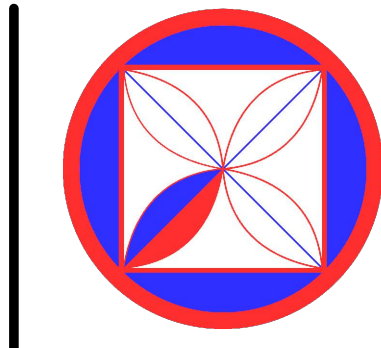
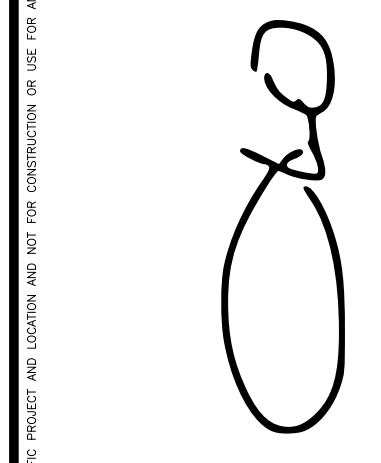


LEGEND

- VIEWS FROM THE ROBINSON RESIDENCE – UNOBSTRUCTED BY THE NEW SECOND STORY
- VIEWS FROM THE HONGXIA RESIDENCE – UNOBSTRUCTED BY THE NEW SECOND STORY AND MAIN LEVEL
- VIEWS FROM THE MARTIN RESIDENCE – FILTER VIEWS OVER THE SECOND STORY
- VIEWS FROM THE MARTIN RESIDENCE – VIEWS TO POINT LOBOS UNOBSTRUCTED FROM THE NEW DWELLING



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REVISIONS:

PROJECT:
 Collins Residence
 San Carlos, 3 SW of 1St, Carmel-By-The-Sea
 Monterey County, California
 Block: 11 Lot: North Port of 8 & SouthPort of 10
 APN: 010-121-013-000
PROJECT NO.:
 21-08

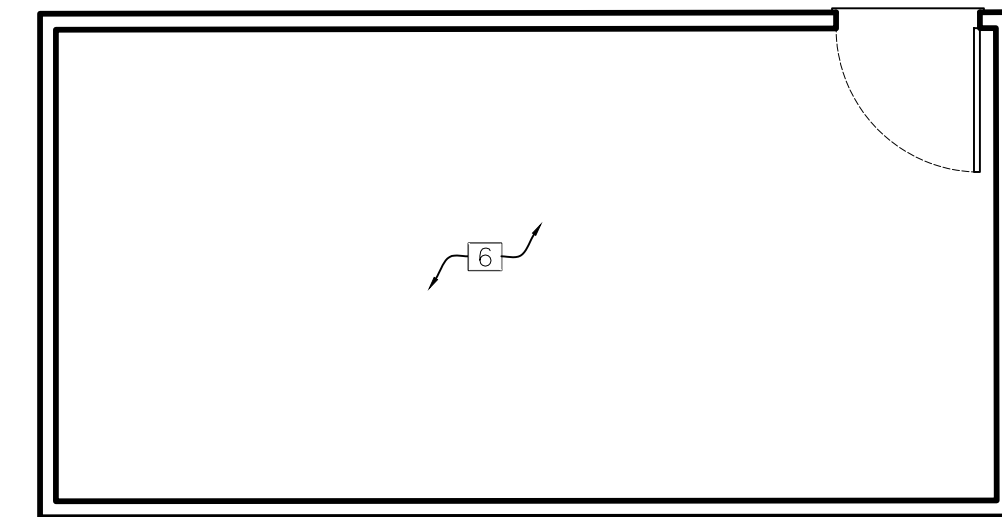
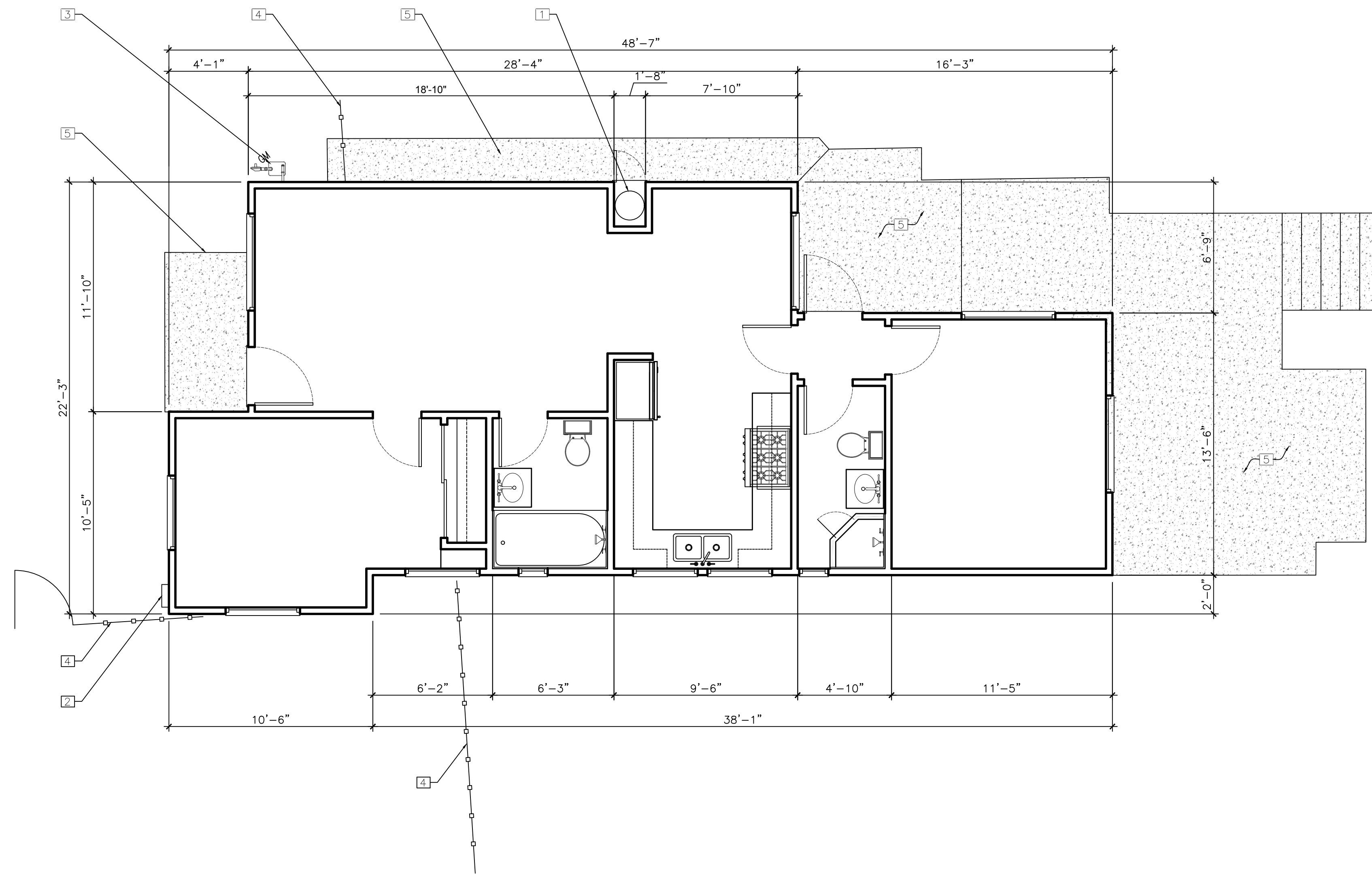
ISSUE:

DRAWN BY:
 C.O.

**VIEW CORRIDORS
 ANALYSIS;
 ELEVATIONS**

SCALE: 1" = 1/4"

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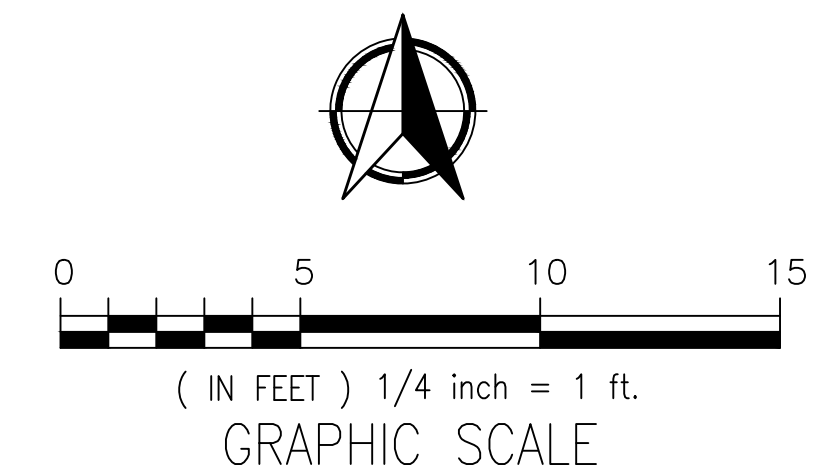


KEY NOTES

- 1 (E) WATER HEATER TO BE REMOVED
- 2 (E) MAIN 100 AMP ELEC. SERVICE ENTRANCE TO BE REMOVED
- 3 (E) GAS METER TO BE REMOVED
- 4 (E) FENCE & GATE TO BE REMOVED
- 5 (E) CONC TO BE REMOVED
- 6 (E) SHED HOUSE TO BE REMOVED

LEGEND

EXISTING WALLS TO BE REMOVED



**FLOOR PLAN
(EXISTING)**

SCALE: 1" = 1/4"

A3.0

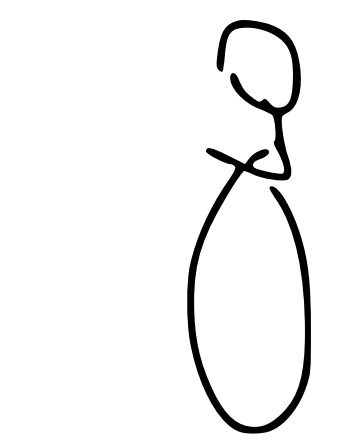
ISSUE:

DRAWN BY:
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PROJECT:
Collins Residence
San Carlos, 3 SW of 1st, Carmel-By-The-Sea
Monterey County, California
Block: 1; Lot: 10
APN: 010-121-013-000

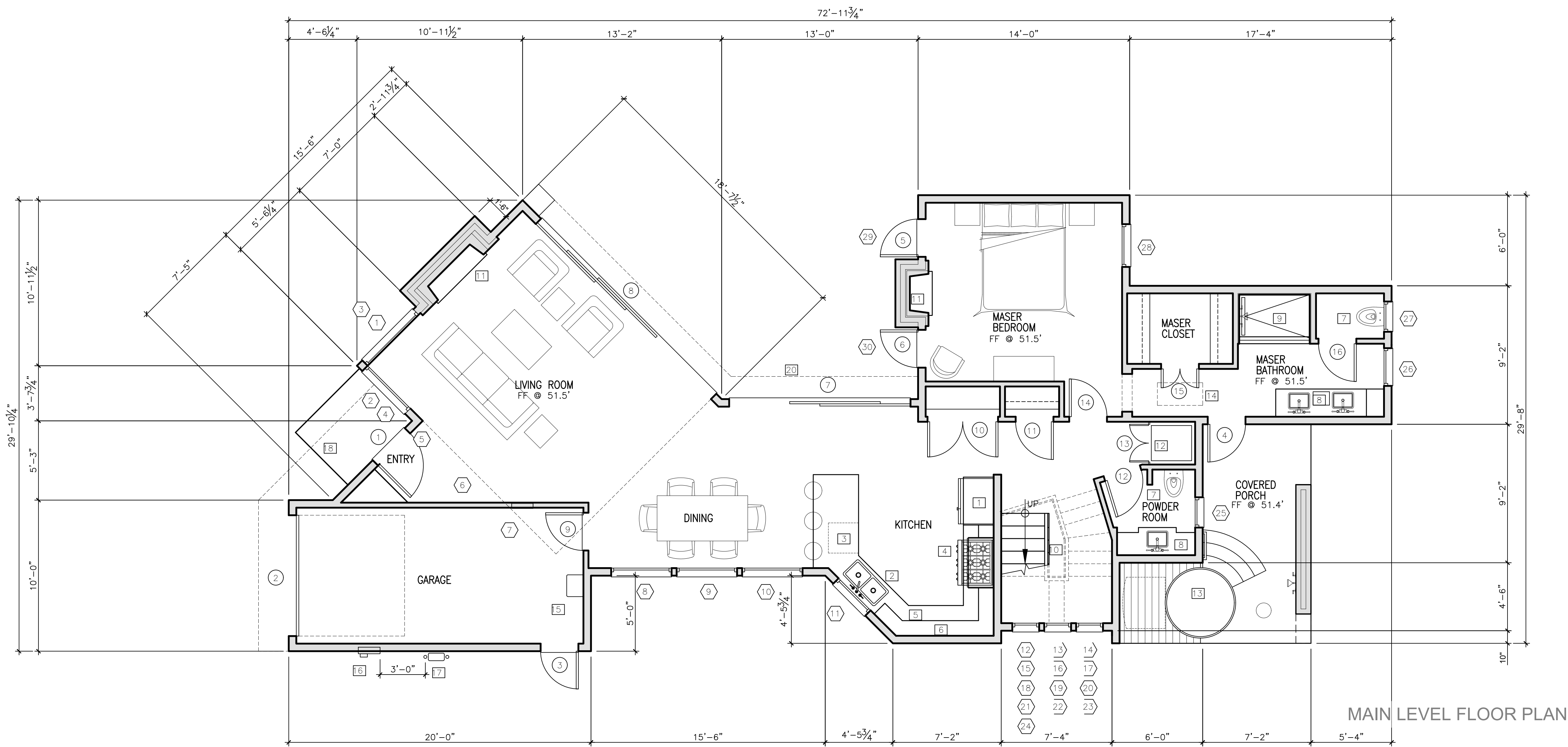
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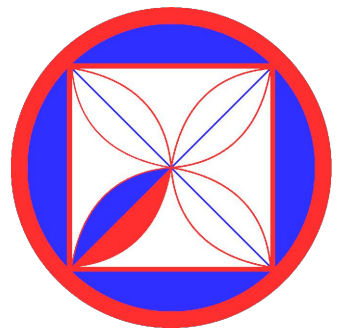
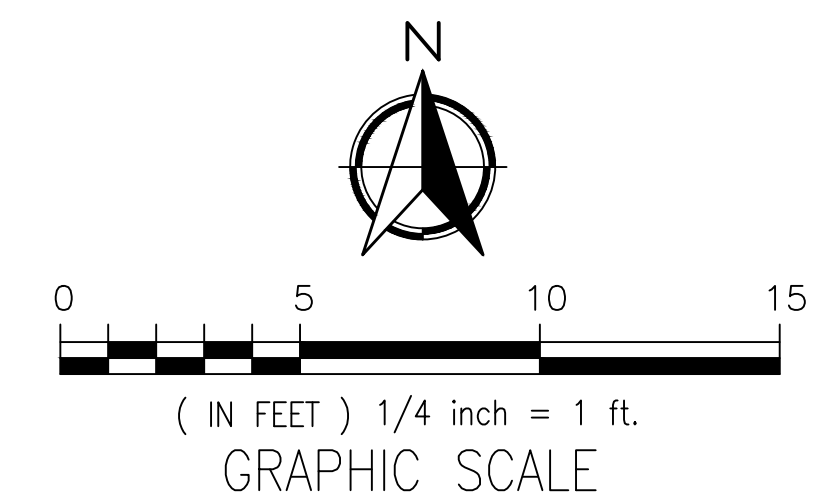
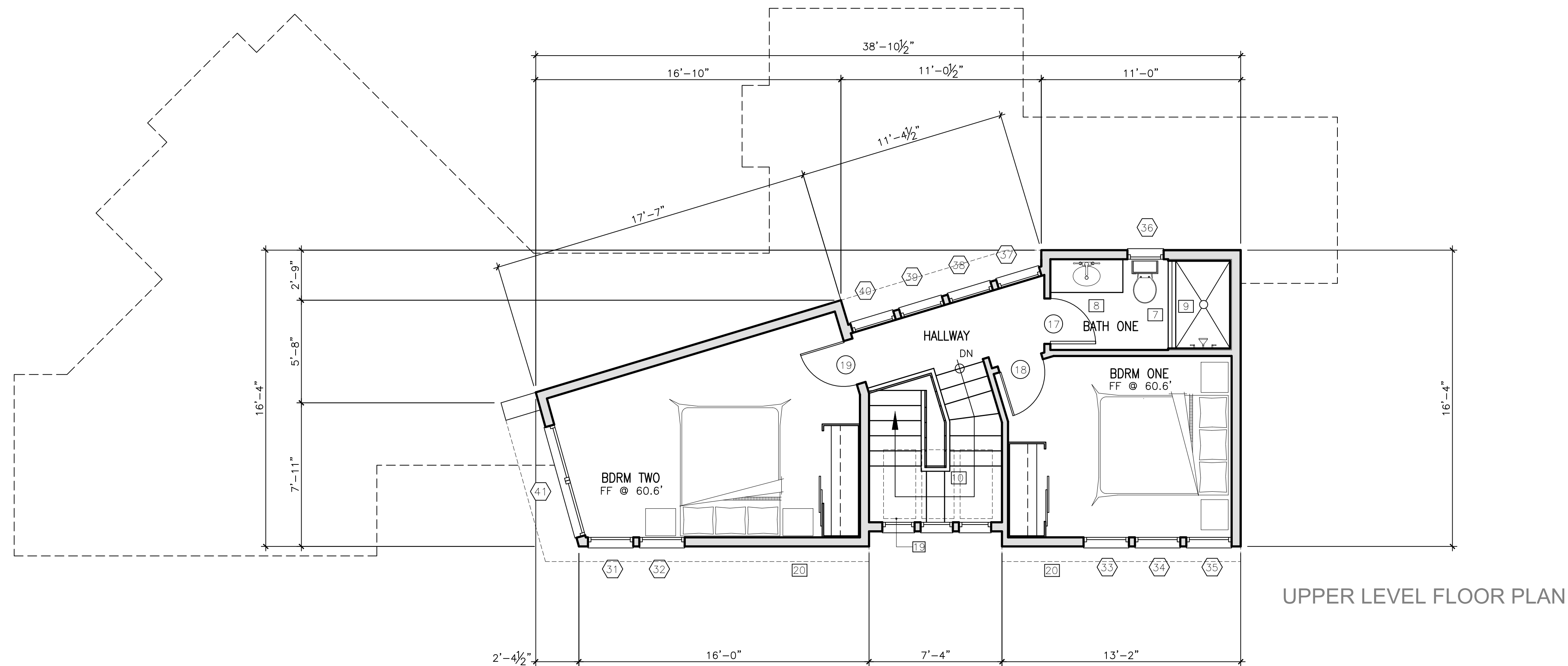


KEY NOTES

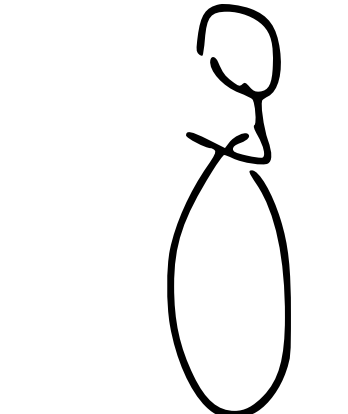
- 1 36" REFRIGERATOR. PROVIDE RECESSED COLD WATER BIB & SHUT-OFF FOR ICE-MAKER.
- 2 KITCHEN SINK W/GARBAGE DISPOSAL
- 3 DISH WASHER SPACE
- 4 36" RANGE DUAL-FUEL RANGE VENTILATED W/42" HOOD ABOVE.
- 5 36-INCH HIGH COUNTER TOP WITH BACKSPLASH.
- 6 UPPER CABINETS
- 7 WATER CLOSET: TO BE MAXIMUM 1.28 GALLONS PER FLUSH PER C.P.C. 402.3.
- 8 BATHROOM SINK 36-INCH WITH STONE COUNTERTOP AND BACKSPLASH.
- 9 TILED SHOWER/TUB
- 10 STEEL 38-IN HIGH HANDRAIL & BALUSTERS @ 4-INCHES ON CENTER MAX.
- 11 GAS FIREPLACE
- 12 STACKED WASHER AND ELECTRIC WASHER SPACE: PROVIDE RECESSED WATER & DRAIN CONNECTIONS. PROVIDE VENT TO EXTERIOR
- 13 SPA
- 14 F.A.U. IN ATTIC
- 15 THANKLESS WATER HEATER
- 16 200 AMP ELEC. SERVICE ENTRANCE
- 17 GAS METER
- 18 LANDING; FLAGSTONE OVER CONC.
- 19 SKYLIGHT 22X48
- 20 OVERHANG; SHOWN THIN-DASHED LINE FOR REFERENCE ONLY

LEGEND

NEW WALLS



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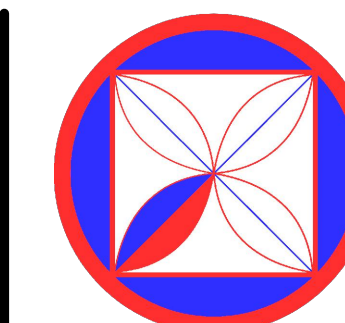
PROJECT:
Collins Residence
San Carlos, 3 SW of 1st, Carmel-By-The-Sea
Monterey County, California
Block: 11 Lot: North Port of 8 & SouthPort of 10
APN: 010-121-013-000
PROJECT NO.: 21-08

ISSUE:

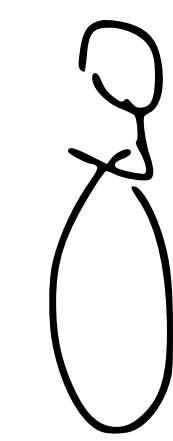
PROPOSED MAIN & UPPER FLOOR PLAN

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A4.0



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REVISIONS:

PROJECT:
 Collins Residence
 San Carlos, 3/4 SW of 1st, Carmel-By-The-Sea
 Monterey County, California
 Blaney Court, North Port of 8 & SouthPort of 10
 APN: 010-121-013-000

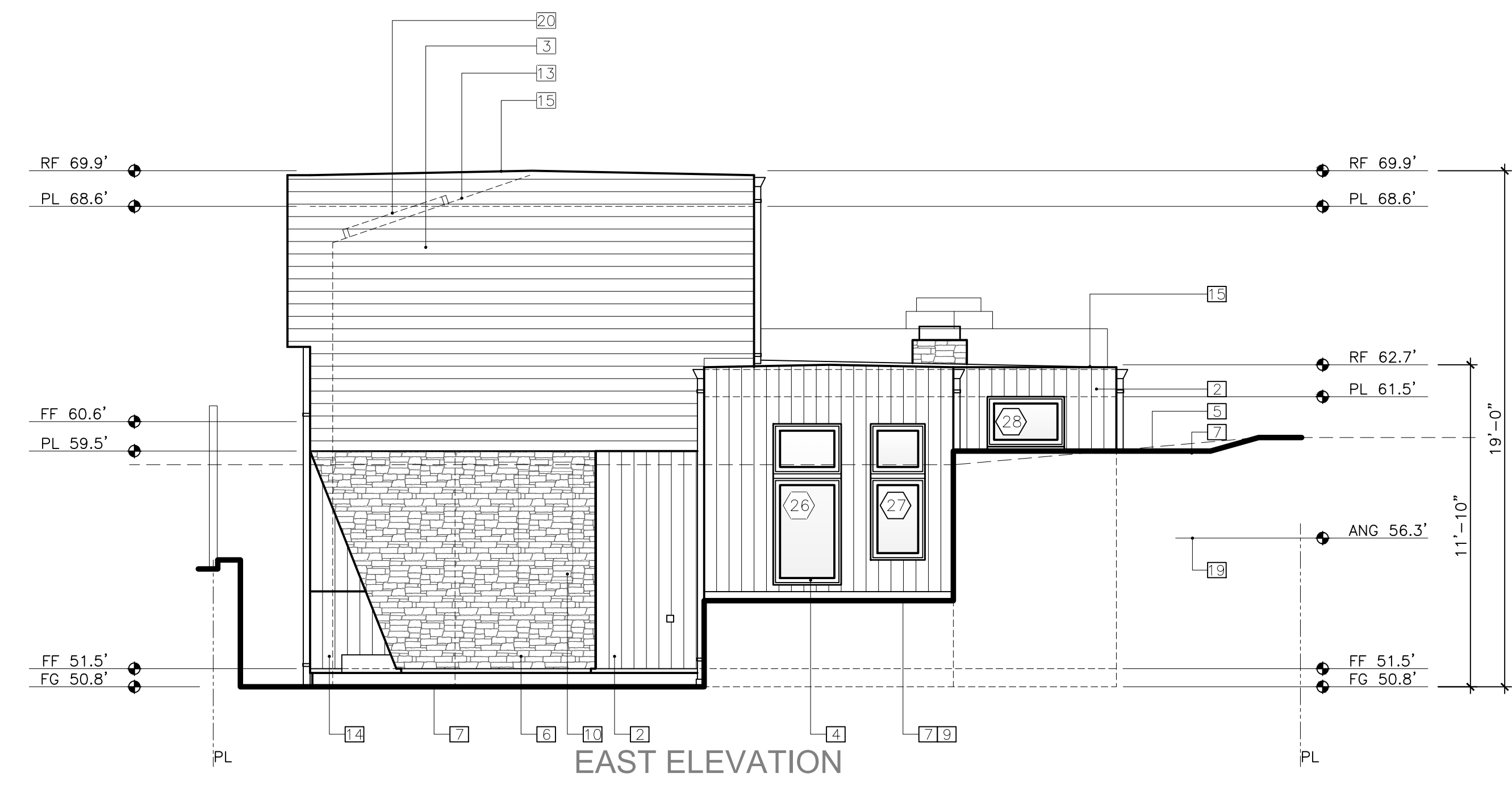
ISSUE:
 PROJECT NO.
 21-08

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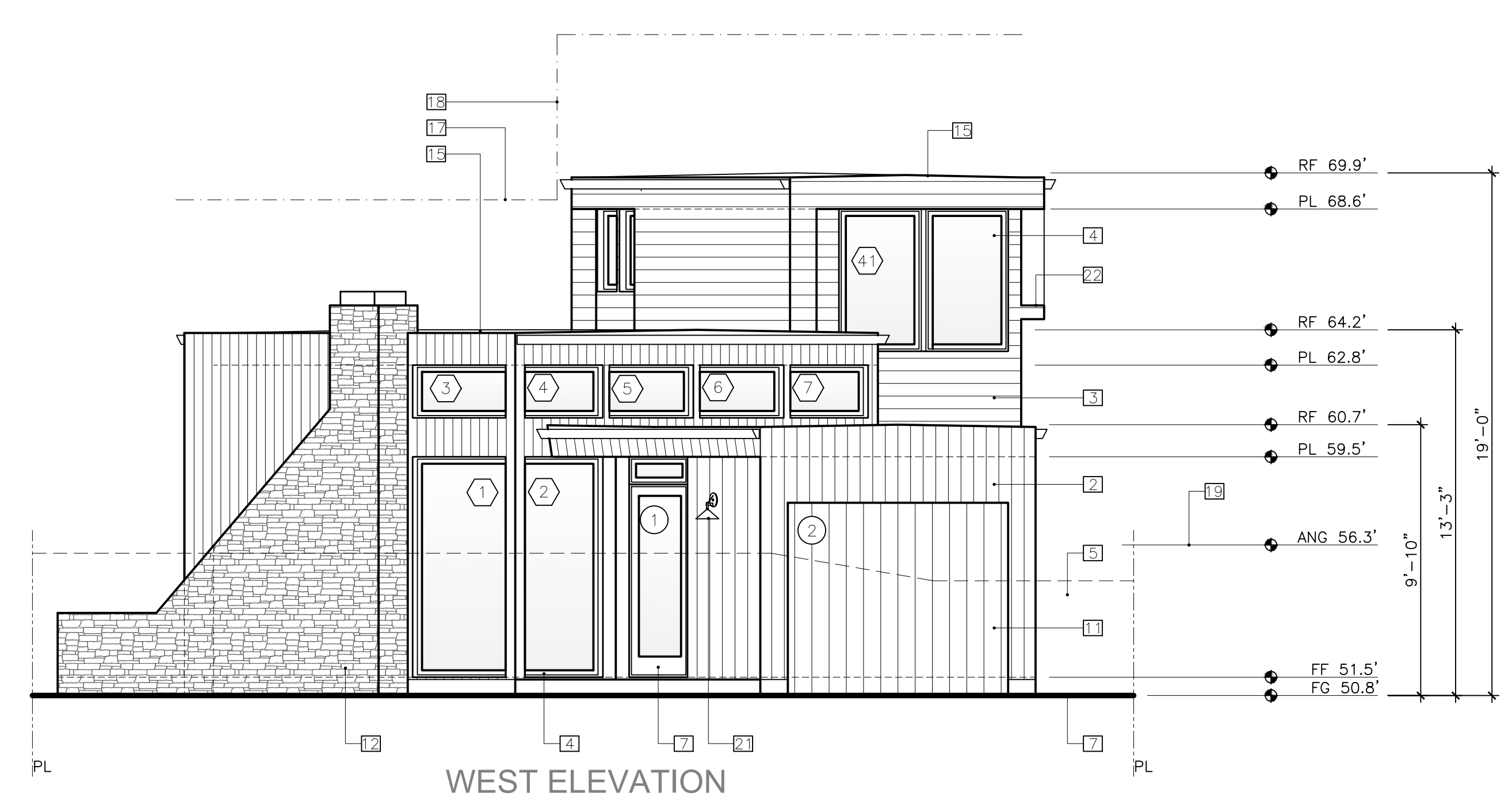
ELEVATIONS &
 (PROPOSED &
 EXISTING)

SCALE: 1" = 1/4"

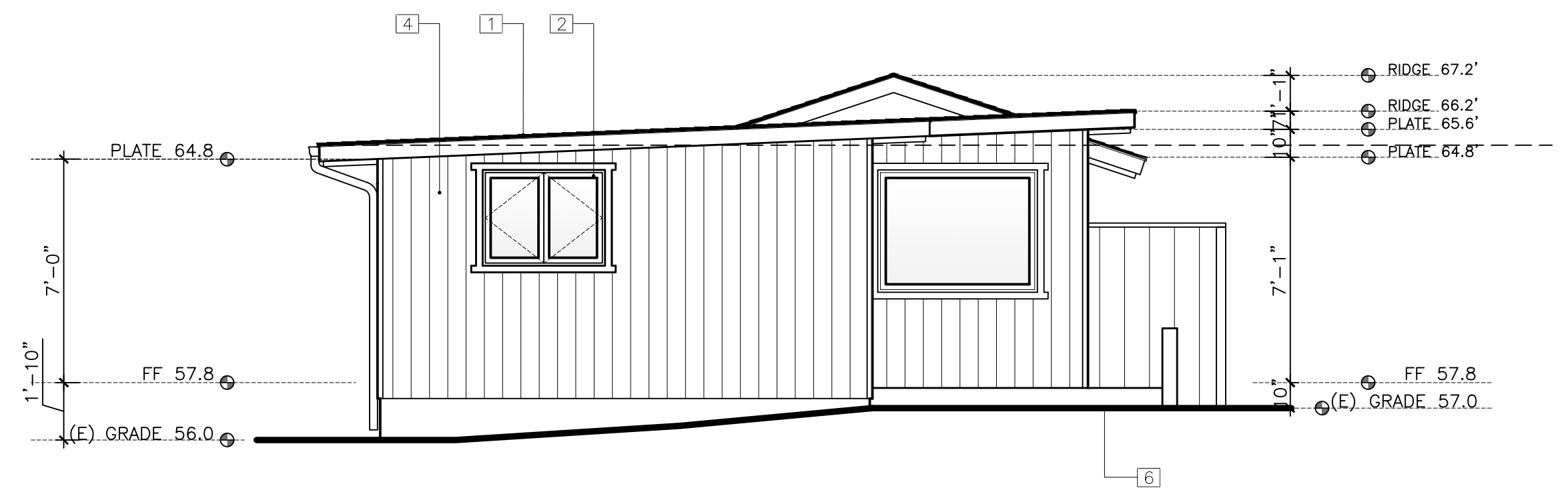
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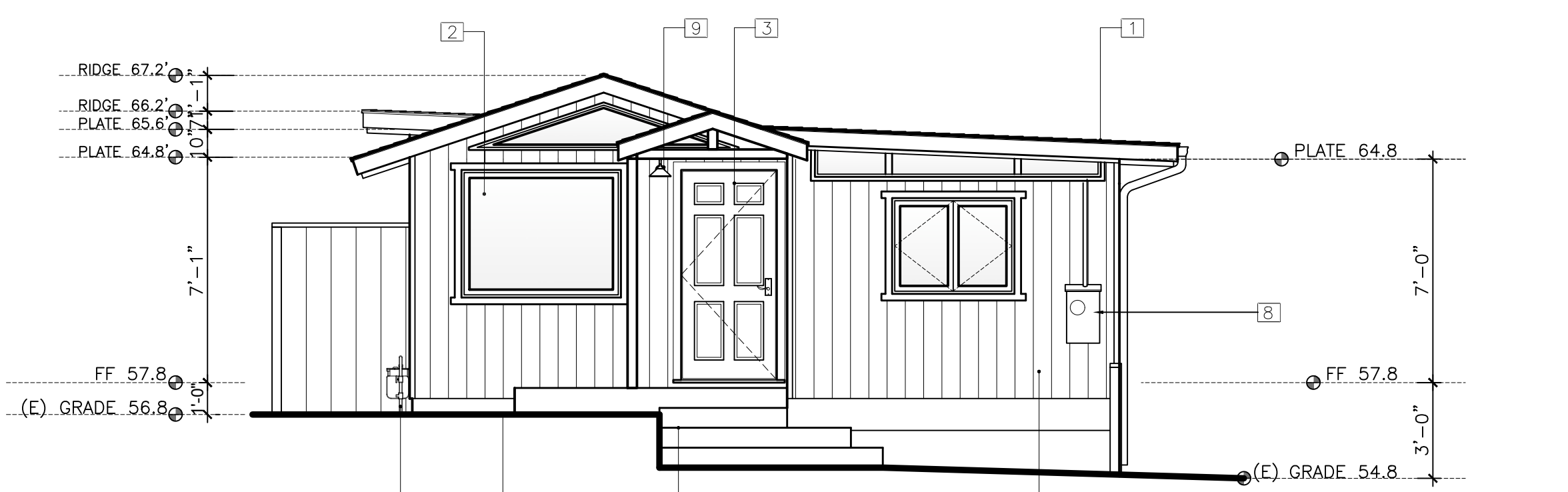
EAST ELEVATION



WEST ELEVATION



EAST ELEVATION



WEST ELEVATION

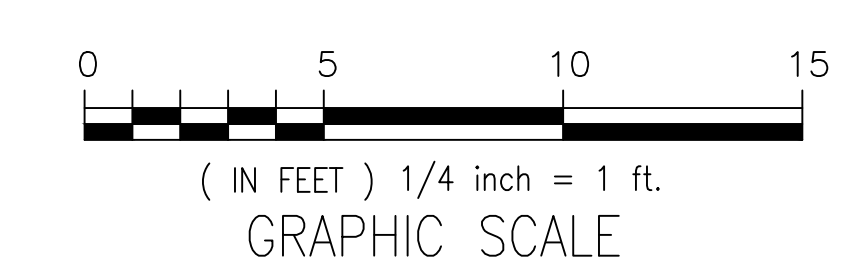
KEY NOTES

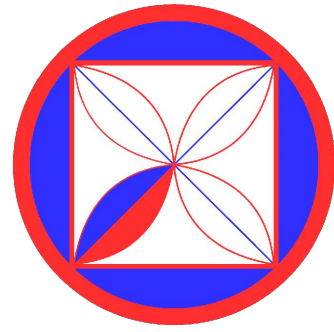
PROPOSED ELEVATIONS:

- 1 STAINLESS STEEL DOWN SPOUT & GUTTER
- 2 VERTICAL CEDAR SIDING 1X6, STAINED
- 3 HORIZONTAL CEDAR SIDING 1X6, STAIN
- 4 DOOR & WINDOWS (WOOD CLAD)
- 5 EXISTING GRADE WHERE OCCURS
- 6 STONE VENEER TAPERED COLUMN, COURSED PATTERN
- 7 NEW GRADE SHOWN SOLID THK LINE
- 8 WOOD DOOR WITH CEDAR PLANKS TO MATCH THE SIDING.
- 9 RETAINING WALL, PLASTER FINISH
- 10 WINDOW #21 LOCATION BEHIND WALL
- 11 GARAGE DOOR, WOOD SIDING 1X8 PLANKS
- 12 STONE VENEER FIRE PLACE, COURSED PATTERN
- 13 OUTLINE OF STAIRWELL EXTERIOR WALL
- 14 HOT TUB ENCASED WITH 1X6 CEDAR PLANKS TO MATCH SIDING
- 15 FLAT ROOF, TAR AND GRAVEL.
- 16 15-FT HEIGHT LIMIT AT REAR SETBACK SHOWN DASH-DOT LINE
- 17 18-FT 2ND STORY PLATE HEIGHT LIMIT SHOWN DASH-DOT LINE
- 18 24-FT 2ND STORY HEIGHT LIMIT SHOWN DASH-DOT LINE
- 19 AVERAGE NATURAL GRADE 57.3 FT
- 20 SKYLIGHT 22X48
- 21 LIGHT FIXTURE, DARK SKY, DARK BRONZE FINISH
- 22 CLAUSTRAS; PRIVACY PANEL, REVIEWED AND APPROVED BY NEIGHBOR TO THE SOUTH.

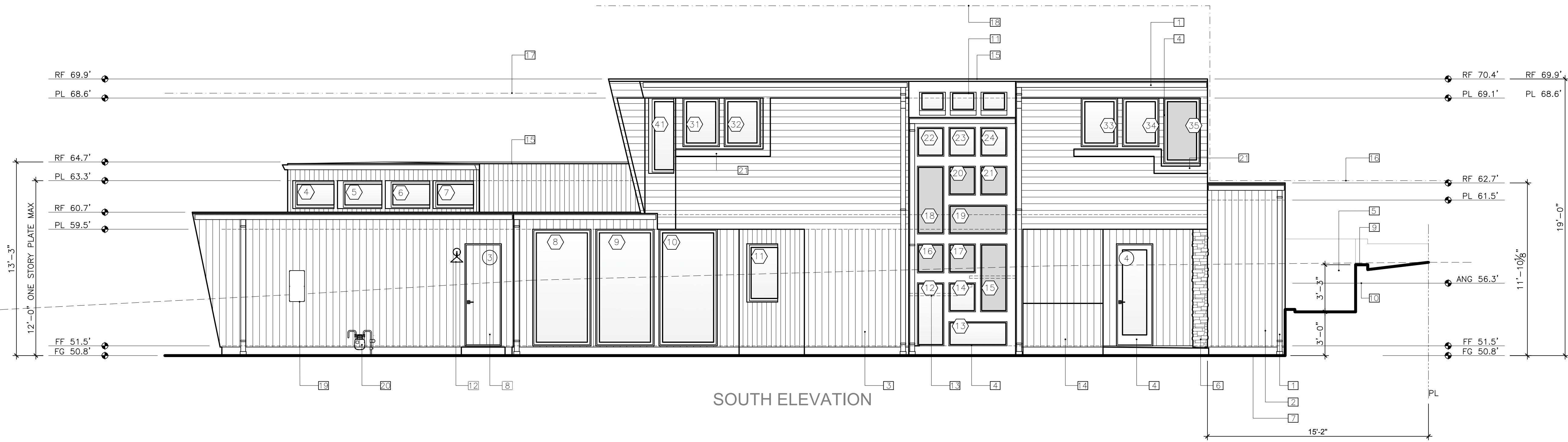
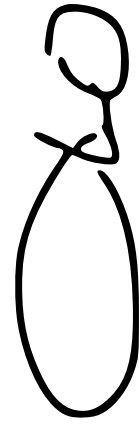
EXISTING ELEVATIONS:

- 1 EXISTING ASPHALT SHINGLE ROOF TO BE REMOVED
- 2 EXISTING WINDOWS TO BE REMOVED
- 3 EXISTING DOOR TO BE REMOVED
- 4 EXISTING WOOD SIDING TO BE REMOVED
- 5 EXISTING CONC STEPS
- 6 EXISTING GRADE
- 7 EXISTING GAS METER
- 8 EXISTING SUB-PANEL TO BE REMOVED

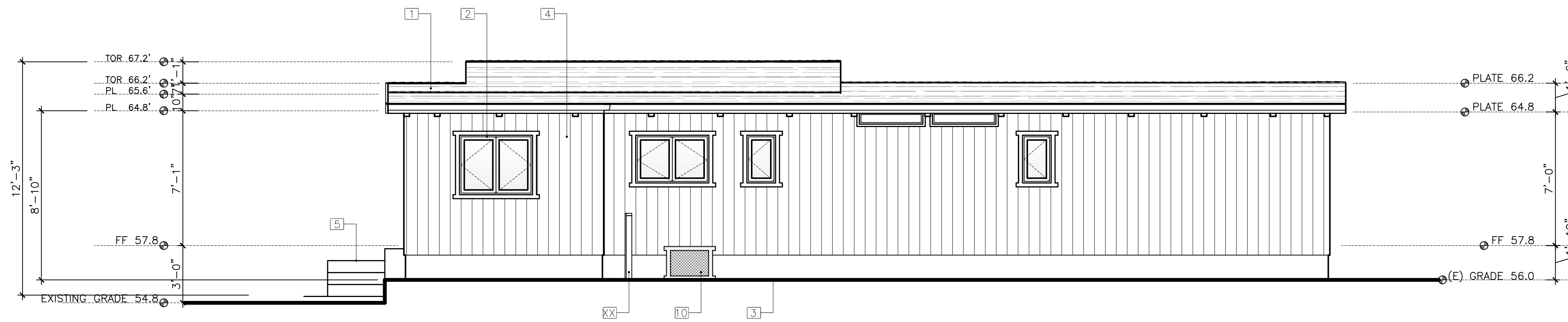




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SOUTH ELEVATION



SOUTH ELEVATION

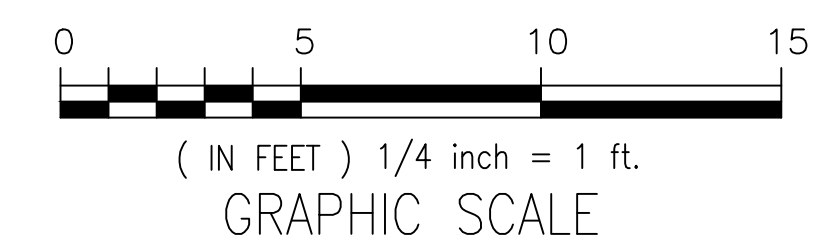
KEY NOTES

PROPOSED ELEVATIONS:

- 1 STAINLESS STEEL DOWN SPOUT & GUTTER
- 2 VERTICAL CEDAR SIDING 1X6, STAINED
- 3 HORIZONTAL CEDAR SIDING 1X6, STAINING
- 4 DOOR & WINDOWS (WOOD CLAD)
- 5 EXISTING GRADE WHERE OCCURS
- 6 STONE VENEER TAPERED COLUMN, COURSED PATTERN
- 7 NEW GRADE SHOWN SOLID THK LINE
- 8 WOOD DOOR WITH CEDAR PLANKS TO MATCH THE SIDING.
- 9 RETAINING WALL, PLASTER FINISH
- 10 AVERAGE NATURAL GRADE 57.3 FT
- 11 SKYLIGHT 22X48
- 12 LIGHT FIXTURE, DARK SKY, DARK BRONZE FINISH
- 13 OUTLINE OF STAIRWELL EXTERIOR WALL
- 14 HOT TUB ENCASED WITH 1X6 CEDAR PLANKS TO MATCH SIDING
- 15 FLAT ROOF, TAR AND GRAVEL.
- 16 15-FT HEIGHT LIMIT AT REAR SETBACK SHOWN DASH-DOT LINE
- 17 18-FT 2ND STORY PLATE HEIGHT LIMIT SHOWN DASH-DOT LINE
- 18 24-FT 2ND STORY HEIGHT LIMIT SHOWN DASH-DOT LINE
- 19 NEW 200 AMP ELEC. SERVICE ENTRANCE
- 20 GAS METER; PROVIDE A CLEAR & LEVEL SURFACE: WIDTH-48" DEPTH-36" HEIGHT-78"
- 21 CLAUSTRAS; PRIVACY PANEL, REVIEWED AND APPROVED BY NEIGHBOR TO THE SOUTH.

EXISTING ELEVATIONS:

- 1 EXISTING ASPHALT SHINGLE ROOF TO BE REMOVED
- 2 EXISTING WINDOWS TO BE REMOVED
- 3 EXISTING GRADE
- 4 EXISTING WOOD SIDING TO BE REMOVED
- 5 EXISTING CONC STEPS



REVISIONS:

PROJECT:
 Collins Residence
 San Carlos, 3 SW of 1st, Carmel-By-The-Sea
 Monterey County, California
 Block: 1 Lot: North Port of 8 & SouthPort of 10
 APN: 010-121-013-000
PROJECT NO.: 21-08

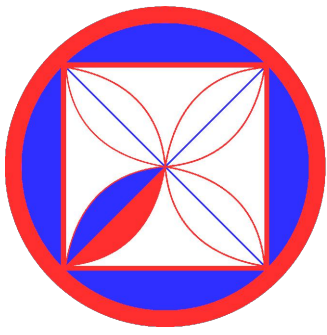
ISSUE:
DRAWN BY: C.O.

ELEVATIONS & (PROPOSED & EXISTING)

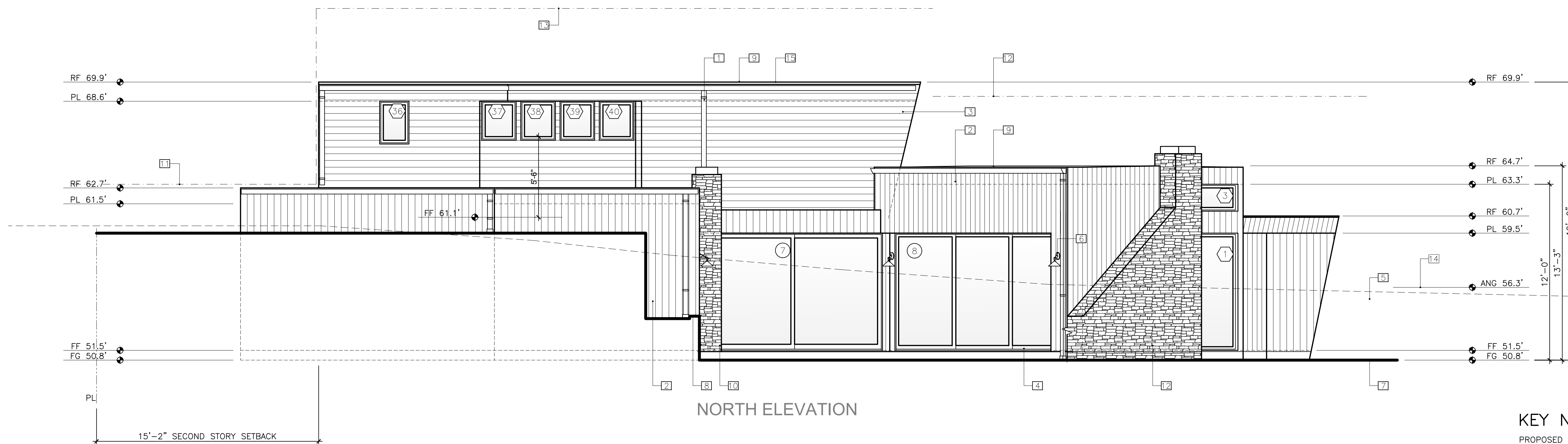
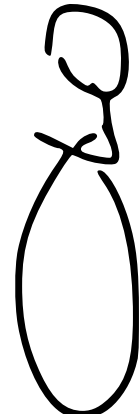
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A5.1

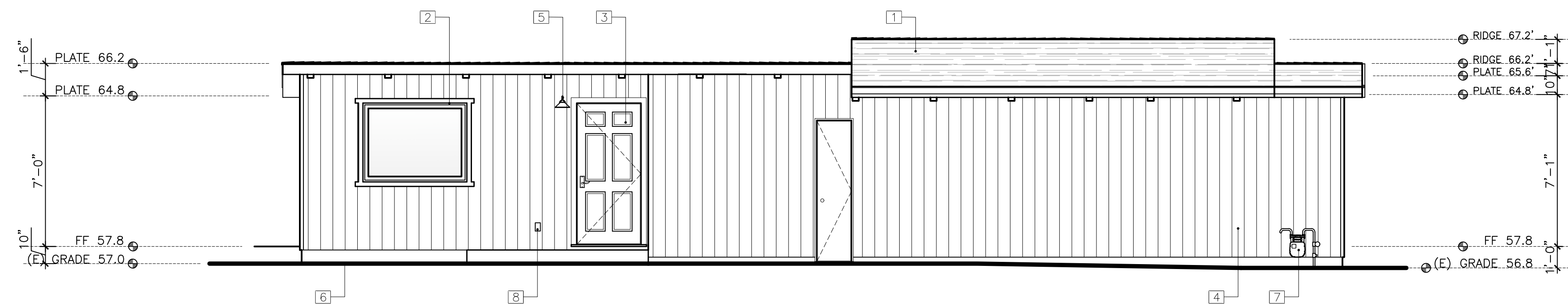
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NORTH ELEVATION



NORTH ELEVATION

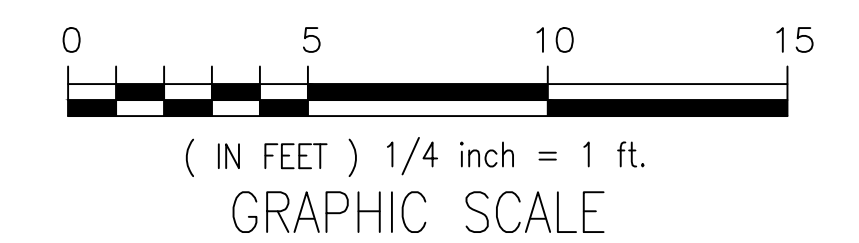
KEY NOTES

PROPOSED ELEVATIONS:

- 1 STAINLESS STEEL DOWN SPOUT & GUTTER
- 2 VERTICAL CEDAR SIDING 1X6, STAINED
- 3 HORIZONTAL CEDAR SIDING 1X6, STAINING
- 4 DOOR & WINDOWS (WOOD CLAD)
- 5 EXISTING GRADE WHERE OCCURS
- 6 LIGHT FIXTURE, DARK SKY, DARK BRONZE FINISH
- 7 NEW GRADE SHOWN SOLID THK LINE
- 8 RETAINING WALL, PLASTER FINISH
- 9 FLAT ROOF, TAR AND GRAVEL.
- 10 STONE VENEER FIRE PLACE, COURSED PATTERN
- 11 15'-FT HEIGHT LIMIT AT REAR SETBACK SHOWN DASH-DOT LINE
- 12 18'-FT 2ND STORY PLATE HEIGHT LIMIT SHOWN DASH-DOT LINE
- 13 24'-FT 2ND STORY HEIGHT LIMIT SHOWN DASH-DOT LINE
- 14 AVERAGE NATURAL GRADE 57.3 FT

EXISTING ELEVATIONS:

- 1 EXISTING ASPHALT SHINGLE ROOF TO BE REMOVED
- 2 EXISTING WINDOWS TO BE REMOVED
- 3 EXISTING DOOR TO BE REMOVED
- 4 EXISTING WOOD SIDING TO BE REMOVED
- 5 EXISTING LIGHT FIXTURE TO BE REMOVED
- 6 EXISTING GRADE
- 7 EXISTING GAS METER
- 8 EXISTING 125 VOLT RECEPTACLE TO BE REMOVED



REVISIONS:

PROJECT: Collins Residence
 San Carlos, 3 SW of 1St, Carmel-By-The-Sea
 Monterey County, California
 Block: 10 Lot: North Port of 8 & SouthPort of 10
 APN: 010-121-013-000
PROJECT NO.: 21-08

ISSUE:

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ELEVATIONS
 (PROPOSED &
 EXISTING)

SCALE: 1" = 1/4"

A5.2

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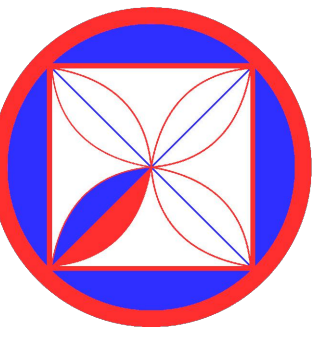
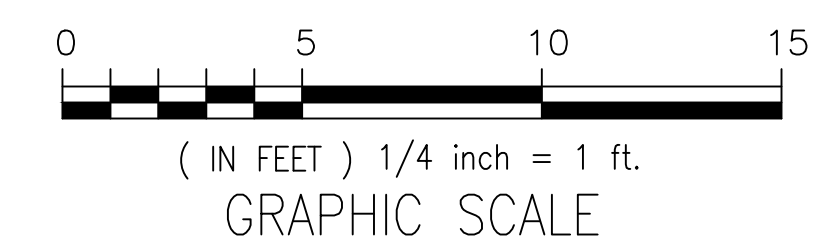
San Carlos Street

EXISTING EAST ELEVATION



San Carlos Street

PROPOSED EAST ELEVATION



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REVISIONS:

PROJECT:
 Collins Residence
 San Carlos, 3 SW of 1st, Carmel-By-The-Sea
 Monterey County, California
 Block: 10 Lot: North Port of 8 & SouthPort of 10
 APN: 010-121-013-000
 PROJECT NO.
 21-08

ISSUE:

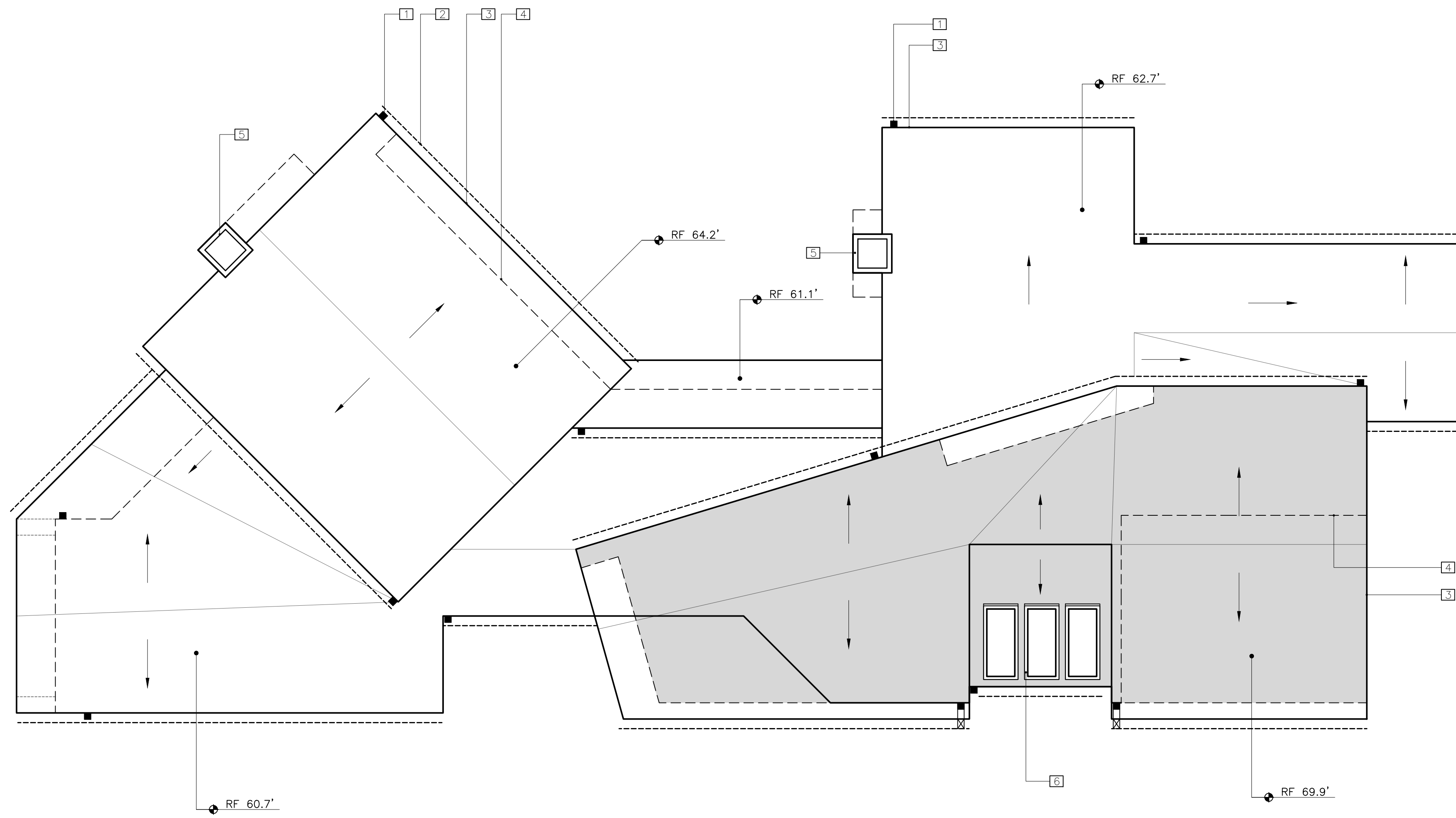
STREETSCAPE

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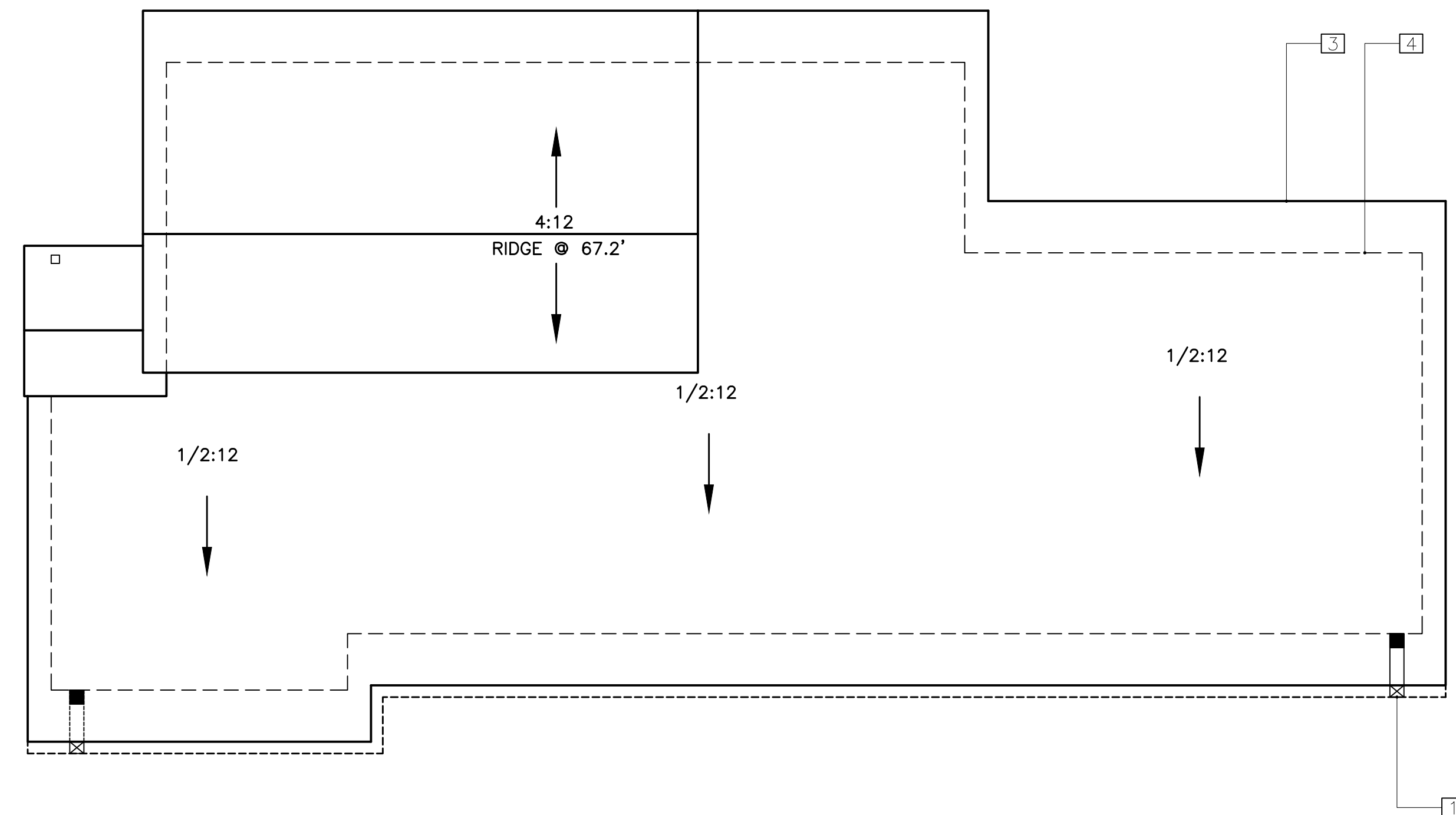
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PROPOSED ROOF PLAN



EXISTING ROOF PLAN

GENERAL NOTES

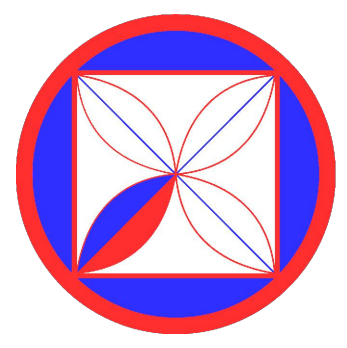
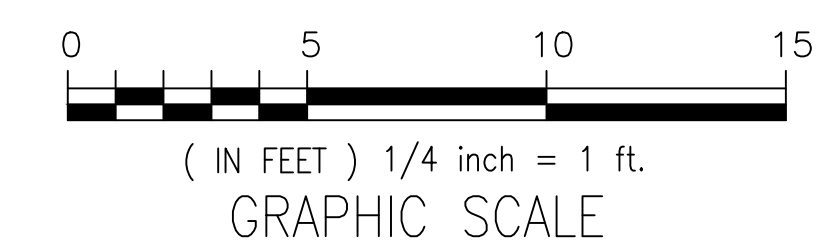
- SEE PLAN FOR ROOF SLOPE.
- INSTALLATION OF ROOFING SHALL BE IN ACCORDANCE WITH MANUFACTURE'S SPECIFICATIONS.
- CLASS "A" MINIMUM RATING FOR ROOF ASSEMBLY PER C.B.C.
- IN "CALIFORNIA" DOUBLE FRAMING AREAS PROVIDE OPENINGS INTO MAIN ATTIC SPACE FOR ADEQUATE VENTILATION. PER C.B.C., IF "CALIFORNIA" DOUBLE FRAME AREA HAS MORE THAN 30-INCHES HEADROOM PROVIDE A 22"x30" ACCESS THROUGH MAIN ROOF SHEATHING. VERIFY OPENINGS IN ROOF SHAETHING WITH STRUCTURAL ENGINEER.
- ALL BOX COLUMNS AND "POP-OUTS" SHALL REMAIN OPEN AT TOP PALET LINE TO ALLOW FOR VENTILATION. PROVIDE TWO (2) LAYERS GRADE "D" MINIMUM PAPER UNDER STUCCO WHERE WOOD SHEATHING ACCURS.
- PROVIDE DRAFT STOPS PER C.B.C.
- ALL ROOF FASTENERS TO BE CAPABLE OF RESISTING WIND LOAD OF 110 M.P.H. INSTALLED PER MANUFACTURER'S WRITTEN INSTRUCTION.. (As shown in Figured R301-2(4).)
- BUILT UP ROOFING TO HAVE MINERAL SURFACE CAP SHEET WITH FIBERGLASS BASE SHEET SPOT MOPPED TO DECK. PROVIDE 2 FIBERGLASS PLYSHEETS WITH TYPE III ASPHALT @ 25-30. CONSULT MANF. FOR SPECIFIC INSTALLATION REQUIREMENTS.
- WHERE CEILING ARE APPLIDE TO UNDER-SIDE OF ROOF RAFTERS, EACH SEPARATE SPACE SHALL HAVE CROSS VENTILATION OPENING & MINIMUM 1-INCH AIR SPACE BETWEEN INSULATION AND ROOF SHEATHING.
- FLAT ROOFS MUST SLOPE A MINIMUM OF 1/4-INCH PER FOOT FOR DRAINAGE OR SUBMIT DESING TO SUPPORT ACCUMULATED WATER. (Sec. 1611.2)
- 50% OF THE REQUIRED VENTILATION AREA SHALL BE PROVIDED BY VENTILATORS IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED AT LEAST 3-FEET ABOVE EAVE OR CORNICE VENTS WITH THE BALANCE.

KEY NOTES

- 1 DOWNSPOUTS
- 2 GUTTERS W/ 2% SLOPE
- 3 ROOF LINE
- 4 BUILDING FOOTPRINT; SHOWN THIN-DASHED LINE
- 5 CHIMNEY SHROUD, STAINLESS STEEL
- 6 SKYLIGHT 22X48

LEGEND

- THICK SOLID LINE ROOF LINE; NEW
- THIN DASHED LINE BUILDING FOOTPRINT
- GUTTERS W/2% SLOPE
- DOWNSPOUTS
- DOWNSPOUTS
- 2% SLOPE DIRECTION ARROW
- UPPER FLOOR



CODG
 CLAUDIO ORTIZ DESIGN GROUP, INC
 26615 CARMEL CENTER PLACE, STE 102
 Carmel, CA 93923
 OFFICE: 831.626.4146
 CLAUDIO@CODG.COM
 WWW.CODG.COM

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REVISIONS:

PROJECT:
 Ceiling Residence
 San Carlos, SW
 Monterey County, California
 Block: 1 Lot: North Part of 8 & SouthPort of 10
 APN: 010-121-013-000
 PROJECT NO.
 21-08

ISSUE:

ROOF PLANS
 (PROPOSED & EXISTING)

SCALE: 1" = 1/4"

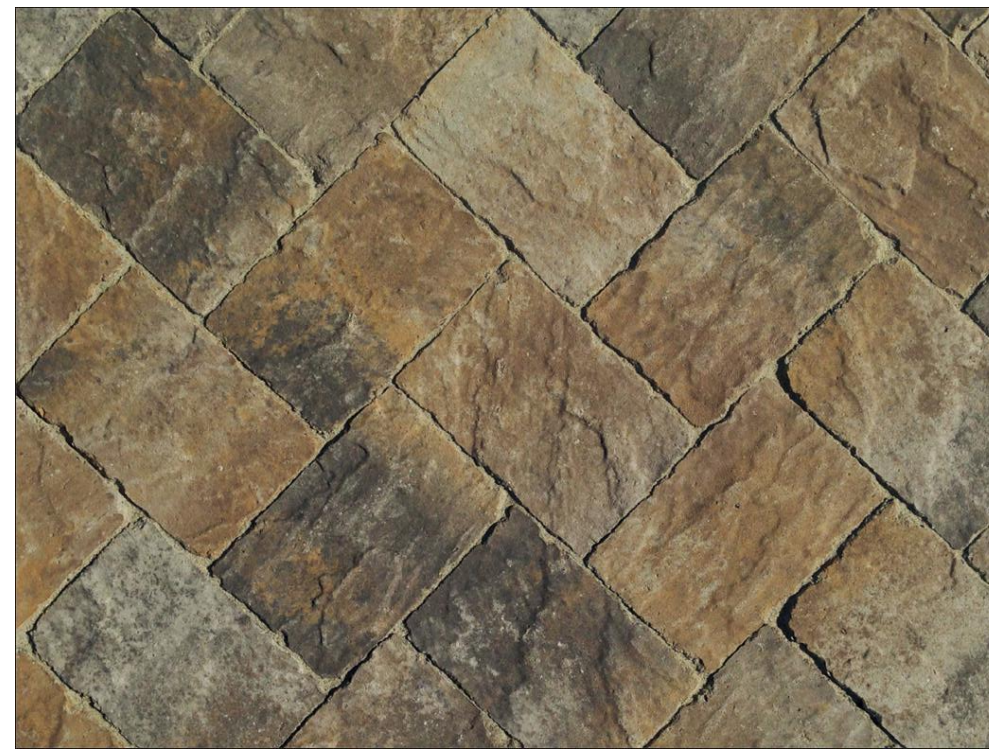
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DRAWN BY:
 C.O.



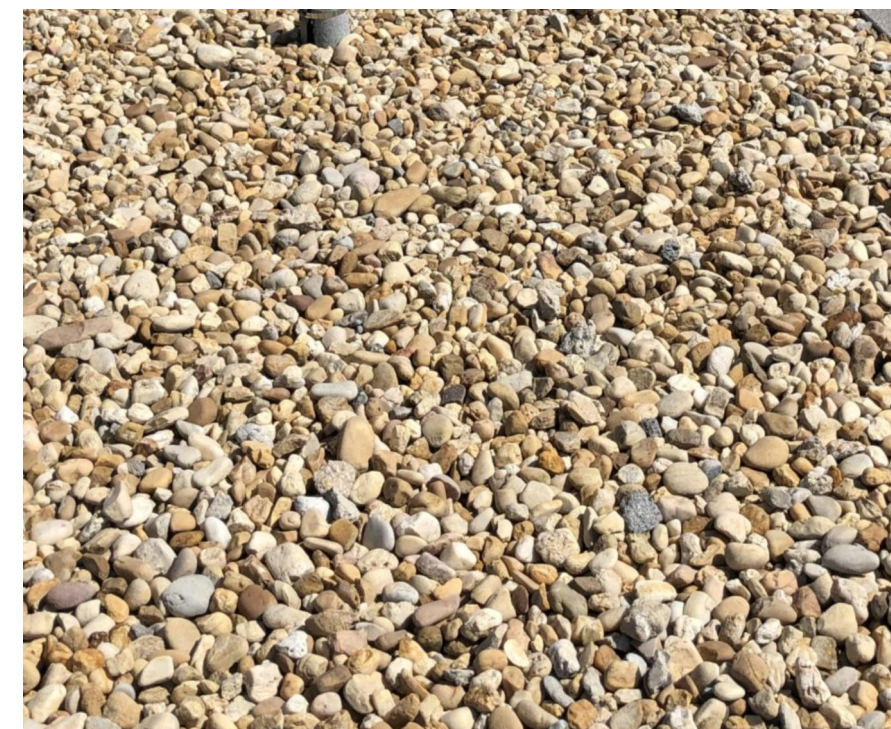
PATIO

MANUFACTURE: BLUESTONE FLAGSTONE
 COLOR: NATURAL
 INSTALLATION: SET ON SAND



DRIVEWAY

MANUFACTURE: CALSTONE
 COLOR: OAK BARREL GRAY
 INSTALLATION: SET ON SAND



ROOF

TYPE: BALLASTED ROOF SYSTEM
 MANUFACTURE: SIKAFLEX SARNIFIL
 COLOR: LIGHT BROWN MIXED SAND TONES
 LOCATION: EXTERIOR
 BALLAST: ROUNDED RIVER STONES OR AGGREGATE. BALLAST TYPE SHALL BE ASTM D448, NO. 4, 3/4" TO 1 1/2" DIA & 10LBS/SQ.FT.



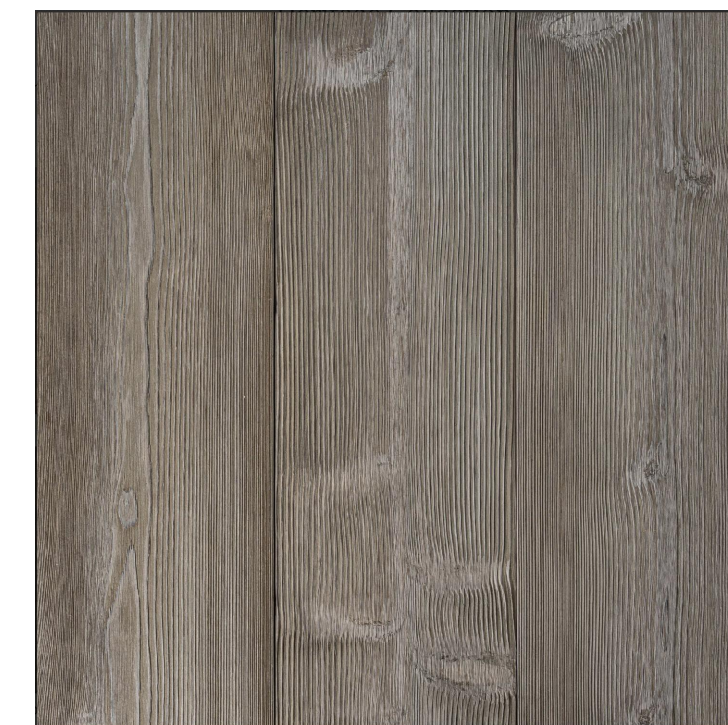
BULB

MANUFACTURE: FEIT ELECTRIC
 WATTS: 2.7 WATTS
 LUMENS: 250
 BULB TYPE: R15 LED



FIXTURE A

MANUFACTURE: KICHLER, RIPLEY
 T24 COMPLIANT: YES
 COLOR: BLACK
 WATTS: SEE BULB
 LUMENS: SEE BULB
 BULB TYPE: SEE BULB
 DIMENSIONS: 9.5"H X 11.25"W X 9.25"



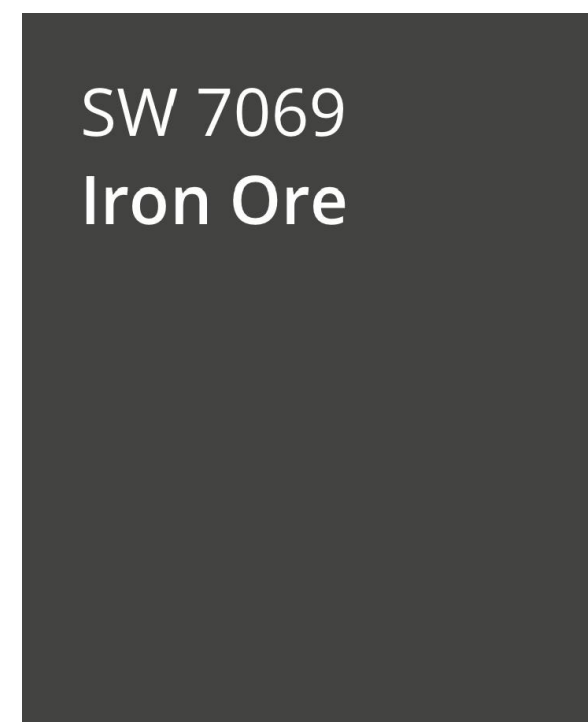
COLOR EXTERIOR BODY

MANUFACTURE: HEWN SIDING
 COLOR: CORRAL
 LOCATION: EXTERIOR
 TYPE: HERITAGE COLLECTION
 MATERIAL: CEDAR



FIXTURE C

MANUFACTURE: WAC LEDme
 T24 COMPLIANT: N/A
 COLOR: BRONZE
 WATTS: 3.9 WATTS
 LUMENS: 68
 BULB TYPE: LED MODULE
 DIMENSIONS: 21"H X 8"W

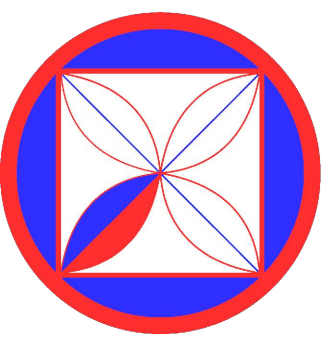


EXTERIOR TRIM COLOR

MANUFACTURE: SHERWIN-WILLIAMS
 COLOR: SHIITAKE
 LOCATION: EXTERIOR
 LOCATOR NUMBER: 248-C1

EXTERIOR LIGHTING NOTES

1. ALL EXTERIOR LIGHTING ATTACHED TO THE MAIN BUILDING OR ANY ACCESSORY BUILDING MAY NOT BE HIGHER THAN 10- FEET ABOVE THE GROUND AND MAY NOT EXCEED 25-WATTS (INCANDESCENT EQUIVALENT; i.e., APPROXIMATELY 375 LUMENS) IN POWER PER FIXTURE.
2. LANDSCAPE LIGHTING MAY NOT EXCEED 18-INCHES ABOVE THE GROUND NOR MORE THAN 15 WATTS (INCANDESCENT EQUIVALENT; i.e., APPROXIMATELY 225 LUMENS) PER FIXTURE AND MAY NOT BE SPACED CLOSER THAN 10- FEET APART. LANDSCAPE LIGHTING MAY NOT BE USED FOR TREE, WALL, FENCE OR ACCENT LIGHTING OF ANY TYPE. THE PURPOSE OF LANDSCAPE LIGHTING IS TO SAFELY ILLUMINATE WALKWAYS AND ENTRANCES TO THE SUBJECT PROPERTY.



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 CARMEL, CA 95023
 408.853.4466
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REVISIONS:

PROJECT: Collins Residence
 San Carlos, 3 SW of 1st, Carmel-By-The-Sea
 Monterey County, California
 Block: 11 Lot: North Port of 8 & SouthPort of 10
 APN: 010-121-013-000
PROJECT NO. 21-08

ISSUE:

DRAWN BY: C.O.

MATERIALS

SCALE: 1' = 1/4"

A8.0



NEW 6-FOOT FENCE

MATERIAL: REDWOOD
 FINISH: NATURAL
 HEIGHT: 6-FT.

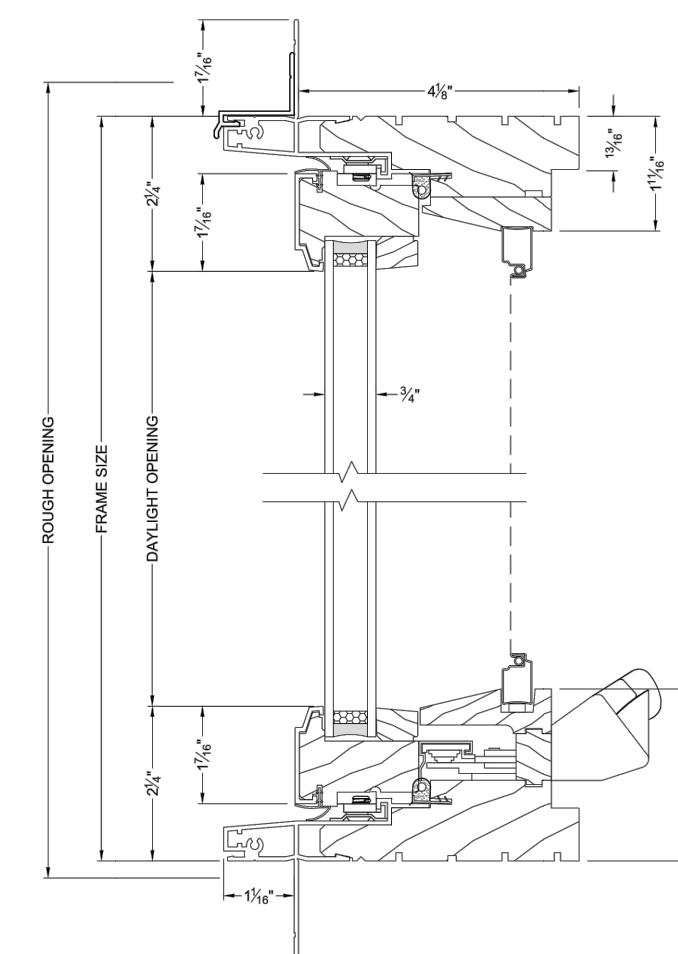


NEW 4-FOOT FENCE

MATERIAL: REDWOOD 2X6 PICKETS,
 SPACED 3-1/2" APART
 FINISH: STAINED TO MATCH
 DWELLING BODY COLOR
 HEIGHT: 4-FT.

Clad Urban Casement Scale: 6" = 1'-0"

Contemporary 4 1/8" Jamb
 Vertical/Operable Section - Narrow Sash



WINDOW

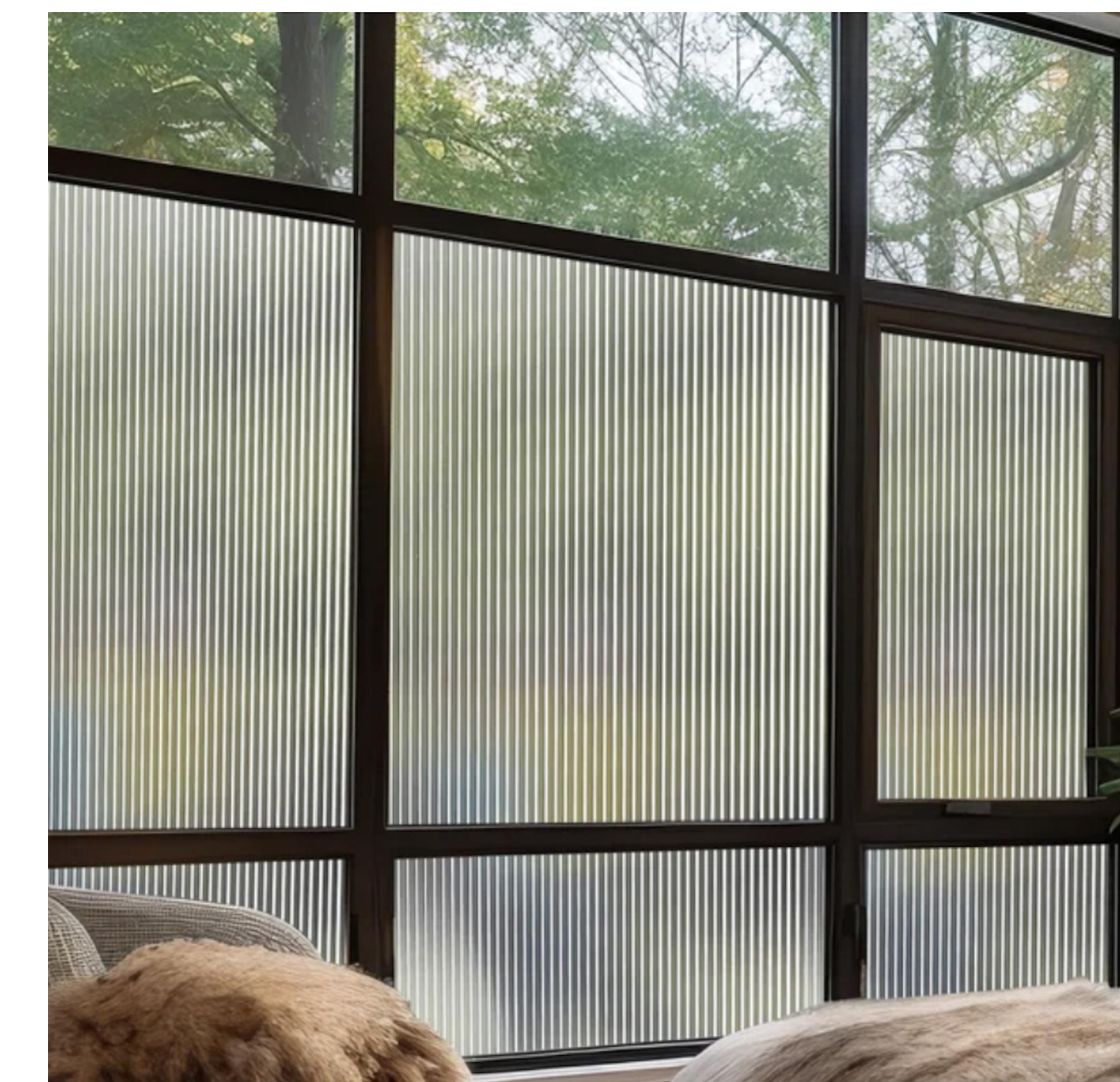
MANUFACTURE: SIERRA PACIFIC
 COLOR: BATTLESHIP GRAY 321
 MATERIAL: WOOD-CLAD
 STYLE: CLAD URBAN CASEMENT
 MUNTIN: 7/8" PUTTY

www.sierrapacificwindows.com
 800-824-7744

Updated: 7/19
 Note: Sierra Pacific Windows reserves the right to change specifications without notice.



EXTERIOR CLAD COLOR



OBSCURED GLASS

PATTER STYLE: NARROW REEDED GLASS
 COLOR: CLEAR



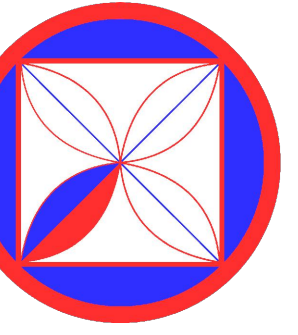
SOUTH ELEVATION



FRONT ELEVATION



COURTYARD VIEW



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REVISIONS:

PROJECT:
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ISSUE:

DRAWN BY:
 C.O.

RENDERINGS

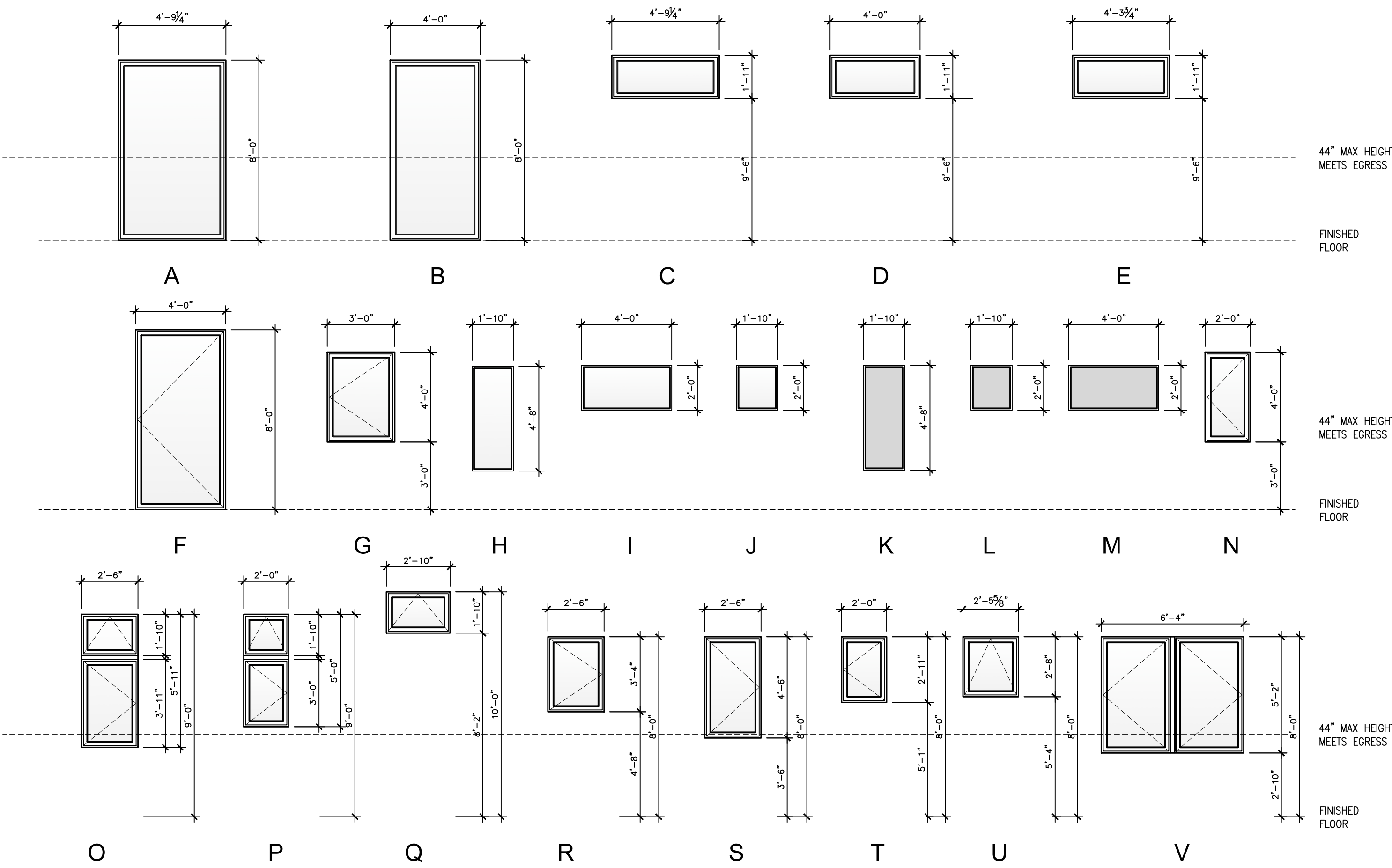
SCALE: 1" = 1/4"

A9.0

DATE: 11/27/24
 DRAWN BY: C.O.
 CHECKED BY: C.O.
 SCALE: 1" = 1/4"

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Window Elevation Types



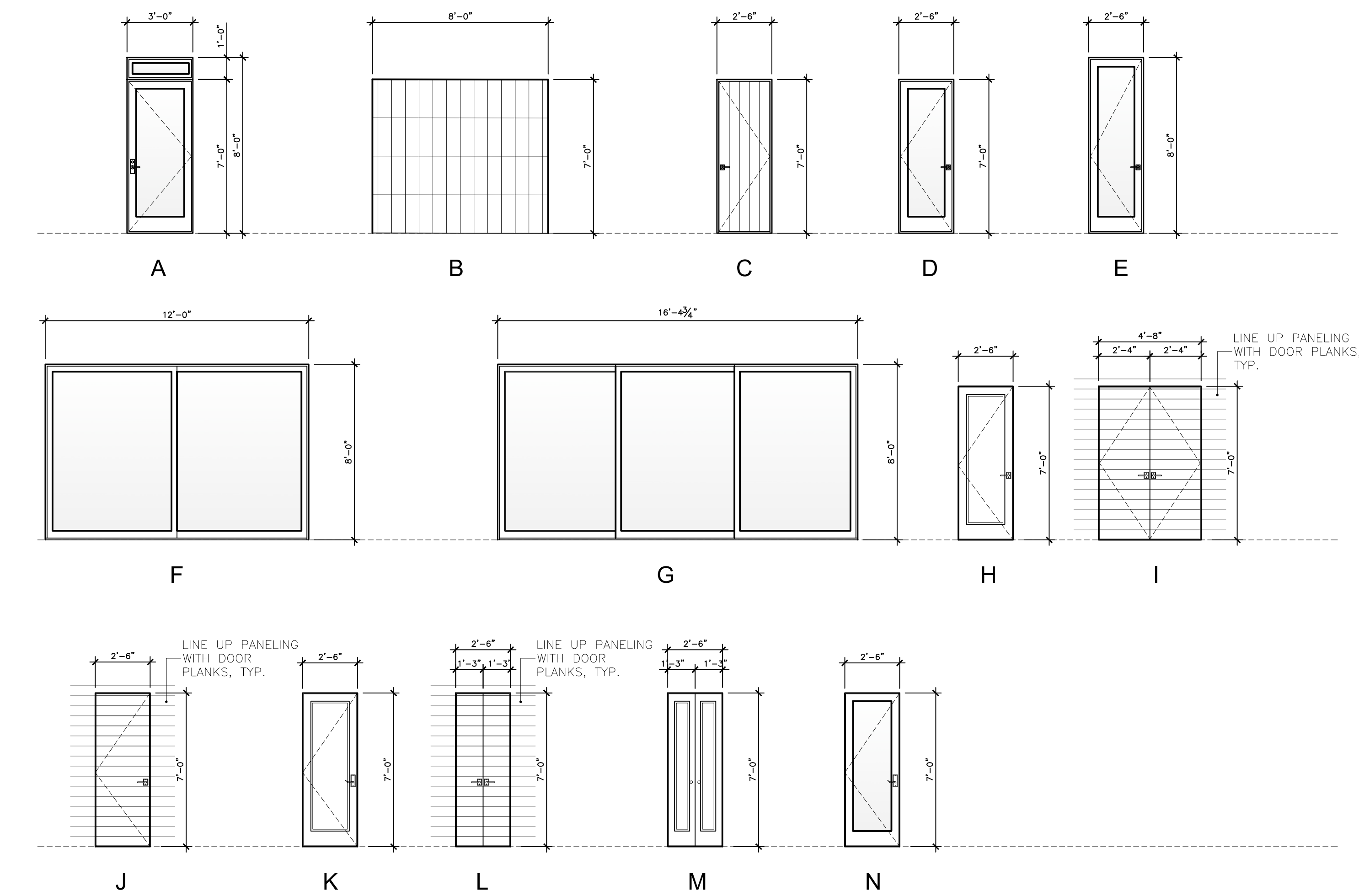
Window Schedule

NO.	LOCATION	TYPE	SIZE	FINISH	REMARKS	MATERIAL	GLAZING	TEMPERED	SCREEN	EGRESS WINDOWS
1	LIVING ROOM	A	4'-9 1/4" X 8'-0"	FF	FIXED	WOOD CLAD	YES	YES	NO	NO
2	LIVING ROOM	B	4'-0" X 8'-0"	FF	FIXED	WOOD CLAD	YES	YES	NO	NO
3	LIVING ROOM	C	4'-9-1/4" X 1'-11"	FF	FIXED	WOOD CLAD	YES	NO	NO	NO
4	LIVING ROOM	D	4'-0" X 1'-11"	FF	FIXED	WOOD CLAD	YES	NO	NO	NO
5	LIVING ROOM	E	4'-3-3/4" X 1'-11"	FF	FIXED	WOOD CLAD	YES	NO	NO	NO
6	LIVING ROOM	E	4'-3-3/4" X 1'-11"	FF	FIXED	WOOD CLAD	YES	NO	NO	NO
7	LIVING ROOM	D	4'-0" X 1'-11"	FF	CASEMENT	WOOD CLAD	YES	NO	YES	NO
8	DINING ROOM	F	4'-0" X 8'-0"	FF	CASEMENT	WOOD CLAD	YES	YES	YES	NO
9	DINING ROOM	F	4'-0" X 8'-0"	FF	CASEMENT	WOOD CLAD	YES	YES	YES	NO
10	DINING ROOM	F	4'-0" X 8'-0"	FF	CASEMENT	WOOD CLAD	YES	YES	YES	NO
11	KITCHEN	G	3'-0" X 4'-0"	FF	CASEMENT	WOOD CLAD	YES	NO	YES	NO
12	STAIRS	H	1'-10" X 4'-8"	FF	FIXED	WOOD CLAD	YES	YES	YES	NO
13	STAIRS	I	4'-0" X 2'-0"	FF	FIXED	WOOD CLAD	YES	YES	YES	NO
14	STAIRS	J	1'-10" X 2'-0"	FF	FIXED	WOOD CLAD	YES	YES	YES	NO
15,18	STAIRS	K	1'-10" X 4'-8"	FF	FIXED, NARROW REED GL.	WOOD CLAD	YES	YES	YES	NO
16,17,20,21	STAIRS	L	1'-10" X 2'-0"	FF	FIXED, NARROW REED GL.	WOOD CLAD	YES	YES	YES	NO
19	STAIRS	M	4'-0" X 2'-0"	FF	FIXED, NARROW REED GL.	WOOD CLAD	YES	YES	YES	NO
25	POWDER ROOM	N	2'-0" X 4'-0"	FF	CASEMENT	WOOD CLAD	YES	NO	YES	NO
26	MASTER BATHROOM	O	2'-6" X 9'-0" (REF. TO WIND ELEV.)	FF	FIXED/CASEMENT/AWNING	WOOD CLAD	YES	YES	YES	NO
27	MASTER BATHROOM (WATER CLOSET)	P	2'-0" X 5'-0" (REF. TO WIND ELEV.)	FF	CASEMENT/AWNING	WOOD CLAD	YES	NO	NO	NO
28	MASTER BEDROOM	Q	2'-10" X 1'-10"	FF	AWNING	WOOD CLAD	YES	YES	NO	NO
29	MASTER BEDROOM	Q	2'-10" X 1'-10"	FF	AWNING	WOOD CLAD	YES	NO	NO	NO
30	MASTER BEDROOM	Q	2'-10" X 1'-10"	FF	AWNING	WOOD CLAD	YES	NO	NO	NO
31	BEDROOM TWO	N	4'-10" X 4'-2"	FF	CASEMENT	WOOD CLAD	YES	NO	NO	NO
33-34	BEDROOM ONE	S	4'-10" X 4'-2"	FF	CASEMENT	WOOD CLAD	YES	NO	YES	NO
35	BEDROOM ONE	N	4'-10" X 4'-2"	FF	CASEMENT	WOOD CLAD	YES	NO	YES	YES
36	BATHROOM ONE	T	2'-0" X 2'-11"	FF	CASEMENT	WOOD CLAD	YES	NO	YES	NO
37-40	HALLWAY TWO	U	2'-5-5/8" X 2'-8"	FF	AWNING	WOOD CLAD	YES	NO	YES	NO
41	BEDROOM TWO	V	6'-4" X 4'-2"	FF	FIXED	WOOD CLAD	YES	YES	YES	YES

WINDOW SPECIFICATIONS:

MANUFACTURE: SIERRA PACIFIC
 MODEL: URBAN CASEMENT
 TRIM OPTIONS: EXTERIOR: NONE, INTERIOR: NONE
 GLASS: STANDARD DUAL PANE, CLEAR
 GRILL: NONE
 JAMB: 6-9/16 INCH
 CLAD COLOR: BATTLESHIP GRAY #321
 INTERIOR FINISH: CLEAR
 WOOD SPECIE: DOUGLAS FIR
 HARDWARE: STANDARD CONTEMPORARY HANDLE
 HARDWARE COLOR: SATIN NICKEL

Door Elevation Types



Door Schedule

NO.	LOCATION	TYPE	SIZE	FINISH	REMARKS	MATERIAL	GLAZING	TEMPERED	
1	ENTRY	A	3'-0" X 8'-0"	S	GLASS / PANELED	OUTSIDE	WOOD CLAD	NO	YES
2	GARAGE	B	8'-0" X 7'-0"	FF	ROLL-UP, FOUR SECTION PANELS	OUTSIDE	CEDAR	NO	NO
3	GARAGE	C	2'-6" X 7'-0"	FF	PLANKS TO MATCH EXTERIOR SIDING	OUTSIDE	CEDAR	NO	NO
4	MASTER BATHROOM	D	2'-6" X 7'-0"	FF	GLASS / PANELED DOOR	OUTSIDE	WOOD CLAD	YES	YES
5	MASTER BATHROOM	E	2'-6" X 8'-0"	FF	GLASS / PANELED DOOR	OUTSIDE	WOOD CLAD	YES	YES
6	MASTER BATHROOM	E	2'-6" X 8'-0"	FF	GLASS / PANELED DOOR	OUTSIDE	WOOD CLAD	YES	YES
7	KITCHEN	F	12'-0" X 8'-0"	FF	GLASS / SLIDER	OUTSIDE	WOOD CLAD	YES	YES
8	LIVING ROOM	G	4'-4-3/4" X 8'-0"	FF	GLASS / SLIDER	OUTSIDE	WOOD CLAD	YES	YES
9	GARAGE	H	2'-6" X 6'-8"	ST	FLUSHED / PANELED DOOR, SELF CLOSING, ONE-HOUR RATED	INSIDE	WHITE OAK	NO	NO
10	KITCHEN	I	(2) PR 2'-4" X 7'-0"	ST	PLANKS TO MATCH WALL PANELS	INSIDE	WHITE OAK	NO	NO
11	HALLWAY ONE	J	2'-6" X 7'-0"	ST	PLANKS TO MATCH WALL PANELS	INSIDE	WHITE OAK	NO	NO
12	POWDER ROOM	K	2'-6" X 7'-0"	ST	FLUSHED / PANELED DOOR	INSIDE	WHITE OAK	NO	NO
13	LAUNDRY	L	(2) PR 1'-3" X 7'-0"	ST	PLANKS TO MATCH WALL PANELS	INSIDE	WHITE OAK	NO	NO
14	BEDROOM ONE	J	2'-6" X 7'-0"	ST	PLANKS TO MATCH WALL PANELS	INSIDE	WHITE OAK	NO	NO
15	MASTER CLOSET	M	(2) PER- 1'-3" X 7'-0"	ST	FLUSHED / PANELED DOOR	INSIDE	WHITE OAK	NO	NO
16	MASTER BATHROOM	N	2'-6" X 7'-0"	ST	FLUSHED / OPAQUE GLASS PANELED DOOR	INSIDE	WHITE OAK	YES	YES
17	BATHROOM ONE	K	2'-6" X 7'-0"	ST	FLUSHED / PANELED DOOR	INSIDE	WHITE OAK	NO	NO
18	BEDROOM ONE	K	2'-6" X 7'-0"	ST	FLUSHED / PANELED DOOR	INSIDE	WHITE OAK	NO	NO
19	BEDROOM TWO	K	2'-6" X 7'-0"	ST	FLUSHED / PANELED DOOR	INSIDE	WHITE OAK	NO	NO

DOOR SPECIFICATIONS (EXTERIOR):

MANUFACTURE: SIERRA PACIFIC
 MODEL: STANDARD CASEMENT
 GLASS: STANDARD DUAL PANE, CLEAR
 GRILL: NONE
 JAMB: 6-9/16"
 CLAD COLOR: BATTLESHIP GRAY #321
 INTERIOR FINISH: CLEAR
 WOOD SPECIE: DOUGLAS FIR
 HARDWARE: STANDARD CONTEMPORARY HANDLE
 HARDWARE COLOR: SATIN NICKEL
 TRIM OPTIONS: EXTERIOR: WOOD CASING TO MATCH EXISTING, INTERIOR: WOOD CASING TO MATCH EXISTING

DOOR SPECIFICATIONS (INTERIOR):

MANUFACTURE: TRUESTILE
 MODEL: TMIR13000
 GLASS: NONE
 GRILL: NONE
 INTERIOR FINISH: STAINED
 WOOD SPECIE: PLAIN SAWN WHITE OAK
 THICKNESS: 1-3/4"
 JAM WIDTH: 4" (VERIFY)
 HINGES: BRUSHED CHROME
 HARDWARE: EMTEK, FREESTONE LEVEL
 HARDWARE COLOR: SATIN NICKEL
 PROFILES: 1/4" KERF CUT REVEAL
 TRIM OPTIONS: EXTERIOR: NONE, INTERIOR: NONE

DOOR SPECIFICATIONS (ENTRY):

MANUFACTURE: SIERRA PACIFIC
 MODEL: STANDARD CASEMENT
 GLASS: STANDARD DUAL PANE, CLEAR
 GRILL: NONE
 JAMB: 6-9/16"
 CLAD COLOR: BATTLESHIP GRAY #321
 INTERIOR FINISH: CLEAR
 WOOD SPECIE: DOUGLAS FIR
 HARDWARE: STANDARD CONTEMPORARY HANDLE
 HARDWARE COLOR: SATIN NICKEL
 TRIM OPTIONS: EXTERIOR: WOOD CASING TO MATCH EXISTING, INTERIOR: WOOD CASING TO MATCH EXISTING

DOOR NOTES:

- PROVIDE DEAD BOLT LOCKS ON ALL EXTERIOR DOORS. SEE SCHEDULE FOR ADDITIONAL REQUIREMENTS.
- PROVIDE PRIVACY HARDWARE FOR ALL BEDROOM AND BATHROOM LOCATIONS.
- GENERAL CONTRACTOR TO CONSULT WITH OWNER FOR ADDITIONAL DOOR HARDWARE REQUIREMENTS.
- ALL DOOR GLAZING TO BE TEMPERED GLASS.
- ALL EXTERIOR DOOR GLAZING TO BE 5/8" INSULATED TEMPERED GLASS.
- DOORS BETWEEN CONDITIONED AND UNCONDITIONED SPACES TO BE FULLY WEATHER STRIPPED.
- GENERAL CONTRACTOR TO REVIEW DOOR ORDER WITH ARCHITECT PRIOR TO DOOR ORDER PLACEMENT.
- DOOR HINGES TO BE 4.5"H.X4.5"W. DOOR 7'-0"
- ALL DOOR TOPS AND BOTTOM TO BE SANDED, FINISHED AND SEALED.
- GARAGE DOORS - SEE SCHEDULE AND EXTERIOR ELEVATIONS FOR ADDITIONAL INFORMATION.
- THE DOOR FINISH PER CLIENT OR CODG, INC.
- THE DOOR STILES TO BE PER PLAN
- CHECK FLOOR PLAN FOR HINGES LOCATION
- PER THE ENERGY CODE ALL WINDOWS ARE TO BE LAMINATED DOUBLE GLAZING PANE.

WINDOW NOTES:

- PROVIDE SAFETY GLAZING (TEMPERED OR LAMINATED) AS REQUIRED PER C.B.C.
- SCREEN COLOR TO BE SPECIFIED BY CLIENT
- GENERAL CONTRACTOR TO VERIFY THE WINDOW ORDER AND ROUGH FRAMING WITH THE DESIGNER/ARCHITECT PRIOR TO PLACEMENT OF THE WINDOW ORDER.
- THE WINDOW MANUFACTURER WILL SUPPLY SHOP DRAWINGS FOR SPECIAL WINDOWS (OVERSIZE, ETC.) FOR REVIEW BY CODG, Inc.
- APPLY SISAL KRAFT PAPER AROUND ALL EXTERIOR OPENINGS.
- PROVIDE CONTINUOUS CAULK AROUND ALL WINDOW OPENINGS WITH G.E. SILICONE ACRYLIC, POLYSULFIDE OR URETHANE AS REQUIRED.
- ALL MANUFACTURED WINDOWS TO BE CERTIFIED AND LABELED MEETING STANDARDS LISTED IN TABLE 2-5.3V OF TITLE 24.
- EXTERIOR WINDOW FINISH TO BE SEALED, U.N.O.
- ALL OPERABLE WINDOWS TO HAVE SCREENS. AS SPECIFY BY CLIENT.
- SEE EXTERIOR ELEVATIONS FOR ALL WINDOW HEAD HEIGHTS.
- DOUBLE PANE LAMINATED GLASS AS SPECIFIED TITLE 24 GLASS & GLAZING SEC. 2401 & TABLE 2403.2.1
- PER THE ENERGY CODE ALL WINDOWS ARE TO BE GLAZING AS DUAL PANE.
- WINDOW JAMS TO BE 3-1/2-INCHES WITHOUT EXTENSION JAMS AND DELIVERED WITH EXTERIOR WOOD SILLS ONLY. (U.N.O)

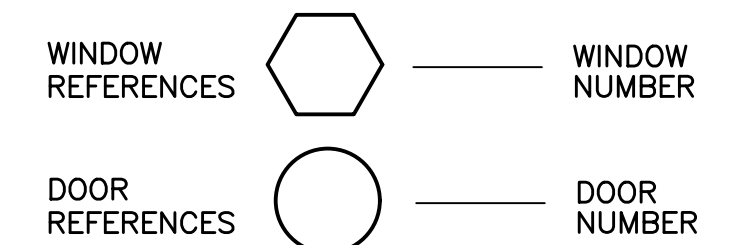
NOTE:

- FOR HINGE LOCATION & OPENING SWING DIRECTION SEE ELEVATIONS
- ALL WINDOW DIMENSIONS ARE THE ROUGH OPENING SEE ELEVATIONS
- ALL DOOR DIMENSIONS ARE ACTUAL DOOR SIZE & OPENING SEE ELEVATIONS

TEMPERED GLASS NOTE:

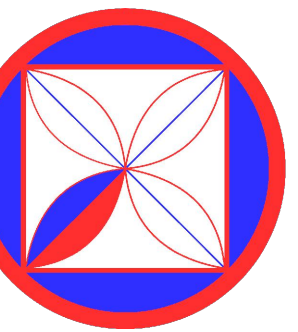
- EACH PANE OF GLAZING INSTALLED IN HAZARDOUS LOCATIONS SHALL BE TEMPERED GLASS; THE FOLLOWING LOCATIONS SHALL BE HAZARDOUS LOCATIONS FOR GLAZING:
- GLAZING IN DOORS.
 - GLAZING IN A FIXED OR OPERABLE PANEL ADJACENT TO A DOOR WHERE THE BOTTOM OF THE GLAZING IS LESS THAN 60-INCHES ABOVE THE FLOOR OR WALKING SURFACE AND ITS EITHER WITHIN 24-INCHES OF EITHER SIDE OF THE DOOR IN THE PLANE OF THE DOOR "ORT" WHERE THE GLAZING IS ON A WALL PERPENDICULAR TO THE PLANE OF THE DOOR WITHIN 24-INCHES OF THE HINGE SIDE OF AN IN-SWINGING DOOR.
 - GLAZING IN WINDOWS THAT MEET ALL THE FOLLOWING CONDITIONS:
 - THE EXPOSED AREA OF AN INDIVIDUAL PANE IS LARGER THAN 9 SQUARE FEET
 - THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 18-INCHES ABOVE THE FLOOR.
 - THE TOP EDGE OF THE GLAZING IS LESS THAN 18-INCHES ABOVE THE FLOOR.
 - ONE OR MORE WALKING SURFACES ARE WITHIN 36-INCHES, MEASURED HORIZONTALLY.
 - GLAZING IN GUARDS AND RAILINGS.
 - GLAZING IN WALLS CONTAINING OR FACING TUBS, SHOWERS AND OTHER WET SURFACES WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60-INCHES MEASURED VERTICALLY ABOVE ANY STANDING OR WALKING SURFACES, INCLUDING SHOWER DOORS AND SURROUNDS.
 - GLAZING ADJACENT TO STAIRS AND RAMPS.

SYMBOLS

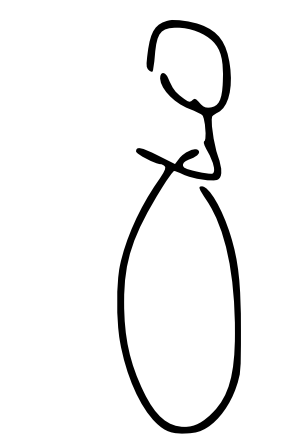


ABBREVIATIONS

- N/A NOT APPLICABLE
- G.C. GENERAL CONTRACTOR
- P PAINT
- ST STAIN
- FF FACTORY FINISH
- I.D. INTERIOR DESIGN
- S SEALED
- MFR. MANUFACTURER
- FIN. FINISH
- NAT. NATURAL



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REVISIONS:

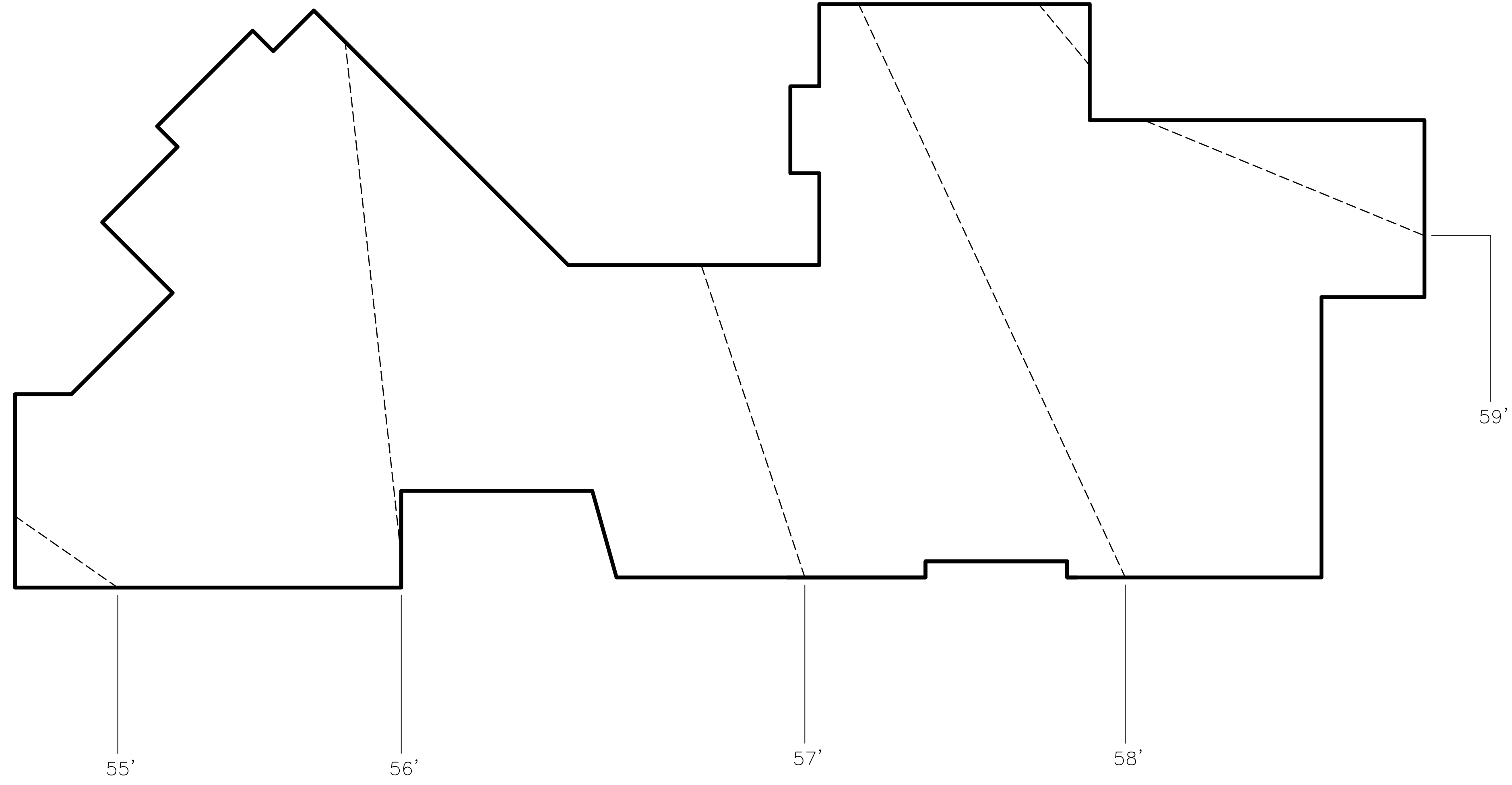
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 San Carlos, 3 SW of 1st, Carmel-By-The-Sea
 Monterey County, California
 Block: 11 Lot: North Port of 8 & SouthPort of 10
 APN: 010-121-013-000
 PROJECT NO. 21-08

ISSUE:

WINDOW & DOOR SCHEDULE (PROPOSED)
 DRAWN BY: C.O.

SCALE: 1/4" = 1'

A10.0



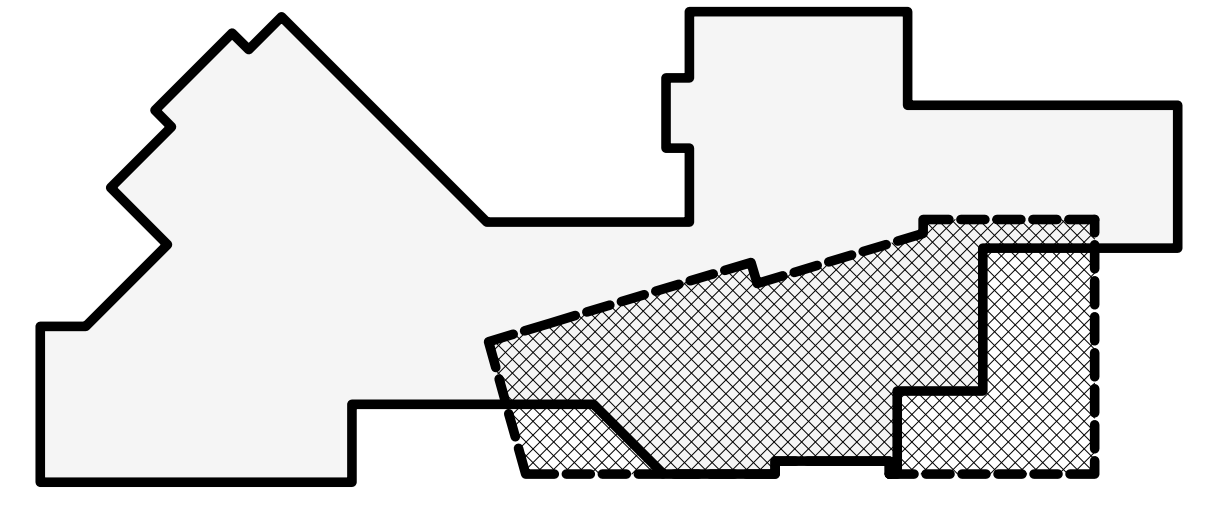
AVERAGE NATURAL GRADE

DWELLING AVERAGE NATURAL GRADE			57.5 FT
ELEV.	LINE	LENGTH	TOTAL
55 FT	0	6.5'	0'
56 FT	1	26.5'	26.5'
57 FT	2	17.0'	34.0'
58 FT	3	32.8'	98.4'
59 FT	4	20.0'	80.0'
TOTAL			238.9'


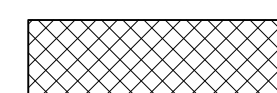


MATH: $238.9 / 102.8 = 2.32$
 FACTOR: = 2.3
 A.N.G. = 55 FT + 2.3 FACTOR = 57.3 FT

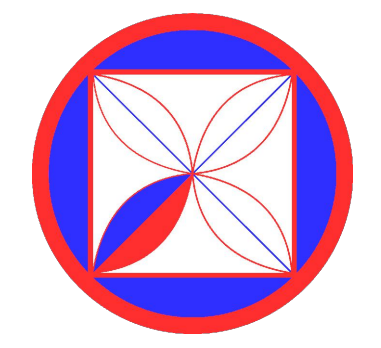
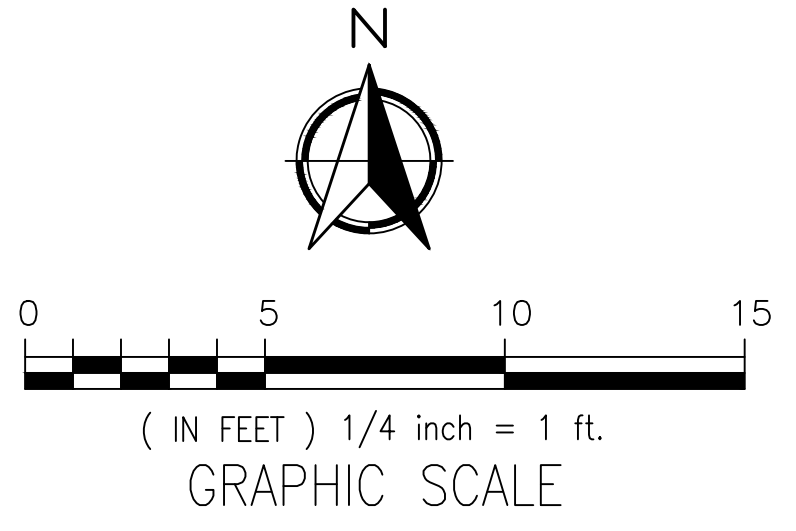
VOLUME ANALYSIS

MAIN LEVEL FLAT	1,184.6 SF X 11	13,030.6 CU.FT.
UPPER LEVEL FLAT	415.4 SF X 10	4,154.0 CU.FT.
ATTACHED GARAGE	200.0 SF X 11	2,200.0 CU.FT.
VOLUME ALLOWED		19,384.6 CU.FT.
VOLUME PROPOSED		13,938.7 CU.FT.



LEGEND

-  LOWER LEVEL FLAT ROOF
-  UPPER LEVEL FLAT ROOF
-  MAIN LEVEL FOOTPRINT
-  UPPER LEVEL FOOTPRINT



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REVISIONS:

PROJECT: Collins Residence
 San Carlos, 3 SW of 1st, Carmel-By-The-Sea
 Monterey County, California
 Block: 11 Lot: North Port of 8 & SouthPort of 10
 APN: 010-121-013-000
PROJECT NO.: 21-08

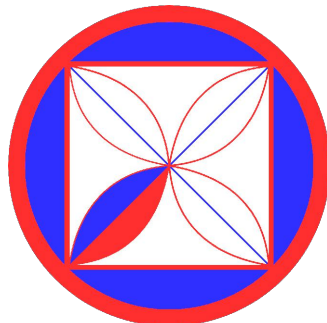
ISSUE:
DRAWN BY: C.O.

**VOLUME ANALYSIS &
 AVERAGE NATURAL
 GRADE PLAN**

SCALE: 1" = 1/4"

A11.0

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REVISIONS:
 05-06-25

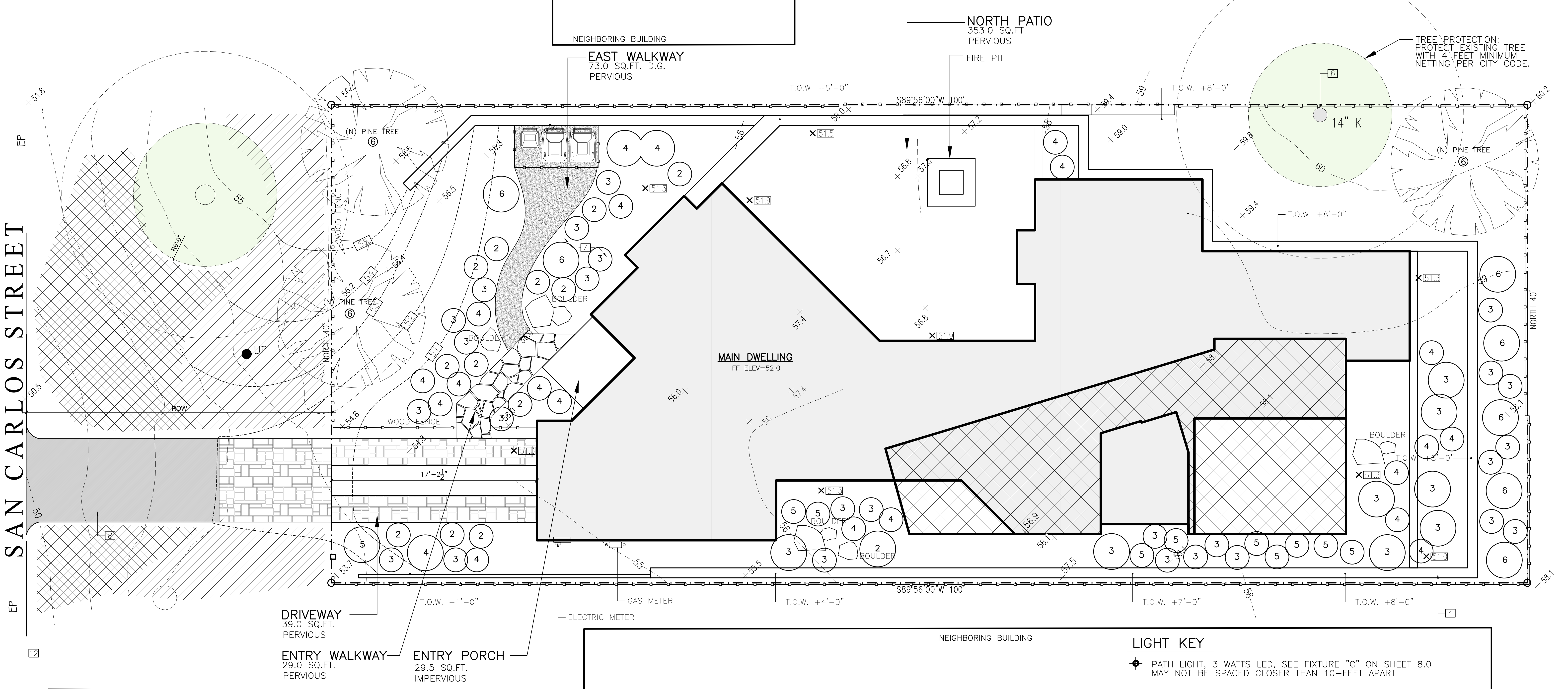
PROJECT:
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 San Carlos, 3 SW of 1st, Carmel-By-The-Sea
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 APN: 010-121-013-000
 PROJECT NO.
 21-08

ISSUE:
 04-01-24
 10-15-24
 01-07-25
 02-12-25
 DRAWN BY:
 C.O.

LANDSCAPE PLAN
 (PROPOSED)

SCALE: 1" = 1/4"

L1.0



FORESTRY NOTE:

- CITY FORESTER REQUIREMENT:
- TREE PROTECTION ZONE- THE TREE PROTECTION ZONE SHALL BE EQUAL TO DRIPLINE OR 18 INCHES RADIALLY FROM THE TREE FOR EVERY ONE INCH OF TRUNK DIAMETER AT 4.5 FEET ABOVE THE SOIL LINE, WHICHEVER IS GREATER. MINIMUM OF 4 FOOT HIGH TRANSPARENT FENCING IS REQUIRED UNLESS OTHERWISE APPROVED BY THE CITY FORESTER. TREE PROTECTION SHALL NOT BE RESIZED, MODIFIED, REMOVED, OR ALTERED IN ANY MANNER WITHOUT WRITTEN APPROVAL. THE FENCING MUST BE MAINTAINED UPRIGHT AND TAUGHT FOR THE DURATION OF THE PROJECT. NO MORE THAN 4 INCHES OF WOOD MULCH SHALL BE INSTALLED WITHIN THE TREE PROTECTION ZONE. WHEN THE TREE PROTECTION ZONE IS AT OR WITHIN THE DRIPLINE, NO LESS THAN 6 INCHES OF WOOD MULCH SHALL BE INSTALLED 18 INCHES RADIALLY FROM THE TREE FOR EVERY ONE INCH OF TRUNK DIAMETER AT 4.5 FEET ABOVE THE SOIL LINE OUTSIDE OF FENCING.
 - THE STRUCTURAL ROOT ZONE STRUCTURAL ROOT ZONE SHALL BY 6 FEET FROM THE TRUNK OR 6 INCHES RADIALLY FROM THE TREE FOR EVERY ONE INCH OF TRUNK DIAMETER AT 4.5' ABOVE THE SOIL LINE, WHICHEVER IS GREATER. ANY EXCAVATION OR CHANGES TO THE GRADE SHALL BE APPROVED BY THE CITY FORESTER PRIOR TO WORK. EXCAVATION WITHIN THE STRUCTURAL ROOT ZONE SHALL BE PERFORMED WITH PNEUMATIC EXCAVATOR, HYDROVAC AT LOW PRESSURE, OR OTHER METHOD THAT DOES NOT SEVER ROOTS.
 - IF ROOTS GREATER THAN 2 INCHES IN DIAMETER OR LARGER ARE ENCOUNTERED WITHIN THE APPROVED STRUCTURAL ROOT ZONE THE CITY FORESTER SHALL BE CONTACTED FOR APPROVAL TO MAKE ANY ROOT CUTS OR ALTERATIONS TO STRUCTURES TO PREVENT ROOTS FROM BEING DAMAGED.
 - IF ROOTS LARGER THAN 2 INCHES IN DIAMETER ARE CUT WITHOUT PRIOR CITY FORESTER APPROVAL OR ANY SIGNIFICANT TREE IS ENDANGERED AS A RESULT OF CONSTRUCTION ACTIVITY, THE BUILDING PERMIT WILL BE SUSPENDED AND ALL WORK STOPPED UNTIL AN INVESTIGATION BY THE CITY FORESTER HAS BEEN COMPLETED AND MITIGATION MEASURES HAVE BEEN PUT IN PLACE.
 - ALL IVY AND ACACIA SHALL BE ERADICATED FROM LOT AND PUBLIC RIGHT OF WAY

PLANT INDEX

No.	BOTANICAL NAME	COMMON NAME	SIZE
1	AGAPANTHUS PETER PAN	LILY OF THE NILE	1 GAL
2	CISTUS DORIS HIBBERSON	ROCK ROSE	5 GAL
3	LAVANDULA STOECHAS	SPANISH LAVENDER	5 GAL
4	SALVIA LEUCANTHA	MEXICAN BUSH SAGE	5 GAL
5	PRUNUS CAROLINIANA	CAROLINA CHERRY LAUREL (TRIM AS HEDGE)	5 GAL
6	PINUS RADITA	MONTEREY PINE	15 GAL
	CEANOTHUS GRISSEUS HORIZONTALIS	CARMEL CREEPER	1 GAL
	CERATOSTIGMA PLUMBAGINOIDES	DWARF PLUMBAGO	1 GAL

IRRIGATION SYSTEM

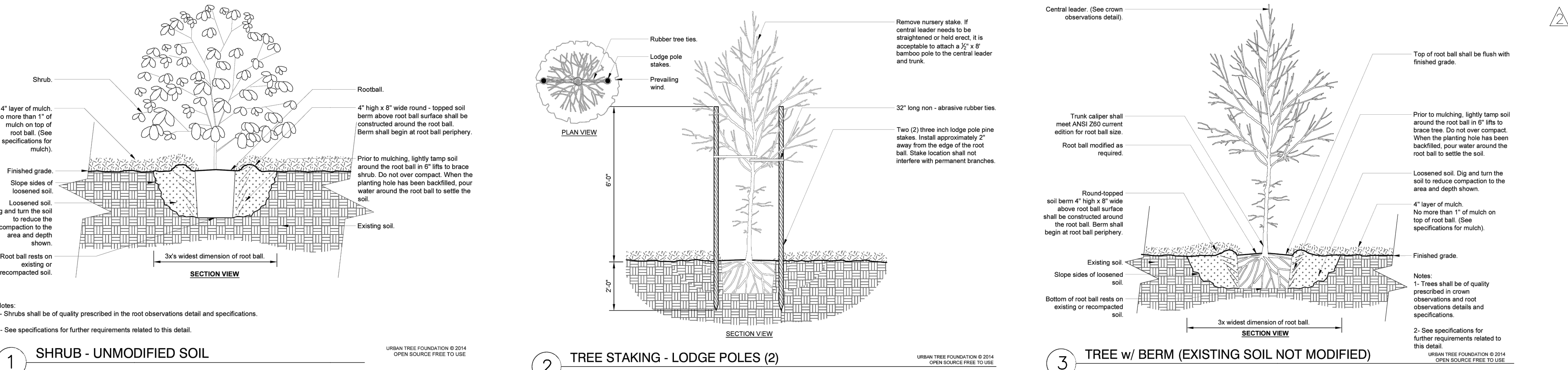
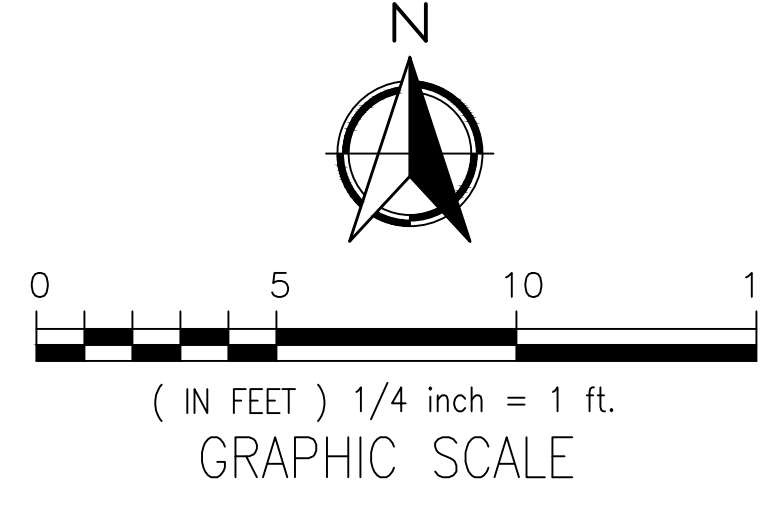
- 1- INCH ANTISYPHON DEVICE
- 1- INCH ELECTRIC VALVES
- FILTER PLUS REGULATOR FOR EACH VALVE
- ELECTRIC CONTROLLER
- EACH PLANT TO BE ON DRIP SYSTEM
- ALL PLANTS WILL BE PLANTED WITH AGRIFORM
- TABS FOLLOWING MANUFACTURE DIRECTIONS.
- COMPOST WILL BE MIXED WITH SOIL AT 2:1

GENERAL NOTES

- FOR THE PORTION OF THE RIGHT-OF-WAY WHERE PARKING MAY NOT BE PRACTICAL DUE TO THE SLOPE, INCLUDE JUTE NETTING AND A DROUGHT TOLERANT GROUND COVER TO MANAGE POST- CONSTRUCTION EROSION CONTROL.
- PLANTS INSTALLED WITHIN THE DRIPLINE OF TREES SHALL BE SELECTED FROM THE CITY'S "LIST OF COMPATIBLE PLANTS UNDER AND AROUND NATIVE TREES" LOCATED IN THE FOREST MANAGEMENT PLAN.

EXTERIOR LIGHTING NOTES

- ALL EXTERIOR LIGHTING ATTACHED TO THE MAIN BUILDING OR ANY ACCESSORY BUILDING MAY NOT BE HIGHER THAN 10- FEET ABOVE THE GROUND AND MAY NOT EXCEED 25-WATTS (INCANDESCENT EQUIVALENT; I.E., APPROXIMATELY 375 LUMENS) IN POWER PER FIXTURE.
- LANDSCAPE LIGHTING MAY NOT EXCEED 18-INCHES ABOVE THE GROUND NOR MORE THAN 15 WATTS (INCANDESCENT EQUIVALENT; I.E., APPROXIMATELY 225 LUMENS) PER FIXTURE AND MAY NOT BE SPACED CLOSER THAN 10- FEET APART. LANDSCAPE LIGHTING MAY NOT BE USED FOR TREE, WALL, FENCE OR ACCENT LIGHTING OF ANY TYPE. THE PURPOSE OF LANDSCAPE LIGHTING IS TO SAFELY ILLUMINATE WALKWAYS AND ENTRANCES TO THE SUBJECT PROPERTY.



1 SHRUB - UNMODIFIED SOIL
 2 TREE STAKING - LODGE POLES (2)
 3 TREE w/ BERM (EXISTING SOIL NOT MODIFIED)