

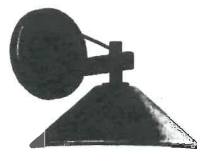
GENERAL NOTES

- The code editions to be followed:
California Plumbing Code 2016 Edition California Building Code 2016 Edition
California Electrical Code 2016 Edition California Mechanical Code 2016 Edition
California Energy Standards 2016 Edition California Green Building Standards Code 2016 Edition
California Residential Code 2016 Edition California Fire Code 2016 Edition
- Hold down devices must be secured in place prior to foundation inspection.
- Fasteners in preservative-treated wood (anchor bolts, nails, screws, etc.) shall be of an approved silicon bronze or copper, stainless steel or hot-dipped zinc coated steel.
- Foundation sills shall be a naturally durable wood or a preservative-treated wood.
- Anchor bolts shall be a minimum of 1/2 inch diameter in SDC D and 5/8 inch minimum diameter in SDC E.
- Anchor bolts shall be embedded a minimum of 7 inches into foundation.
- Anchor bolts shall not be spaced more than 6 feet apart in SDC D and no more than 4 feet apart in SDC E.
- There shall be a minimum of 2 bolts per sill piece with one bolt not located more than 12 inches or not less than 4 inches of each end of the sill piece.
- Washers for anchor bolts shall be a minimum of 3 inches by 3 inches by 0.229 inch thick. Steel plate washers may be slotted.
- Minimum compression strength of concrete shall be 3,000 psi.
- Reinforcing steel to be a minimum of ASTM A615 Grade 60.
- Framing lumber shall be Douglas Fir #2 (unless noted otherwise).
- Wall framing shall comply with CBC Table 2308.5.1.
- Nailing shall be in compliance with CBC Table 2304.10.1.
- Foundation vents to be 6"x14" @ 8'-0" o.c. max.
- Block or double joint under all walls. Blocking at 8'-0" o.c. max (not applicable with T/1s).
- Attic and foundation venting shall be a minimum of 1/150 of the area to be vented.
- Smoke detectors and carbon monoxide alarms in new structures shall receive their primary power from the house primary wiring and shall have a battery backup.
- Egress requirements for sleeping rooms:
a. Min. net clear operable dimension of 24" in height. b. Min. net clear operable dimension of 20" in width.
c. Min. net clear operable dimension of 5.7 square feet d. Minimum distance to floor is 44"
- Joints and other openings in the building envelope that are potential sources of air leakage shall be caulked, gasketed, weather-stripped or otherwise sealed to limit infiltration and exfiltration.
- The first 5' of hot and cold water pipes from the storage tank from non-recirculating systems shall be thermally insulated with a minimum of 1" (.75") thick insulation for hot (cold) water pipes with a diameter of less than or equal to 2" or 1.5" (1") for hot (cold) water pipes with a diameter of greater than 2" and conform to Cal Energy Code 190.0X(12).
- The builder/contractor shall provide the owner and County Building Department a copy of the CF-2R Installation Certificate at the time of inspection.
- Air ducts installed under a floor in a crawl space shall be installed as to maintain a vertical clearance of 18" for all portions of the duct that would obstruct access to any part of the crawl space.
- Shower compartments and walls above bathtubs with installed shower heads shall be finished with a smooth, non-absorbent surface to a height of not less than 72" above finish floor. Ceramic tile is to be installed over fiber-cement or cementitious backer board.
- The maximum hot water temperature discharging from the bathtub, shower and whirlpool bathtub filler shall be limited to 120 degrees Fahrenheit. The water heater thermostat shall not be considered a control for the meeting of this provision.
- Plumbing fixtures are required to meet the following maximum flow rates: shower heads 2.0 gpm @ 80 psi, kitchen faucet 1.8 gpm @ 60 psi, lav faucets 1.2 gpm @ 60 psi and water closets 1.28 gallons per flush.
- The shower valve shall be a pressure balance type, thermostatic mixing type or a combination pressure balance/thermostatic mixing type.
- Fiber-cement, fiber-mat reinforced cementitious backer units, glass mat gypsum backers of fiber-reinforced gypsum backers in compliance with ASTM C 1208, C 1278 or C 1278 respectively and installed in accordance with manufacturer's recommendations shall be used as backers for wall tile in tub and shower areas and wall panels in shower areas [CRC R702.4.2].
- Ceramic tile surfaces shall be installed in accordance with ANSI A108.1, A108.4 through A108.6, A108.11, A118.1, A118.3, A136.1, and A137.1. [CRC R702.4.1]
- The waste outlet and tailpiece for the shower shall be a minimum 2" in diameter.

FIRE DEPARTMENT NOTES - (SPRINKLED)

- These plans are in compliance with the 2016 California Fire and Building Codes and with applicable National Fire Protection Association Standard 13D and district amendments.
- This building is R-3, Type V-B, and Sprinkled.
- A public fire hydrant is within 250 feet of any portion of the building meeting the minimum required fire flow.
- The required available fire flow on this property is 1,000 gallons per minute for 120 minutes.
- Before construction begins, temporary or permanent address numbers shall be posted. Permanent numbers must be posted prior to final inspection. Address numbers shall be posted on property so as to be clearly visible from the road. Address numbers must be in "Arabic" (1,2,3, etc.), not "Roman" (I,II, etc.) or written out in words. Address numbers shall be a minimum of 4" tall, with wide stroke, and posted on a contrasting background.
- Roof construction shall be Class B (min.) as defined by Uniform Building Code Standard 15-2.
- There shall be a minimum of 100 foot clearance maintained with non-combustible vegetation around all structures.
- All dead-end access roads in excess of 150 feet in length shall be provided with an approved turn-around of fire apparatus.
- Electric gates shall be provided with a keyed switch meeting fire department specifications. Gate entrances shall be at least the width of traffic lane, but in no case less than 12 feet in width. Unobstructed vertical clearance shall not be less than 15 feet.
- The installation of an approved spark arrestor shall be placed on top of the chimney. Wire mesh not to exceed 1/8 inch. (When adding a new fireplace or wood stove).
- All requirements of the Single Family Dwelling Guide must be met.
- Smoke detectors are required in all sleeping rooms and in hallways outside of sleeping rooms within 10 feet of sleeping room doors.
- All buildings shall be equipped with an automatic sprinkler system complying with the latest edition of NFPA 13D currently adopted in Chapter 35 of the California Building Code.
- Fire alarm flow switch shall be wired to kitchen refrigerator circuit. Any deviations require fire dept. approval.
- A 72 hour minimum notice is required prior to any inspection and/or test.
- The sprinkler installer shall submit three (3) sets of plans and calculations for the automatic sprinkler system to the fire agency for approval.
- The copies of the building and fire system plans and permits must be on site during construction.
- All underground piping systems shall comply with the County Standard FPO-006 and shall require plan submittal and permit approval prior to installation. The standard is available at the Santa Cruz Fire Marshall's Office.
- An UNDERGROUND FIRE PROTECTION SYSTEM WORKING DRAWING must be prepared by the designer/installer. The plans shall comply with the UNDERGROUND FIRE PROTECTION SYSTEM INSTALLATION POLICY HANDOUT. Underground plan submittal and permit will be issued to a Class C-16 or owner/builder - no exceptions.
- The driveway/access road shall be in place prior to any framing construction, or construction will be stopped.

Ripley Collection
Outdoor Wall 11L
490800Z (Old Bronze)



Dimensions
Height 9.00"
Width 10.00"

Alternate Lamps
Lamp Included Bulb Listing Light Source Max Wattage/Bulb Product ID Dimming

25 WATT MAX

EXTERIOR LIGHTING

Kichler
1111 East Highway 101
Piquette, MI 49661-1111
Tel: 800.345.4433 or 248.774.3333

Notes:
1. Reproduction of this drawing is prohibited without written permission.
2. All dimensions are in feet and inches unless otherwise noted.
3. The designer/installer shall be responsible for obtaining all necessary permits and approvals.
4. The contractor shall be responsible for obtaining all necessary permits and approvals.

KICHLER

OWNER:

Jan & Guilaïne Hedquist
Carpenter 2 SE First
Carmel, CA 93922

PROJECT DATA:

A.P.N. 010 - 016 - 20
Zoning R-1
Occupancy Group R-3
Construction Type V-B Non-Sprinklered
Parcel Size 5,000 sq. ft.
Floor Area Existing 1,411 sq. ft. Proposed 1,845 sq. ft.
Site Coverage Existing 1,929 sq. ft. Proposed 974 sq. ft.
Base floor Area 1,845 sq. ft. (37%)
Existing Residence 851 sq. ft.
Proposed Addition 434 sq. ft.
Total Heated Area 1,285 sq. ft.
Existing Storage 360 sq. ft.
Existing Covered Porch 28 sq. ft.
Area of Remodel 192 sq. ft.
Proposed Deck 185 sq. ft.

SCOPE OF WORK:

Construct a 434 sq. ft. addition to add on a master bedroom, bathroom, laundry room and extend the dining room. Remodel 192 sq. ft. kitchen. Replace all windows. Results in a 3 bedroom, 2 bath 1,285 sq. ft. single family residence. Construct a 185 sq. ft. deck.

DESIGNER:

ROBIN ALAGA
250 Evening Hill Lane
Watsonville, CA 95076
831.724.4994

STRUCTURAL ENGINEER:

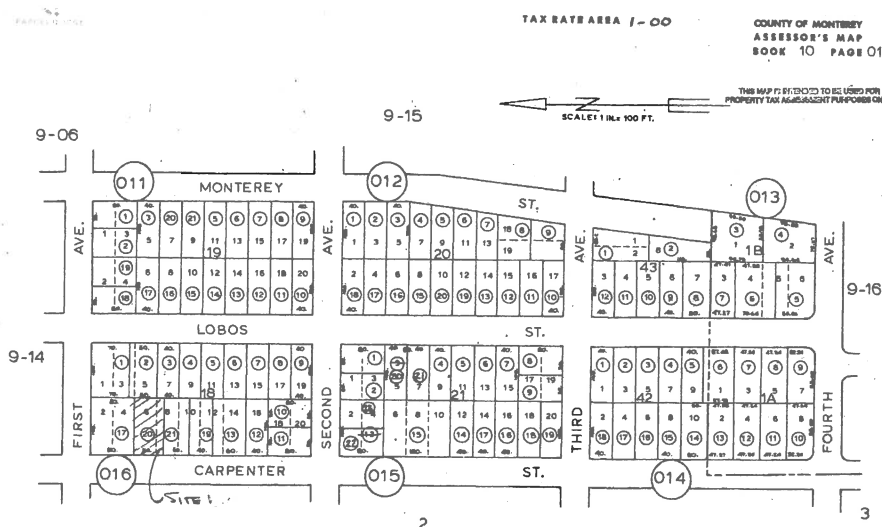
TIM WANN
2941 Park Ave. Suite J
Soquel, CA 95073
831.479.1513

SOILS ENGINEER:

ROCK SOLID ENGINEERING
1100 Main Street Suite A
Watsonville, CA 95076
831.724.5868

ENERGY CONSULTANT:

A PLUS GREEN ENERGY SERVICE
41C Hanger Way
Watsonville, CA 95076
831.728.7717

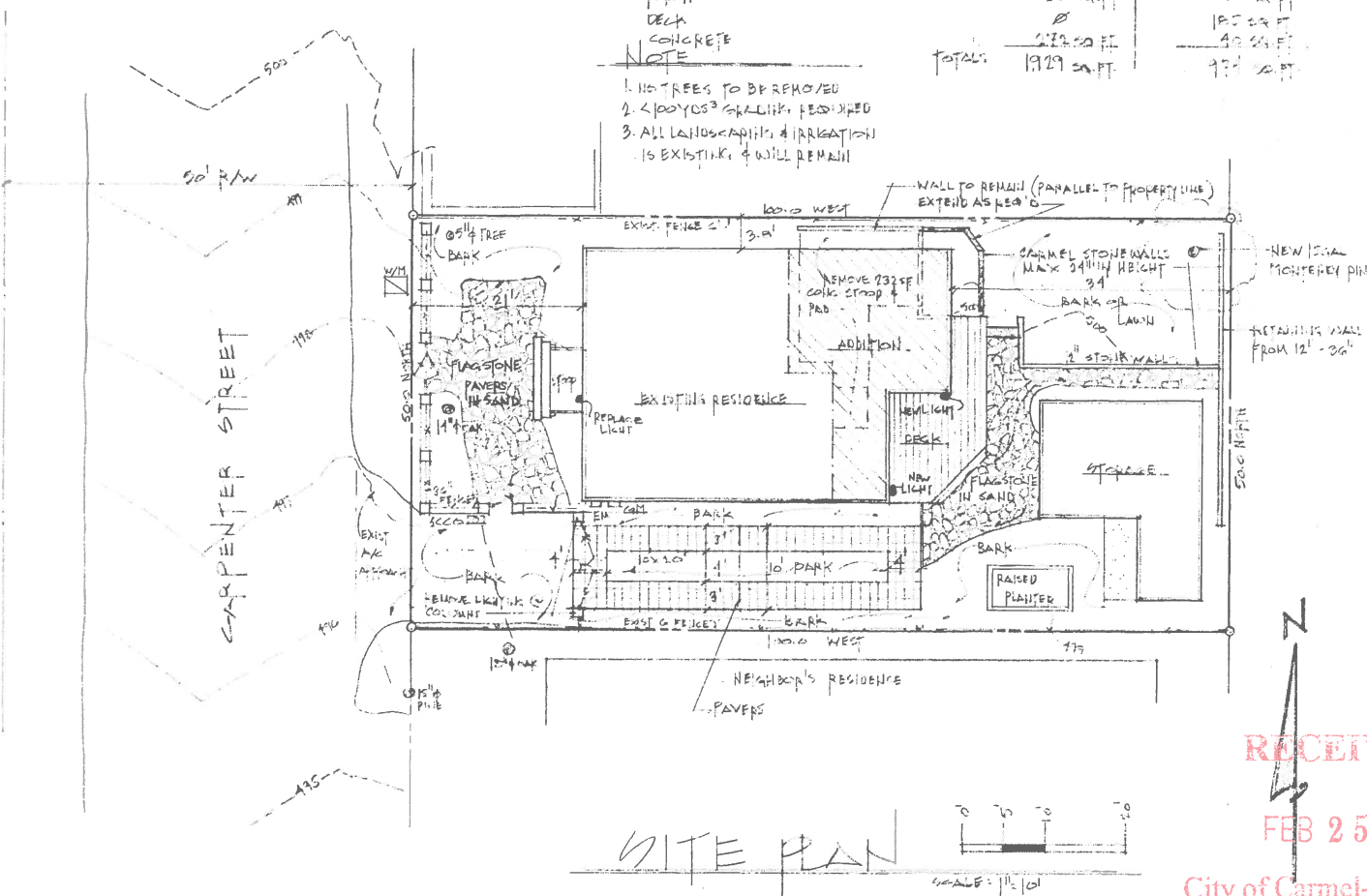


VICINITY MAP

PROJECT DATA

FLOOR AREA	EXISTING	PROPOSED
HOUSE	801 sq. ft.	1,285 sq. ft.
SPORAGE	360 sq. ft.	360 sq. ft.
PARKING	207 sq. ft.	200 sq. ft.
TOTAL	1,411 sq. ft.	1,845 sq. ft.
SITE COVERAGE	EXISTING	PROPOSED
DRIVEWAY (LESS 20' PARKING)	745 sq. ft.	101 sq. ft.
FLIGHTS	884 sq. ft.	974 sq. ft.
PERCH	28 sq. ft.	48 sq. ft.
DECK	0	185 sq. ft.
CONCRETE	512 sq. ft.	48 sq. ft.
TOTALS	1,929 sq. ft.	974 sq. ft.

- NOTE
1. NO TREES TO BE REMOVED
 2. 4,000 US³ GRAVEL, FILLING
 3. ALL LANDSCAPING & IRRIGATION IS EXISTING & WILL REMAIN



SITE PLAN

SCALE: 1/4" = 1'-0"

REVISIONS	BY
20. JAN. 11	RA
15. FEB. 11	RA

ROBIN ALAGA

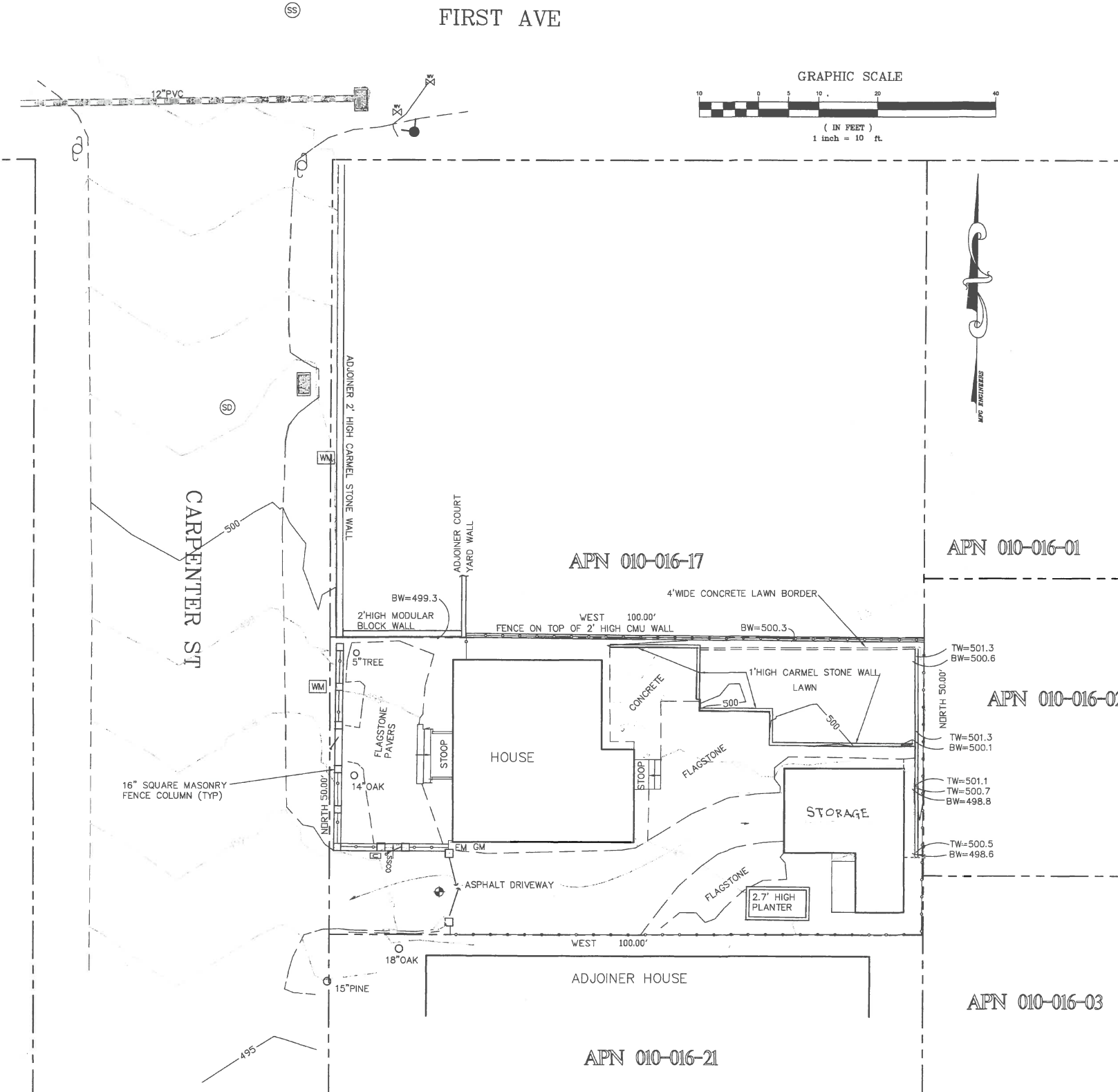
250 Evening Hill Lane
Watsonville, CA 95076
Phone: (831)724-4994 Cell: (831)419-4919
e-mail: rabrown@redhogan.net

HEDQUIST ADDITION

Jan & Guilaïne Hedquist 415.982.0487
Carpenter 2 SE First Carmel, CA 93922
A.P.N. 010 - 016 - 020

DRAWN	ROBIN
CHECKED	
DATE	13. OCTOBER. 13
SCALE	NOTED
JOB NO.	13. 13
SHEET	

City of Carmel-by-the-Sea
Planning & Building Dept



LEGEND

- BENCH MARK (PK NAIL)
EL=497.3'
- GM
GAS METER LOCATION
- EM
ELECTRIC METER LOCATION
- TW
TOP OF WALL
- BW
BASE OF WALL
- UNDER GROUND UTILITY BOX
- STORM DRAIN INLET
- FIRE HYDRANT
- WM
WATER METER LOCATION
- WATER VALVE
- SD
STORM DRAIN MANHOLE
- SS
SANITARY SEWER MANHOLE
- SSCO
SANITARY CLEAN OUT
- PVC
PVC STORM DRAIN PIPE
- JOINT UTILITY POLE
- GATE
- INDICATES STAIRS
UP IN DIRECTION OF ARROW
- RETAINING WALL
- PROPERTY LINE
- ELEVATION CONTOUR (5' INTERVAL)
- ELEVATION CONTOUR (1' INTERVAL)
- FENCE
- EDGE OF PAVEMENT

RECEIVED

JAN 29 2019

City of Carmel-by-the-Sea
Planning & Building Dept.

NOTES

- TOPOGRAPHIC FIELD DATA COLLECTED ON 7/26/2018
- ELEVATION DATUM IS ASSUMED, BENCH MARK IS A PK NAIL SET IN THE DRIVEWAY ELEVATION = 497.3'

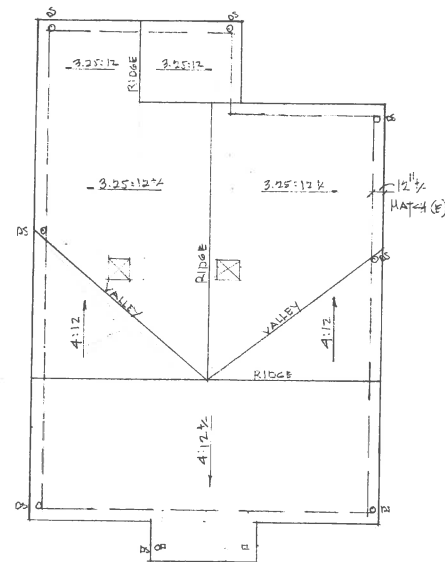
BY	
REVISION	
DATE	
LAND SURVEYOR	
PROFESSIONAL ENGINEER	
PROJECT ENGINEER	MFG Engineers, Inc. PO BOX 1914 APTOS, CA. 95001 (831) 763-1661 CEL (831) 601-9519
APN 010-016-20	TOPOGRAPHIC MAP CARPENTER 2SE FIRST, CARMEL, CA
DRAWN: MFG	
CHECKED: MFG	
DATE: 7/2018	
SCALE: 1"=10'	
JOB NO.	
SHEET	
1 OF 1	

FOR REDUCED PLANS
ORIGINAL SCALE IN INCHES

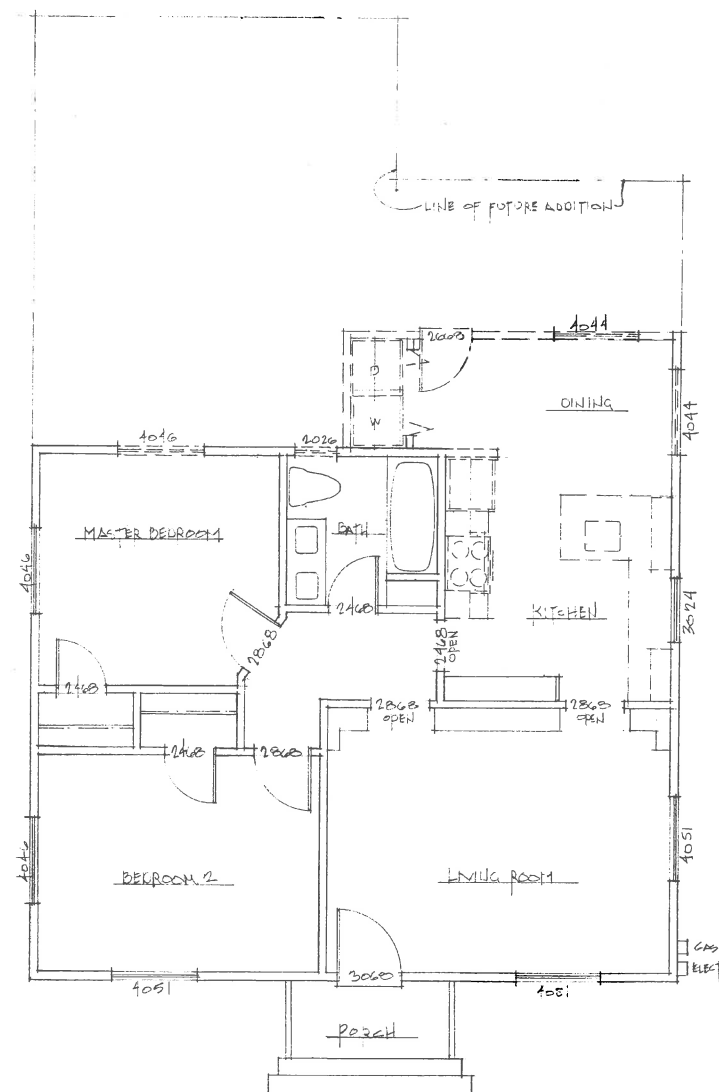


SHEET NAME:

DRAWING NAME:



ROOF PLAN
SCALE: 1/8" = 1'-0"



EXISTING/DEMO PLAN
SCALE: 1/4" = 1'-0"

DOOR & WINDOW SCHEDULE

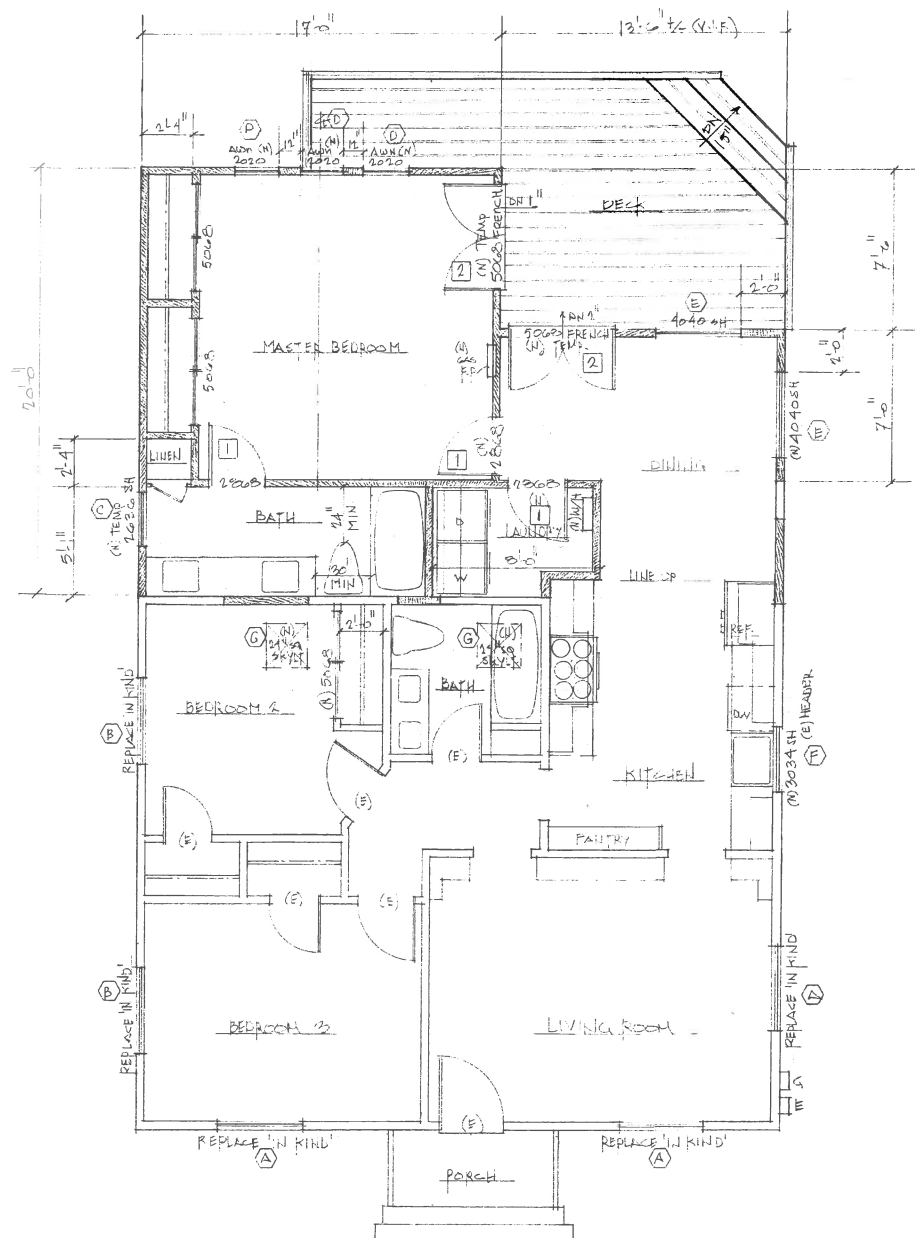
SYMBOL	SIZE	TYPE	Nº	MATERIAL	NOTES
WINDOWS	4'0" x 5'1"	SINGLE HUNG	3	WOOD	
	4'0" x 4'0"	SINGLE HUNG	2	WOOD	EGRESS
	2'0" x 3'6"	SINGLE HUNG	1	WOOD	TEMPERED
	2'0" x 2'0"	AWNING	3	WOOD	
	4'0" x 4'0"	SINGLE HUNG	2	WOOD	
	3'0" x 3'4"	SINGLE HUNG	1	WOOD	
	2'0" x 2'0"	SKYLIGHT	2	VINYL	TEMPERED
DOORS	2'0" x 4'0"	SOLID CORE	3	WOOD	RAISED PANEL
	3'0" x 6'0"	FRENCH	2	WOOD	TEMPERED

LEGEND

	PROPOSED WALL
	EXISTING WALL
	WALL TO BE REMOVED
(N)	NEW
(E)	EXISTING
(V)	VERIFY IN FIELD

SQUARE FOOTAGE

EXISTING RESIDENCE:	851 sq. ft.
PROPOSED ADDITION:	934 sq. ft.
TOTAL HEATED AREA:	1,785 sq. ft.
EXISTING GARAGE:	300 sq. ft.
EXISTING PORCH:	23 sq. ft.
AREA OF REMODEL:	192 sq. ft.
PROPOSED DECK:	185 sq. ft.



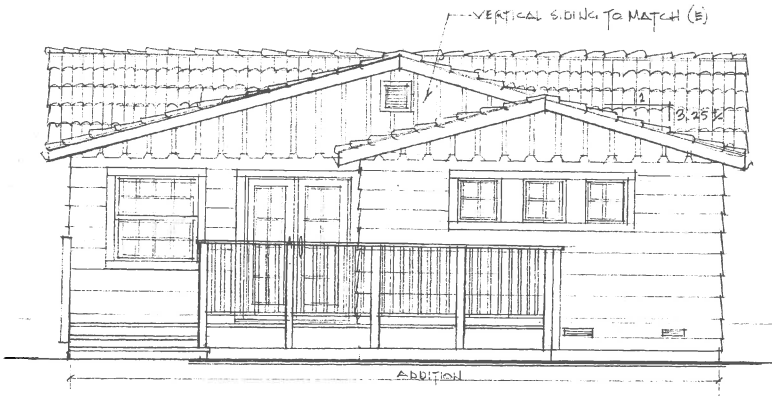
PROPOSED PLAN
SCALE: 1/4" = 1'-0"

REVISIONS	BY
1. 10.1.11	RA

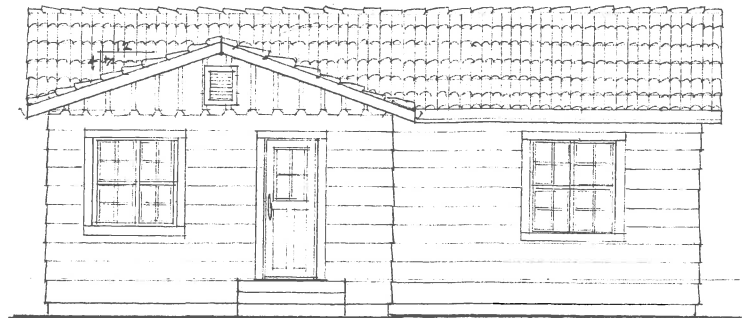
ROBIN ALAGA
250 Evening Hill Lane, Corralitos, CA 95076
Ph/Fax: (857) 724-6994 Cell: (857) 419-4919
rabrownfield@sbcglobal.net

HEDQUIST ADDITION
Jan & Guilaune Hedquist 415.982.0487
Carpenter 2 SE First Carmel, CA 95922
A.P.N. 010 - 016 - 020

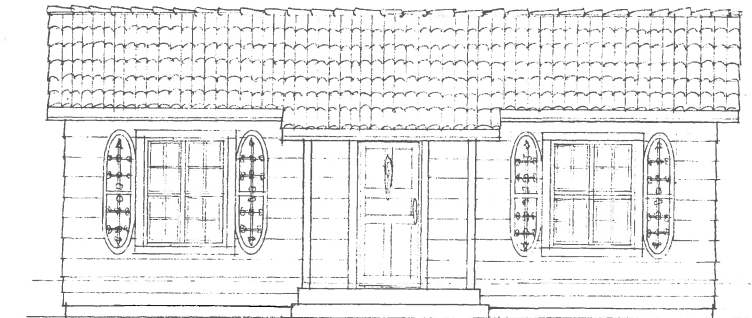
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CHECKED	
DATE	30. OCTOBER. 2008
SCALE	1/4" = 1'-0"
JOB NO.	1513
SHEET	2



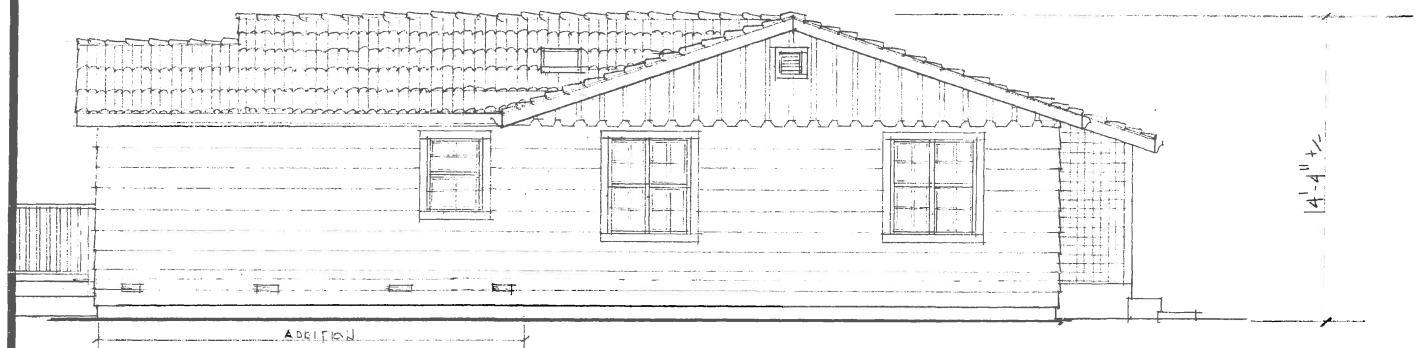
PROPOSED EAST ELEVATION



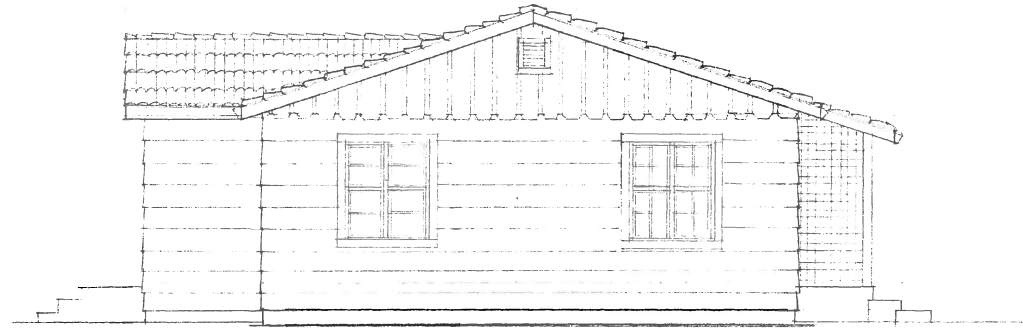
EXISTING EAST ELEVATION



WEST ELEVATION - NO CHANGE

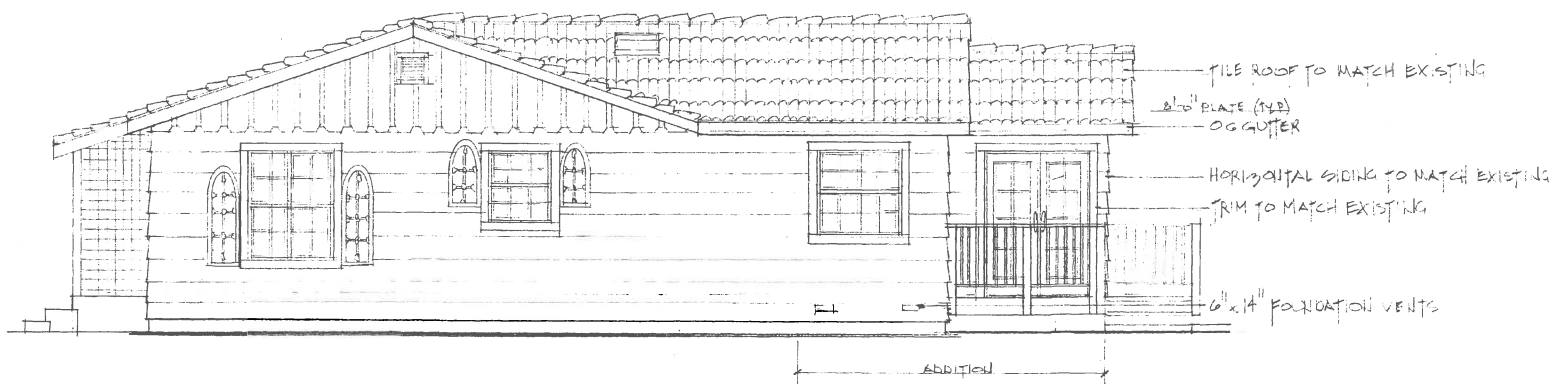


PROPOSED NORTH ELEVATION

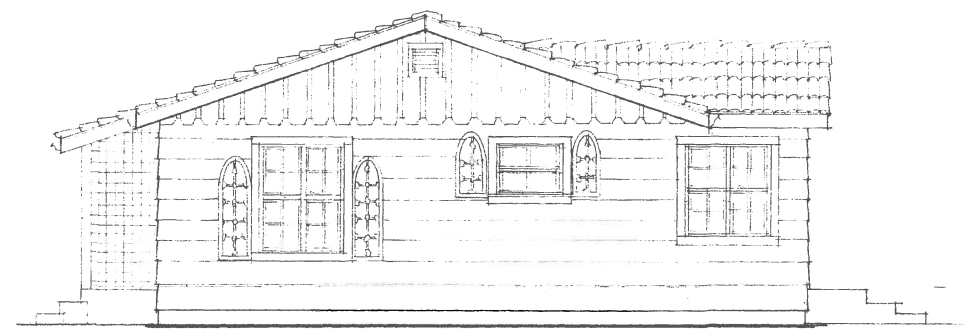


EXISTING NORTH ELEVATION

NOTE
ALL MATERIALS & COLORS TO MATCH
EXISTING RESIDENCE



PROPOSED SOUTH ELEVATION



EXISTING SOUTH ELEVATION

REVISIONS	BY
20 JAN 18	RA

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e-mail: rabin@robinfield.com

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Carpenter 2 SE First Carmel, CA 95922
A.P.N. 010 - 016 - 020

DRAWN	ROBIN
CHECKED	
DATE	20 JAN 2018
SCALE	1/4" = 1'-0"
JOB NO.	15-18
SHEET	6
OF	SHEETS