

LOCATION MAP



PROJECT DATA

- PROJECT: ADDITIONS AND RENOVATIONS, CITY OF CARMEL-BY-THE-SEA POLICE DEPARTMENT
- LOCATION: JUNIPERO ST. AND 4TH AVE., CARMEL-BY-THE-SEA, CALIFORNIA
- BUILDING OWNER: CITY OF CARMEL-BY-THE-SEA  
P.O. BOX CC, CARMEL-BY-THE-SEA, CA 93921 831-620-2054
- ASSESSOR'S PARCEL NUMBER: 010-016-013
- ZONING: R-4 - EXISTING, NO CHANGE
- LOT SIZE: 51,500 SF - EXISTING, NO CHANGE
- BUILDING SITE COVERAGE: 38,641 EXISTING  
40,444 PROPOSED
- OCCUPANCY: "B" (EXISTING AND NEW); "S-2" (ENCLOSED GARAGE)
- CONSTRUCTION TYPE: V-B
- NUMBER OF STORIES: 2 STORIES, PLUS BASEMENT
- BUILDING AREA: 22,084 SF EXISTING  
24,630 SF PROPOSED
- FIRE SPRINKLER SYSTEM: FIRE SPRINKLER NEW ADDITIONS ONLY
- FIRE ALARM SYSTEM: EXISTING MONITORED SYSTEM, NEW ADDITIONS TO TIE IN
- CODES:
  - 2016 BUILDING STANDARDS ADMINISTRATIVE CODE, PART I, TITLE 24 C.C.R.
  - 2016 CALIFORNIA BUILDING CODE, VOLUMES 1 & 2; PART 2, TITLE 24 C.C.R.
  - 2016 CALIFORNIA ELECTRICAL CODE; PART 3, TITLE 24 C.C.R.
  - 2016 CALIFORNIA MECHANICAL CODE; PART 4, TITLE 24 C.C.R.
  - 2016 CALIFORNIA PLUMBING CODE; PART 5, TITLE 24 C.C.R.
  - 2016 CALIFORNIA FIRE CODE (CFC), PART 9, TITLE 24 C.C.R.
  - 2016 CALIFORNIA ENERGY CODE, PART 6
  - 2016 CALIFORNIA REFERENCED STANDARDS CODE, PART 12, TITLE 24, C.C.R.
  - TITLE 14, C.C.R., PUBLIC SAFETY, STATE FIRE MARSHAL REGULATIONS
  - NFPA 13 & NFPA 12 - NATIONAL FIRE ALARM CODE (CA. AMENDED)
  - 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN
- COMPLIANCE WITH CFC CHAPTER 14, FIRE SAFETY DURING CONSTRUCTION & DEMO AND CBC CHAPTER 33, SAFETY DURING CONSTRUCTION WILL BE ENFORCED.
- THIS BUILDING OR SPACE SHALL PROVIDE A READILY DISTINGUISHABLE MEANS OF EGRESS COMPLYING WITH CHAPTER 10 AND CHAPTER 11 (WHERE APPLICABLE FOR ACCESSIBILITY PURPOSE) OF THE 2016 EDITION OF THE CALIFORNIA BUILDING CODE. THE EXIT SYSTEM SHALL MAINTAIN A CONTINUOUS, UNOBSTRUCTED AND UNDIMINISHED PATH OF EXIT TRAVEL FROM ANY OCCUPIED POINT WITHIN THE BUILDING TO A PUBLIC WAY.

PROJECT SUMMARY

	EXISTING	PROPOSED	NOTES:
LOT AREA:	51,500 SF	NO CHANGE	
FLOOR AREA:	22,084 SF	24,630 SF	BLDG IN SCOPE: POLICE DEPT., PUBLIC WORKS AND GARAGE
LOT COVERAGE:	20,846 SF	22,512 SF	
IMPERVIOUS SURFACE:	11,806 SF	15,134 SF	
SETBACKS:			
FRONT:	35'-0" & 5'-0"	NO CHANGE	PER CITY STANDARDS, LONGER OF TWO SIDES FOR CORNER LOT: 4TH AVENUE
REAR:	0'-0"	NO CHANGE	
SIDE (TORRES):	VARIES 0'-0" TO 100'-0"	NO CHANGE	
SIDE (JUNIPERO):	VARIES 15'-6" TO 36'-0"	VARIES 0'-0" TO 36'-0"	
GRADING:	N/A		

ABBREVIATIONS

AB.	ANCHOR BOLT
ACC.	ACCESSIBLE
ADJ.	ADJUSTABLE, ADJACENT
AF.F.	ABOVE FINISHED FLOOR
ARCH.	ARCHITECT, ARCHITECTURAL
BLKG.	BLOCKING
BM.	BEAM
B, BTM.	BOTTOM
CL, C.	CENTERLINE
CLS.	CEILING
C.J.	CONSTRUCTION JOINT
D.	DEEP
DET, DTL.	DETAIL
DEMO.	DEMOLISH, DEMOLITION
D.F.	DOUGLAS FIR
DN.	DOWN
DR.	DOOR
D.S.	DOWNGROUT
E.	EAST
(E).	EXISTING
E.I.	EXPANSION JOINT
ELEC.	ELECTRICAL
EQ.	EQUAL
EXP.	EXPANSION, EXPOSED
F.B.O.	FURNISHED BY OWNER
F.H.	FIRE HYDRANT
FL, FLR.	FLOOR
F.O.	FACE OF
F.O.S.	FACE OF STUD
GA.	GAUGE
G.C.	GENERAL CONTRACTOR
G.I.	GALVANIZED IRON
GMB.	GYPUM WALL BOARD
GYP BD.	GYPUM WALL BOARD
H.	HIGH
H.D.M.D.	HARDWOOD
H.M.	HOLLOW METAL
HT.	HEIGHT
INCL.	INCLUDING
IBC.	INSTALL BY CONTRACTOR
INSL.	INSULATION
INV.	INVERT
JT.	JOINT
LAM.	LAMINATE
MAX.	MAXIMUM
M.B.	MACHINE BOLT
MECH.	MECHANICAL
MFR.	MANUFACTURER
MIN.	MINIMUM
MTL.	METAL
N.	NORTH
(N).	NEW
N/C.	NOT IN CONTRACT
N.T.S.	NOT TO SCALE
O/.	OVER
O.C.	ON CENTER
O.C.E.M.	ON CENTER EACH WAY
PA.F.	PONDER ACTIVATED FASTENER
P.H.	PANIC HARDWARE
P.I.P.	POURED IN PLACE
PT.	POINT
P.T.D.F.	PRESSURE TREATED DOUGLAS FIR
P.T.N.	PARTITION
RAD.	RADIUS
R.F. REINF.	REINFORCING
RM.	ROOM
R.O.	ROUGH OPENING
S.	SOUTH
S.B.	SOLID BLOCKING
S.C.	SOLID CORE
S.S.	STAINLESS STEEL
SHTG.	SHEATHING
SM.	SIMILAR
STRUC.	STRUCTURAL
SYM.	SYMMETRICAL
T&G.	TONGUE AND GROOVE
THK.	THICK
T.O. /T/	TOP OF
TYP.	TYPICAL
U.O.N.	UNLESS OTHERWISE NOTED
V.B.	VAPOR BARRIER
V.J.F.	VERIFY IN FIELD
W.	WEST, WIDE
W/.	WITH
WO.	WITHOUT
WO.	WHERE OCCURS
W.W.F.	WELDED WIRE FABRIC

SYMBOLS

	KEYED NOTE		ELEVATION SHEET LOCATION
	DETAIL SHEET LOCATION		WALL ELEVATION SHEET LOCATION
	SECTION SHEET LOCATION		

LIST OF DRAWINGS

ARCHITECTURAL

A0.1	TITLE SHEET
TS-1	TOPOGRAPHIC SURVEY - FOR REFERENCE ONLY
A1.1	EXISTING SITE PLAN
A1.2	PROPOSED SITE PLAN
A1.3	CONSTRUCTION STAGING PLAN
A1.4	PROPOSED PHASING PLAN
A2.1	DEMO FLOOR PLAN - 2ND BASEMENT
A2.2	PROPOSED FLOOR PLAN - 2ND BASEMENT
A2.3	DEMO FLOOR PLAN - 1ST BASEMENT
A2.4	PROPOSED FLOOR PLAN - 1ST BASEMENT
A2.5	DEMO FLOOR PLAN - GROUND FLOOR
A2.6	PROPOSED FLOOR PLAN - GROUND FLOOR
A2.7	DEMOLITION ROOF PLAN
A2.8	PROPOSED ROOF PLAN
A2.10	SCHEDULES
A3.1	EXISTING BUILDING ELEVATIONS
A3.2	EXISTING BUILDING ELEVATIONS
A3.3	PROPOSED BUILDING ELEVATIONS
A3.4	PROPOSED BUILDING ELEVATIONS
A3.5	PROPOSED BUILDING ELEVATIONS
A3.6	BUILDING SECTIONS
A3.7	BUILDING SECTIONS
A3.8	BUILDING SECTIONS
A3.9	BUILDING SECTIONS
A4.1	ENLARGED PLANS, INTERIOR ELEVATIONS
A4.2	INTERIOR ELEVATIONS
A4.3	INTERIOR ELEVATIONS
A4.4	INTERIOR ELEVATIONS
A4.5	INTERIOR ELEVATIONS
A4.11	REFLECTED CEILING PLAN - GROUND FLOOR
A5.1	WALL SECTIONS
A5.2	WALL SECTIONS
A5.3	EXTERIOR DETAILS
A5.4	EXTERIOR DETAILS
A5.5	EXTERIOR DETAILS
A6.1	WALL TYPES
A6.2	CEILING DETAILS
A6.3	INTERIOR DETAILS
A6.4	INTERIOR DETAILS
A7.1	DOOR AND WINDOW TYPES
A7.2	ALUMINUM WINDOW DETAILS
A7.3	H.M. DOOR AND WINDOW DETAILS
A7.4	SKYLIGHT DETAILS
A8.1	PARKING DETAILS
A8.2	STAIR DETAILS
A8.3	RAMP DETAILS

GENERAL NOTES:

- SCOPE OF WORK:
  - THE RELOCATION OF EXISTING ELECTRICAL AND COMMUNICATION EQUIPMENT NEAR THE DISPATCH ROOM INTO THE BASEMENT COMMUNICATIONS ROOM. RENOVATE DISPATCH ROOM TO INCLUDE AREA OF THE OLD ELECTRICAL CLOSET AND A PORTION OF THE EXISTING LOBBY. AREA TO RECEIVE NEW FLOOR, WALL FINISHES, AND LIGHT FIXTURES AS NECESSARY;
  - A NEW BUILDING ADDITION INCLUDING NEW INTERVIEW/COMMUNITY ROOM, TRAINING ROOM, AND ASSOCIATED STORAGE ROOMS LOCATED IN THE EXISTING RAISED PLANTER AREA AT THE SOUTHEAST CORNER OF THE POLICE STATION;
  - A NEW BUILDING ADDITION INCLUDING OFFICES AND AN E.O.G. AND TRAINING ROOM LOCATED IN THE EXISTING RAISED PLANTER AREA AT THE SOUTHWEST CORNER OF THE POLICE STATION;
  - A NEW EGRESS CORRIDOR AND DOORS FROM THE BASEMENT LEVEL;
  - ADA UPGRADES TO THE MAIN ACCESSIBLE ENTRANCE;
  - A NEW ACCESSIBLE RESTROOM AND;
  - HAZMAT TESTING AND ABATEMENT IN THE EXISTING E.O.G. LOCATED ON THE FIRST BASEMENT LEVEL.
- ALL BIDDERS SHALL VISIT THE SITE TO FAMILIARIZE THEMSELVES WITH THE CONDITIONS UNDER WHICH THE WORK WILL BE PERFORMED. VERIFY ALL GOVERNING DIMENSIONS AND EXAMINE ALL ADJOINING WORK OR AREAS UPON WHICH THE PERFORMANCE OF THIS WORK IS IN ANY WAY DEPENDENT. REPORT IN WRITING TO THE ARCHITECT IF ANYTHING IS FOUND THAT DEVIATES FROM THESE DRAWINGS.
- DO NOT SCALE THE DRAWINGS. IF UNABLE TO DETERMINE DIMENSIONS FOR ANY ITEM OF WORK, CONSULT THE ARCHITECT FOR DIRECTION PRIOR TO PROCEEDING.
- PERFORM ALL WORK IN ACCORDANCE WITH THE RULES AND REGULATIONS OF GOVERNMENTAL AGENCIES HAVING JURISDICTION. CONFORM TO ALL CITY, COUNTY, STATUTES, AND ORDINANCES. PROMPTLY REPORT ANY DISCREPANCIES AND OMISSIONS IN THE CONTRACT DOCUMENTS TO THE ARCHITECT.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR JOB SITE SAFETY
- NO WORK IS PROPOSED THAT WILL REQUIRE MODIFICATION TO THE SITE OR IMPACT EXISTING STORM WATER DRAINAGE. A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) IS NOT REQUIRED.
- PROJECT DOES INCLUDE ASBESTOS ABATEMENT.
- ALL WORK INDICATED IS INCLUDED IN THE BASE BID U.O.N.
- BID ALTERNATES:
  - ADD ALT. #1 STONE VENEER AT EXISTING PLANTER WALLS
  - DEDUCT ALT. #1 PAINTED GMB CEILING IN LIEU OF T&G WOOD CEILING

STRUCTURAL

S1.1	GENERAL NOTES / TYP. DETAILS
S1.2	TYPICAL DETAILS
S2.1	FLOOR & ROOF FRAMING PLAN
S4.1	FOUNDATION DETAILS
S5.1	FLOOR FRAMING DETAILS
S5.2	STAIR/RAMP DETAILS
S6.1	ROOF DETAILS

MECHANICAL

M0.1	LEGENDS SCHEMATIC AND NOTES - MECHANICAL
M0.2	DETAILS - MECHANICAL
M0.3	TITLE 24 DOCUMENTATION - MECHANICAL
M0.4	TITLE 24 DOCUMENTATION - MECHANICAL
M0.5	TITLE 24 DOCUMENTATION - MECHANICAL
M2.1	PARTIAL BASEMENT FLOOR PLAN - MECHANICAL
M2.4	UPPER LEVEL FLOOR PLAN - MECHANICAL
M2.5	ROOF PLAN - MECHANICAL

PLUMBING

P0.1	LEGENDS SCHEMATIC AND NOTES - PLUMBING
P0.2	DETAILS - PLUMBING
P2.1	PARTIAL BASEMENT FLOOR PLAN - PLUMBING
P2.4	UPPER LEVEL FLOOR PLAN - PLUMBING
P2.5	ROOF PLAN - PLUMBING

ELECTRICAL

E0.1	SYMBOLS, ABBREVI., LIGHT FIXTURE SCHEDULE, CODES, STANDARDS, NOTES & SHEET INDEX
E0.2	CALIFORNIA ENERGY COMPLIANCE TITLE 24 - BUILDING INTERIOR
E0.3	CALIFORNIA ENERGY COMPLIANCE TITLE 24 - BUILDING EXTERIOR
E1.1	SINGLE LINE DIAGRAM & PANELBOARD SCHEDULES
E3.1	ELECTRICAL DEMOLITION PLAN - PARTIAL INTERMEDIATE FLOOR
E3.1A	ELECTRICAL DEMOLITION PLAN - PARTIAL INTERMEDIATE FLOOR
E3.2	ELECTRICAL DEMOLITION PLAN - PARTIAL UPPER FLOOR
E3.2A	ELECTRICAL DEMOLITION PLAN - PARTIAL UPPER FLOOR
E4.0	POWER & SYSTEMS FLOOR PLAN - PARTIAL BASEMENT FLOOR
E4.0A	POWER & SYSTEMS FLOOR PLAN - PARTIAL BASEMENT FLOOR
E4.1	POWER & SYSTEMS FLOOR PLAN - PARTIAL INTERMEDIATE FLOOR
E4.1A	POWER & SYSTEMS FLOOR PLAN - PARTIAL INTERMEDIATE FLOOR
E4.2	POWER & SYSTEMS FLOOR PLAN - PARTIAL UPPER FLOOR
E4.2A	POWER & SYSTEMS FLOOR PLAN - PARTIAL UPPER FLOOR
E4.3	POWER PLAN - ROOF
E5.2	LIGHTING PLAN - PARTIAL UPPER FLOOR
E5.2A	LIGHTING PLAN - PARTIAL UPPER FLOOR
E6.1	ELECTRICAL DETAILS
E6.2	ELECTRICAL DETAILS

DESIGN DEVELOPMENT SET FOR:

ADDITIONS AND RENOVATIONS

AT:

CARMEL POLICE DEPARTMENT

JUNIPERO STREET AND 4TH AVENUE,

CARMEL-BY-THE-SEA, CALIFORNIA

OWNER

CITY OF CARMEL-BY-THE-SEA

P.O. BOX CC

CARMEL-BY-THE-SEA, CALIFORNIA 93921

CONTACT: ROBERT HARARY 831.620.2070

ARCHITECT

KASAVAN ARCHITECTS

60 W. MARKET STREET, SUITE 300

SALINAS, CALIFORNIA 93901

831.424.2232

MECHANICAL/PLUMBING

AXIOM ENGINEERS

22 LOWER RAGSDALE DR., SUITE A

MONTEREY, CALIFORNIA 93940

831.649.8000

ELECTRICAL

AURUM CONSULTING ENGINEERS, INC.

60 GARDEN COURT, SUITE 210

MONTEREY, CALIFORNIA 93940

831.646.3330

STRUCTURAL

DONALD C. URFER & ASSOCIATES, INC

2715 PORTER STREET

SOQUEL, CALIFORNIA 95073

831.476.3681

KASAVAN ARCHITECTS



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REVISIONS:

DESCRIPTION  
CITY OF CARMEL-BY-THE-SEA  
POLICE DEPARTMENT

AT:  
JUNIPERO AVE AND 4TH AVE.  
CARMEL-BY-THE-SEA, CA 93923

TITLE SHEET

SHEET NUMBER

A0.1

DATE: 15 OCT 2018

JOB

IT12

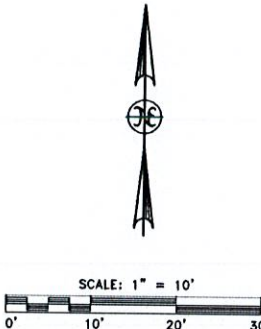
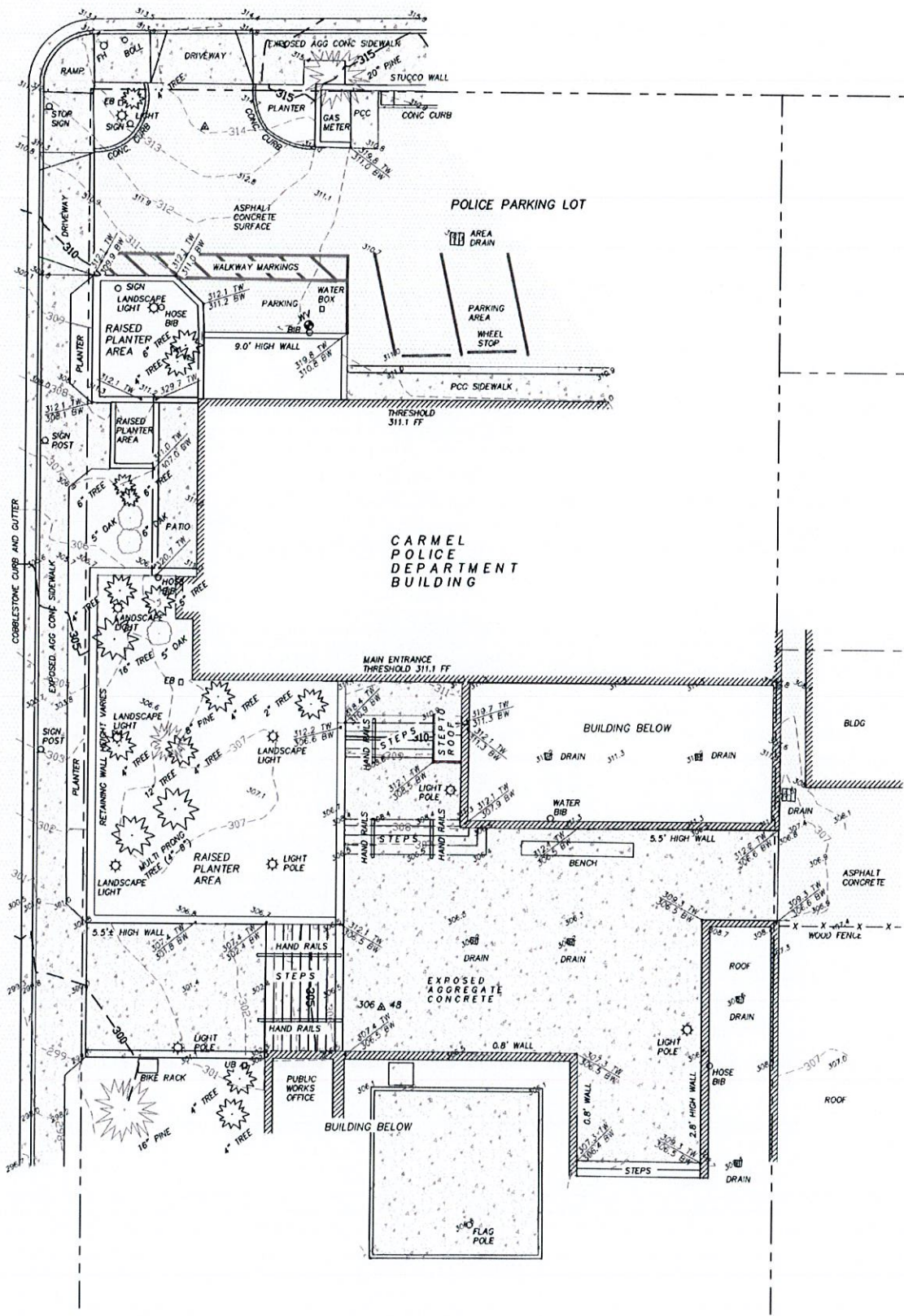
DRAWN

CADD



FOURTH AVENUE

JUNIPERO AVENUE



LEGEND

- BENCHMARK OR SURVEY CONTROL POINT
- SPOT ELEVATION
- AREA DRAIN
- ELECTRICAL BOX
- LIGHT POLE OR LANDSCAPE LIGHT
- FIRE HYDRANT
- HOSE BIB
- WATER VALVE
- TREE -NOT TO SCALE
- PINE TREE -NOT TO SCALE
- OAK TREE -NOT TO SCALE
- SIGN POST
- PROPERTY/R.O.W LINE

NOTES

- ELEVATIONS ARE BASED ON CITY OF CARMEL DATUM. BENCHMARK IS TOP OF BOLT AT NORTH END OF MEDIAN ISLAND CURB, FOURTH AND JUNIPERO. ELEVATION = 310.49 FEET.
- PROPERTY LINES AND STREET R.O.W. SHOWN ARE APPROXIMATE ONLY.
- UNDERGROUND UTILITIES AND SERVICES ARE NOT SHOWN.
- THE DECIMAL PLACE INDICATES THE HORIZONTAL POSITION OF THE SPOT ELEVATION SHOWN.

NEILL ENGINEERS CORP.

CARMEL, CALIFORNIA

SITE MAP  
CARMEL  
POLICE DEPARTMENT

CARMEL, CALIFORNIA

W.O. 8423  
MARCH 2018  
SCALE: 1"=10'

Registered Civil Engineer No. 29411

Date



**KASAVAN ARCHITECTS**  
60 W. Market St., Suite 300  
Voice 831.424.2232  
Salinas, California 93901  
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DESCRIPTION  
**CITY OF CARMEL-BY-THE-SEA  
POLICE DEPARTMENT**  
ATT:  
JUNIPERO AVE AND 4TH AVE  
CARMEL-BY-THE-SEA, CA 93923  
**TOPOGRAPHIC SURVEY**

SHEET NUMBER

**TS-1**

DATE: 15 OCT 2018

J712

CADD

Xref: s1712 BOR

File name: D:\JOBS\1712\CD\DRAWINGS\CD\AI-1.DWG



② BLDG B - GARAGE

AREA / OCCUPANCY:

S-2: GARAGE = 11,160 SF

BASIC ALLOW.

AREA / FLOOR

S-2 = 13,500 SF

TOTAL ALLOW.

AREA / FLOOR

S-2 = 15,525 SF

If = (F/P - 0.25) W/30 (CBC 506.3.3)

BLDG.	F	P	W	If
B	215	506	27	0.15

W = (120x25 + 45x30) / 215 = 27

If = (215/506 - 0.25) 27/30 = 0.61

Aa = A<sub>T</sub> + (N<sub>S</sub> x If) (CBC 506.2.1)

OCCUP.	A <sub>T</sub>	N <sub>S</sub>	If	Aa (SF)
S-2	13,500	13,500	0.15	15,525

S-2 A<sub>a</sub> = 13,500 + (13,500 x 0.15)

= 13,500 + (2,025)

= 15,525 SF

① BLDG A - POLICE STATION/OFFICES/TRAINING

UPPER FLR AREA/OCCUPANCY:

B: OFFICES = 6,214 SF

BASIC ALLOW.

AREA / FLOOR

B = 9,000 SF

TOTAL ALLOW.

AREA / FLOOR

B = 11,160 SF

INTERMEDIATE FLR AREA/OCCUPANCY:

B: OFFICES = 3,602 SF

BASEMENT AREA/OCCUPANCY:

B: OFFICES = 3,602 SF

If = (F/P - 0.25) W/30 (CBC 506.3.3)

BLDG.	F	P	W	If
A	207	420	30	0.24

W = 30

If = (207/420 - 0.25) 30/30 = 0.24

Aa = [A<sub>T</sub> + (N<sub>S</sub> x If)] x S<sub>a</sub> (CBC 506.2.3)

OCCUP.	A <sub>T</sub>	N <sub>S</sub>	If	Aa (SF)	S
B	9,000	9,000	0.24	15,525	2

B A<sub>a</sub> = [9,000 + (9,000 x 0.24)] x 2

= [9,000 + (2,160)] x 2

= 11,160 x 2

= 22,320 SF

BUILDING ANALYSIS

BLDG. (STORY)	HEIGHT (FT)	ALLOW. HEIGHT (FT)	OCCUP.	CONSTR. TYPE	ACTUAL AREA PER FLR (SF)	ALLOWABLE AREA (PER FLOOR) BASIC (SF)	ALLOW. AREA INCREASE	TOTAL (SF)	REMARKS
A (2)	27'	40'	B	V-B	6,214	9,000	SEE NOTE ①	11,160	3 HOUR FIRE WALL BTH BLDG A & BLDG B. IT APPEARS THERE ARE (E) PENETRATIONS THAT DO NOT MEET THE REQUIREMENTS, NEEDS EVALUATION
B (0)	7'-4"	40'	S-2	V-B	12,096	13,500	SEE NOTE ②	15,525	BASEMENT

FIRE RESISTANCE RATING

FIRE RESISTANCE RATING FOR BLDG ELEMENTS (TBL 601)

CONST. TYPE	PRIMARY STRUCT. FRAME	BEARING WALLS EXTERIOR	BEARING WALLS INTERIOR	NON-BEARING WALLS EXTERIOR	NON-BEARING WALLS INTERIOR	FLOOR & SECONDARY MEMBERS	ROOF & SECONDARY MEMBERS
V-B	0 HR.	0 HR.	0 HR.	0 HR.	0 HR.	0 HR.	0 HR.

GENERAL NOTES

- EVERYTHING SHOWN IS (E) TO REMAIN U.O.N.
- SEE SHITS INDICATED AND STRUCTURAL, PLUMBING, MECHANICAL, ELECTRICAL, FIRE PROTECTION, FIRE ALARM, ETC. FOR COMPLETE SCOPE OF WORK.
- CONTRACTOR SHALL CLEAN ALL EXT. AREAS AT THE END OF EACH WORKDAY.

KEYED NOTES

- (N) ADA COMPLIANT CONCRETE RAMP, SEE DTL. 2/A8.3
- (E) LIGHT FIXTURE TO REMAIN
- (E) CONC. WALK TO REMAIN
- (N) CONCRETE STEPS
- (N) ADA COMPLIANT RAILING, SEE DTLS. ON SHIT. A8.2
- (E) PARKING
- (N) ADA VAN PARKING SPACE, SEE DTL. 1/A8.1
- (N) PLANTING AREA
- PROPOSED TREE WELL
- RELOCATE (E) LIGHT

LEGEND

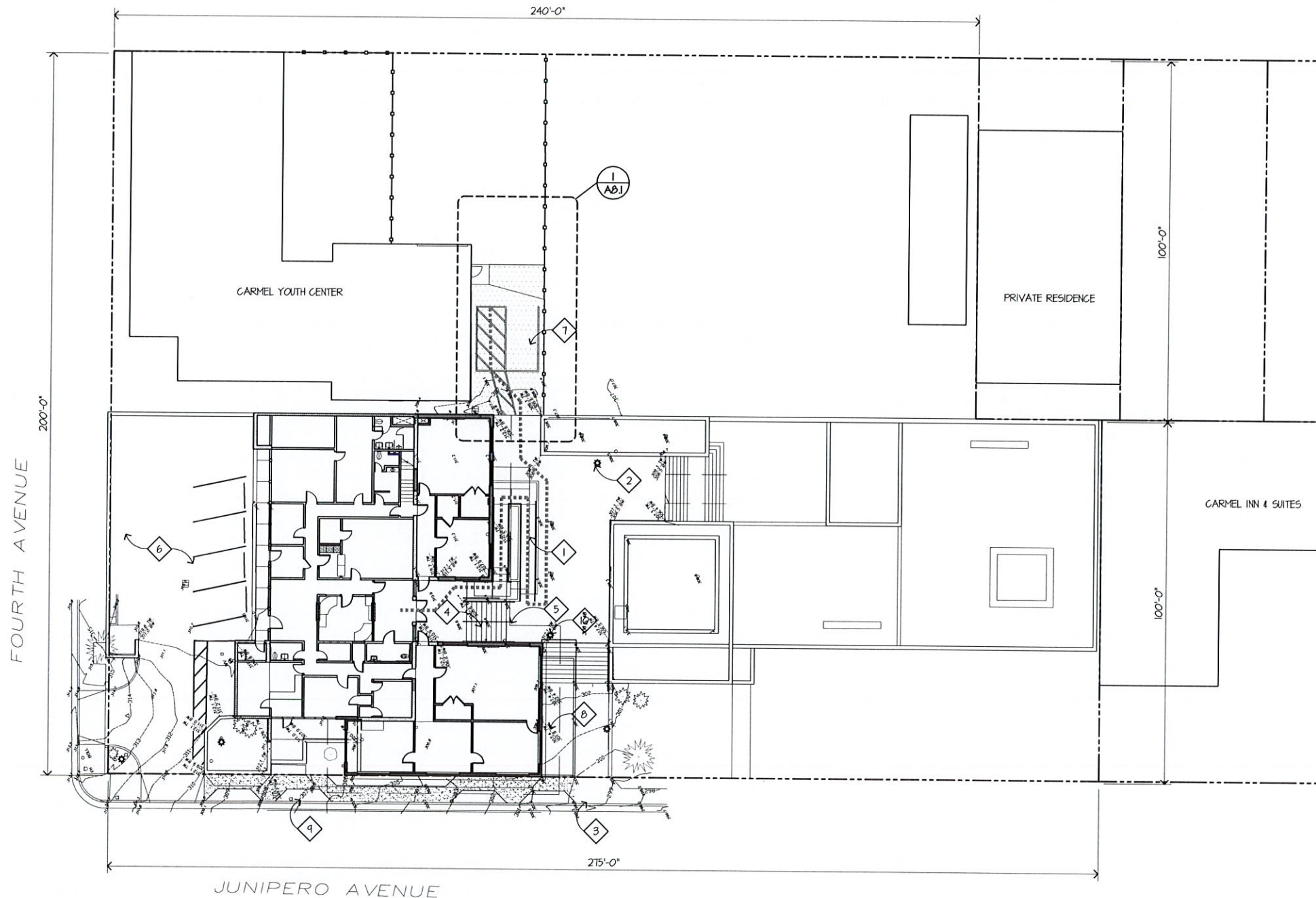
- +101.58 (E) GRADE
- AREA OF NEW ADDITION
- (E) PAVING
- (N) CONCRETE PAVING
- (E) TREE

PATH OF TRAVEL (P.O.T.), AS INDICATED, IS A COMMON BARRIER FREE ACCESS ROUTE W/O ANY ABRUPT VERTICAL CHANGES EXCEEDING 1/4" AND IS AT LEAST 48" WIDE. THE CROSS-SLOPE DOES NOT EXCEED 2% & SLOPE IN THE DIRECTION OF TRAVEL IS 5% MAX. U.O.N.

PROPERTY LINE

PARKING TABULATION

LOT:	SPACES			
	STANDARD	STANDARD ACCESSIBLE	VAN ACCESSIBLE	TOTAL
LOT #1: EXISTING	4	0	0	4
LOT #2: (N) VISITOR	0	0	1	1
TOTAL # OF SPACES:				5



SITE PLAN  
SCALE: 1/16" = 1'-0"

1

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REVISIONS:

DESCRIPTION  
CITY OF CARMEL-BY-THE-SEA  
POLICE DEPARTMENT  
JUNIPERO AVE AND 4TH AVE  
CARMEL-BY-THE-SEA, CA 93923  
PROPOSED SITE PLAN

SHEET NUMBER

A1.2

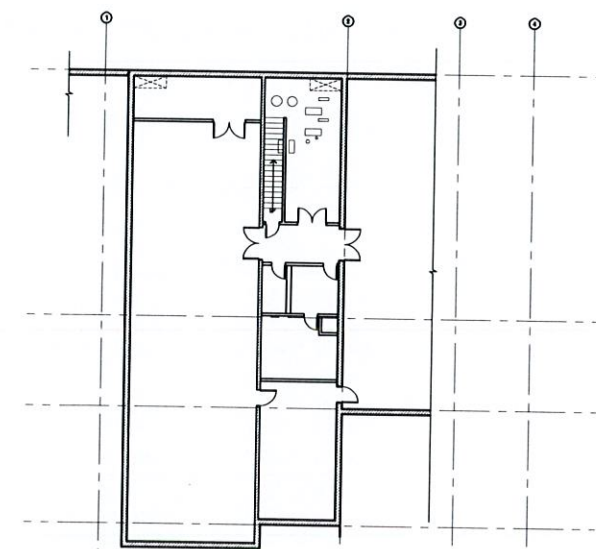
DATE: 15 OCT 2018

JOB

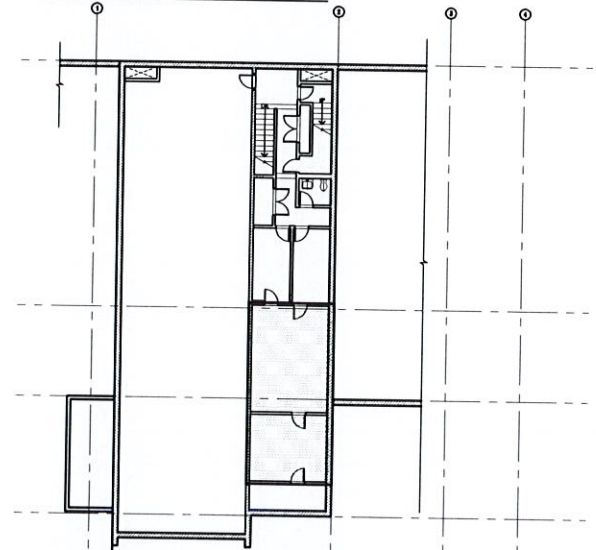
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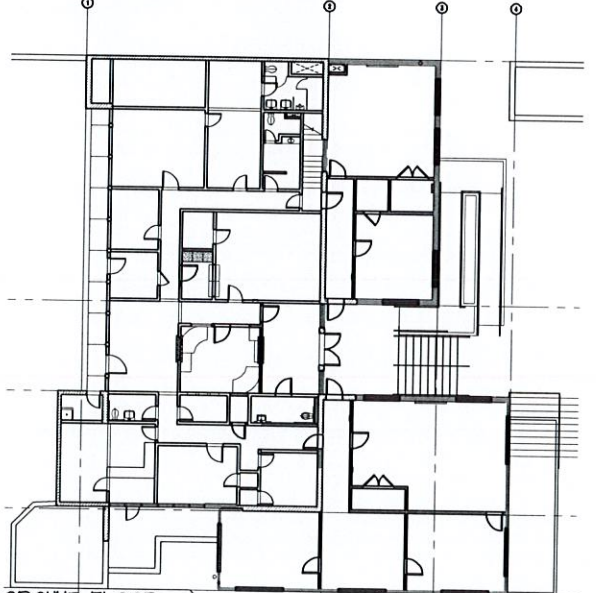




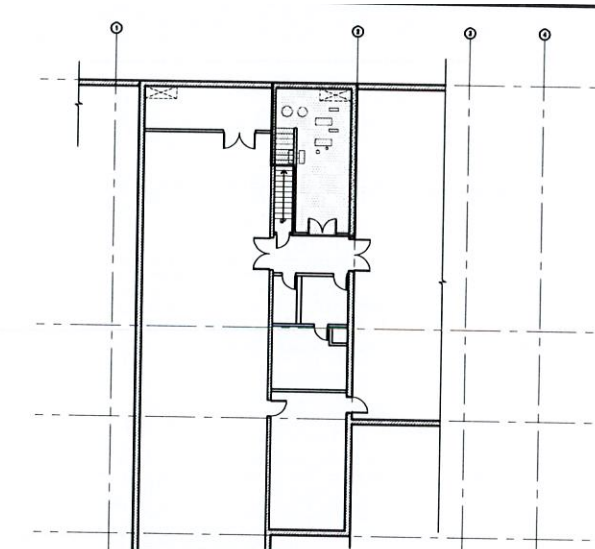
SECOND BASEMENT 3



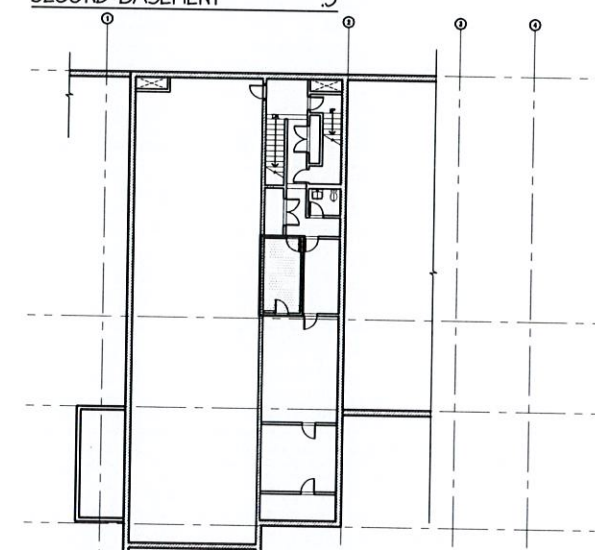
FIRST BASEMENT 2



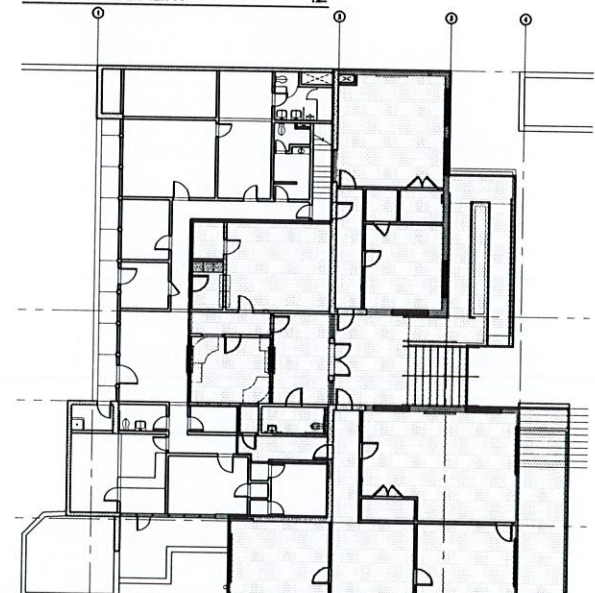
GROUND FLOOR  
PHASE 3 - HAZMAT & DEMOLITION 3  
SCALE: 1/16" = 1'-0"



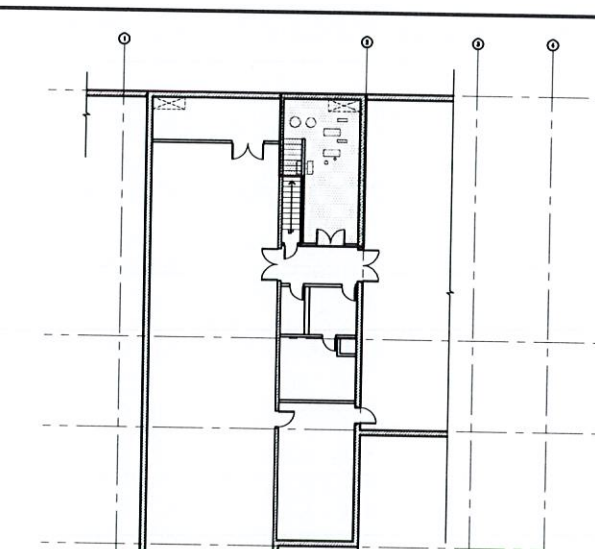
SECOND BASEMENT 3



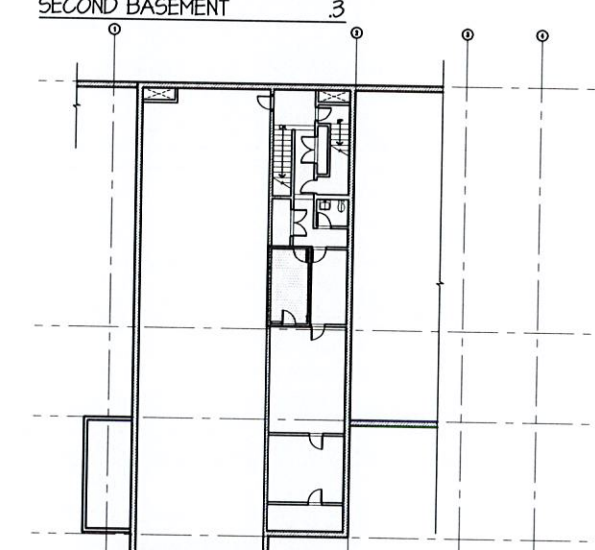
FIRST BASEMENT 2



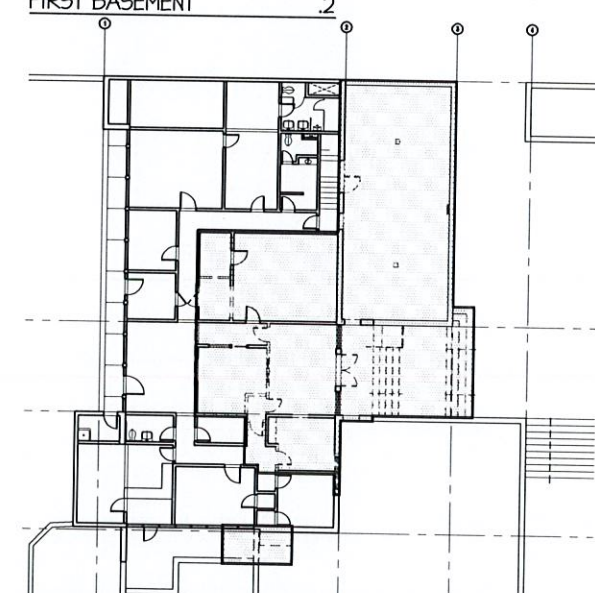
GROUND FLOOR  
PHASE 2 - CONSTRUCTION 2  
SCALE: 1/16" = 1'-0"



SECOND BASEMENT 3



FIRST BASEMENT 2



GROUND FLOOR  
PHASE 1 - HAZMAT & DEMOLITION 1  
SCALE: 1/16" = 1'-0"

## GENERAL NOTES

1. PLANS ON THIS SHEET ARE FOR PHASING/SEQUENCING ONLY
2. SEE ARCHITECTURAL, STRUCTURAL, PLUMBING, MECHANICAL, ELECTRICAL, FIRE PROTECTION, FIRE ALARM, ETC. SHEETS FOR COMPLETE SCOPE OF WORK.

## PHASE 1 - HAZMAT & DEMOLITION

HAZMAT AT GROUND FLOOR, ROOMS 104, 106, 107, 110, 111, 114, 115, 116, AND 117; AT FIRST BASEMENT, ROOM 201; AND AT SECOND BASEMENT, ROOM 302.

ALL DEMOLITION REQUIRED PER PLANS FOR NEW WORK, INCLUDING EXTERIOR SITE WORK.

## PHASE 2 - CONSTRUCTION

NEW ADDITIONS AT GROUND FLOOR, ROOMS 130-140.

ALL REMODEL WORK PER PLANS AT GROUND FLOOR, ROOMS 104, 106, 107, 110, 111, 114, 115, 116, AND 117; AT FIRST BASEMENT, ROOM 201; AND AT SECOND BASEMENT, ROOM 302.

ASSOCIATED SITE WORK: PARKING SPACE, RAMP, STAIRS AND RAILINGS, ETC.

## PHASE 3 - HAZMAT & DEMOLITION

HAZMAT AT FIRST BASEMENT, ROOMS 208 AND 210.

**KASAVAN ARCHITECTS**  
60 W. Market St., Suite 300  
Voice 831.424.2232  
Salinas, California 93901  
Fax 831.424.2501



CONSULTANTS

The use of these plans and specifications shall be restricted to the original site for which they were prepared and shall not be used for any other project without the express written consent of the architect. No reproduction, in whole or in part, is permitted. Title to the plans and specifications remains in the architect without prejudice. Visual contact with these plans and specifications shall constitute prima facie evidence of the acceptance of these restrictions.

REVISIONS:

DESCRIPTION  
CITY OF CARMEL-BY-THE-SEA  
POLICE DEPARTMENT  
AT:  
JUNIPERO AVE AND 4TH AVE.  
CARMEL-BY-THE-SEA, CA 93923

PHASING PLANS

SHEET NUMBER

A1.4

DATE: 15 OCT 2018

JOB

1712

DRAWN

CADD



GENERAL NOTES

- EVERYTHING SHOWN IS (E) U.O.N.
- DIMS. ARE TO CENTERLINE OF INT. PARTITIONS, U.O.N.

KEYED NOTES

- HEAVY DUTY EVIDENCE LOCKERS, SEE SPEC. 4 INT. ELEV.
- NEW MTL. HAND RAILS, SEE SHT. A0.2
- ELECTRICAL PANELS, SEE ELECT. DWG6.
- FIRE EXTINGUISHER CABINET & 2A10BC FIRE EXTINGUISHER W/ VALID CERTIFICATION TAG ATTACHED.
- FIRE RISER, SEE FIRE PROTECTION DWG6.
- SOFFIT ABOVE, SEE RCP5
- R.W.L. @ GRADE, SEE DTL. 1/A5.0 U.O.N.  
A. R.W.L. IN WALL, SEE ROOF PLANS & DTL.  
B. R.W.L. @ STORM DRAIN, SEE DTL.
- NEW PLANTER

LEGEND

- (E) FRAMED WALL, NO CHANGE  
(E) CONCRETE WALL, SEE WALL TYPES SHT. A6.1  
(N) WALL, SEE WALL TYPES SHT. A6.1  
WALL TYPE, TYP.  
FIRE EXTINGUISHER CABINET (RECESSED)  
CASEWORK, SEE INT. ELEV.  
X ROOM  
ROOM NAME  
ROOM NUMBER  
DOOR NUMBER  
HARDWARE GROUP, SEE SPEC'S.  
WINDOW - SEE WINDOW TYPES SHT. A7.1  
WALL TYPE, SEE 1/A6.1

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REVISIONS:

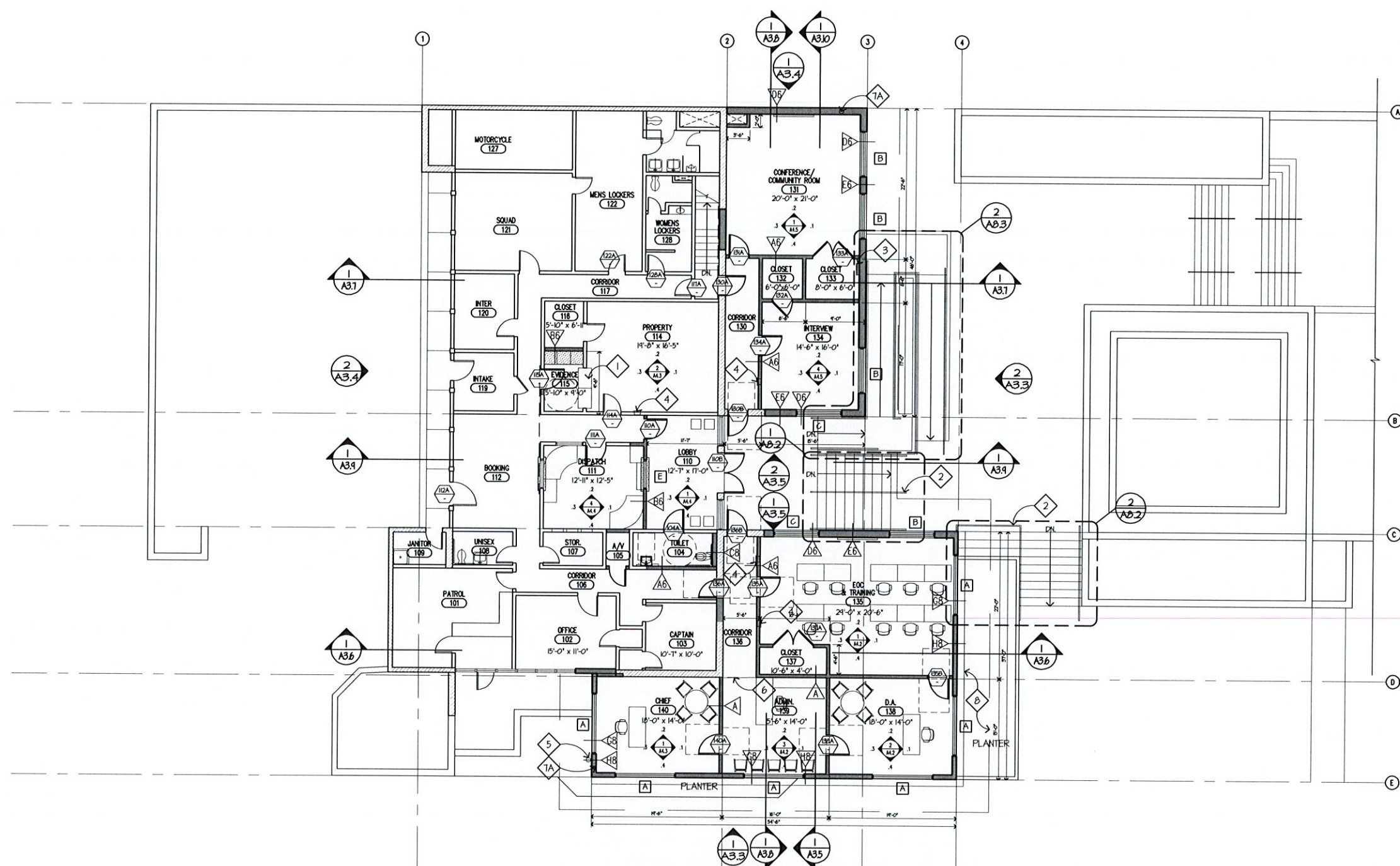
DESCRIPTION  
**CITY OF CARMEL-BY-THE-SEA  
POLICE DEPARTMENT**  
AT:  
JUNIPERO AVE AND 4TH AVE.  
CARMEL-BY-THE-SEA, CA 93923  
**PROPOSED UPPER LEVEL FLOOR PLAN**

SHEET NUMBER

**A2.6**

DATE: 15 OCT 2018

JOB DRAWN  
1112 CADD

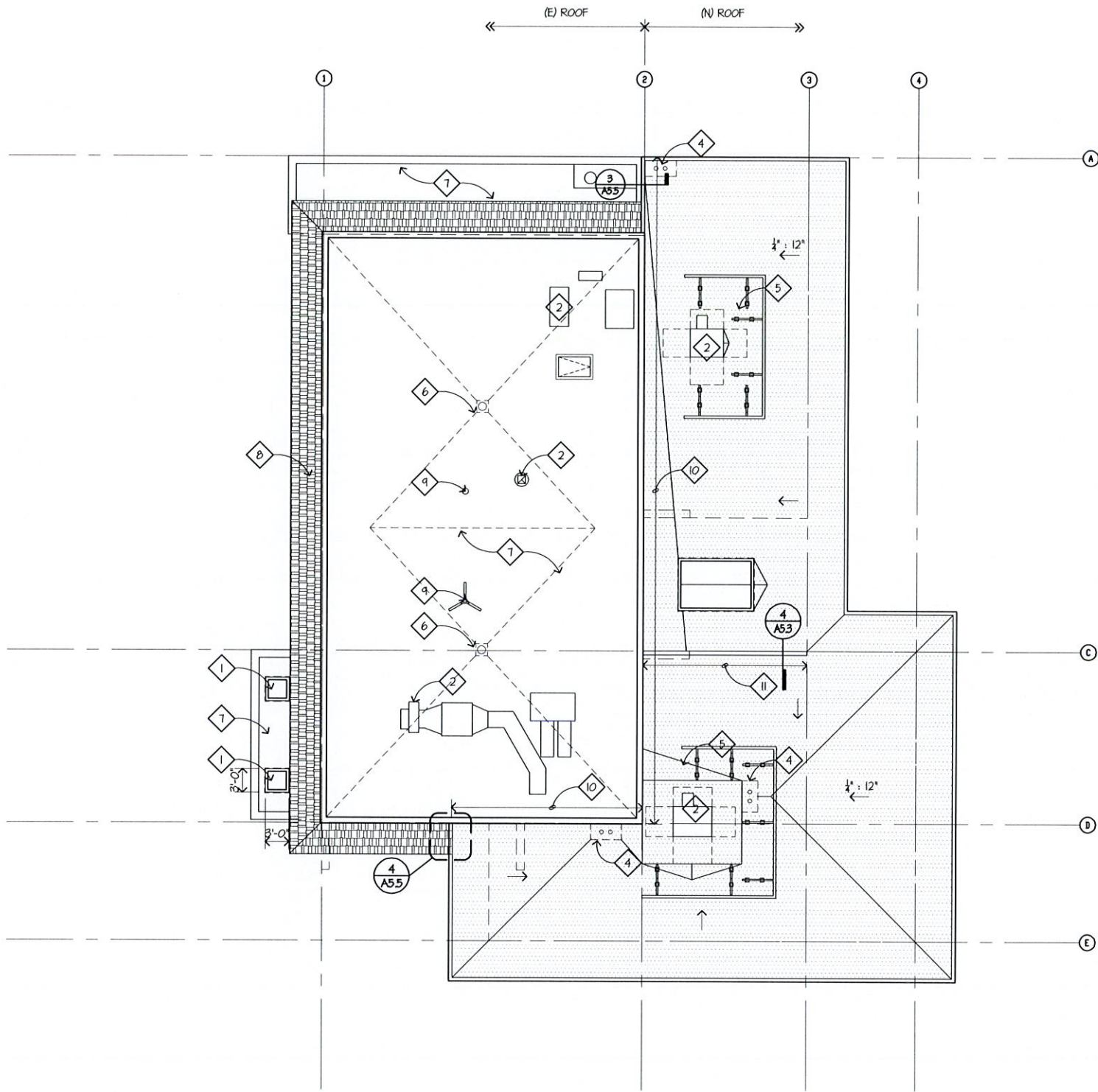


PROPOSED UPPER LEVEL FLOOR PLAN

SCALE: 1/8"=1'-0"  
0 2 4 8 12 20 FEET







# ROOF PLAN

SCALE: 1/8" = 1'-0"



1

## GENERAL NOTES

1. EVERYTHING SHOWN IS (E) TO REMAIN U.O.N.

## KEYED NOTES

- 1 (E) SKYLIGHT.
- 2 (N) MECH. EQUIP, SEE MECH. & PLUMB. DWGS.
- 3 (N) PLUMBING VENT, SEE PLUMB. DWGS.
- 4 (N) ROOF DRAIN, SEE PLUMB. DWGS.
- 5 EQUIPMENT SCREEN
- 6 (N) ROOF DRAIN AT (E) ROOF DRAIN LOCATION, PROVIDE NEW RIGID INSULATION TO DRAIN
- 7 RE-ROOF
- 8 REMOVE ALL (E) WOOD SHINGLES AT MANSARD. REPLACE W/ NEW SHINGLES WHERE SHOWN, STAIN AND SEAL.
- 9 (E) RADIO MAST, TO REMAIN. PROTECT DURING CONSTRUCTION.
- 10 (N) ROOF/WALL FLASH & VALLEY FLASHING SHALL INTEGRATE W/ ROOFING TO SHINGLE LAP. PREPARE MOCK-UP FOR ARCH. APPROVAL.
- 11 ROOF CURB, SEE DETAIL 4/A5.3

## LEGEND

- (N) MEMBRANE ROOFING
- OUTLINE OF BUILDING FOOTPRINT BELOW
- (N) WOOD SHINGLES, STAIN AND SEAL
- (N) LOW SLOPE ROOFING, AT EXISTING ROOF



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AT:  
JUNIPERO AVE AND 4TH AVE.  
CARMEL-BY-THE-SEA, CA 93923

ROOF PLAN

SHEET NUMBER

**A2.8**

DATE: 6 OCT 2016

JOB

1712

DRAWN

CADD

GENERAL NOTES

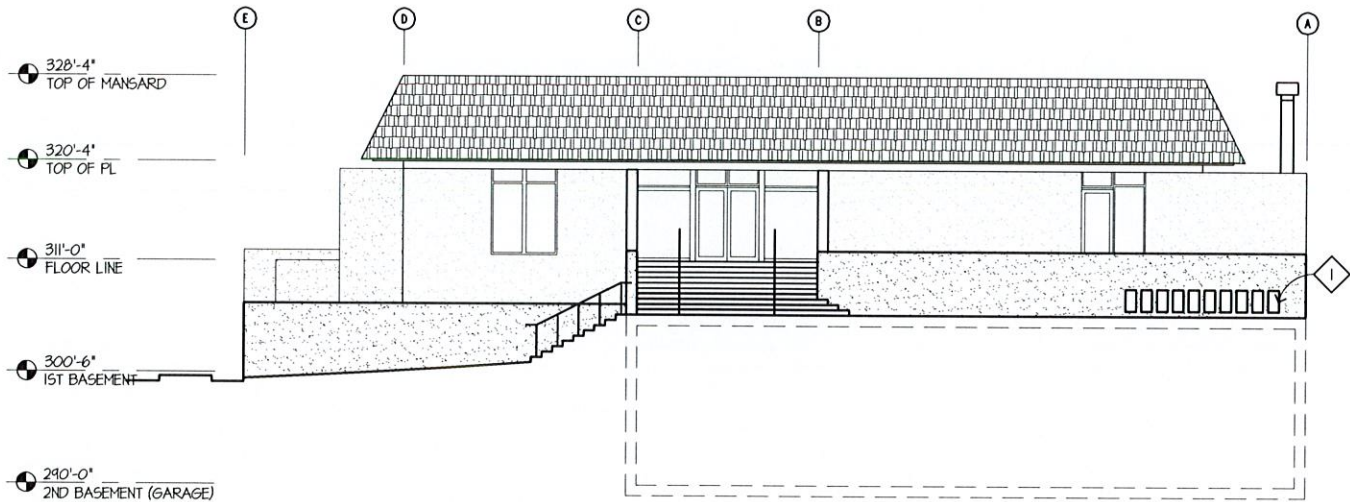
- 1. EVERYTHING SHOWN IS (E) TO REMAIN U.O.N.
- 2. PAINTING:
  - (N) SURFACES, SEE SPEC.
  - (E) SURFACES: SEE ABATEMENT SPEC & PREP, PRIME + 2 COATS FINISH.
- 3. PAINTING:
  - A. PAINT ALL (N) EXTERIOR SURFACES, U.O.N. INCLUDING:
    - CEMENT PLASTER/STUCCO, TRIM, ETC.
    - DOORS, FRAMES, TRIM, ETC.
    - VISIBLE FRAMING, SHTG, DECKING
    - FASCIAS & TRIM
    - ROOF JACKS, VENTS, EXPOSED SHEET METAL
    - GUTTERS & DOWNSPOUTS
  - B. PAINT ALL (E) PAINTED EXTERIOR SURFACES.
  - C. DO NOT PAINT:
    - CONCRETE
    - ROOFING (SHINGLE, TILE, MEMBRANE)
- 4. PAINTING - GENERAL:  
CONTRACTOR SHALL REVIEW THE ABATEMENT SPEC AND FOLLOW THE REMOVAL / PREP GUIDELINES PROVIDED.
- 5. PAINTING - GENERAL:  
CONTRACTOR SHALL CHASE OUT ALL CRACKS IN CEM. PLASTER FINISHES, FILL AND PREP PRIOR TO REPAINTING.

KEYED NOTES

- 1 (E) UNDERFLOOR VENT. PROVIDE (N) INSECT SCREEN.
- 2 (E) ALUM. WINDOWS, WOOD TRIM, ETC. RE-PAINT. CONTR. SHALL REMOVE LOOSE PAINT, LOOSE OR DECAYED WOOD, ETC. SEE ABATEMENT SPEC. FILL AREAS OF REMOVED WOOD WITH EPOXY WOOD FILL AS REQD TO MATCH (E) SHAPES. ALLOW FOR UP TO 3 COLORS, PAINT COLOR(S): TBD.
- 3 REMOVE ALL WOOD SHINGLES

LEGEND

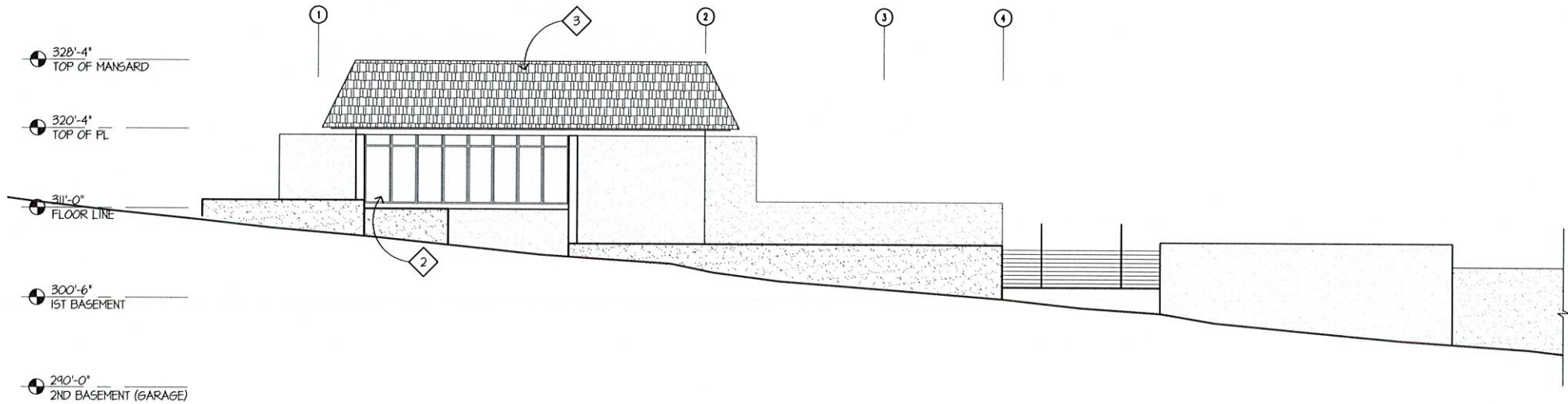
- (E) CEMENT PLASTER  
FINISH: PAINT
- EXISTING SHINGLE ROOFING  
FINISH: PENETRATING SEALER



SOUTH EXTERIOR ELEVATION

SCALE: 1/8"=1'-0"

2



WEST EXTERIOR ELEVATION

SCALE: 1/8"=1'-0"

1



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AT:  
JUNIPERO AVE AND 4TH AVE.  
CARMEL-BY-THE-SEA, CA 93923  
EXISTING EXTERIOR ELEVATIONS

SHEET NUMBER

A3.1

DATE: 15 OCT 2010

JOB

1712

DRAWN

CADD



GENERAL NOTES

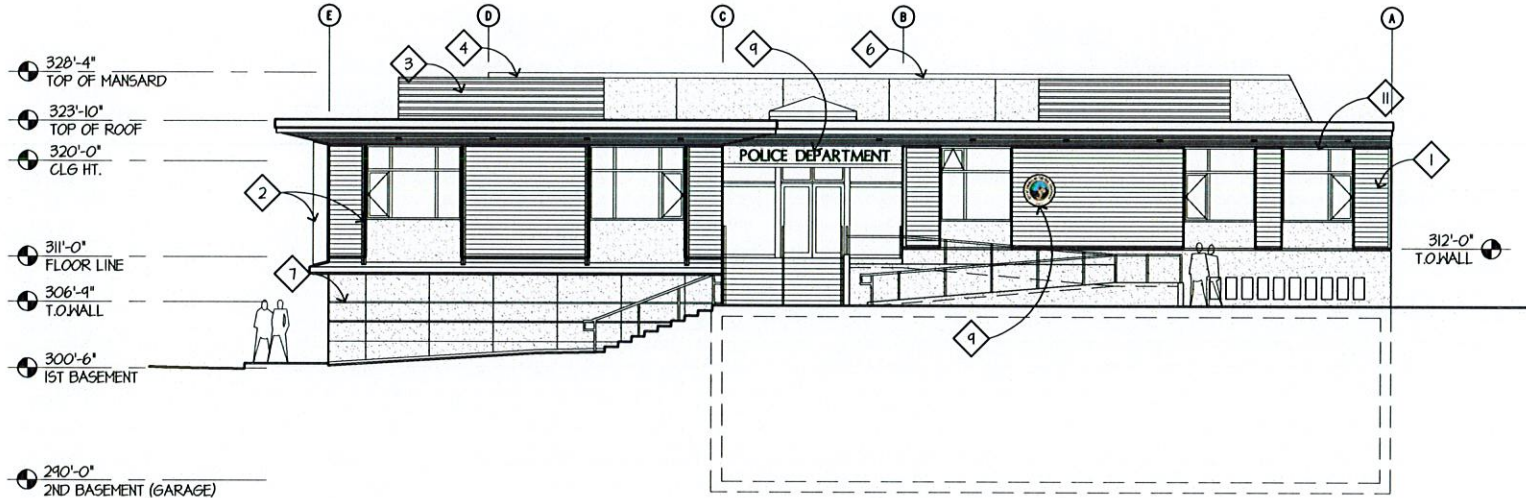
- 1. EVERYTHING SHOWN IS (E) TO REMAIN U.O.N.
- 2. PAINTING:
  - Ø (N) SURFACES: SEE SPEC.
  - Ø (E) SURFACES: SEE ABATEMENT SPEC & PREP, PRIME + 2 COATS FINISH.
- 3. PAINTING:
  - A. PAINT ALL (N) EXTERIOR SURFACES, U.O.N. INCLUDING:
    - CEMENT PLASTER/STUCCO, TRIM, ETC.
    - DOORS, FRAMES, TRIM, ETC.
    - VISIBLE FRAMING, SHG, DECKING
    - FASCIAS & TRIM
    - ROOF JACKS, VENTS, EXPOSED SHEET METAL
    - GUTTERS & DOWNSPOUTS
  - B. PAINT ALL (E) PAINTED EXTERIOR SURFACES.
  - C. DO NOT PAINT:
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    - ROOFING (SHINGLE, TILE, MEMBRANE)
- 4. PAINTING - GENERAL:  
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- 5. PAINTING - GENERAL:  
CONTRACTOR SHALL CHASE OUT ALL CRACKS IN CEM. PLASTER FINISHES, FILL AND PREP PRIOR TO REPAINTING.

KEYED NOTES

- 1 EXPOSED CEDAR WOOD SIDING, STAIN AND SEAL
- 2 GLULAM SHADING DEVICE, STAIN AND SEAL
- 3 MECHANICAL EQUIPMENT SCREEN
- 4 MECHANICAL EQUIPMENT, SEE MECHANICAL DWGS. - FACTORY FINISH
- 5 LIGHTING FIXTURE, SEE ELECTRICAL DWGS.
- 6 MTL. CAP FLASHING, SEE SECTIONS & DTL.- FACTORY FINISH
- 7 CEMENT PLASTER CONTROL JOINT, TYP.
- 8 CEMENT PLASTER EXPANSION JOINT, TYP.
- 9 SIGNAGE
- 10 HOLLOW METAL DOORS & FRAMES- PAINT
- 11 ALUM. DOORS, FRAMES, WINDOWS- SEE PLANS- FACTORY FINISH
- 12 (N) WOOD SHINGLES, STAIN AND SEAL

LEGEND

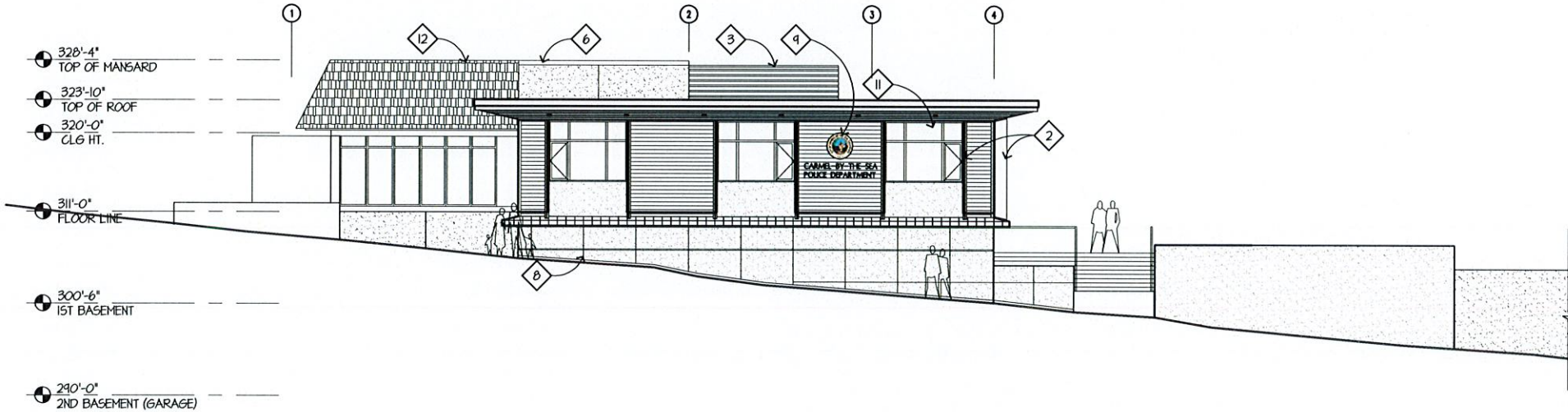
- CONCRETE COLUMN/ CURB  
FINISH: PENETRATING SEALER
- WOOD CLADDING  
FINISH: PENETRATING SEALER
- CEMENT PLASTER  
FINISH: PAINT
- EXISTING SHINGLE ROOFING  
FINISH: PENETRATING SEALER



SOUTH EXTERIOR ELEVATION

SCALE: 1/8"=1'-0"

2



WEST EXTERIOR ELEVATION

SCALE: 1/8"=1'-0"

1



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CARMEL-BY-THE-SEA, CA 93923  
PROPOSED EXTERIOR ELEVATIONS

SHEET NUMBER

A3.3

DATE: 15 OCT 2016

JOB

1712

DRAWN

CADD