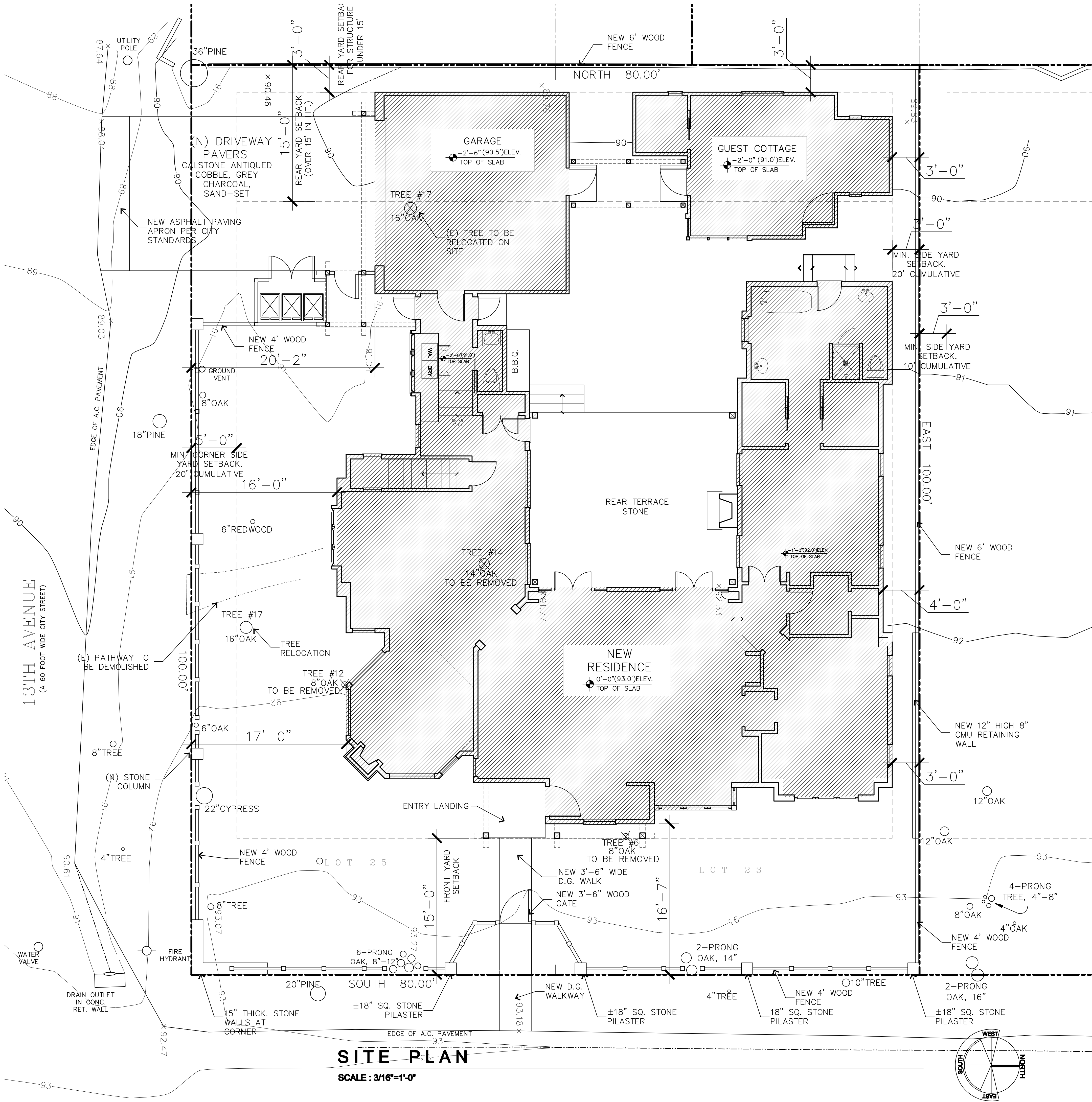


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PROJECT INFORMATION

- PROJECT DESCRIPTION:

DEMOLISH EXISTING S.F.R. ON THREE LEGAL LOTS, MERGE LOTS 23 AND 25 AND BUILD NEW ONE STORY S.F.R. WITH ATTACHED 2 CAR GARAGE AND SEMI-DETACHED GUESTHOUSE, NEW PERIMETER WOOD FENCING
- PROJECT ADDRESS:

NW COR. CASANOVA AND 13TH  
CARMEL, CA. 93921
- PROJECT OWNER:

CINDY AND JR HUNTER  
25974 MISSION ST.  
CARMEL, CA. 93923  
713-858-4061

PLANNING INFORMATION

- A.P.N.

010-281-010
- LEGAL DESCRIPTION

LOT 10 BLOCK AA
- CITY OF CARMEL ZONING:

R-1
- MAX. ALLOWABLE BUILDING HEIGHT:

18' - ONE STORY  
12' - PLATE HEIGHT -ONE STORY
- TREE REMOVAL:

YES
- APPROX. GRADING:

\_\_\_ CY CUT, \_\_\_CY FILL
- PARKING REQUIRED

COVERED: 1  
UNCOVERED: 1
- PARKING PROVIDED

COVERED: 2  
UNCOVERED: 2

BUILDING INFORMATION

- PROJECT CODE COMPLIANCE-CODE EDITIONS USED:

2016 CAL. BUILDING CODE - CBC  
2016 CAL. ELEC. CODE - CEC  
2016 CAL. PLUMB. CODE - CPC  
2016 CAL. GREEN BUILDING STANDARDS CODE - CGBCS  
2016 CAL. FIRE CODE - CFC
- CONSTRUCTION TYPE:

VB
- BUILDING OCCUPANCY:

R-3 / U
- FIRE DEPARTMENT:

FIRE DISTRICT: CARMEL  
AUTOMATIC SPRINKLERS REQUIRED: YES  
WILDLAND URBAN INTERFACE CODES REQUIRED: NO  
W.U.I. ZONE: L.R.A.

RECEIVED

JAN 24 2019

City of Carmel-by-the-Sea  
Planning & Building Dept.

PROJECT SQUARE FOOTAGE INFORMATION

- TOTAL SITE AREA:

= 8,000 S.F. (.18 Ac.)
- BASE FLOOR AREA-ALLOWED

= 2,960 S.F.-LOTS 23 & 25 AT 8,000 S.F.  
240 S.F. 3% BONUS FLR AREA-OWNER INITIATED LOT MERGER  
3,200 S.F.
- BASE FLOOR AREA-PROPOSED

MAIN LIVING AREA 2,337 S.F. (47 S.F. STAIR NOT COUNTED)  
GUEST COTTAGE 356 S.F.  
BASEMENT 31 S.F.  
TOTAL LIVING 2,724 S.F.  
GARAGE 473 S.F.  
TOTAL 3,197 S.F. (3,200 S.F. MAX.)
- TOTAL BASEMENT

31 S.F. (FROM B.F.A.)  
31 S.F. (BONUS - MATCHED BY CITY)  
100 S.F. ('FREE' FROM CITY)  
162 S.F.
- SITE COVERAGE-ALLOWED

= 704 S.F. (22% OF BFA)
- PERMEABLE BONUS

= 320 S.F. (4% OF SITE AREA)  
(IF 50% IS PERMEABLE)
- TOTAL ALLOWED SITE COVERAGE=

1,024 S.F.
- SITE COVERAGE-PROPOSED

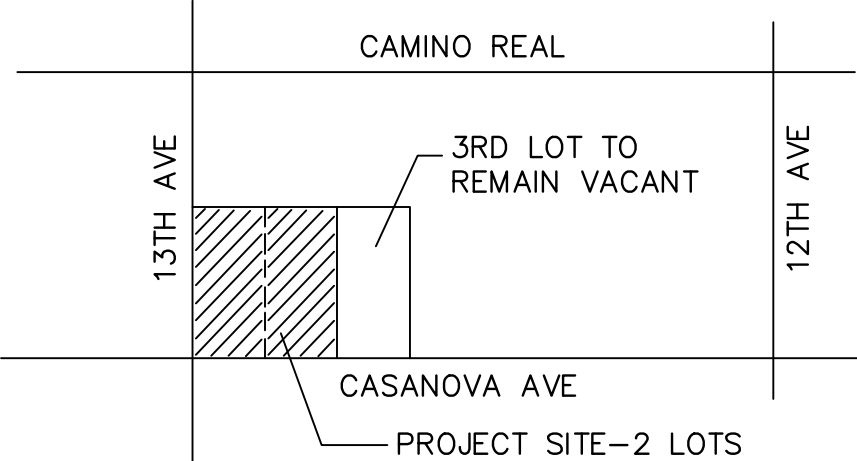
DRIVEWAY = 340 S.F. SEMI-PERM/PERM 340 S.F. NON-PERM  
REAR TERRACE = 438 S.F. 438 S.F.  
REAR TERR. STEPS = 12 S.F. 12 S.F.  
BBQ = 23 S.F. 23 S.F.  
GARAGE LANDING = 12 S.F. 12 S.F.  
GUEST HSE LANDING = 12 S.F. 12 S.F.  
DRIVEWAY WALKWAY = 47 S.F. 47 S.F.  
BREEZEWAY LANDING = 10 S.F. 10 S.F.  
M. BATH LANDING = 17 S.F. 17 S.F.  
FRONT WALK = 51 S.F. 51 S.F.  
ENTRY LANDING = 45 S.F. 45 S.F.  
TOTAL = 1,007 S.F. 529 S.F. 478 S.F.
- BUILDING COVERAGE-EXISTING

MAIN RESIDENCE = 2,511 S.F.  
GARAGE-CASANOVA = 489 S.F.  
GARAGE-REAR OF LOT = 462 S.F.  
TOTAL = 3,462 S.F.
- SITE COVERAGE-EXISTING

A/C DRIVEWAYS = 1,626 S.F.  
DECKS = 610 S.F.  
CONCRETE WALKWAYS = 1,227 S.F.  
TOTAL = 3,463 S.F.

VICINITY MAP

NOT TO SCALE



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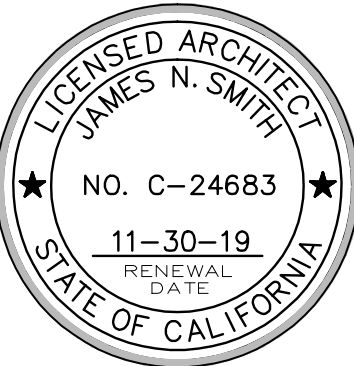
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93950

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CEL: 831.915-9518

PROJECT/CLIENT

HUNTER  
RESIDENCE

JR & CINDY HUNTER  
NW CASANOVA & 13TH  
CARMEL, CA.



SHEET TITLE

SITE PLAN

ISSUE REVISIONS

- 06-27-18

PRELIM. REVIEW
- 07-03-18

FOREST & BEACH COMM
- 12-05-18

PLANNING SUBMITTAL
- 01-23-19

FINAL PLANNING REVIEW



DATE

PROJECT NUMBER

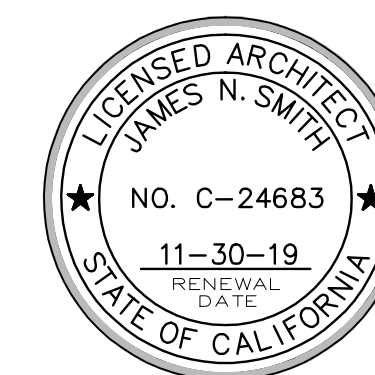
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SHEET TITLE

## SITE PLAN

○ ISSUE      △ REVISIONS

① 06-27-18  
PRELIM. REVIEW

② 07-03-18  
FOREST & BEACH COMM

③ 12-05-18  
PLANNING SUBMITTAL

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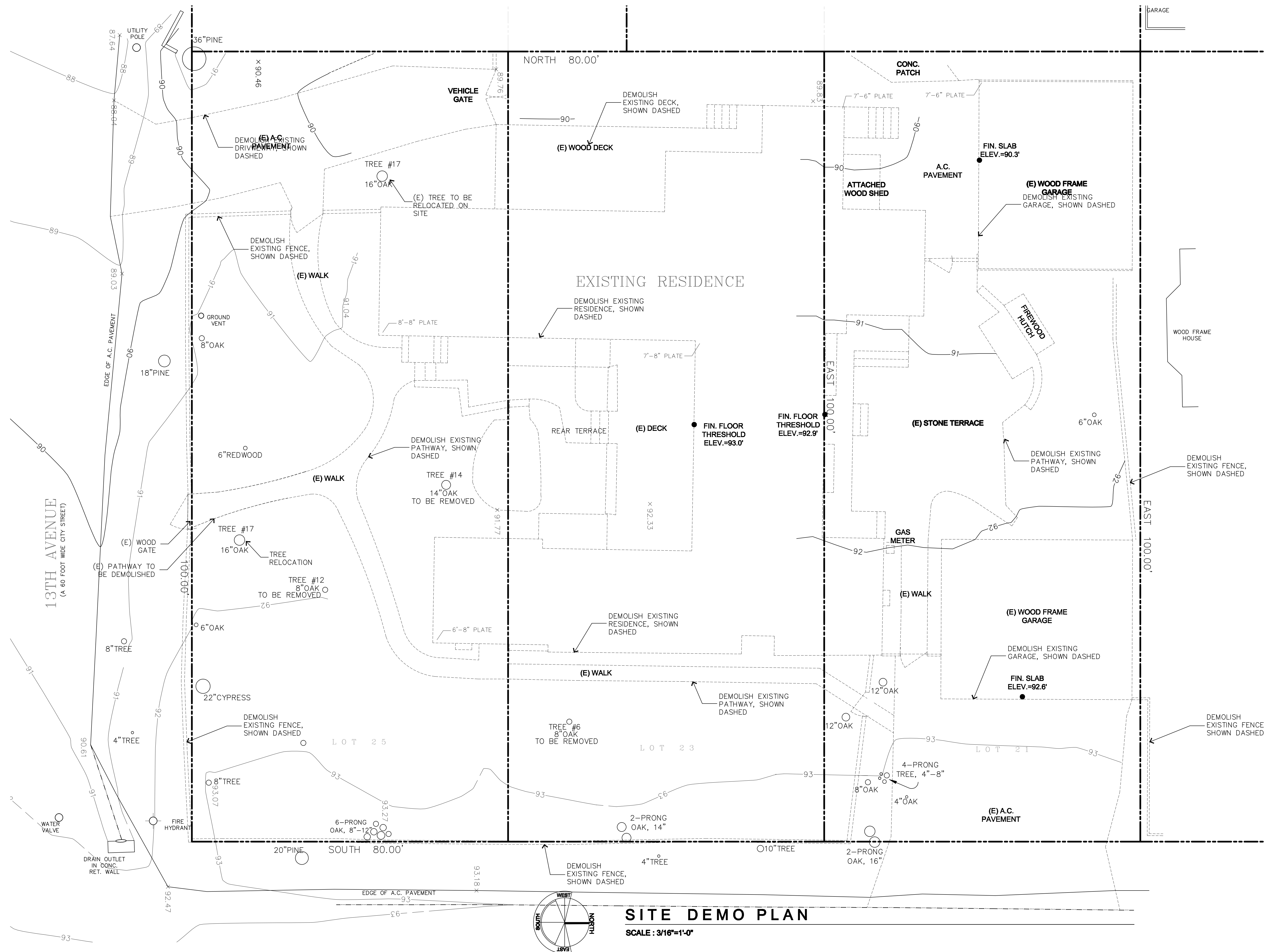
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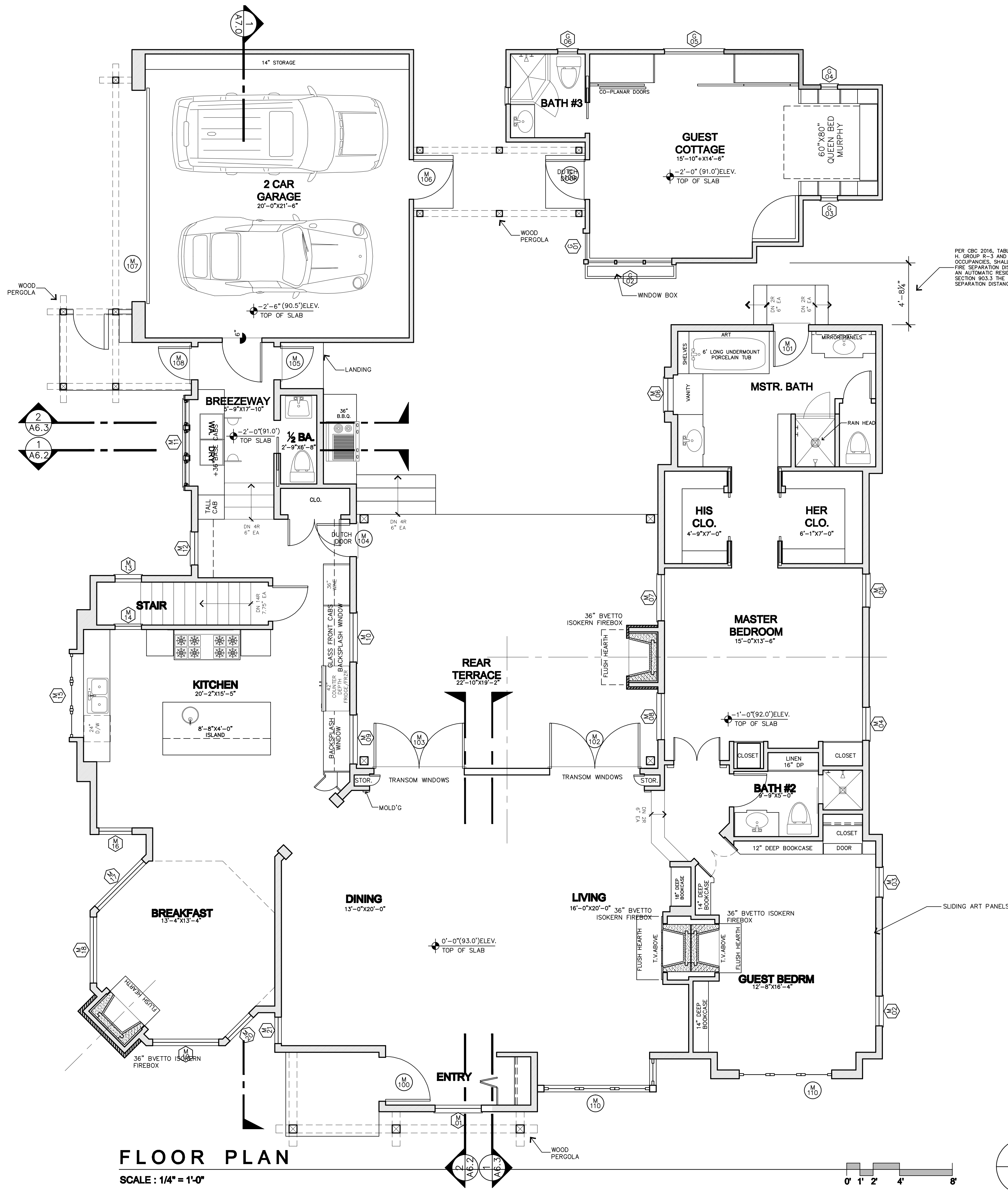
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SHEET NUMBER

# A1.0E





<h1>PLAN NOTES</h1>	
<h2>WALL LEGEND</h2>	
<p>FOOTNOTE H: OCCUPANCIES WHEN USED AS ACCESSORY TO GROUP R-3 BE REQUIRED TO HAVE A FIRE-RESISTANCE RATING WHERE THE IS 5 FEET OR MORE; OR WHEN EQUIPPED THROUGHOUT WITH FIRE SPRINKLER SYSTEM INSTALLED IN ACCORDANCE WITH RESISTANCE RATING SHALL NOT BE REQUIRED WHERE THE FIRE 5 FEET OR MORE.</p>	

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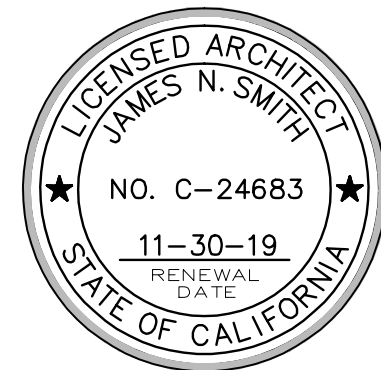
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







## HUNTER RESIDENCE

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SHEET TITLE

# FLOOR PLAN

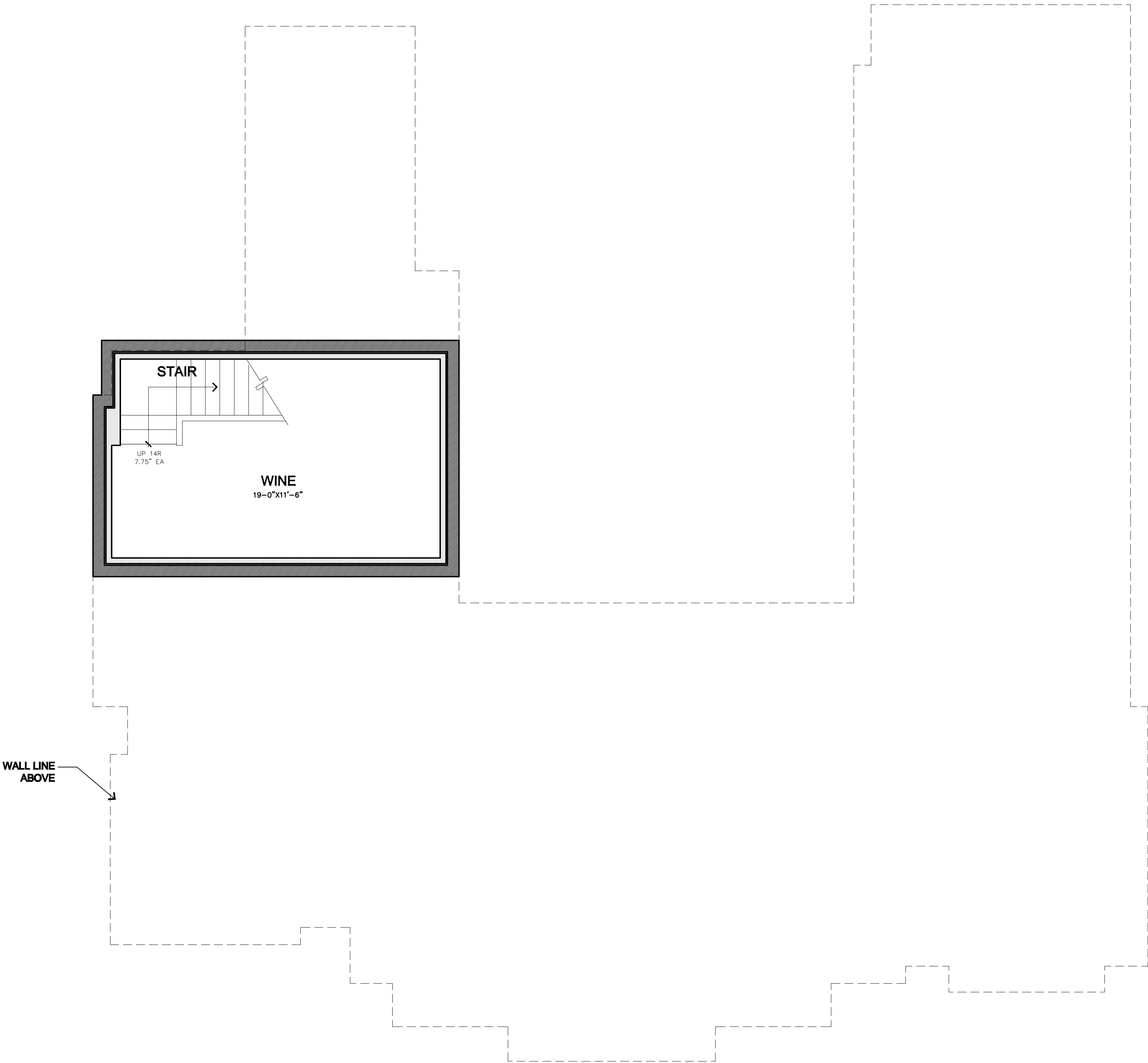
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|---|-----------------------------------|---|-----------|
|  | 06-27-18<br>PRELIM. REVIEW        |   |           |
|  | 07-03-18<br>FOREST & BEACH COMM   |   |           |
|  | 12-05-18<br>PLANNING SUBMITTAL    |   |           |
|  | 01-23-19<br>FINAL PLANNING REVIEW |   |           |
|  |                                   |   |           |
|  |                                   |   |           |
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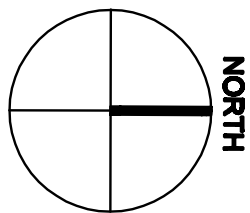
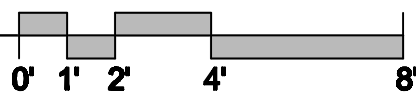
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LOWER LEVEL PLAN

SCALE : 1/4" = 1'-0"



PLAN NOTES

WALL LEGEND

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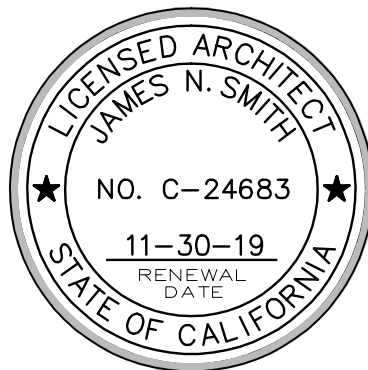
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SHEET TITLE

LOWER LEVEL  
FLOOR PLAN

ISSUE REVISIONS

1 06-27-18  
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2 07-03-18  
FOREST & BEACH COMM

3 12-05-18  
PLANNING SUBMITTAL

DATE

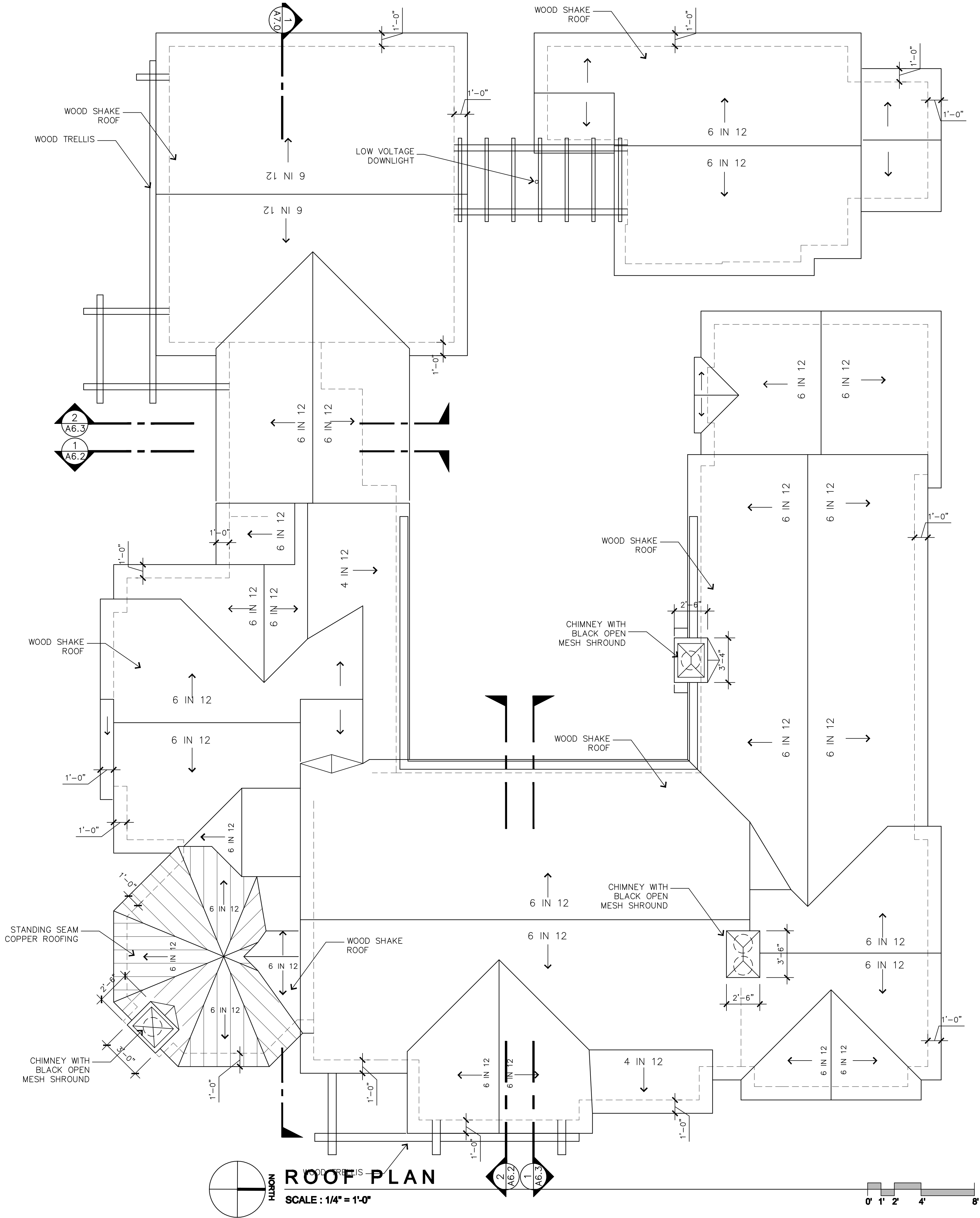
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## ROOF PLAN NOTES

1. ROOF MATERIAL TO BE STANDING SEAM METAL ROOFING
2. FIELD VERIFY WITH OWNER AND ARCHITECT COLOR AND/OR BLEND OF ROOFING UNITS PRIOR TO INSTALLATION
3. ROOF SLOPE = 1 IN 12 UNLESS OTHERWISE NOTED
4. OVERHANG = 12" UNLESS OTHERWISE NOTED
5. COPPER OR ZINC GUTTERS WITH ROUND DOWNSPOUTS
6. GANG ALL VENT STACKS TO MINIMIZE QUANTITY OF ROOF JACKS AND LOCATE ROOF JACKS IN LEAST VISIBLE LOCATION
7. SPARK ARRESTOR TO BE 3 TIMES THE NET FREE OPENING OF THE CHIMNEY OUTLET
8. CHIMNEY SHALL BE 2' ABOVE THE HIGHEST POINT OF THE ROOF WITHIN 10' MEASURED HORIZONTALLY
9. METAL CHIMNEYS SHALL BE ANCHORED AT EACH FLOOR AND AT THE ROOF WITH (2) 1-1/2"x8" S.S. METAL STRAPS LOOPED AROUND THE CHIMNEY AND NAILED WITH NOT LESS THAN (6) 8d NAILS PER STRAP AT EACH JOIST OR RAFTER PER UBC 3102.6 TO PREVENT LATERAL DISPLACEMENT.
10. EACH BUNDLE OF ROOFING SHALL BEAR LABELS FROM AN ICBO ACCREDITED QUALITY CONTROL AGENCY IDENTIFYING THEIR ROOF COVERING CLASSIFICATION AND INDICATING THEIR COMPLIANCE WITH ICC-ES-EG107 AND WITH THE WEATHERING REQUIREMENTS CONTAINED IN HEALTH AND SAFETY CODE SECTION 13132.70 (R902.2 GRC)
11. ALL PLUMBING VENTS TO BE A MINIMUM 10 FEET AWAY FROM, OR AT LEAST 3 FEET ABOVE ANY OPERABLE SKYLIGHTS PER CPC 906.2.
12. PER C.B.C. CHAPTER 7A (ROOF EDGE) AND CHAPTER 15 (ROOF FIELD), LARGE GAPS BETWEEN THE ROOF COVERING AND THE ROOF DECK (SHEATHING) MUST BE PLUGGED TO PREVENT EMBER OR FLAME INTRUSION. EXAMPLE: BIRD-STOPS OR MORTAR FOR BARREL TILE ROOFS AT EAVES.
13. DOWNSPOUTS SHALL BE ROUTED VIA TIGHT-LINE TO ON-SITE DISPERSAL AREAS AND/OR STORM DRAINS AS PER CITY STANDARDS

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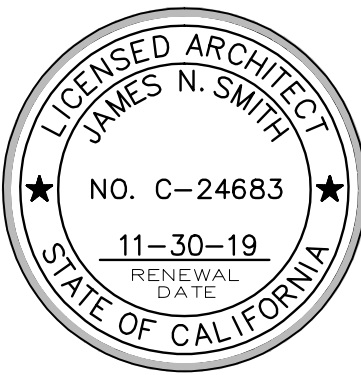
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ROOF PLAN

ISSUE REVISIONS

- |   |                                   |
|---|-----------------------------------|
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| 3 | 12-05-18<br>PLANNING SUBMITTAL    |
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1 NORTH ELEVATION  
SCALE : N.T.S.



2 EAST ELEVATION-GARAGE  
SCALE : N.T.S.



3 EAST ELEVATION  
SCALE : N.T.S.



4 SOUTH ELEVATION  
SCALE : N.T.S.

1 EXISTING ELEVATIONS

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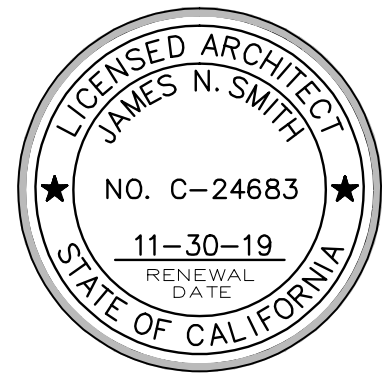
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SHEET TITLE

EXTERIOR  
ELEVATIONS

ISSUE	REVISIONS
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3 12-05-18 PLANNING SUBMITTAL	

DATE

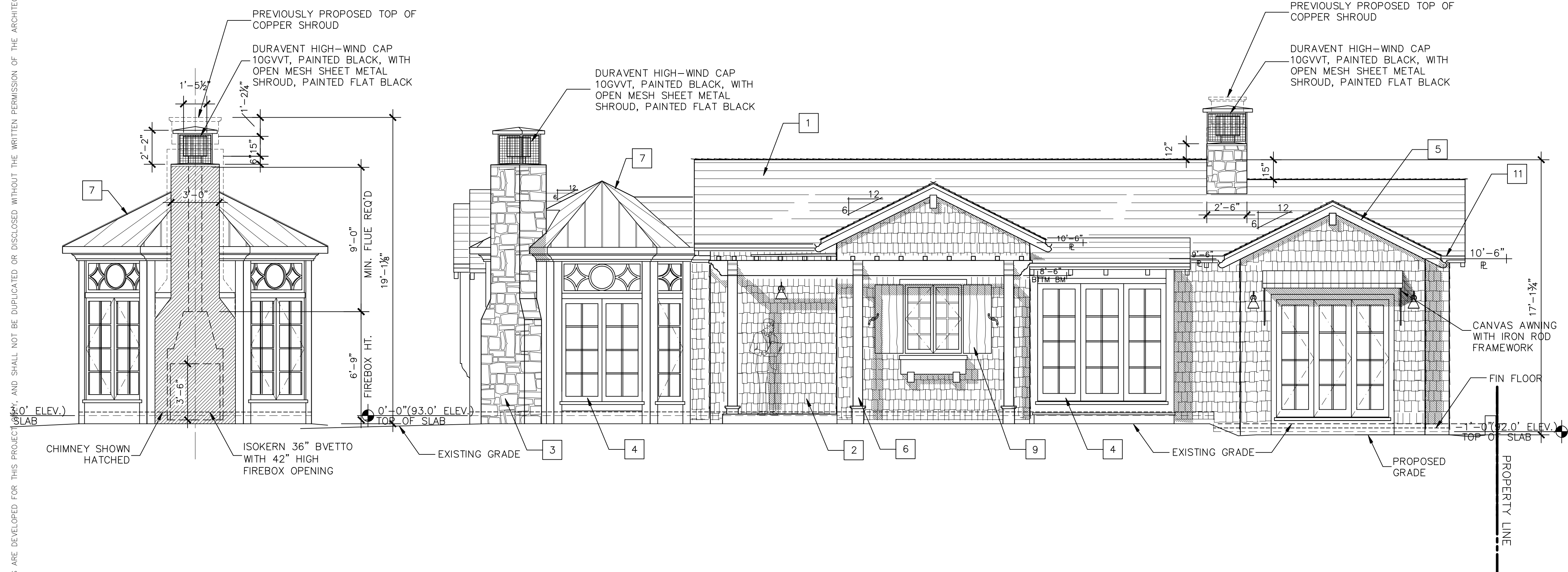
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SHEET NUMBER

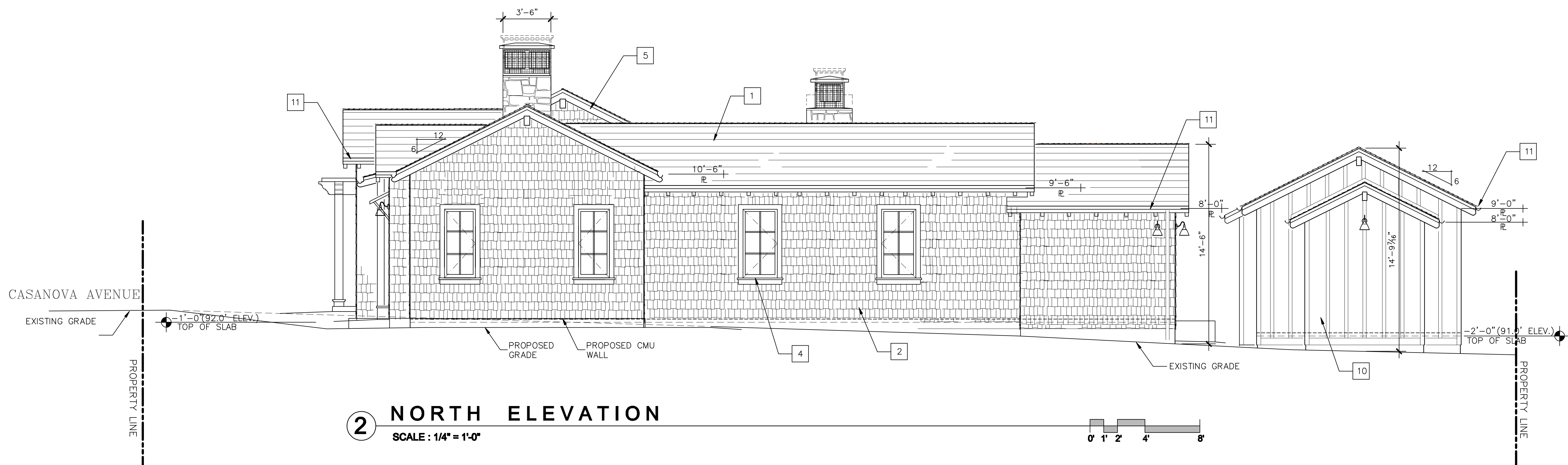
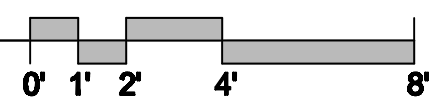
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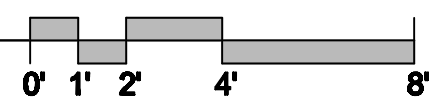
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**1 EAST ELEVATION - CASANOVA AVE**  
SCALE : 1/4" = 1'-0"



**2 NORTH ELEVATION**  
SCALE : 1/4" = 1'-0"



## ELEVATION MATERIALS LEGEND

- 1 WOOD SHAKE ROOF TREATED TO BE CLASS 'B' WITH A CLASS 'A' ASSEMBLY UNDERLAYMENT.
- 2 HAND SPLIT, THICK BUTT, HEAVY CEDAR COMBED SHAKES BY JAMES HARDIE OR EQ. COLOR: BEN MOORE SNOW WHITE OC-66
- 3 EXTERIOR STONE VENEER: BLUEISH-GRAY, BEUCEL "CASTLE ROCK" PATTERN, COLOR: "BARNWOOD BLUE CASTLE ROCK"
- 4 WOOD EXTERIOR DOORS AND WINDOWS BY BEND RIVER, OR EQUAL. FEATURE DOORS AND WINDOWS COLOR: BEN MOORE MIDNITE 2131-20. REAR AREA D/W COLOR: BEN MOORE SNOW WHITE OC-66
- 5 FASCIA BOARD PRE-PRIMED RADIATA PINE "ADVANTAGE PLUS" BY KELLEHER, OR EQ. COLOR: BM SNOW WHITE
- 6 6X AND 8X PAINTED CEDAR WOOD TRELLISES. COLOR: BEN MOORE SNOW WHITE OC-66
- 7 COPPER STANDING SEAM ROOFING WITH SEAMS AT 12" O.C. COPPER TO BE BE CHEMICALLY PATINA'D TO A MOTTLED BROWN
- 8 WOOD SECTIONAL GARAGE DOOR WITH T.G. GLASS PANELS, COLOR: BEN MOORE MIDNITE 2131-20
- 9 WOOD SHUTTERS, COLOR: WEATHERED GREEN
- 10 BOARD AND BATTEN WOOD SIDING WITH 1X4 BATTENS AT 16" O.C. COLOR: PAINTED BEN MOORE GULL WING GREY 2134-50
- 11 NATURAL UNSEALED COPPER GUTTERS, DOWNSPOUTS, CHIMNEY SHROUDS, EXTERIOR LIGHT HOUSINGS AND FLASHING
- 12 WOOD FENCE. COLOR: BEN MOORE SNOW WHITE OC-66

## ELEVATION NOTES

JAMES  
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SMITH  
ARCHITECT, Inc.

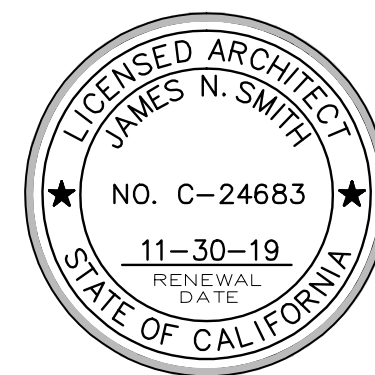
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PROJECT/CLIENT

## HUNTER RESIDENCE

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SHEET TITLE

## EXTERIOR ELEVATIONS

○ ISSUE      △ REVISION

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③ 12-05-18  
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④ 01-23-19  
FINAL PLANNING REVIEW



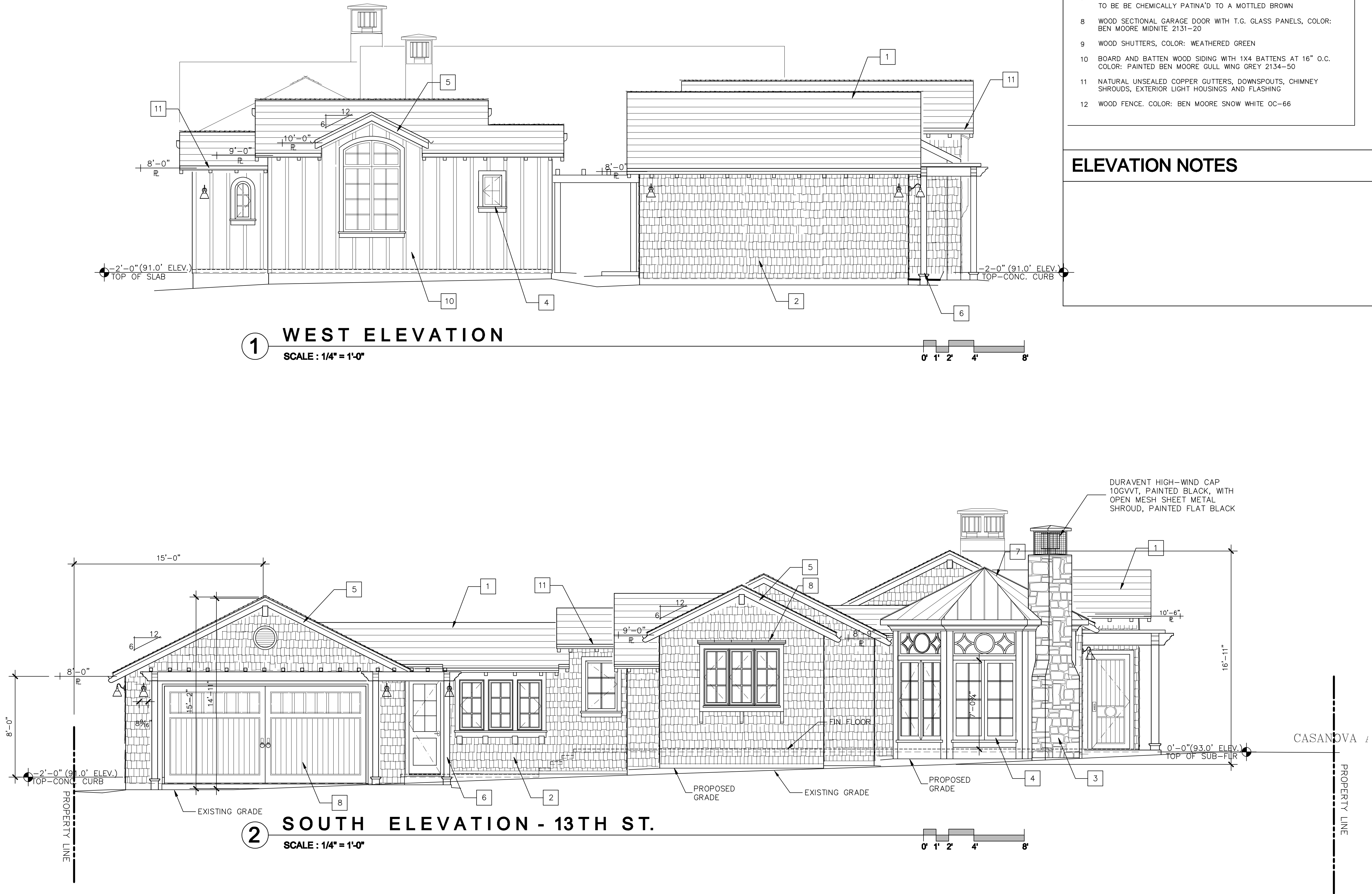
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- WOOD FENCE. COLOR: BEN MOORE SNOW WHITE OC-66

## ELEVATION NOTES

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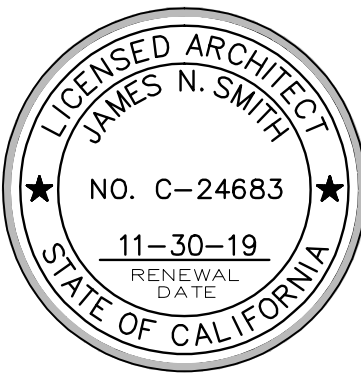
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## EXTERIOR ELEVATIONS

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- |   |                                   |
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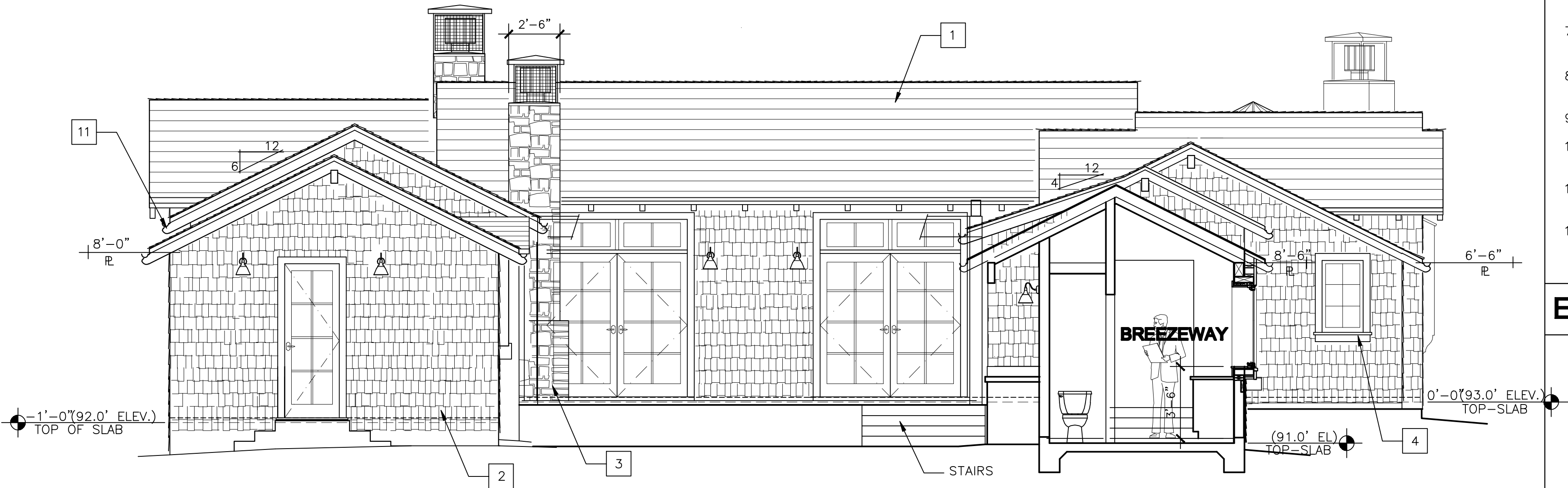
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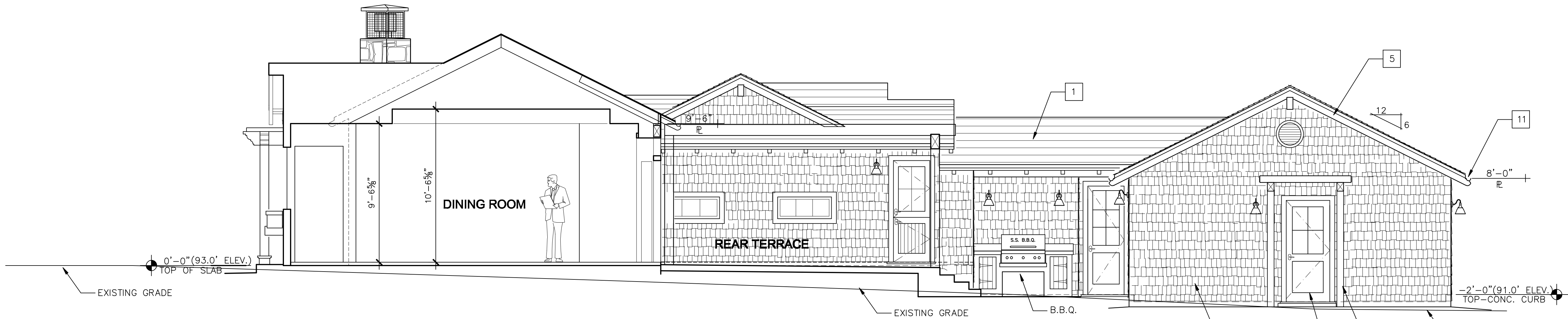
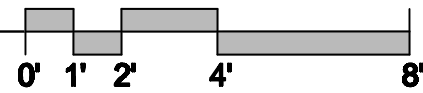
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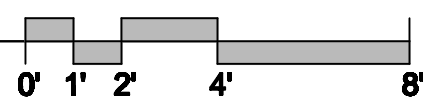
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**1 WEST ELEVATION - COURTYARD**  
SCALE : 1/4" = 1'-0"



**2 NORTH ELEVATION - COURTYARD**  
SCALE : 1/4" = 1'-0"



## ELEVATION MATERIALS LEGEND

- 1 WOOD SHAKE ROOF TREATED TO BE CLASS 'B' WITH A CLASS 'A' ASSEMBLY UNDERLAYMENT.
- 2 HAND SPLIT, THICK BUTT, HEAVY CEDAR COMBED SHAKES BY JAMES HARDIE OR EQ. COLOR: BEN MOORE SNOW WHITE OC-66
- 3 EXTERIOR STONE VENEER: BLUEISH-GREY, BEUCHEL "CASTLE ROCK" PATTERN, COLOR: "BARNWOOD BLUE CASTLE ROCK"
- 4 WOOD EXTERIOR DOORS AND WINDOWS BY BEND RIVER, OR EQUAL. FEATURE DOORS AND WINDOWS COLOR: BEN MOORE MIDNITE 2131-20. REAR AREA D/W COLOR: BEN MOORE SNOW WHITE OC-66
- 5 FASCIA BOARD PRE-PRIMED RADIATA PINE "ADVANTAGE PLUS" BY KELLEHER, OR EQ. COLOR: BM SNOW WHITE
- 6 6X AND 8X PAINTED CEDAR WOOD TRELLISES. COLOR: BEN MOORE SNOW WHITE OC-66
- 7 COPPER STANDING SEAM ROOFING WITH SEAMS AT 12" O.C. COPPER TO BE BE CHEMICALLY PATINA'D TO A MOTTLED BROWN
- 8 WOOD SECTIONAL GARAGE DOOR WITH T.G. GLASS PANELS, COLOR: BEN MOORE MIDNITE 2131-20
- 9 WOOD SHUTTERS, COLOR: WEATHERED GREEN
- 10 BOARD AND BATTEN WOOD SIDING WITH 1X4 BATTENS AT 16" O.C. COLOR: PAINTED BEN MOORE GULL WING GREY 2134-50
- 11 NATURAL UNSEALED COPPER GUTTERS, DOWNSPOUTS, CHIMNEY SHROUDS, EXTERIOR LIGHT HOUSINGS AND FLASHING
- 12 WOOD FENCE. COLOR: BEN MOORE SNOW WHITE OC-66

## ELEVATION NOTES

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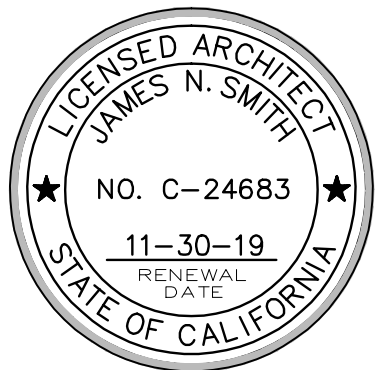
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PROJECT/CLIENT

**HUNTER  
RESIDENCE**

**JR & CINDY HUNTER  
NW CASANOVA & 13TH  
CARMEL, CA.**



SHEET TITLE

## EXTERIOR ELEVATIONS

ISSUE REVISIONS

1 06-27-18  
PRELIM. REVIEW

2 07-03-18  
FOREST & BEACH COMM

3 12-05-18  
PLANNING SUBMITTAL

4 01-23-19  
FINAL PLANNING REVIEW



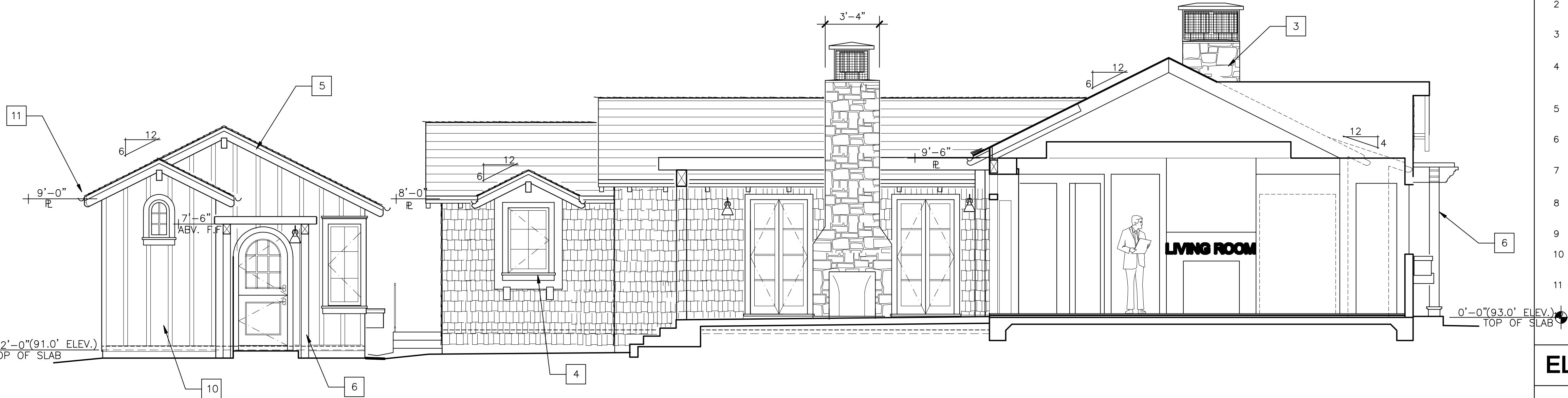
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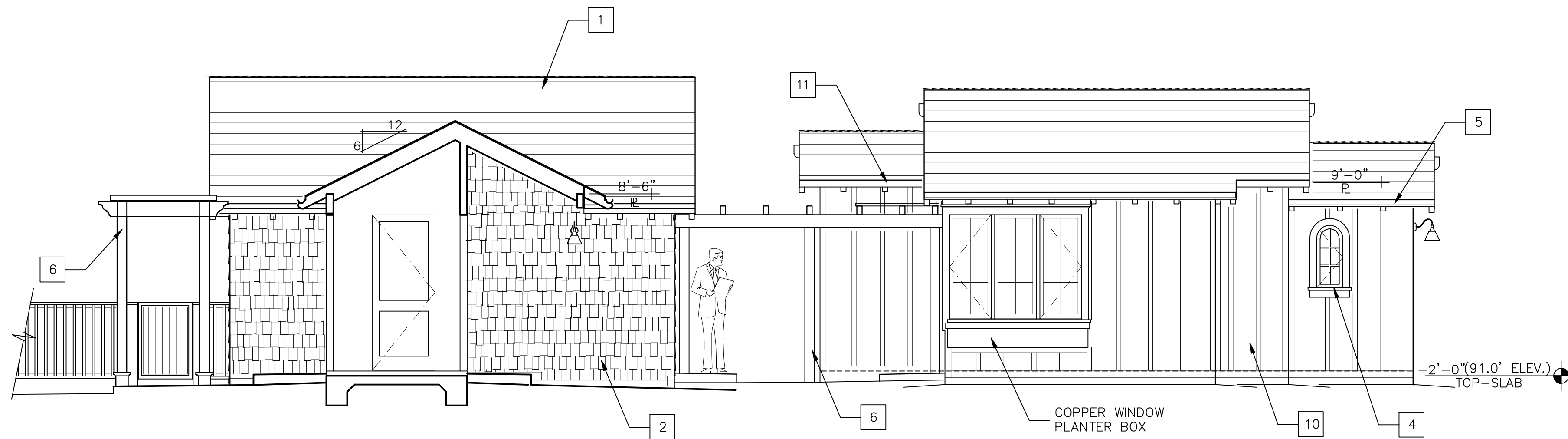
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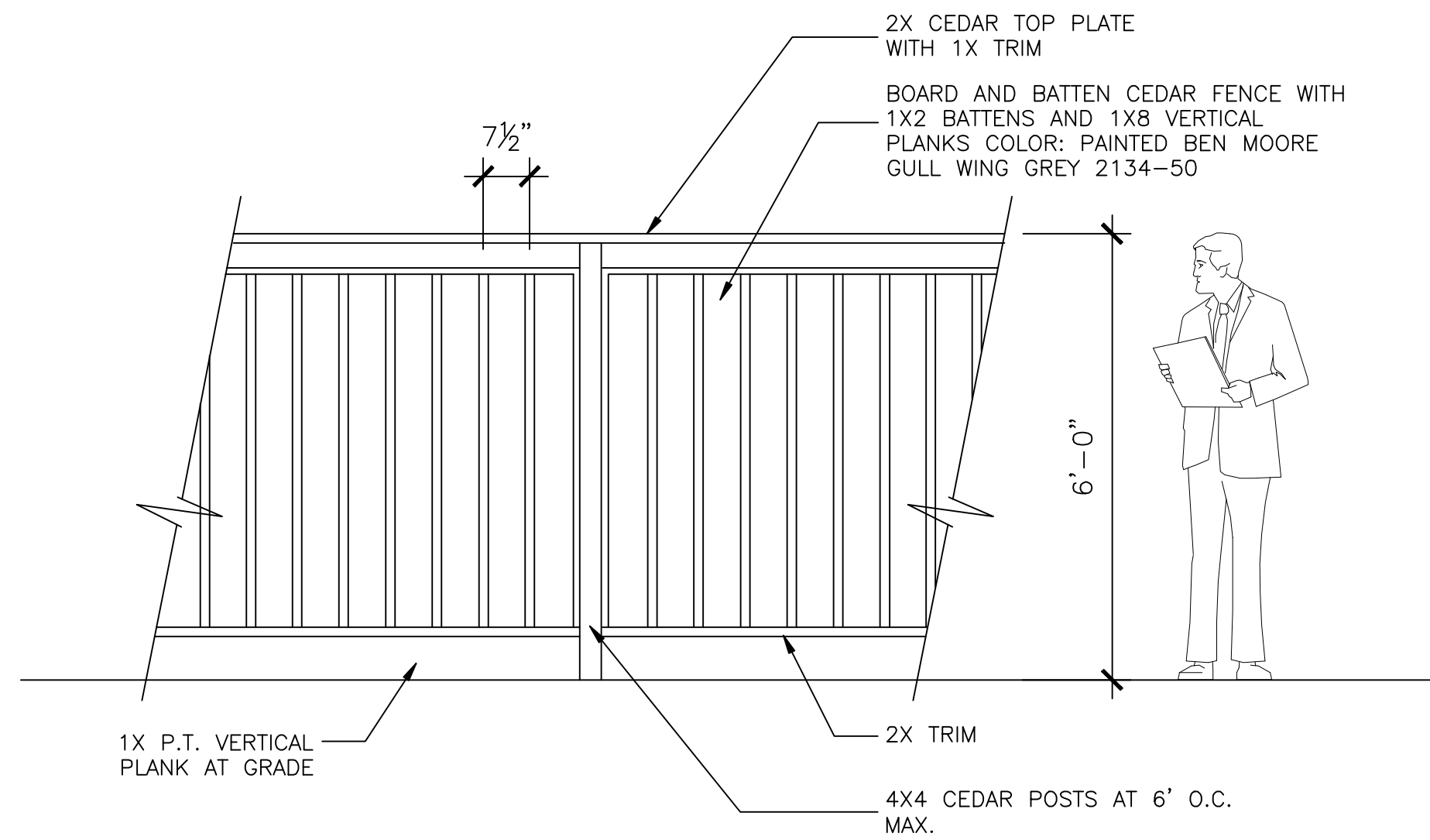
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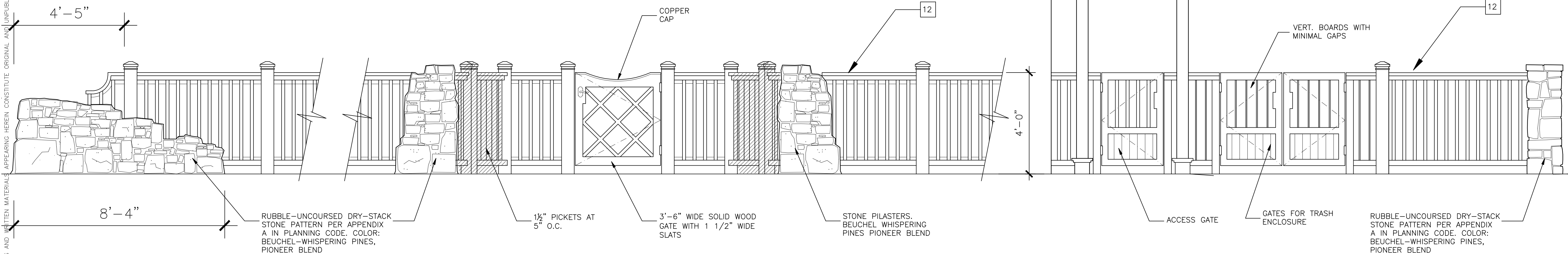
**1 SOUTH ELEVATION - COURTYARD**  
SCALE : 1/4" = 1'-0"



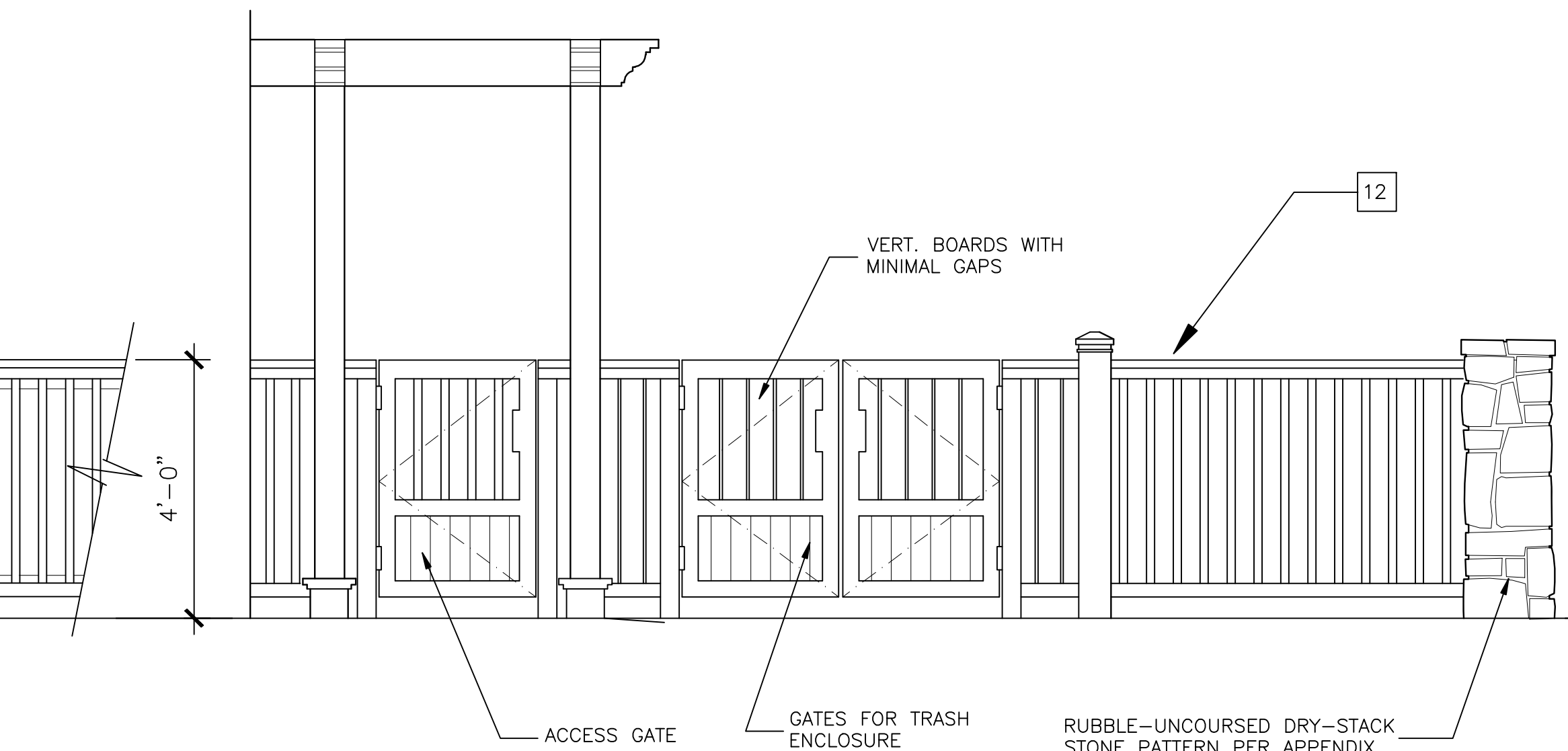
**2 SECTION D-EAST ELEVATION - GUEST UNIT**  
SCALE : 1/4" = 1'-0"



**5 6 FT. SOLID WOOD FENCE ELEVATION**



**3 FENCE AND ENTRY GATE ELEVATION**  
SCALE : 1/2" = 1'-0"



**4 TRASH ELEVATION GATES ELEVATION**  
SCALE : 1/2" = 1'-0"

## ELEVATION MATERIALS LEGEND

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## ELEVATION NOTES

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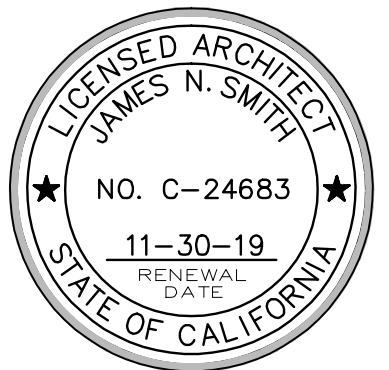
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SHEET TITLE

EXTERIOR  
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1	06-27-18 PRELIM. REVIEW
2	07-03-18 FOREST & BEACH COMM
3	12-05-18 PLANNING SUBMITTAL
4	01-23-19 FINAL PLANNING REVIEW

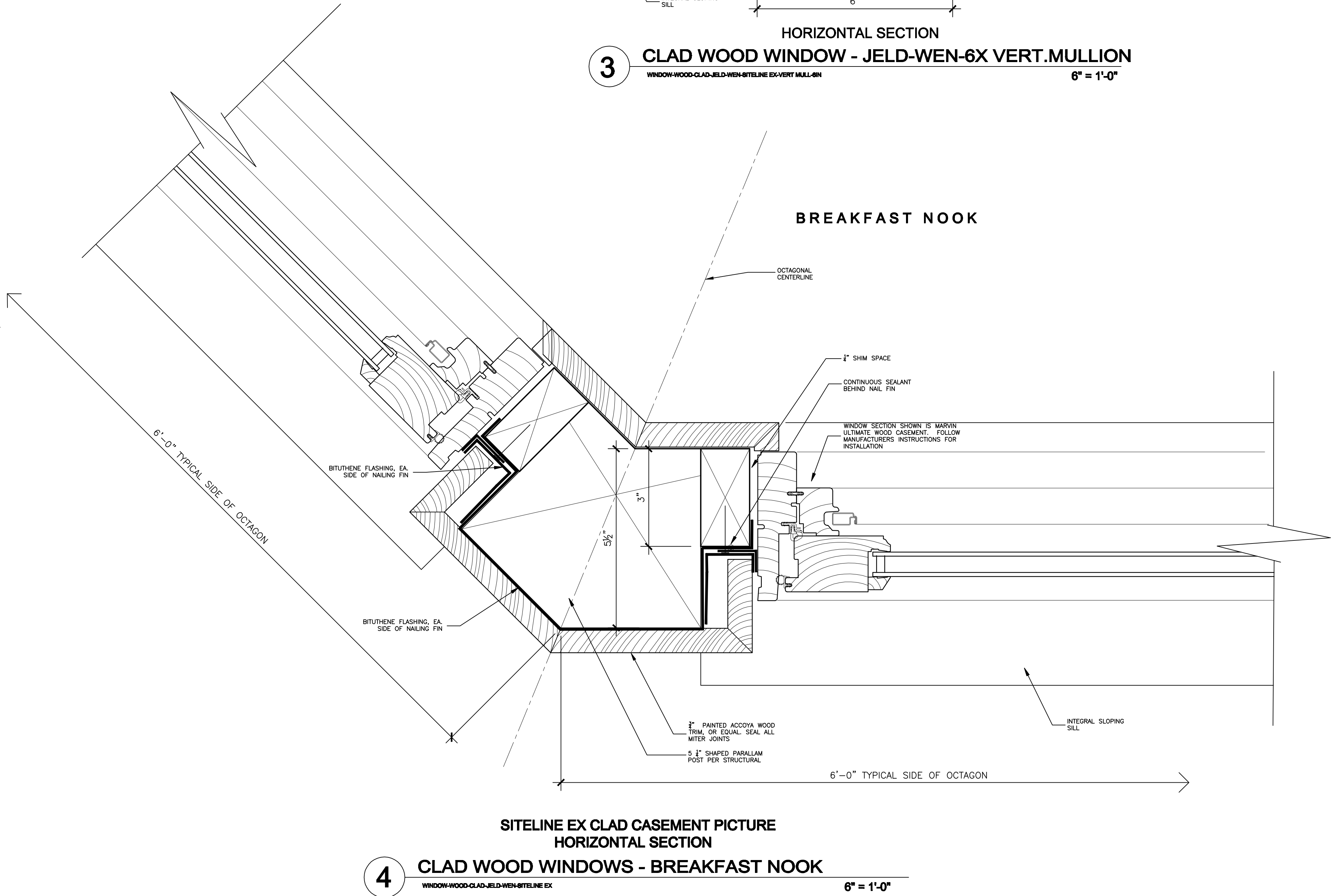
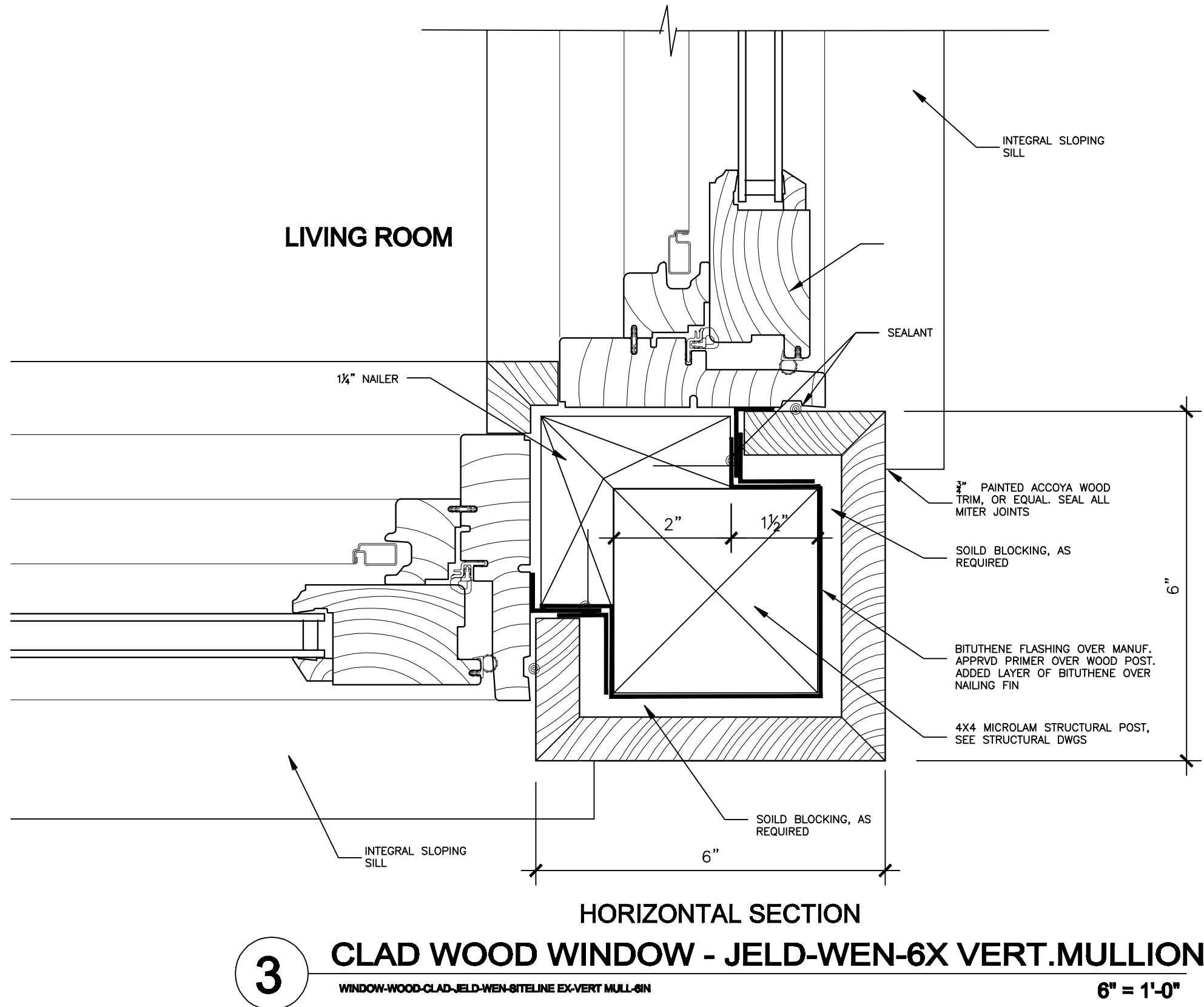
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PROJECT NUMBER	

SHEET NUMBER

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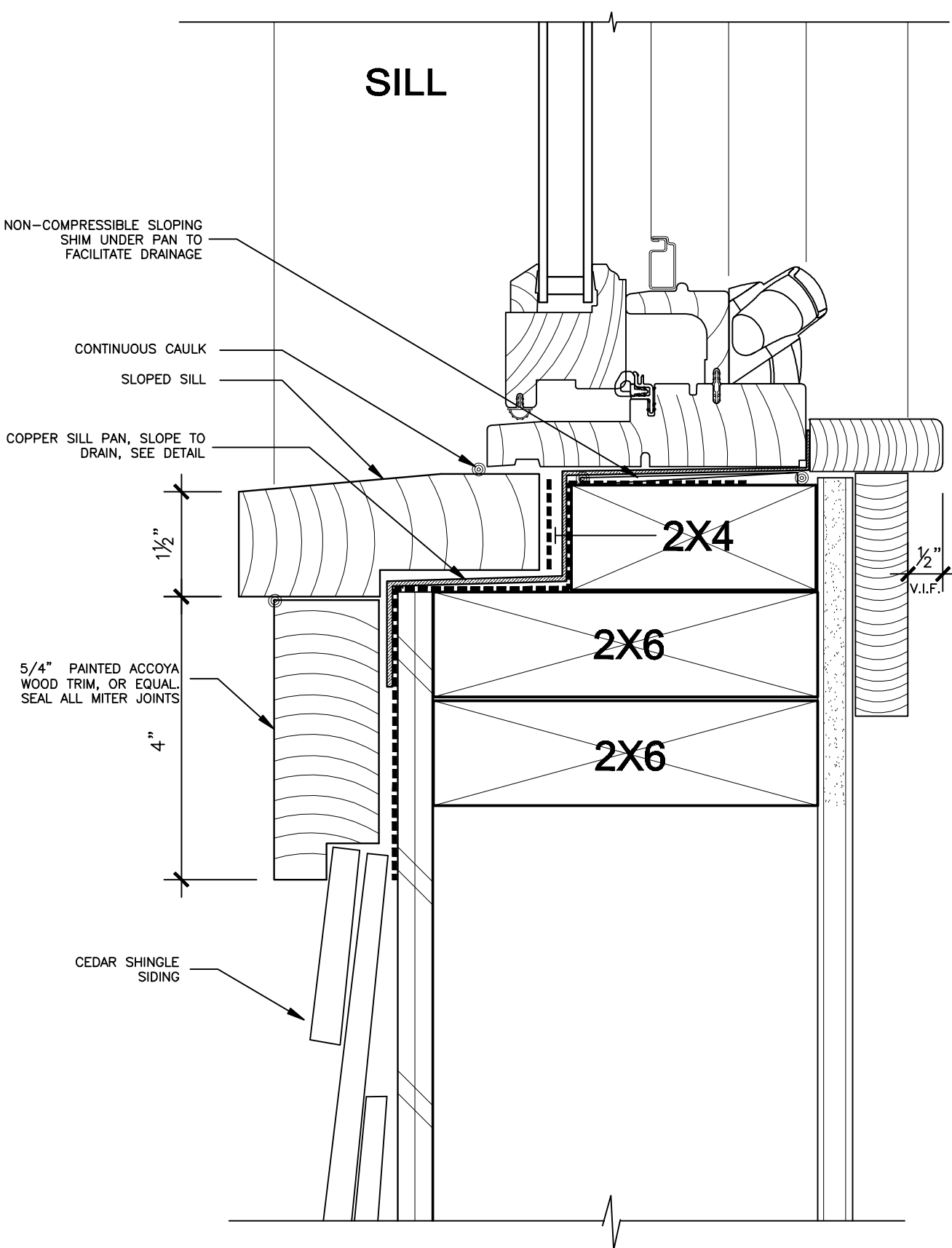
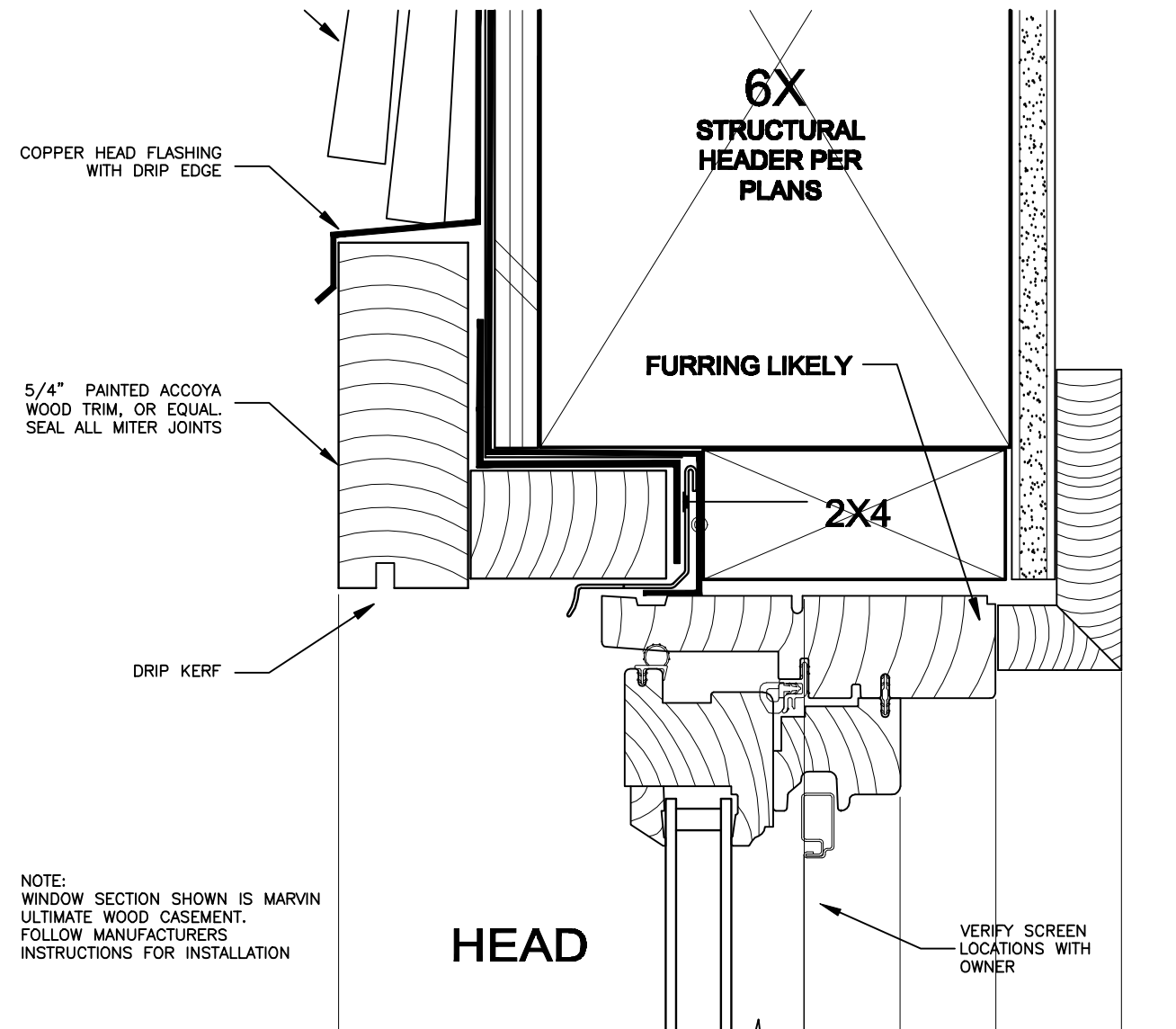
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#### WINDOW INSTALLATION NOTES:

1. ALL MANUFACTURER INSTALLATION RECOMMENDATIONS FOR SPECIFIC WINDOW MODEL SHALL TO BE FOLLOWED TO THE GREATEST EXTENT APPLICABLE TO THIS INSTALLATION.
2. VERIFY WITH BUILDING INSPECTOR IF "DESIGN PRESSURE REQUIREMENTS" (DPR) IS REQUIRED. IF SO, FOLLOW MANUFACTURER'S INSTALLATION INSTRUCTIONS TO MAINTAIN FACTORY-TESTED RATINGS.
3. NAILING FIN TO BE SET INTO GENEROUS BED OF APPROVED SEALANT. APPLY FIN DIRECTLY TO PLY SHEATHING IF DPR REQUIREMENTS APPLY. IF NO NAILING FIN COMES STANDARD, ADD MANUFACTURER ACCESSORY OR OTHER SUITABLE "WATER DAM" TYPE CORROSION-RESISTANT FLASHING KERFED INTO WINDOW FRAME.
4. USE HIGH-QUALITY, EXTERIOR GRADE, NEUTRAL-CURE, CLEAR, PAINTABLE SILICONE SEALANT (COMPATIBLE WITH WINDOW EXTRUSION, WOOD AND EXTERIOR WALL FINISH) UNLESS OTHERWISE SPECIFIED BY MANUFACTURER
5. USE CARBISLE COATINGS & WATERPROOFING ALL WEATHER PRIMER (COW AWP), OR MANUF. APPROVED EQUAL, AT ALL CRITICAL WOOD TO BITUTHENE CONTACT AREAS FOR PROPER BONDING.

#### 1 ALUMINUM FRAME WINDOW - NOTES



#### 2 CASEMNT WOOD WINDOW - SHINGLES

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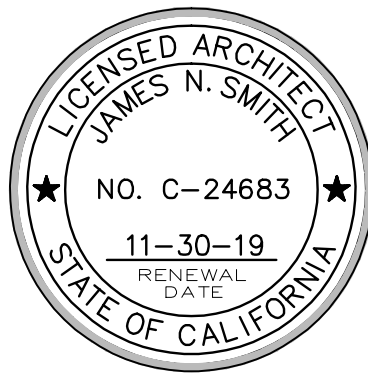
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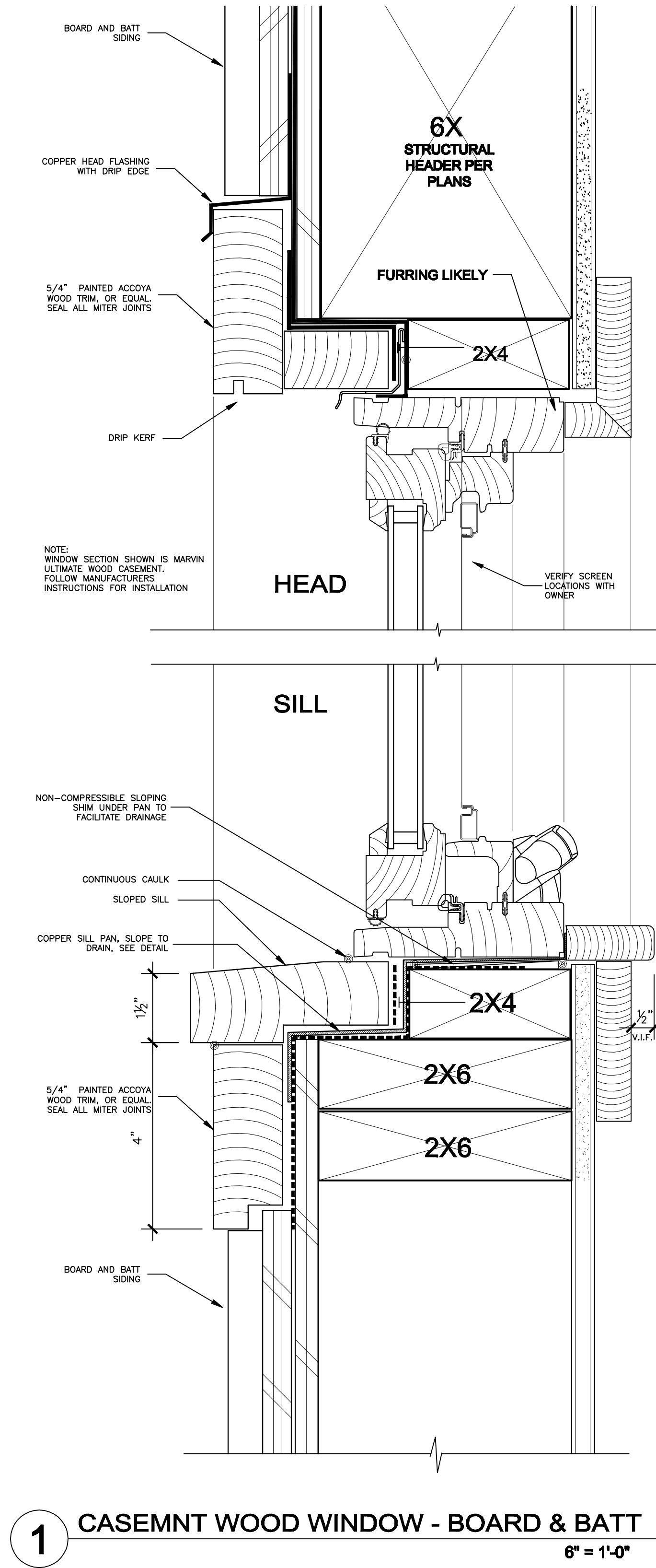
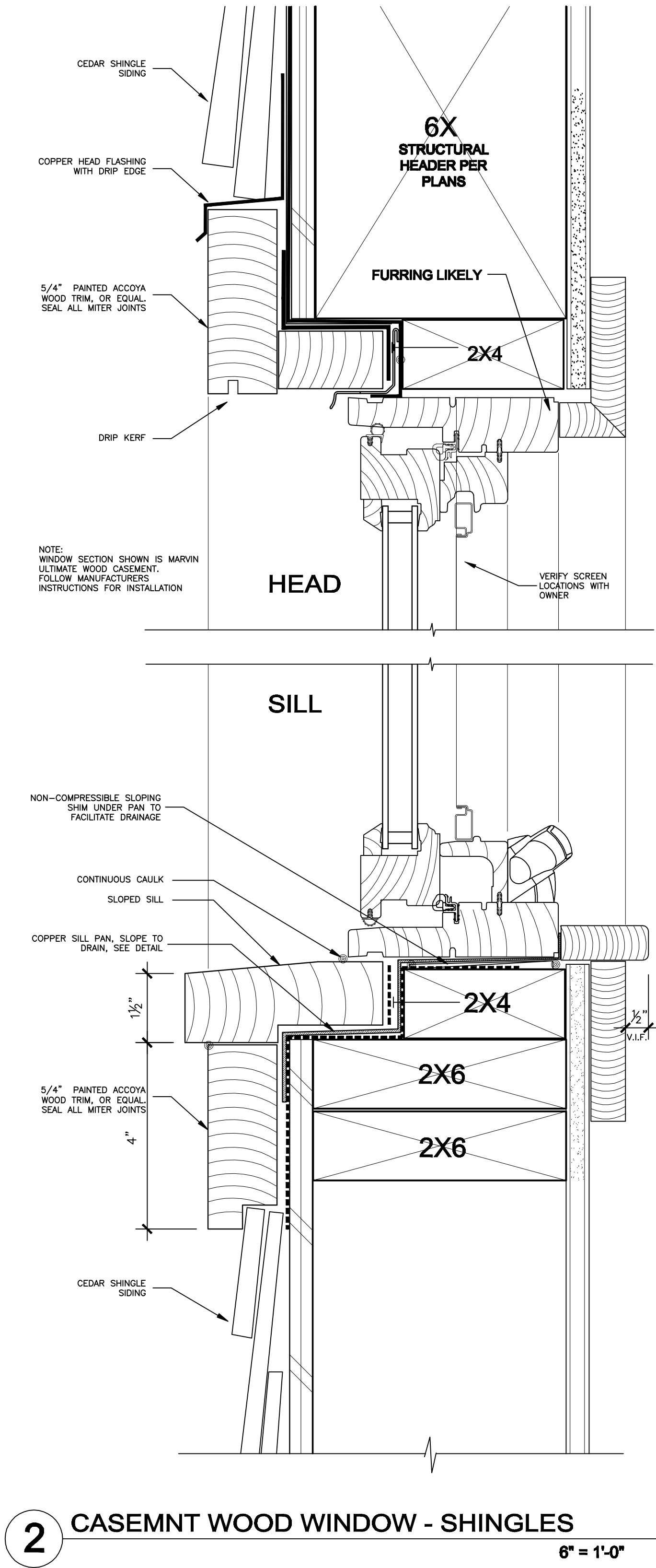
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CARMEL, CA.

LICENSED ARCHITECT  
JAMES N. SMITH  
NO. C-24683  
11-30-19  
RENEWAL DATE  
STATE OF CALIFORNIA

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○ ISSUE

△ REVISIONS

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③ 12-05-18  
PLANNING SUBMITTAL

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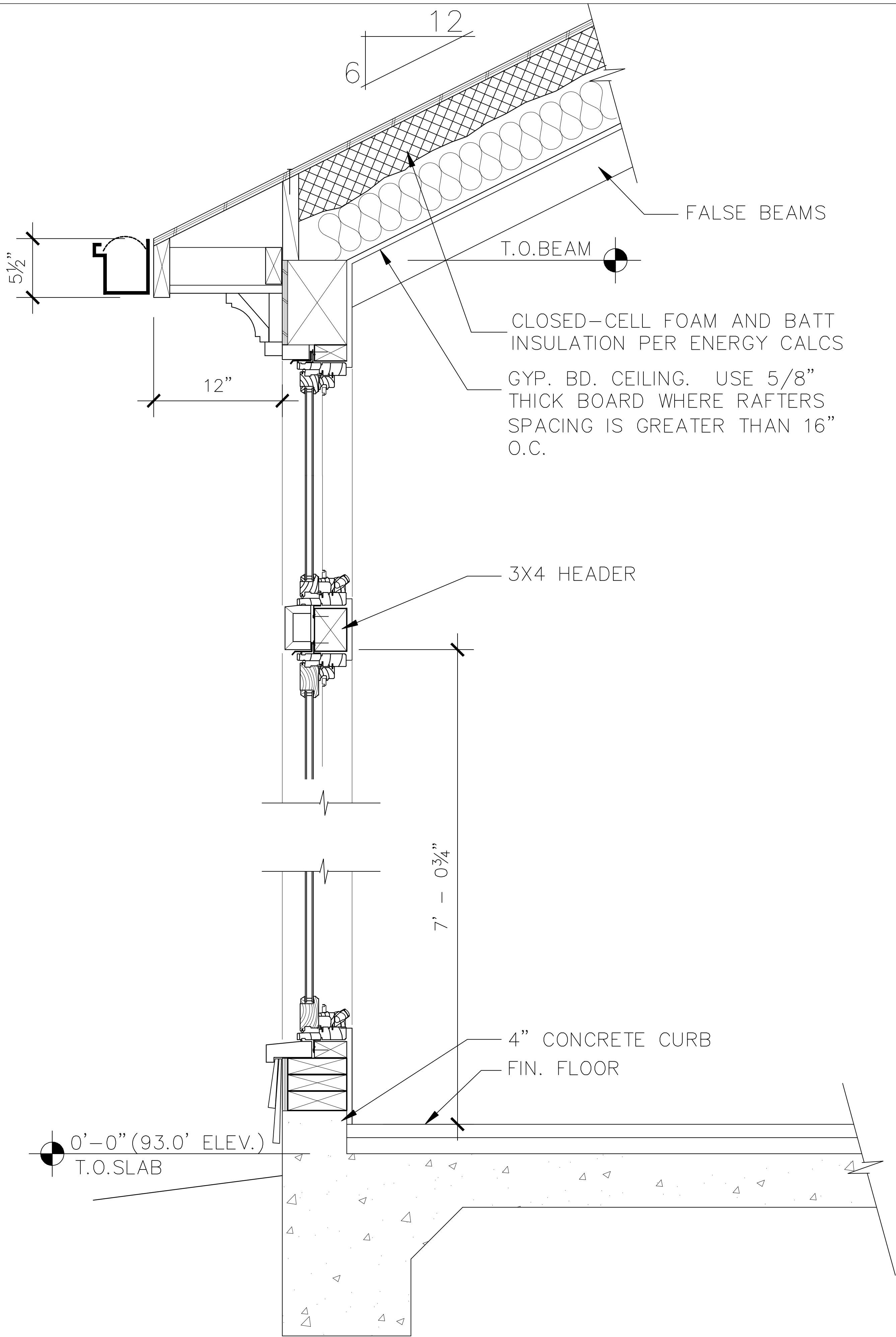
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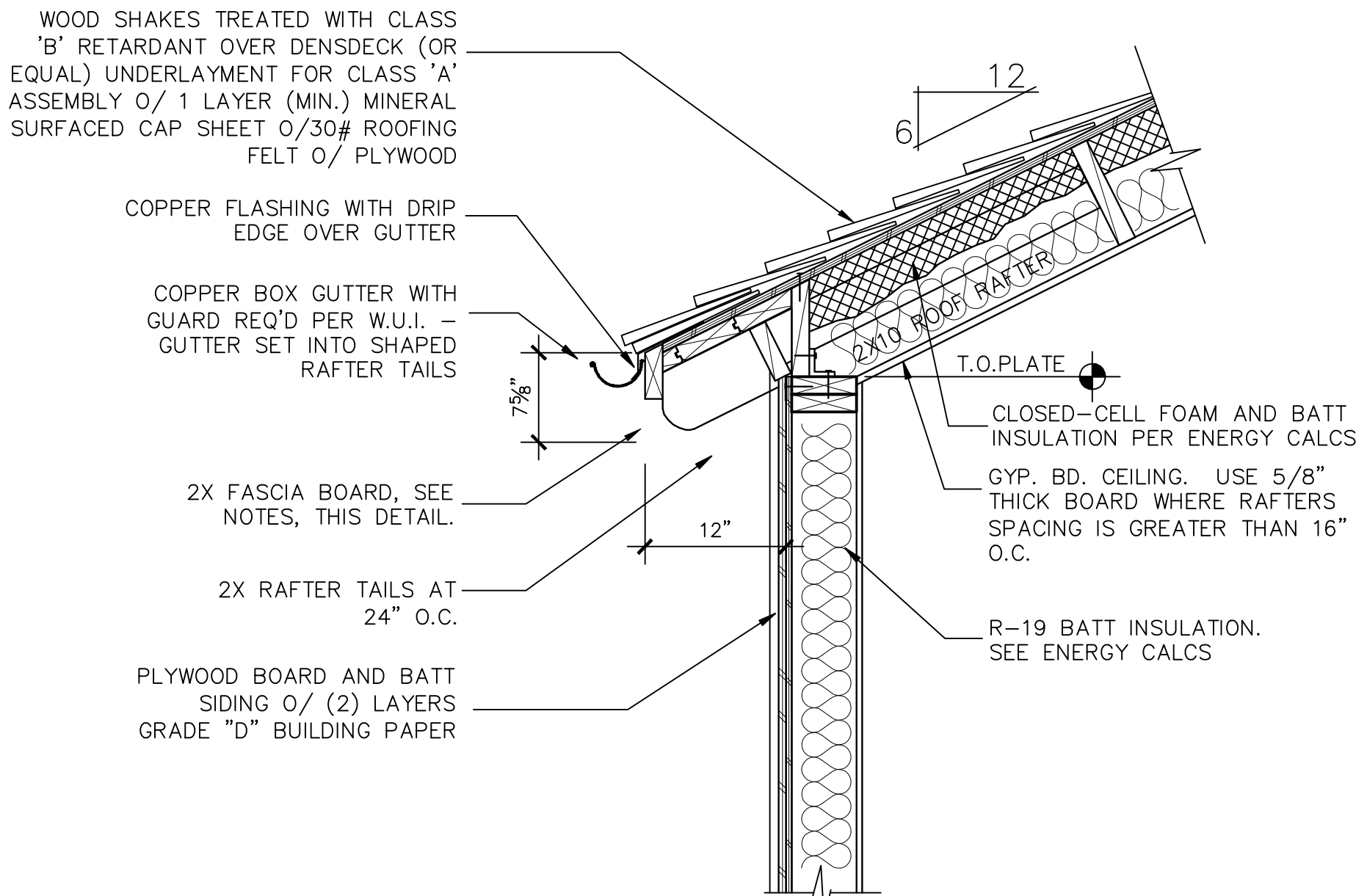
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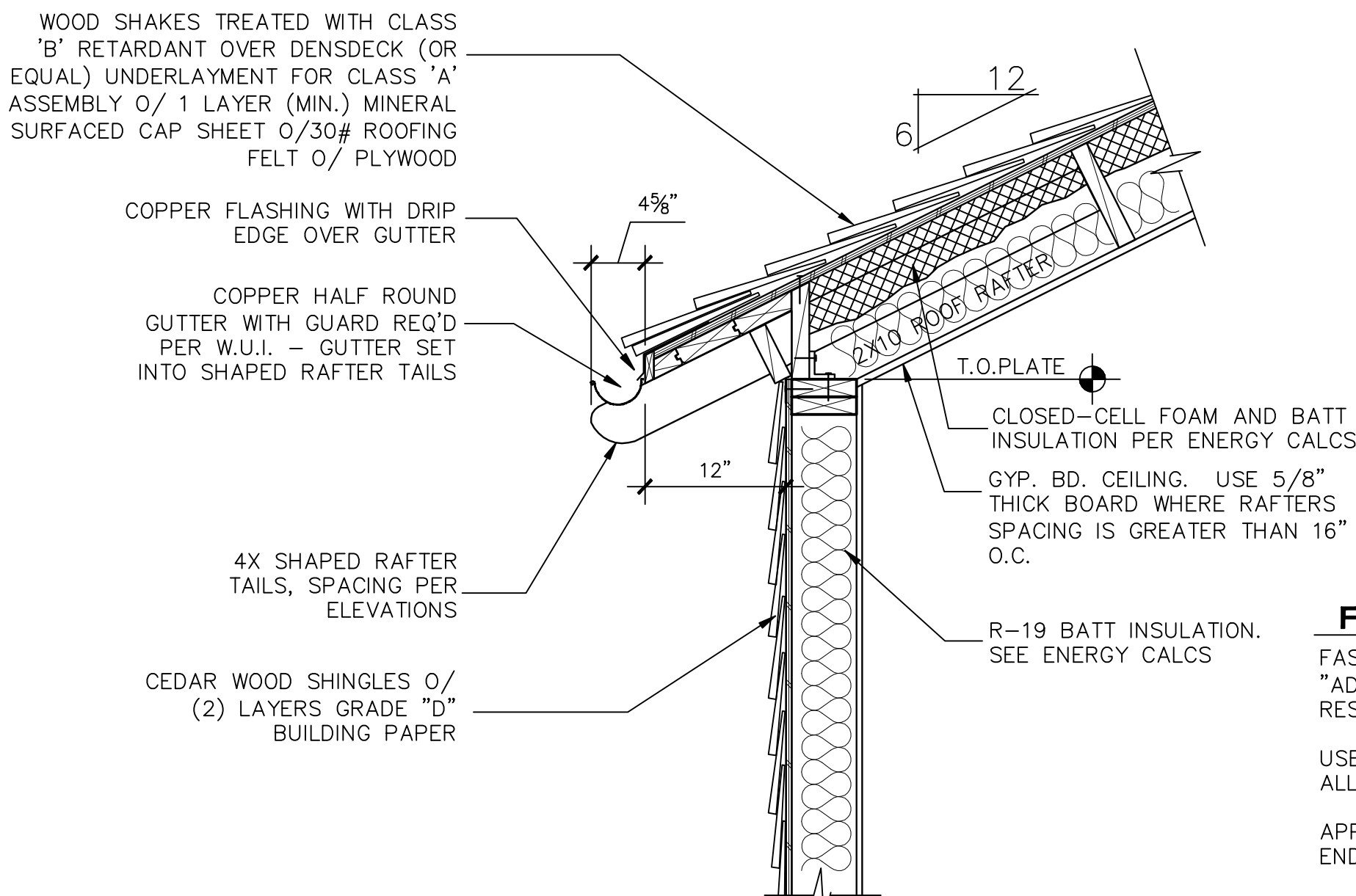
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3 SECTION AT BREAKFAST CONSERVATORY  
ROOF-EAVE-6  
1/2" = 1'-0"



1 ROOF EAVE - GUEST HOUSE - SHAPED RAFTER TAILS  
ROOF-EAVE-6  
1" = 1'-0"



2 ROOF EAVE - MAIN HOUSE - SHAPED RAFTER TAILS  
ROOF-EAVE-6  
1" = 1'-0"

FASCIA NOTES

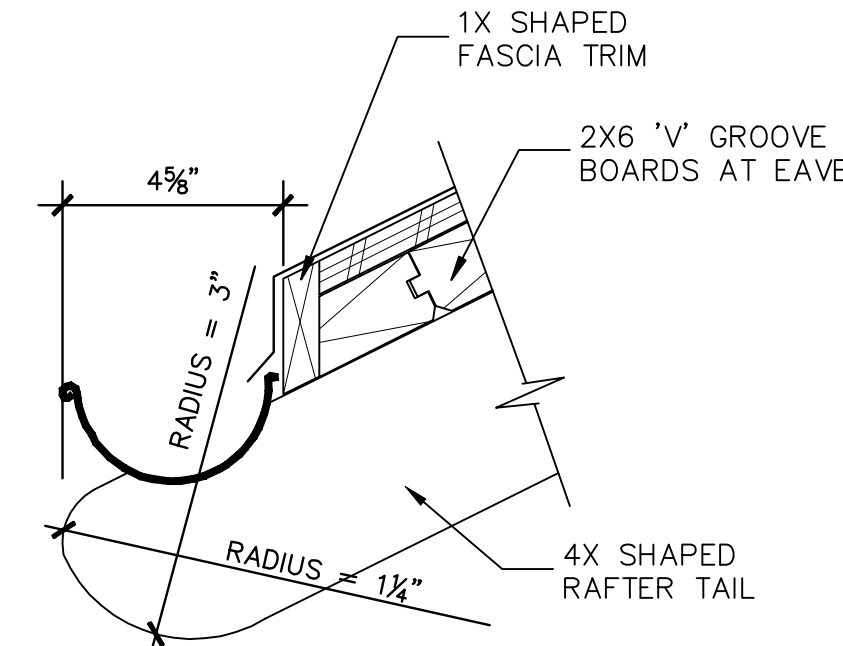
FASCIA BOARD TO BE PRE-PRIMED PINE, LOSP TREATED, "ADVANTAGE PLUS" BY KELLEHER. FASCIA IS S3S WITH RESAWN TEXTURE AT EXPOSED FACE

USE H.D. GALVY OR S.S. NAILS. PRE-DRILL NAIL HOLES AT ALL MITER AND SCARF JOINTS AND NEAR ENDS

APPLY OIL-BASED, STAIN-BLOCKING SPOT PRIMER FOR ALL ENDS, CUTS, AND NAIL HOLES PER MANUF.

AFTER INSTALLATION, APPLY 2 COATS HIGH-QUALITY ACRYLIC PAINT PRIOR TO EXPOSURE TO HEAVY RAINS

MANUF. RECOMMENDS LIGHTER FINISH COLORS TO REFLECT HEAT AND CONTRIBUTE TO A LONGER LASTING FINISHED PRODUCT. DARK COLORS ABSORB HEAT WHICH MIGHT DRY AND WARP WOOD



3X ENLARGED RAFTER TAIL

FASCIA NOTES

FASCIA BOARD TO BE PRE-PRIMED PINE, LOSP TREATED, "ADVANTAGE PLUS" BY KELLEHER. FASCIA IS S3S WITH RESAWN TEXTURE AT EXPOSED FACE

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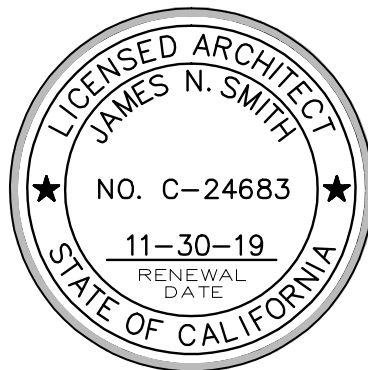
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SHEET TITLE

DETAILS

ISSUE REVISIONS

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3 12-05-18 PLANNING SUBMITTAL

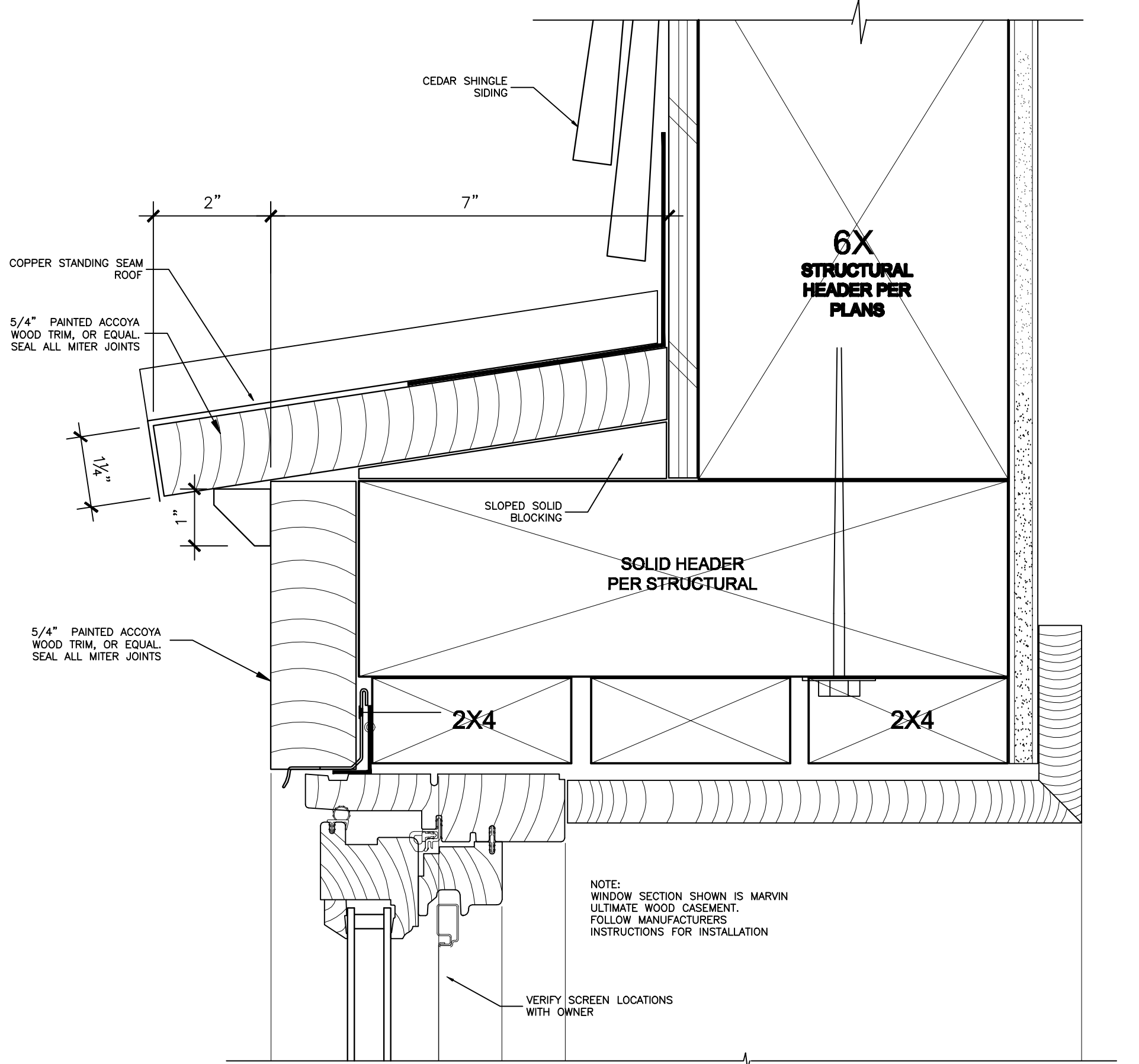
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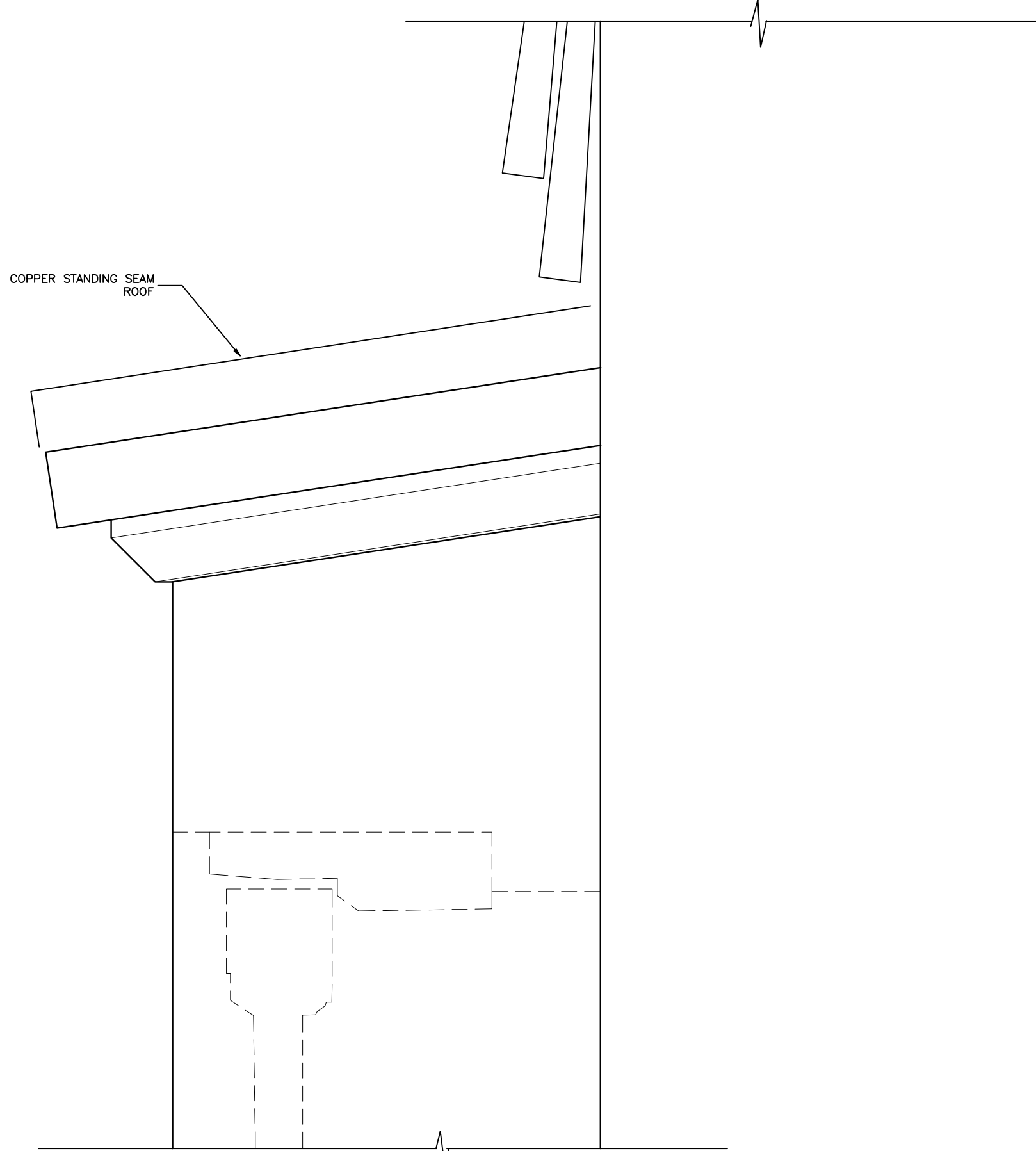
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**2 BAY WINDOW AT KITCHEN**  
WINDOW-WOOD-CLAD-JELD-WEN-SITELINE EX-CASEMENT

6" = 1'-0"



**1 BAY WINDOW CORBEL**

6" = 1'-0"

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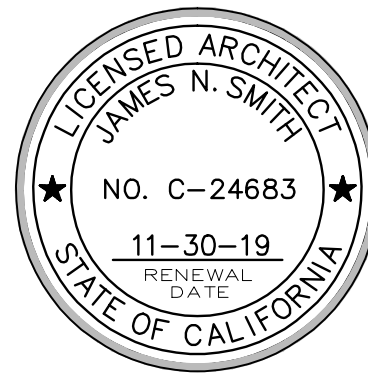
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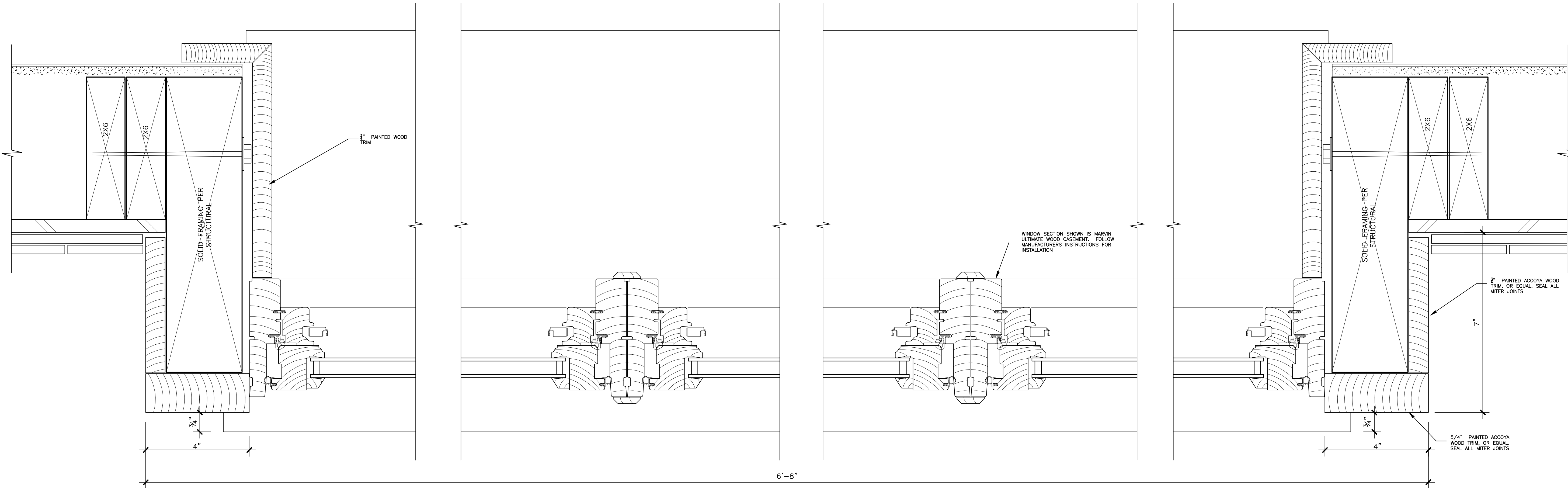
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1 PLAN - BAY WINDOW AT KITCHEN  
WINDOW-WOOD-CLAD-YELD-WEB-SITELINE EX CASEMENT  
6" = 1'-0"

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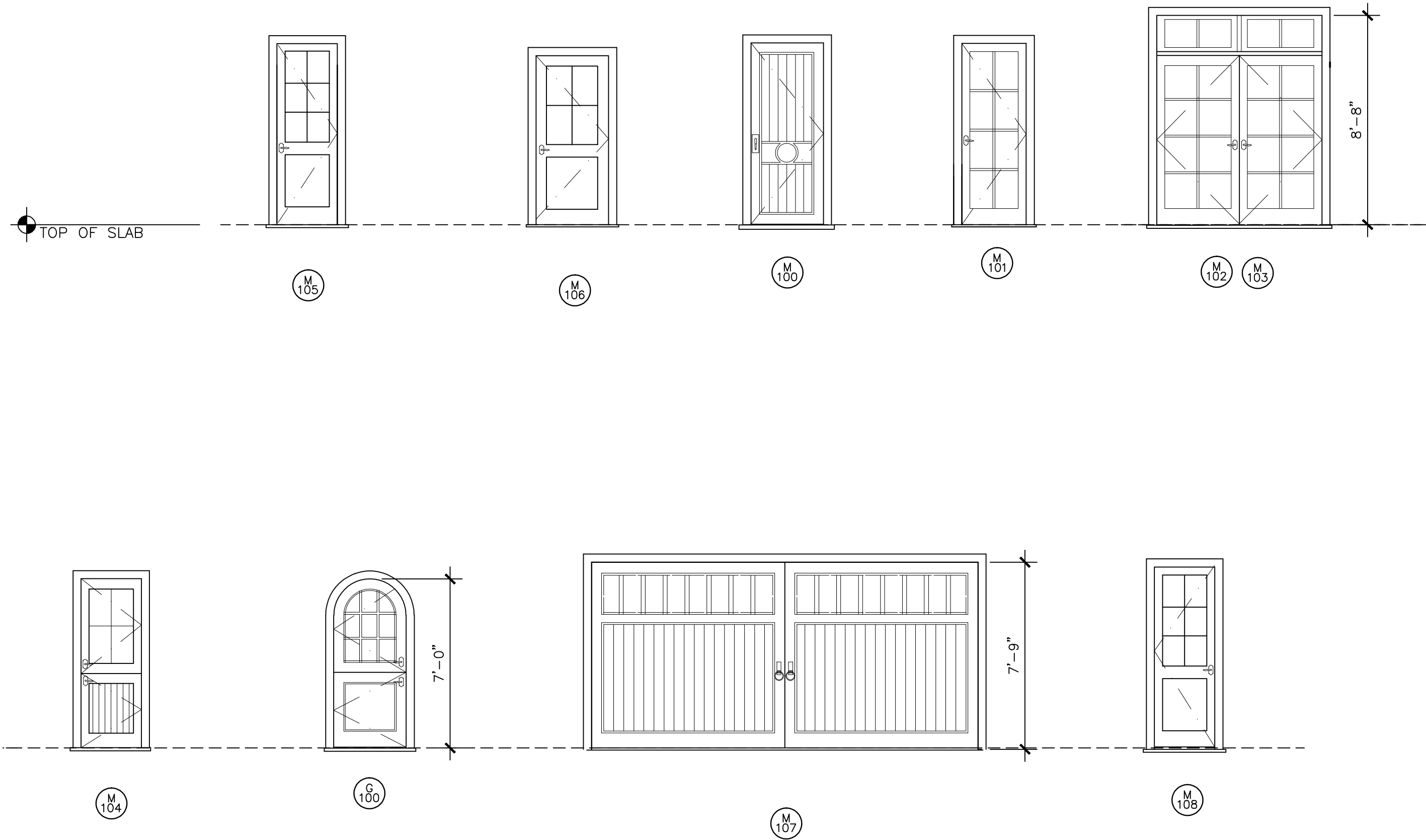
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## DOOR ELEVATIONS

SCALE : 1" = 1'-0"

## DOOR SCHEDULE

DOOR MARK	DOOR SIZE			FINISH MAT'L	CORE	FINISH	ACTION	REMARKS
	WIDTH	HEIGHT	THICK.					
①	3'-0"	8'-0"	1-3/8"	WD	SC	STAINED	SWING	XX
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## DOOR SCHEDULE NOTES

- DOOR SCHEDULE PROVIDED ABOVE IS PRELIMINARY IN NATURE. CONTRACTOR AND DOOR SUPPLIER SHALL REVIEW AND COMPILE A COMPLETE AND ACCURATE SCHEDULE BASED UPON FRAMED FIELD CONDITIONS AND OWNER PREFERENCES. CONTRACTOR TO VERIFY ALL ASPECTS OF DOORS WITH OWNER PRIOR TO ORDERING.
- CONTRACTOR SHALL REVIEW ALL FIELD CONDITIONS TO ENSURE THAT THE PROPOSED DOOR SIZES AND SWINGS WILL FUNCTION PROPERLY. IF THERE ARE ANY DISCREPANCIES OR CONFLICTS THE CONTRACTOR IS TO NOTIFY THE ARCHITECT IMMEDIATELY THROUGH A REQUEST FOR INFORMATION (R.F.I.)
- DOOR SIZES SHOWN ARE THE PROPOSED DOOR WIDTH AND HEIGHT DIMENSION, NOT THE ROUGH OPENING SIZE. GENERAL CONTRACTOR TO VERIFY MANUFACTURER'S NEAREST STOCK SIZES FOR ARCHITECT/OWNER TO REVIEW AND APPROVE.
- ALL GLAZING IN DOORS SHALL BE TEMPERED GLASS. EXCEPTION IS FOR SMALL DECORATIVE GLASS OR PANE SSANDWICHED BETWEEN TEMPERED LAYERS. INSTALLATION IS PER C.B.C.
- SPECIALTY DOORS SHALL BE COORDINATED WITH GENERAL CONTRACTOR FOR SITE VERIFICATION AND INSTALLATION.
- ALL EXTERIOR DOORS SHALL HAVE A COPPER PAN, MIN. 20 OZ., 1/2" MAX THRESHOLD, & BRONZE, OR OTHER NON-CORROSIVE METAL, HINGES. OUTSWING DOORS SHALL HAVE A 1/2" MAX CHANGE IN ELEVATION TO THE EXTERIOR FINISH SURFACE.
- ALL EXPOSED EDGES OF DOOR(S) INCLUDING TOP TO BE SEALED TO PREVENT MOISTURE PENETRATION AND WARPING. DOORS ARE TO BE STORED VERTICALLY AT JOB SITE AND OUT OF ALL INCLEMENT WEATHER CONDITIONS AND TO BE HUNG AS QUICKLY AS POSSIBLE, ONCE REACHING THE JOB SITE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO MINIMIZE THE AMOUNT OF TIME FOR ON-SITE STORAGE OF DOORS AND WINDOWS PRIOR TO INSTALL.
- ALL FRENCH DOORS ARE TO HAVE DEAD BOLTS AND THREE WAY CONNECTING HARDWARE TO MAXIMIZE CONTINUOUS SEAL AGAINST WIND/WEATHER.
- DOORS REQUIRED TO HAVE 20 MINUTE RATING TO BE MIN. 1 3/8" SOLID WOOD AND SHALL BEAR THE U.L. LABEL NO RAISED PANELS OR OTHER FEATURES MAY REDUCE THIS MINIMUM THICKNESS. SHOULD VENEERS BE APPLIED TO PRE-MANUFACTURED 20 MIN. RATED DOORS, CARE IS TO BE TAKEN NOT TO VIOLATE THE RATING DURING APPLICATION.
- WEATHER-STRIPING OF EXTERIOR DOORS SHALL BE CONTINUOUS ON ALL SIDES OF EACH DOOR AND SHALL BE SIZED, DESIGNED, AND FITTED TO PROVIDE FULL WATER-TIGHTNESS AGAINST WATER AND DRIVING RAIN. CONTRACTOR SHALL WATER TEST A MINIMUM OF ONE DOOR AFTER INSTALLATION ON SIDE OF RESIDENCE WHERE EXPOSURE TO WEATHER IS GREATEST, AND REPORT FINDINGS TO OWNER AND ARCHITECT.
- AT LEAST ONE EGRESS DOOR SHALL BE PROVIDED FOR ALL DWELLING UNITS. THE DOOR SHALL BE SIDE-HINGED, AND SHALL PROVIDE A MINIMUM CLEAR WIDTH OF 32" WHEN MEASURED BETWEEN THE FACE OF THE DOOR AND THE STOP, WHEN OPEN TO 90 DEGREES. THE MINIMUM CLEAR HEIGHT SHALL BE 78" WHEN MEASURED FROM THE TOP OF THE THRESHOLD TO THE BOTTOM OF THE STOP. ALL EGRESS DOORS SHALL BE READILY OPENABLE FROM THE INSIDE OF THE DWELLING WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT, PER CRC R311.2.
- AT ALL STATE RESPONSIBILITY AREAS (SRA) EXTERIOR DOOR ASSEMBLIES SHALL BE APPROVED NON-COMBUSTIBLE CONSTRUCTION, OR SOLID CORE WOOD HAVING STILES AND RAILS NOT LESS THAN 1-3/8" THICK WITH INTERIOR FIELD PANEL THICKNESS NO LESS THAN 1 1/4" THICK, OR SHALL HAVE A FIRE-RESISTANCE RATING OF NOT LESS THAN 20 MINUTES. (CRC 327 WILDLAND URBAN INTERFACE)

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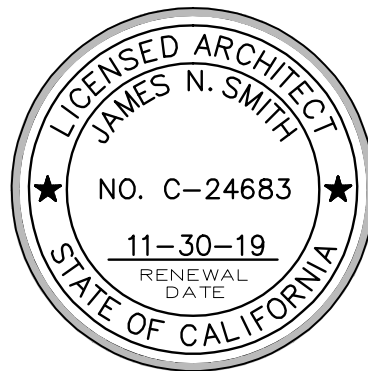
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PROJECT/CLIENT

HUNTER  
RESIDENCE

JR & CINDY HUNTER  
NW CASANOVA & 13TH  
CARMEL, CA.



SHEET TITLE

## DOOR SCHEDULE

ISSUE REVISIONS

① 06-27-18  
PRELIM. REVIEW

② 07-03-18  
FOREST & BEACH COMM

③ 12-05-18  
PLANNING SUBMITTAL

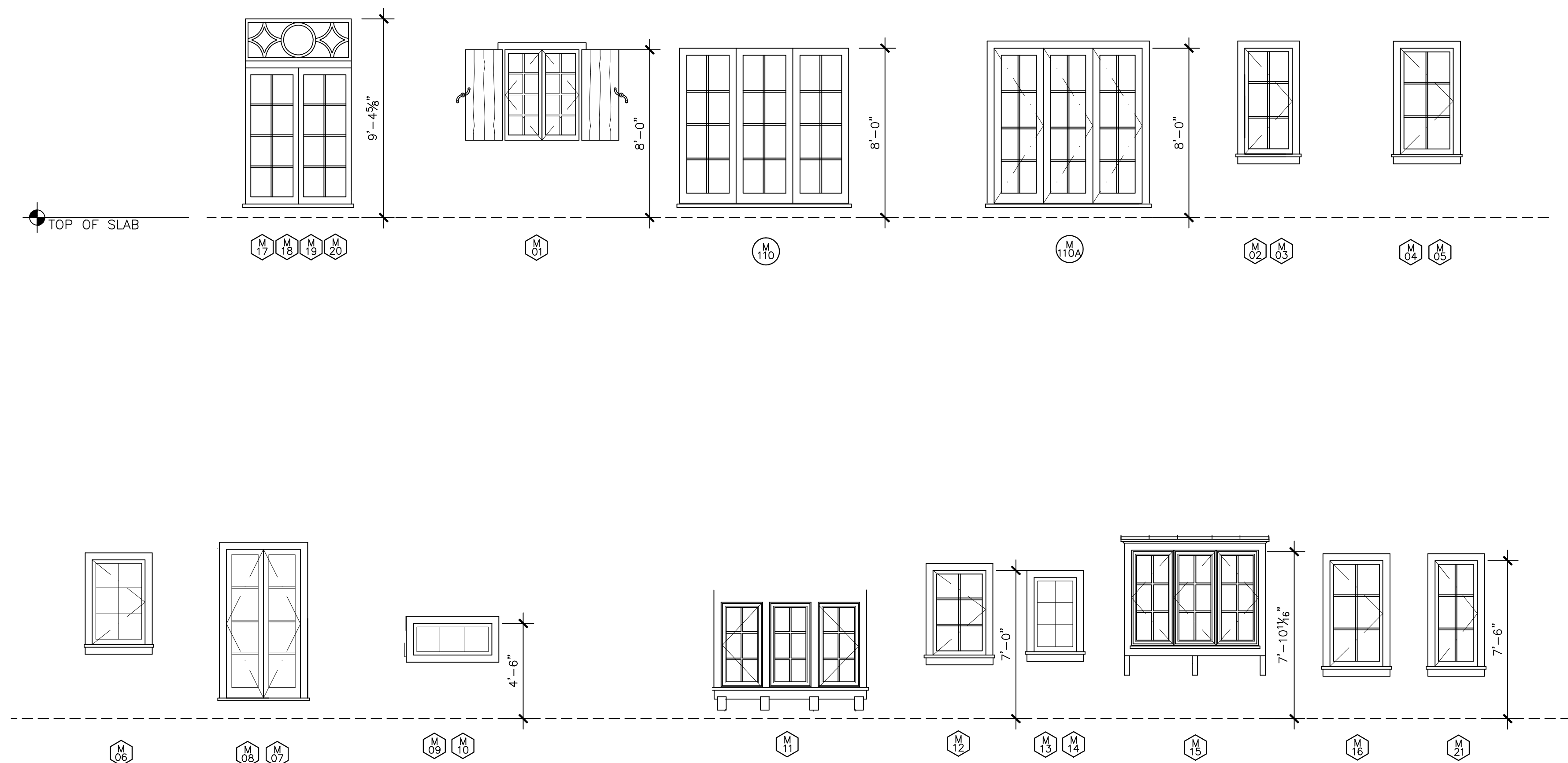


DATE

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A9.0



## WINDOW ELEVATIONS

**SCALE: 1" = 1'-0"**

## WINDOW SCHEDULE

MARK	UNIT SIZE	HEAD HEIGHT	TYPE OF OPERABILITY	FRAME MATERIAL	REMARKS
	WIDTH X HEIGHT				
①	" X "	8'-0"	DBL. CASEMENT	WOOD	SEE NOTES BELOW, AS APPLIES, TYP.
2					
3					
4					
5					
6					
7					
8					
9					
10					
11					
12					
13					
14					
15					
16					
17					
18					
19					
20					
21					
22					
23					
24					
25					
26					
27					
28					
29					
30					

## WINDOW SCHEDULE NOTES

## GENERAL

1. WINDOW SCHEDULE PROVIDED ABOVE IS PRELIMINARY IN NATURE. CONTRACTOR AND WINDOW SUPPLIER SHALL COMPILE A COMPLETE AND ACCURATE SCHEDULE BASED UPON FRAMED FIELD CONDITIONS OF PROJECT AND OWNER CHANGES/PREFERENCES.
2. WINDOW DIMENSIONS ARE PROPOSED UNIT SIZES. GENERAL CONTRACTOR IS TO VERIFY ALL PROPOSED WINDOW SIZES WITH SITE CONDITIONS AND FOR MANUFACTURER'S NEAREST STOCK SIZES, WHEN APPLICABLE. ALL WINDOW SIZES, SHAPES, COLORS, HARDWARE, SCREENS, GLAZING, ETC. MUST BE APPROVED BY OWNER PRIOR TO ORDERING. CONTRACTOR SHALL PROVIDE ARCHITECT COMPLETE STRUCTURAL WINDOW SHOP DRAWINGS FOR REVIEW.
3. SPECIALTY WINDOWS MUST BE COORDINATED WITH THE GENERAL CONTRACTOR.
4. ALL WINDOWS ARE TO BE DOUBLE GLAZED UNLESS OTHERWISE NOTED.
5. OWNERS TO SPECIFY WHICH, IF ANY, WINDOWS ARE TO BE LOW "E" OR OTHERWISE HAVE FILM OR TINT WITHIN GLAZING.
6. ALL WINDOWS SHALL HAVE A SOLDIERED COPPER PAN, MINIMUM 20 OZ., WITH MOISTSTOP OR EQUIVALENT WATERPROOFING SYSTEM. GALVANIZED IRON IS ACCEPTABLE IN NON-COASTAL ENVIRONMENTS. SEE DETAIL.
7. WEATHER-STRIPING OF ALL WINDOWS SHALL BE CONTINUOUS ON ALL SIDES OF EACH WINDOW AND SHALL BE SIZED, DESIGNED, AND FITTED TO PROVIDE FULL WATER-TIGHTNESS AGAINST WATER AND DRIVING RAIN. CONTRACTOR SHALL WATER TEST A MINIMUM OF ONE WINDOW AFTER INSTALLATION ON SIDE OF RESIDENCE WHERE EXPOSURE TO WEATHER IS GREATEST, AND REPORT FINDINGS TO OWNER AND ARCHITECT.
8. WINDOWS WHICH EXCEED STANDARD SIZES SHALL BE VERIFIED BY WINDOW SUPPLIER FOR ENGINEERING AND WIND LOAD AT GIVEN PROJECT LOCATION AND PLACEMENT OF WINDOW(S) ON RESIDENCE (EXPOSURE)

## SAFETY

1. PER CBC 1029.1 EGRESS WINDOWS SHALL HAVE A NET CLEAR OPENABLE AREA OF 5.7 S.F. THE NET CLEAR OPENABLE HEIGHT DIMENSION SHALL BE 24", AND THE NET CLEAR OPENABLE WIDTH DIMENSION SHALL BE 20". THE FINISHED SILL HEIGHT SHALL NOT BE GREATER THAN 44" ABOVE THE FINISHED FLOOR. THESE REQUIREMENTS SHALL PREEMPT THE ABOVE WINDOW SCHEDULE DIMENSIONS WHERE REQUIRED BY THE U.B.C.. MINIMUM (1) EGRESS WINDOW PER SLEEPING ROOM, AND OTHER HABITABLE ROOMS.
2. ALL CASEMENT WINDOWS USED IN BEDROOMS AS EMERGENCY EGRESS MUST BE "BREAK AWAY" TYPE TO ENSURE COMPLETE OPENABLE AREA FOR ACCESS.
3. ALL GLAZING SUBJECT TO HUMAN IMPACT SHALL BE TEMPERED GLASS OR WIRE SAFETY GLASS (CBC 2406)
4. GLAZING IN AN INDIVIDUAL, FIXED OR OPERABLE PANEL ADJACENT TO A DOOR WHERE THE NEAREST VERTICAL EDGE OF THE GLAZING IS WITHIN A 24" ARC OF EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION AND WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60" ABOVE THE FLOOR OR WALKING SURFACE SHALL BE SAFETY GLASS (CRC 308.4.2)
5. ALL OPERABLE WINDOWS ABOVE ADJACENT GRADE BY 6" OR MORE AND LOCATED WITHIN 36" OF THE FINISHED FLOOR, OR OTHERWISE VULNERABLE TO A PERSON FALLING OUT, SHALL HAVE SUITABLE RESTRAINT BAR(S) INSTALLED. THE BUILDING OWNER CAN ELECT NOT TO INSTALL RESTRAINTS AT THEIR SOLE DISCRETION. INSECT SCREENS DO NOT OFFER PROTECTION AGAINST PERSONS FALLING OUT OF A WINDOW.
6. WINDOWS THAT MEET ALL CONDITIONS SHALL BE TEMPERED PER CRC R308.4.3: WHERE EXPOSED AREA OF INDIVIDUAL PANE IS GREATER THAN 9 SQUARE FEET, EXPOSED BOTTOM EDGE IS LESS THAN 18" ABOVE THE FLOOR, EXPOSED TOP EDGE IS GREATER THAN 36" ABOVE THE FLOOR, AND ONE OR MORE WALKING SURFACES ARE WITHIN 36", MEASURED HORIZONTALLY AND IN A STRAIGHT LINE, OF THE GLAZING, SHALL BE TEMPERED GLAZING.(R308.4.3)
7. GLAZING IN WET AREAS WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60" MEASURED VERTICALLY ABOVE ANY STANDING OR WALKING SURFACE SHALL BE TEMPERED.

**W.U.I.**

1. **FOR PROJECTS LOCATED WITHIN WILDLAND URBAN INTERFACE (W.U.I.) ZONES, ADDITIONAL REQUIREMENTS SHALL APPLY SUCH AS THE TEMPERING OF THE OUTER-MOST PANE OF GLASS PER CRC R327.8**

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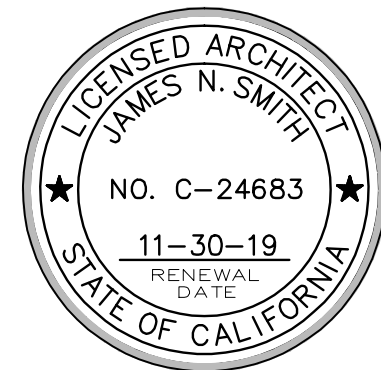
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## HUNTER RESIDENCE

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SHEET TITLE

## WINDOW SCHEDULE

ISSUE

△ REVISIONS

① 06-27-18  
PRELIM. REVIEW

② 07-03-18  
FOREST & BEACH COMM

③ 12-05-18  
PLANNING SUBMITTAL

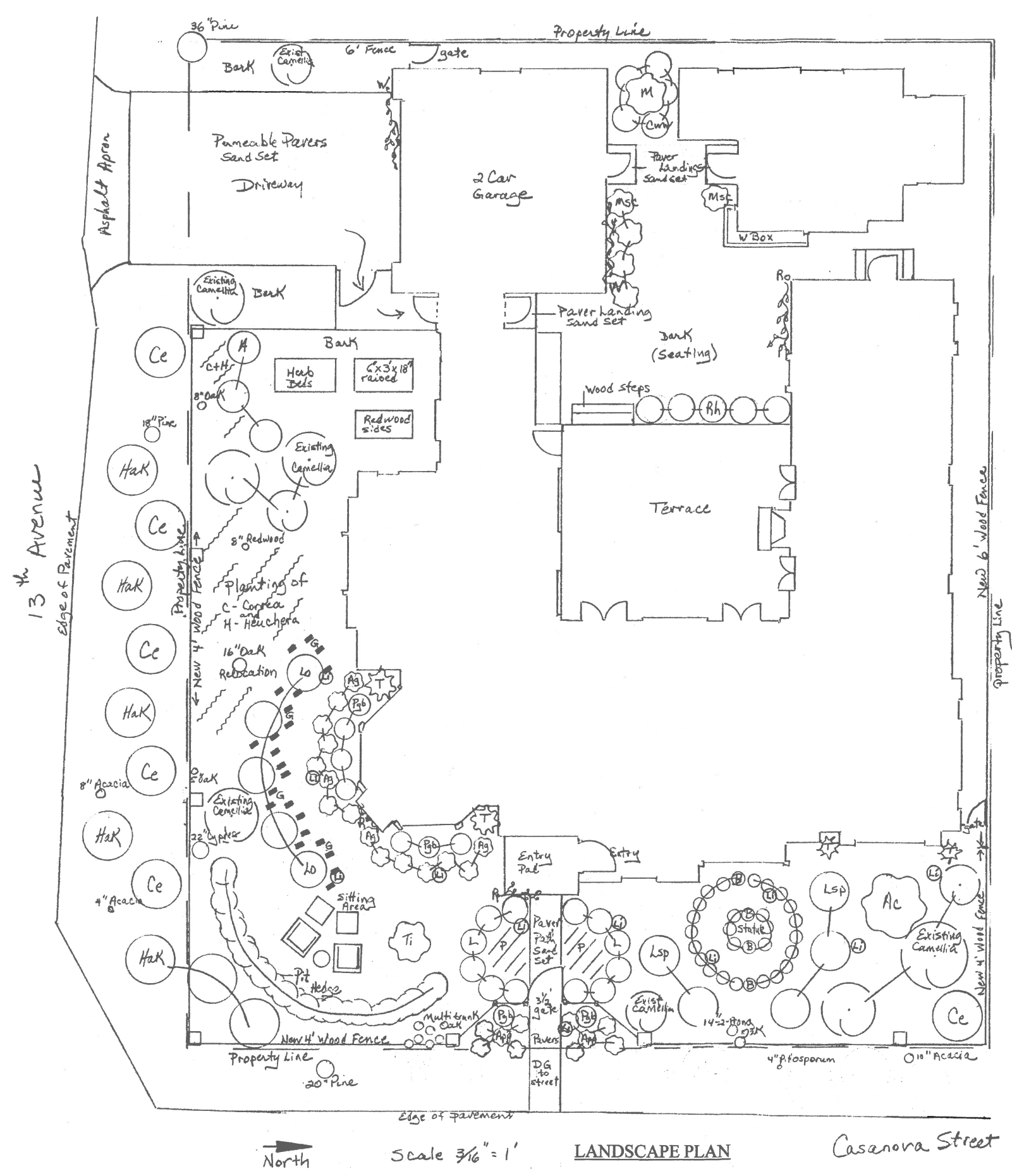


DATE \_\_\_\_\_

PROJECT NUMBER

SHEET NUMBER

## A9.1



Site Coverage Calculations:

Lot	8,000
House	3,200
Coverage Allowed	704
Plus Permeable Bonus	320
Total Coverage Possible	1024

Proposed:	Impermeable	Permeable
Entry Path		51
Entry Landing		45
Driveway		340
Driveway Path to Entry		47
Back Door to Garden		10
Courtyard Terrace	438	
Steps from Terrace to Garden		12
Garage Landing		12
Guest House Landing		12
BBQ	23	
Master Bedroom Landing	17	
Proposed Totals	478	529 = 1007

PLANT LIST:

Sym	Botanical Name	Common Name	Size	Quantity	DR
A	Abutilon Hybrid Pink	Chinese Lantern	5 gal	3	
Ac	Acer Palmatum 'Crimson Queen'	Red Japanese Maple	15g-24"	1	
Ag	Agapanthus 'Elaine'	Lily of the Nile	1 gal	15	x
App	Agapanthus 'Peter Pan'	Dwarf Lily of the Nile	1 gal	10	x
B	Buxus semperv 'Suffructicosa'	Dwarf Boxwood	1 gal	30	x
C	Correa	Australian Fuchsia	1 gal	15	x
Ce	Ceanothus 'Snowball'	California wild lilac	15 gal	6	x
Cww	Correa 'Wynn's Wonder'	Variegated A. Fuchsia	1 gal	5	x
G	Geranium bio-kovo	True Geranium	4"	23	x
H	Heuchera maxima	Islands Alum Root	1 gal	17	x
Hak	Hakea suaveolens	Sweet Hakea	15 gal	7	x
L	Lavandula 'Grosso'	French Lavender	1 gal	12	x
Lo	Loropetalum ch. 'Monroz'	Razleberry Fringe Fl.	5 gal	5	x
Lsp	Loropetalum ch. 'Snow Panda'	Chinese Fringe Flower	5 gal	5	x
M	Mahonia aquifolium	Oregon Grape	5 gal	1	x
Msc	Mahonia 'soft caress'	Oregon Grape	1 gal	4	x
P	Pelargonium hortorum	Common Geranium	6"	22	x
Pgb	Pittosporum 'golf ball kohuhu'	Pittosporum golf ball	5 gal	9	x
Pit	Pittosporum 'Silver Sheen'	Pittosporum Hedge	15 gal	12	x
R	Rosa climbing Cecil Bruener	Climbing rose	5 gal	2	
Rh	Rhaphiolepis umbellatum	Rhaphiolepis	5 gal	5	x
Ro	Rosa Sally Holmes	Climbing Rose	15 gal	1	
T	Taxus stricta	Irish Yew	15 gal	4	x
Ti	Tibouchina urvilleana	Princess Flower	15 gal	1	
W	Wisteria sinensis 'Cook's Special'	Purple Wisteria	15 gal	2	x

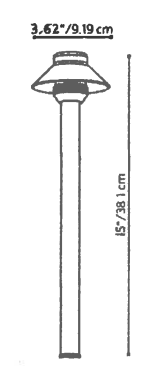
xxxxxx 96% Drought Resistant Plants

**Irrigation Details:**  
Drip irrigation system to be installed throughout for all trees, shrubs, and plants.

- List of Components:**  
Pressure Regulator - Nelson Irrigation 40 PSI  
Filters - Landscape Products  
Backflow Prevention Device - Wilkins 975XL  
Timer - Hunter PRO-C 400  
Rain Sensor - Wireless Rain Click Hunter CLIK  
Valves - Rainbird PEB  
Emitters - Rainbird XB  
Bubblers - Landscape Products Spectrum 360  
1/2" polypropylene drip tubing  
1 1/2" and 1 1/4" PVC Schedule 40 Lines - JM Eagle

**Path Lighting:**

**ExLuminaire HC LED Low Voltage**  
Number of LEDs in each fixture 1  
Watts Used 2  
Max Lumens 39



(Li) = Light Fixture Placement.

REVISIONS	BY
10-13-18	KC
1/23/19	KC

Kathleen Coss Landscape Design  
PO Box 4673, Carmel, CA 93921  
Cell: 831-235-7772  
kathleencoss@yahoo.com

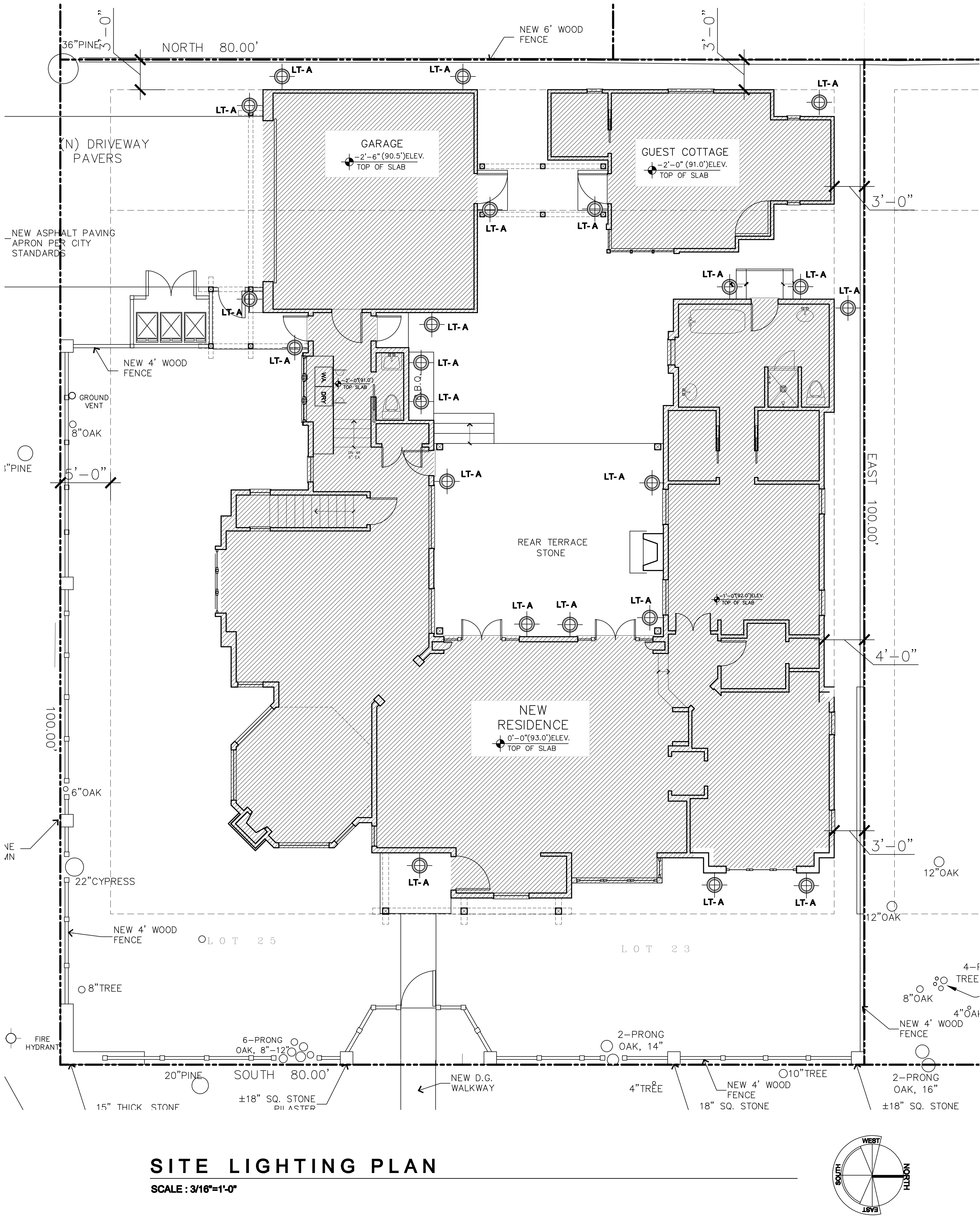
**LANDSCAPE PLAN**  
Site Coverage, Plants, Irrigation & Lighting  
APN: 010-281-010

Hunter Residence  
NW Casanova & 13th  
Carmel, CA 93921

Date	9/20/18
Scale	3/16" = 1'
Drawn	KSC
Job	Hunter
Sheet	1
of	1
Sheet	1



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**SITE LIGHTING PLAN**  
SCALE : 3/16"=1'-0"

### LIGHTING NOTES

1. EXTERIOR LIGHTING SHALL BE LIMITED TO 25 WATTS OF LESS (INCANDESCENT EQUIVALENT, IE, 375 LUMENS) PER FIXTURE AND SHALL BE MOUNTED NO HIGHER THAN 10 FEET ABOVE THE GROUND.
2. LANDSCAPE LIGHTING SHALL BE MOUNTED NO HIGHER THAN 18" ABOVE THE GROUND, NOR MORE THAN 15 WATTS (INC. EQUIV. OF 225 LUMENS) PER FIXTURE AND SPACED NO CLOSER THAN 10 FEET APART.
3. LANDSCAPE LIGHTING SHALL NOT BE USED FOR TREE, WALL, FENCE OR ACCENT LIGHTING OF ANY TYPE. LANDSCAPE LIGHTING IS TO SAFELY ILLUMINATE WALKWAYS AND ENTRANCES TO THE SUBJECT PROPERTY.
4. ALL FIXTURES SHALL BE SHEILED AND DOWNWARD FACING.
5. SEE LANDSCAPE PLAN FOR LANDSCAPE LIGHING SPECIFICATIONS AND LOCATIONS



**LT-A**  
Designers Fountain 31331-BZ Bayport-DS Wall Lanterns, Bronze

Traditional  
Uses Medium Base Bulb  
UL/CUL and Wet Rated  
Bronze finish  
Steel construction and intended for wet locations  
(1) 25 watt bulb  
Dark sky directional lighting

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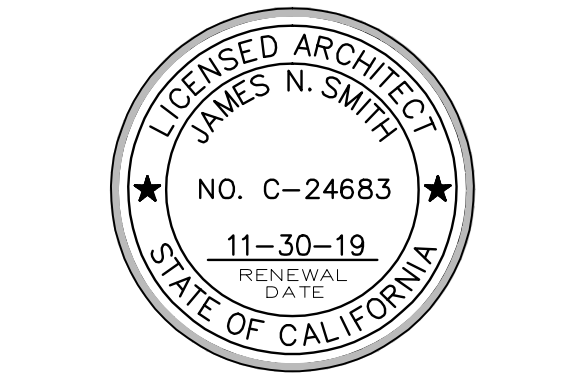
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SHEET TITLE

**SITE LIGHTING  
PLAN**

ISSUE	REVISIONS
1 06-27-18 PRELIM. REVIEW	
2 07-03-18 FOREST & BEACH COMM	
3 12-05-18 PLANNING SUBMITTAL	
4 01-23-19 FINAL PLANNING REVIEW	
DATE	

PROJECT NUMBER

SHEET NUMBER

**A1.L**