOGY.
  - REPOWER WITH COMPRESSED NATURAL GAS AND OR LIQUID NATURAL GAS TECHNOLOGY.
  - THE APPLICANT WILL ENSURE THAT THE CONSTRUCTION SPECIFICATIONS REQUIRE CONSTRUCTION CONTRACTORS TO RETROFIT AND INSTALL DIESEL PARTICULATE INSTALL DIESEL PARTICULATE FILTERS CAPABLE OF ACHIEVING AN 85 PERCENT REDUCTION IN PM10 EXHAUST EMISSIONS LEVEL 3 ON ALL OFF ROAD CONSTRUCTION EQUIPMENT AND DIESEL 85 PERCENT REDUCTION IN PM10 EXHAUST EMISSIONS LEVEL 3 ON ALL OFF ROAD CONSTRUCTION EQUIPMENT AND DIESEL OXIDATION CATALYSTS AND LEVEL 3 DPFS ON ALL ON ROAD SOIL HAULING. HAULING. THE CONSTRUCTION CONTRACTOR WILL ENSURE THESE MEASURES ARE IMPLEMENTED DURING CONSTRUCTION AS VERIFIABLE UPON COUNTY INSPECTION.
- THE CONTRACTOR SHALL INCLUDE THE FOLLOWING THREE BEST MANAGEMENT PRACTICES DURING CONSTRUCTION, TO THE EXTENT FEASIBLE, TO REDUCE CONSTRUCTION RELATED GHG EMISSIONS:
  - USE ALTERNATIVE FUELED LIKE BIODIESEL AND ELECTRIC CONSTRUCTION VEHICLES AND EQUIPMENT FOR AT LEAST 15 PERCENT OF THE FLEET.
  - USE LOCAL BUILDING MATERIALS WHERE REASONABLY AVAILABLE WITHIN THE GENERAL MONTEREY BAY AREA DEFINED AS MONTEREY COUNTY, SANTA CRUZ COUNTY, AND SAN BENITO COUNTY.
  - RECYCLE AT LEAST 65 PERCENT OF CONSTRUCTION WASTE OR DEMOLITION MATERIALS.
- PRIOR TO THE INITIATION OF ANY SITE PREPARATION AND OR START THE CONTRACTOR WILL ENSURE THAT ALL STATIONARY NOISE GENERATING EQUIPMENT, SUCH AS PUMPS AND GENERATORS ARE LOCATED AS FAR AS POSSIBLE FROM NEARBY NOISE SENSITIVE RECEPTORS AS PRACTICABLE. NOISE GENERATING EQUIPMENT WILL BE SHIELDED FROM NEARBY NOISE SENSITIVE RECEPTORS BY NOISE ATTENUATING BUFFERS SUCH AS STRUCTURES OR HAUL TRUCK TRAILERS. STATIONARY NOISE SOURCES LOCATED CLOSER THAN 500 FEET FROM NOISE SENSITIVE RECEPTORS WILL BE EQUIPPED WITH NOISE REDUCING ENGINE HOUSINGS. PORTABLE ACOUSTIC BARRIERS WILL BE PLACED AROUND NOISE GENERATING EQUIPMENT LOCATED WITHIN 200 FEET OF RESIDENCES, WATER TANKS AND EQUIPMENT STORAGE, STAGING, AND WARM-UP AREAS WILL BE LOCATED AS FAR FROM NOISE SENSITIVE RECEPTORS AS POSSIBLE. 15. THE CONTRACTOR WILL ENSURE ALL CONSTRUCTION EQUIPMENT POWERED BY GASOLINE OR DIESEL ENGINES HAS SOUND CONTROL DEVICES AT LEAST AS EFFECTIVE AS THOSE ORIGINALLY PROVIDED BY THE MANUFACTURER. NO EQUIPMENT WILL BE PERMITTED TO HAVE AN UNMUFFLED EXHAUST.
- THE APPLICANT WILL ENSURE THE CONSTRUCTION SPECIFICATIONS SPECIFY THAT ANY IMPACT TOOLS USED DURING DEMOLITION OF EXISTING INFRASTRUCTURE ARE SHROUDED OR SHIELDED. THESE REQUIREMENTS WILL BE INCLUDED IN ALL RELEVANT CONSTRUCTION CONTRACTS AND SHOWN ON CONSTRUCTION PLANS.
- THE APPLICANT WILL ENSURE THE CONSTRUCTION SPECIFICATIONS SPECIFY THAT ANY MOBILE NOISE-GENERATING EQUIPMENT OR MACHINERY IS SHUT OFF WHEN NOT IN USE. THESE REQUIREMENTS WILL BE INCLUDED IN ALL RELEVANT CONSTRUCTION CONTRACTS AND SHOWN ON CONSTRUCTION PLANS, AND WILL BE IMPLEMENTED DURING CONSTRUCTION.
- THE CONTRACTOR TO ENSURE THAT CONSTRUCTION VEHICLES ACCESSING THE SITE USE THE SHORTEST POSSIBLE ROUTE TO AND FROM LOCAL FREEWAYS, PROVIDED THE ROUTES DO NOT EXPOSE ADDITIONAL RECEPTORS TO NOISE. SEE APPROVED CONSTRUCTION MANAGEMENT PLAN.
- THE APPLICANT AND THE CONTRACTOR WILL ENSURE THAT RESIDENTS WITHIN 500 FEET OF THE CONSTRUCTION AREA ARE NOTIFIED OF THE CONSTRUCTION SCHEDULE IN WRITING BEFORE CONSTRUCTION BEGINS. THE PROJECT APPLICANT AND CONTRACTOR WILL DESIGNATE A NOISE DISTURBANCE COORDINATOR WHO IS RESPONSIBLE FOR RESPONDING TO COMPLAINTS REGARDING CONSTRUCTION NOISE. THE COORDINATOR WILL DETERMINE THE CAUSE OF ANY COMPLAINT AND ENSURE THAT REASONABLE MEASURES ARE IMPLEMENTED TO CORRECT THE PROBLEM. A CONTACT TELEPHONE NUMBER FOR THE NOISE DISTURBANCE COORDINATOR WILL BE POSTED CONSPICUOUSLY ON CONSTRUCTION SITE FENCES AND WILL BE INCLUDED IN THE WRITTEN NOTIFICATION OF THE CONSTRUCTION SCHEDULE SENT TO NEARBY RESIDENTS.
- THROUGHOUT THE CONSTRUCTION PERIOD, THE CONTRACTOR WILL IMPLEMENT ADDITIONAL NOISE MITIGATION MEASURES AT THE REQUEST OF THE COUNTY AS NEEDED SUCH THAT CONSTRUCTION NOISE LEVELS DO NOT EXCEED 65 DBA AT THE NEAREST OUTDOOR ACTIVITY AREA OF A NOISE-SENSITIVE LAND USE. ADDITIONAL MEASURES MIGHT INCLUDE CHANGING THE LOCATION OF STATIONARY NOISE GENERATING EQUIPMENT, SHUTTING OFF IDLING EQUIPMENT, RESCHEDULING CONSTRUCTION ACTIVITY, INSTALLING ACOUSTIC BARRIERS AROUND STATIONARY SOURCES OF CONSTRUCTION NOISE, TEMPORARILY RELOCATING RESIDENTS WHERE PRACTICABLE, USING ALTERNATIVE EQUIPMENT OR CONSTRUCTION METHODS THAT PRODUCE LESS NOISE, AND OTHER SITE-SPECIFIC MEASURES AS APPROPRIATE.
- A TRAFFIC CONTROL PLAN, INCLUDING A COMPREHENSIVE SET OF TRAFFIC CONTROL MEASURES, WILL BE PREPARED BY THE CONSTRUCTION CONTRACTOR, SUBMITTED TO MONTEREY COUNTY FOR REVIEW AND APPROVAL, BEFORE ISSUANCE OF GRADING OR BUILDING PERMITS. THE PLAN WILL INCLUDE PROCEDURES FOR SCHEDULING MAJOR TRUCK TRIPS AND DELIVERIES TO AVOID SPECIAL EVENT ACTIVITY IN DEL MONTE FOREST AND MINIMIZE PEAK HOUR ACTIVITY ON ROADS OPERATING BELOW LOS SIGNIFICANCE THRESHOLDS. LANE CLOSURE PROCEDURES, INCLUDING SIGNS, CONES, AND OTHER WARNING DEVICES FOR DRIVERS, WILL BE IDENTIFIED AS APPROPRIATE. USE OF STEEL PLATES TO MAINTAIN THROUGH TRAFFIC ON ROADS WILL BE CONSIDERED, AND CONSTRUCTION ACCESS ROUTES WILL BE IDENTIFIED. CONSTRUCTION STAGING IS ANTICIPATED TO OCCUR ONSITE FOR ALL PROJECT COMPONENTS AND WILL BE VERIFIED BY THE COUNTY. ONSITE PARKING WILL BE PROVIDED FOR ALL CONSTRUCTION WORKERS TO MINIMIZE THE IMPACT ON AREA ROADS. WHEN ONSITE PARKING CANNOT BE PROVIDED, ALTERNATIVE PARKING AND SHUTTLE SYSTEMS WILL BE DEVELOPED AND VERIFIED BY THE COUNTY.

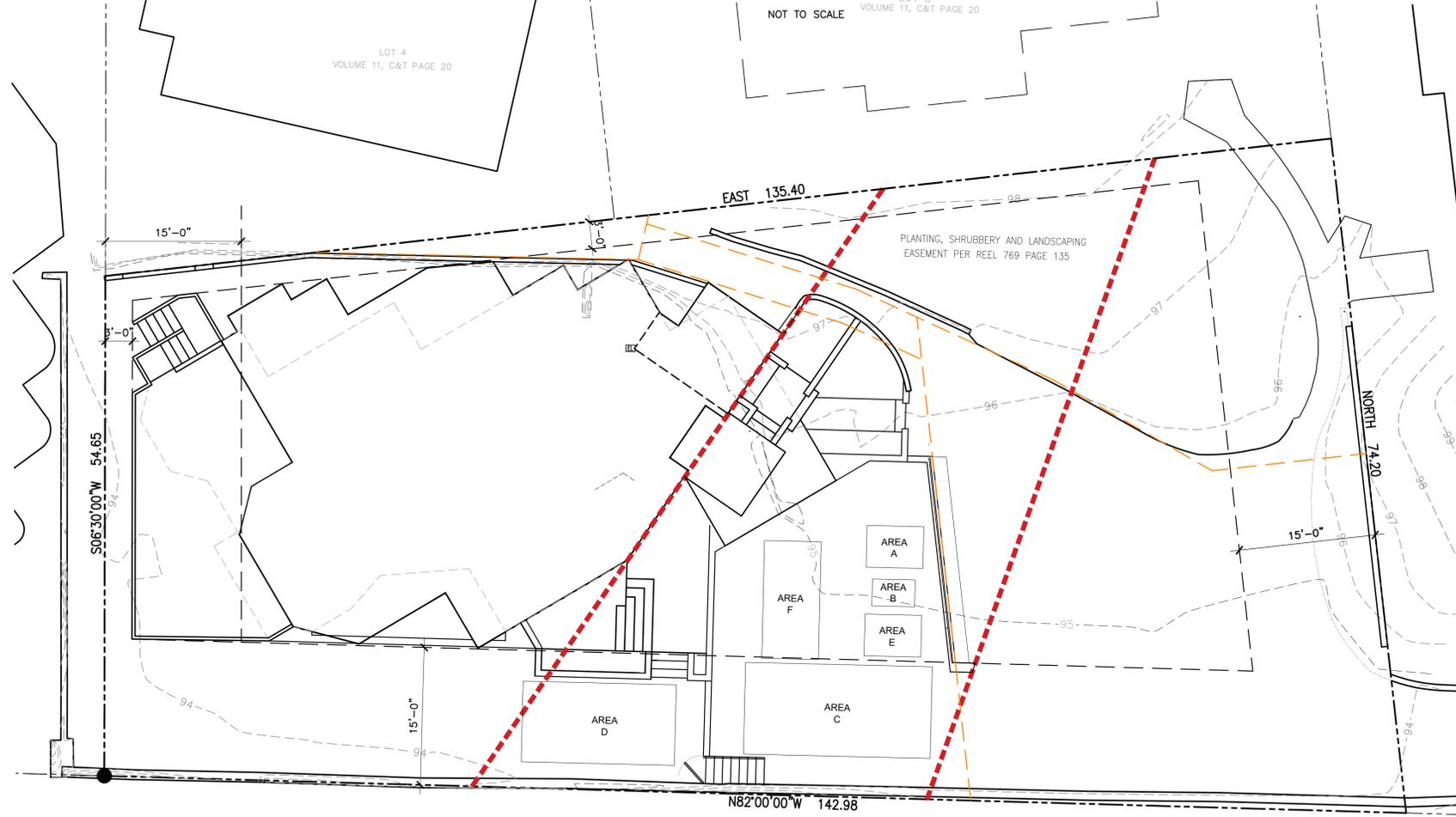


**TRUCK HAULING ROUTE**

FROM JOBSITE:

SOUTH (RIGHT) ON SAN ANTONIO AVENUE  
 EAST (LEFT) ON OCEAN AVENUE  
 NORTH (LEFT) ON CARPENTER  
 NORTH (LEFT) ON HIGHWAY ONE  
 RIGHT EXIT AT DEL MONTE AVENUE  
 ARRIVAL AT MRWMD

## TRUCK HAULING ROUTE



**CONSTRUCTION SCHEDULE**

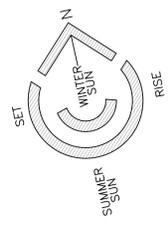
DURATION: 18-24 MONTHS  
 HOURS: 8AM TO 5 PM  
 WORKERS: 10 DAILY WORKERS  
 CONTRACTOR TO PROVIDE A VAN CARPOOL. ALL SUB-CONTRACTORS AND THEIR EMPLOYEES WILL BE ENCOURAGED TO CARPOOL.  
 VEHICLES: NO VEHICLES TO REMAIN ON SITE DURING CONSTRUCTION. ALL VEHICLES FOR DELIVERING, TOILET CLEANING, HAULING, ETC. MUST BE MOVED AS SOON AS THEIR JOB IS COMPLETE.

**CONSTRUCTION COORDINATOR**

THE CONTRACTOR SHALL PROVIDE A CONSTRUCTION COORDINATOR TO HANDLE ALL ASPECTS OF LOGISTICS AND SCHEDULING DURING THE CONSTRUCTION PHASE. THE COORDINATOR'S PHONE NUMBER SHALL BE CONSPICUOUSLY POSTED AT THE JOB SITE IN A MANNER THAT THE CONTACT INFORMATION IS VISIBLE FROM A PUBLIC VIEWING AREA. THE POSTING SHALL INDICATE THAT THE CONSTRUCTION COORDINATOR SHOULD BE CONTACTED TO ANSWER ANY QUESTION THAT ARISE DURING CONSTRUCTION - BOTH FOR GENERAL INQUIRIES AND FOR EMERGENCIES. THE COORDINATOR SHALL MAKE A RECORD OF ALL CALLS BY NAME, PHONE NUMBER AND NATURE OF QUESTION OR COMPLAINT AND TAKE ACTION IF NECESSARY, WITHIN 24 HOURS OF RECEIPT OF THE INQUIRY OR COMPLAINT.

**LEGEND**

AREA A: SCREENED PORTABLE TOILET  
 AREA B: LOCKED TOOL BOX  
 AREA C: DELIVERY AND DUMP TRUCK PARKING TO BE STAGED SO ONLY 1 AT A TIME  
 AREA D: MATERIAL STOCKPILE  
 AREA E: DUMPSTER  
 AREA F: STAGING AREA



## CONSTRUCTION SUPPORT PLAN

SCALE: 1/8"=1'-0"



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Action:

Date: 01.31.19

Scale: 1/8"=1'-0"

Drawn:

Description:  
DEMOLITION  
PLAN

Sheet No:

**A-1.4**

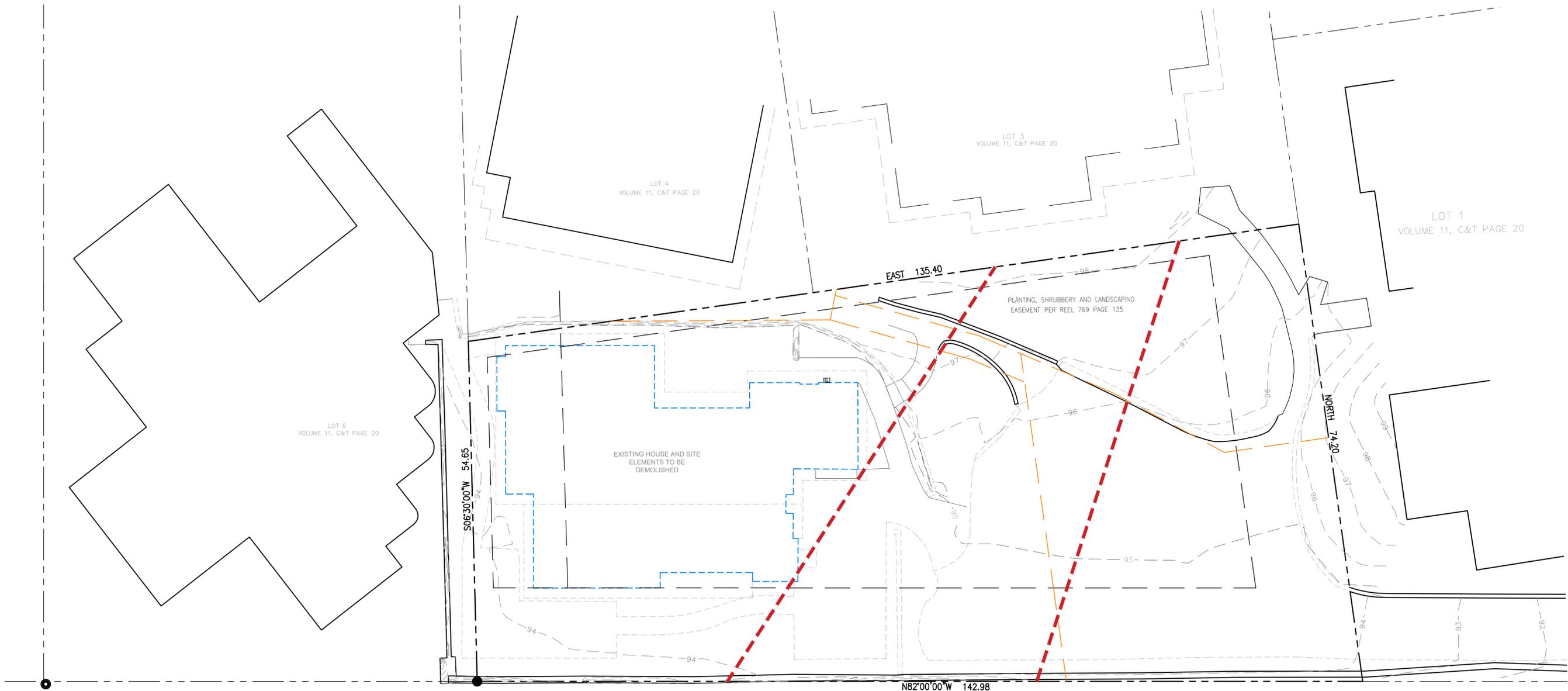
SCALE: 1/8"=1'-0"



## DEMOLITION PLAN

### DEMOLITION NOTES

1. ALL UTILITIES MUST BE DISCONNECTED PRIOR TO START OF DEMOLITION.
2. CONTRACTOR SHALL PROVIDE SAFE SUPPORT FOR FLOOR AND ROOF BEARING POINTS DURING AND AFTER REMOVAL UNTIL SECURELY RESUPPORTED WITH WEIGHT TRANSFER TO PROPER SIZED FOOTING.
3. CONTRACTOR SHALL COORDINATE RECYCLING OF SALVAGEABLE BUILDING MATERIALS WITH LOCAL NONPROFIT OR OTHER.
4. SUFFICIENTLY WET THE STRUCTURE PRIOR TO DECONSTRUCTION OR DEMOLITION. CONTINUE WETTING AS NECESSARY DURING ACTIVE DECONSTRUCTION OR DEMOLITION AND THE DEBRIS REDUCTION PROCESS.
5. DEMOLISH THE STRUCTURE INWARD TOWARD THE BUILDING PAD. LAY DOWN ROOF AND WALLS SO THAT THEY FALL INWARD AND NOT AWAY FROM THE BUILDING.
6. COMMENCEMENT OF DECONSTRUCTION OR DEMOLITION ACTIVITIES SHALL BE PROHIBITED WHEN THE PEAK WIND SPEED EXCEEDS 15 MILES PER HOUR.
7. DURING DEMOLITION, THE OWNER/APPLICANT/CONTRACTOR SHALL OBTAIN ANY REQUIRED AIR DISTRICT PERMITS AND THE AIR DISTRICT SHALL CONDUCT ALL DECONSTRUCTION OR DEMOLITION INSPECTION ACTIVITIES AS REQUIRED BY THE AIR DISTRICT.





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Action:

Date: 03.05.19

Scale: 1/4"=1'-0"

Drawn:

Description:  
MAIN FLOOR PLAN

Sheet No:

**A-2.1**

### SYMBOLS LEGEND

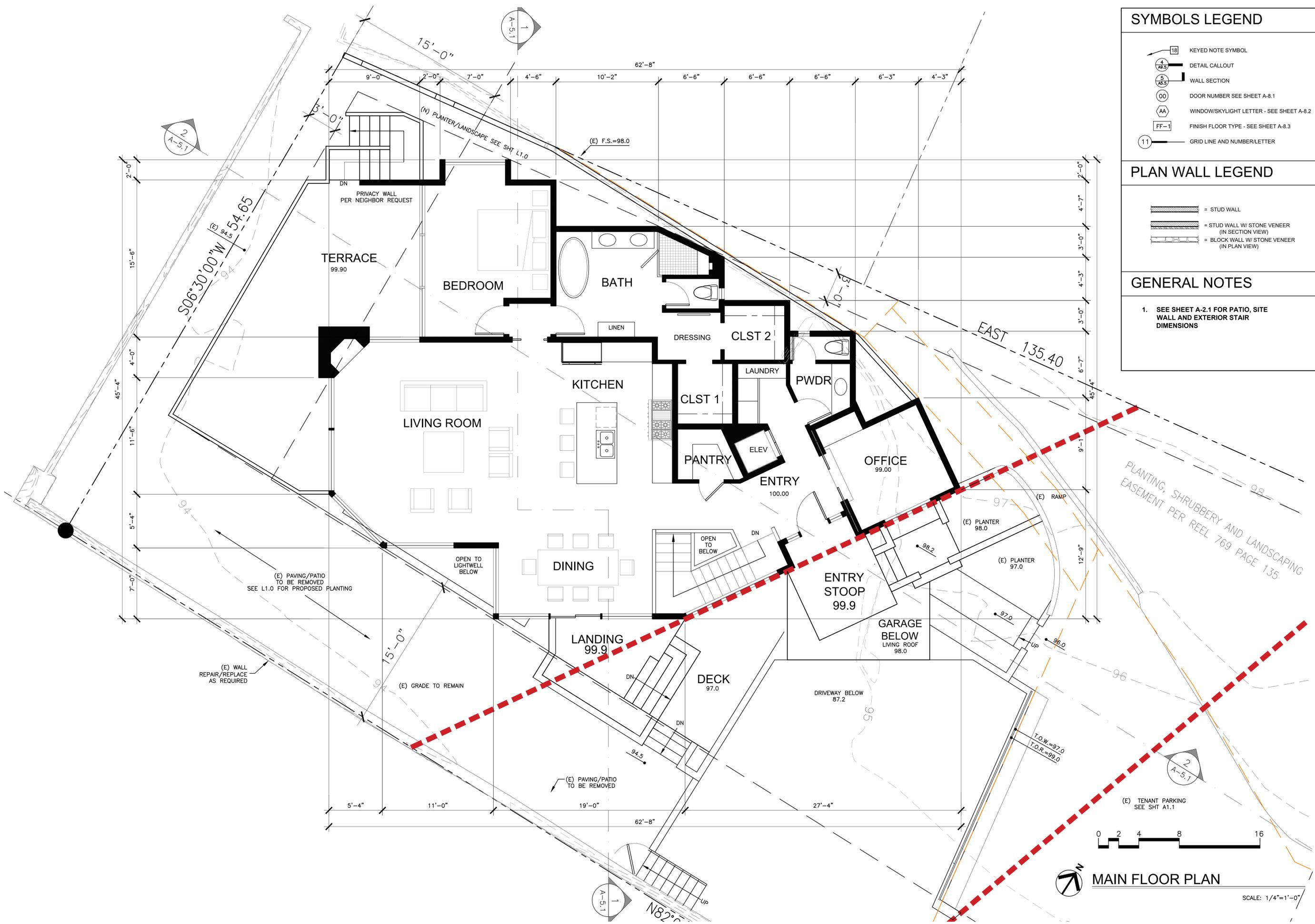
- 18 KEYED NOTE SYMBOL
- 4/86.5 DETAIL CALLOUT
- 5/85.5 WALL SECTION
- 00 DOOR NUMBER SEE SHEET A-8.1
- AA WINDOW/SKYLIGHT LETTER - SEE SHEET A-8.2
- FF-1 FINISH FLOOR TYPE - SEE SHEET A-8.3
- 11 GRID LINE AND NUMBER/LETTER

### PLAN WALL LEGEND

- [Symbol] = STUD WALL
- [Symbol] = STUD WALL W/ STONE VENEER (IN SECTION VIEW)
- [Symbol] = BLOCK WALL W/ STONE VENEER (IN PLAN VIEW)

### GENERAL NOTES

- SEE SHEET A-2.1 FOR PATIO, SITE WALL AND EXTERIOR STAIR DIMENSIONS



**MAIN FLOOR PLAN**  
SCALE: 1/4"=1'-0"



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Action:

Date: 03.05.19

Scale: 1/4"=1'-0"

Drawn:

Description:  
LOWER FLOOR PLAN

Sheet No:

**A-2.2**

**SYMBOLS LEGEND**

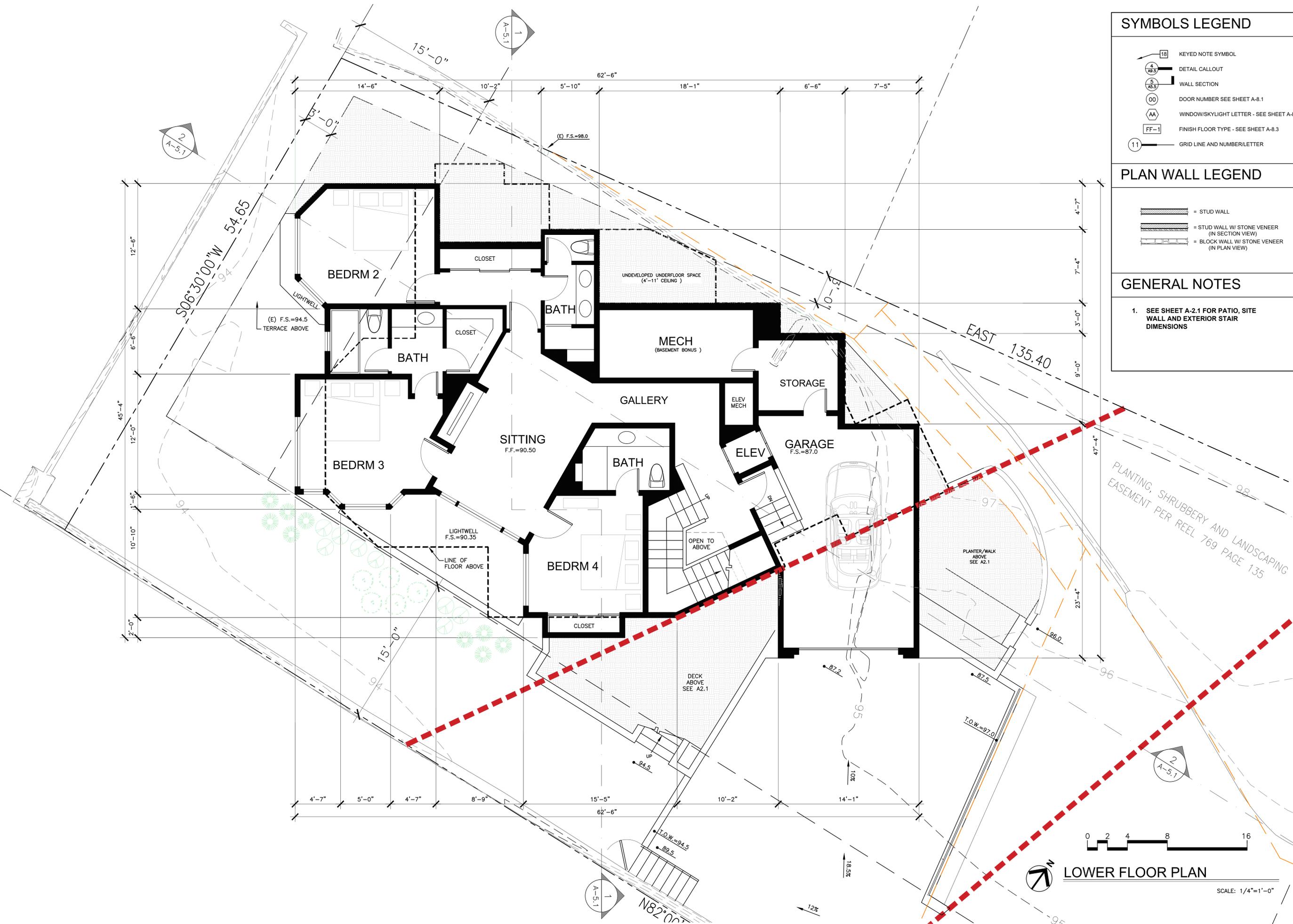
- KEYED NOTE SYMBOL
- DETAIL CALLOUT
- WALL SECTION
- DOOR NUMBER SEE SHEET A-8.1
- WINDOW/SKYLIGHT LETTER - SEE SHEET A-8.2
- FINISH FLOOR TYPE - SEE SHEET A-8.3
- GRID LINE AND NUMBER/LETTER

**PLAN WALL LEGEND**

- STUD WALL
- STUD WALL W/ STONE VENEER (IN SECTION VIEW)
- BLOCK WALL W/ STONE VENEER (IN PLAN VIEW)

**GENERAL NOTES**

- SEE SHEET A-2.1 FOR PATIO, SITE WALL AND EXTERIOR STAIR DIMENSIONS



**LOWER FLOOR PLAN**  
SCALE: 1/4"=1'-0"

LOT 6  
VOLUME 11, C&T PAGE 20

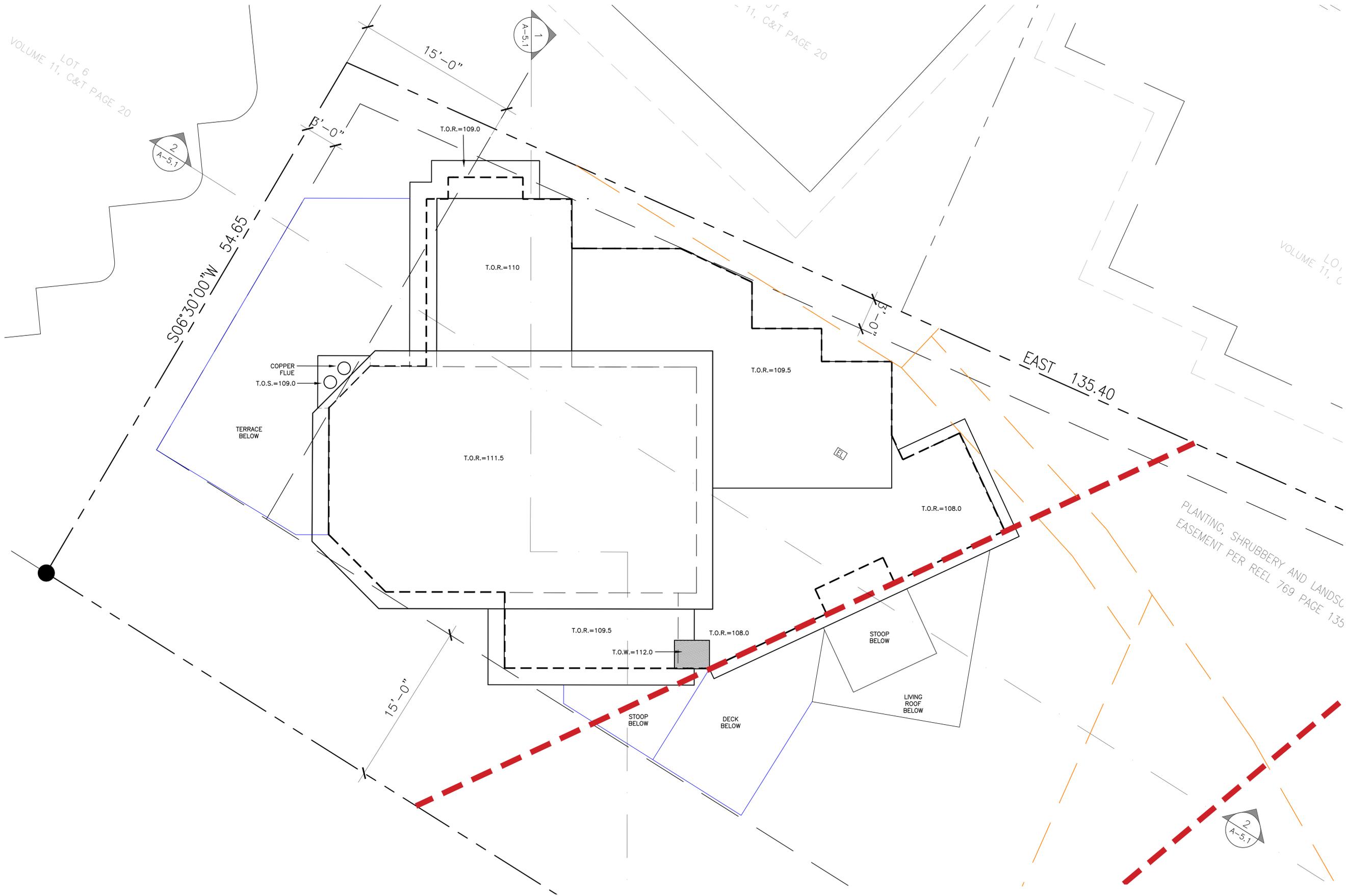
LOT 4  
-11, C&T PAGE 20



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LOT 1  
VOLUME 11, C

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PLANTING, SHRUBBERY AND LANDSCAPE  
EASEMENT PER REEL 769 PAGE 135



**ROOF PLAN**

SCALE: 1/4"=1'-0"

Prepared by: \_\_\_\_\_

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Action: \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

Date: 01.03.19

Scale: 1/4"=1'-0"

Drawn: \_\_\_\_\_

Description:  
MAIN  
FLOOR PLAN

Sheet No:  
**A-3.1**

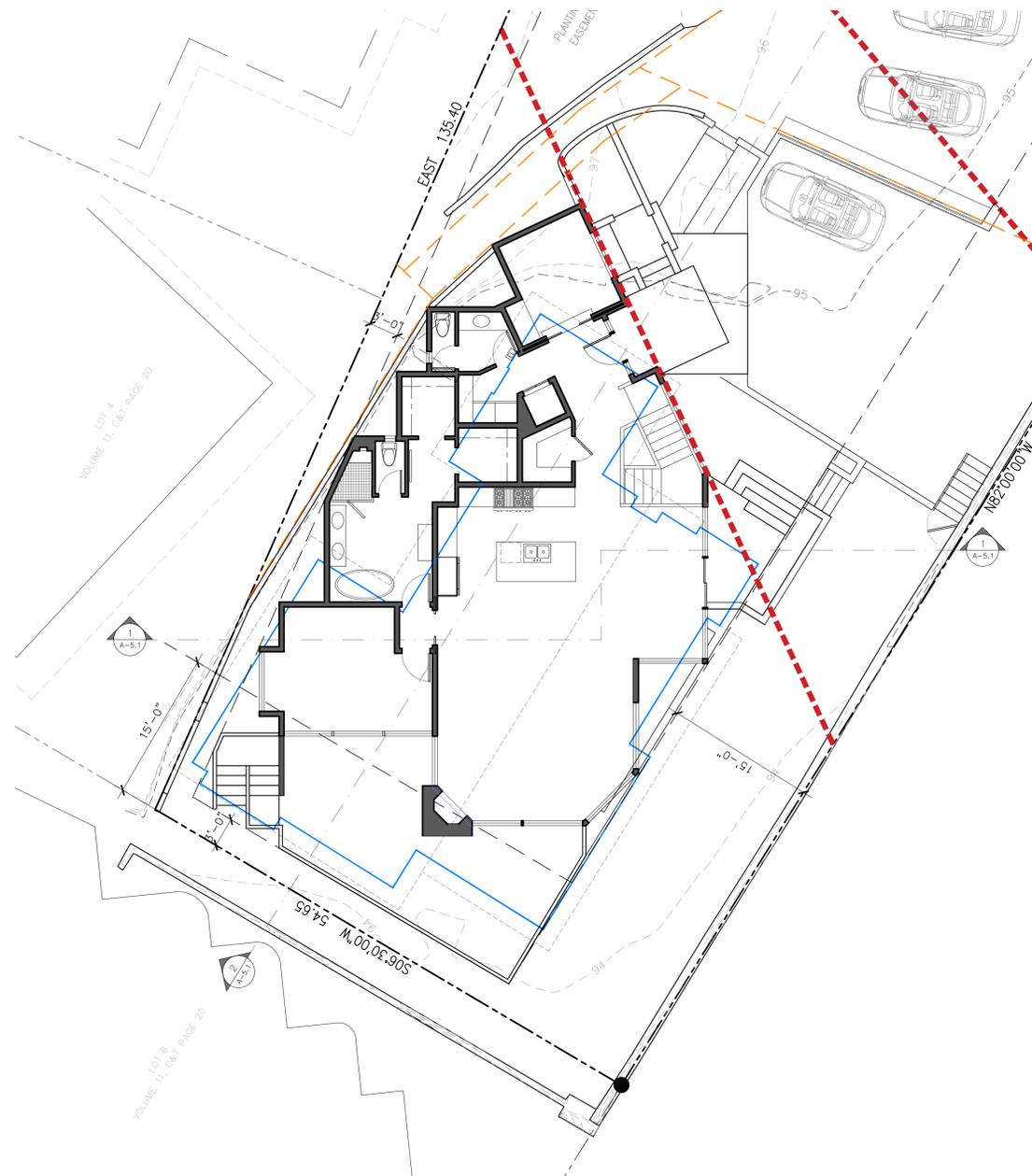


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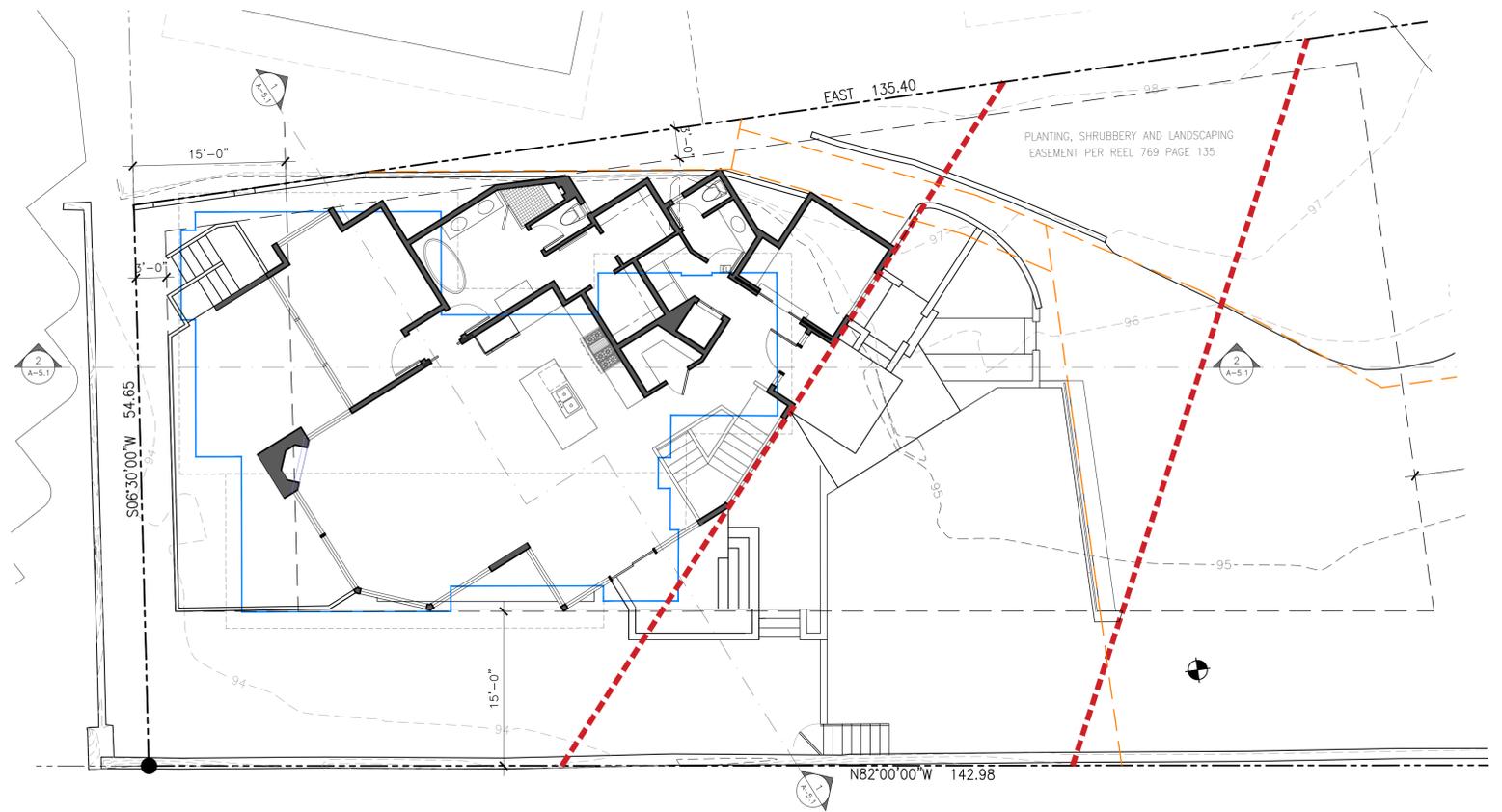
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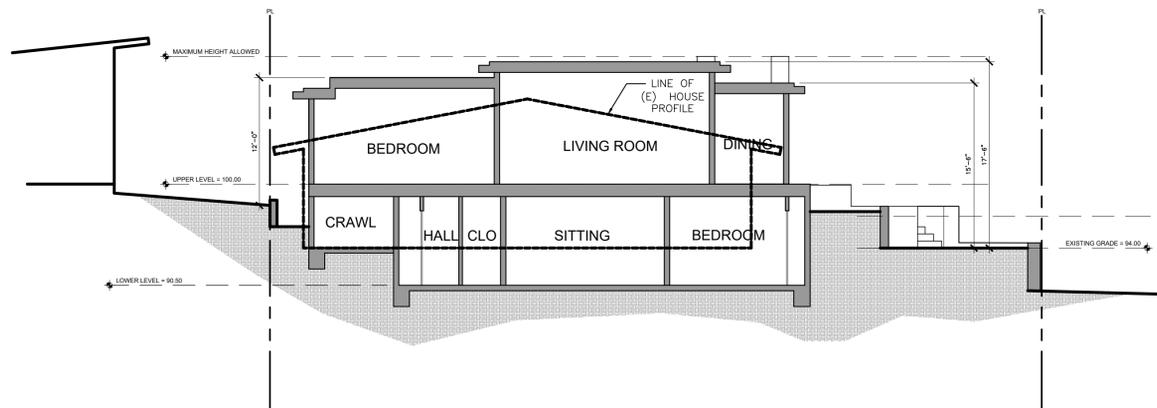
**SITE DIAGRAM-1**

SCALE: 1/8"=1'-0"



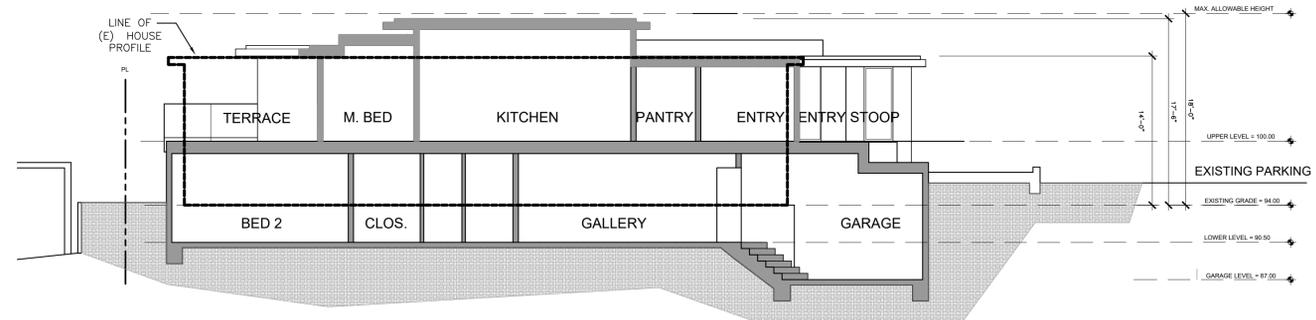
**SITE DIAGRAM-2**

SCALE: 1/8"=1'-0"



**SECTION 1-1**

SCALE: 1/8"=1'-0"



**SECTION 1-1**

SCALE: 1/8"=1'-0"

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Action:

Date: 01.17.19

Scale: 1/8"=1'-0"

Drawn:

Description:  
BUILDING/SITE  
SECTION

Sheet No:

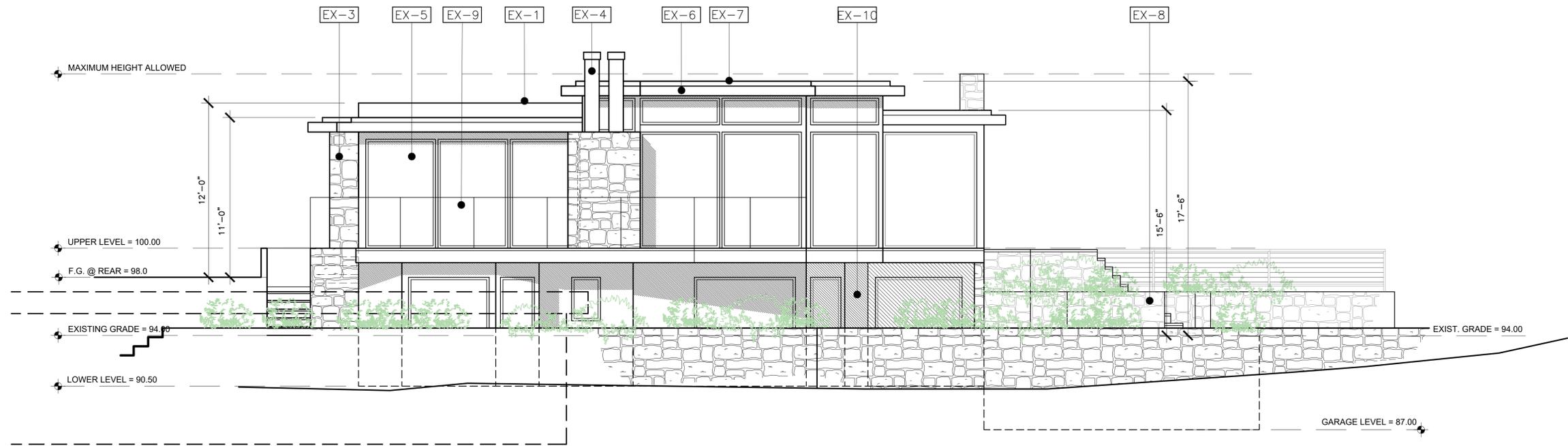
**A-5.1**



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**SOUTHWEST ELEVATION**

SCALE: 1/4"=1'-0"



**SOUTHWEST PERSPECTIVE**

SCALE: NONE

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**ELEVATION KEY NOTES**

- EX-1 FLAT ROOF W/ 'GOLDEN' D.G. OVERLAY
- EX-2 NATURAL CEDAR SIDING
- EX-3 CARMEL STONE WALLS
- EX-4 BRONZE CHIMNEY SHROUD
- EX-5 WOOD DOORS & WINDOWS
- EX-6 COPPER GUTTER & DOWNSPOUTS
- EX-7 SOLID BODY STAINED WOOD FASCIA
- EX-8 LANDSCAPE/RETAINING WALL STUCCO OR STONE
- EX-9 TEMPERED GLASS RAILING
- EX-10 INTEGRAL COLOR STUCCO

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Action: \_\_\_\_\_

Date: 03.05.19

Scale: 1/4"=1'-0"

Drawn: \_\_\_\_\_

Description:  
EXTERIOR  
ELEVATION

Sheet No:

**A-6.1**

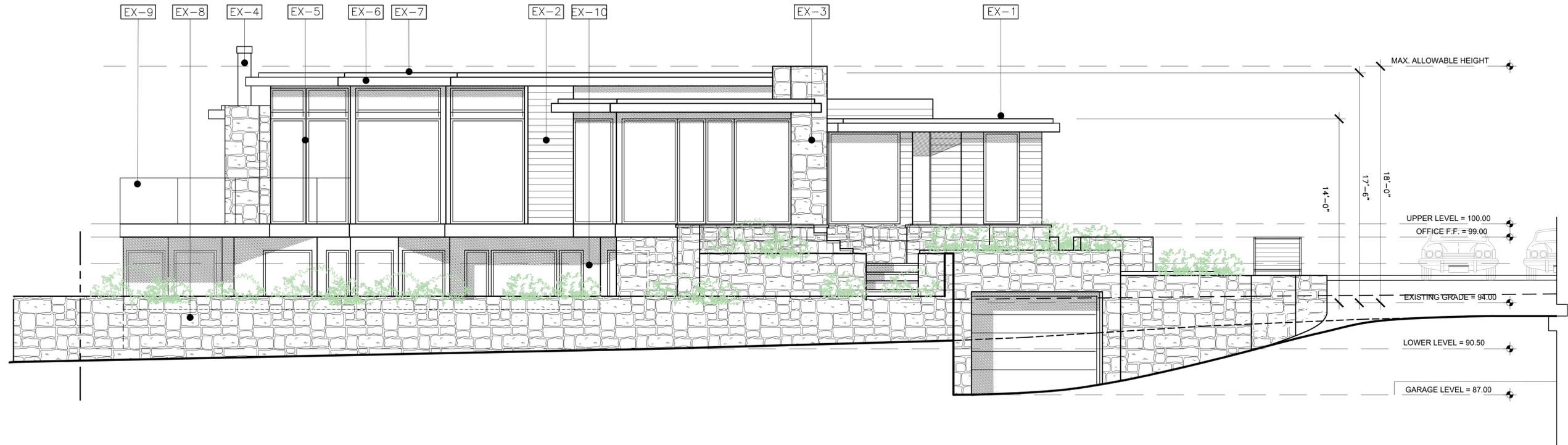


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SOUTH ELEVATION

SCALE: 1/4"=1'-0"



ELEVATION KEY-NOTES

- EX-1 POLYURETHANE URETHANE OVERLAY
- EX-2 BRICK
- EX-3 STONE
- EX-4 BRICK
- EX-5 BRICK
- EX-6 COPPER GUTTERS & DOWNSPOUTS
- EX-7 SOLID BODY STAINED WOOD FASCIA
- EX-8 LANDSCAPE RETAINING WALL STUCCO OR STONE
- EX-9 TEMPERED GLASS RAILING
- EX-10 INTEGRAL COLOR STUCCO

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Action:

Date: 03.05.19

Scale: 1/4"=1'-0"

Drawn:

Description:  
EXTERIOR  
ELEVATION

Sheet No:

**A-6.2**

SOUTH PERSPECTIVE

SCALE: NONE

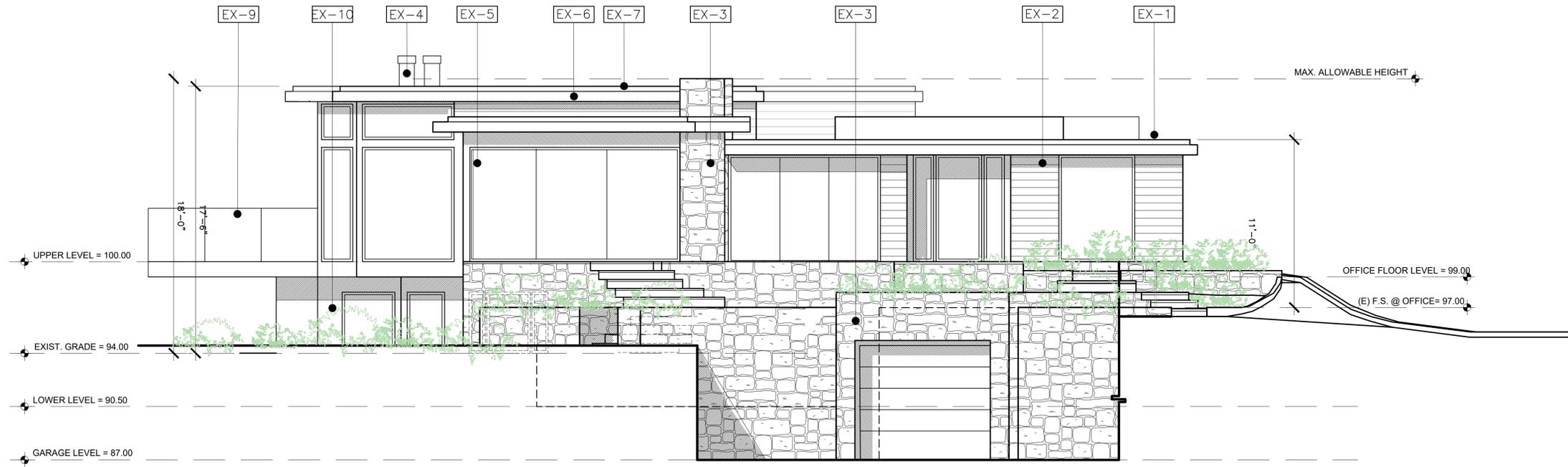


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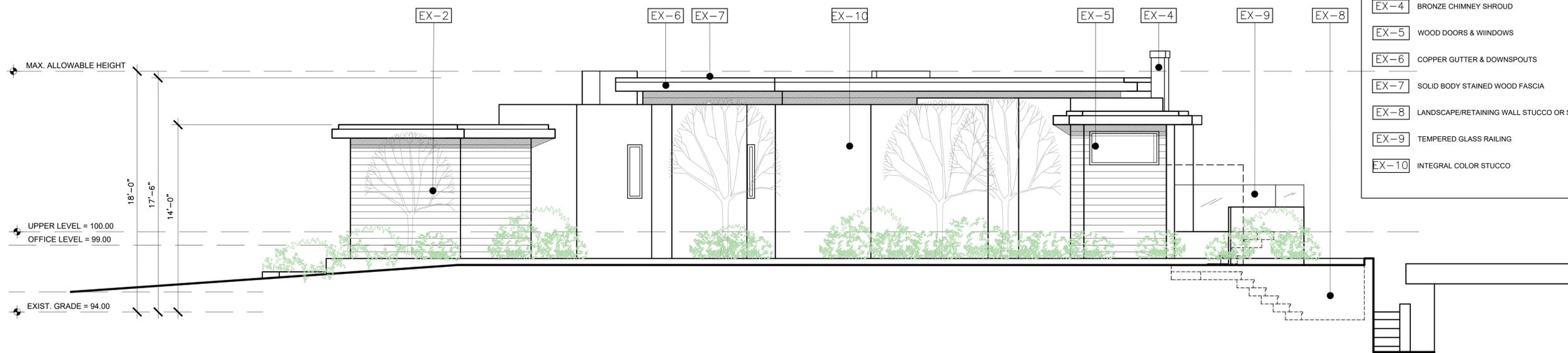
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**SOUTHEAST ELEVATION**

SCALE: 1/4"=1'-0"



**NORTH ELEVATION**

SCALE: 1/4"=1'-0"

**ELEVATION KEY NOTES**

- EX-1 FLAT ROOF W/ 'GOLDEN' D.G. OVERLAY
- EX-2 NATURAL CEDAR SIDING
- EX-3 CARMEL STONE WALLS
- EX-4 BRONZE CHIMNEY SHROUD
- EX-5 WOOD DOORS & WINDOWS
- EX-6 COPPER GUTTER & DOWNSPOUTS
- EX-7 SOLID BODY STAINED WOOD FASCIA
- EX-8 LANDSCAPE/RETAINING WALL STUCCO OR STONE
- EX-9 TEMPERED GLASS RAILING
- EX-10 INTEGRAL COLOR STUCCO

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Action: \_\_\_\_\_

Date: 03.05.19

Scale: 1/4"=1'-0"

Drawn: \_\_\_\_\_

Description:  
EXTERIOR  
ELEVATION

Sheet No:  
**A-6.3**

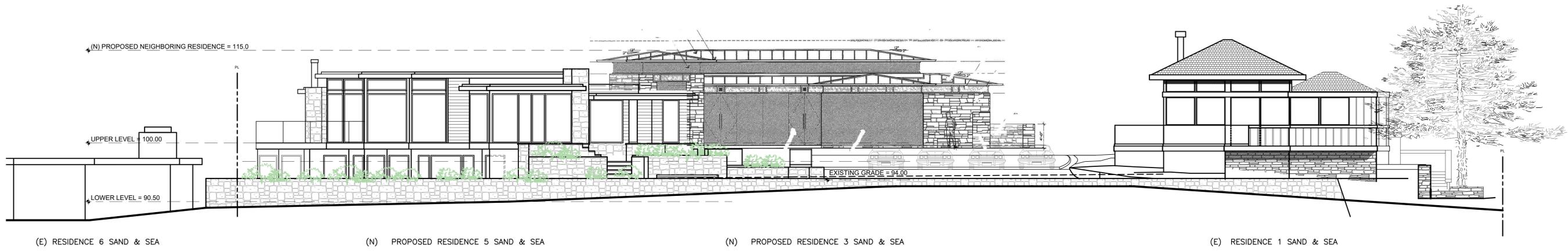


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**BEACHSCAPE ELEVATION**

SCALE: 1/8"=1'-0"



**BEACHSCAPE RENDERING**

SCALE: NONE

Prepared by: \_\_\_\_\_

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Action: \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

Date: 03.05.19

Scale: NOTED

Drawn: \_\_\_\_\_

Description: \_\_\_\_\_

BEACHSCAPE

Sheet No:

**A-6.4**



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### ELEVATION KEY NOTES

- EX-1 FLAT ROOF W/ 'GOLDEN' D.G. OVERLAY
- EX-2 NATURAL CEDAR SIDING
- EX-3 CARMEL STONE WALLS
- EX-4 BRONZE CHIMNEY SHROUD
- EX-5 WOOD DOORS & WINDOWS
- EX-6 COPPER GUTTER & DOWNSPOUTS
- EX-7 SOLID BODY STAINED WOOD FASCIA
- EX-8 LANDSCAPE/RETAINING WALL STUCCO OR STONE
- EX-9 TEMPERED GLASS RAILING
- EX-10 INTEGRAL COLOR STUCCO
- EX-11 IRON GUARDRAIL

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EX-5



EX-7



EX-9



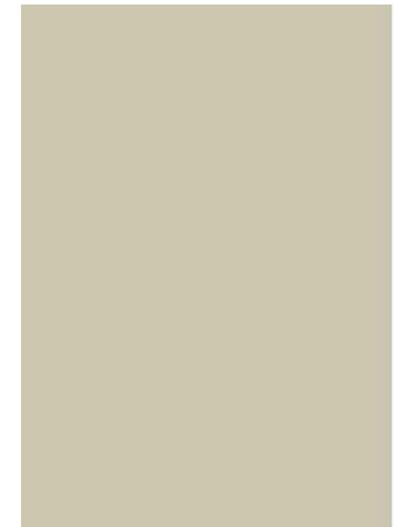
EX-11



EX-2



EX-3



EX-10 EX-8

Prepared by: \_\_\_\_\_

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Action: \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

Date: 03.05.19

Scale: NONE

Drawn: \_\_\_\_\_

Description: EXTERIOR MATERIALS

Sheet No:

**A-6.5**



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Action:

Date: 03.05.19

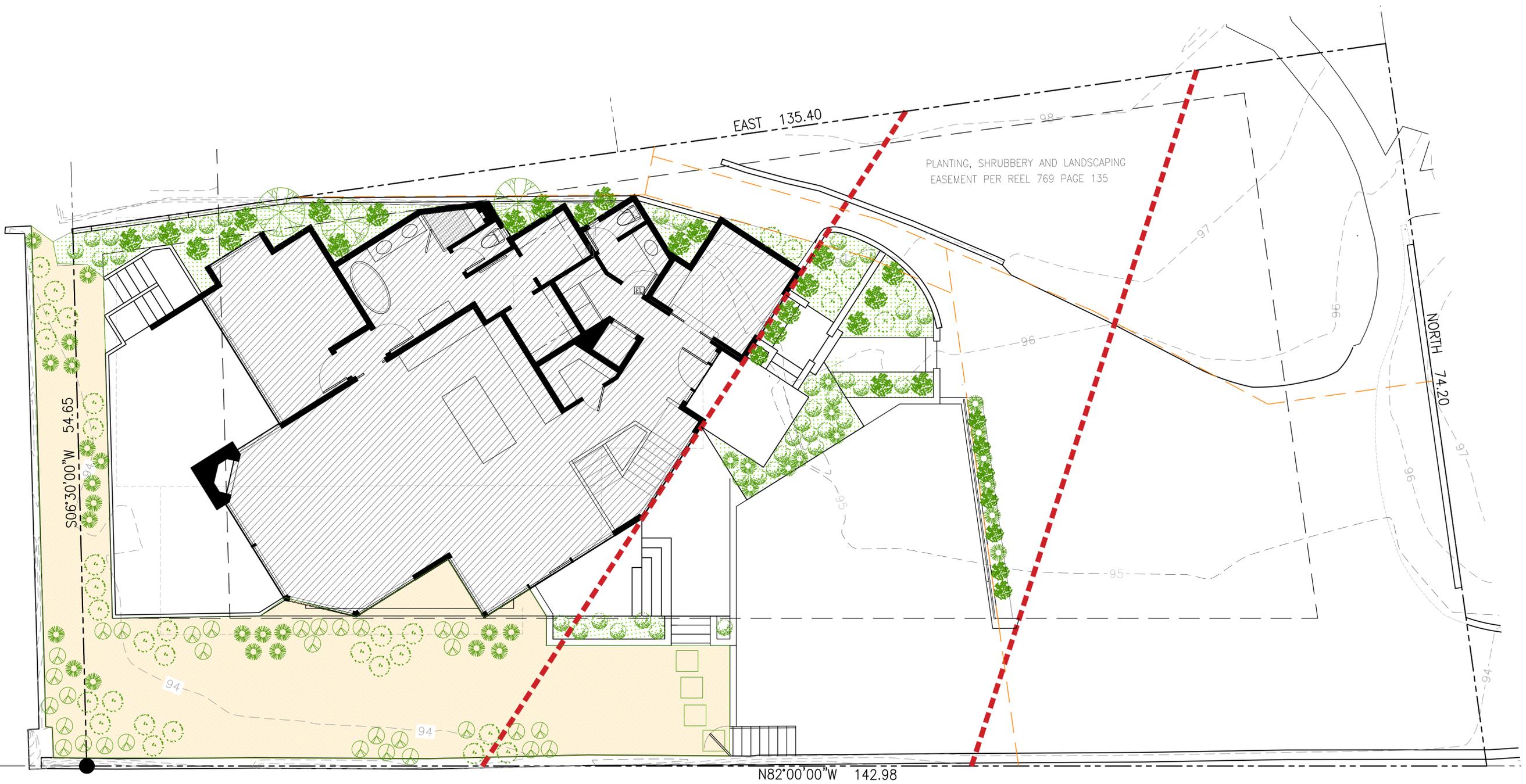
Scale: 1/8"=1'-0"

Drawn:

Description:  
LANDSCAPE PLAN

Sheet No:

**L-1.0**



PLANTING, SHRUBBERY AND LANDSCAPING  
EASEMENT PER REEL 769 PAGE 135

NOTE: ALL PLANTINGS SHALL BE IRRIGATED WITH  
DRIP SYSTEM

SYMBOLS LEGEND	
	GROUNDCOVER: ARCTOSTAPHYLOS 'CARMEL SUR'-MANZANITA FRAGARIA CHILOENSIS - NATIVE STRAWBERRY
	DUNE RESTORATION

PLANT LEGEND	
	LARGE SHRUB: LEPTOSPERMUM LAEVIGATUM AUSTRALIAN TEA TREE
	PERENNIALS: ERIGERON GLAUCUS SEASIDE DAISY
	PERENNIALS: AGROSTIS PALLENS SEASIDE BENTGRASS
	DUNES PLANT: MORELLA CALIFORNICA PACIFIC WAX-MYRTLE
	DUNES PLANT: ERICAMERIA ERICOIDES MOCK HEATHER
	DUNES PLANT: CEANOTHUS THYRSIFLORUS CARMEL CEANOTHUS



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Action:

Date: 01.03.19

Scale: 1/8"=1'-0"

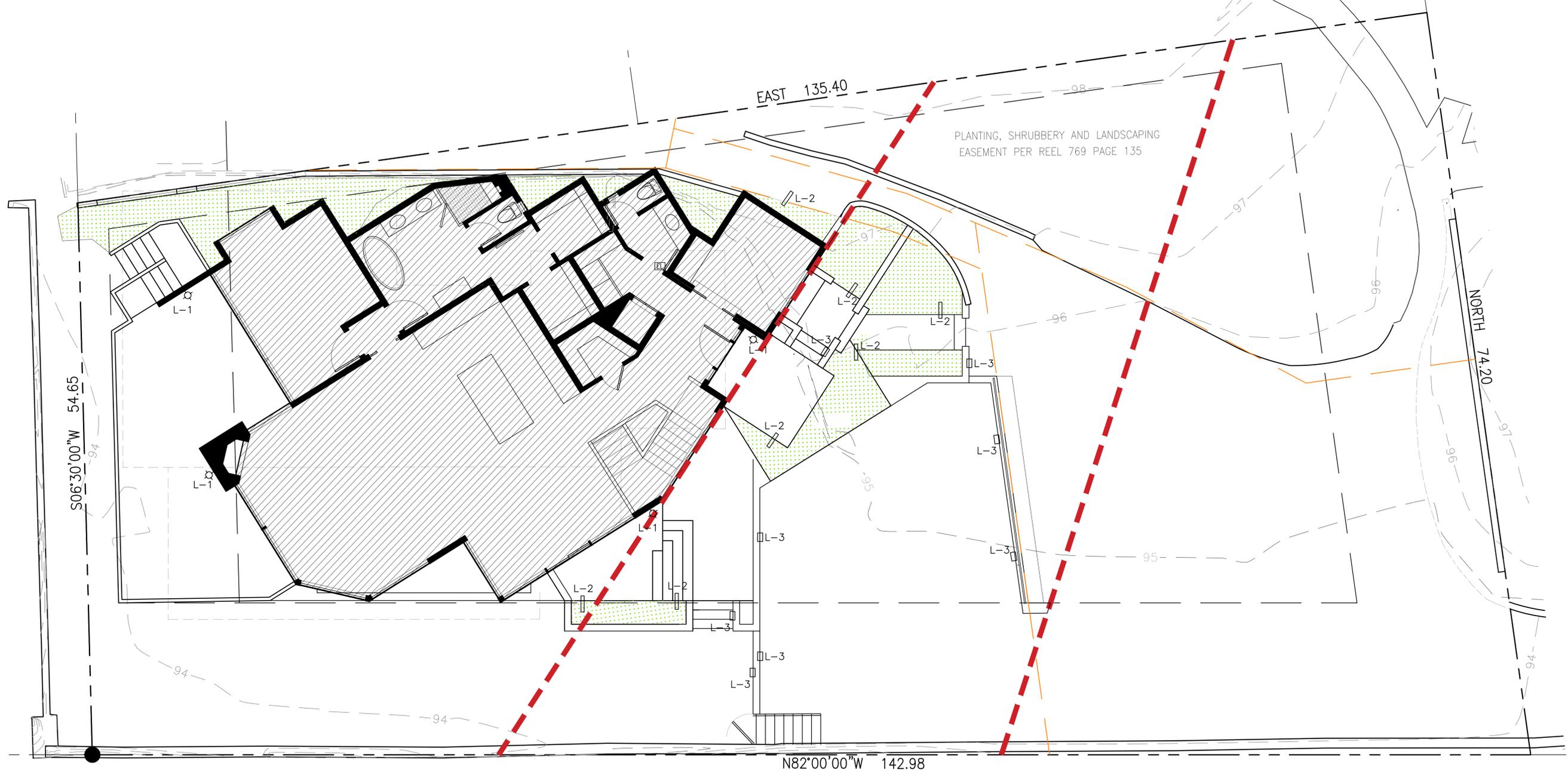
Drawn:

Description:  
EXTERIOR  
LIGHTING PLAN

Sheet No:

L-2.0

SCALE: 1/8"=1'-0"



# HINKLEY & R.

HINKLEY LIGHTING, INC.  
33000 PIN OAK PARKWAY, JAYON LAKE, OHIO 44012  
TEL: 440.853.0500 FAX: 440.853.3585  
WWW.HINKLEYLIGHTING.COM | FREDRICK@HINKLEY.COM



<b>KORE 1873BZ</b>	
BRONZE	
WIDTH:	5.3"
HEIGHT:	7.5"
WEIGHT:	2.0 LBS
MATERIAL:	ALUMINUM
GLASS:	ETCHED LENS
SOCKET:	5W LED INCLUDED
DARK SKY:	YES
<b>LED INFO:</b>	
LUMENS:	300
COLOR TEMP:	3000K
CRI:	80
INCANDESCENT EQUIVALENCY:	1-35W
DIMMABLE:	Yes, on any incandescent, M.V. ELV, or C.L. dimmer. 277v on 0-10v control.
EXTENSION:	4.0"
TTO:	3.8"
CERTIFICATION:	C-US WET RATED
VOLTAGE:	120V
UPC:	640665187304

L-1 FIXTURE

**Atlantis Small LED Path Light 15014BZ**

ITEM NUMBER	15014BZ
BRAND	Hinkley Lighting
MATERIAL	Aluminum
GLASS	Etched Lens
HEIGHT	15.0"
WIDTH	6.5"
LED COLOR TEMP	2700
VOLTAGE	12v
LED LUMENS	250
WATTAGE	3.80w LED *Included
CERTIFICATION	C-US Wet Rated

**FEATURES AND BENEFITS**

- A wiring kit and ground spike is supplied.
- Suitable for use in wet (interior direct splash and outdoor direct rain or sprinkler) locations as defined by NEC and CEC. Meets United States UL Underwriters Laboratories & CSA Canadian Standards Association Product Safety Standards
- For complete warranty information visit (hyperlink)
- 5 year manufacture defect warranty
- LED integrated components carry a 10-year limited warranty
- Bold and robust dark bronze finish

**FINISH** Bronze

L-2 FIXTURE

**Luna Step Light 120v Horizontal Double Gang 58506BZ**

ITEM NUMBER	58506BZ
BRAND	Hinkley Lighting
MATERIAL	Zinc-Aluminum Alloy
HEIGHT	4.5"
WIDTH	4.8"
LED COLOR TEMP	2700
VOLTAGE	120v
LED LUMENS	240
WATTAGE	4w LED *Included
CERTIFICATION	C-US Wet Rated

**FEATURES AND BENEFITS**

- Suitable for use in wet (interior direct splash and outdoor direct rain or sprinkler) locations as defined by NEC and CEC. Meets United States UL Underwriters Laboratories & CSA Canadian Standards Association Product Safety Standards
- Rated for both indoor and outdoor use
- Double Gang configuration
- For complete warranty information visit (hyperlink)
- 5 year manufacture defect warranty
- LED integrated components carry a 10-year limited warranty
- Bold and robust dark bronze finish

**FINISH** Bronze

L-3 FIXTURE

## LEGEND:

QTY.	SYM.	DESCRIPTION
4	L-1	25 WATT MAX. INCANDESCENT WEATHERPROOF EXTERIOR WALL LIGHT
7	L-2	15 WATT MAX. LOW VOLTAGE WATERPROOF PATH LIGHT
8	L-3	15 WATT MAX. LOW VOLTAGE WATERPROOF STEP/WALL LIGHT

## NOTE:

ALL EXTERIOR LIGHTING SHALL BE UNOBTRUSIVE, HARMONIOUS WITH THE LOCAL AREA CONSTRUCTED OR LOCATED SO THAT ONLY THE INTENDED AREA IS ILLUMINATED AND OFF-SITE GLARE IS FULLY CONTROLLED.

## PROPOSED EXTERIOR LIGHTING PLAN

