



PROJECT DATA

PROPERTY OWNER: Collins Hermle Family Trust
155 San Rafael Way
San Francisco, CA 94127

ARCHITECT/APPLICANT: DYAR ARCHITECTURE
P.O. BOX 4709
CARMEL, CA. 93921
CONTACT: ERIK DYAR
PH: 831-915-5602

PROJECT ADDRESS: Mission Street 2 NE OF FIRST AVE.
CARMEL-BY-THE-SEA, CA. 93923

APN: 010-112-007

ZONING: R-1

PROJECT CODE COMPLIANCE: 2022 CBC, CRC, CPC, CEC, CMC, CFC,
CALIFORNIA ENERGY CODE &
CALIFORNIA GREEN BUILDING CODE

OCCUPANCY GROUP: R-3

CONSTRUCTION TYPE: VB

TOPOGRAPHY: SLOPING TO SOUTH

MAX BUILDING HEIGHT: 2-STORY
PLATE: 18 FT.
ROOF: 24 FT.

TREE REMOVAL: NONE

Floor Area	ALLOWED	EXISTING	PROPOSED
LOT AREA =		6,000 SF	4,900 SF
ALLOWABLE BASE FLOOR AREA 6,000 sf x 0.45 - ((2000) x .02)	2,460 sq. ft.		
		1,362 SF Main 1,451 SF Garage 270 SF	
PROPOSED LOT AREA (AFTER LOT LINE ADJUSTMENT) =	4,900 SF		
PROPOSED ALLOWABLE BASE FLOOR AREA 4900 sf x 0.45 - ((900) x .02)	2,117 SF		2,116 SF Main 1,451 SF Lower 491 SF Garage 264 SF
Site Coverage	ALLOWED	EXISTING	PROPOSED
IMPERMEABLE:			
STONE PATIOS/ LANDINGS/ RETAINING WALLS		348 SF	
CONCRETE/ WOOD/ STONE RETAINING WALLS		151 SF	45 SF
DECOMPOSED GRANITE PATH			68 SF
HOT TUB			36 SF
TOTAL		499 SF	149 SF
PERMEABLE and SEMI PERMEABLE:			
GRAVEL PATHS		944 SF	
SPACED BOARD STEPS		8 SF	
WOOD DRIVEWAY/ ENTRY PAVERS			141 SF
SPACED-BOARD COURTYARD DECK / BBO DECK			161 SF
BACKYARD SPACED-BOARD DECK / STAIRS			143 SF
BACKYARD WOOD PAVERS			63 SF
TOTAL		952 SF	508 SF
PERCENTAGE PERMEABLE:	>50%	66%	77%
TOTAL SITE COVERAGE	*662 SF	1,451 SF	657 SF
*ALLOWABLE SITE COVERAGE (2,117 sf x 0.22) + 196 sf Bonus			
Building Heights	ALLOWED	EXISTING	PROPOSED
RIDGE HEIGHTS / TOP OF FLAT ROOF (1st / 2nd)	18' / 24'	20'-7 5/8" / 0'	13'-6" / 19'-2"
PLATE HEIGHTS (1st / 2nd)	12' / 18'	8'-0" / 0'	11'-10" / 17'-10"

PROJECT DESCRIPTION

Demolition of Existing 1,091 sq. ft. Single-Family Residence and 270 sq. ft. Detached Garage.

Project includes a Lot-Line Adjustment of the Existing 60' x 100' (6,000 sq. ft.) Lot. The North Property Line is Shifted to the South 11'-0" to create the Proposed 49.0' x 100' (4,900 sq. ft.) Lot.

Construction of a New Two-Story, 1,852 sq. ft., Single-Family Residence with 250 sq. ft. Detached garage and includes:

- New Driveway to Replace Existing
- New Wood Pavers
- New Wood Decks with Jacuzzi in Backyard
- New Green, Planted Roofs
- New 160 sq. ft. Roof Deck
- New Wood Fencing
- New Landscaping

Building Setbacks	ALLOWED	EXISTING	PROPOSED
FRONT	15'	34'-5"	16'-7"
COMPOSITE	12'-3" (25%)	11'-4 1/2"	12'-3"
SIDE YARD	3'	8'-3 1/2"	5'-3 1/2"
SIDE YARD	3'	3'-1"	6'-11 1/2"
REAR	15/ ** 3'	21'-10"	15'-11 1/2" / -

**Rear setback is 3' for portions of structures less than 15' in height

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- A16 - Street Elevations
- A17 - Wall Sections
- A18 - Wall Sections
- A19 - Materials and Exterior Lighting
- A20 - Window and Door Schedules

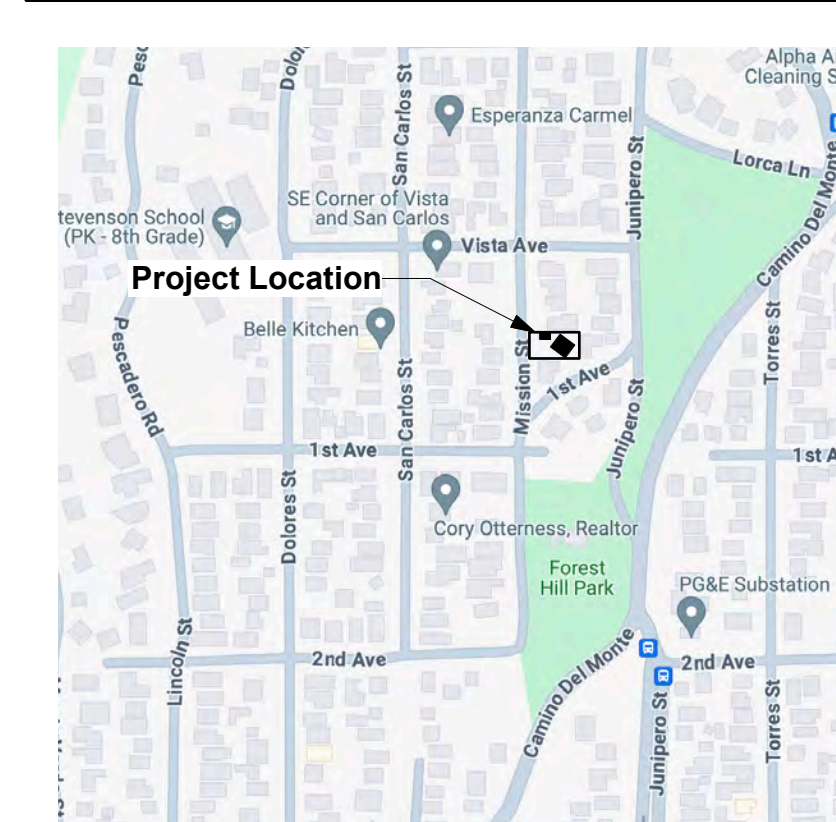
Civil Engineering

- C1 - Conceptual Grading, Drainage, Utility Plan
- C2 - Grading Sections
- C3 - Erosion & Sediment Control Plan
- C4 - Construction Management Plan

Landscape Architectural

- L0.00 - Ahana Cover Sheet
- L1.00 - Overall Site Plan
- L1.01 - Ahana Site Plan
- L2.00 - Ahana Planting Plan
- L2.01 - Ahana Planting Legend and Notes
- L2.02 - Ahana Green Roof Planting Plan
- L3.00 - Ahana Lighting Plan

VICINITY MAP

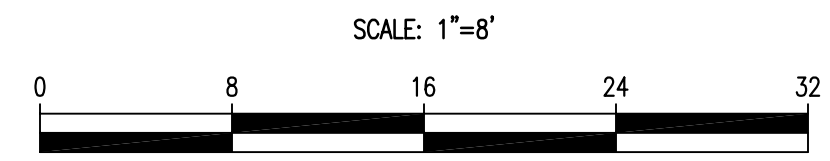
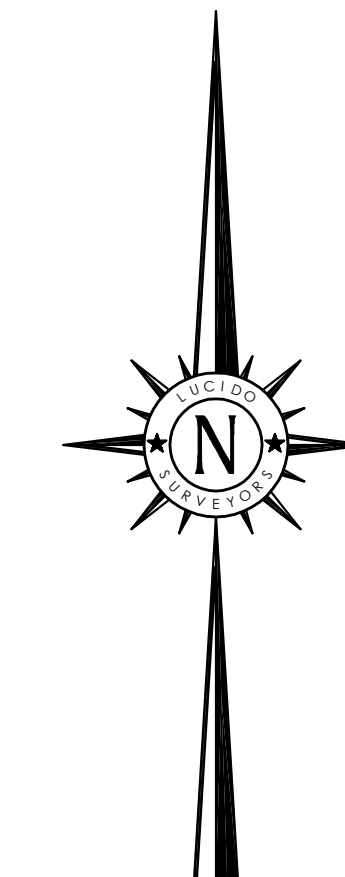
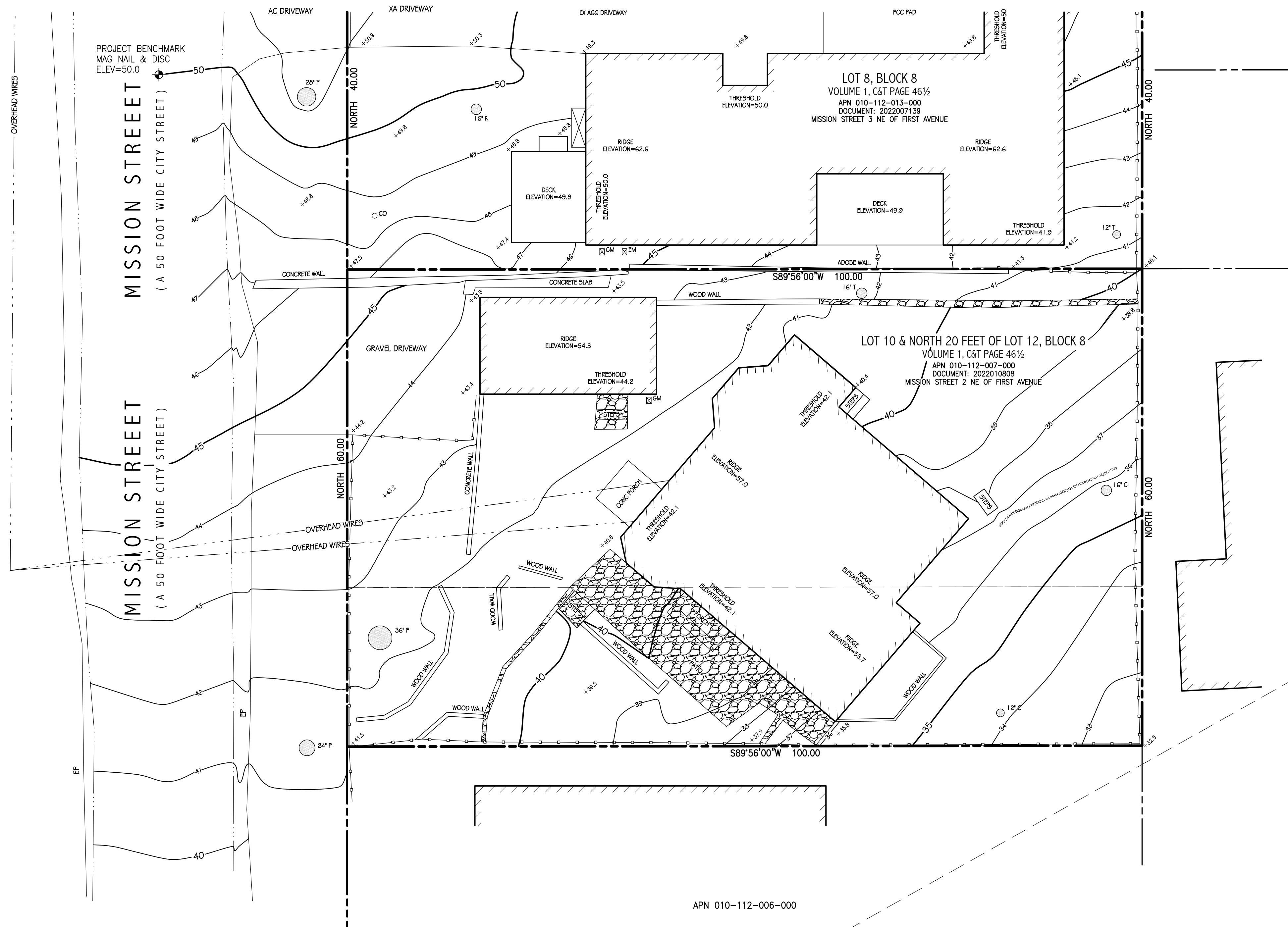




Rendering of Ahana Residence from Mission Street / Southwest

LEGEND:

- RECORD BOUNDARY
- RECORD RIGHT OF WAY
- RECORD LOT LINE
- RECORD CENTERLINE
- OLD RECORD LINE
- ◆ PROJECT BENCHMARK
- 50 CONTOUR (MAJOR)
- 49 CONTOUR (MINOR)
- EP EDGE OF PAVEMENT
- DRIVEWAY EDGE OF DRIVEWAY
- FLOWLINE FLOWLINE
- BUILDING APPROXIMATE BUILDING OUTLINE
- CHIMNEY
- THRESHOLD ELEVATION APPROXIMATE FLOOR ELEVATION
- DECK
- CONC PAD CONCRETE PAD
- STEP
- WV WATER VALVE
- WM WATER METER
- FH FIRE HYDRANT
- MS SANITARY SEWER MANHOLE
- CS SANITARY SEWER CLEAN-OUT
- MD STORM DRAIN MANHOLE
- AD AREA DRAIN
- SD STORM DRAIN CATCH BASIN
- E ELECTRIC LINE
- UP UTILITY POLE
- GW GUY WIRE
- EM ELECTRIC METER
- LP LAMP POST
- GM GAS METER
- WF WOOD FENCE
- MB MAIL BOX
- P PILLAR
- BLOCK WALL BLOCK RETAINING WALL
- ROCK WALL ROCK RETAINING WALL
- STACKED BLOCK WALL
- CARMEL STONE WALL OR WALKWAY
- AC ASPHALT CONCRETE
- CS CARMEL STONE
- OMP CORRUGATED METAL PIPE
- CONC CONCRETE SLAB
- DG DECOMPOSED GRANITE
- EX AGG EXPOSED AGGREGATE
- HDPE HIGH DENSITY POLY ETHYLENE
- PCC PORTLAND CEMENT CONCRETE
- PS PAVER STONE
- PVC POLY VINYL CHLORIDE
- RCP REINFORCED CONCRETE PIPE
- TE TRASH ENCLOSURE
- 12" T TREE WITH SIZE AND TYPE
- A ACACIA
- C CYPRESS
- K OAK
- P PINE
- R REDWOOD
- T TREE
- +88.8 SPOT ELEVATION



**THIRD DRAFT
IN PROGRESS DRAWING
FOR REVIEW PURPOSES ONLY
NOT FOR CONSTRUCTION
THIS DRAWING IS SUBJECT TO REVISION**

BENCHMARK:
ELEVATIONS FOR THIS SURVEY ARE BASED ON AN ASSUMED DATUM. AN ELEVATION OF 50.0 HAS BEEN ASSIGNED TO A MAG NAIL & DISC SET IN THE PAVEMENT NEAR THE WESTERLY BOUNDARY LINE OF LOT 8, BLOCK 8 PER VOLUME 1, C&T PAGE 46 1/2 (APN 010-112-013-000) AS SHOWN HEREON.

- NOTES:**
1. BOUNDARY LOCATIONS SHOWN HEREON WERE DETERMINED WITH THE BENEFIT OF A FIELD SURVEY SUPPLEMENTED BY RECORD DATA. ALL BOUNDARY DATA SHOWN HEREON ARE FROM THE RECORDS.
 2. ENTITLEMENTS OR ENCUMBRANCES AFFECTING THIS PROPERTY MAY NOT NECESSARILY BE SHOWN.
 3. DISTANCES SHOWN ARE EXPRESSED IN FEET AND DECIMALS THEREOF.
 4. CONTOUR INTERVAL = ONE FOOT.
 5. TREE TYPES (IF ANY) ARE INDICATED WHERE KNOWN. DIAMETERS OF TREES ARE SHOWN IN INCHES AND ARE APPROXIMATE ONLY, TO BE VERIFIED BY AN APPROVED ARBORIST PROVIDED BY OTHERS, PER AGREEMENT WITH THE SURVEYOR. TREES SMALLER THAN 6" IN DIAMETER MAY NOT BE NECESSARILY SHOWN. DIRECTION OF GROWTH AND DRIP LINE SHAPE TO BE VERIFIED BY OTHERS.
 6. POSITION AND DIMENSIONS (IF ANY) OF BUILDINGS AND OTHER STRUCTURES ARE SHOWN HEREON APPROXIMATE ONLY DUE TO MEASUREMENT LIMITATIONS, IRREGULAR SHAPE OF BRICK FACING, POP-OUTS, BULL NOSE CORNERS, ETC. SQUARE FOOTAGE OF BUILDINGS (IF ANY) IS SHOWN APPROXIMATE ONLY, AND SUBJECT TO REVISION AT ANY TIME.
 7. NOT ALL UTILITY BOXES AND/OR UTILITY STRUCTURES ARE SHOWN INCLUDING BUT NOT LIMITED TO HOSE BIBS AND IRRIGATION VALVES. ONLY THE VISIBLE UTILITY BOXES AND/OR UTILITY STRUCTURES THAT WERE CONSIDERED TO CONVEY THE GENERAL UTILITY CONDITIONS ARE SHOWN.
 8. THIS MAP CORRECTLY REPRESENTS A SURVEY PREPARED BY ME AND/OR UNDER MY DIRECTION, FROM FIELD DATA COLLECTED IN MARCH OF 2023.

TOPOGRAPHIC SITE SURVEY

OF
LOT 10 & A PORTION OF 12 IN BLOCK 8
PER VOLUME 1, C&T PAGE 46 1/2
APN 010-112-007, 012, & 013
Records of Monterey County
PREPARED FOR
Craig J. Collins



BY
LUCIDO SURVEYORS
Boundary and Construction Surveys · Topographic and Planimetric Mapping
ALTA Surveys and GIS Database Management · Land Planning and Consulting
2 Saucito Avenue
DEL REY OAKS, CALIFORNIA 93940
info@lucidosurveyors.com
(831) 620-5032

SCALE: 1"=8' PROJECT No. 3181 APRIL 2022
CITY OF CARMEL COUNTY OF MONTEREY STATE OF CALIFORNIA

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PRELIMINARY SITE ASSESSMENT REPORT

Date of Site Visit: March 15, 2024
Planner: Marnie R. Waffle
Forester: Justin Ono
Block/Lot: 8 / 10 & N ½ 12
APN: 010-112-007
Property Owner: Collins Hermle Family Trust
Street Location: Mission Street 2 NE of 1st Avenue


Purpose: The information contained in this Preliminary Site Assessment is meant to provide input to the applicant on potential project issues prior to project submittal.

Location:

Zoning District	R-1 Single Family Residential
Coastal Commission Appeal Jurisdiction Overlay	No
Archaeological Significance Overlay	Yes
Park Overlay	No
Beach and Riparian Overlay	No
Environmentally Sensitive Habitat Area	No
Very High Fire Hazard Severity Zone	Yes

Street and Neighborhood Character:

- Style and materials of the existing residence:



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- Style and materials of the neighboring residences: The Residential Design Guidelines encourage diversity of architectural styles while maintaining compatibility with the neighborhood's character. A new building should differ in style from buildings on nearby and abutting properties.
- Right-of-way characteristics: The Residential Design Guidelines encourage maintaining and enhancing the right-of-way's informal, vegetated, open-space character. Parking areas in the right-of-way shall be informal and unpaved and reinforce the forest image. Planting in the right-of-way should be predominantly green foliage plants. Native trees, ground covers, and low shrubs are preferred. Gravel is not permitted in the right-of-way.

Site Conditions & Development Standards:

- Building Site Area: The lot is 6,000 square feet lot (60'x100'). A base floor area of 2,460 square feet is permitted. A minimum of 200 square feet of the base floor area, and 2,200 cubic feet of exterior volume, shall be reserved for required parking whether provided by a garage, carport, or parking pad.

Floor Area is defined as, "...the total gross square footage included within the surrounding exterior walls of all floors contained within all enclosed buildings on a building site whether finished or unfinished. In above-ground spaces, floor area is measured at the exterior of the enclosing walls. In basement spaces, floor area is measured at the interior of the enclosing walls. Floor area shall include, but shall not be limited to, all floors of all enclosed spaces within all buildings, basements, mezzanines, guesthouses, studios, garages, and carports. All attic, basement, and storage shed spaces with five or more feet of clearance between the floor or walking surface and the ceiling or roof surface shall be counted as floor area. All required parking shall be counted as floor area, whether supplied by garage, carport or other means."

- Setbacks: The minimum front and rear setbacks are 15 feet. The composite side yard setback is 25% of the lot width with a 3-foot minimum on one side.

Lot Type	Side Setbacks		Rear Setbacks	
	Front Setback (in feet)	Rear Setback (in feet)	Composite (in feet)	Minimum Setbacks on Street Side
Corner Site	15	15	25% of site width	3
Corner Site	15	15	25% of site width	3
Resubdivided Corner Site	10	15	25% of site width	3
Double-Frontage SFR	15	N/A	25% of site width	3 (if applicable)

* The rear setback is three feet for those portions of structures less than 15 feet in height.
** See CMC 17.10.030(A)(1) and 17.10.030. Rules of Measurement.

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- Building Height: The height of buildings shall be measured as the plumb vertical distance from existing or finished grade (whichever is more restrictive) to the highest point on the roof.

	R-1 District	R-1-BR District	R-1-PO District
Number of Stories Allowed	2	2	1*
Roof Height of First Story (in feet)	18	18	18
Plate Height of First Story (in feet)	12	12	12
Roof Height of Second Story (in feet)	24	18	24*
Plate Height of Second Story (in feet)	18	18	18*

- Exterior Volume: The maximum allowable exterior volume is the total allowed base floor area for the site multiplied by the volume factors in Table 17.10-E (refer to table below). It is recognized that existing homes built prior to 2003 may not have been designed to comply with volume standards. For these homes, the Code allows the exterior volume to be calculated for additions only.

	Maximum Exterior Volume (Cubic Feet) Per Square Foot of Floor Area	
	One-Story Elements of the Building	Two-Story Elements of the Building
Located under a pitched or sloping roof greater than 3:12 pitch	12	11
Located under a flat roofed area of the building 3:12 or less pitch	11	10

- Parking: One parking space per primary dwelling is required on sites 8,000 square feet or less. Required parking shall be provided by a garage, carport or parking pad measuring at least 10 feet by 20 feet having practical ingress and egress for a vehicle. All required parking shall be provided on-site and shall be counted as floor area and exterior volume. On each site, a minimum of 200 square feet of base floor area and 2,200 cubic feet of exterior volume shall be reserved for each required parking space whether provided by means of a garage, carport or parking pad.
- Garage: To encourage variety and diversity in neighborhood design, detached garages and carports may be authorized by the Planning Commission within the front setback and/or side yard setback facing a street. Garages permitted to be located within a setback are limited to a single-car, detached structure not exceeding 12 feet in width,

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250 square feet in floor area and 15 feet in height. Detached garages may encroach into an interior side yard setback, rear yard setbacks, or both, if limited to 15 feet in height, the setback encroachment would not impact significant or moderately significant trees, and the garage location/design complies with design guidelines.

- Accessory Structures: Up to two accessory structures may be constructed on the property. Accessory structures cannot exceed 400 square feet in floor area (unless an exception applies) and count towards the total base floor area allowed for the site. Sheds that exceed 5 feet in height also count as floor area.

Studio: A studio is defined as, "An attached or detached residential dwelling unit without kitchen or cooking facilities, designed for accessory uses by occupants of the dwelling in which it is accessory, and not designed or intended for living, sleeping and/or cooking. Studios are permitted to have a bathroom with a sink and toilet. Studios that are attached to the primary dwelling are not required to have inter-accessibility with the primary dwelling."

One studio is permitted so long as it does not contain any living, sleeping, bathing or food preparation facilities of any kind. Studios may have a bathroom with a sink and toilet. Studios that are attached to the primary dwelling are not required to have inter-accessibility with the primary dwelling. No additional parking is required for a studio. Studios shall be a maximum size of 400 square feet and shall not exceed the allowed floor area ratio for the lot.

Accessory Dwelling Units (ADUs): One accessory dwelling unit and one junior accessory dwelling unit are permitted pursuant to CA State Law. For more information, please refer to the Accessory Dwelling Unit Handbook.

- Topography and drainage features: The Residential Design Guidelines encourage designs that follow the natural contours of the site and that avoid abrupt changes in grade on the site and between properties. A preliminary grading and drainage plan is required to be submitted with the Design Study application and will be reviewed by the Environmental Compliance Manager. Feedback on potential drainage issues and solutions will be provided.

Following design approval, plans submitted for a building permit must include a complete stormwater drainage plan. The drainage plan shall include applicable Best Management Practices and all drainage shall be retained on-site through semi-permeable paving materials, French drains, seepage pits, etc. Properties located in areas with poor soil drainage will require systems designed by an engineer.

- Site Coverage: Impermeable site coverage is limited to 22% of the base floor area for the site or 541 square feet for a base floor area of 2,640 square feet. Impermeable materials include asphalt, concrete, mortared brick and stone, decomposed granite, unspaced

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decking and balconies at any level, garden walls, solariums, bridges, sheds not counted as floor area, ponds, hot tubs, and swimming pools.

If at least 50 percent of the property's site coverage is made of permeable or semi-permeable materials, an additional up to four percent of the site area, **240 square feet**, may be utilized. Permeable and semi-permeable materials include gravel, spaced decking and exterior stairs, sand-set bricks or pavers, garden walkways of small paving stones, and arbors.

• **Fences:** Fences located within the front setback are limited to 4 feet in height. This limit cannot be increased through a Design Study. Side and/or rear yard fences are permitted a height of 6 feet and may be taller with approval by the Planning Commission. The heights should be clearly noted on the project plans.

Design Element	Setback Location			
	Front Setback	Side Setback	Side Setback Facing Street	Rear Setback
Fence	4 feet*	6 feet	4 feet*	6 feet
Garden Wall	3 feet**	6 feet	3 feet**	6 feet
Retaining Wall	3 feet**	6 feet	3 feet**	6 feet
Pilars and Gates	6 feet	N/A	6 feet	N/A
Arbor/Trellis	7 feet	7 feet	7 feet	7 feet

* These limits shall not be altered through Design Review by the Planning Commission.
** Up to six feet may be allowed for retaining walls that are not visible from the street. See CMC 17.10.030(E)(4).

Potential Neighbor Impacts:

- Privacy: The Residential Design Guidelines encourage preserving reasonable privacy for adjacent properties and locating windows such that they avoid overlooking active indoor and outdoor use areas of adjacent properties. Additionally, the Guidelines recommend screening patios and terraces.
- Solar Access: The Residential Design Guidelines encourage maintaining solar access for adjacent properties. The Carmel Municipal Code states, "Designs should preserve the rights to reasonable solar access on neighboring parcels. Excessively tall buildings, particularly those near a north property line, which would block the free passage of the sun onto neighboring solar collectors or south-facing windows on neighboring sites, should be avoided."
- Mass and Bulk: The Residential Design Guidelines encourage thoughtful design regarding bulk and massing. The Carmel Municipal Code states, "Residential designs shall maintain Carmel's enduring principles of modesty and simplicity and preserve the City's tradition of simple homes set amidst a forest landscape. Buildings shall not present excess visual mass

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or bulk to public view or to adjoining properties. Large box-like buildings and buildings with large, continuous, unrelieved surfaces can appear massive. Designing building and roof planes with just a few, simple forms and keeping floor levels and plate heights close to grade help reduce mass and bulk. The use of natural materials such as wood or stone and the creative use of landscaping can also help to avoid excess mass by introducing texture, variety and screening."

- Views: The Residential Design Guidelines encourage maintaining view opportunities to natural features that lie outside the property. The Carmel Municipal Code states, "Designs should respect views enjoyed by neighboring parcels. This objective is intended to balance the private rights to views from all parcels that will be affected by a proposed building or addition. No single parcel should enjoy a greater right than other parcels except the natural advantages of each site's topography. Buildings which substantially eliminate an existing significant view enjoyed on another parcel should be avoided."
- Neighborhood Input: Staff strongly recommends contacting the adjacent property owners prior to any public hearings to explain the proposed project and address any concerns. Most project delays occur when applicants do not contact neighbors early in the process.

Forest/Trees: Refer to the annotated tree survey and Significant Tree Evaluation Worksheet prepared by the City Forester.

Historic Status: The property was reviewed for historical significance and the staff determination is that the property is not eligible for the historic inventory. A determination of ineligibility will be provided under separate cover.

Design Study Application: The next step is to submit a [General Planning Application Form](#) for a [Track 2 Design Study](#). Applications can be submitted on-line at, <https://carmel.portal.worq.net/portalhome/carmel> or by emailing your application materials to planning@ci.carmel.ca.us.

Story Pole Policy: Story poles and netting are required in Carmel-By-The-Sea. The City's Story Pole Policy was adopted by the City Council in 2017. All story poles, netting, and ribbons must be installed and certified in accordance with the Story Pole Policy a minimum of 10 calendar days prior to a public hearing. Failure to comply with the Policy could result in the project being continued to a later hearing date.

Additional Resources: For more information on the Design Review Process, Residential Design Guidelines, Carmel Municipal Code, Green Building Ordinance, and Title 7A of the Building Code, please visit our website at: <https://ci.carmel.ca.us/community-planning-and-building>

Significant Tree Evaluation Worksheet

APN: 010-112-007-000
Street Location: Mission St 2 NE of 1st Ave
Planner: Marnie Waffle
City Forester: Justin Ono
Property Owner: Hermle-Collins
Recommended Tree Density: 4 upper, 3 lower

Part One: Initial Screening: Complete Part One to determine if further assessment is warranted. Trees must pass all criteria in Part One to be considered significant or moderately significant.

A. Does the tree pose an above-normal potential risk to life and property?

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
YES															
NO	x	x	x	x	x										

Any tree with structural impairment likely to cause failure should be marked as unsafe and removed. Use page five of this worksheet to document the safety risk. Trees that have limited and specific defects that can be remedied with selective pruning or other mitigation should be marked as safe and specific recommendations should be given to the owner for tree care. Such trees may still be assessed for significance.

B. Is the tree one of the following native species on the Carmel-by-the-Sea recommended tree list?

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
Species	MP	MP	MC	MC	Arb										
YES	x	x	x	x											
NO					x										

MP-Monterey pine MC-Monterey cypress BP-Bishop pine CR-coast redwood CO-coast live oak CI-Catalina ironwood CS-California sycamore BL-big leaf maple Arb-Arbutus OT-other

(Note: Other species on the recommended tree list may be determined to be Significant Trees only if they are exceptional examples of the species. Such trees also must exhibit excellent health, form, vigor, and substantial size to rate an overall score of at least 7 points in Part Two of the assessment.)

C. Does the tree meet the minimum size criteria for significance?

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
YES	x	x	x	x	x										
NO															

Monterey pine, Monterey cypress, Bishop pine, Coast redwood: 6" DBH
Coast live oak - single trunk tree: 6" DBH
Coast live oak - multi-trunk tree measured per industry standard: 6" DBH
California sycamore, Big leaf maple, Catalina ironwood, other: 10" DBH
dbh = diameter at breast height or 4.5 feet above the adjacent ground surface

Part Two: Assessment For Tree Significance
For each of the criteria below assign points as shown to assess the tree. If any criteria score is zero the assessment may stop as the tree cannot qualify as significant or moderately significant.

D. What is the health and condition of the tree?

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
score	2	1	2	2	2										

0 points: The tree is heavily infested with pests or has advanced signs of disease that indicates the tree is declining and has very limited life expectancy.

1 point: The tree shows some pests or disease that impair its condition, but which does not immediately threaten the health of the tree. The tree may recover on its own, or with appropriate intervention.

2 points: The tree appears healthy and in good condition.

3 points: The tree shows excellent health, is free of pests and disease and is in very strong condition.

E. What is the overall form and structure of the tree?

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
score	2	2	3	3	2										

0 points: Prior pruning, disease or growth habit have left the tree deformed or unsound to an extent that it cannot recover or will never be a visual asset to the neighborhood or will likely deteriorate into a structural hazard.

1 point: The tree has poor form or structure but (a) can recover with proper maintenance or (b) it provides visual interest in its current form, and does not have structural defects that are likely to develop into a safety hazard.

2 points: The tree has average form and structure for the species but does not exhibit all the qualities of excellent form and structure.

3 points: The tree exhibits excellent form and structure. For all species there will be a good distribution of foliage on multiple branches with no defects. For conifers, the tree will have a single straight leader with balanced branching and with good taper. Oaks will exhibit a well-developed canopy with no suppressed branches. Oaks may be single-trunked or multi-trunked and will have a balanced distribution of foliage on each

F. What is the age and vigor of the tree?

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
score	2	1	3	3	1										

0 points: The tree is over-mature or shows signs of poor or declining vigor such as die-back of major limbs or of the crown, small leaves/needles and/or minimal new growth.

1 point: The tree is mature but retains normal vigor and is likely to continue as a forest asset for a substantial period into the future.

2 points: The tree is young to middle age and shows normal vigor.

3 points: The tree is young to middle age and shows exceptional vigor.

G. Are environmental conditions favorable to the tree?

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
score	2	1	1	1	1										

0 points: The tree is crowded or has no room for growth to maturity. The tree has poor access to light, air or has poor soil for the species.

1 point: The tree has average environmental conditions including room for growth to maturity, access to light, air and soils suitable for the species.
The tree has room for growth to maturity with no crowding from other significant trees or existing buildings nearby. The tree also has excellent access to light, air and excellent soils for root development.

2 points: The tree has excellent access to light, air and excellent soils for root development.

Part Three: Final Assessment
Record the total points scored on D - G for each tree.

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
Total	8	5	9	9	6										

A. Did all assessment categories in Part Two achieve a minimum score of 1-point?

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
YES	x	x	x	x	x										
NO															

B. Are there any other factors that would disqualify a tree from a determination of significance? (Explain any 'yes' answers)

Yes _____

Conclusion: Does The Tree Qualify As Significant Or Moderately Significant?
If the tree meets the species, size and safety criteria identified in Part One and scores at least one point under each of the criteria in Part Two, it shall be classified as Significant if it achieves a score of 6 or more points or shall be classified as Moderately Significant if it achieves a score of 4 or 5 points. Tree species not listed in Part One-B that meet other screening criteria in Part One may be classified by the City Forester as Significant if they score at least 7 points, or as Moderately Significant if they score at least 4 points. All other trees are classified as non-significant.

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
SIGNIF	x		x	x											
MOD SIGNIF		x			x										
NOT SIGNIF															

Requirements for tree preservation shall adhere to the following tree protection measures on construction site.

- Prior to grading, excavation, or construction, the developer shall clearly tag or mark all trees to be preserved.
- Excavation within 6 feet of a tree trunk is not permitted.
- No attachments or wires of any kind, other than those of a protective nature shall be attached to any tree.
- Per Municipal Code Chapter 17.48.110 no material may be stored within the dripline of a protected tree to include the drip lines of trees on neighboring parcels.
- Tree Protection Zone -- The Tree Protection Zone shall be equal to dripline or 18 inches radially from the tree for every one inch of trunk diameter at 4.5 feet above the soil line, whichever is greater. Minimum of 4 foot high transparent fencing is required unless otherwise approved by the City Forester. Tree protection shall not be resized, modified, removed, or altered in any manner without written approval. The fencing must be maintained upright and taught for the duration of the project. No more than 4 inches of wood mulch shall installed be within the Tree Protection Zone. When the Tree Protection Zone is at or within the drip line, no less than 6 inches of wood mulch shall be installed 18 inches radially from the tree for every one inch of trunk diameter at 4.5 feet above the soil line outside of fencing.
- The Structural Root Zone -- Structural Root Zone shall be 6 feet from the trunk or 6 inches radially from the tree for every one inch of trunk diameter at 4.5' above the soil line, whichever is greater. Any excavation or changes to the grade shall be approved by the City Forester prior to work. Excavation within the Structural Root Zone shall be performed with pneumatic excavator, hydrovac at low pressure, or other method that does not sever roots.
- If roots greater than 2 inches in diameter or larger are encountered within the approved Structural Root Zone the City Forester shall be contacted for approval to make any root cuts or alterations to structures to prevent roots from being damaged.
- If roots larger than 2 inches in diameter are cut without prior City Forester approval or any significant tree is endangered as a result of construction activity, the building permit will be suspended and all work stopped until an investigation by the City Forester has been completed and mitigation measures have been put in place.

Items to note:

Required Structural Root Zone

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
Feet	8	10	6	6	6										

Required Tree Protection Zone

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
YES	10	12	8	8	8										

Requirements for tree preservation shall adhere to the following tree protection measures on construction site.

- Prior to grading, excavation, or construction, the developer shall clearly tag or mark all trees to be preserved.
- Excavation within 6 feet of a tree trunk is not permitted.
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HAPUNA

KAILEA

AHANA





HAPUNA

KAILEA

AHANA



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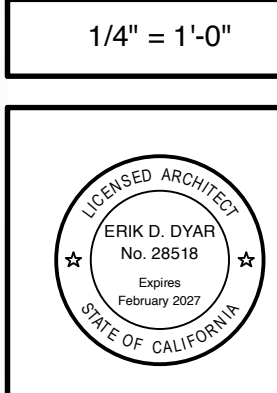
Ahana Residence
Michela Sheeha, C.A.P.E. 51 Elbert Avenue
Carmel by the Sea, CA 93923
APN: 010-010-112-007

Job No.

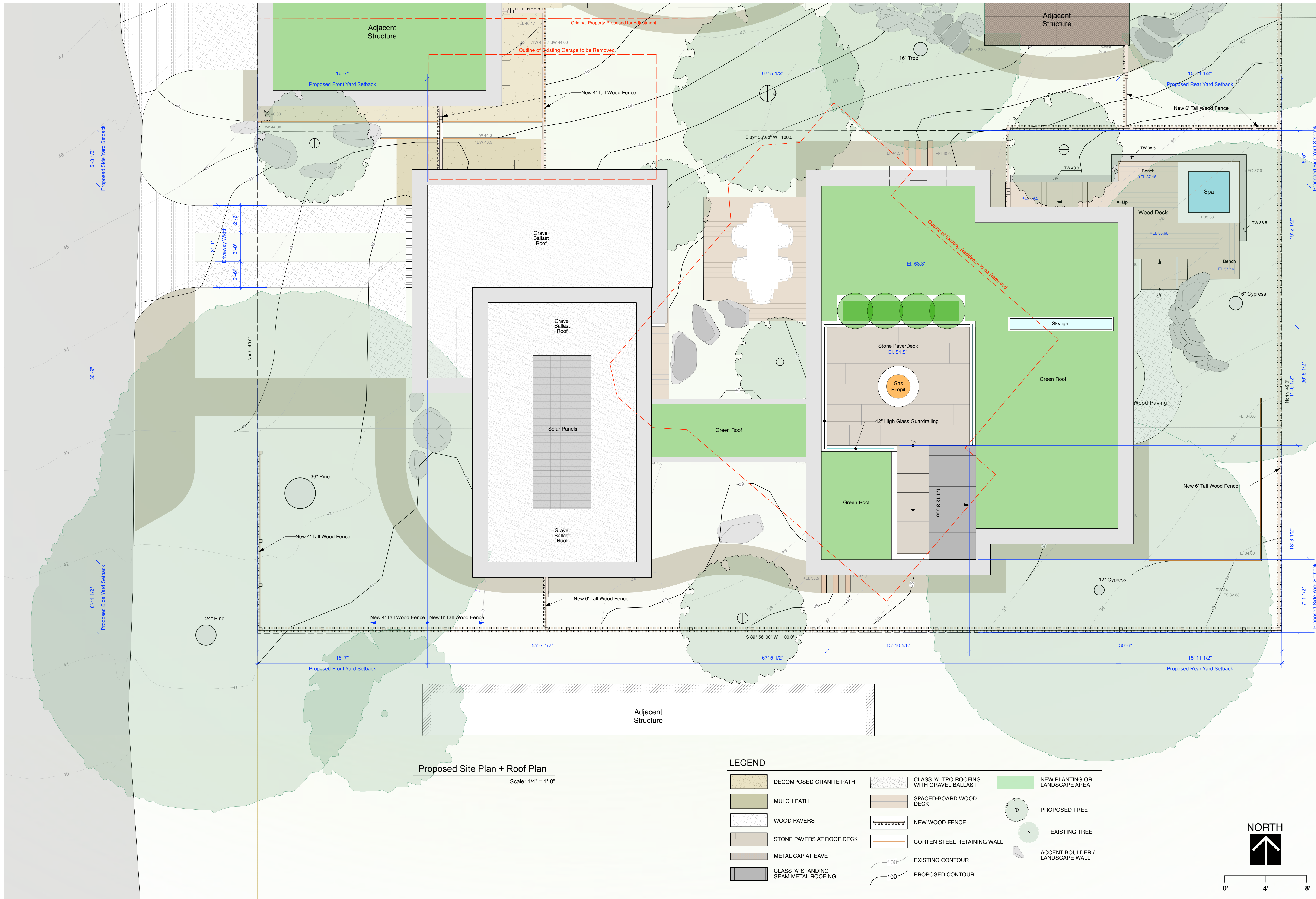
Date:
Track 2 Design Study July 1, 2024
Track 2 Design Study Resubmittal September 4, 2024
Track 2 Design Study Details Review April 23, 2025

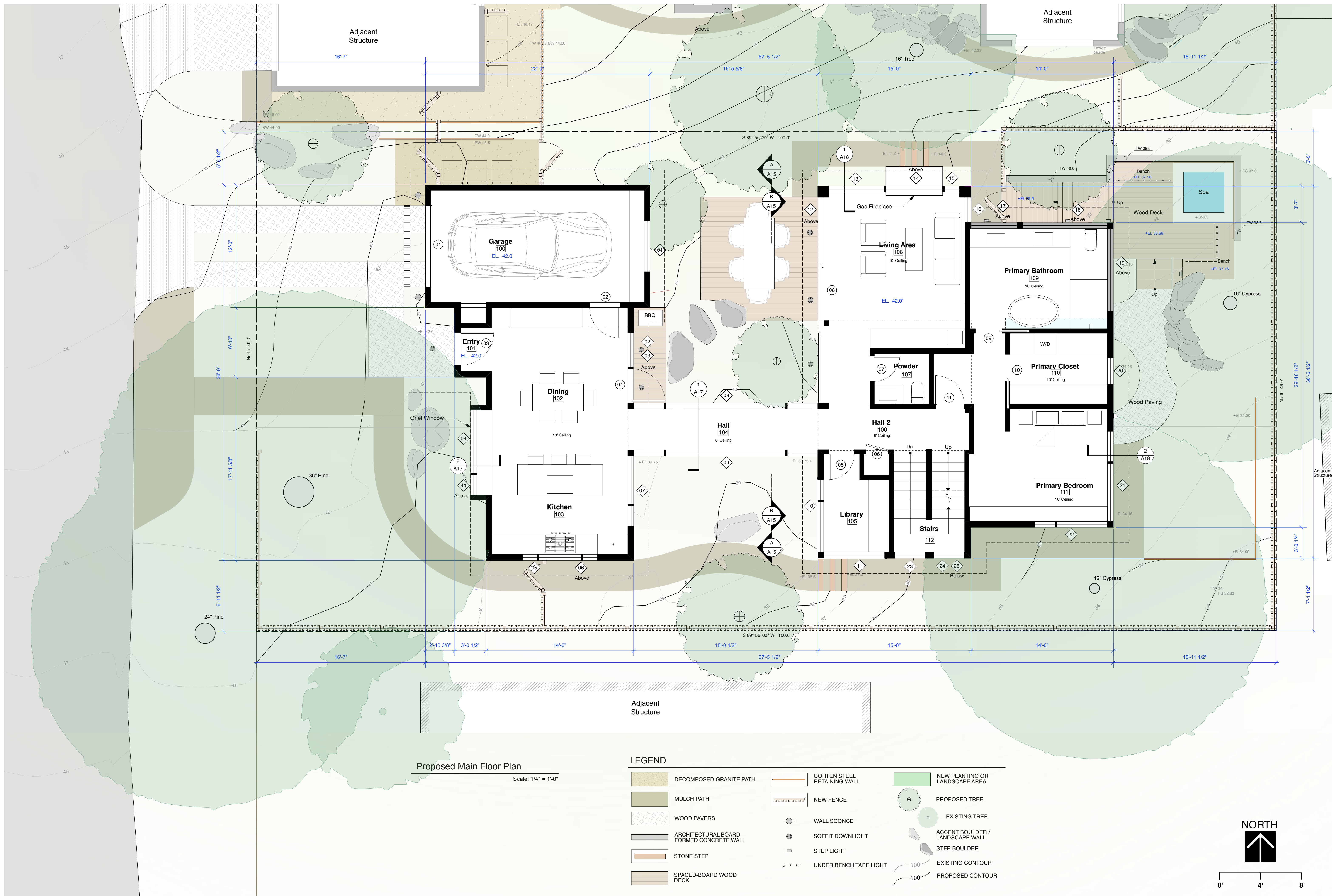
Site and Roof Plan

1/4" = 1'-0"



Sheet No.
A7
Ahana

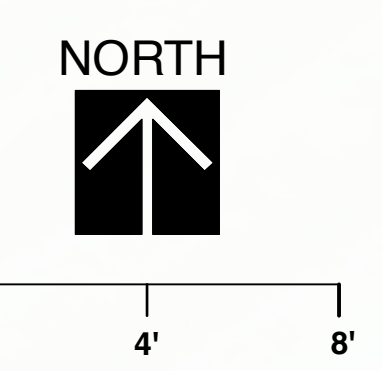




Proposed Main Floor Plan
Scale: 1/4" = 1'-0"

LEGEND

	DECOMPOSED GRANITE PATH		CORTEN STEEL RETAINING WALL		NEW PLANTING OR LANDSCAPE AREA
	MULCH PATH		NEW FENCE		PROPOSED TREE
	WOOD PAVERS		WALL SCONCE		EXISTING TREE
	ARCHITECTURAL BOARD FORMED CONCRETE WALL		SOFFIT DOWNLIGHT		ACCENT BOULDER / LANDSCAPE WALL
	STONE STEP		STEP LIGHT		STEP BOULDER
	SPACED-BOARD WOOD DECK		UNDER BENCH TAPE LIGHT		EXISTING CONTOUR
					PROPOSED CONTOUR



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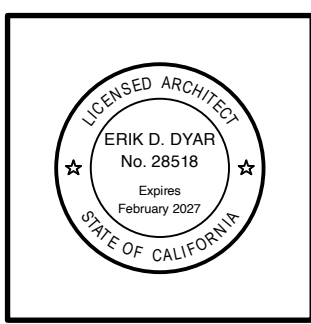
Ahana Residence
Michigan Street, CA 94027
Designed by the SRA, CA 95823
APN: 010-010-112-007

Job No.

Date:
Track 2 Design Study
July 1, 2024
Track 2 Design Study
Resubmittal
September 4, 2024
Track 2 Design Study
Design Review
April 23, 2025

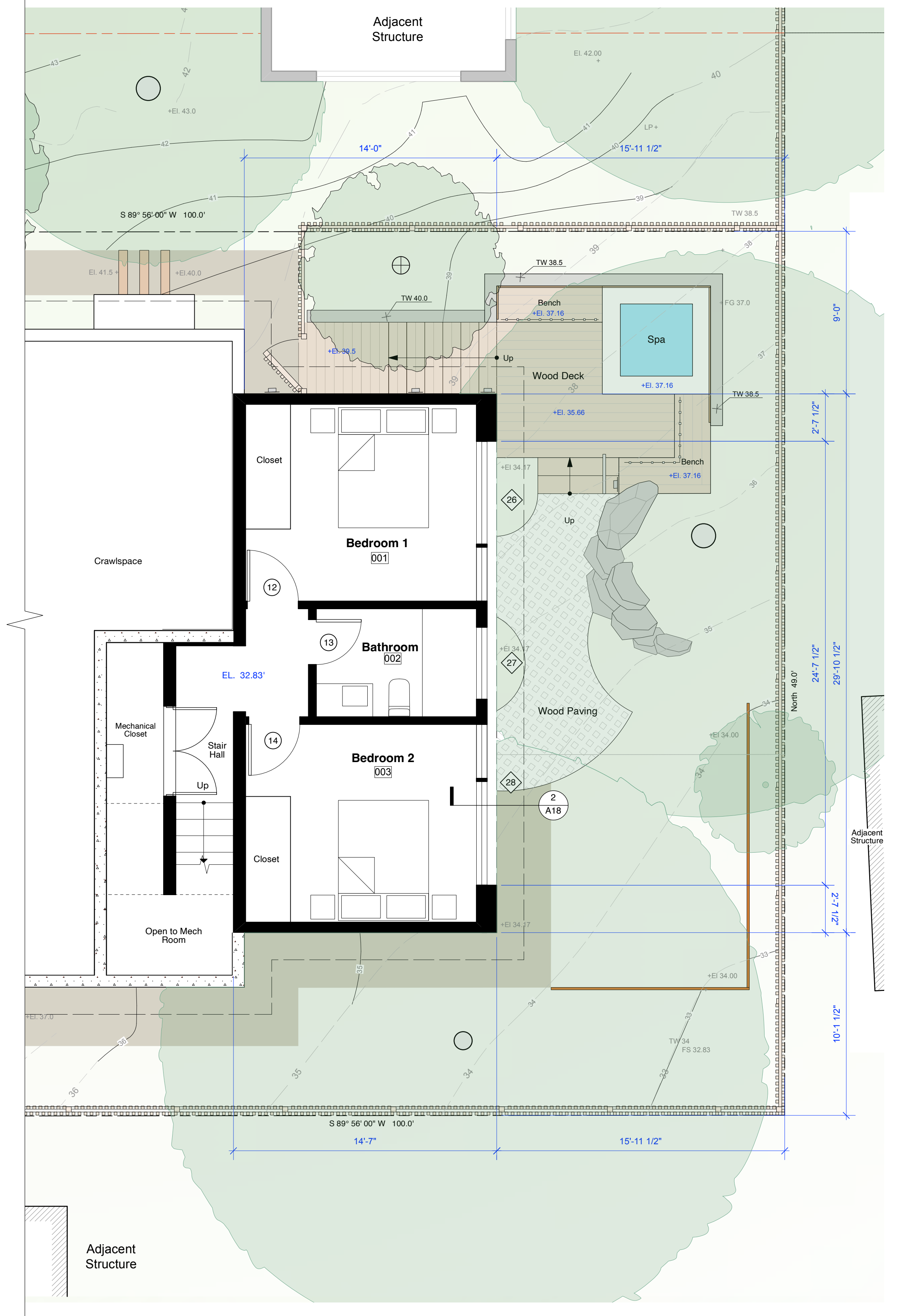
Lower Floor Plan

1/4" = 1'-0"



Sheet No.

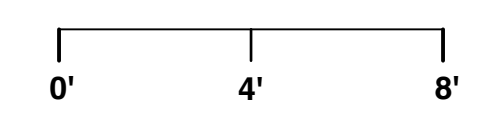
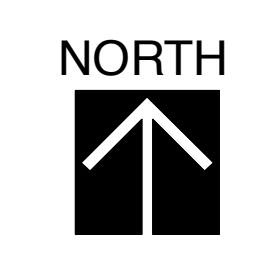
A9
Ahana

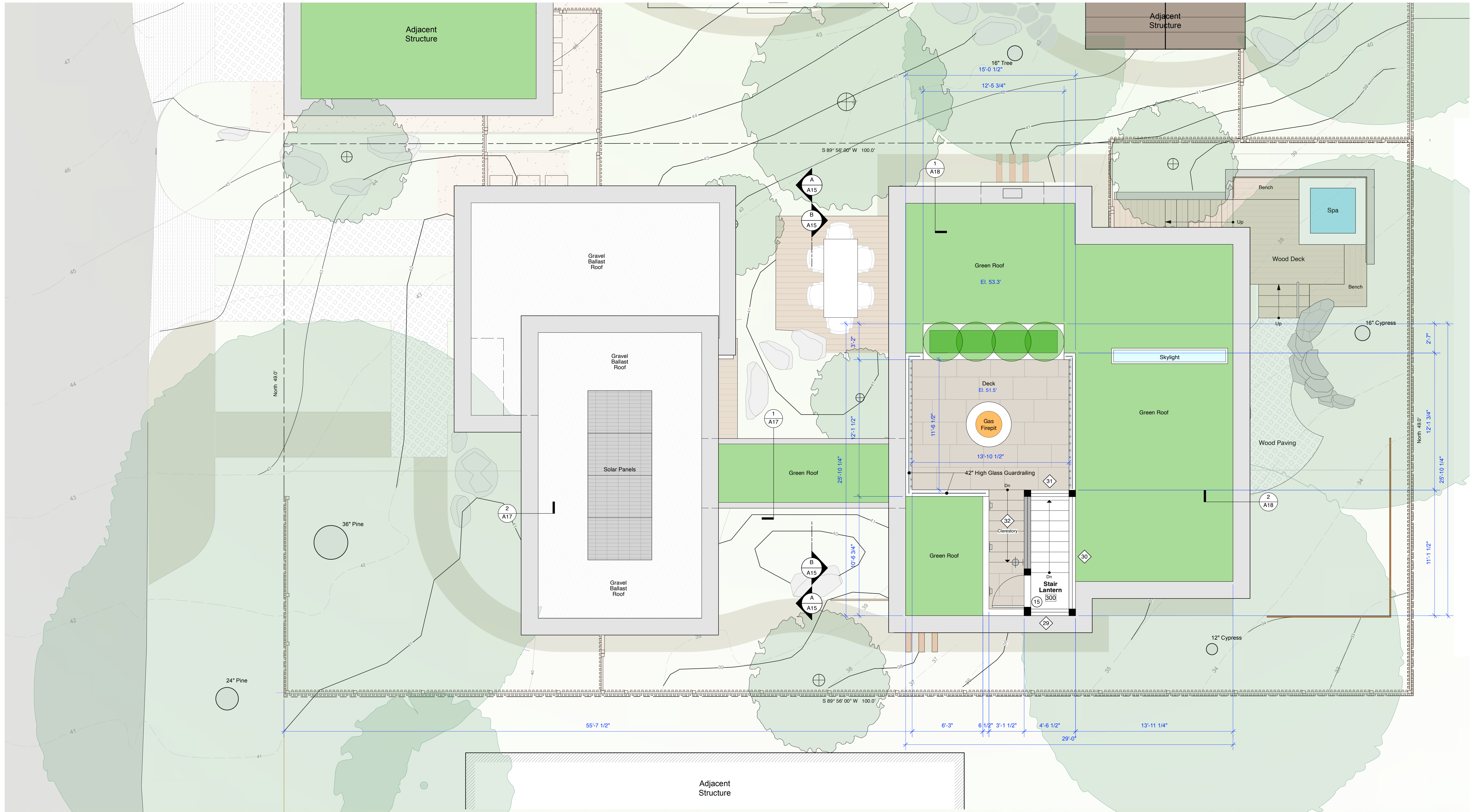


LEGEND

	DECOMPOSED GRANITE PATH		CORTEN STEEL RETAINING WALL		NEW PLANTING OR LANDSCAPE AREA
	MULCH PATH		NEW FENCE		PROPOSED TREE
	WOOD PAVERS		WALL SCONCE		EXISTING TREE
	ARCHITECTURAL BOARD FORMED CONCRETE WALL		SOFFIT DOWNLIGHT		ACCENT BOULDER / LANDSCAPE WALL
	STONE STEP		STEP LIGHT		STEP BOULDER
	SPACED-BOARD WOOD DECK		UNDER BENCH TAPE LIGHT		EXISTING CONTOUR
					PROPOSED CONTOUR

Proposed Lower Floor Plan
Scale: 1/4" = 1'-0"

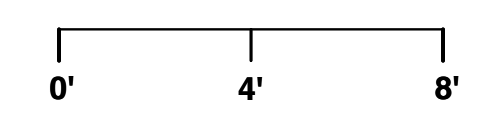
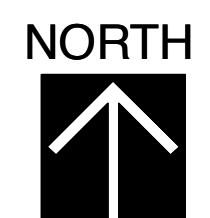




Proposed Upper Floor Plan
Scale: 1/4" = 1'-0"

LEGEND

	DECOMPOSED GRANITE PATH		ARCHITECTURAL BOARD FORMED CONCRETE WALL		NEW PLANTING OR LANDSCAPE AREA
	MULCH PATH		STONE STEP		PROPOSED TREE
	CORTEN STEEL RETAINING WALL		SPACED-BOARD WOOD DECK		EXISTING TREE
	WOOD PAVERS		NEW FENCE		ACCENT BOULDER / LANDSCAPE WALL
	METAL CAP EAVE		WALL SCONCE LIGHT		EXISTING CONTOUR
	STONE PAVER DECK		STEP LIGHT		PROPOSED CONTOUR
			ROOF DECK CURBING TAPE LIGHT		



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Celine Hermie Family Trust
155 San Rafael Way
San Francisco, CA 94127

Project:
Ahana Residence
Mission Street & NE of First Avenue
San Francisco, CA 94103
APN: 010-112-007

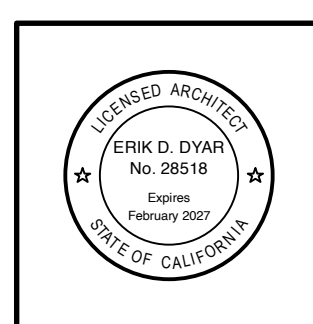
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Tract 2 Design Study
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Tract 2 Design Study
Resubmittal
September 4, 2024
Design Development
February 19, 2025
Tract 2 Design Study
Details Review
April 23, 2025

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Tract 2 Design Study
Resubmittal
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Design Development
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April 23, 2025

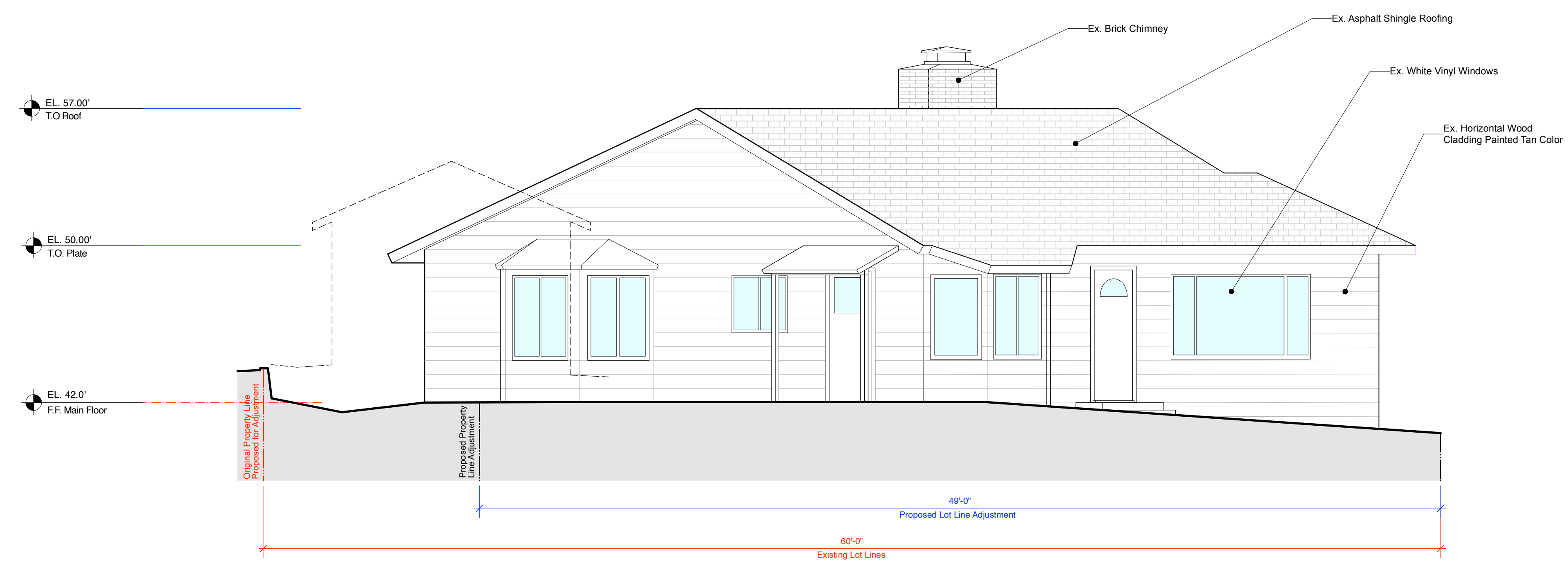
Existing and Proposed Ahana West Elevations

1/4" = 1'-0"

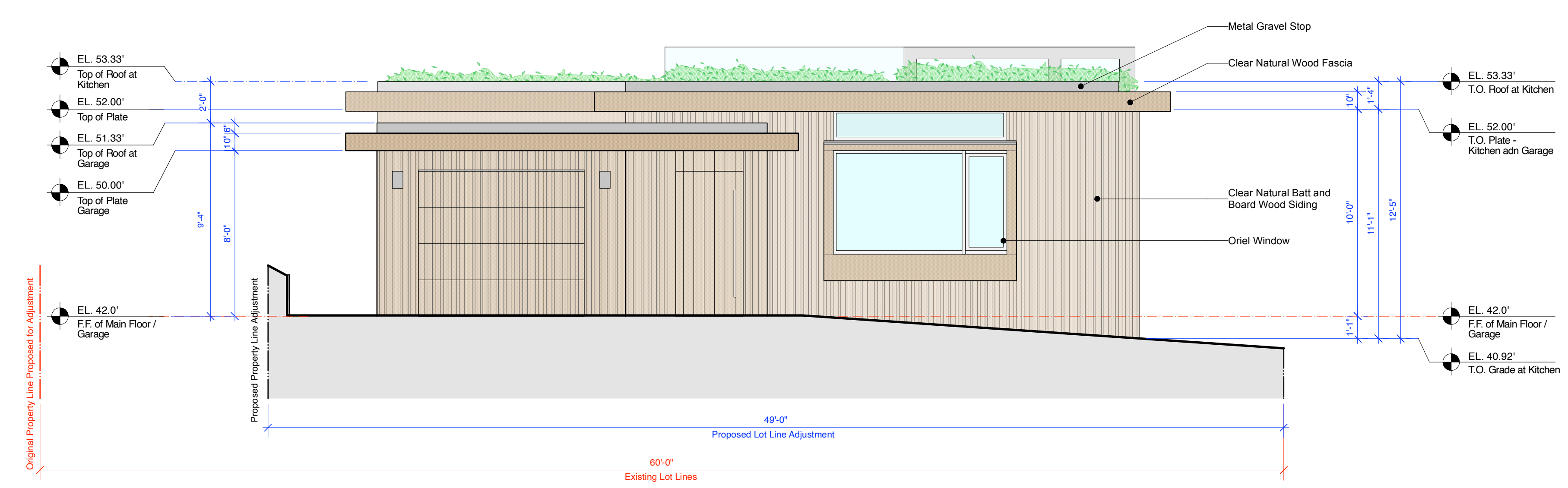


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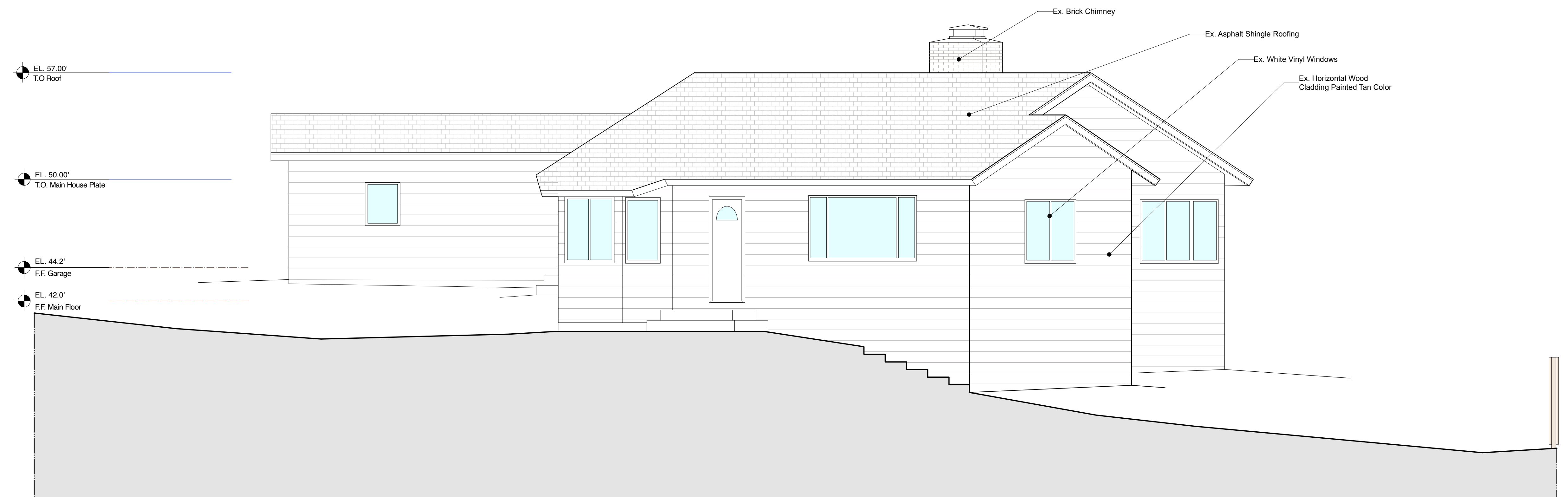
A11
Ahana



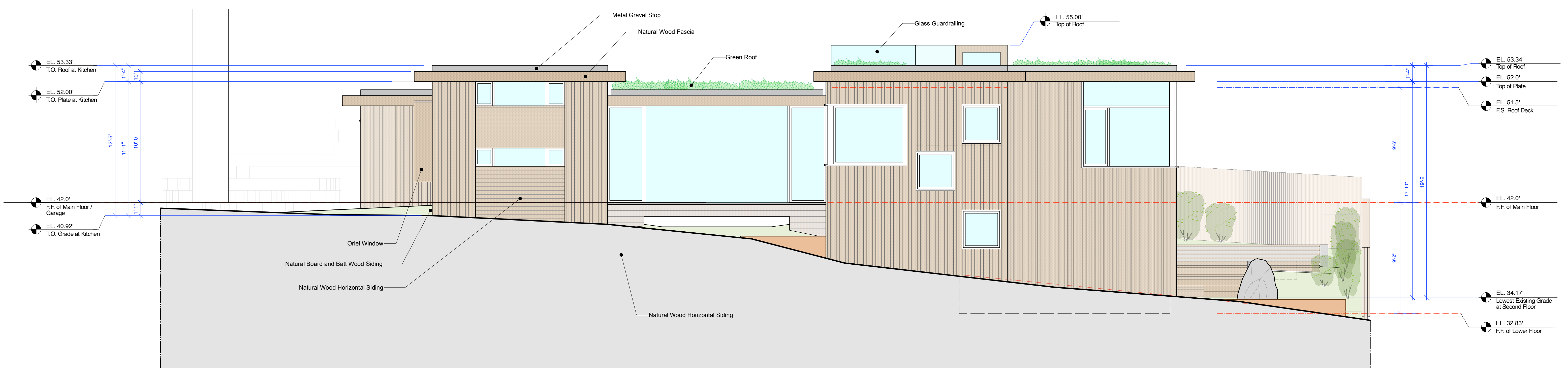
Existing West Elevation
Scale: 1/4" = 1'-0"



Proposed Ahana West Elevation
Scale: 1/4" = 1'-0"



Existing South Elevation
Scale: 1/4" = 1'-0"



Proposed Ahana South Elevation
Scale: 1/4" = 1'-0"

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Project:
Mission Street & I-580
APN: 010-112-007

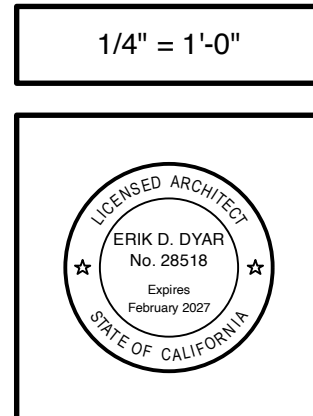
Ahana Residences
Mission Street & I-580
APN: 010-112-007

Job No.

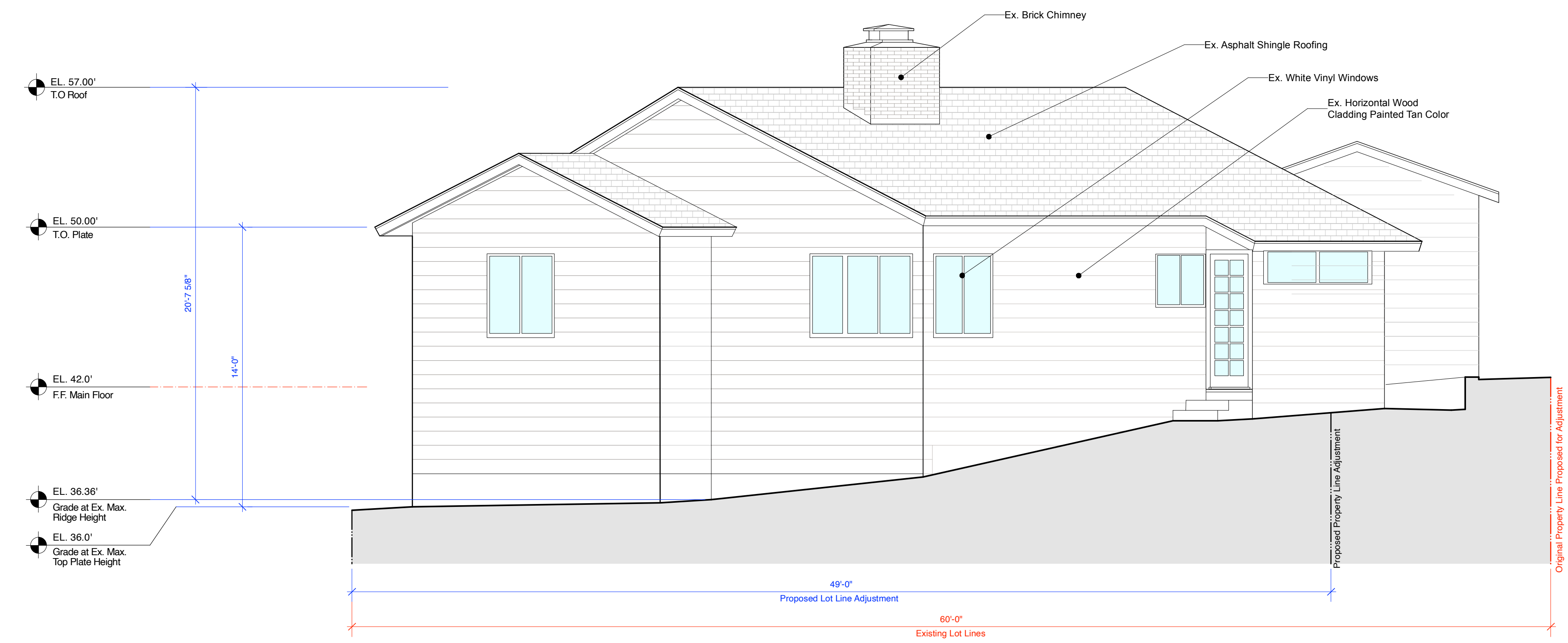
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Existing and Proposed Ahana East Elevations

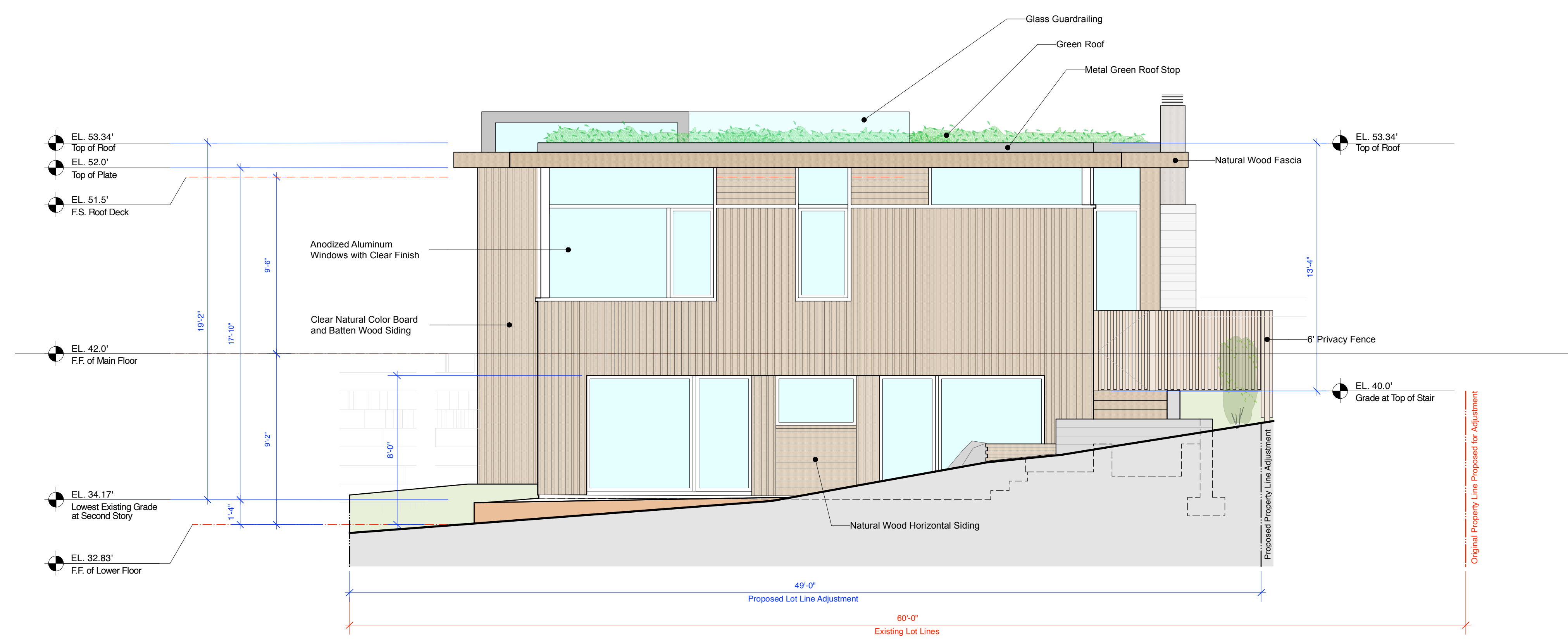
1/4" = 1'-0"



Sheet No.
A13
Ahana



Existing East Elevation
Scale: 1/4" = 1'-0"



Proposed Ahana East Elevation
Scale: 1/4" = 1'-0"

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San Francisco, CA 94127

Project:
Ahana Residence
Mission Street & NE of First Avenue
San Francisco, CA 94103
APN: 010-112-007

Job No.
Date:
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July 1, 2024
Tract 2 Design Study
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September 4, 2024
Design Development
February 19, 2025
Tract 2 Design Study
Details Review
April 23, 2025

Job No.

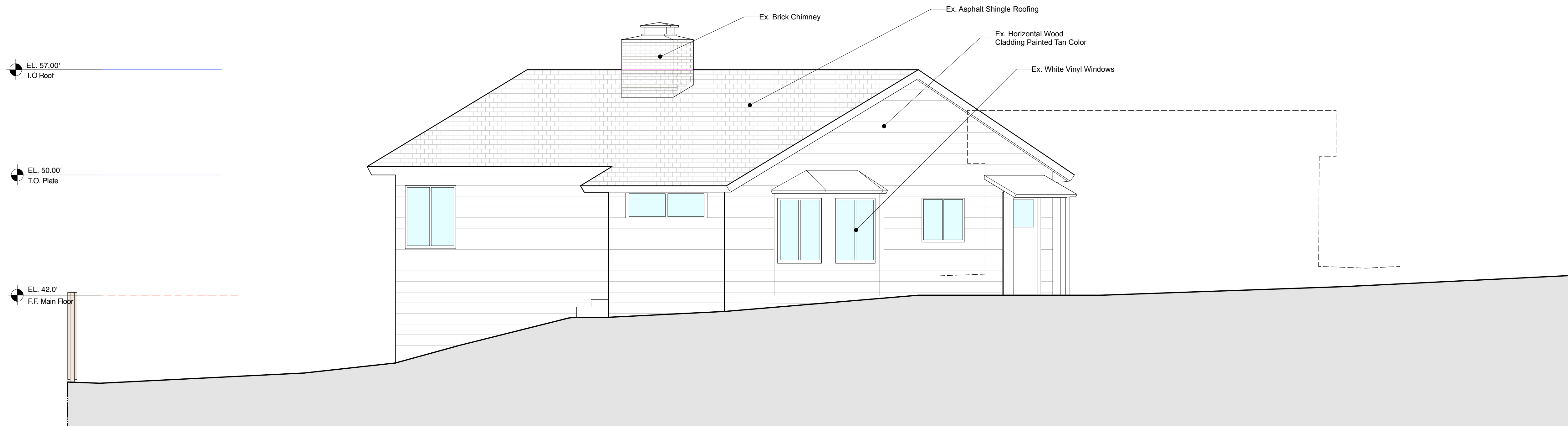
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Existing and Proposed Ahana North Elevations

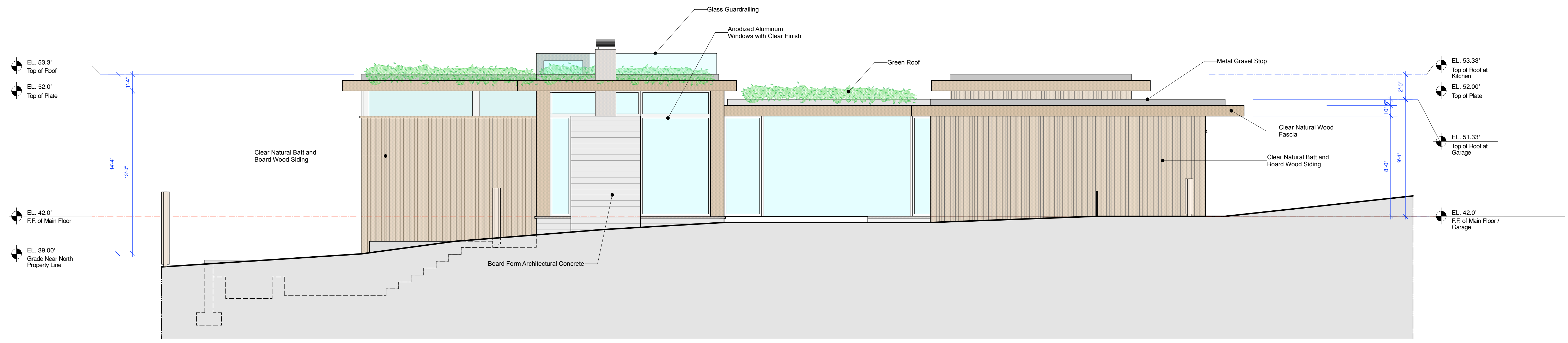
1/4" = 1'-0"



Sheet No.
A14
Ahana



Existing North Elevation
Scale: 1/4" = 1'-0"



Proposed Ahana North Elevation
Scale: 1/4" = 1'-0"

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**Ahana
Residence**
Mission Street, 3rd Fl. of First Avenue
San Francisco, CA 94103
APN: 010-119-013

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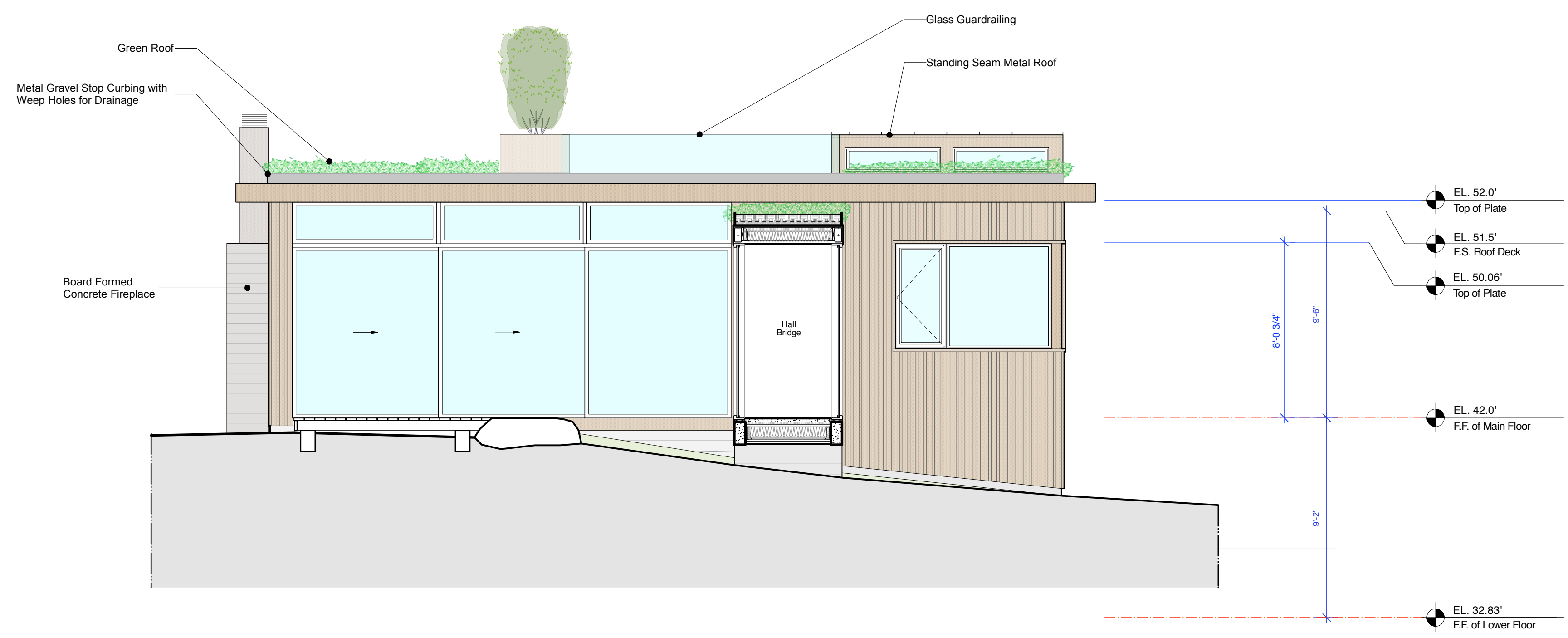
**Ahana
Section
Elevations**

1/4" = 1'-0"



Sheet No.

A15
Ahana



Proposed Living Room West Elevation
Scale: 1/4" = 1'-0"



Proposed Kitchen/Dining Room East Elevation
Scale: 1/4" = 1'-0"



Proposed Street Elevation

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Ahana Residence
Mission Street 2 NE of First Avenue
Carmel by the Sea, CA 93923
APN: 010-112-007

Job No.

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Photographs of Existing Street Elevation

**Ahana
Existing and
Proposed Street
Elevations**



Sheet No.

A16
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Office: Hermie Family Trust
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San Francisco, CA 94127

Ahana Residence
Mission Street & I-805 of First Avenue
San Francisco, CA 94103
APN: 010-112-007

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Date:

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February 19, 2025
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April 23, 2025

Job No.

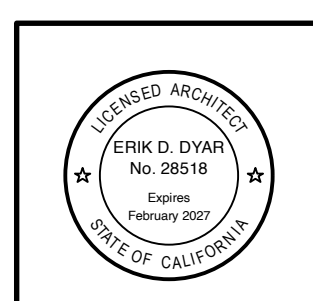
Date:

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April 23, 2025

Job No.

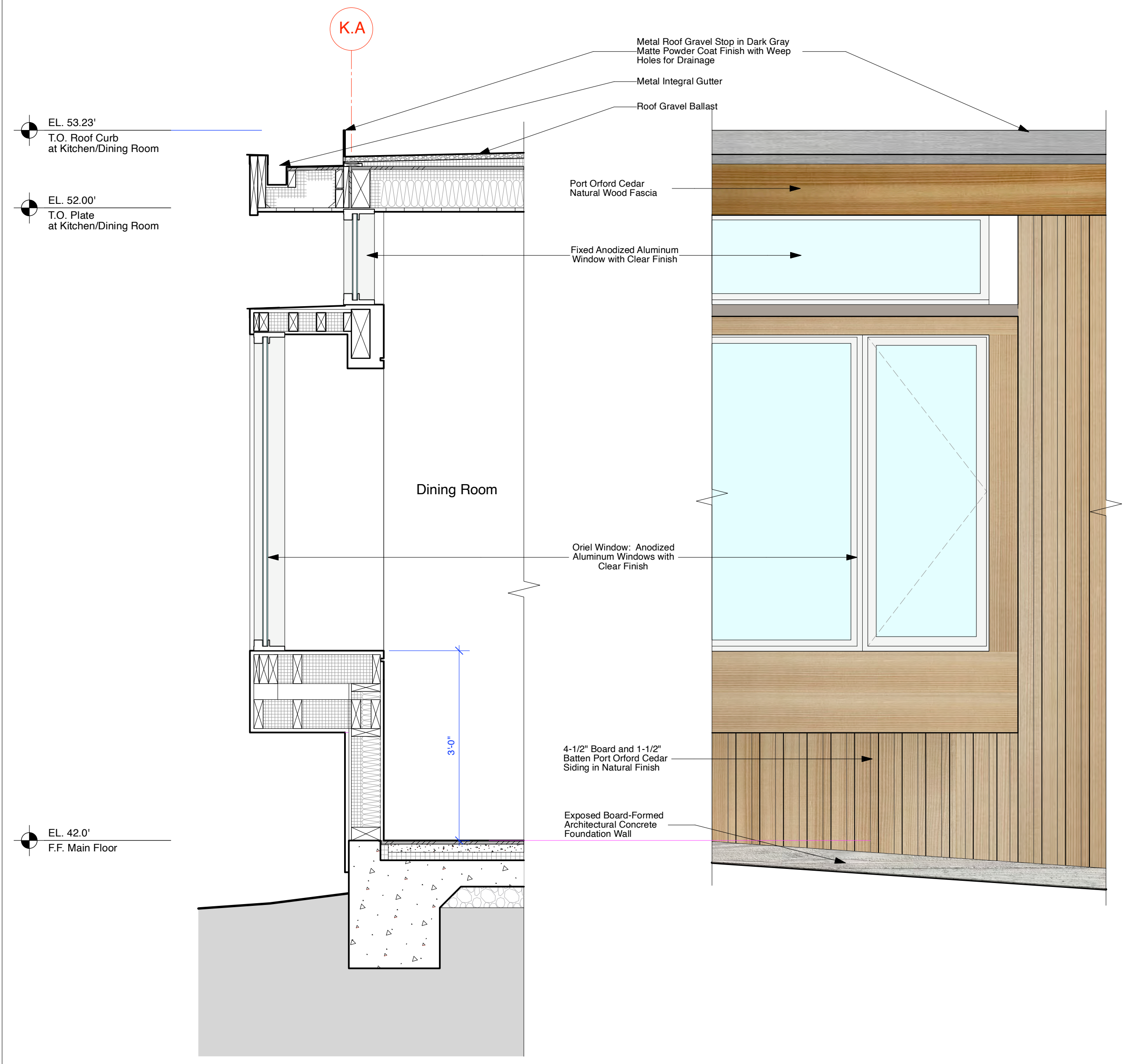
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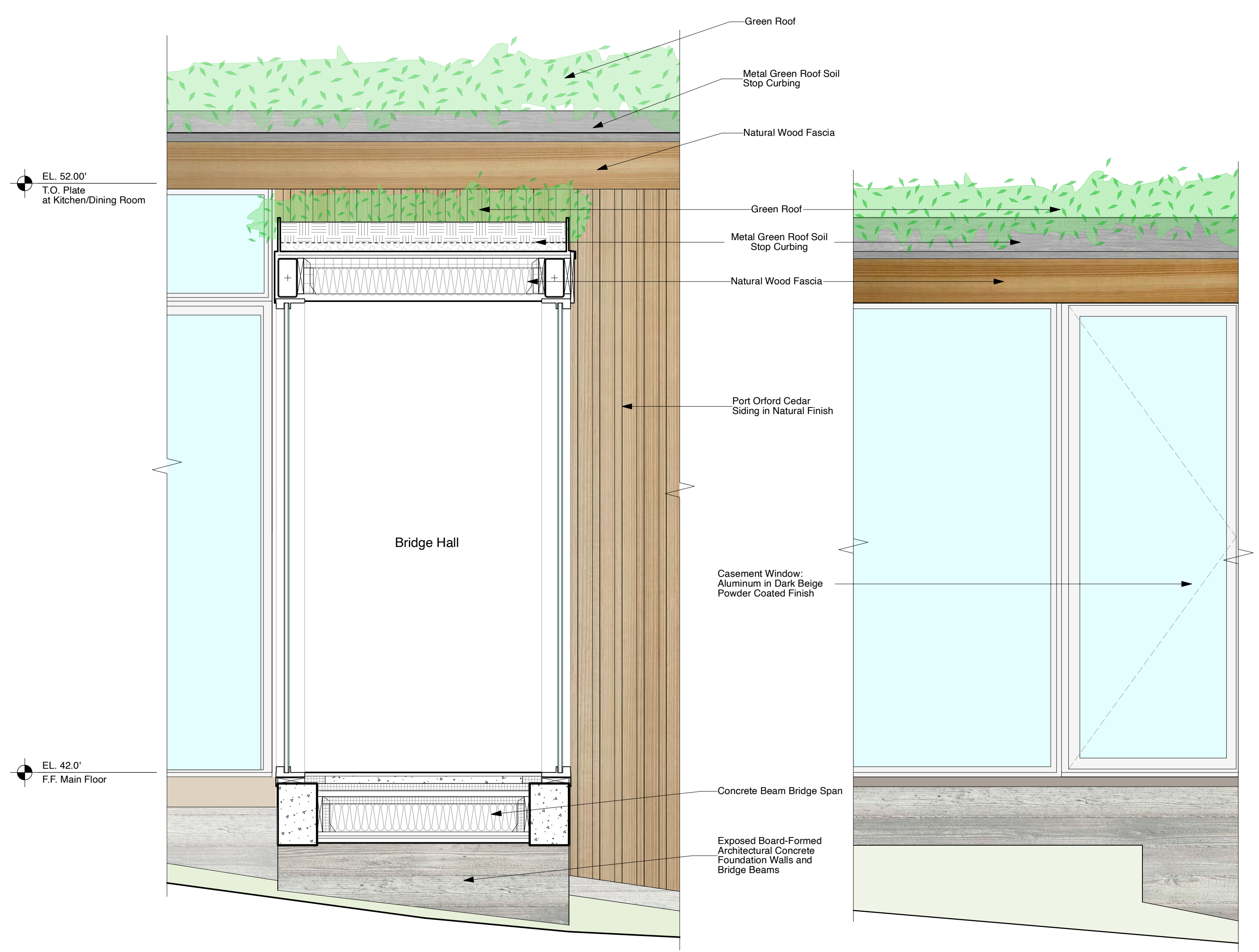
A17
Ahana



Section

Elevation

2 Wall Section at Dining Room Oriel Window Scale: 3/4" = 1'-0"



Section

Elevation

1 Wall Section at Bridge Scale: 3/4" = 1'-0"

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APN: 010-112-007

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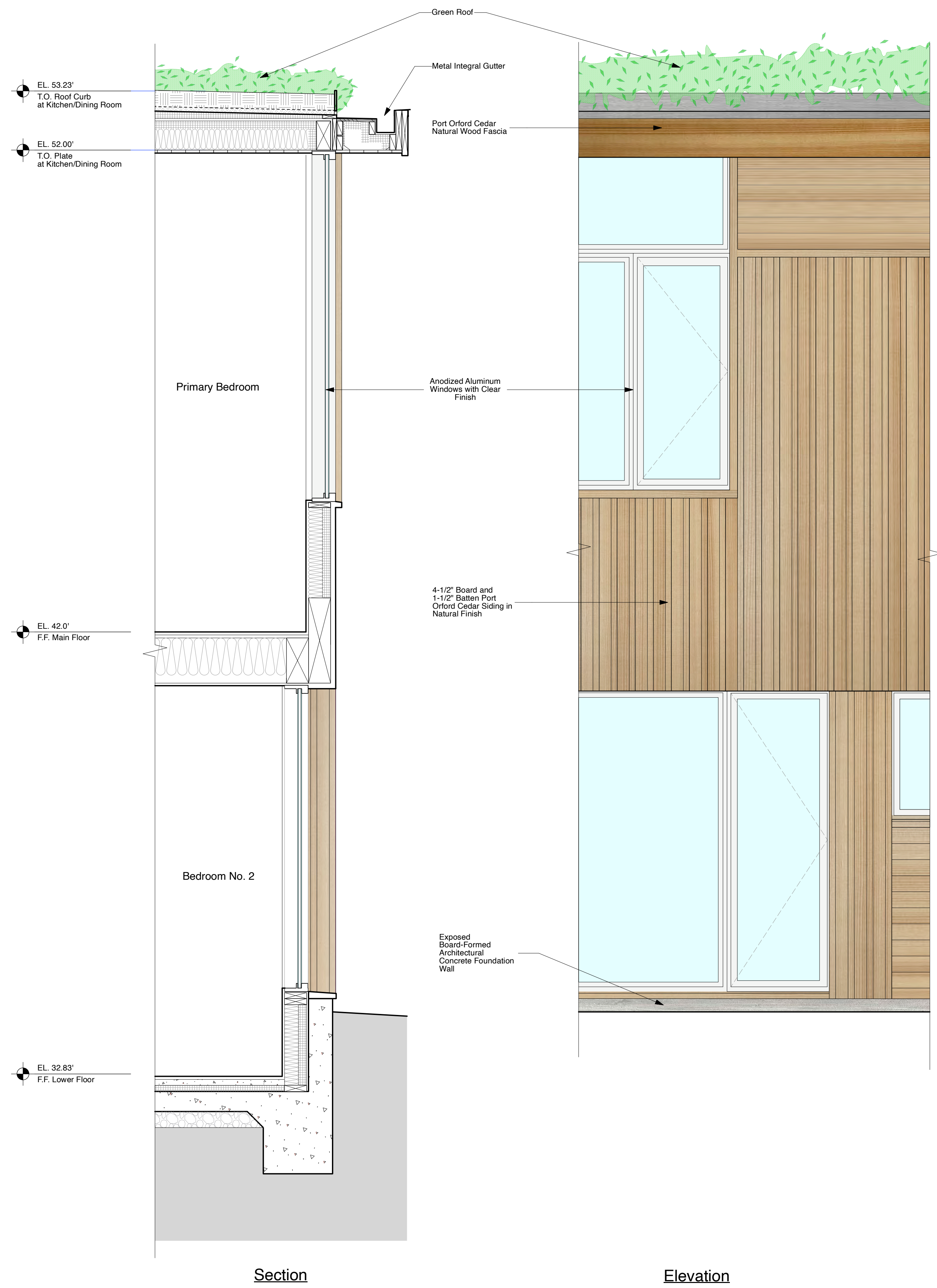
Wall Sections

3/4" = 1'-0"



Sheet No.

A18
Ahana

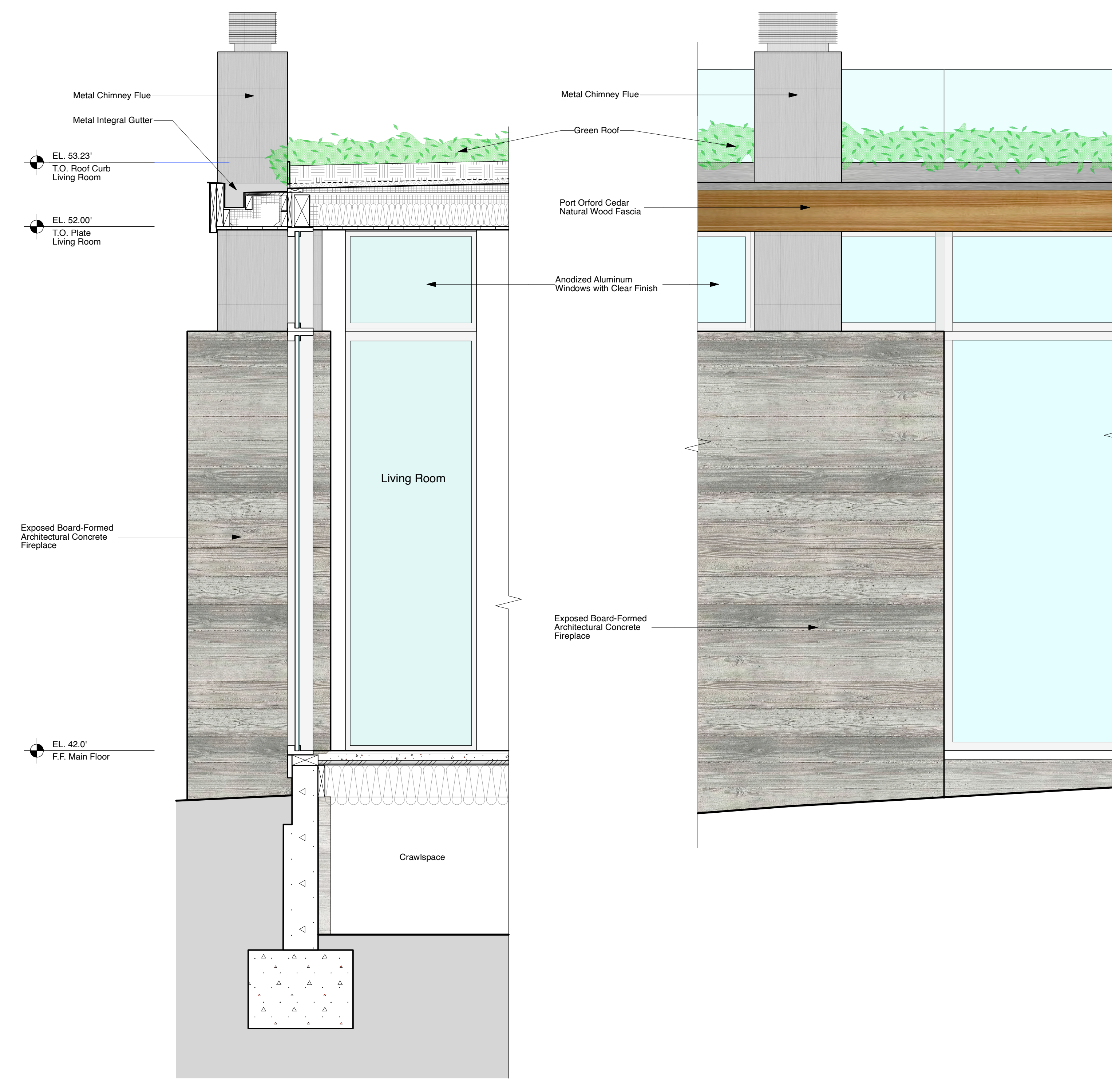


Section

Elevation

2 Wall Section at Primary Bedroom and Bedroom #2

Scale: 3/4" = 1'-0"



Section

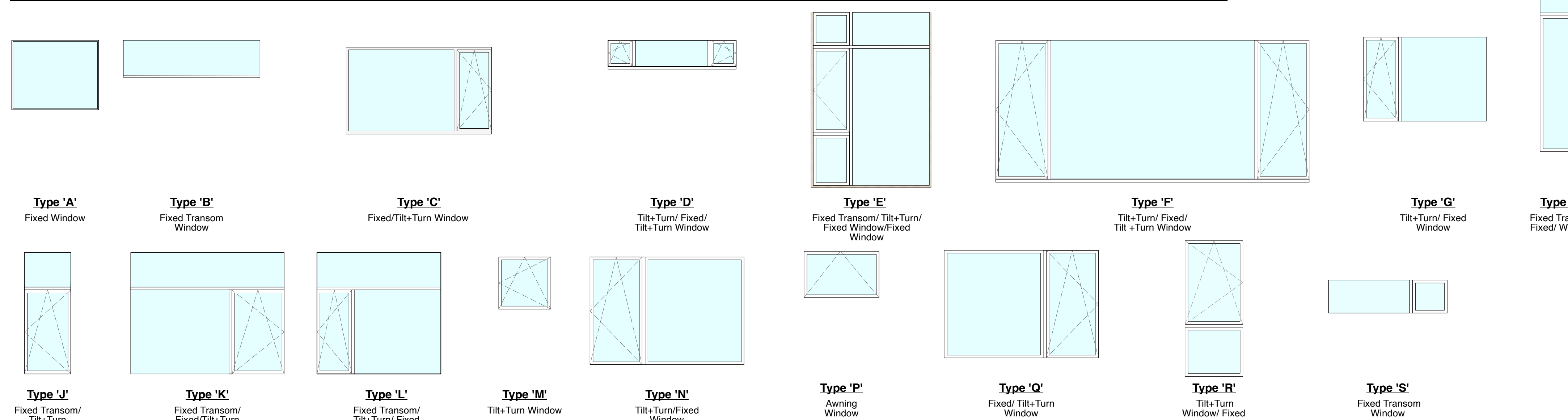
Elevation

1 Wall Section at Living Room

Scale: 3/4" = 1'-0"

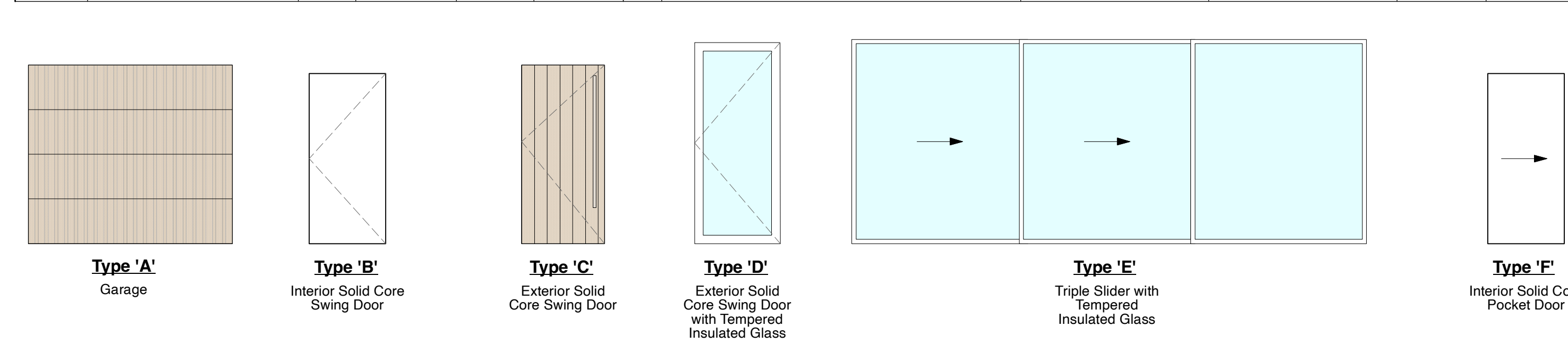
Window Schedule

Window No.	Location	Rm. No.	Frame Width	Frame Height	Type	Operation	Glass Type	Tempered	Frame Material	Remarks
Main Residence										
1	Garage	100	5'-0"	4'-0"	A	O	1" Insulated Glass, Tempered	Yes	Anodized Aluminum with Clear Finish	Fixed Window
2	Dining Area	102	3'-4 1/2"	7'-10"	R	XO	1" Insulated Glass, Tempered	Yes	Anodized Aluminum with Clear Finish	Tilt+Turn Window/ Fixed
3	Dining Area	102	6'-10 1/2"	2'-0"	S	O	1" Insulated Glass, Tempered	Yes	Anodized Aluminum with Clear Finish	Fixed Transom Window
4	Kitchen	103	8'-4 1/2"	5'-0"	C	XO	1" Insulated Glass, Tempered	Yes	Anodized Aluminum with Clear Finish	Fixed/Tilt+Turn Window
4a	Kitchen	103	8'-4 1/2"	1'-5"	B	X	1" Insulated Glass, Tempered	Yes	Anodized Aluminum with Clear Finish	Fixed Transom
5	Kitchen	103	7'-4 1/2"	1'-8"	D	XOX	1" Insulated Glass, Tempered	Yes	Anodized Aluminum with Clear Finish	Tilt+Turn/ Fixed/ Tilt+Turn
6	Kitchen	103	7'-4 1/2"	2'-0"	D	XOX	1" Insulated Glass, Tempered	Yes	Anodized Aluminum with Clear Finish	Tilt+Turn/ Fixed/Tilt+Turn
7	Kitchen	103	6'-11"	9'-11"	E	OXOO	1" Insulated Glass, Tempered	Yes	Anodized Aluminum with Clear Finish	Fixed Transom/ Tilt+Turn/ Fixed Window/Fixed Window
8	Hall	104	18'-0 1/2"	8'-0"	F	XOX	1" Insulated Glass, Tempered	Yes	Anodized Aluminum with Clear Finish	Tilt +Turn/ Fixed/ Tilt + Turn Window
9	Hall	104	18'-0 1/2"	8'-0"	F	XOX	1" Insulated Glass, Tempered	Yes	Anodized Aluminum with Clear Finish	Tilt +Turn/ Fixed/ Tilt + Turn Window
10	Library	105	7'-1 1/2"	4'-10"	G	XO	1" Insulated Glass, Tempered	Yes	Anodized Aluminum with Clear Finish	Tilt+Turn/ Fixed
11	Library	105	5'-11 1/2"	4'-10"	A	O	1" Insulated Glass, Tempered	Yes	Anodized Aluminum with Clear Finish	Fixed
12	Living Area	108	20'-2 1/2"	1'-11"	B	O	1" Insulated Glass, Tempered	Yes	Anodized Aluminum with Clear Finish	Fixed Transom
13	Living Area	108	5'-7"	7'-10"	A	O	1" Insulated Glass, Tempered	Yes	Anodized Aluminum with Clear Finish	Fixed
14	Living Area	108	12'-10"	2'-0"	B	O	1" Insulated Glass, Tempered	Yes	Anodized Aluminum with Clear Finish	Fixed Transom
15	Living Area	108	1'-8"	2'-0"	A	O	1" Insulated Glass, Tempered	Yes	Anodized Aluminum with Clear Finish	Fixed
16	Living Area	108	2'-6"	7'-10"	H	OO	1" Insulated Glass, Tempered	Yes	Anodized Aluminum with Clear Finish	Fixed/ Fixed Transom Above
17	Primary Bath	109	4'-6"	2'-0"	A	O	1" Insulated Glass, Tempered	Yes	Anodized Aluminum with Clear Finish	Fixed
18	Primary Bath	109	8'-4"	2'-0"	A	O	1" Insulated Glass	No	Anodized Aluminum with Clear Finish	Fixed
19	Primary Bath	109	8'-1 1/2"	2'-0"	A	O	1" Insulated Glass, Tempered	Yes	Anodized Aluminum with Clear Finish	Fixed
20	Primary Closet	110	2'-8"	7'-0"	J	XO	1" Insulated Glass, Tempered	Yes	Anodized Aluminum with Clear Finish	Fixed Transom/ Tilt+Turn
21	Primary Bedroom	111	8'-10 1/2"	7'-0"	K	OXO	1" Insulated Glass, Tempered	Yes	Anodized Aluminum with Clear Finish	Fixed Transom/ Fixed/ Tilt+Turn; EGRESS WINDOW: Min. Net Clear Opening Width = 20"; Min. Net Clear Opening Height = 24"; Height from Finish Floor to bottom of Clear Opening = 44"
22	Primary Bedroom	111	7'-2"	7'-0"	L	O	1" Insulated Glass, Tempered	Yes	Anodized Aluminum with Clear Finish	Fixed
23	Stairs	112	3'-0"	3'-0"	M	X	1" Insulated Glass, Tempered	Yes	Anodized Aluminum with Clear Finish	Tilt+Turn
24	Stairs	112	3'-0"	3'-0"	M	X	1" Insulated Glass, Tempered	Yes	Anodized Aluminum with Clear Finish	Tilt+Turn
25	Stairs	112	3'-0"	3'-0"	M	X	1" Insulated Glass, Tempered	Yes	Anodized Aluminum with Clear Finish	Tilt+Turn
26	Bedroom 1	001	5'-8 1/2"	8'-10"	N	XO	1" Insulated Glass, Tempered	Yes	Anodized Aluminum with Clear Finish	Tilt+Turn/ Fixed; EGRESS WINDOW: Min. Net Clear Opening Width = 20"; Min. Net Clear Opening Height = 24"; Height from Finish Floor to bottom of Clear Opening = 44"
27	Bathroom	002	4'-0"	2'-8"	P	X	1" Insulated Glass, Tempered	Yes	Anodized Aluminum with Clear Finish	Awning
28	Bedroom 2	003	5'-9 1/2"	8'-10"	Q	OX	1" Insulated Glass, Tempered	Yes	Anodized Aluminum with Clear Finish	Fixed/ Tilt+Turn; EGRESS WINDOW: Min. Net Clear Opening Width = 20"; Min. Net Clear Opening Height = 24"; Height from Finish Floor to bottom of Clear Opening = 44"
29	Stair Lantern	300	3'-4 1/2"	1'-1"	A	O	1" Insulated Glass, Tempered	Yes	Anodized Aluminum with Clear Finish	Fixed
30	Stair Lantern	300	9'-11 1/2"	1'-1"	A	O	1" Insulated Glass, Tempered	Yes	Anodized Aluminum with Clear Finish	Fixed
31	Stair Lantern	300	3'-4 1/2"	2'-11"	P	X	1" Insulated Glass, Tempered	Yes	Anodized Aluminum with Clear Finish	Awning
32	Stair Lantern	300	6'-4 1/2"	2'-11"	P	X	1" Insulated Glass, Tempered	Yes	Anodized Aluminum with Clear Finish	Awning



Door Schedule

Door No.	Location	Room No.	Frame Width	Frame Height	Door Thickness	Type	Door Material	Glazing Type	Frame / Jamb Material	Manufacturer	Remarks
Main House											
1	Garage	100	8'-0"	7'-0"	1-3/4"	A	Natural-Grade Wood		Natural-Grade Wood		Garage
2	Garage	100	3'-0"	6'-8"	1-3/4"	B	Paint-Grade Wood		Paint-Grade Wood		Interior Swing Door
3	Entry	101	3'-3"	7'-0"	1-3/4"	C	Natural-Grade Wood		Natural-Grade Wood		Exterior Entry Swing Door
4	Dining	102	3'-4"	7'-10 1/2"	1-3/4"	D	Paint-Grade Wood	1" Insulated Glass, Tempered	Paint-Grade Wood		Exterior Swing Door with Tempered Insulated Glass
5	Library	105	2'-6"	6'-8"	1-3/4"	B	Paint-Grade Wood		Paint-Grade Wood		Interior Swing Door
6	Hall 2	106	2'-2"	6'-8"	1-3/4"	B	Paint-Grade Wood		Paint-Grade Wood		Interior Swing Door
7	Powder Room	107	2'-6"	6'-8"	1-3/4"	B	Paint-Grade Wood		Paint-Grade Wood		Interior Swing Door
8	Living Area	108	20'-2 1/2"	7'-10"	1-3/4"	E	Paint-Grade Wood	1" Insulated Glass, Tempered	Paint-Grade Wood		Triple Slider
9	Primary Bathroom	109	2'-8"	6'-8"	1-3/4"	F	Paint-Grade Wood		Paint-Grade Wood		Pocket Door
10	Primary Closet	110	2'-8"	6'-8"	1-3/4"	F	Paint-Grade Wood		Paint-Grade Wood		Pocket Door
11	Primary Bedroom	111	2'-10"	6'-8"	1-3/4"	B	Paint-Grade Wood		Paint-Grade Wood		Interior Swing Door
12	Bedroom 1	001	2'-10"	6'-8"	1-3/4"	B	Paint-Grade Wood		Paint-Grade Wood		Interior Swing Door
13	Bathroom	002	2'-6"	6'-8"	1-3/4"	B	Paint-Grade Wood		Paint-Grade Wood		Interior Swing Door
14	Bedroom 2	003	2'-10"	6'-8"	1-3/4"	B	Paint-Grade Wood		Paint-Grade Wood		Interior Swing Door
15	Stair Lantern	300	2'-10"	6'-8"	1-3/4"	D	Natural-Grade Wood	1" Insulated Glass, Tempered	Natural-Grade Wood		Exterior Swing Door With Tempered Insulated Glass



D
A

DYAR
ARCHITECTURE

P.O. BOX 4709
CARMEL, CALIFORNIA 93921
T: 831.915.5602
F: 831.309.6999
Email: info@dyararchitecture.com

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The Architect's Drawings, Specifications Or Other Documents Shall Not Be Used By The Owner Or Others On Another Project Except By Agreement In Writing And With Appropriate Compensation To The Architect.

Owner:
Caring Hermie Family Trust
155 San Rafael Way
San Francisco, CA 94127

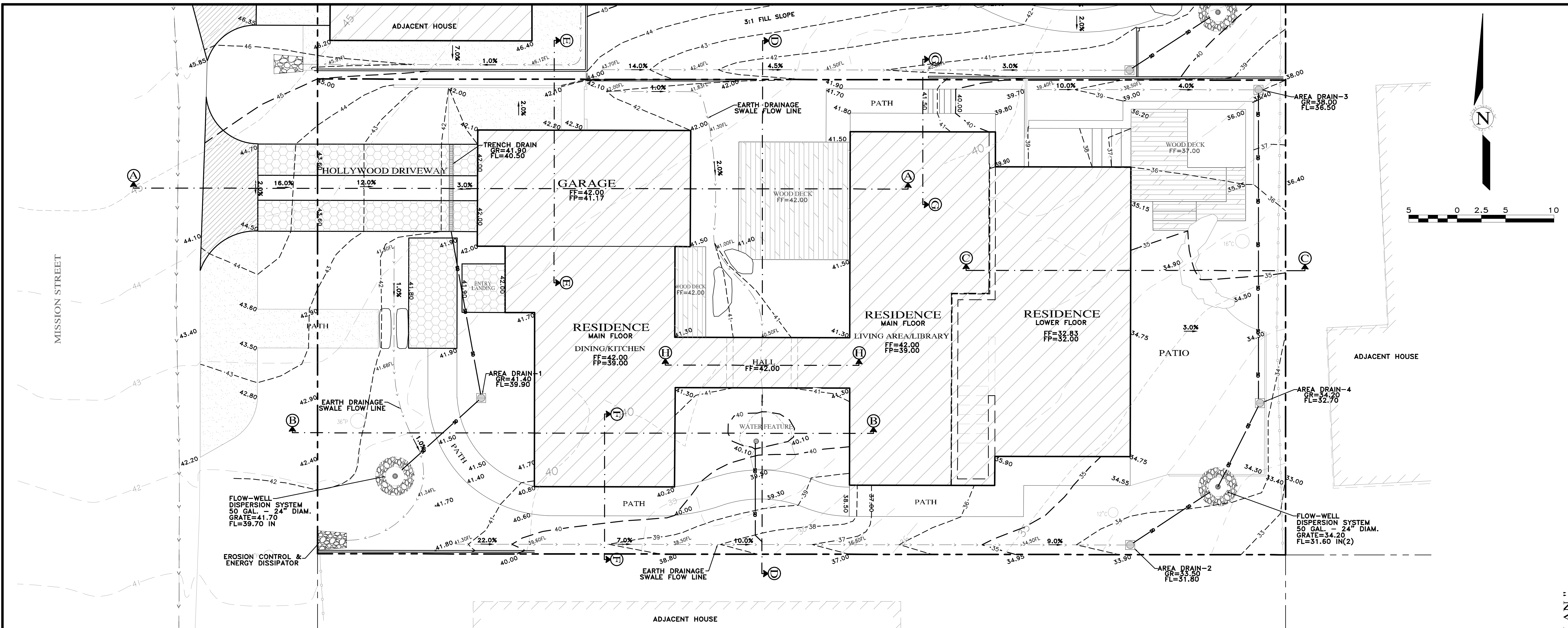
Architect:
Dyar Architecture
155 San Rafael Way
San Francisco, CA 94127

Ahana
Residence
155 San Rafael Way
San Francisco, CA 94127
APN: 010-112-007

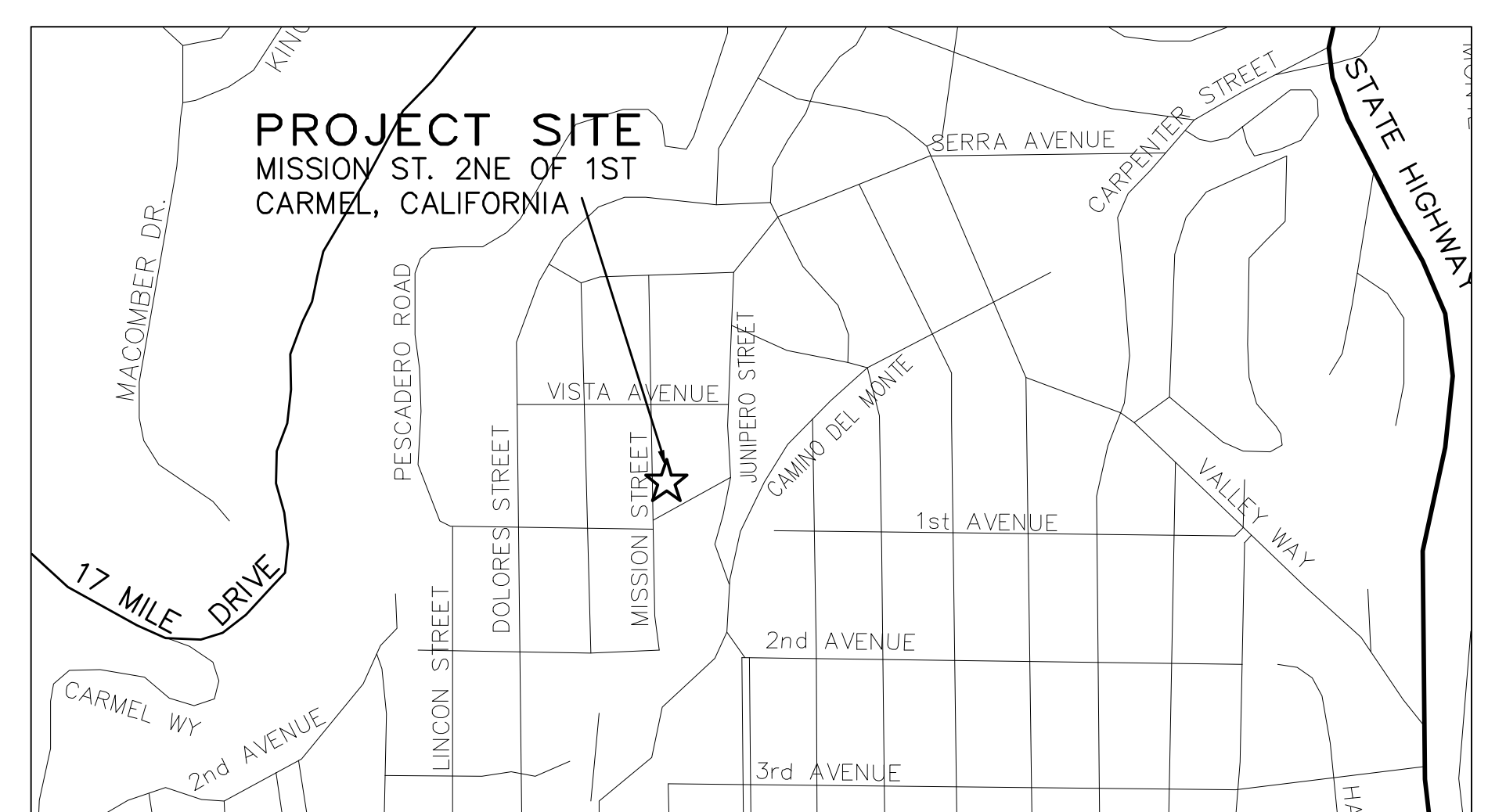
Job No.
Date:
Tract 2 Design Study
July 1, 2024
Tract 2 Design Study
Resubmittal
September 4, 2024
Design Development
February 16, 2025
Tract 2 Design Study
Details Review
April 23, 2025

Door + Window
Schedules

ERIK D. DYAR
No. 28518
Expires February 2027
STATE OF CALIFORNIA



PLAN VIEW
SCALE: 1"=30'



VICINITY MAP
NOT TO SCALE

TOTAL LOT AREA = 4,900 SQ.FT.
TOTAL IMPERVIOUS AREA = 1,729 SQ.FT.
TOTAL AREA OF DISTURBANCE = 4,880 SQ.FT.

GRADING QUANTITIES:
CUT = 200 C.Y.
FILL = 30 C.Y.
NET = 170 C.Y. EXPORT

STORM WATER CONTROL NOTES:

- 1) THE PROJECT IS NOT LOCATED WITHIN THE MUNICIPAL GENERAL PERMIT BOUNDARY AS DEFINED BY THE CALIFORNIA STATE WATER QUALITY CONTROL BOARD ORDER No. 2013-0001-DWQ; THEREFORE, THE POST-CONSTRUCTION STORM WATER MANAGEMENT REQUIREMENTS (PCRs) FOR DEVELOPMENT PROJECTS IN THE CENTRAL COAST REGION DO NOT APPLY.
- 2) ALL DRAINAGE SHALL CONFORM TO THE STANDARD OPERATING GUIDANCE FOR 17-07 PRIVATE STORM WATER SYSTEMS PER THE CITY OF CARMEL-BY-THE-SEA.

INDEX TO SHEETS

- SHEET C1 GRADING & DRAINAGE PLAN
- SHEET C2 GRADING SECTIONS
- SHEET C3 EROSION CONTROL PLAN
- SHEET C4 CONSTRUCTION MANAGEMENT PLAN

CONTACT INFORMATION:
PRIMARY: OWNER
COLLINS HERMLE FAMILY TRUST
155 SAN RAFAEL WAY
SAN FRANCISCO, CA 94127
SECONDARY: ARCHITECT
DYAR ARCHITECTURE
ATTN: MR. ERIK DYAR
P.O. BOX 4709
CARMEL, CA 93921
PH (831)915-5602

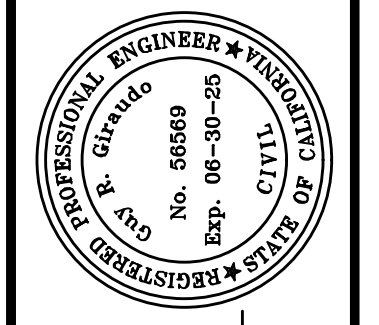
SITE LOCATION:
MISSION STREET
2 NE OF 1ST AVENUE
CARMEL, CA 93921

" GRADING, DRAINAGE & UTILITY PLAN "
GRADING, DRAINAGE & EROSION CONTROL PLAN

MISSION SISTERS - LOT 10 AHANA RESIDENCE
A.P.N.: 010-112-007
FOR THE SEA, MONTEREY COUNTY, CALIFORNIA
FOR COLLINS HERMLE FAMILY TRUST

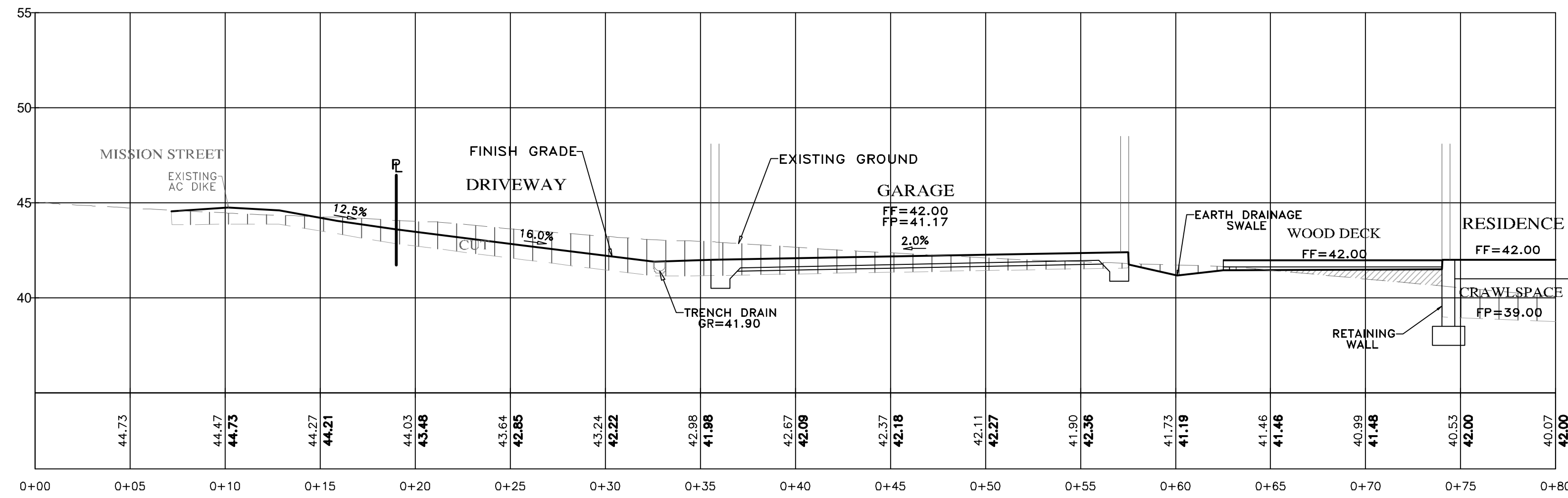


APPROVED BY:
GUY R. GIRAUDO

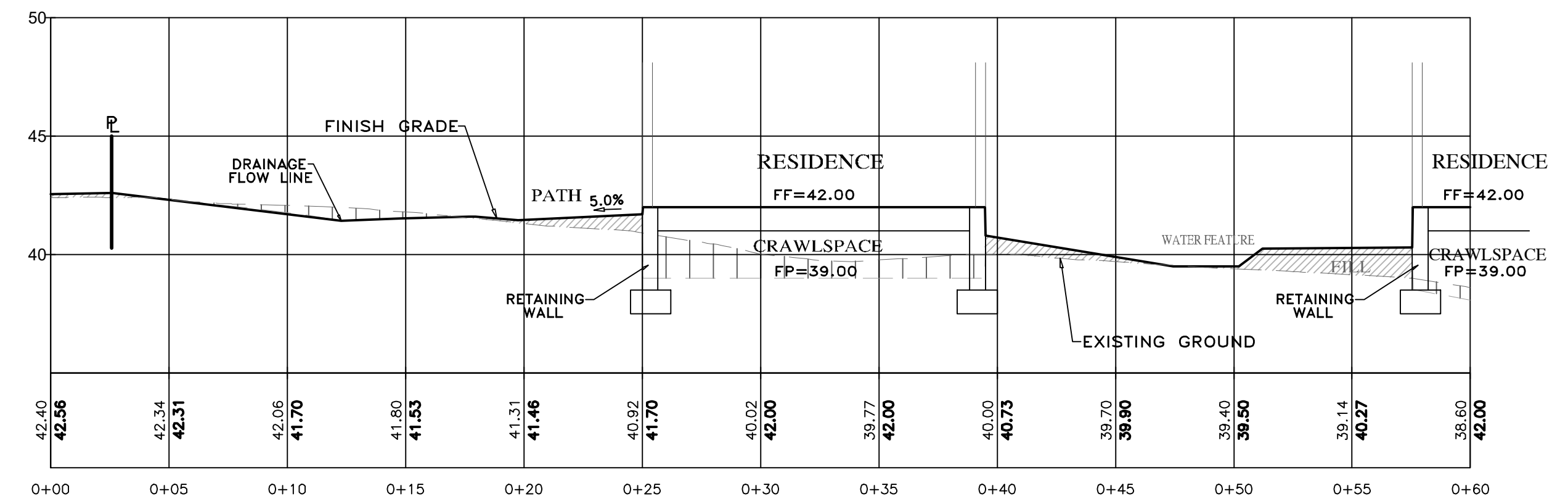


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08/16/24	AMS	RELEASED TO CLIENT	

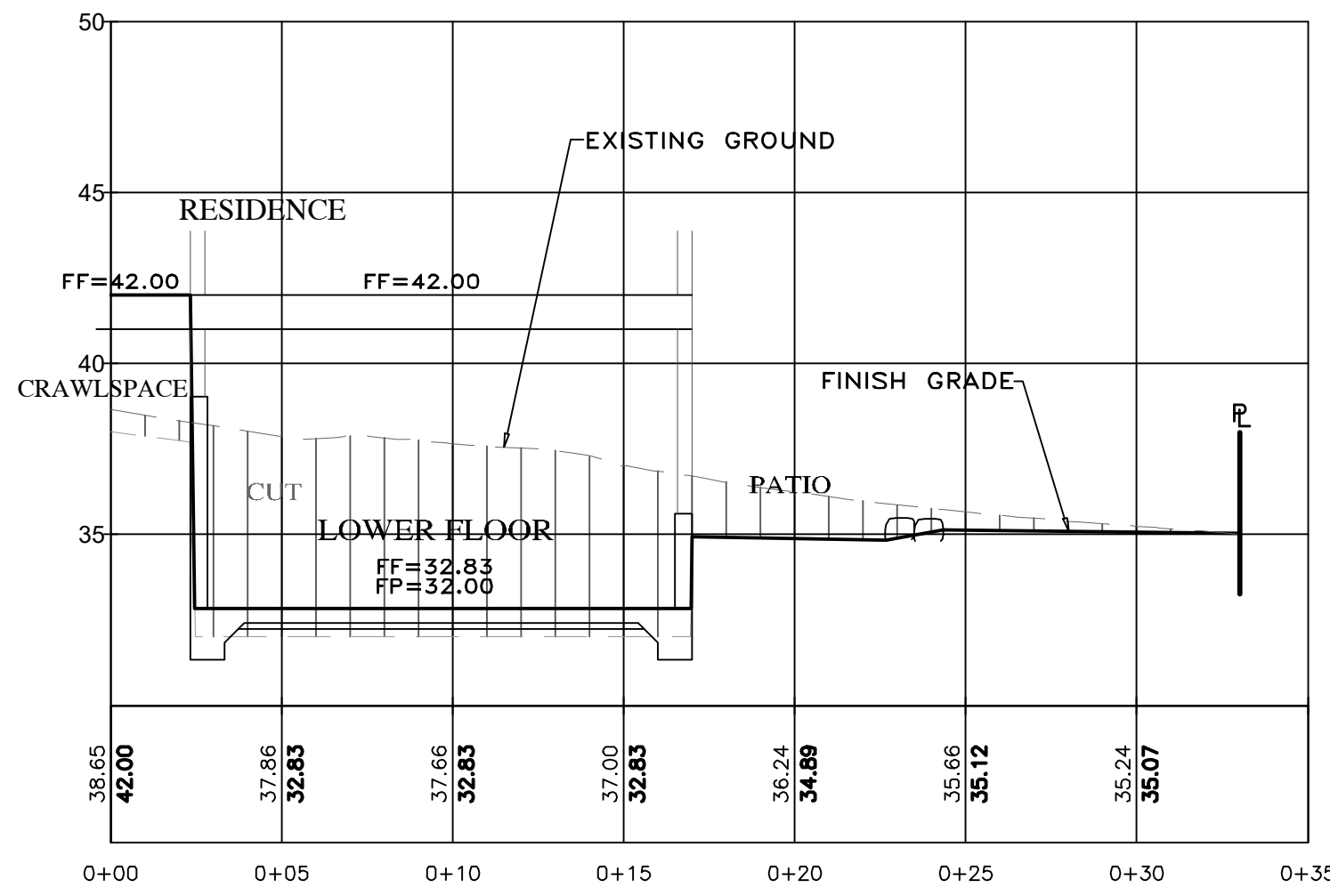
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DATE: AUGUST 2024
JOB NO. 2816-01
SHEET **C1**
OF 4 SHEETS



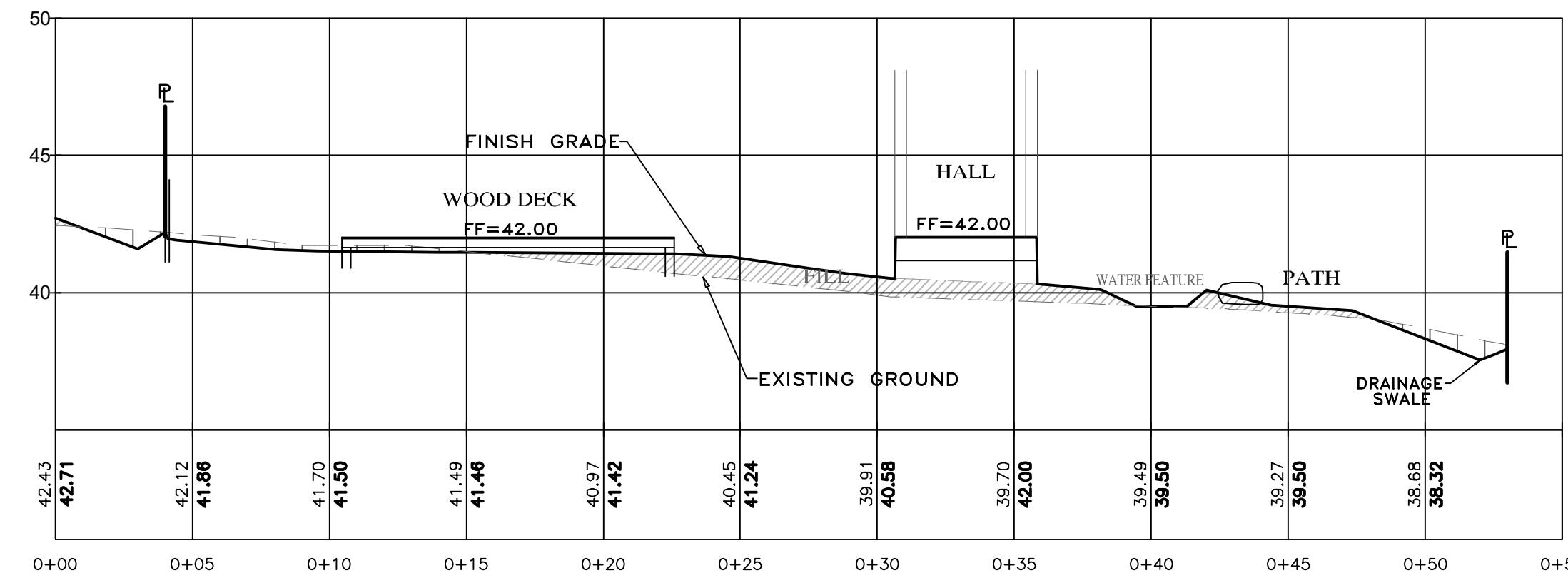
SECTION A-A
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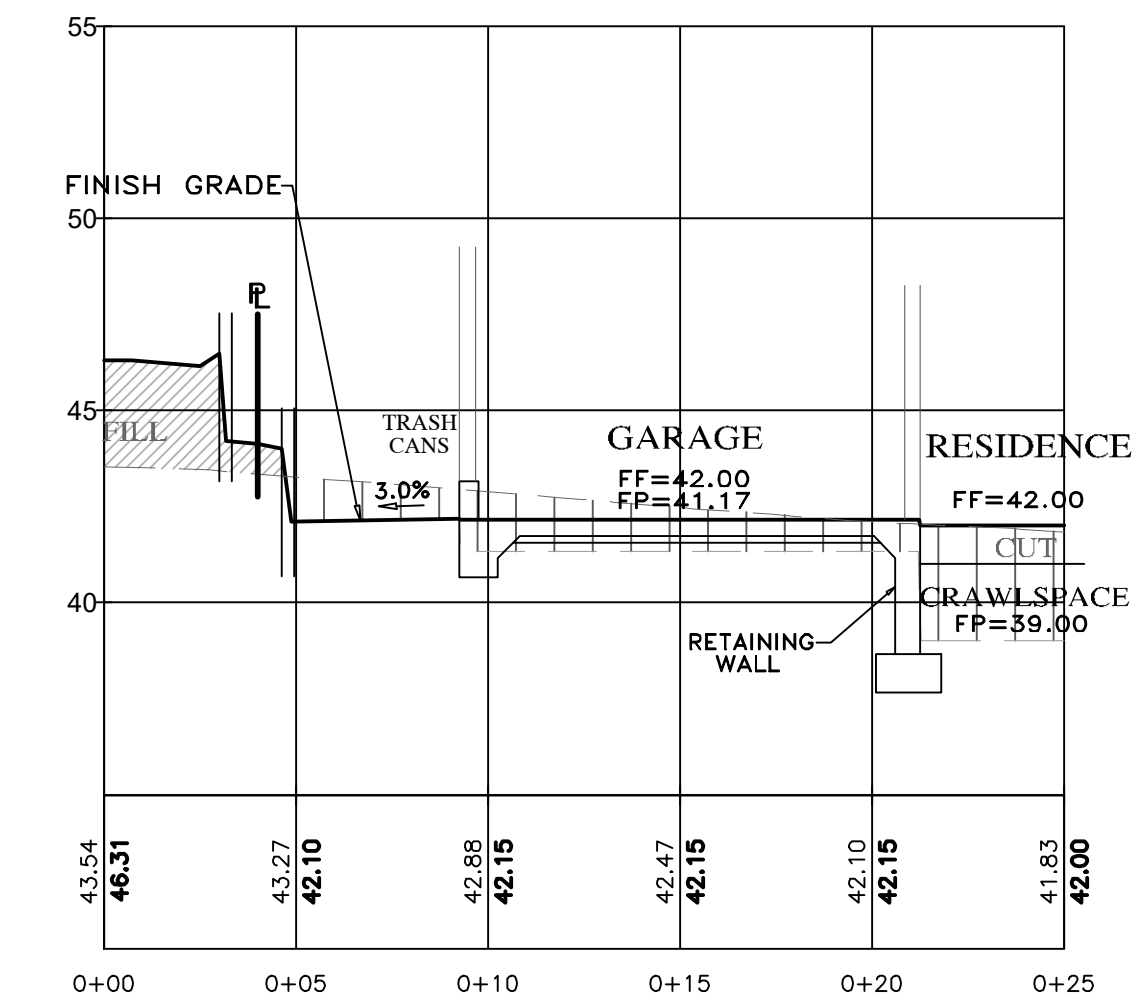
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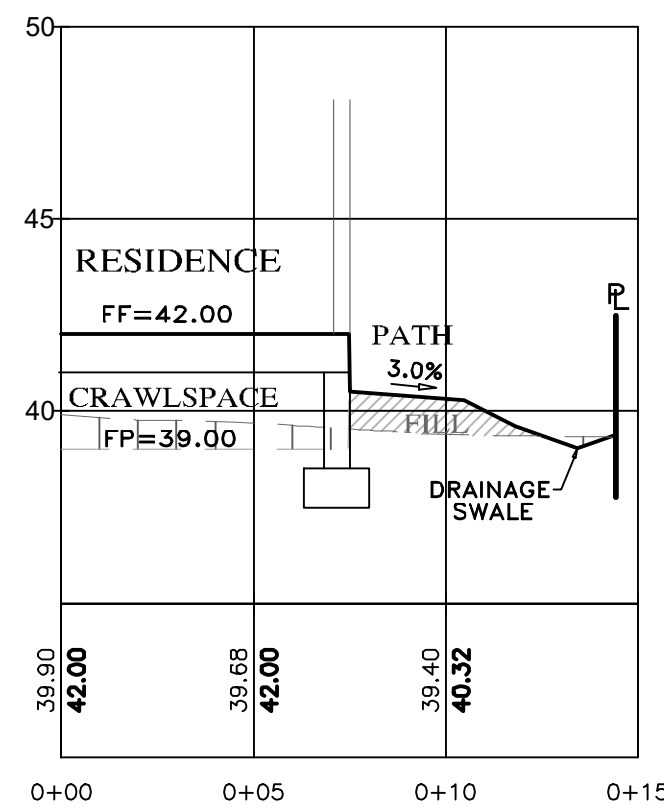
SECTION C-C
SCALE: 1"=5' H&V



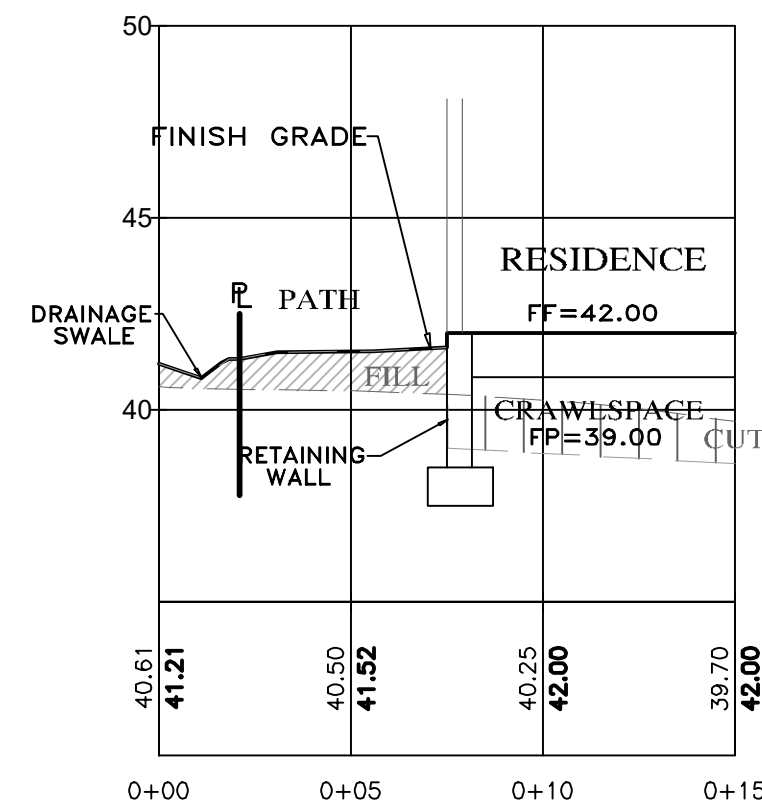
SECTION D-D
SCALE: 1"=5' H&V



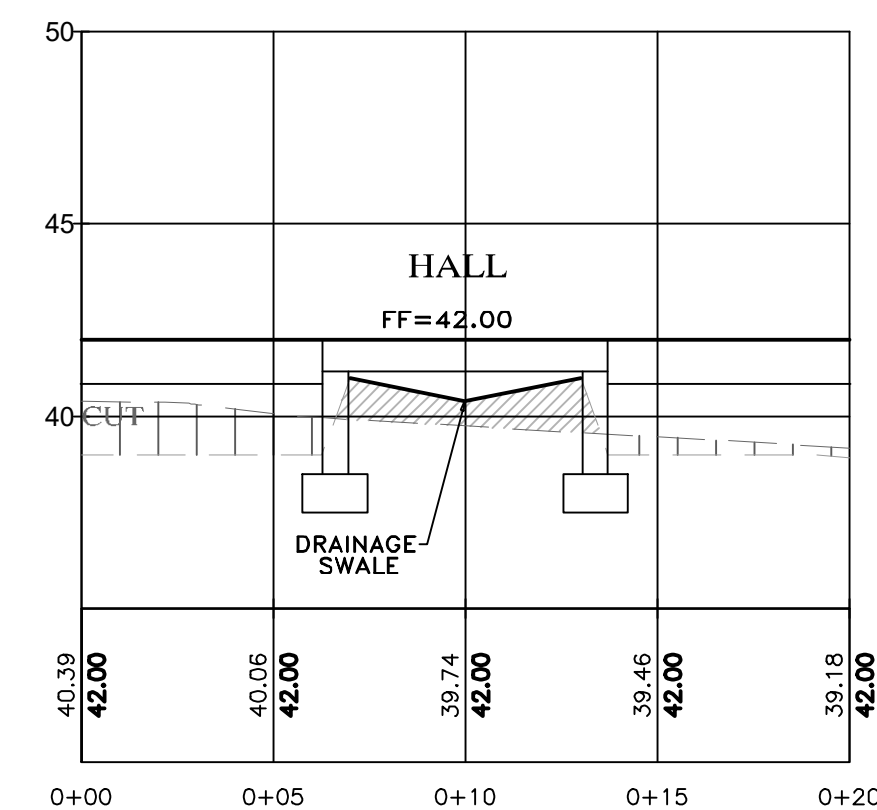
SECTION E-E
SCALE: 1"=5' H&V



SECTION F-F
SCALE: 1"=5' H&V

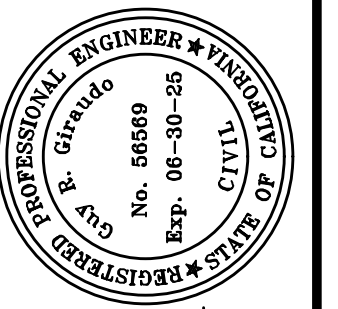


SECTION G-G
SCALE: 1"=5' H&V



SECTION H-H
SCALE: 1"=5' H&V

- NOTES:
- ALL FILL MATERIAL SHALL BE STRUCTURAL FILL PER SOIL'S ENGINEERING INVESTIGATION REPORT
 - SEE ARCHITECTURAL AND STRUCTURAL PLANS FOR LAYOUT OF FOUNDATION COMPONENTS
 - OVEREXCAVATION ON BUILDING AREAS PER SOILS ENGINEERING INVESTIGATION REPORT
 - FOR SECTION LOCATIONS, SEE SHEET C3 "GRADING, DRAINAGE & UTILITY PLAN".



APPROVED BY:

GUY R. GIRAUDO



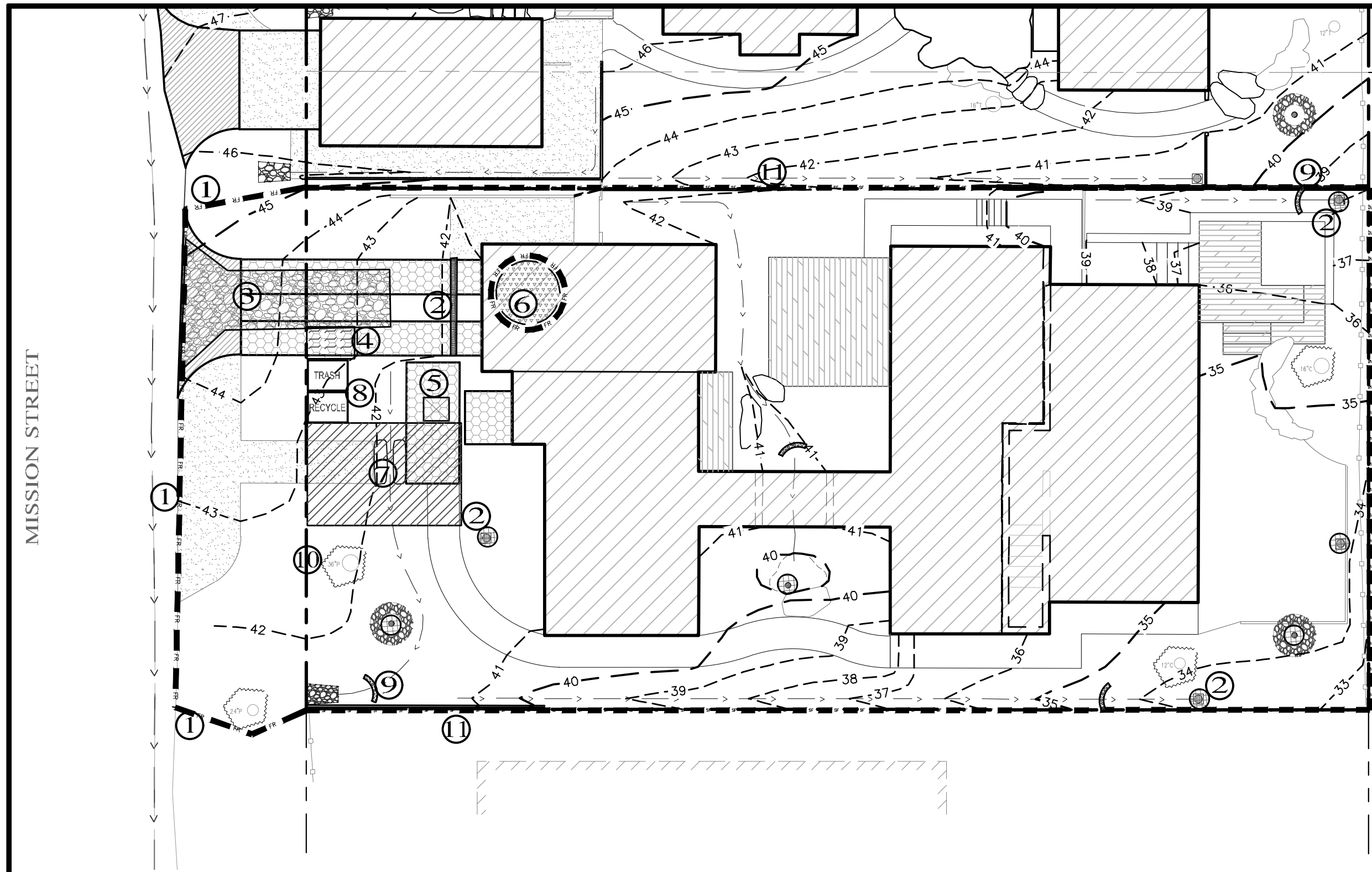
GRADING, DRAINAGE & EROSION CONTROL PLAN
OF
MISSION SISTERS - LOT 10 AHANA RESIDENCE
A.P.N.: 010-112-007
FOR
CARMEL BY THE SEA, MONTEREY COUNTY, CALIFORNIA
COLLINS HERMLE FAMILY TRUST

" GRADING SECTIONS "

SCALE: 1"=5' H&V
DATE: AUGUST 2024
JOB NO. 2816-01

SHEET C2
OF 4 SHEETS

No.	DATE	BY	REVISION



PLAN
SCALE: 1"=10'

EROSION & SEDIMENT CONTROL NOTES:

- 1) ALL EROSION CONTROL MEASURES SHALL CONFORM WITH THE CITY OF CARMEL-BY-THE-SEA EROSION CONTROL ORDINANCE.
- 2) EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN EFFECT FOR ANY CONSTRUCTION DURING THE RAINY SEASON, APPROX. OCTOBER 15 TO APRIL 15. EROSION CONTROL PLAN SHALL BE PREPARED AND SUBMITTED FOR APPROVAL BY SEPT. 15 OF ANY OR EACH CALENDAR YEAR THAT CONSTRUCTION MAY EXTEND BEYOND OCTOBER 15.
- 3) ALL SLOPES SHALL BE PROTECTED WITH STRAW MULCH OR SIMILAR MEASURES TO PROTECT AGAINST EROSION UNTIL SUCH SLOPES ARE PERMANENTLY STABILIZED.
- 4) RUNOFF SHALL BE DETAINED OR FILTERED BY BERMS, VEGETATED FILTER STRIPS, AND/OR CATCH BASINS TO PREVENT THE ESCAPE OF SEDIMENT FROM THE SITE.
- 5) EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE AT THE END OF EACH DAY'S WORK.
- 6) EROSION CONTROL PLANTINGS AND MULCH SHALL BE CLOSELY MONITORED THROUGHOUT THE WINTER AND ANY RUNOFF PROBLEMS CORRECTED PROMPTLY. SEE LANDSCAPE ARCHITECT'S PLAN FOR PERMANENT PLANTINGS AND TREE SCHEDULES.
- 7) DISTURBED SURFACES NOT INVOLVED IN THE IMMEDIATE GRADING OPERATIONS MUST BE PROTECTED BY MULCHING AND/OR OTHER EFFECTIVE MEANS OF SOIL PROTECTION.
- 8) ALL ROADS AND DRIVEWAYS SHALL HAVE DRAINAGE FACILITIES SUFFICIENT TO PREVENT EROSION ON OR ADJACENT TO THE ROADWAY OR ON THE DOWNHILL PROPERTIES.
- 9) DRAINAGE CONTROL MEASURES SHALL BE MAINTAINED AND IN PLACE AT THE END OF EACH DAY AND CONTINUOUSLY THROUGHOUT THE LIFE OF THE PROJECT DURING WINTER OPERATIONS.
- 10) REVEGETATION SHALL CONSIST OF A MECHANICALLY APPLIED HYDROMULCH SLURRY OR HAND SEEDING WITH A STRAW MULCH COVER. MULCH SHALL BE ANCHORED BY AN APPROVED METHOD SUCH AS PUNCHING, TACKING, OR THE USE OF JUTE NETTING, AS DEEMED NECESSARY FOR THE SITE CONDITIONS TO ALLOW FOR GERMINATION AND ENABLE ADEQUATE GROWTH TO BE ESTABLISHED.
- 11) CHECK DAMS, SILT FENCES, FIBER ROLLS OR OTHER DESIGNS SHALL BE INCORPORATED TO CATCH ANY SEDIMENT UNTIL AFTER THE NEWLY EXPOSED AREAS ARE REVEGETATED SUFFICIENTLY TO CONTROL EROSION. EROSION CONTROL PLANTINGS AND MULCH SHALL BE CLOSELY MONITORED THROUGHOUT THE WINTER AND ANY RUNOFF PROBLEMS SHALL BE CORRECTED PROMPTLY. ALL EROSION AND/OR SLIPPAGE OF THE NEWLY EXPOSED AREAS SHALL BE REPAIRED BY THE PERMITTEE AT THEIR EXPENSE.
- 12) THE GRASS SEED SHALL BE PROPERLY IRRIGATED UNTIL ADEQUATE GROWTH IS ESTABLISHED AND MAINTAINED TO PROTECT THE SITE FROM FUTURE EROSION DAMAGE. ALL NEWLY EXPOSED (DISTURBED) AREAS SHALL BE SEEDING WITH THE FOLLOWING EROSION CONTROL MIX: BROMUS CARINATUS (CALIFORNIA BROME), VULPIA MICROSTACHYS (NUTTALL'S FESCUE), ELYMUS GLAUCUS (BLUE WILD RYE), HORDEUM BRACHYANTHERUM (MEADOW BARLEY), FESTUCA RUNRUMOLATA BLUE AND A MIXTURE OF LOCALLY NATIVE WILDFLOWERS.
- 13) THE DIRECTOR OF BUILDING INSPECTION (BUILDING OFFICIAL) SHALL STOP OPERATIONS DURING PERIODS OF INCLEMENT WEATHER IF HE OR SHE DETERMINES THAT EROSION PROBLEMS ARE NOT BEING CONTROLLED ADEQUATELY.
- 14) GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR EROSION AND SEDIMENT CONTROL BMP INSTALLATION AND MAINTENANCE AND SHALL PROVIDE FULL PARTICULARS TO THE CITY OF CARMEL-BY-THE-SEA PRIOR TO BEG. WORK.

TABLE 1706.6 REQUIRED VERIFICATION AND INSPECTION OF SOILS

VERIFICATION AND INSPECTION TASK	CONTINUOUS DURING TASK LISTED	PERIODICALLY DURING TASK LISTED
1. Verify material below shallow foundations are adequate to achieve the design bearing capacity	--	X
2. Verify excavations are extended to proper depth and have reached proper material	--	X
3. Perform classification and testing of compacted fill materials	--	X
4. Verify use of proper materials, densities and lift thicknesses during placement and compaction of compacted fill.	X	--
5. Prior to placement of compacted fill, observe subgrade and verify that site has been prepared properly.	--	X

CONSTRUCTION INSPECTION REQUIREMENTS

- A-PRIOR TO COMMENCEMENT OF ANY LAND DISTURBANCE, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH HCD-ENVIRONMENTAL SERVICES TO ENSURE ALL NECESSARY SEDIMENT CONTROLS ARE IN PLACE AND THE PROJECT IS COMPLIANT WITH MONTEREY COUNTY GRADING AND EROSION CONTROL REGULATIONS.
- B-DURING CONSTRUCTION THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH HCD-ENVIRONMENTAL SERVICES TO UPDATE COMPACTION TEST RECORDS, INSPECT DRAINAGE DEVICE INSTALLATION, REVIEW THE MAINTENANCE AND EFFECTIVENESS OF BMP'S INSTALLED, AS WELL AS, TO VERIFY THAT POLLUTANTS OF CONCERN ARE NOT DISCHARGED FROM THE SITE.
- C-PRIOR TO FINAL INSPECTION, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH HCD-ENVIRONMENTAL SERVICES TO CONDUCT A FINAL GRADING INSPECTION, COLLECT FINAL GEOTECHNICAL LETTER OF CONFORMANCE, ENSURE THAT ALL DISTURBED AREAS HAVE BEEN STABILIZED AND THAT ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES THAT ARE NO LONGER NEEDED HAVE BEEN REMOVED.

LEGEND:

- ① FR FIBER ROLLS: THE CONTRACTOR SHALL MAINTAIN A STOCKPILE OF FIBER ROLLS ONSITE, AS THEY CAN BE USED ALONG ERODIBLE SLOPES, ALONG STOCKPILE PERIMETERS, DOWNSLOPE OF EXPOSED SOIL AREAS, AND TO DELINEATE/PROTECT STAGING AREAS. FIBER ROLLS MUST BE TRENCHED INTO THE SOIL AND STAKED (STAKES SPACED MAX. 4' ON CENTER). SEE DETAIL. INSTALL FIBER ROLLS ALONG LEVEL CONTOURS, AND TURN THE ENDS UPHILL. INSPECT WEEKLY AND REMOVE ACCUMULATED SEDIMENT REGULARLY.
- ② DRAIN INLET PROTECTION: PLACE GEOTEXTILE FILTER FABRIC BENEATH INLET GRATE AND SURROUND ENTIRE INLET WITH GRAVEL BAGS (OVERLAP THE BAGS AND PACK THEM TIGHTLY TOGETHER - SEE DETAIL). INSPECT ALL INLET PROTECTION WEEKLY. REMOVE ACCUMULATED SEDIMENT REGULARLY.
- ③ STABILIZED CONSTRUCTION ACCESS: INSTALL STABILIZED CONSTRUCTION ACCESS PRIOR TO COMMENCEMENT OF EARTH MOVING OPERATIONS (SEE DETAIL). INSPECT ENTRANCE DAILY, AND ADD ADDITIONAL TOP-DRESSING WHEN REQUIRED. USE FENCING OR BARRICADES TO PREVENT VEHICLE TRAFFIC FROM DRIVING AROUND THE STABILIZED ACCESS.
- ④ CONCRETE WASHOUT: WASHOUT MUST BE LOCATED A MINIMUM OF 50 FEET FROM STORM DRAINS, OPEN DITCHES, OR WATER BODIES. DISCONTINUE USE WHEN WASHOUT WASTES REACH 75% OF THE WASHOUT CAPACITY. ALLOW WASHOUT WASTES TO HARDEN, BE BROKEN UP, AND THEN DISPOSED OF PROPERLY.
- ⑤ SANITARY/SEPTIC WASTE MANAGEMENT: PORTABLE TOILETS WILL BE PROVIDED AND MAINTAINED ONSITE FOR THE DURATION OF THE PROJECT. ALL PORTABLE TOILETS WILL BE EQUIPPED WITH A SECONDARY CONTAINMENT TRAY, AND SHALL BE LOCATED A MINIMUM OF 50' FROM ALL OPERATIONAL STORM DRAIN INLETS. WEEKLY MAINTENANCE SHALL BE PROVIDED AND WASTES LEGALLY DISPOSED OF OFF-SITE.
- ⑥ STOCKPILE MANAGEMENT: SOIL STOCKPILES MUST BE COVERED OR STABILIZED (I.E. WITH SOIL BINDERS) IMMEDIATELY IF THEY ARE NOT SCHEDULED TO BE USED WITHIN 14 DAYS. ACTIVE SOIL STOCKPILES SHALL BE WATERED TWICE DAILY TO AVOID WIND EROSION. SURROUND ALL STOCKPILES WITH FIBER ROLLS OR SILT FENCE. STOCKPILES OF "COLD MIX", TREATED WOOD, AND BASIC CONSTRUCTION MATERIALS SHOULD BE PLACED ON AND COVERED WITH PLASTIC SHEETING OR COMPARABLE MATERIAL AND SURROUNDED BY A BERM.
- ⑦ CONTRACTOR'S STAGING AREA: THE CONTRACTOR'S STAGING AREA SHALL BE SURROUNDED BY FIBER ROLLS. THE STAGING AREA WILL BE USED TO STORE DELIVERED MATERIALS, AND FOR OVERNIGHT EQUIPMENT PARKING/FUELING. STORED CONSTRUCTION MATERIALS SHALL BE MAINTAINED IN THEIR ORIGINAL CONTAINERS, AND COVERED AT ALL TIMES. PETROLEUM PRODUCTS AND HAZARDOUS MATERIALS SHALL BE STORED WITHIN SECONDARY CONTAINMENT STRUCTURES OR A STORAGE SHED. EQUIPMENT FUELING AND MAINTENANCE WILL ONLY OCCUR WITHIN THE DESIGNATED STAGING AREA. DRIP PANS OR ABSORBENT PADS MUST BE USED DURING ALL FUELING OR MAINTENANCE ACTIVITIES. AN AMPLE SUPPLY OF SPILL CLEANUP MATERIALS SHALL BE MAINTAINED IN THE STAGING AREA AT ALL TIMES.
- ⑧ WASTE MANAGEMENT: SOLID WASTES WILL BE LOADED DIRECTLY ONTO TRUCKS FOR OFF-SITE DISPOSAL. WHEN ON-SITE STORAGE IS NECESSARY, SOLID WASTES WILL BE STORED IN WATER-TIGHT DUMPSTERS IN THE GENERAL STORAGE AREA OF THE CONTRACTOR'S YARD. DUMPSTERS AND/OR TRASH BINS SHALL BE COVERED AT THE END OF EACH WORK DAY. HAZARDOUS WASTES SHALL NOT BE STORED ONSITE. CONSTRUCTION DEBRIS AND GENERAL LITTER WILL BE COLLECTED DAILY AND WILL NOT BE ALLOWED NEAR DRAINAGE INLETS OR DRAINAGE SYSTEMS.
- ⑨ GRAVEL BAG CHECK DAM: GRAVEL BAGS SHALL CONSIST OF WOVEN POLYPROPYLENE, POLYETHYLENE OR POLYAMIDE FABRIC, MIN. UNIT WEIGHT OF 40Z/SY. BAGS SHALL BE A MINIMUM OF 18" LONG X 12" WIDE X 3" THICK, FILLED WITH 1/2" CRUSHED ROCK TIGHTLY ABOUT BAGS AND CONSTRUCT CHECK DAM AT LEAST 3 BAGS WIDE X 2 BAGS HIGH. INSPECT CHECK DAM REGULARLY AND REMOVE ACCUMULATED SEDIMENT.
- ⑩ TREE PROTECTION: TREE PROTECTION SHALL CONSIST OF ORANGE PLASTIC MESH FENCING, AND SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF EARTH-MOVING OPERATIONS (SEE DETAIL). INSTALL FENCING ALONG THE DRIP LINE OF TREES, AND INSTRUCT EMPLOYEES AND SUBCONTRACTORS TO HONOR PROTECTIVE DEVICES. TREE INJURIES SHALL BE ATTENDED TO BY A LICENSED AND CERTIFIED ARBORIST.
- ⑪ SILT FENCE: SILT FENCE SHALL CONSIST OF WOVEN GEOTEXTILE FABRIC WITH A MINIMUM WIDTH OF 36 INCHES. WOOD STAKES SHALL BE COMMERCIAL QUALITY LUMBER, SPACED A MAXIMUM OF 6' APART AND DRIVEN SECURELY INTO THE GROUND (SEE DETAIL). FENCING FABRIC SHALL BE KEVED INTO THE SOIL AS PER MANUFACTURER'S RECOMMENDATIONS. INSTALL SILT FENCE ALONG LEVEL CONTOURS. TURN THE ENDS OF THE SILT FENCE UPHILL TO PREVENT WATER FROM FLOWING AROUND THE FENCE. INSPECT SILT FENCE DAILY, AND MAKE REPAIRS IMMEDIATELY.

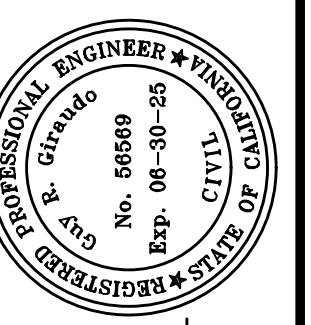


CONSTRUCTION BEST MANAGEMENT PRACTICES (BMPs)

Construction Projects Are Required to Implement the Stormwater Best Management Practices (BMPs) on this Page, as they Apply to Your Project, All Year Long.

<p>MATERIALS & WASTE MANAGEMENT</p> <p>Non-Hazardous Materials</p> <ul style="list-style-type: none"> □ Bern and securely cover stockpiles of sand, dirt, or other construction materials with tarps when rain is forecast or if stockpiles are not actively being used. For best results, this should be done at the end of the work day throughout construction when feasible. □ Use (but don't overuse) reclaimed water for dust control. <p>Hazardous Materials</p> <ul style="list-style-type: none"> □ Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations. □ Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast. □ Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours. □ Arrange for appropriate disposal of all hazardous wastes. <p>Construction Entrances and Perimeter</p> <ul style="list-style-type: none"> □ Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site. 	<p>EQUIPMENT MANAGEMENT & SPILL CONTROL</p> <p>Maintenance and Parking</p> <ul style="list-style-type: none"> □ Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage. □ Perform major maintenance, repair jobs, and vehicle and equipment washing off site. □ If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan big enough to collect fluids. Recycle or dispose of fluids as hazardous waste. □ If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters. □ Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, steam cleaning equipment, etc. □ Clean up spills on dirt areas by digging up and properly disposing of contaminated soil (see the Monterey Regional Waste Management District's Contaminated Soil Acceptance Criteria). □ Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: Dial 911. 	<p>SPILL PREVENTION AND CONTROL</p> <ul style="list-style-type: none"> □ Keep spill cleanup materials (rags, absorbents, etc.) available at the construction site at all times. □ Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made. □ Clean up spills or leaks immediately and dispose of cleanup materials properly (see the Monterey Regional Waste Management District's guidelines for accepting hazardous waste materials). □ Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags). □ Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them. □ Clean up spills on dirt areas by digging up and properly disposing of contaminated soil (see the Monterey Regional Waste Management District's Contaminated Soil Acceptance Criteria). □ Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: Dial 911. 	<p>EROSION CONTROL</p> <ul style="list-style-type: none"> □ Schedule grading and excavation work for dry weather only. □ Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established. □ Seed or plant vegetation for erosion control on slopes or where construction is not immediately planned. <p>Sediment Control</p> <ul style="list-style-type: none"> □ Protect storm drain inlets, gutters, ditches, and drainage courses with appropriate BMPs, such as gravel bags, silt filters, or sediment basins. □ Prevent sediment from migrating offsite by installing and maintaining sediment controls, such as fiber rolls, silt fences, or sediment basins. □ Keep excavated soil on the site where it will not collect into the street. □ Transfer excavated materials to dump trucks on the site, not in the street. □ If any of the following conditions are observed, test for contamination and contact the Monterey County Environmental Health Department, Regional Water Quality Control Board, and local municipal inspector. <ul style="list-style-type: none"> • Unusual soil conditions, discoloration, or odor • Abandoned underground tanks • Abandoned wells • Buried barrels, debris, or trash. 	<p>PAVING/ASPHALT WORK</p> <ul style="list-style-type: none"> □ Avoid paving and seal coating in wet weather, or when rain is forecast before fresh pavement will have time to cure. □ Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc. □ Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters. □ Do not use water to wash down fresh asphalt or concrete pavement. <p>Sawcutting & Asphalt/Concrete Removal</p> <ul style="list-style-type: none"> □ Completely cover or barricade storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system. □ Protect storm drain inlets, gutters, ditches, and drainage courses with appropriate BMPs, such as gravel bags, inlet filters, berms, etc. □ Shovel, absorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner). □ If sawcut slurry enters a catch basin, clean it up immediately. 	<p>CONCRETE, GROUT & MORTAR APPLICATION</p> <ul style="list-style-type: none"> □ Store concrete, grout and mortar under cover, on pallets and away from drainage areas. These materials must never reach a storm drain. □ Wash out concrete equipment/trucks offsite or in a contained area, so there is no discharge into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage. □ Collect the wash water from washing exposed aggregate concrete and remove it for appropriate disposal offsite. 	<p>PAINTING & PAINT REMOVAL</p> <p>Painting cleanup</p> <ul style="list-style-type: none"> □ Never clean brushes or rinse paint containers into a street, gutter, storm drain, or surface waters. □ For water-based paints, paint out brushes to the extent possible. Rinse to the sanitary sewer once you have gained permission from the local wastewater treatment authority. Never pour paint down a drain. □ For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of residue and unusable thinner/solvents as hazardous waste. <p>Paint Removal</p> <ul style="list-style-type: none"> □ Chemical paint stripping residue and chips and dust from marine paints or paints containing lead or tributyltin must be disposed of as hazardous waste. □ Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash. 	<p>DEWATERING</p> <ul style="list-style-type: none"> □ Effectively manage all run-on, all runoff within the site, and all runoff that discharges from the site. □ Divert run-on water from offsite away from all disturbed areas or otherwise ensure protection of its water quality for compliance. □ When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap, and/or disposal in sanitary sewer may be required. □ In areas of known contamination, testing is required prior to reuse or discharge of groundwater. Consult with the Engineer and municipal staff to determine whether testing is required and how to interpret results. Contaminated groundwater must be treated or landfilled off-site for proper disposal.
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STORM DRAIN POLLUTERS MAY BE LIABLE FOR FINES OF UP TO \$10,000 PER DAY!



APPROVED BY:
GUY R. GIRAUDDO



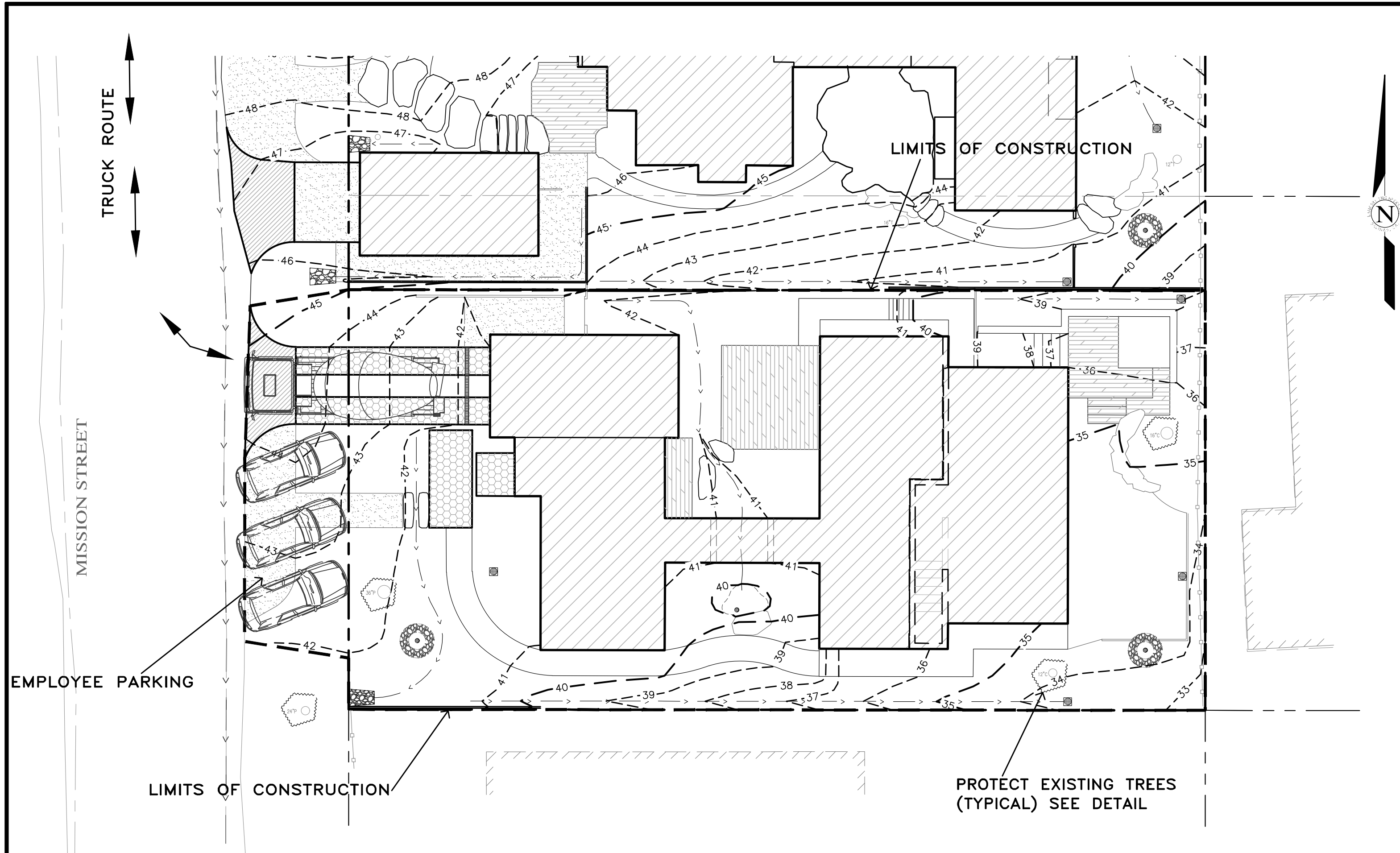
"EROSION & SEDIMENT CONTROL PLAN"
GRADING, DRAINAGE & EROSION CONTROL PLAN
 OF
MISSION SISTERS - LOT 10 AHANA RESIDENCE
 A.P.N.: 010-112-007
 FOR
 CARMEL BY THE SEA, MONTEREY COUNTY, CALIFORNIA
 COLLINS HERMILE FAMILY TRUST

SCALE: AS SHOWN
DATE: AUGUST 2024
JOB NO. 2816-01

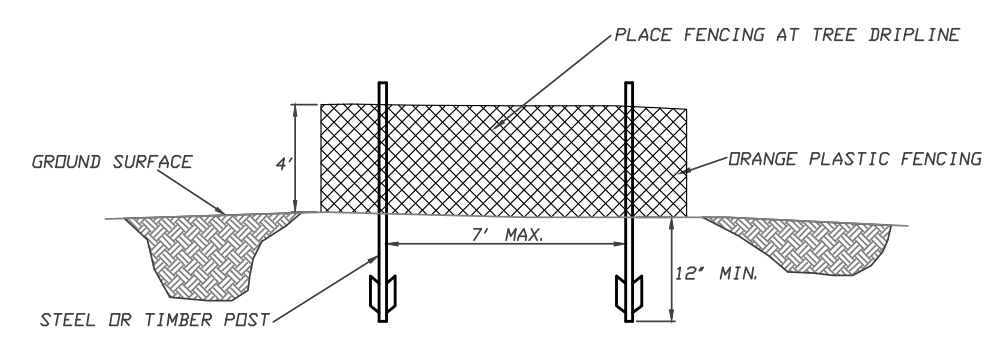
SHEET **C3**
OF 4 SHEETS

No.	DATE	BY	REVISION
08/16/24	AMS	RELEASED TO CLIENT	

*Adapted with permission from the San Mateo County Waters Pollution Prevention Program



PLAN
SCALE: 1"=10'



FENCING (ESA) DETAIL
Scale: NTS

EARTHWORK QUANTITIES PER CIVIL ENGINEERING PLANS BY LANDSET ENGINEERS, INC.:
200 CY CUT
30 CY FILL

CONSTRUCTION STAGING:
DEMOLISH EXISTING HARDSCAPE AND OFFHAUL DEBRIS. EXISTING DRIVEWAY TO BE USED FOR EQUIPMENT STAGING AND TEMPORARY STOCKPILE AREA.

PERFORM MINOR GRADING, CONSTRUCT STRUCTURE ADDITIONS, AND INSTALL UNDERGROUND UTILITIES. EXISTING DRIVEWAY AREA TO BE USED FOR MATERIAL AND EQUIPMENT STAGING.

INSTALL NEW PAVERS DRIVEWAY AND LANDSCAPING.
SEE ARCHITECTURAL AND CIVIL PLANS FOR EROSION CONTROL AND DEMOLITION NOTES.

CONSTRUCTION EQUIPMENT AND MATERIALS SHALL NOT BE STAGED ON MISSION STREET AT ANY TIME DURING CONSTRUCTION. MATERIAL DELIVERIES SHALL BE SCHEDULED SUCH THAT THEY ARE USED PROMPTLY, AND MATERIAL STORAGE IS MINIMIZED. ALL CONSTRUCTION EQUIPMENT AND MATERIALS SHALL BE STORED IN A DESIGNATED AREA ON THE SUBJECT PROPERTY.

HAUL ROUTES:
THE HAUL ROUTE TO THE SITE IS FROM HIGHWAY 1 TO CARPENTER STREET TO SERRA AVENUE TO ALTA AVENUE TO MISSION STREET. (HAUL TRUCKS EXIT IN THE SAME FASHION). VEHICLES SHALL NOT BE LEFT UNATTENDED WHILE IN QUEUE (IF NECESSARY) ON MISSION STREET. CONTRACTOR TO ENSURE THAT HEIGHT RESTRICTIONS WITHIN THE DRIVEWAY AREA SHALL BE ADDRESSED BEFORE CONSTRUCTION VEHICLES ENTER THE SITE. SEE DETAILS B AND C, TRUCK ROUTING PLANS.

MATERIAL DELIVERIES:
IN THE EVENT THAT MATERIAL DELIVERIES CAUSE ANY STREETS ALONG THE HAUL ROUTE TO BE PARTIALLY BLOCKED BY DELIVERY TRUCKS OR LOADING/UNLOADING OPERATIONS, A FLAGMAN SHALL BE PRESENT TO DIRECT TRAFFIC AROUND THE LANE OBSTRUCTION. THE FLAGMAN SHALL BE PRESENT AT ALL TIMES DURING WHICH DELIVERY/ CONSTRUCTION OPERATIONS MAY IMPACT TRAFFIC ON THE HAUL ROUTE AND SURROUNDING STREETS.

EMPLOYEE PARKING:
LIMITED EMPLOYEE PARKING ON-SITE. EMPLOYEES SHALL USE PUBLIC PARKING LOTS AND CARPOOL TO JOBSITE IF POSSIBLE. ON-SITE PARKING SHALL BE IN LEGAL SPACES ALONG MISSION STREET, OBEYING ALL PARKING LAWS. PARKING IS PROHIBITED IN ALL NATURAL AREAS WHICH ARE NOT CURRENTLY PAVED OR GRAVEL.

LIMITS OF CONSTRUCTION: ALL CONSTRUCTION SHALL TAKE PLACE WITHIN THE BORDER AS SHOWN. EXISTING CYPRESS, PINE, AND OAK TREES LOCATED WITHIN THE LIMITS SHOWN SHALL BE SURROUNDED BY ORANGE PROTECTIVE FENCING (SEE DETAIL).

TRUCK TRIP GENERATION CHART:

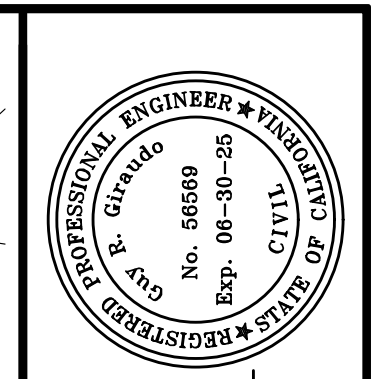
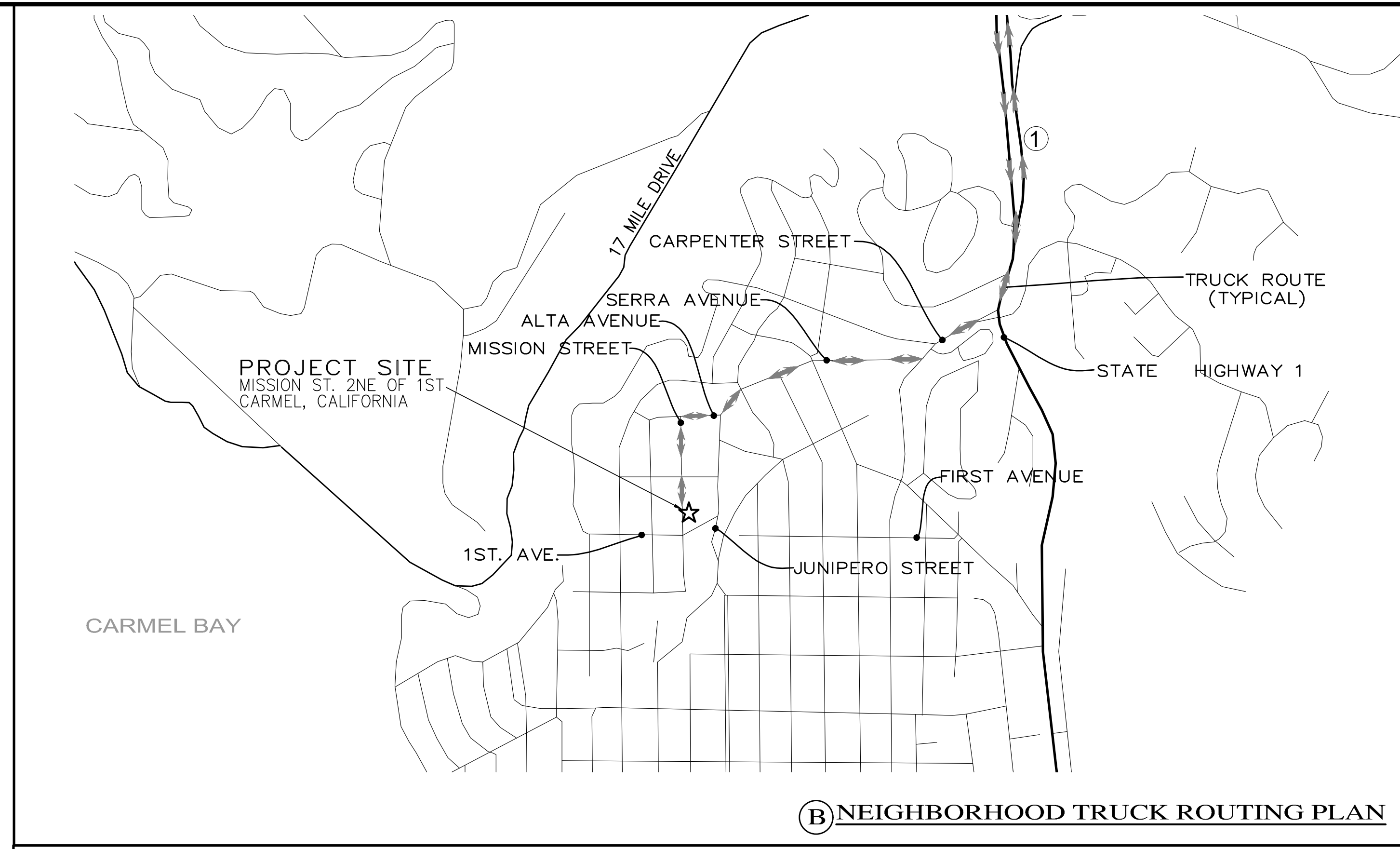
CATEGORY	NO. OF TRUCK TRIPS	TOTAL DAYS
DEMOLITION/CLKEARING	4	4
GRADING & SOIL REMOVAL (EXPORT)	9	2
ENGINEERING MATERIALS (IMPORT)	4	4
TOTALS	17	10

TRUCK TRIP GENERATION NOTES:
1. TRUCK TRIPS FOR THE GRADING/SOIL REMOVAL IS BASED UPON 20 CUBIC YARDS PER TRUCKLOAD WITH AN AVERAGE OF 5 TRUCK LOADS PER DAY.
2. THERE ARE 170 C.Y. OF SURPLUS SOIL MATERIAL THAT WILL BE EXPORTED OFF THE SITE.
3. GRADING OPERATIONS SHALL TAKE APPROXIMATELY 10 WORKING DAYS TO COMPLETE.
4. THE AMOUNT OF GRADING PER DAY WILL VARY, THE AVERAGE BETWEEN 80 & 120 CUBIC YARDS.

NUMBER OF EMPLOYEES/DAY: 4-10
HOURS OF OPERATION/DAY: 8

PROJECT SCHEDULING: PROJECTED START DATE 9 SEPTEMBER 2024, 7 WORKING DAYS TO COMPLETE GRADING, MONDAY THRU FRIDAY, 8:00 A.M. - 4:30 P.M. TOTAL PROJECT DURATION IS APPROXIMATELY 12 MONTHS.

(A) CONSTRUCTION STAGING PLAN



APPROVED BY:
GUY R. GIRAUO



CONSTRUCTION MANAGEMENT PLAN
GRADING, DRAINAGE & EROSION CONTROL PLAN
MISSION SISTERS - LOT 10 AHANA RESIDENCE
A.P.N.: 010-112-007
CARMEL BY THE SEA, MONTEREY COUNTY, CALIFORNIA
COLLINS HERMLE FAMILY TRUST

SCALE: AS SHOWN
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SHEET **C4**
OF 4 SHEETS

No.	DATE	BY	REVISION
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