

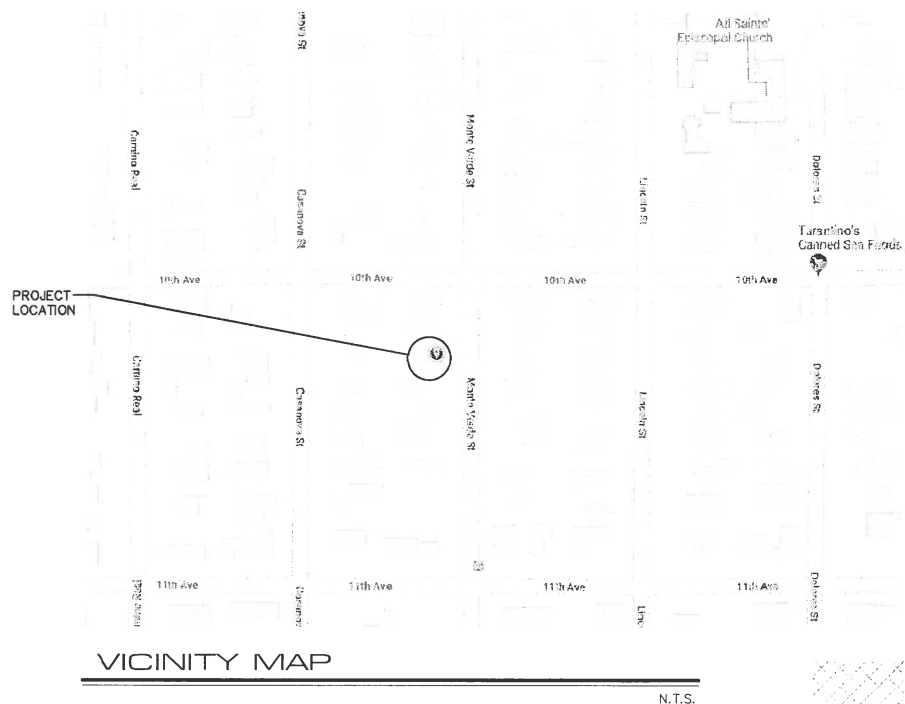


DONOVAN RESIDENCE
CARMEL - BY - THE - SEA

RECEIVED

NOV 6 2018

City of Carmel-by-the-Sea
Planning & Building Dept.



LOT COVERAGE CALCULATIONS:

	EXISTING	PROPOSED REMOVAL	PROPOSED ADDITION	PROPOSED TOTAL
DECK	11	-11	0	0
DRIVEWAY	168	-168	0	0
FOOTPATH	174	-174	0	0
STONE WALK	559	-559	0	0
DG	39	-39	0	0
ENTRY PATH/ENTRY CRT.	0	0	136	136
COURTYARD	0	0	195	195
SERVICE YARD	0	0	85	85
STAIRS	9	-9	12	12
DRIVEWAY-PAVED	0	0	106	106
MAIN ENTRY	0	0	20	20
TOTAL	960	-960	554	554

22% OF BASE FLOOR AREA + 4% OF LOT SIZE
1,800 X 0.22 = 396
4,000 X 0.04 = 160.0
TOTAL ALLOWED = 556 SF

LOT COVERAGE ALLOWED: 556 SF
LOT COVERAGE PROPOSED: 554 SF (339 SF PERMEABLE) (215 SF IMPERVIOUS)

PROJECT CODE COMPLIANCE:
2013 CBC, CMC, CPC, CFC, CEC, CALIFORNIA RESIDENTIAL CODE,
CALIFORNIA GREEN BUILDING CODE & 2010 CALIFORNIA ENERGY CODE

ENERGY METHOD: MICROPAS V8.1, ENERGY PRO 5.0

LOT AREA: 4,000 S.F. 0.09 Ac.)

F.A.R. CALCULATIONS

	EXISTING	PROPOSED REMOVAL	PROPOSED ADDITION	PROPOSED TOTAL
MAIN BUILDING				
MAIN FLOOR	641	0	939	1,580
GARAGE	174	0	46	220
TOTAL	815	0	985	1,800

F.A.R. ALLOWED: 1,800 SF
F.A.R. PROPOSED: 1,800 SF

$4,000 \times \left[0.45 - \frac{(4,000 - 4,000) \times 0.2}{1,000} \right] = 1,800$

PLANNING INFO.

PROPERTY OWNER:
PETER DONOVAN AND SU-JAEN HUANG
27 YANKEE POINT DRIVE
CARMEL-BY-THE-SEA, CA

PROJECT ADDRESS:
MONTE VERDE ST., 3 SW OF 10TH AVE.
CARMEL-BY-THE-SEA, CA

PROJECT SCOPE:
DEMOLISH (E) SINGLE STORY RESIDENCE WITH AN ATTACHED 1-CAR GARAGE; BUILD NEW SINGLE STORY RESIDENCE WITH DETACHED 1-CAR GARAGE

OCCUPANCY: R-3, U
CONST. TYPE: V-B
A.P.N. 010-185-003
LEGAL DESC.: LOT: 5 BLOCK: E
ZONE: R-1
STORIES: 1
MAX BLDG. HT: 18' FT
GRADING: 10 CY
TREE REMOVAL: 4 TREES; 1 PALM ; 1 OAK
TOPOGRAPHY: SLOPING

JUN A. SILLANO, AIA

ARCHITECTURE • PLANNING • INTERIOR DESIGN

721 LIGHTHOUSE AVE
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DEC 20 2018
City of Carmel-by-the-Sea
Planning & Building Dept.

PROJECT/CLIENT:
DONOVAN-HUANG
RESIDENCE

PROJECT ADDRESS:
MONTE VERDE ST.
3SW OF 10TH AVE.
CARMEL
BY-THE-SEA,
CA 93950

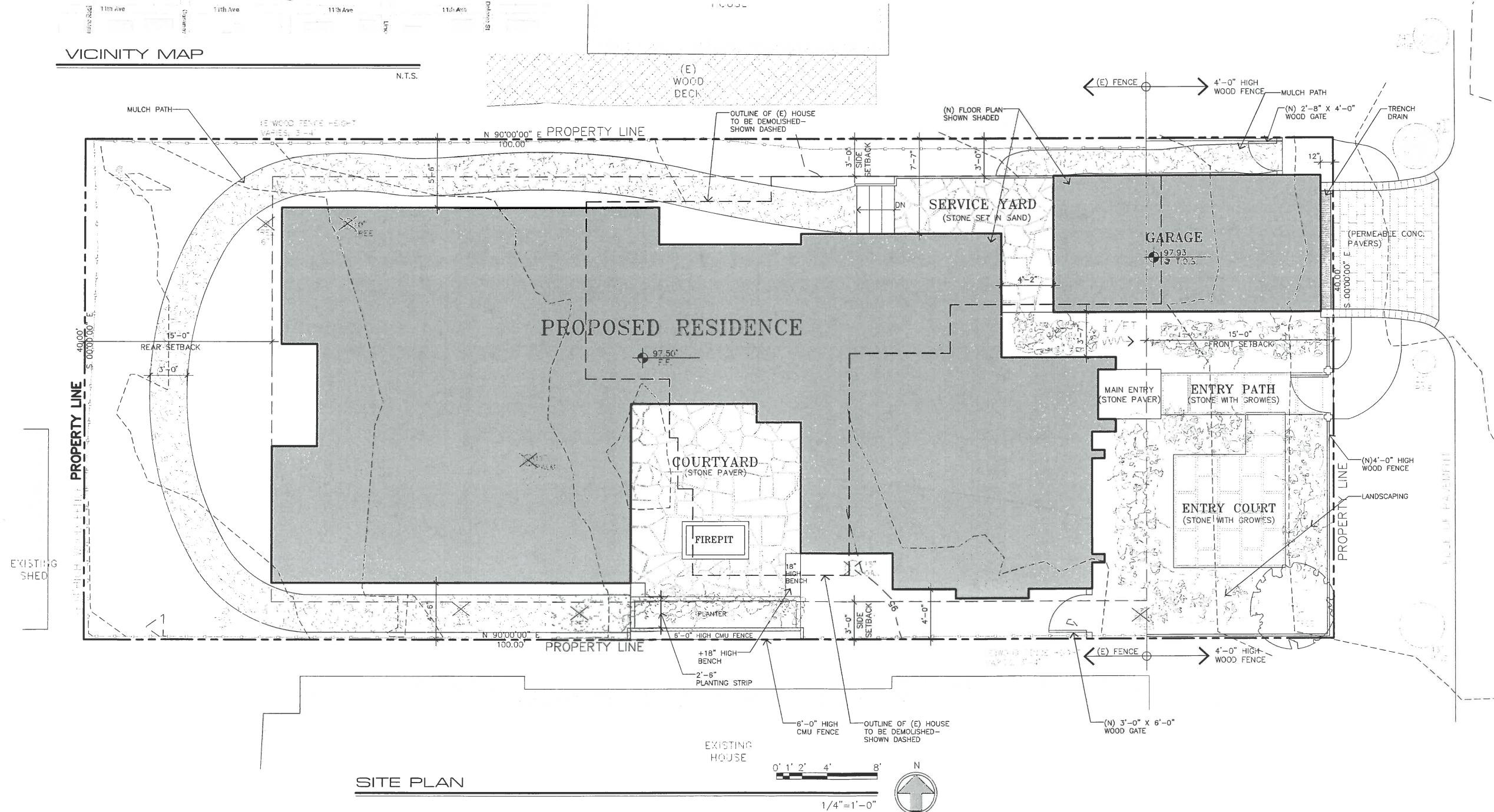


DATE: NOVEMBER 01, 2018
PLANNING PACKAGE

REVISIONS:
12-03-18
DS REVISION
1
2
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5
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9
10

SITE
PLAN

SHEET NO.
A1.0



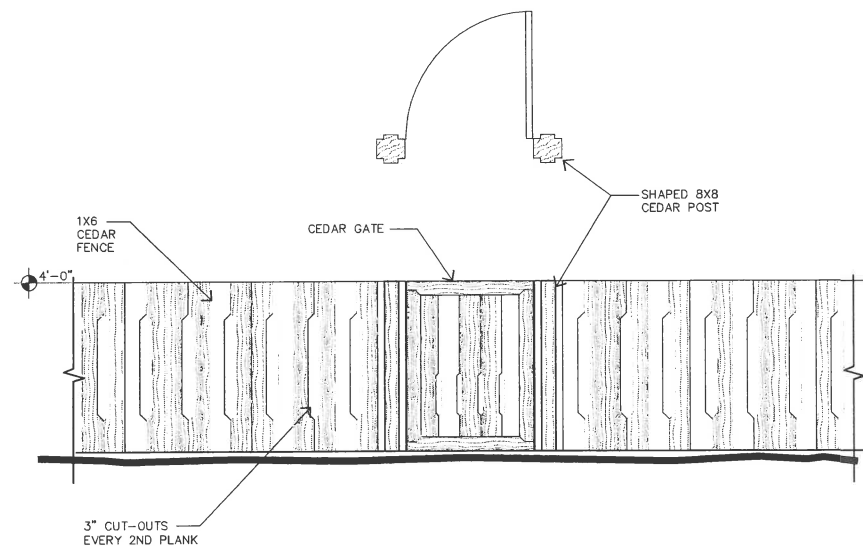


1-25 WATTS MAX. WITH PHOTO SENSOR
MINKA-LAVERY BAYTREE LANE OUTDOOR
FIXTURES

EXT. WALL MOUNT
LIGHT FIXTURE

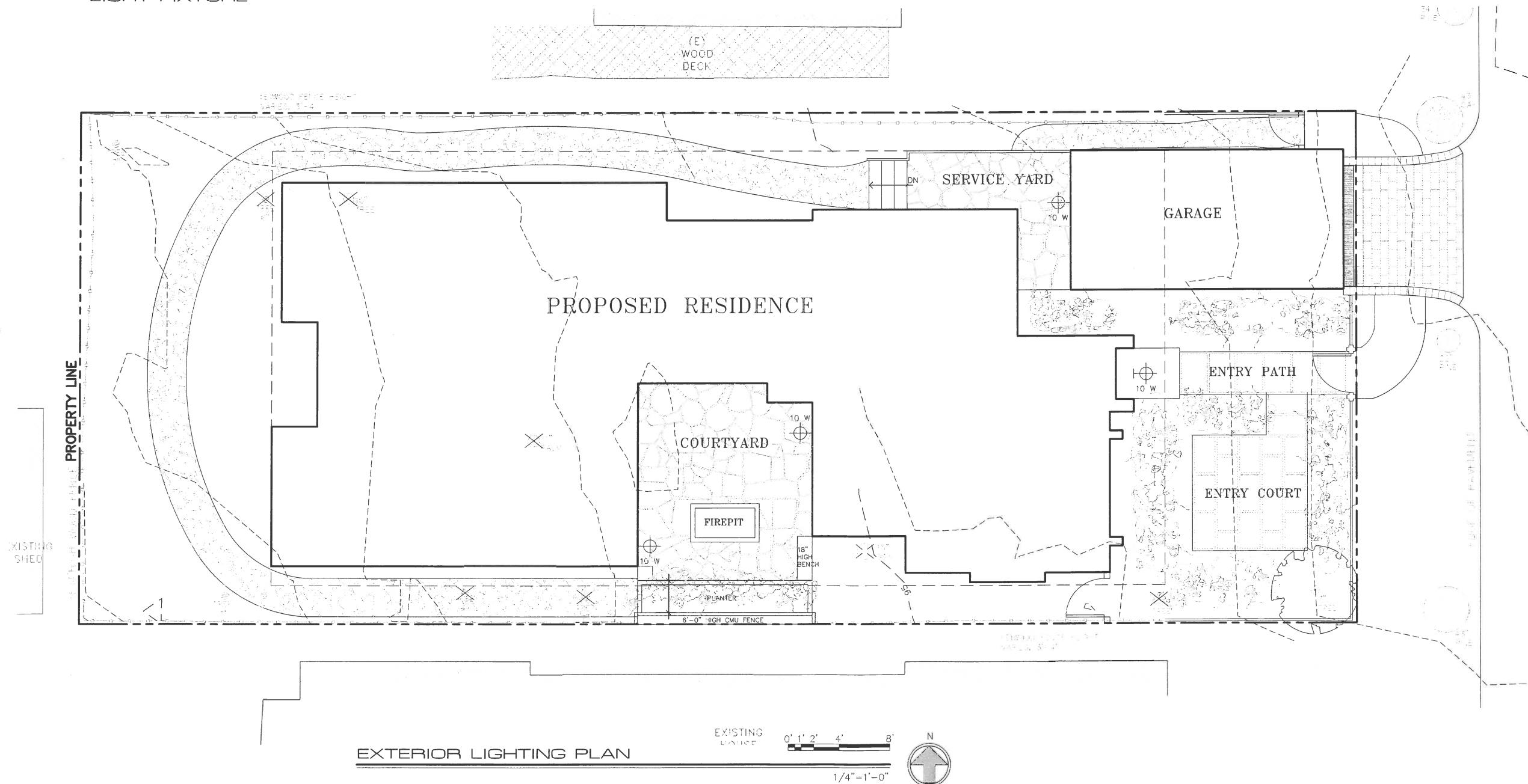
LEGEND

⊕ 10 W = WALL MOUNTED
DOWNLIGHT
LIGHT FIXTURE
10 WATTS



ENTRY GATE AND FENCE

1/2" = 1'-0"



EXTERIOR LIGHTING PLAN

EXISTING HOUSE

0' 1' 2' 4' 8'

1/4" = 1'-0"



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SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE
PROCEEDING WITH FABRICATION OR INSTALLATION.

STAMPS:

PROJECT/CLIENT:

DONOVAN-HUANG
RESIDENCE

PROJECT ADDRESS:

MONTE VERDE ST.
3SW OF 10TH AVE.
CARMEL
BY-THE-SEA,
CA 95008

APN: 010-155-003



DATE: NOVEMBER 01, 2018

PLANNING PACKAGE

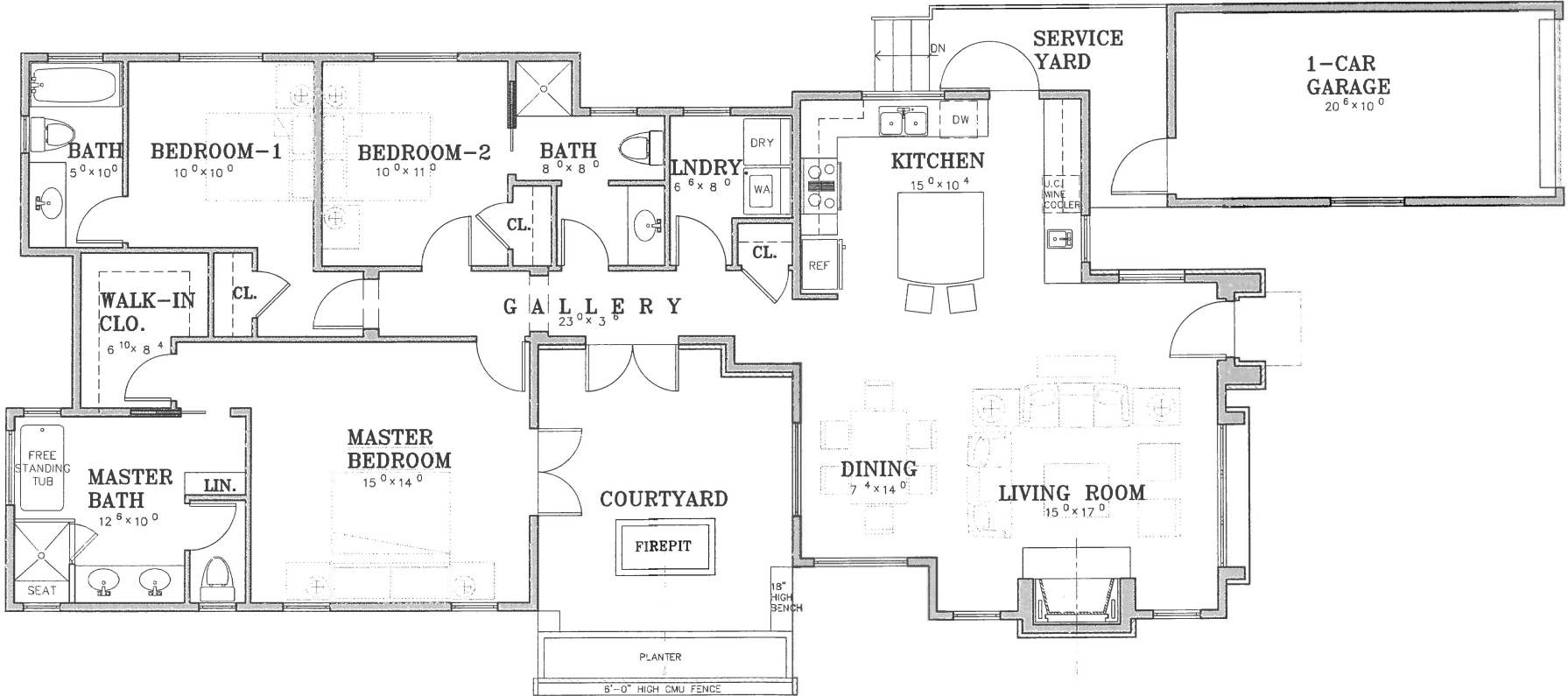
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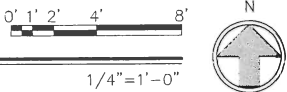
EXTERIOR
LIGHTING PLAN

SHEET NO.

A1.1



FLOOR PLAN



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STAMPS:

PROJECT/CLIENT:

DONOVAN-HUANG
RESIDENCE

PROJECT ADDRESS:

MONTE VERDE ST.
3SW OF 10TH AVE.
CARMEL
BY-THE-SEA,
CA 95008-155-007



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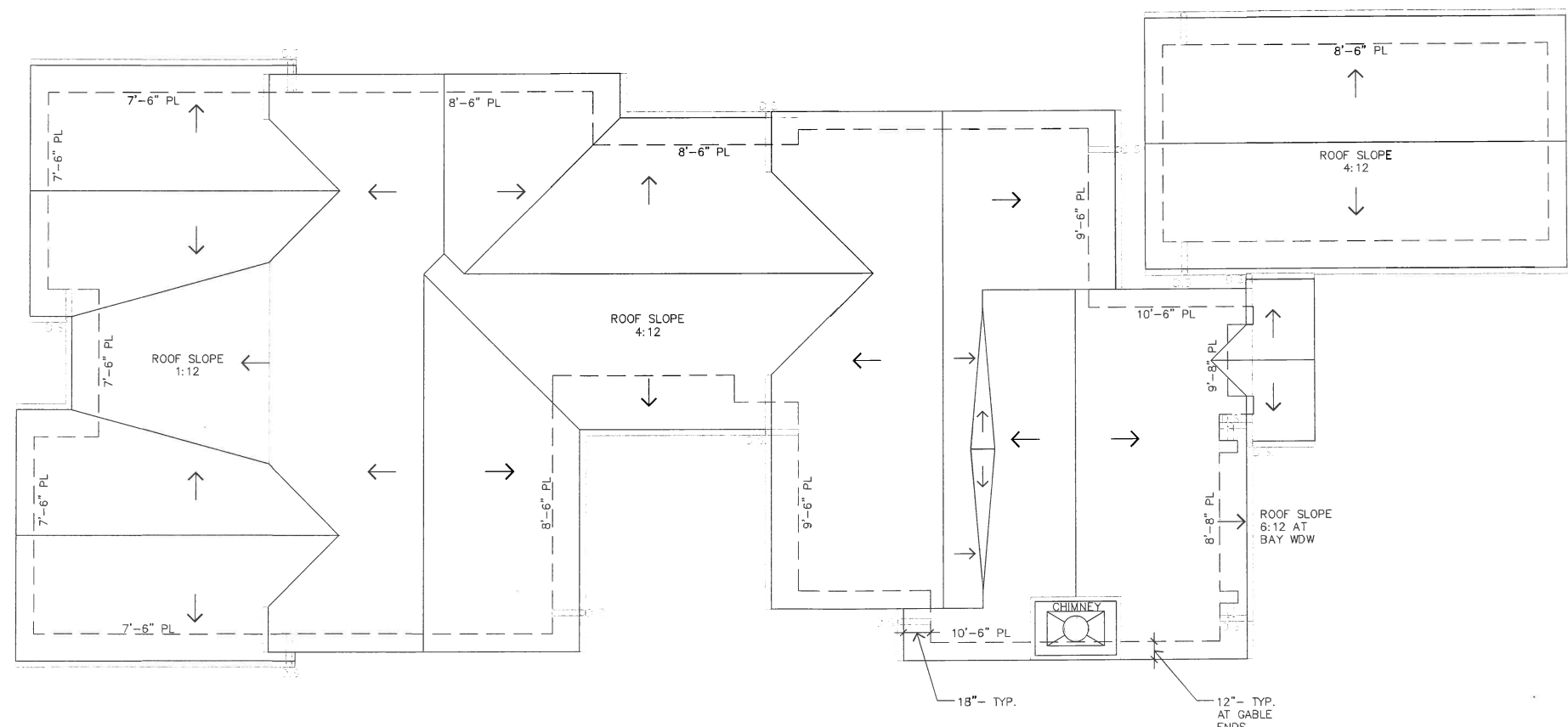
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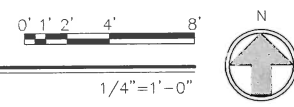
FLOOR PLAN

SHEET NO.

A2.0



ROOF PLAN



JUN A. SILLANO, AIA

IDG

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STAMPS:

PROJECT/CLIENT:

**DONOVAN-HUANG
RESIDENCE**

PROJECT ADDRESS:

**MONTE VERDE ST.
3SW OF 10TH AVE.
CARMEL
BY-THE-SEA,
CA 93921-1355-003**



DATE: NOVEMBER 01, 2018

PLANNING PACKAGE

REVISIONS:

12-03-18	DS REVISION

**ROOF
PLAN**

SHEET NO.

A5.0

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STAMPS:

PROJECT/CLIENT:

**DONOVAN-HUANG
RESIDENCE**

PROJECT ADDRESS:

**MONTE VERDE ST.
3SW OF 10TH AVE.
CARMEL
BY-THE-SEA,**

APR 010-126-003



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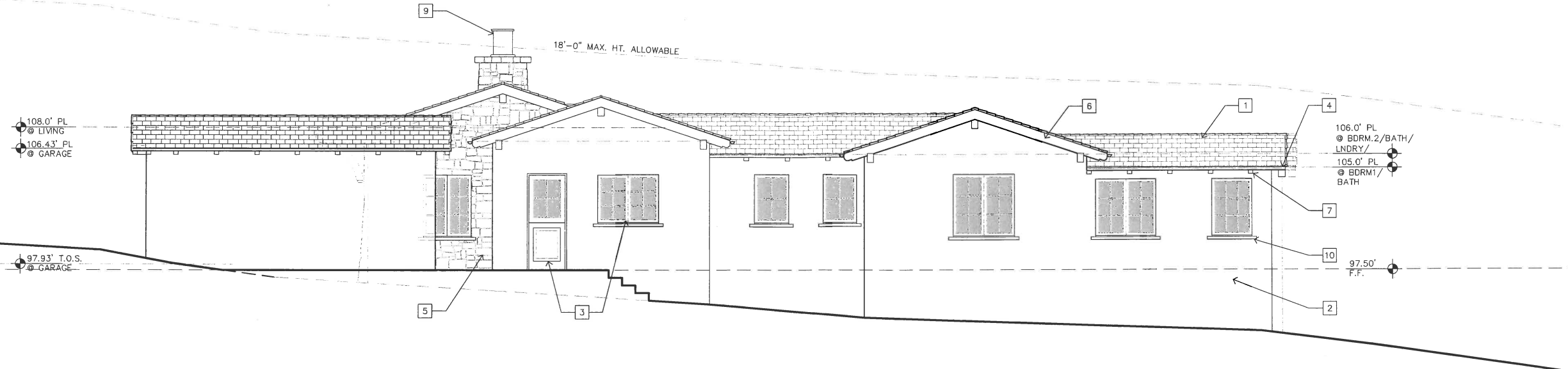
REVISIONS:

12-03-18	DS REVISION
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ELEVATIONS

SHEET NO.

A6.0



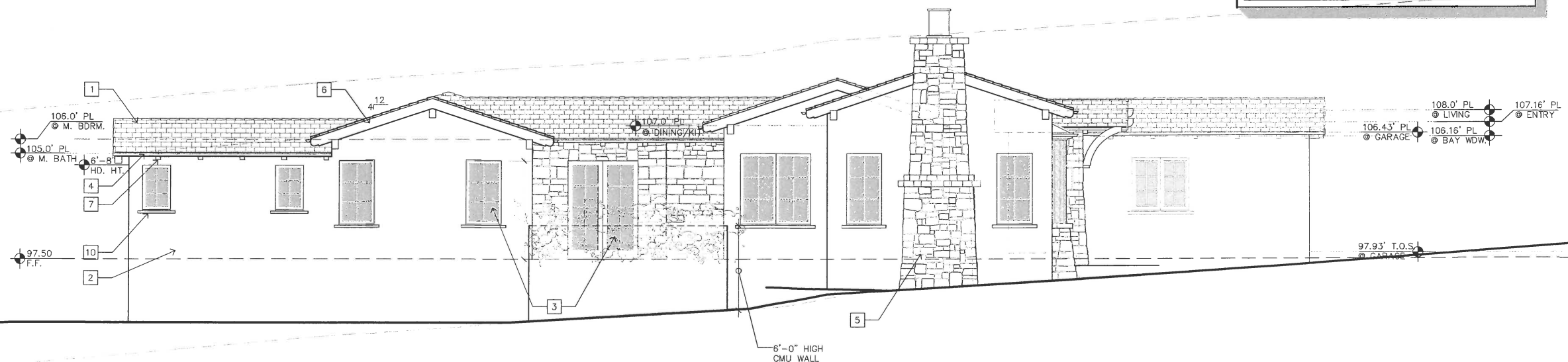
NORTH ELEVATION

0' 1' 2' 4' 8'

1/4"=1'-0"

EXTERIOR FINISH LEGEND

- 1 THIN SLATE ROOF
- 2 EXTERIOR STUCCO
- 3 PAINTED WOOD EXTERIOR DOORS AND WINDOWS
- 4 COPPER GUTTER AND DOWNSPOUTS
- 5 RANDOM STONE
- 6 6X8 CEDAR GABLE ENDS & CORBELS
- 7 4X6 CEDAR RAFTER TAILS
- 8 STANDING SEAM COPPER ROOF
- 9 CLAY CHIMNEY TOP
- 10 2X CEDAR TRIM AND SILL



SOUTH ELEVATION

0' 1' 2' 4' 8'

1/4"=1'-0"

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STAMPS:

PROJECT/CLIENT:

**DONOVAN-HUANG
RESIDENCE**

PROJECT ADDRESS:

**MONTE VERDE ST.
35W OF 10TH AVE.
CARMEL
BY-THE-SEA,**

APN: 010-135-003



DATE: NOVEMBER 01, 2018
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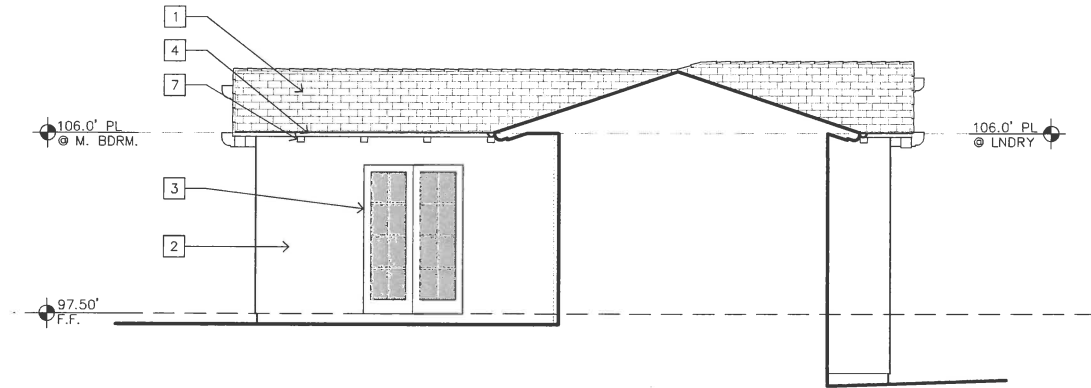
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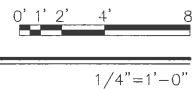
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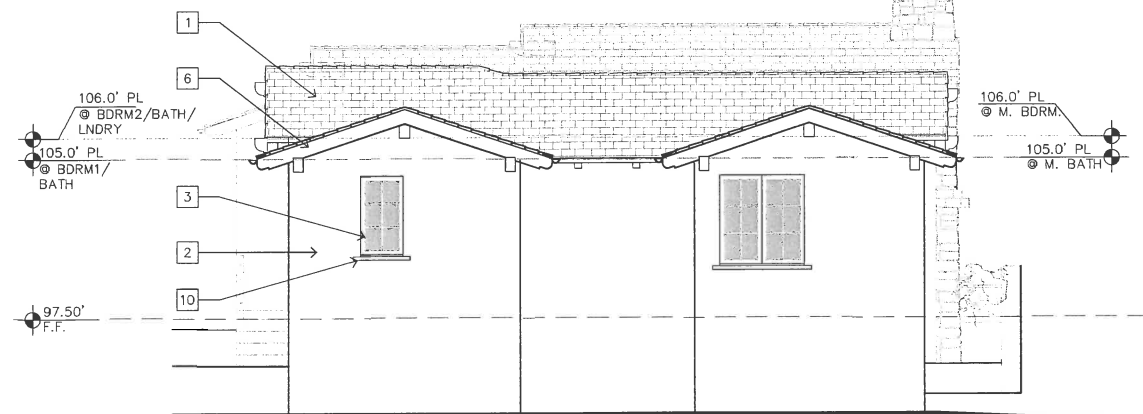
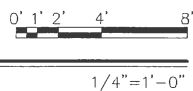
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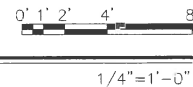
EAST ELEVATION- COURTYARD



EAST ELEVATION



WEST ELEVATION



EXTERIOR FINISH LEGEND

- 1 THIN SLATE ROOF
- 2 EXTERIOR STUCCO
- 3 PAINTED WOOD EXTERIOR DOORS AND WINDOWS
- 4 COPPER GUTTER AND DOWNSPOUTS
- 5 RANDOM STONE
- 6 6X8 CEDAR GABLE ENDS & CORBELS
- 7 4X6 CEDAR RAFTER TAILS
- 8 STANDING SEAM COPPER ROOF
- 9 CLAY CHIMNEY TOP
- 10 2X CEDAR TRIM AND SILL

PLANTING LEGEND					
SYMBOL	BOTANICAL NAME	COMMON NAME	QUANTITY	SIZE	WUCOLS
ACE PAL	Acer palmatum	Japanese Maple	2	15 gal	Med
AGA STO	Agapanthus 'Storm Cloud'	Storm Cloud Agapanthus	8	1 gal	Med
ARC CAR	Arctostaphylos edmundsii 'Carmel Sur'	Carmel Sur Manzanita	10	1 gal	Low
ARC HOW	Arctostaphylos densiflora 'Howard McMinn'	Howard McMinn Manzanita	9	5 gal	Low
CON MAU	Convolvulus mauritanicus	Ground Morning Glory	7	1 gal	Low
COR IVO	Correa 'Ivory Bells'	Ivory Bells Australian Fuchsia	5	1 gal	Low
CUP MAC	Cupressus macrocarpa	Monterey Cypress	1	15 gal	Low
HEU MAX	Heuchera maxima	Coral Bells	10	1 gal	Med
LIM PER	Limonium perezii	Sea Lavender	11	1 gal	Low
OLE EUR	Olea europea 'Little Ollie'	Little Ollie	4	5 gal	Low
ROS TUS	Rosmarinus 'Tuscan Blue'	Tuscan Blue Rosemary	7	5 gal	Low
PRU CAR	Prunus caroliniana	Carolina Cherry Laurel	24	5 gal	Low
SAL LEU	Salvia leucantha	Mexican Bush Sage	5	1 gal	Low
TEU CHA	Teucrium chamaedrys	Germander	16	1 gal	Low
WOO FIM	Woodwardia fimbriata	Giant Chain Fern	16	5 gal	Low

BUILDING DEPARTMENT NOTES:

PERMITS & INSPECTIONS:

THE CONTRACTOR SHALL OBTAIN ALL REQUIRED INSPECTIONS FOR THE WORK AND GIVE THE OWNER TIMELY NOTICE OF INTENT TO EACH INSPECTION.

CODES:

ALL MATERIAL, WORKMANSHIP AND METHODS OF CONSTRUCTION SHALL CONFORM TO THE APPLICABLE REQUIREMENTS OF THE UBC AND LOCAL BUILDING CODES.

NO POTABLE WATER MAY BE USED FOR COMPACTION OR DUST CONTROL PURPOSES IN CONSTRUCTION ACTIVITIES WHERE THERE IS A REASONABLY AVAILABLE SOURCE OF RECLAIMED WATER.

CONTRACTOR TO USE AUTO SHUT-OFF NOZZLES ON ANY WATER HOSES USED ON THE PROJECT.

LAYOUT NOTES:

ANNOTATED DIMENSIONS TO TAKE PRECEDENCE OVER SCALED DRAWINGS.

FIRE SAFETY NOTES:

ALL NON IRRIGATED BRUSH TO BE KEPT AT GROUND LEVEL FOR AN AREA OF 50' SURROUNDING THE PROPOSED RESIDENCE.

TREES TO BE CLEARED OF DEAD LIMBS WITHIN A 50' RADIUS OF THE PROPOSED RESIDENCE. ANY TREE LIMBS WITHIN 10' OF A CHIMNEY WILL BE REMOVED.

XERISCAPE PRACTICES:

1. LOW WATER USE, DROUGHT TOLERANT PLANTS
2. WATER CONSERVING IRRIGATION TECHNIQUES AND SYSTEMS
3. DRIP IRRIGATE ALL PLANT MATERIAL
4. INSTALLATION OF RAIN SENSOR

PLANTING NOTES:

ALL LANDSCAPE AREAS SHALL BE CONTINUOUSLY MAINTAINED IN A LITTER FREE, WEED FREE CONDITION AND ALL PLANT MATERIAL SHALL BE CONTINUOUSLY MAINTAINED IN A HEALTHY GROWING CONDITION.

STAKING:
STAKING SHALL BE PROVIDED FOR TREES AND SHRUBS AS NEEDED. TIES TO BE LOCATED AND SIZED TO ALLOW FOR EXPANSION AND GROWTH.

MULCHING:
SPREAD 3" OF MULCH OVER ALL EXPOSED PLANTING AREAS

COMPOST MINIMUM OF 4 CUBIC YARDS PER 1,000SQFT OF PERMEABLE AREA TO A DEPTH OF 6"

STAGING:
WHEN STAGING PLANT MATERIAL ON SITE INSTALL A TEMPORARY DRIP LINE AS NEEDED.

SOIL AMENDMENT TO BE ADDED TO PLANTED ARE AS NEEDED FOR PLANT MATERIAL

SCOPE OF WORK:

THIS IS NEW LANDSCAPE INSTALLTION WITH A NEW LOW FLOW DRIP IRRIGATION SYSTEM. LANDSCAPE DESIGNED TO USE ALL NATIVE AND/OR DROUGHT TOLERANT PLANTING.

PROJECT INFORMATION:

OWNER: DONOVAN-HUANG
SITE: MONTE VERDE ST., 3 SW OF 10TH AVE. CARMEL-BY-THE-SEA, CA
APN: 010-185-003
TOPOGRAPHY: SLOPED
TREE REMOVAL: TREE REPLACEMENT PLAN TO MEET MONTEREY COUNTY REQUIRMENTS
GRADING: SOILS REPORT SEE SOILS REPORT

LANDSCAPING STATEMENT:

I PATRICK WILSON CERTIFY THAT THIS LANDSCAPING AND IRRIGATION PLAN COMPLIES WITH ALL CITY OF CARMEL'S LANDSCAPING REQUIREMENTS INCLUDING USE OF NATIVE, DROUGHT TOLERANT, NON-INVASIVE SPECIES; LIMITED TURF; AND LOW-FLOW, WATER CONSERVING IRRIGATION FIXTURES

I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN.

Patrick Wilson



MISSION
LANDSCAPING

P.O. BOX 875
PACIFIC GROVE
CALIFORNIA 93950

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F 831 373 2283
www.missionlandscaping.com
email:
missionlandscaping@mc.com
Landscape & General
Contractors C27 & B 392291
Landscape Architecture
CA Lic #5806

Project:

Donovan - Huang Residence
Monte Verde St.
3SW of 10th Ave.
Carmel By-The-Sea,
CA 93921

APN: 010-185-003

Revisions:
Revision 1: 12/17/18



Drawing Title:

Planting Plan

Date: 10/23/2018

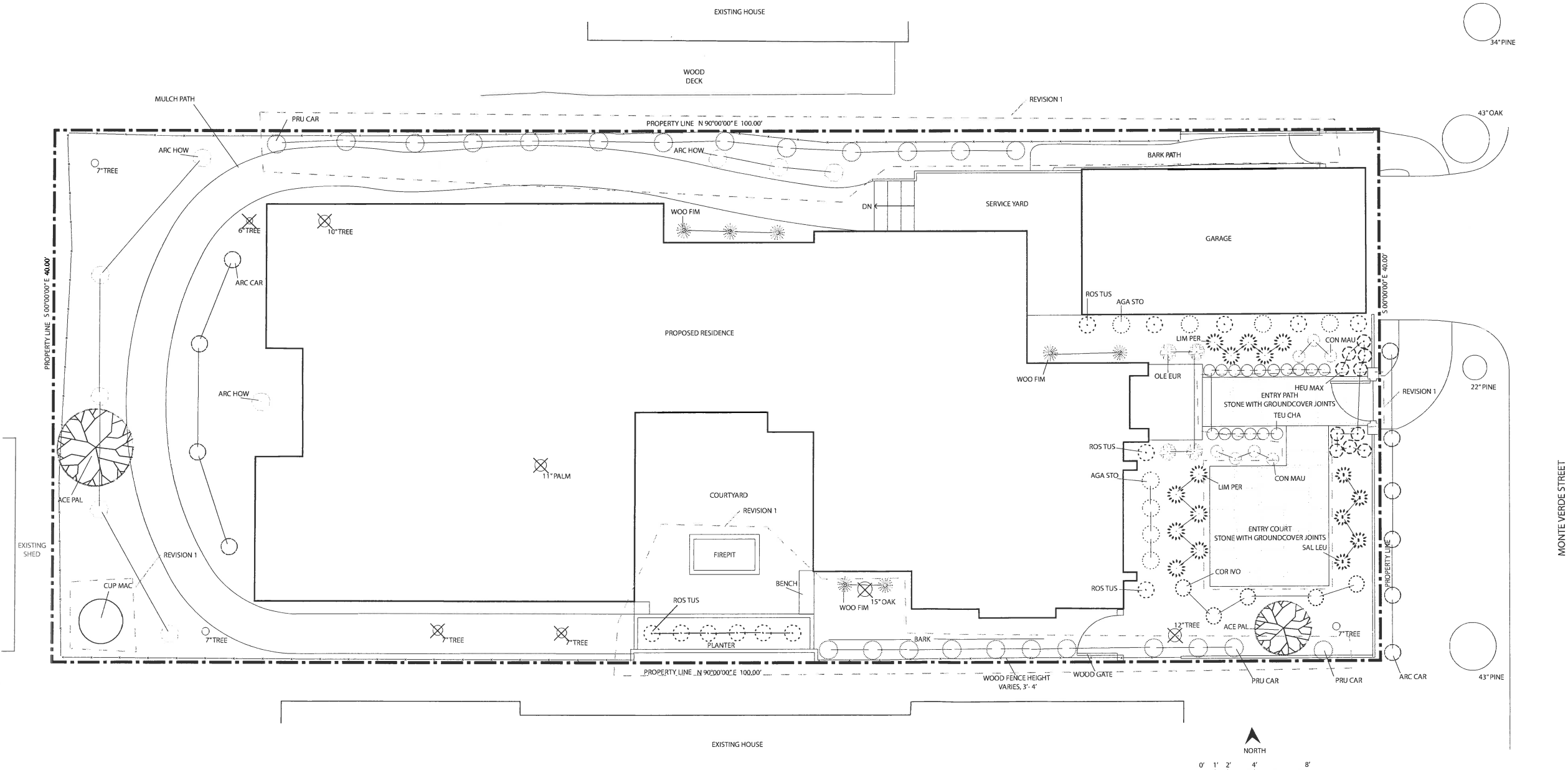
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Drawn By: DW

Page Number:

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IRRIGATION NOTES:

SYSTEM DESIGNED TO PREVENT LOW HEAD DRAINAGE AND NO OVERSPRAY OR RUNOFF

IRRIGATION LAID OUT TO CONFORM TO HYDROZONES INDICATED ON LANDSCAPE PLAN

SYSTEM DESIGNED TO ACHIEVE MINIMUM IRRIGATION EFFICIENCY OF .75 FOR OVERHEAD SPRAY AND .81 FOR DRIP ZONES

SYSTEM USES LOW VOLUME IRRIGATION IN MULCHED PLANTING AREAS

SYSTEM HAS MATCHED PRECIPITATION RATES FOR HEAD AND EMISSION DEVICES

THE IRRIGATION HEADS ARE LAID OUT FOR OPTIMAL SPACING

SWING JOINTS ARE USED ON ALL SPRINKLER HEADS

SYSTEM USES CHECK OR ANTI-DRAIN VALVES

SUBSURFACE IRRIGATION OR OTHER MEANS THAT PRODUCES NO RUNOFF OR OVERSPRAY FOR TURF OR OTHER AREAS LESS THAN 10 FEET IN WIDTH

WHERE SPRINKLER HEADS ARE CLOSER THAN 24" TO HARDSCAPE, HARDSCAPE IS DESIGNED TO DRAIN ENTIRELY INTO LANDSCAPE

EACH VALVE IRRIGATES HYDROZONE WITH SIMILAR CONDITIONS WITH SPRINKLER HEADS AND EMISSION DEVICES THAT ARE APPROPRIATE FOR THE PLANT TYPE WITHIN THE HYDROZONE

TREES WILL BE PLACED ON SEPARATE VAVLES FROM SHRUBS, GROUNDCOVERS, AND TURF WHERE FEASIBLE

DRIP EMITTERS TO BE 1 GPH UNLESS OTHERWISE NOTED

IRRIGATION NOTES:

ALL IRRIGATION MAIN LINE TRENCHING SHALL BE A MINIMUM OF 18" MIN. BELOW FINISH AT PLANTER BEDS AND 24" MIN. BELOW PAVED SURFACES. LATERAL LINES TO BE 12" BELOW FINISH AND DRIP LINES TO BE 5" BELOW FINISH.

CONNECT IRRIGATION WATER LINE TO DOMESTIC MAIN SUPPLY VIA BACKFLOW PREVENTION DEVICE. (SEE DETAIL.)

ALL BANKS OF IRRIGATION VALVES TO BE CONNECTED TO IRRIGATION MAINLINE AFTER A GATE VALVE FOR SERVICING OF INDIVIDUAL BANKS.

IRRIGATION DEMAND:

14GPM AT 55 PSI STATIC UPSTREAM OF BACKFLOW PREVENTOR. VERIFY EXACT PRESSURE PRIOR TO COMMENCEMENT OF WORK.

LANDSCAPING STATEMENT:

I PATRICK WILSON CERTIFY THAT THIS LANDSCAPING AND IRRIGATION PLAN COMPLIES WITH ALL MONTEREY COUNTY LANDSCAPING REQUIREMENTS INCLUDING USE OF NATIVE, DROUGHT TOLERANT, NON-INVASIVE SPECIES; LIMITED TURF; AND LOW-FLOW, WATER CONSERVING IRRIGATION FIXTURES

I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM ACCORDINGLY FOR THE EFFICIENT USE OF WATER IN THE IRRIGATION DESIGN PLAN.

Patrick Wilson

XERISCAPE PRACTICES:

1. LOW WATER USE, DROUGHT TOLERANT PLANTS

2. WATER CONSERVING IRRIGATION TECHNIQUES AND SYSTEMS

3. DRIP IRRIGATE ALL NON-TURF PLANT MATERIAL

4. INSTALLATION OF WEATHER SENSOR AND SMART CONTROLLER TO REGULATE EFFICIENT WATERING.

5. IRRIGATION ZONES TO BE BASED ON LIKE WATER NEEDS.

AUTOMATIC CONTROLLER DEVICE:

SHALL BE WALL MOUNTED AS DIRECTED BY LANDSCAPE CONTRACTOR. SERVICE TO BE 120 VOLT AC HARDWIRED PER ELECTRICAL CONTRACTOR.

LOW VOLTAGE LIGHTING:

TO BE INSTALLED IN ELECTRICAL CONDUIT. RUN ADDITIONAL 2" CHASES AND EXTRA WIRES AS NEEDED. LOCATE BEOW MAIN IRRIGATION LINES. SEE ELECTRICAL PLAN.

HOSE BIBS:

TO BE BRASS AND INSTALLED ON A 4"x4" PRESSURE TREATED POST.

VALVE BOXES, PIPE, AND HOSE BIBS:

ALL EXPOSED COMPONENTS OF IRRIGATION SYSTEM TO BE PURPLE IN COLOR TO SHOW IT IS RECLAIMED WATER.

IRRIGATION SCHEDULE:

FOR ESTABLISHMENT PERIOD - ONE YEAR

1 AND 2 GALLON PLANTS	15 MINS X 2 TIMES PER WEEK
5 AND 15 GALLON PLANTS	20 MINS X 2 TIMES PER WEEK
24" BOX TREES	30 MINS X 2 TIMES PER WEEK

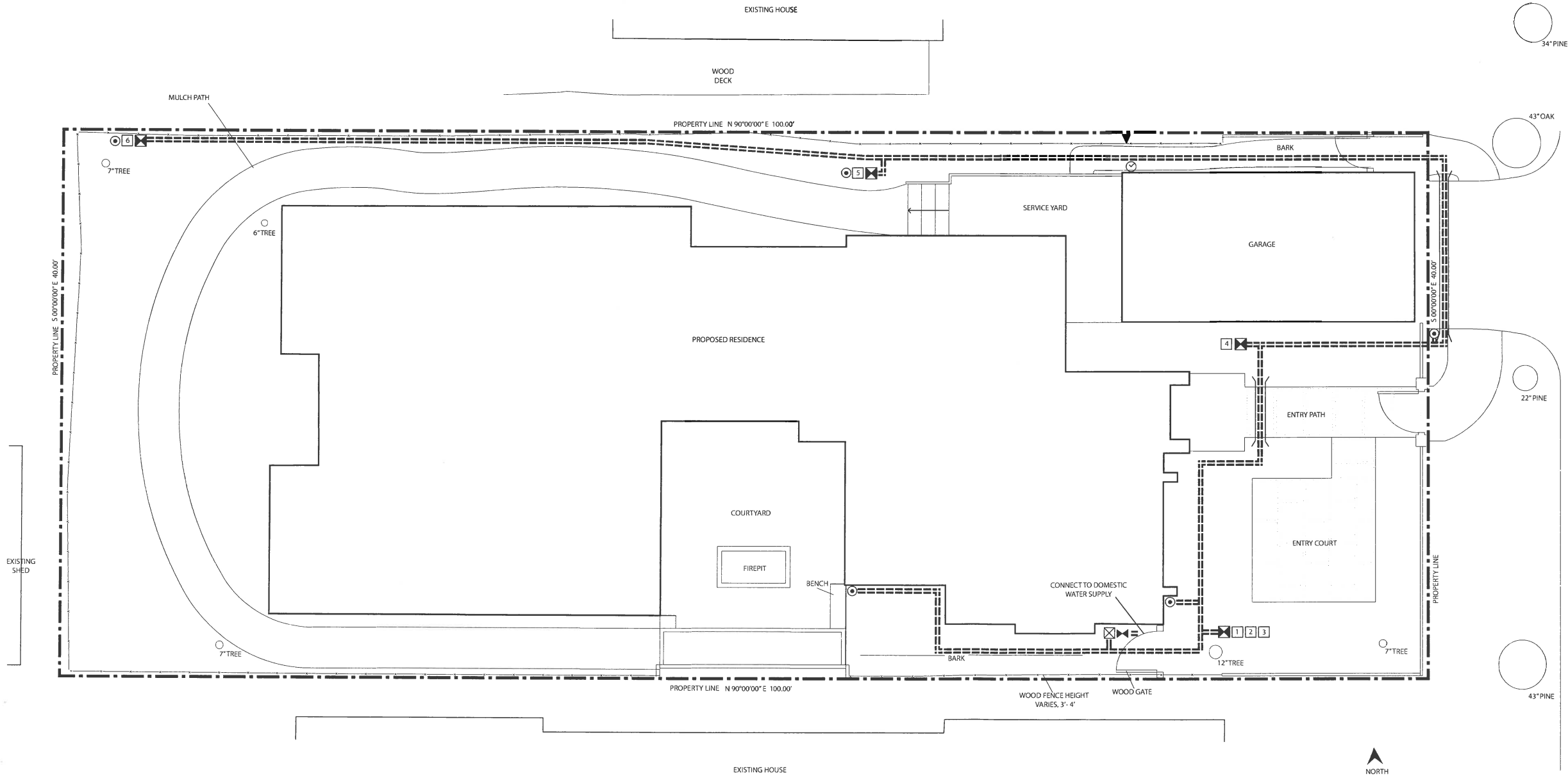
FOR MATURE PERIOD - AFTER ONE YEAR OR DETERMINE ON PLANT TO

1 AND 2 GALLON PLANTS	15 MINS X 1 TIMES PER WEEK
5 AND 15 GALLON PLANTS	20 MINS X 1 TIMES PER WEEK
24" BOX TREES	30 MINS X 1 TIMES PER WEEK

AS PLANTS MATURE AND BECOME MORE ESTABLISHED, THE IRRIGATION CAN BEGIN TO TAPER OFF AS MUCH AS THE PLANTS WILL ALLOW.

IRRIGATION LEGEND:

	1.5" DIA SCH. 40 PVC MAIN SUPPLY LINE
	FEBCO BACKFLOW PREVENTION DEVICE
	MAINLINE MASTER VALVE
	VALVE BOX
	RAINBIRD ESP-SMT SMART IRRIGATION CONTROLLER
	HOSE BIB
	RAINBIRD ESP RAIN SENSOR
	GATE VALVE
	4" SCH 40 PVC CHASE PIPE



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Landscape & General
Contractors C27 & B 392291
Landscape Architecture
CA Lic #5806

Project:

Donovan - Huang Residence
Monte Verde St.
3SW of 10th Ave.
Carmel By-The-Sea,
CA 93921

APN: 010-185-003

Revisions:
Revision 1: 12/17/18



Drawing Title:

Irrigation Plan

Date: 10/23/2018

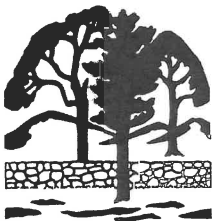
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CA Lic #5806

Project:

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Monte Verde St.
35W of 10th Ave.
Carmel By-The-Sea,
CA 93921

APN: 010-185-003

Revisions:
Revision 1: 12/17/18



Drawing Title:

Details Plan

Date: 10/23/2018

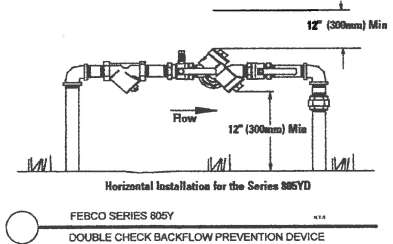
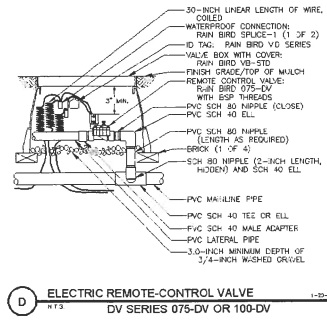
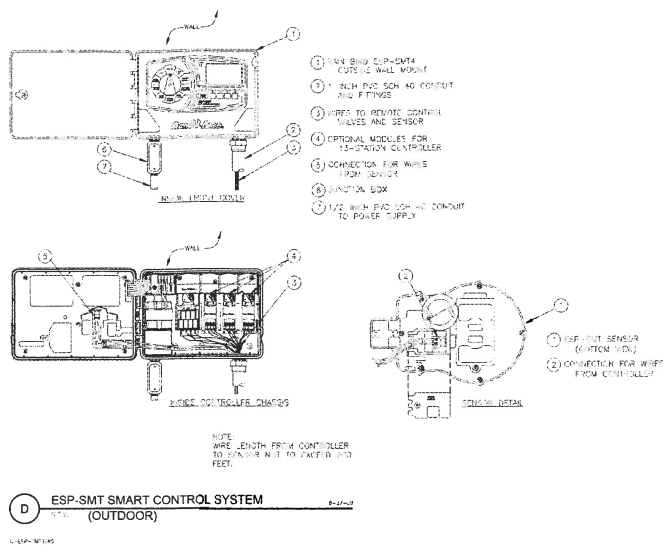
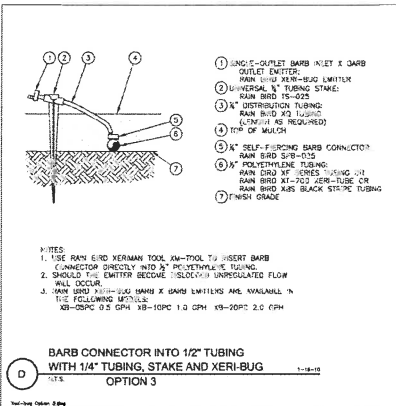
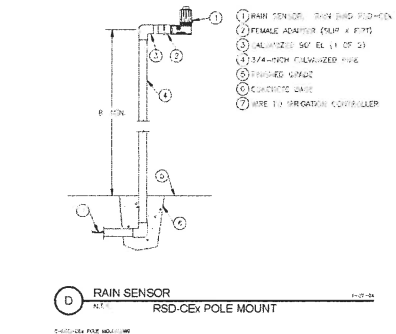
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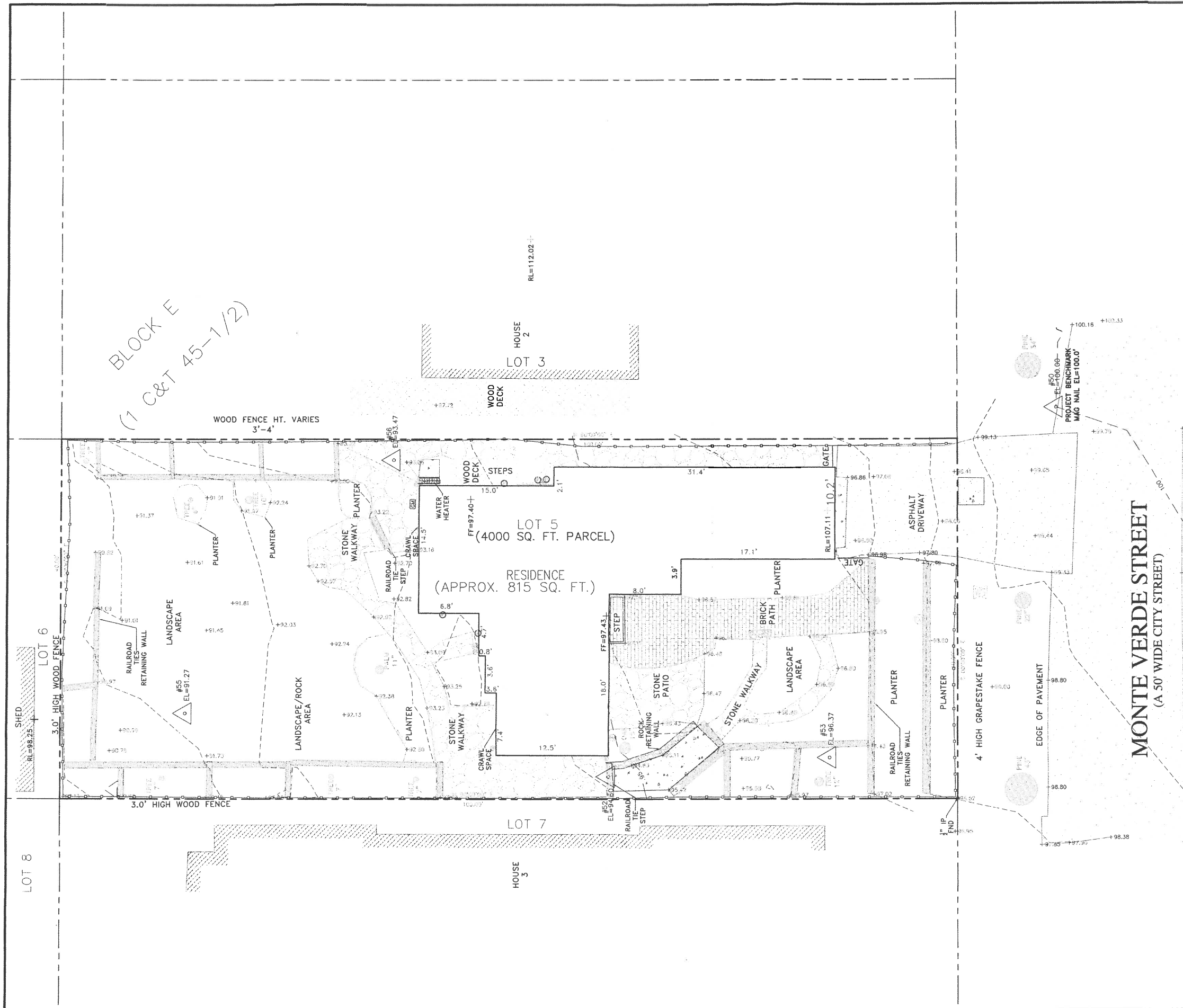
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Water Efficient Landscape Worksheet							
Instructions:							
Fill in all items in this color							
Answer is shown in this color							
Reference Evapotranspiration (ETo)							
			32.9	Carmel			
	ETWU requirement	ETWU requirement	ETWU requirement	ETWU requirement	MAWA requirement	ETWU requirement	
Hydrozone#/Planting Description	Plant Factor (PF)	Irrigation Method	Irrigation Efficiency (IE)	ETAF (PF/IE)	Landscape Area (LA) (sq. ft.)	ETAF x Area	Estimated Total Water Use (ETWU)
Regular Landscape Areas							
1) low water use plants	0.2	Drip	0.81	0.247	350	86.42	1,763
2) medium water use plants	0.4	Drip	0.81	0.494	70	34.57	705
3) high water use (pool & spa)	0.7	Drip	1	0.700	0	0.00	0
				Totals	420	120.99	2,468
Special Landscape Areas (SLA): Recycled Water							
1) low water use plants				1	0	0	0
2) medium water use plants				1	0	0	0
3) medium water use plants				1	0	0	0
				Totals	0	0	0
					Estimated Total Water Use (ETWU)	2,468	ETWU must be Less than MAWA
					Maximum Allowed Water Allowance (MAWA)	3,855	ETWU will be "0" for 100% recycled water systems
Plant Water Use Type	Plant Factor	Irrigation method	Irrigation Efficiency				
very low	0-0.1	overhead spray	0.75				
low	0.1-0.3	drip	0.81				
medium	0.4-0.6						
high	0.7-1.0						
MAWA (annual gallons allowed) = (ETo) (0.62) [(ETAF x LA) + ((1-ETAF) x SLA)]							
where 0.62 is a conversion factor that converts acre-inches per acre/year to gallons per sq. ft./year. LA is the total landscape area in sq. ft., SLA is the total special landscape area in sq. ft., and ETAF is .55 for residential areas and 0.45 for non residential areas.							
ETAF Calculations							
Regular Landscape Areas							
Total ETAF x Area	121						
Total Area	420	Average ETAF for regular landscape areas must be 0.55 or below for residential areas, and 0.45 or below for non-residential areas.					
Average ETAF	0.29						
All Landscape Areas							
Total ETAF x Area	121						
Total Area	420						
Sitewide ETAF	0.29						



GENERAL NOTES:

- ELEVATIONS ARE BASED ON AN ASSUMED DATUM. PROJECT BENCHMARK IS THE MOST NORTHERLY CONTROL POINT #50 LOCATED AT THE WESTERLY EDGE OF PAVEMENT OF MONTE VERDE STREET, ELEVATION 100.0, AS SHOWN.
- NOT ALL UNDERGROUND UTILITIES WERE LOCATED. ONLY VISIBLE FACILITIES ABOVE AND FLUSH WITH THE SURFACE ARE SHOWN. SUB-SURFACE UTILITY LINES DRAWN MAY NOT BE COMPLETE AND SHOULD BE VERIFIED BY FIELD RECONNAISSANCE. UNDERGROUND UTILITY LOCATIONS CAN BE OBTAINED FROM THE APPROPRIATE UTILITY COMPANIES, PUBLIC AGENCIES, OWNER'S AS-BUILT DRAWINGS, ETC., AND SHOULD BE THOROUGHLY COMPILED AND DEEMED COMPLETE WITHIN THE PROJECT AREA PRIOR TO ANY SITE DEVELOPMENT DESIGN AND/OR CONSTRUCTION.
- TREE TYPES ARE INDICATED WHEN KNOWN. TREE DIAMETERS ARE LABELED IN INCHES AS MEASURED AT 3' ABOVE THE GROUND. SYMBOL IS APPROXIMATE CENTER OF TREE. TREES SMALLER THAN 6" ARE NOT SHOWN.
- THIS MAP PORTRAYS THE SITE AT THE TIME OF THE SURVEY (06/23/16) AND DOES NOT SHOW SOILS OR GEOLOGY INFORMATION, UNDERGROUND CONDITIONS, EASEMENTS, ZONING OR REGULATORY INFORMATION OR ANY OTHER ITEMS NOT SPECIFICALLY REQUESTED BY THE PROPERTY OWNER AND/OR THEIR REPRESENTATIVES.
- THIS MAP DOES NOT REPRESENT A BOUNDARY SURVEY. PROPERTY LINES SHOWN HEREON WERE COMPILED FROM RECORD INFORMATION AND FROM FIELD TIES TO EXISTING BOUNDARY MONUMENTATION. THE LOCATION OF THESE LINES IS SUBJECT TO CHANGE, PENDING THE RESULTS OF A COMPLETE BOUNDARY SURVEY.

LEGEND:

- PROPERTY BOUNDARY LINE
- ADJACENT PROPERTY BOUNDARY LINE
- MAJOR CONTOUR LINE (5' INTERVAL)
- MINOR CONTOUR LINE (1' INTERVAL)
- FENCE (TYPE AS MARKED)
- ASPHALT CONCRETE SURFACE
- PORTLAND CEMENT CONCRETE SURFACE
- STONE SURFACE
- RAILROAD TIES
- BRICK SURFACE
- NATURAL GROUND SURFACE/LANDSCAPED AREA
- SURVEY H&V CONTROL POINT
- FF, RL FINISH FLOOR, RIDGELINE
- TREE (TYPE AND SIZE AS MARKED)
- CENTER OF SYMBOL IS APPROX. CENTER OF TREE
- PIPE
- CLEANOUT
- DOWNSPOUT
- HOSEBIB
- WATER SERVICE
- UTILITY HUB
- GAS METER
- FOUND MONUMENT - TYPE NOTED

CONTACT INFORMATION:

PRIMARY: OWNER
MS. SU-JAEN HUANG
27 YANKEE POINT DRIVE
CARMEL-BY-THE-SEA, CA

SITE LOCATION:
MONTE VERDE STREET, 3 SW OF 10TH AVENUE
CARMEL-BY-THE-SEA, CA

No.	DATE	BY	REVISION
06/28/18	ZA		RELEASED TO CLIENT

A.P.N.: 010-185-003

TOPOGRAPHIC MAP
OF
LOT 05, BLOCK E AS SHOWN IN VOLUME 1
OF CITIES & TOWNS AT PAGE 45-1/2
CITY OF CARMEL-BY-THE-SEA, CALIFORNIA

FOR
MS. SU-JAEN HUANG

SCALE: 1"=5'
DATE: JUNE 2018
JOB NO. 1840-01

SHEET 1
OF 1 SHEETS



APPROVED BY:

9/5/18

P.L.S. No. 8703
GUY R. GIRAUDO



COLOR AND MATERIAL SAMPLES FOR
DONOVAN – HUANG PROJECT
MONTE VERDE ST., 3 SW OF 10TH AVE., CARMEL-BY-THE-SEA CA
APN: 010 -185-003

RECEIVED
DEC 20 2018
City of Carmel-by-the-Sea
Planning & Building Dept.

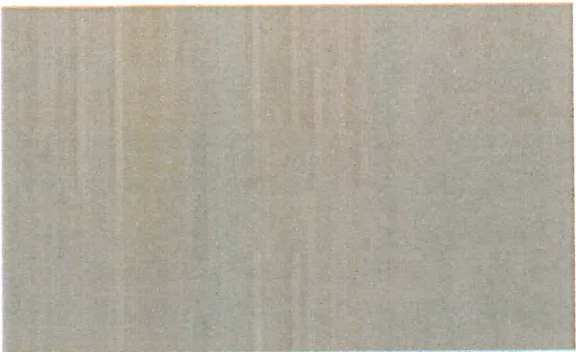
**CLASS ‘A’ NATURAL
SLATE ROOF**
AMERICAN SLATE OR EQUAL



**EXTERIOR STUCCO
WALLS**

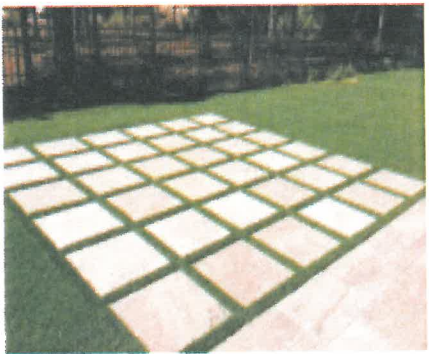


**STAINED CEDAR CORBELS, SILLS,
RAFTER TAILS, TRIM AND
GARAGE DOOR**



CABOT
SEMI-SOLID STAIN:
THATCH

STONE WITH GROWIES



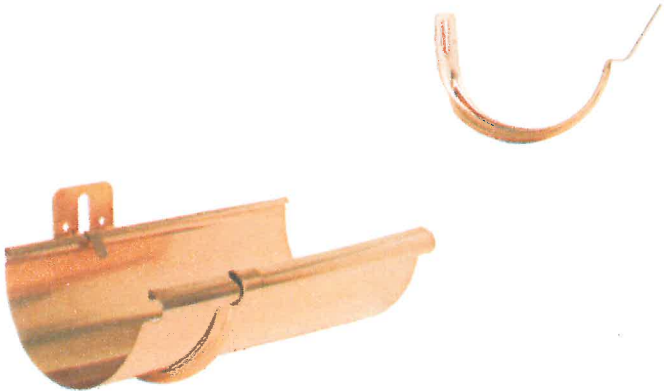
FLAGSTONE



STONE PAVER



**HALF-ROUND COPPER
GUTTERS & DOWNSPOUTS**



RANDOM EXTERIOR STONE



**PAINTED WOOD
EXTERIOR
DOORS AND WINDOWS**



CONCRETE PAVER

