CONCEPTUAL GRADING, DRAINAGE & EROSION CONTROL PLAN

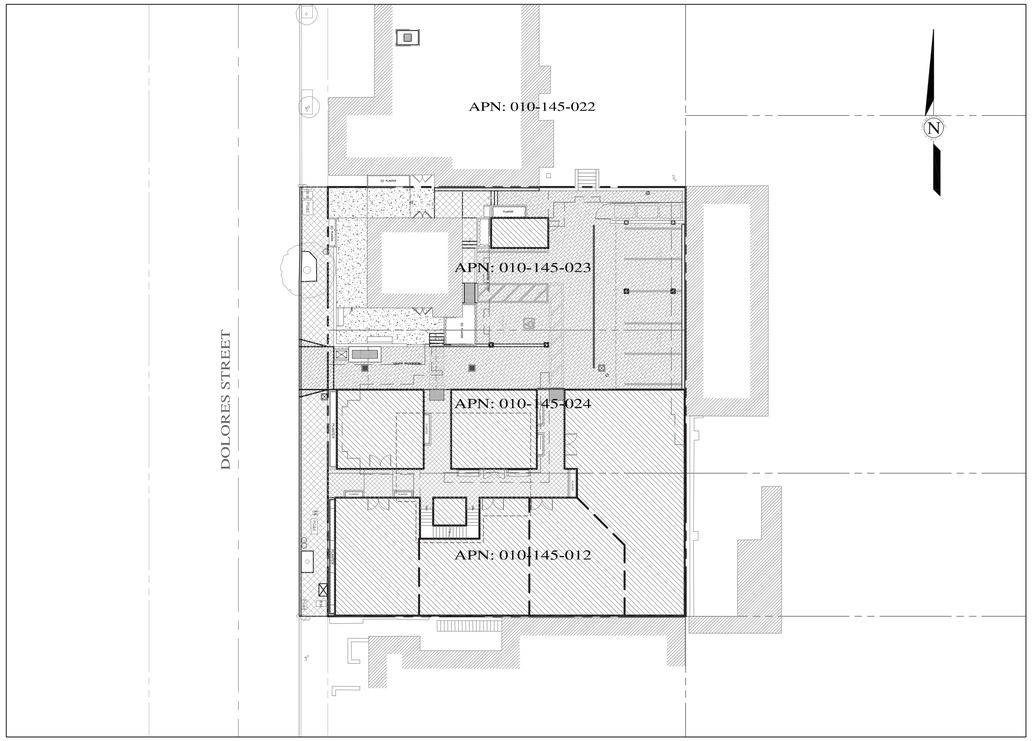
OF

JB PASTOR BUILDING

APNs: 010-145-012, 023 & 024

CARMEL BY-THE-SEA, MONTEREY COUNTY, CALIFORNIA

VICINITY MAP
NOT TO SCALE



LOT OVERVIEW
SCALE: 1"=10'

TOTAL LOT AREA = 12,000 SQ.FT.
TOTAL IMPERVIOUS AREA = 11,029 SQ.FT.
NEW/REPLACE IMPERVIOUS AREA = 9,445 SQ.FT.
TOTAL AREA OF DISTURBANCE = 10,420 SQ.FT.

GRADING QUANTITIES:
CUT = 1,445 C.Y.
FILL = 5 C.Y.
NET = 1,440 C.Y. EXPORT

NO AREAS WITH SLOPE EQUAL TO OR GREATER THAN 10%

STORM WATER CONTROL NOTES:

1) THE PROJECT IS NOT LOCATED WITHIN THE MUNICIPAL GENERAL PERMIT BOUNDARY AS DEFINED BY THE CALIFORNIA STATE WATER QUALITY CONTROL BOARD ORDER No. 2013-0001-DWQ; THEREFORE, THE POST-CONSTRUCTION STORM WATER MANAGEMENT REQUIREMENTS (PCRs) FOR DEVELOPMENT PROJECTS IN THE CENTRAL COAST REGION DO NOT APPLY.

2) ALL DRAINAGE SHALL CONFORM TO THE STANDARD OPERATING GUIDANCE FOR 17-07 PRIVATE STORM WATER SYSTEMS PER THE CITY OF CARMEL-BY-THE-SEA.

INDEX TO SHEETS

" COVER SHEET "

CONTACT INFORMATION:

PRIMARY: OWNER
ESPERANZA CARMEL COMMERCIAL, LLC

SECONDARY: ARCHITECT
INTERNATIONAL DESIGN GROUP
ATTN: MR. JASON DIAZ
721 LIGHT HOUSE AVE.
PEBBLE BEACH, CA 93950
PH (831)646-1261

SITE LOCATION:
DOLORES STREET
2 SE OF 7Th. AVENUE
CARMEL-BY-THE-SEA, CA 93921

02/10/25 AMS SITE PLAN UPDATE-SWCP

No.	DATE	BY	REVISION
	12/18/24	AMS	SITE PLAN/FINISH FLOORS UPDATE
	06/04/24	AMS	C.O.C. DESIGN REVIEW LETTER
	03/28/24	AMS	RELEASED TO CLIENT
	03/22/24	AMS	RELEASED TO CLIENT

REGISTERED PROFESSIONAL ENGINEER * GUY R. GIRAUDO * No. 55569 * Exp. 06-30-25 * CIVIL * STATE OF CALIFORNIA

APPROVED BY:
GUY R. GIRAUDO

LANDSET ENGINEERS, INC.
520-B Crazy Horse Canyon Road
Salinas, California 93907
Office (831) 443-6970 Fax (831) 443-3801
www.landseteng.com

GRADING, DRAINAGE & EROSION CONTROL PLAN
OF
JB PASTOR BUILDING
A.P.Ns.: 010-145-012, 023, & 024
CITY OF CARMEL, MONTEREY COUNTY, CALIFORNIA
FOR
ESPERANZA CARMEL COMMERCIAL, LLC

SCALE: AS SHOWN
DATE: MARCH 2024
JOB NO. 2746-01

SHEET C1
OF 9 SHEETS

L:\PROJ\2746-PASTOR\2746-CIVIL\DWG\2746-CONCEP.DWG,24x36C1

TRASH ENCLOSURE

COVERED PARKING

PARKING LIFT PIT

AREA DRAIN-1
GR=1001.20

JUNCTION BOX-2
LID=1001.27

JUNCTION BOX

TRENCH DRAIN
40L.F.-4" THROAT
GR=1001.05

LIMITS OF ROOF

RETAINING WALL
24" HEIGHT

STAIRS
FF=1001.30
FP=1000.30

PLANTER

PRESERVATION BUFFER

COVERED PARKING

V&N ACCESSIBLE H.C.

COVERED DRIVEWAY

CATCH BASIN
GR=1001.00

(E) PLANTER

UNIT 107
EXISTING BUILDING
FF=1004.10

EXISTING WALKWAY TO REMAIN

CATCH BASIN
GR=1000.90

STORM WATER TREATMENT VAULT

STORM WATER SUMP PUMP

EXISTING TREE PLANTER TO REMAIN

PROPERTY LINE/R.O.W.

LIMIT OF IMPROVEMENTS

EXISTING CONCRETE CURB TO BE RECONSTRUCTED PER C.O.C. STANDARDS FOR PUBLIC WAY DESIGN FIGURE-3

NEW JUNCTION BOX

RECONSTRUCT EXISTING DRIVEWAY APPROACH PER C.O.C. STANDARDS

EXISTING CONCRETE SIDEWALK TO BE REPLACED W/NEW PAVERS (705 S.F. ±)

NEW TREE PLANTER PER C.O.C. STANDARDS

NEW UTILITY BOX

LIMIT OF IMPROVEMENTS

DOLORES STREET

UNIT 104
FF=1001.05
FP=1000.05

UNIT 103
FF=1001.05
FP=1000.05

COVERED GALLERY

TRENCH DRAIN
71L.F.-4" THROAT
GR=1001.05

LIMITS OF BASEMENT AT FF=990.50

UNIT 105
FF=1001.05
FP=1000.05

UNIT 102
FF=1001.05
FP=1000.05

ELEVATOR

UNIT 106
FF=1000.62
FP=999.62

UNIT 101
FF=1000.62
FP=999.62

5 0 2.5 5 10

NOTE:
RIGHT-OF-WAY IMPROVEMENTS SHALL BE PER CITY OF CARMEL POLICY AND STANDARDS FOR PUBLIC WAY DESIGN

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" GRADING & DRAINAGE PLAN - GROUND LEVEL & RIGHT-OF-WAY "

GRADING, DRAINAGE & EROSION CONTROL PLAN

OF

JB PASTOR BUILDING
A.P.Ns.: 010-145-012, 023, & 024
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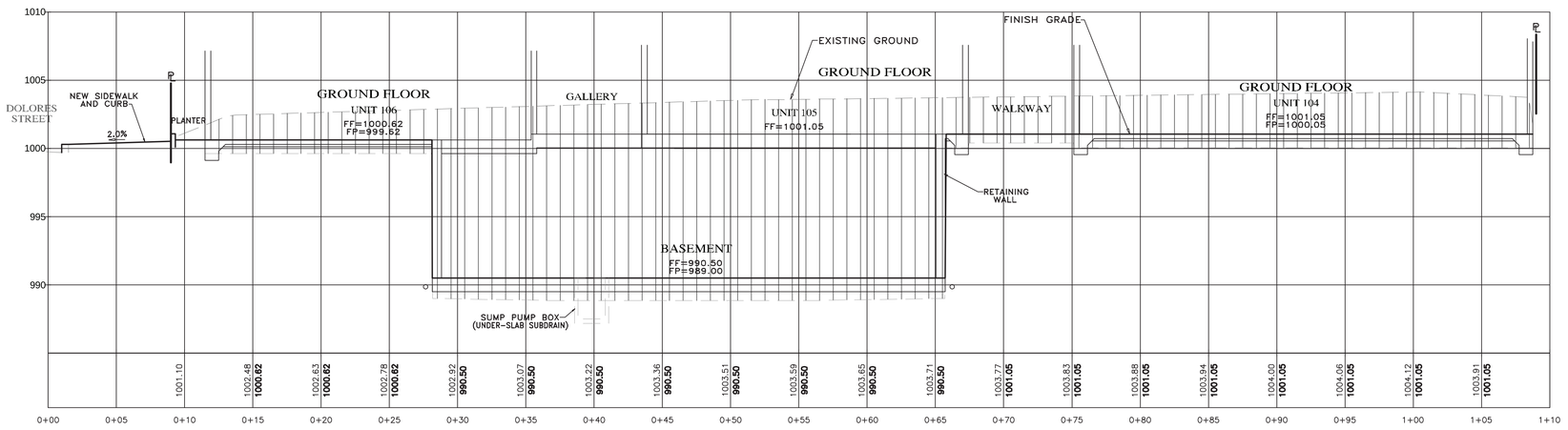
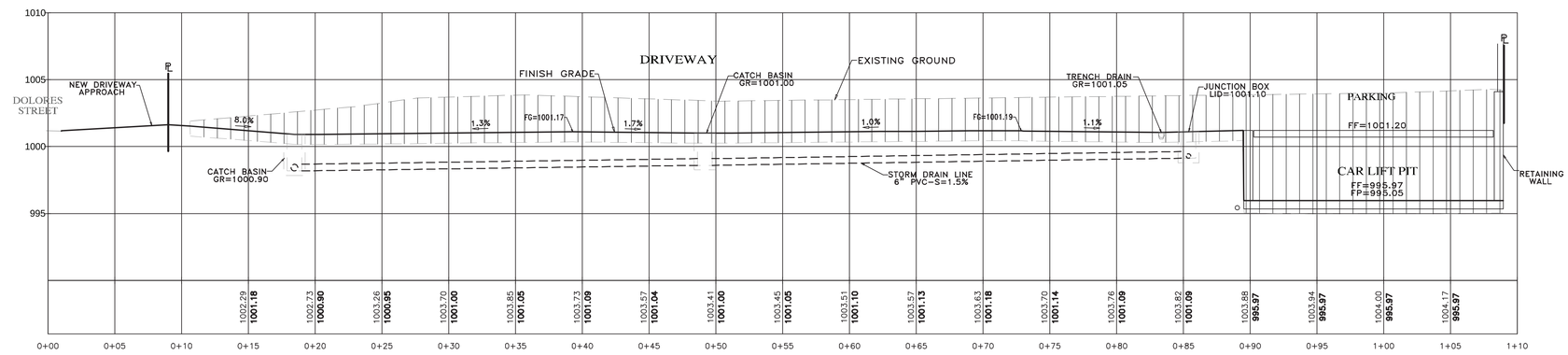
02/10/25 AMS SITE PLAN UPDATE-SWCP

SCALE: 1"=5'
DATE: MARCH 2024
JOB NO. 2746-01
SHEET C2
OF 9 SHEETS

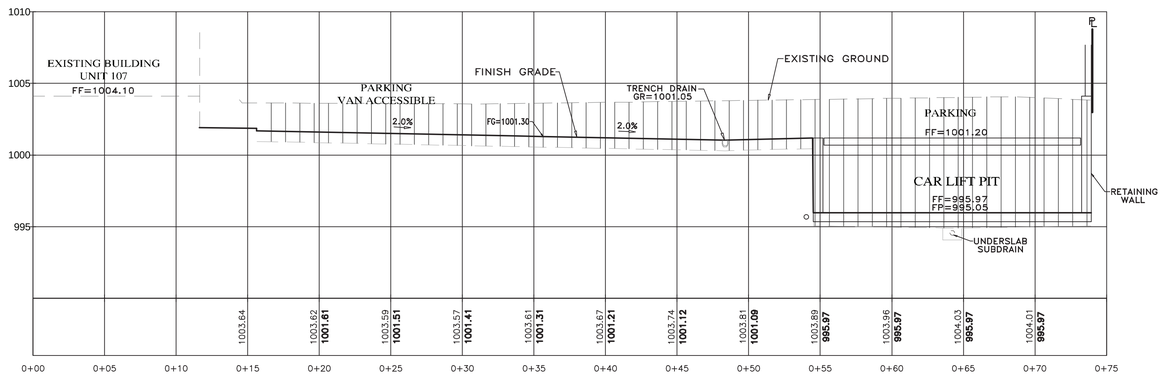
L:\PROJ\2746-PASTOR\8746-CIVIL\DWG\2746-CONCEP.DWG, 24x36 C2



SECTION A-A
SCALE: 1"=5' H&V



SECTION B-B
SCALE: 1"=5' H&V



SECTION C-C
SCALE: 1"=5' H&V

NOTES:

- ALL FILL MATERIAL SHALL BE STRUCTURAL FILL PER SOIL'S ENGINEERING INVESTIGATION REPORT
- SEE ARCHITECTURAL AND STRUCTURAL PLANS FOR LAYOUT OF FOUNDATION COMPONENTS.
- OVEREXCAVATION ON BUILDING AREAS PER SOILS ENGINEERING INVESTIGATION REPORT
- THE ENTIRE BUILDING FOUNDATION FOR THE BUILDINGS AND THE PARKING MUST BEAR ON A UNIFORM LAYER (MIN. 2') OF COMPACTED FILL. NO MORE THAN A 50% DIFFERENTIAL FILL THICKNESS SHALL EXIST.
- FOR SECTION LOCATIONS, SEE SHEET C2 "GRADING, DRAINAGE & UTILITY PLAN".

" GRADING SECTIONS A-C "

REGISTERED PROFESSIONAL ENGINEER
Guy R. Giraudo
No. 56569
Exp. 08-30-25
CIVIL
STATE OF CALIFORNIA

APPROVED BY:
GUY R. GIRAUDO
2/10/25

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GRADING, DRAINAGE & EROSION CONTROL PLAN

OF

JB PASTOR BUILDING

A.P.Ns.: 010-145-012, 023, & 024

CITY OF CARMEL, MONTEREY COUNTY, CALIFORNIA

FOR

ESPERANZA CARMEL COMMERCIAL, LLC

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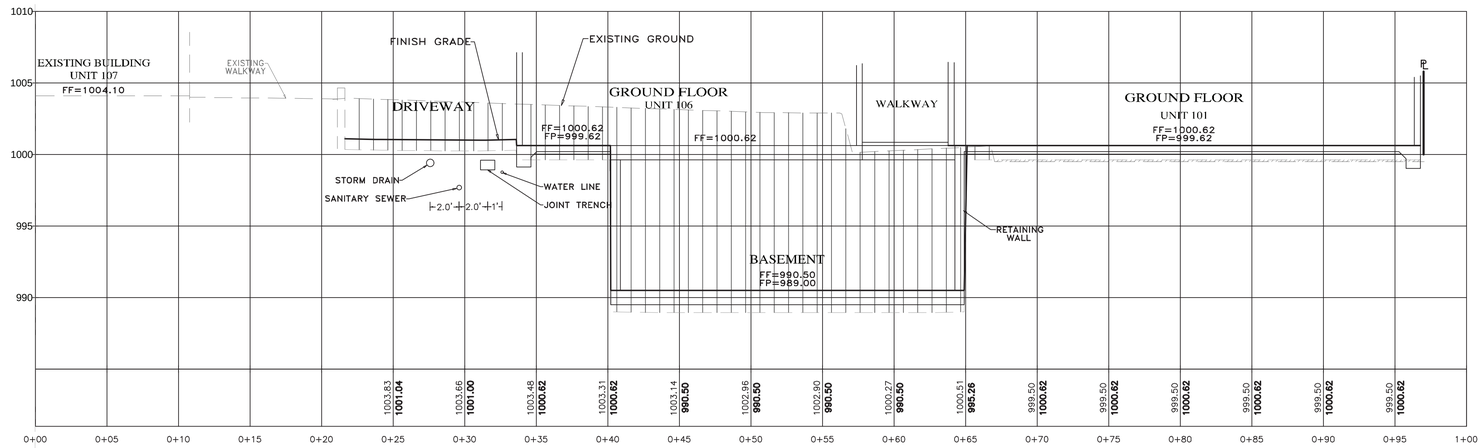
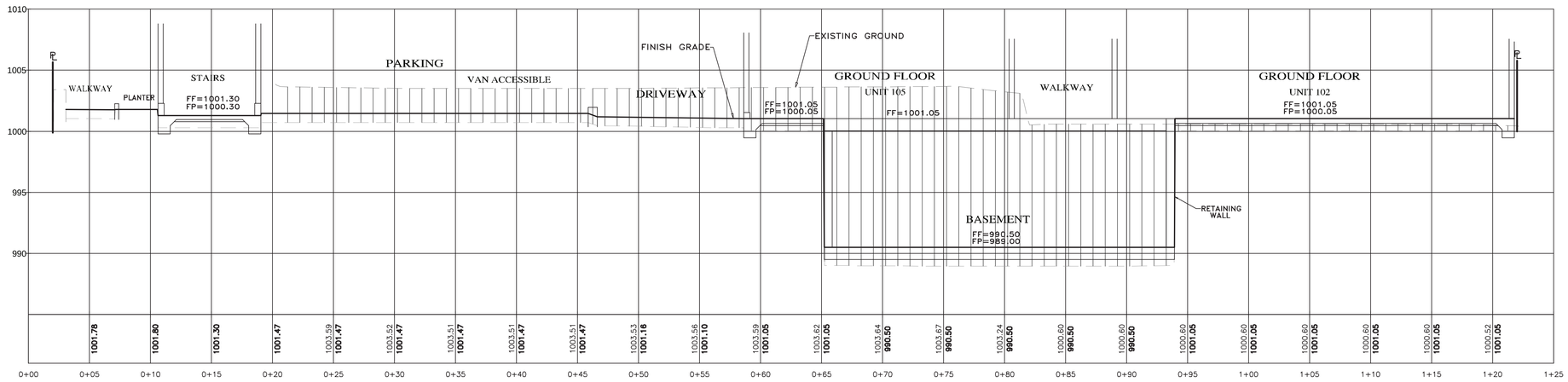
SHEET C3

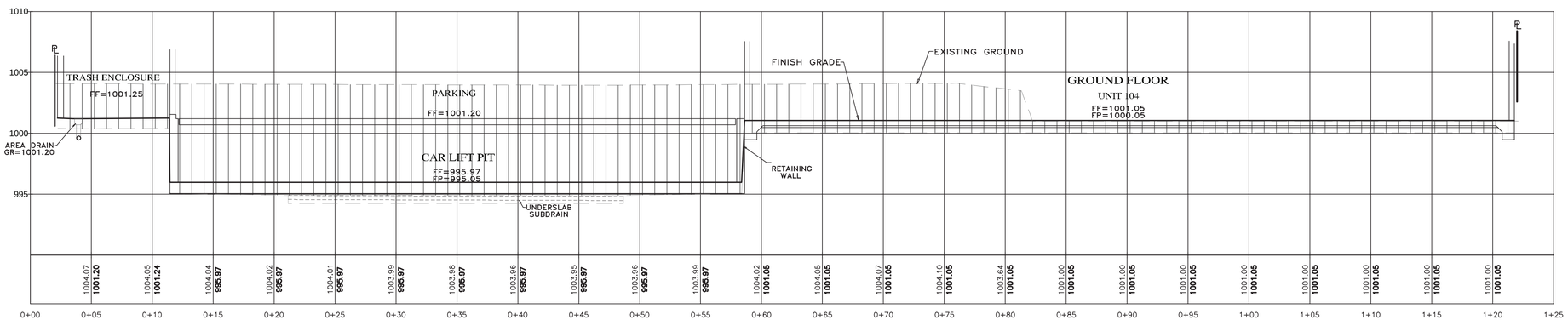
OF 9 SHEETS



SECTION D-D
SCALE: 1"=5' H&V



SECTION E-E
SCALE: 1"=5' H&V



SECTION F-F
SCALE: 1"=5' H&V

NOTES:
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- OVEREXCAVATION ON BUILDING AREAS PER SOILS ENGINEERING INVESTIGATION REPORT
- THE ENTIRE BUILDING FOUNDATION FOR THE BUILDINGS AND THE PARKING MUST REAR ON A UNIFORM LAYER (MIN. 2') OF COMPACTED FILL. NO MORE THAN A 50% DIFFERENTIAL FILL THICKNESS SHALL EXIST.
- FOR SECTION LOCATIONS, SEE SHEET C2 "GRADING, DRAINAGE & UTILITY PLAN".

" GRADING SECTIONS - D-F "

GRADING, DRAINAGE & EROSION CONTROL PLAN

OF

JB PASTOR BUILDING

A.P.Ns.: 010-145-012, 023, & 024

CITY OF CARMEL, MONTEREY COUNTY, CALIFORNIA

FOR

ESPERANZA CARMEL COMMERCIAL, LLC

APPROVED BY:

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SCALE: 1"=5' H&V
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SHEET C4

OF 9 SHEETS

TRASH ENCLOSURE

AREA DRAIN-1
GR=1001.20
FL=1000.20
CONNECT TO SS

JUNCTION BOX-1
LID=1001.27
FL=999.77

STORM DRAIN LINE
47L.F.-S=1.1%

JUNCTION BOX-2
LID=1001.07
FL=999.25

TRENCH DRAIN-1
GR=1001.05
FL=1000.72 SHALLOW
FL=1000.57 DEEP

SANITARY SEWER LINE
85L.F.-S=2.0%

ROOF DOWNSPOUTS TO BE CONNECTED BY RAIN WATER LEADERS TO THE STORM DRAIN LINE

TRENCH DRAIN-2
GR=1001.05
FL=1000.72 SHALLOW
FL=1000.67 DEEP

STORM DRAIN LINE
35L.F.-S=1.3%

CATCH BASIN-1
GR=1001.00
FL=998.80
(E) PLANTER

STORM DRAIN LINE
29L.F.-S=1.4%

CATCH BASIN-2
GR=1000.90
FL=998.40

STORM WATER TREATMENT VAULT
LID=1001.00
FL=998.30

STORM WATER SUMP PUMP
LID=1001.70±
FL=1001.00 EO
FL=998.20 IN
BOT=997.20

STORM DRAIN FORCE MAIN
12L.F.-2"DIAM.

EMERGENCY OVERFLOW
GRAVITY LINE
31L.F.-S=1.5%

STORM DRAIN OUTLET
7L.F.-4"PVC(GRAVITY)

UNDERSLAB DRAIN
FORCE MAIN
(FROM PARKING LIFT SUMP)
7L.F.-1.5"DIAM.

SANITARY SEWER
FORCE MAIN
(FROM PARKING LIFT SUMP)
5L.F.-1.5"DIAM.

JOINT TRENCH

WATER LINE

AREA DRAIN-2
GR=1001.00
FL=999.33

JUNCTION BOX-3
LID=1001.30
FL=1000.75 OUT

UNDERSLAB DRAIN
FORCE MAIN
(FROM BASEMENT SUMP)
47L.F.-2"DIAM.

SANITARY SEWER
FORCE MAIN
(FROM BASEMENT SUMP)
51L.F.-2"DIAM.

FIRE SYSTEM P.O.C.
FDC AT RISER

DOUBLE CHECK VALVE
ASSEMBLY IN VAULT

FIRE SERVICE

UNIT 104
FF=1001.05

UNIT 103
FF=1001.05

UNIT 105
FF=1001.05

UNIT 102
FF=1001.05

UNIT 107
EXISTING BUILDING
FF=1004.10

UNIT 106
FF=1000.62

UNIT 101
FF=1000.62

STAIRS
FF=1002.30

PARKING

DRIVEWAY

WALKWAY

GALLERY

ELEVATOR

PLANTER

PRESERVATION BUFFER

VAN ACCESSIBLE H.C.

PARKING LIFT PIT

(E) PLANTER

W.M.

PG&E

FL=1000.68

FL=1000.38

N

5 0 2.5 5 10

" UTILITY PLAN - GROUND LEVEL "

GRADING, DRAINAGE & EROSION CONTROL PLAN

OF

JB PASTOR BUILDING

A.P.Ns.: 010-145-012, 023, & 024

CITY OF CARMEL, MONTEREY COUNTY, CALIFORNIA

FOR

ESPERANZA CARMEL COMMERCIAL, LLC

APPROVED BY:

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No. 58569
Exp. 06-30-25
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02/10/25 AMS SITE PLAN UPDATE-SWCP

SCALE: 1"=5'
DATE: MARCH 2024
JOB NO. 2746-01

SHEET C5

OF 9 SHEETS

AREA DRAIN B1
GR=995.95
FL=994.36

AREA DRAIN B2
GR=995.95
FL=994.15

STORM DRAIN LINE
16L.F.-S=1.0% MIN
(SOLID PIPE)

PARKING LIFT PIT
FF=995.97
FP=995.05

PARKING LIFT PIT
FF=997.08
FP=995.85

FL=995.55

FL=994.60

FL=994.45

4" PVC SOLID PIPE
7L.F.-S=2.0% MIN.
TO BASEMENT SUMP

UNDERSLAB SUBDRAIN
TRENCH TOP=994.90
28L.F.-S=0.5%

UNDERSLAB SUBDRAIN
LIFT SUMP PUMP
LID=997.08
FL=995.00 SUBD
FL=994.30 US
BOT=987.75

STORM WATER
LIFT SUMP PUMP
LID=997.08
BOT=993.50
SEE PLUMBING PLANS

1.5" FORCE MAIN
DISCHARGE TO
GRAVITY SEWER SYSTEM

FL=995.45

FL=995.25

FL=995.35

RETAINING WALL SUBDRAIN
87L.F.±-S=0.5% MIN.

1.5" FORCE MAIN
DISCHARGE TO GRAVITY
STORM DRAIN SYSTEM

SS CLEANOUT
LID=1001.12

RETAINING WALL
130L.F.±
5.5' HEIGHT

JUNCTION BOX 2
LID=1001.07

LIMITS OF BUILDING AT GROUND LEVEL
(FF=1001.05)

RETAINING WALL SUBDRAIN
150L.F.±-S=0.5% MIN.

FL=989.25

FL=988.50

FL=989.50HP

BASEMENT
FF=990.50
FP=989.00

RETAINING WALL
145L.F.±
11.0' HEIGHT

ELEVATOR

UNDERSLAB SUBDRAIN
TRENCH TOP=988.80
15L.F.-S=0.5%

SUBDRAIN DISCHARGE
4" PVC SOLID PIPE
8L.F.-S=3.0%

FL=989.10

UNDERSLAB SUBDRAIN
SUMP PUMP
LID=990.30
FL=988.85 SUBD
FL=988.30 US
BOT=987.00

SANITARY SEWER
SUMP PUMP
LID=990.50
SEE PLUMBING PLANS

MECHANICAL ROOM

FL=989.20

FL=989.30

UNDERSLAB DRAIN
FORCE MAIN
(TO STREET LEVEL)
47L.F.-2"DIAM.

SANITARY SEWER
FORCE MAIN
(TO EXISTING CLEAN OUT)
51L.F.-2"DIAM.

CURB DRAIN

PLANTER

PRESERVATION BUFFER

(E) PLANTER

PRESERVATION BUFFER

W.M.

PG&E

5 0 2.5 5 10

" GRADING, DRAINAGE & UTILITY PLAN - BASEMENT LEVEL "

GRADING, DRAINAGE & EROSION CONTROL PLAN

OF

JB PASTOR BUILDING

A.P.Ns.: 010-145-012, 023, & 024

CITY OF CARMEL, MONTEREY COUNTY, CALIFORNIA

FOR:

ESPERANZA CARMEL COMMERCIAL, LLC

APPROVED BY:

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SHEET C6

OF 9 SHEETS

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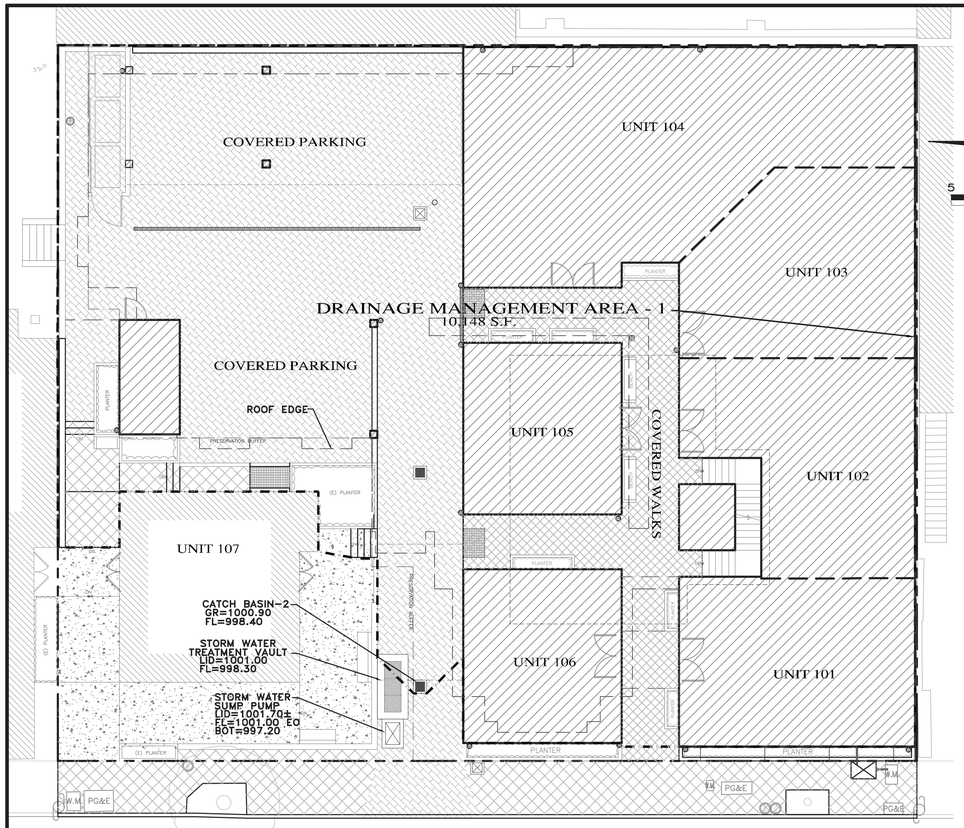
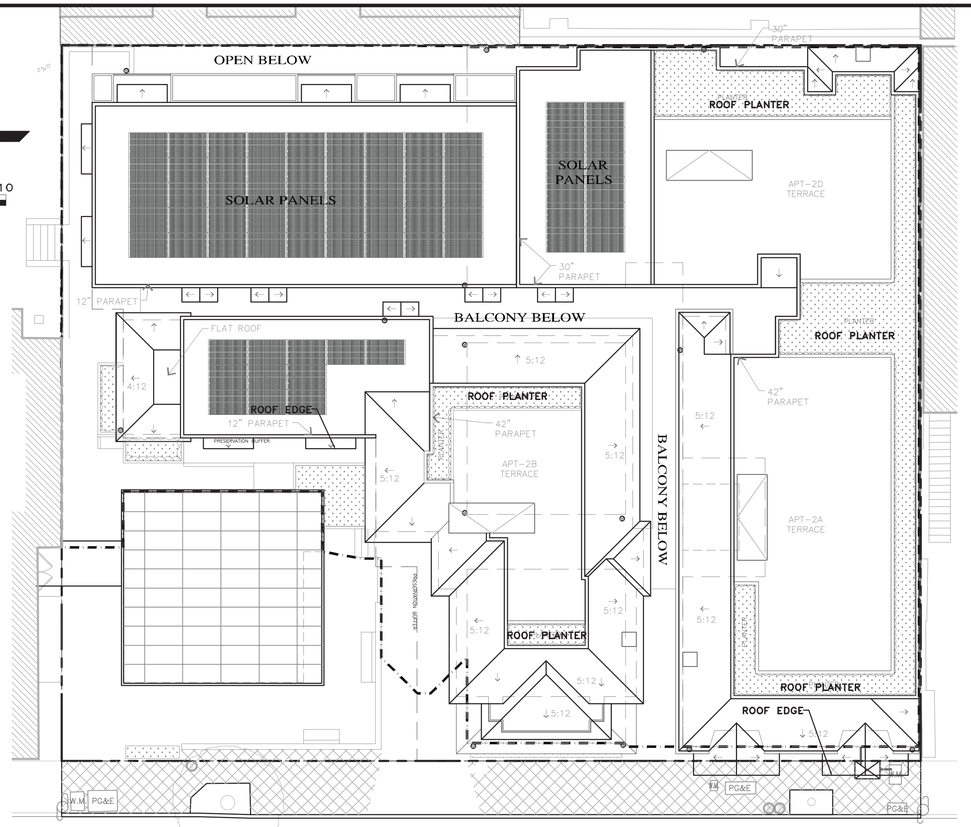
L:\PROJ\2746-PASTOR\2746-CIVIL\DWG\2746-CONCEP.DWG/24x36C6



MAIN FLOOR (GROUND)
SCALE: 1"=10'



ROOF PLAN
SCALE: 1"=10'

TOTAL LOT AREA
12,000 sq.ft. = 0.2755 Ac.

IMPERVIOUS AREA SUMMARY

PROJECT DEVELOPMENT	
PRE-DEVELOPMENT	10,942 SQ.FT.
POST-DEVELOPMENT	11,029 SQ.FT.

IMPERVIOUS POST-DEVELOPED AREA SUMMARY

PROJECT DEVELOPMENT	
CONVENTIONAL ROOF	8,246 SQ.FT.
MISC. CONCRETE/WALLS	1,203 SQ.FT.
EXISTING TO REMAIN	1,580 SQ.FT.
TOTAL	**11,029 SQ.FT.**
5,000 sq.ft. < 11,029 < 15,000 sq.ft. :	**Requirements 1 & 2**

DRAINAGE MANAGEMENT AREA-1	
IMPERVIOUS	9,200 SQ.FT.
PERVIOUS	948 SQ.FT.
TOTAL	10,148 SQ.FT.

HYDRAULIC SIZING:

FLOW HYDRAULIC DESIGN BASIS

SQUARE FOOTAGE OF NEW IMPERVIOUS:
AREA = 9,200 SF

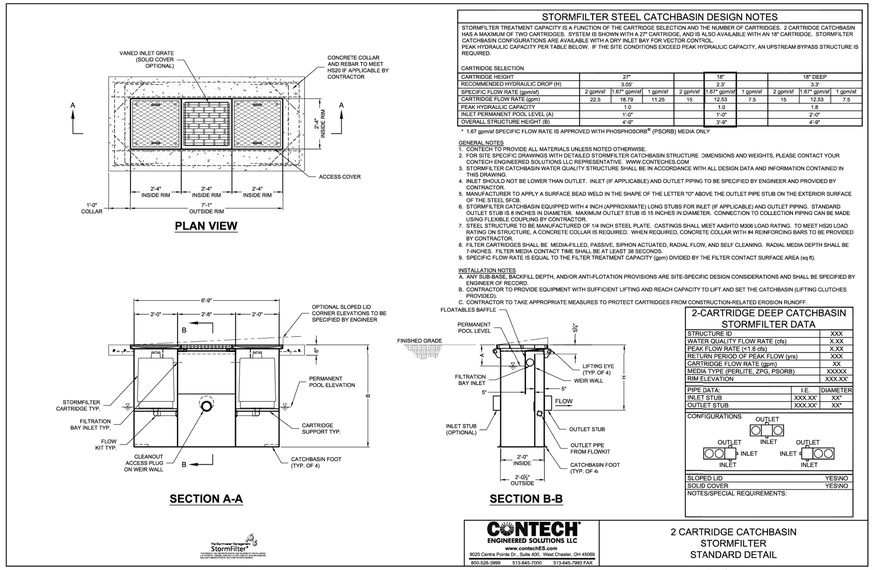
COEFFICIENT 'C'
C=1.0

INTENSITY
0.2 IN/HR = 0.017 FT/HR

RUNOFF
Q=CIA
Q=(1.0)(0.017FT)(9,200 SF)/(3600) = 0.0434 CFS
Q = 0.0521 CFS = 19.463 GPM

TREATMENT FACILITY

CONTECH STORM FILTER CATCH BASIN 2 CARTRIDGE
CARTRIDGE FLOW RATE 18" = 12.53 GPM (PSORB)
USING 2 CARTRIDGES = 25.1 GPM
TREATMENT FLOW PROVIDED = 25.1 GPM > 19.5 GPM



STORMFILTER STEEL CATCHBASIN DESIGN NOTES

STORMFILTER TREATMENT CAPACITY IS A FUNCTION OF THE CARTRIDGE SELECTION AND THE NUMBER OF CARTRIDGES. 2-CARTRIDGE CATCHBASIN HAS A MAXIMUM OF TWO CARTRIDGES. SYSTEM IS SHOWN WITH A 27" CARTRIDGE, AND IS ALSO AVAILABLE WITH AN 18" CARTRIDGE. STORMFILTER CATCHBASIN CONFIGURATIONS ARE AVAILABLE WITH A DRY INLET BAY FOR VECTOR CONTROL.
PEAK HYDRAULIC CAPACITY PER TABLE BELOW. IF THE SITE CONDITIONS EXCEED PEAK HYDRAULIC CAPACITY, AN UPSTREAM BYPASS STRUCTURE IS REQUIRED.

CARTRIDGE SELECTION									
CARTRIDGE HEIGHT	27"			18"			18" DEEP		
RECOMMENDED HYDRAULIC DROP (H)	3.00'			2.3'			3.3'		
SPECIFIC FLOW RATE (gpm/sf)	2 gpm/sf	1.67* gpm/sf	1 gpm/sf	2 gpm/sf	1.67* gpm/sf	1 gpm/sf	2 gpm/sf	1.67* gpm/sf	1 gpm/sf
CARTRIDGE FLOW RATE (gpm)	22.5	18.79	11.25	15	12.53	7.5	15	12.53	7.5
PEAK HYDRAULIC CAPACITY	1.0			1.0			1.8		
INLET PERIMANENT POOL LEVEL (A)	1'-0"			1'-0"			2'-0"		
OVERALL STRUCTURE HEIGHT (B)	4'-9"			3'-8"			4'-9"		

* 1.67 gpm/sf SPECIFIC FLOW RATE IS APPROVED WITH PHOSPHOSORB® (PSORB) MEDIA ONLY.

GENERAL NOTES
1. CONTECH TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
2. FOR SITE SPECIFIC DRAWINGS WITH DETAILED STORMFILTER CATCHBASIN STRUCTURE DIMENSIONS AND WEIGHTS, PLEASE CONTACT YOUR CONTECH ENGINEERED SOLUTIONS LLC REPRESENTATIVE. WWW.CONTECHES.COM
3. THE STORMFILTER CATCHBASIN WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING.
4. INLET SHOULD NOT BE LOWER THAN OUTLET. INLET (IF APPLICABLE) AND OUTLET PIPING TO BE SPECIFIED BY ENGINEER AND PROVIDED BY CONTRACTOR.
5. MANUFACTURER TO APPLY A SURFACE BEAD WELD IN THE SHAPE OF THE LETTER "O" ABOVE THE OUTLET PIPE STUB ON THE EXTERIOR SURFACE OF THE STEEL SFCB.
6. STORMFILTER CATCHBASIN EQUIPPED WITH 4 INCH (APPROXIMATE) LONG STUBS FOR INLET (IF APPLICABLE) AND OUTLET PIPING. STANDARD OUTLET STUB IS 8 INCHES IN DIAMETER. MAXIMUM OUTLET STUB IS 15 INCHES IN DIAMETER. CONNECTION TO COLLECTION PIPING CAN BE MADE USING FLEXIBLE COUPLING BY CONTRACTOR.
7. STEEL STRUCTURE TO BE MANUFACTURED OF 1/4 INCH STEEL PLATE. CASTINGS SHALL MEET AASHTO M306 LOAD RATING. TO MEET HS20 LOAD RATING ON STRUCTURE, A CONCRETE COLLAR IS REQUIRED. WHEN REQUIRED, CONCRETE COLLAR WITH #4 REINFORCING BARS TO BE PROVIDED BY CONTRACTOR.
8. FILTER CARTRIDGES SHALL BE MEDIA-FILLED, PASSIVE, SIPHON ACTUATED, RADIAL FLOW, AND SELF CLEANING. RADIAL MEDIA DEPTH SHALL BE 7-INCHES. FILTER MEDIA CONTACT TIME SHALL BE AT LEAST 38 SECONDS.
9. SPECIFIC FLOW RATE IS EQUAL TO THE FILTER TREATMENT CAPACITY (gpm) DIVIDED BY THE FILTER CONTACT SURFACE AREA (sq ft).

INSTALLATION NOTES
A. ANY SUB-BASE, BACKFILL DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
B. CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE CATCHBASIN (LIFTING CLUTCHES PROVIDED).
C. CONTRACTOR TO TAKE APPROPRIATE MEASURES TO PROTECT CARTRIDGES FROM CONSTRUCTION-RELATED EROSION RUNOFF.

2-CARTRIDGE DEEP CATCHBASIN STORMFILTER DATA

STRUCTURE ID		XXX
WATER QUALITY FLOW RATE (cfs)		X.XX
PEAK FLOW RATE (x1.8 cfs)		X.XX
RETURN PERIOD OF PEAK FLOW (yrs)		XXX
CARTRIDGE FLOW RATE (gpm)		XX
MEDIA TYPE (PERLITE, ZPG, PSORB)		XXXXX
RIM ELEVATION		XXX.XX
PIPE DATA:	I.E.	DIAMETER
INLET STUB	XXX.XX'	XX"
OUTLET STUB	XXX.XX'	XX"

CONFIGURATIONS: OUTLET / OUTLET INLET OUTLET / INLET INLET INLET / INLET INLET

SLOPED LID	YES/NO
SOLID COVER	YES/NO
NOTES/SPECIAL REQUIREMENTS:	

CONTECH ENGINEERED SOLUTIONS LLC
www.conteches.com
9025 Centre Pointe Dr., Suite 400, West Chester, OH 45069
800.338.1899 513.645.7000 513.645.7993 FAX

2 CARTRIDGE CATCHBASIN
STORMFILTER
STANDARD DETAIL

" STORM WATER CONTROL PLAN "

GRADING, DRAINAGE & EROSION CONTROL PLAN

OF

JB PASTOR BUILDING
A.P.Ns.: 010-145-012, 023, & 024
CITY OF CARMEL, MONTEREY COUNTY, CALIFORNIA
FOR
ESPERANZA CARMEL COMMERCIAL, LLC

APPROVED BY:
GUY R. GIRAUDO

PROFESSIONAL ENGINEER * REGISTERED * GUY R. GIRAUDO * No. 58569 * Exp. 06-30-25 * CIVIL * STATE OF CALIFORNIA

LANDSET ENGINEERS, INC.
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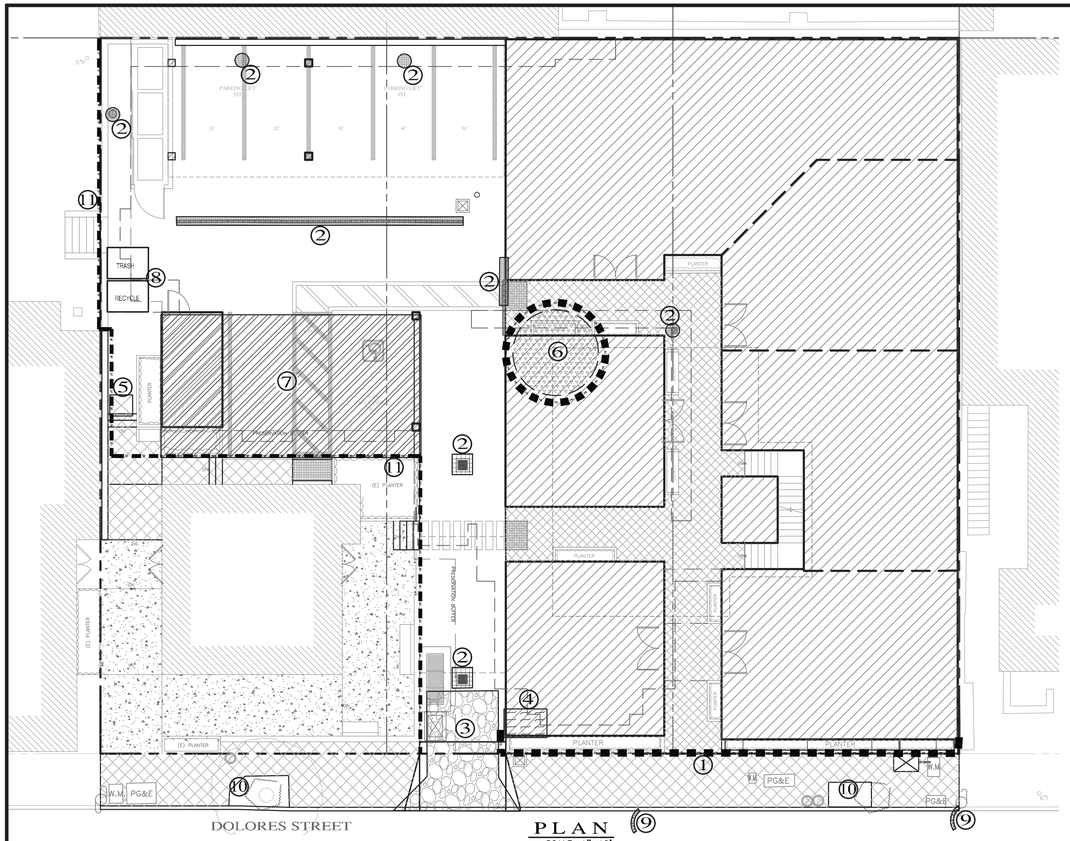
www.landseteng.com

02/10/25 AMS SITE PLAN UPDATE-SWCP

No.	DATE	BY	REVISION
	12/18/24	AMS	SITE PLAN/FINISH FLOORS UPDATE
	06/04/24	AMS	C.O.C. DESIGN REVIEW LETTER
	03/28/24	AMS	RELEASED TO CLIENT
	03/22/24	AMS	RELEASED TO CLIENT

SCALE: 1"=5'
DATE: MARCH 2024
JOB NO. 2746-01
SHEET C7
OF 9 SHEETS



PLAN
SCALE: 1"=10'

LEGEND:

1. FR — FIBER ROLLS: THE CONTRACTOR SHALL MAINTAIN A STOCKPILE OF FIBER ROLLS ONSITE, AS THEY CAN BE USED ALONG ERODIBLE SLOPES, ALONG STOCKPILE PERIMETERS, DOWNSLOPE OF EXPOSED SOIL AREAS, AND TO DELINEATE/PROTECT STAGING AREAS. FIBER ROLLS MUST BE TRENCHED INTO THE SOIL AND STAKED (STAKES SPACED MAX. 4' ON CENTER), SEE DETAIL. INSTALL FIBER ROLLS ALONG LEVEL CONTOURS, AND TURN THE ENDS UPHILL. INSPECT WEEKLY AND REMOVE ACCUMULATED SEDIMENT REGULARLY.
2. DRAIN INLET PROTECTION: PLACE GEOTEXTILE FILTER FABRIC BENEATH INLET GRATE AND SURROUND ENTIRE INLET WITH GRAVEL BAGS (OVERLAP THE BAGS AND PACK THEM TIGHTLY TOGETHER – SEE DETAIL). INSPECT ALL INLET PROTECTION WEEKLY. REMOVE ACCUMULATED SEDIMENT REGULARLY.
3. STABILIZED CONSTRUCTION ACCESS: INSTALL STABILIZED CONSTRUCTION ACCESS PRIOR TO COMMENCEMENT OF EARTH MOVING OPERATIONS (SEE DETAIL). INSPECT ENTRANCE DAILY, AND ADD ADDITIONAL STONE AS TOP-DRESSING WHEN REQUIRED. USE FENCING OR BARRICADES TO PREVENT VEHICLE TRAFFIC FROM DRIVING AROUND THE STABILIZED ACCESS.
4. CONCRETE WASHOUT: WASHOUT MUST BE LOCATED A MINIMUM OF 50 FEET FROM STORM DRAINS, OPEN DITCHES, OR WATER BODIES. DISCONTINUE USE WHEN WASHOUT WASTES REACH 75% OF THE WASHOUT CAPACITY. ALLOW WASHOUT WASTES TO HARDEN, BE BROKEN UP, AND THEN DISPOSED OF PROPERLY.
5. SANITARY/SEPTIC WASTE MANAGEMENT: PORTABLE TOILETS WILL BE PROVIDED AND MAINTAINED ONSITE FOR THE DURATION OF THE PROJECT. ALL PORTABLE TOILETS WILL BE EQUIPPED WITH A SECONDARY CONTAINMENT TRAY, AND SHALL BE LOCATED A MINIMUM OF 50' FROM ALL OPERATIONAL STORM DRAIN INLETS. WEEKLY MAINTENANCE SHALL BE PROVIDED AND WASTES LEGALLY DISPOSED OF OFF-SITE
6. STOCKPILE MANAGEMENT: SOIL STOCKPILES MUST BE COVERED OR STABILIZED (I.E. WITH SOIL BINDERS) IMMEDIATELY IF THEY ARE NOT SCHEDULED TO BE USED WITHIN 14 DAYS. ACTIVE SOIL STOCKPILES SHALL BE WATERED TWICE DAILY TO AVOID WIND EROSION. SURROUND ALL STOCKPILES WITH FIBER ROLLS OR SILT FENCE. STOCKPILES OF "COLD MIX", TREATED WOOD, AND BASIC CONSTRUCTION MATERIALS SHOULD BE PLACED ON AND COVERED WITH PLASTIC SHEETING OR COMPARABLE MATERIAL AND SURROUNDED BY A BERM..
7. CONTRACTOR'S STAGING AREA: THE CONTRACTOR'S STAGING AREA SHALL BE SURROUNDED BY FIBER ROLLS. THE STAGING AREA WILL BE USED TO STORE DELIVERED MATERIALS, AND FOR OVERNIGHT EQUIPMENT PARKING/FUELING. STORED CONSTRUCTION MATERIALS SHALL BE MAINTAINED IN THEIR ORIGINAL CONTAINERS, AND COVERED AT ALL TIMES. PETROLEUM PRODUCTS AND HAZARDOUS MATERIALS SHALL BE STORED WITHIN SECONDARY CONTAINMENT STRUCTURES OR A STORAGE SHED. EQUIPMENT FUELING AND MAINTENANCE WILL ONLY OCCUR WITHIN THE DESIGNATED STAGING AREA. DRIP PANS OR ABSORBENT PADS MUST BE USED DURING ALL FUELING OR MAINTENANCE ACTIVITIES. AN AMPLE SUPPLY OF SPILL CLEANUP MATERIALS SHALL BE MAINTAINED IN THE STAGING AREA AT ALL TIMES.
8. TRASH / RECYCLE — WASTE MANAGEMENT: SOLID WASTES WILL BE LOADED DIRECTLY ONTO TRUCKS FOR OFF-SITE DISPOSAL. WHEN ON-SITE STORAGE IS NECESSARY, SOLID WASTES WILL BE STORED IN WATERTIGHT DUMPSTERS IN THE GENERAL STORAGE AREA OF THE CONTRACTOR'S YARD. DUMPSTERS AND/OR TRASH BINS SHALL BE COVERED AT THE END OF EACH WORK DAY. HAZARDOUS WASTES SHALL NOT BE STORED ONSITE. CONSTRUCTION DEBRIS AND GENERAL LITTER WILL BE COLLECTED DAILY AND WILL NOT BE ALLOWED NEAR DRAINAGE INLETS OR DRAINAGE SYSTEMS.
9. GRAVEL BAG CHECK DAM: GRAVEL BAGS SHALL CONSIST OF WOVEN POLYPROPYLENE, POLYETHYLENE OR POLYAMIDE FABRIC, MIN. UNIT WEIGHT OF 4OZ/SY. BAGS SHALL BE A MINIMUM OF 18" LONG X 12" WIDE X 3" THICK, FILLED WITH ½" – 1" CRUSHED ROCK. TIGHTLY ABUT BAGS AND CONSTRUCT CHECK DAM AT LEAST 3 BAGS WIDE X 2 BAGS HIGH. INSPECT CHECK DAM REGULARLY AND REMOVE ACCUMULATED SEDIMENT.
10. TREE PROTECTION: TREE PROTECTION SHALL CONSIST OF ORANGE PLASTIC MESH FENCING, AND SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF EARTH-MOVING OPERATIONS (SEE DETAIL). INSTALL FENCING ALONG THE DRIP LINE OF TREES, AND INSTRUCT EMPLOYEES AND SUBCONTRACTORS TO HONOR PROTECTIVE DEVICES. TREE INJURIES SHALL BE ATTENDED TO BE A LICENSED AND CERTIFIED ARBORIST.
11. SF — SILT FENCE: SILT FENCE SHALL CONSIST OF WOVEN GEOTEXTILE FABRIC WITH A MINIMUM WIDTH OF 36 INCHES. WOOD STAKES SHALL BE COMMERCIAL QUALITY LUMBER, SPACED A MAXIMUM OF 6' APART AND DRIVEN SECURELY INTO THE GROUND (SEE DETAIL). FENCING FABRIC SHALL BE KEYED INTO THE SOIL AS PER MANUFACTURER'S RECOMMENDATIONS. INSTALL SILT FENCE ALONG LEVEL CONTOURS. TURN THE ENDS OF THE SILT FENCE UPHILL TO PREVENT WATER FROM FLOWING AROUND THE FENCE. INSPECT SILT FENCE DAILY, AND MAKE REPAIRS IMMEDIATELY.

EROSION & SEDIMENT CONTROL NOTES:

1) ALL EROSION CONTROL MEASURES SHALL CONFORM WITH THE CITY OF CARMEL-BY-THE-SEA EROSION CONTROL ORDINANCE.
2) EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN EFFECT FOR ANY CONSTRUCTION DURING THE RAINY SEASON, APPROX. OCTOBER 15 TO APRIL 15. EROSION CONTROL PLAN SHALL BE PREPARED AND SUBMITTED FOR APPROVAL BY SEPT. 15 OF ANY OR EACH CALENDAR YEAR THAT CONSTRUCTION MAY EXTEND BEYOND OCTOBER 15.
3) ALL SLOPES SHALL BE PROTECTED WITH STRAW MULCH OR SIMILAR MEASURES TO PROTECT AGAINST EROSION UNTIL SUCH SLOPES ARE PERMANENTLY STABILIZED.
4) RUNOFF SHALL BE DETAINED OR FILTERED BY BERMS, VEGETATED FILTER STRIPS, AND/OR CATCH BASINS TO PREVENT THE ESCAPE OF SEDIMENT FROM THE SITE.
5) EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE AT THE END OF EACH DAY'S WORK.
6) EROSION CONTROL PLANTINGS AND MULCH SHALL BE CLOSELY MONITORED THROUGHOUT THE WINTER AND ANY RUNOFF PROBLEMS CORRECTED PROMPTLY. SEE LANDSCAPE ARCHITECT'S PLAN FOR PERMANENT PLANTINGS AND TREE SCHEDULES.
7) DISTURBED SURFACES NOT INVOLVED IN THE IMMEDIATE GRADING OPERATIONS MUST BE PROTECTED BY MULCHING AND/OR OTHER EFFECTIVE MEANS OF SOIL PROTECTION.
8) ALL ROADS AND DRIVEWAYS SHALL HAVE DRAINAGE FACILITIES SUFFICIENT TO PREVENT EROSION ON OR ADJACENT TO THE ROADWAY OR ON THE DOWNHILL PROPERTIES.
9) DRAINAGE CONTROL MEASURES SHALL BE MAINTAINED AND IN PLACE AT THE END OF EACH DAY AND CONTINUOUSLY THROUGHOUT THE LIFE OF THE PROJECT DURING WINTER OPERATIONS.
10) REVEGETATION SHALL CONSIST OF A MECHANICALLY APPLIED HYDROMULCH SLURRY OR HAND SEEDED WITH A STRAW MULCH COVER. MULCH SHALL BE ANCHORED BY AN APPROVED METHOD SUCH AS PUNCHING, TACKING, OR THE USE OF JUTE NETTING, AS DEEMED NECESSARY FOR THE SITE CONDITIONS TO ALLOW FOR GERMINATION AND ENABLE ADEQUATE GROWTH TO BE ESTABLISHED.
11) CHECK DAMS, SILT FENCES, FIBER ROLLS OR OTHER DESIGNS SHALL BE INCORPORATED TO CATCH ANY SEDIMENT UNTIL AFTER THE NEWLY EXPOSED AREAS ARE REVEGETATED SUFFICIENTLY TO CONTROL EROSION. EROSION CONTROL PLANTINGS AND MULCH SHALL BE CLOSELY MONITORED THROUGHOUT THE WINTER AND ANY RUNOFF PROBLEMS SHALL BE CORRECTED PROMPTLY. ALL EROSION AND/OR SLIPPAGE OF THE NEWLY EXPOSED AREAS SHALL BE REPAIRED BY THE PERMITTEE AT THEIR EXPENSE.
12) THE GRASS SEED SHALL BE PROPERLY IRRIGATED UNTIL ADEQUATE GROWTH IS ESTABLISHED AND MAINTAINED TO PROTECT THE SITE FROM FUTURE EROSION DAMAGE. ALL NEWLY EXPOSED (DISTURBED) AREAS SHALL BE SEEDED WITH THE FOLLOWING EROSION CONTROL MIX: BROMUS CARINATUS (CALIFORNIA BROME), VULPIA MICROSTACHYS (NUTTALL'S FESCUE), ELYMUS GLAUCUS (BLUE WILD RYE), HORDEUM BRACHYANTHERUM (MEADOW BARLEY), FESTUCA RUNRA'MOLATE BLUE AND A MIXTURE OF LOCALLY NATIVE WILDFLOWERS.
13) THE DIRECTOR OF BUILDING INSPECTION (BUILDING OFFICIAL) SHALL STOP OPERATIONS DURING PERIODS OF INCLEMENT WEATHER IF HE OR SHE DETERMINES THAT EROSION PROBLEMS ARE NOT BEING CONTROLLED ADEQUATELY.
14) GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR EROSION AND SEDIMENT CONTROL BMP INSTALLATION AND MAINTENANCE AND SHALL PROVIDE FULL PARTICULARS TO THE CITY OF CARMEL-BY-THE-SEA PRIOR TO BEG. WORK.

CONSTRUCTION BEST MANAGEMENT PRACTICES (BMPs)

Construction Projects Are Required to Implement the Stormwater Best Management Practices (BMPs) on this Page, as they Apply to Your Project, All Year Long.

MATERIALS & WASTE MANAGEMENT

Non-Hazardous Materials

- ❑ Berm and securely cover stockpiles of sand, dirt, or other construction materials with tarps when rain is forecast or if stockpiles are not actively being used. For best results, this should be done at the end of the work day throughout construction when feasible.
- ❑ Use (but don't overuse) reclaimed water for dust control.

Hazardous Materials

- ❑ Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- ❑ Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- ❑ Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- ❑ Arrange for appropriate disposal of all hazardous wastes.

Construction Entrances and Perimeter

- ❑ Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- ❑ Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

Waste Management

- ❑ The California Green Building Code requires all permitted residential and non-residential construction, demolition and additions/alterations projects to recycle or salvage a minimum 65% of nonhazardous construction materials from the project.
- ❑ Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
- ❑ Clean or replace portable toilets, and inspect them frequently for leaks and spills. Incorporate secondary containment and locate them away from storm drain inlets.
- ❑ Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste (the Monterey Regional Waste Management District offers a Household Hazardous Waste Facility that accepts these items).

EQUIPMENT MANAGEMENT & SPILL CONTROL

Maintenance and Parking

- ❑ Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
- ❑ Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- ❑ If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- ❑ If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- ❑ Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, steam cleaning equipment, etc.
- ❑ Inlet protection is the last line of spill defense. Drains/inlets that receive storm water must be covered or otherwise protected from receiving sediment/dirt/mud, other debris, or illicit discharges, and include gutter controls and filtration where applicable in a manner not impeding traffic or safety.

Spill Prevention and Control

- ❑ Keep spill cleanup materials (rags, absorbents, etc.) available at the construction site at all times.
- ❑ Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
- ❑ Clean up spills or leaks immediately and dispose of cleanup materials properly (see the Monterey Regional Waste Management District's' guidelines for accepting hazardous waste materials).
- ❑ Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
- ❑ Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
- ❑ Clean up spills on dirt areas by digging up and properly disposing of contaminated soil (see the Monterey Regional Waste Management District's Contaminated Soil Acceptance Criteria).
- ❑ Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: Dial 911.

EARTHWORK & CONTAMINATED SOILS

Erosion Control

- ❑ Schedule grading and excavation work for dry weather only.
- ❑ Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- ❑ Seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.

Sediment Control

- ❑ Protect storm drain inlets, gutters, ditches, and drainage courses with appropriate BMPs, such as gravel bags, inlet filler, berms, etc.
- ❑ Prevent sediment from migrating offsite by installing and maintaining sediment controls, such as fiber rolls, silt fences, or sediment basins.
- ❑ Keep excavated soil on the site where it will not collect into the street.
- ❑ Transfer excavated materials to dump trucks on the site, not in the street.
- ❑ If any of the following conditions are observed, test for contamination and contact the Monterey County Environmental Health Department, Regional Water Quality Control Board, and local municipal inspector:
  - Unusual soil conditions, discoloration, or odor
  - Abandoned underground tanks
  - Abandoned wells
  - Buried barrels, debris, or trash.

PAVING/ASPHALT WORK

- ❑ Avoid paving and seal coating in wet weather, or when rain is forecast before fresh pavement will have time to cure.
- ❑ Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- ❑ Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- ❑ Do not use water to wash down fresh asphalt or concrete pavement.

Sawcutting & Asphalt/Concrete Removal

- ❑ Completely cover or barricade storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
- ❑ Protect storm drain inlets, gutters, ditches, and drainage courses with appropriate BMPs, such as gravel bags, inlet filters, berms, etc.
- ❑ Shovel, abosorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- ❑ If sawcut slurry enters a catch basin, clean it up immediately.

CONCRETE, GROUT & MORTAR APPLICATION

- ❑ Store concrete, grout and mortar under cover, on pallets and away from drainage areas. These materials must never reach a storm drain.
- ❑ Wash out concrete equipment/trucks offsite or in a contained area, so there is no discharge into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- ❑ Collect the wash water from washing exposed aggregate concrete and remove it for appropriate disposal offsite.

LANDSCAPE MATERIALS

- ❑ Contain stockpiled landscaping materials by storing them under tarps when they are not actively being used.
- ❑ Stack erodible landscape material on pallets. Cover or store these materials when they are not actively being used or applied.
- ❑ Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

PAINTING & PAINT REMOVAL

Painting cleanup

- ❑ Never clean brushes or rinse paint containers into a street, gutter, storm drain, or surface waters.
- ❑ For water-based paints, paint out brushes to the extent possible. Rinse to the sanitary sewer once you have gained permission from the local wastewater treatment authority. Never pour paint down a drain.
- ❑ For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of residue and unusable thinners/solvents as hazardous waste.

Paint Removal

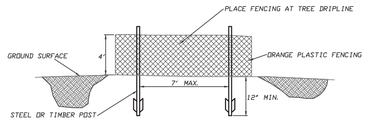
- ❑ Chemical paint stripping residue and chips and dust from marine paints or paints containing lead or tributyltin must be disposed of as hazardous waste.
- ❑ Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.

DEWATERING

- ❑ Effectively manage all run-on, all runoff within the site, and all runoff that discharges from the site.
- ❑ Divert run-on water from offsite away from all disturbed areas or otherwise ensure protection of its water quality for compliance.
- ❑ When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap, and/or disposal in sanitary sewer may be required.
- ❑ In areas of known contamination, testing is required prior to reuse or discharge of groundwater. Consult with the Engineer and municipal staff to determine whether testing is required and how to interpret results. Contaminated groundwater must be treated or hauled off-site for proper disposal.

* Adapted with permission from the San Mateo Countywide Water Pollution Prevention Program

STORM DRAIN POLLUTERS MAY BE LIABLE FOR FINES OF UP TO $10,000 PER DAY!



TREE FENCING (ESA) DETAIL
Scale: NTS

TABLE 1706.6 REQUIRED VERIFICATION AND INSPECTION OF SOILS

VERIFICATION AND INSPECTION TASK	CONTINUOUS DURING TASK LISTED	PERIODICALLY DURING TASK LISTED
1. Verify material below shallow foundations are adequate to achieve the design bearing capacity	--	X
2. Verify excavations are extended to proper depth and have reached proper material	--	X
3. Perform classification and testing of compacted fill materials	--	X
4. Verify use of proper materials, densities and lift sicknesses during placement and compaction of compacted fill.	X	--
5. Prior to placement of compacted fill, observe subgrade and verify that site has been prepared properly.	--	X

CONSTRUCTION INSPECTION REQUIREMENTS

A-PRIOR TO COMMENCEMENT OF ANY LAND DISTURBANCE, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH HCD-ENVIRONMENTAL SERVICES TO ENSURE ALL NECESSARY SEDIMENT CONTROLS ARE IN PLACE AND THE PROJECT IS COMPLIANT WITH MONTEREY COUNTY GRADING AND EROSION CONTROL REGULATIONS.

B-DURING CONSTRUCTION THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH HCD-ENVIRONMENTAL SERVICES TO UPDATE COMPACTION TEST RECORDS, INSPECT DRAINAGE DEVICE INSTALLATION, REVIEW THE MAINTENANCE AND EFFECTIVENESS OF BMP's INSTALLED, AS WELL AS, TO VERIFY THAT POLLUTANTS OF CONCERN ARE NOT DISCHARGED FROM THE SITE.

C-PRIOR TO FINAL INSPECTION, THE OWNER/APPLICANT SHALL SCHEDULE AN INSPECTION WITH HCD-ENVIRONMENTAL SERVICES TO CONDUCT A FINAL GRADING INSPECTION, COLLECT FINAL GEOTECHNICAL LETTER OF CONFORMANCE, ENSURE THAT ALL DISTURBED AREAS HAVE BEEN STABILIZED AND THAT ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES THAT ARE NO LONGER NEEDED HAVE BEEN REMOVED.

APPROVED BY:
GUY R. GIRAUDO
PROFESSIONAL ENGINEER * REGISTERED * CIVIL * STATE OF CALIFORNIA
GUY R. GIRAUDO No. 58569 Exp. 06-30-25

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www.landsetengr.com

GRADING, DRAINAGE & EROSION CONTROL PLAN

OF

JB PASTOR BUILDING

A.P.Ns.: 010-145-012, 023, & 024

CITY OF CARMEL, MONTEREY COUNTY, CALIFORNIA

FOR

ESPERANZA CARMEL COMMERCIAL, LLC

" EROSION & SEDIMENT CONTROL PLAN "

SCALE: AS SHOWN
DATE: MARCH 2024
JOB NO. 2746-01

No.	DATE	BY	REVISION
	02/10/25	AMS	SITE PLAN UPDATE-SWCP
	12/18/24	AMS	SITE PLAN/FINISH FLOORS UPDATE
	06/04/24	AMS	C.O.C. DESIGN REVIEW LETTER
	03/28/24	AMS	RELEASED TO CLIENT
	03/22/24	AMS	RELEASED TO CLIENT

SHEET C8
OF 9 SHEETS

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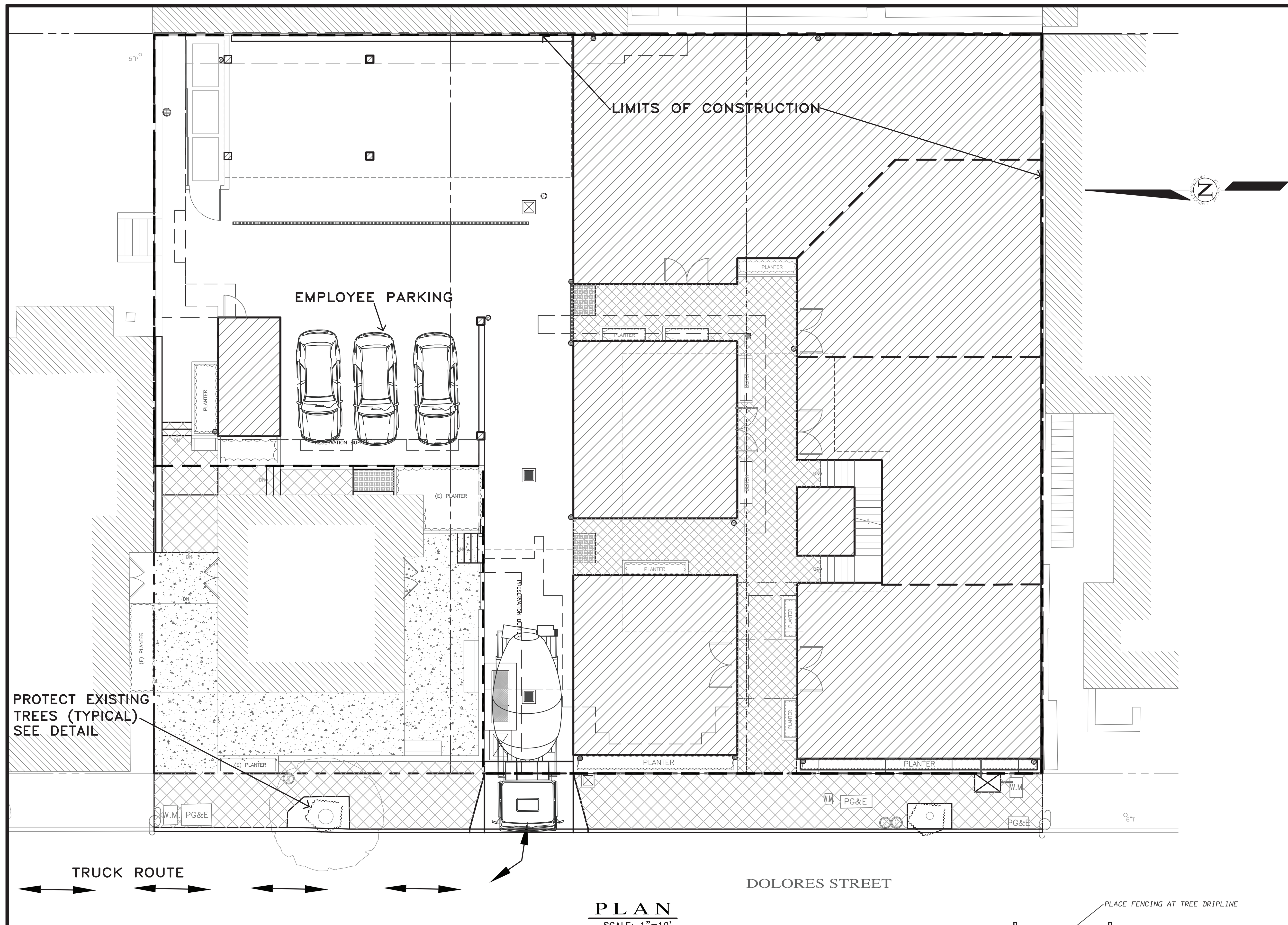
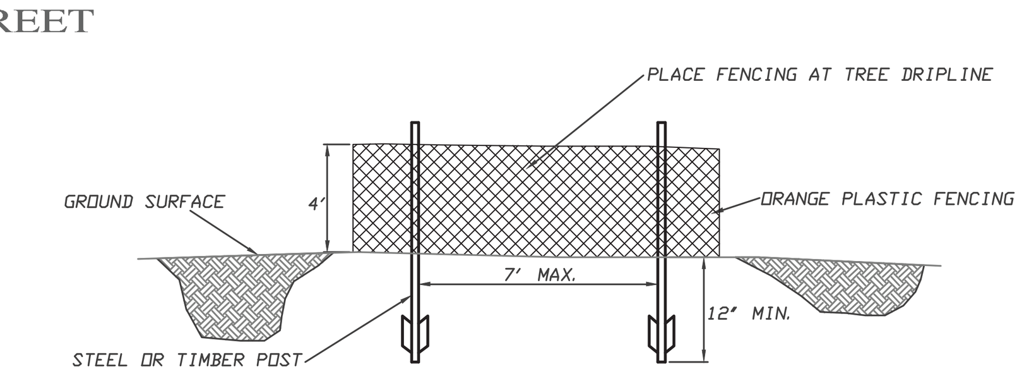


PLAN
SCALE: 1"=10'



FENCING (ESA) DETAIL
Scale: NTS

EARTHWORK QUANTITIES PER CIVIL ENGINEERING PLANS BY LANDSET ENGINEERS, INC.:
1,445 CY CUT
5 CY FILL

CONSTRUCTION STAGING:
DEMOLISH EXISTING HARDSCAPE AND OFFHAUL DEBRIS: EXISTING DRIVEWAY TO BE USED FOR EQUIPMENT STAGING AND TEMPORARY STOCKPILE AREA.

PERFORM GRADING, CONSTRUCT STRUCTURES, AND INSTALL UNDERGROUND UTILITIES: PROPOSED PARKING AREA TO BE USED FOR MATERIAL AND EQUIPMENT STAGING.

INSTALL NEW PAVERS DRIVEWAY AND LANDSCAPING.

SEE ARCHITECTURAL AND CIVIL PLANS FOR EROSION CONTROL AND DEMOLITION NOTES.

CONSTRUCTION EQUIPMENT AND MATERIALS SHALL NOT BE STAGED ON DOLORES STREET AT ANY TIME DURING CONSTRUCTION. MATERIAL DELIVERIES SHALL BE SCHEDULED SUCH THAT THEY ARE USED PROMPTLY, AND MATERIAL STORAGE IS MINIMIZED. ALL CONSTRUCTION EQUIPMENT AND MATERIALS SHALL BE STORED IN A DESIGNATED AREA ON THE SUBJECT PROPERTY.

HAUL ROUTES:
THE HAUL ROUTE TO THE SITE IS FROM HIGHWAY 1 TO OCEAN AVENUE TO DOLORES STREET. (HAUL TRUCKS EXIT IN THE SAME FASHION.) VEHICLES SHALL NOT BE LEFT UNATTENDED WHILE IN QUEUE (IF NECESSARY) ON DOLORES STREET. CONTRACTOR TO ENSURE THAT HEIGHT RESTRICTIONS WITHIN THE DRIVEWAY AREA SHALL BE ADDRESSED BEFORE CONSTRUCTION VEHICLES ENTER THE SITE. SEE DETAILS B AND C, TRUCK ROUTING PLANS.

MATERIAL DELIVERIES:
IN THE EVENT THAT MATERIAL DELIVERIES CAUSE ANY STREETS ALONG THE HAUL ROUTE TO BE PARTIALLY BLOCKED BY DELIVERY TRUCKS OR LOADING/UNLOADING OPERATIONS, A FLAGMAN SHALL BE PRESENT TO DIRECT TRAFFIC AROUND THE LANE OBSTRUCTION. THE FLAGMAN SHALL BE PRESENT AT ALL TIMES DURING WHICH DELIVERY/ CONSTRUCTION OPERATIONS MAY IMPACT TRAFFIC ON THE HAUL ROUTE AND SURROUNDING STREETS.

EMPLOYEE PARKING:
LIMITED EMPLOYEE PARKING ON-SITE. EMPLOYEES SHALL USE PUBLIC PARKING LOTS (SEE LOCATION DETAIL) AND CARPOOL TO JOBSITE IF POSSIBLE. ON-SITE PARKING SHALL BE IN LEGAL SPACES ALONG DOLORES STREET, OBEYING ALL PARKING LAWS. PARKING IS PROHIBITED IN ALL NATURAL AREAS WHICH ARE NOT CURRENTLY PAVED OR GRAVEL.

LIMITS OF CONSTRUCTION: ALL CONSTRUCTION SHALL TAKE PLACE WITHIN THE BORDER AS SHOWN. EXISTING CYPRESS, PINE, AND OAK TREES LOCATED WITHIN THE LIMITS SHOWN SHALL BE SURROUNDED BY ORANGE PROTECTIVE FENCING (SEE DETAIL).

TRUCK TRIP GENERATION CHART:

CATEGORY	NO. OF TRUCK TRIPS	TOTAL DAYS
DEMOLITION/CLKEARING	5	4
GRADING & SOIL REMOVAL (EXPORT)	72	9
ENGINEERING MATERIALS (IMPORT)	4	2
TOTALS	81	15

TRUCK TRIP GENERATION NOTES:

1. TRUCK TRIPS FOR THE GRADING/SOIL REMOVAL IS BASED UPON 20 CUBIC YARDS PER TRUCKLOAD WITH AN AVERAGE OF 8 TRUCK LOADS PER DAY.
2. THERE ARE 1,440 C.Y. OF SURPLUS SOIL MATERIAL THAT WILL BE EXPORTED OFF THE SITE.
3. GRADING OPERATIONS SHALL TAKE APPROXIMATELY 10 WORKING DAYS TO COMPLETE.
4. THE AMOUNT OF GRADING PER DAY WILL VARY, THE AVERAGE BETWEEN 120 & 180 CUBIC YARDS.

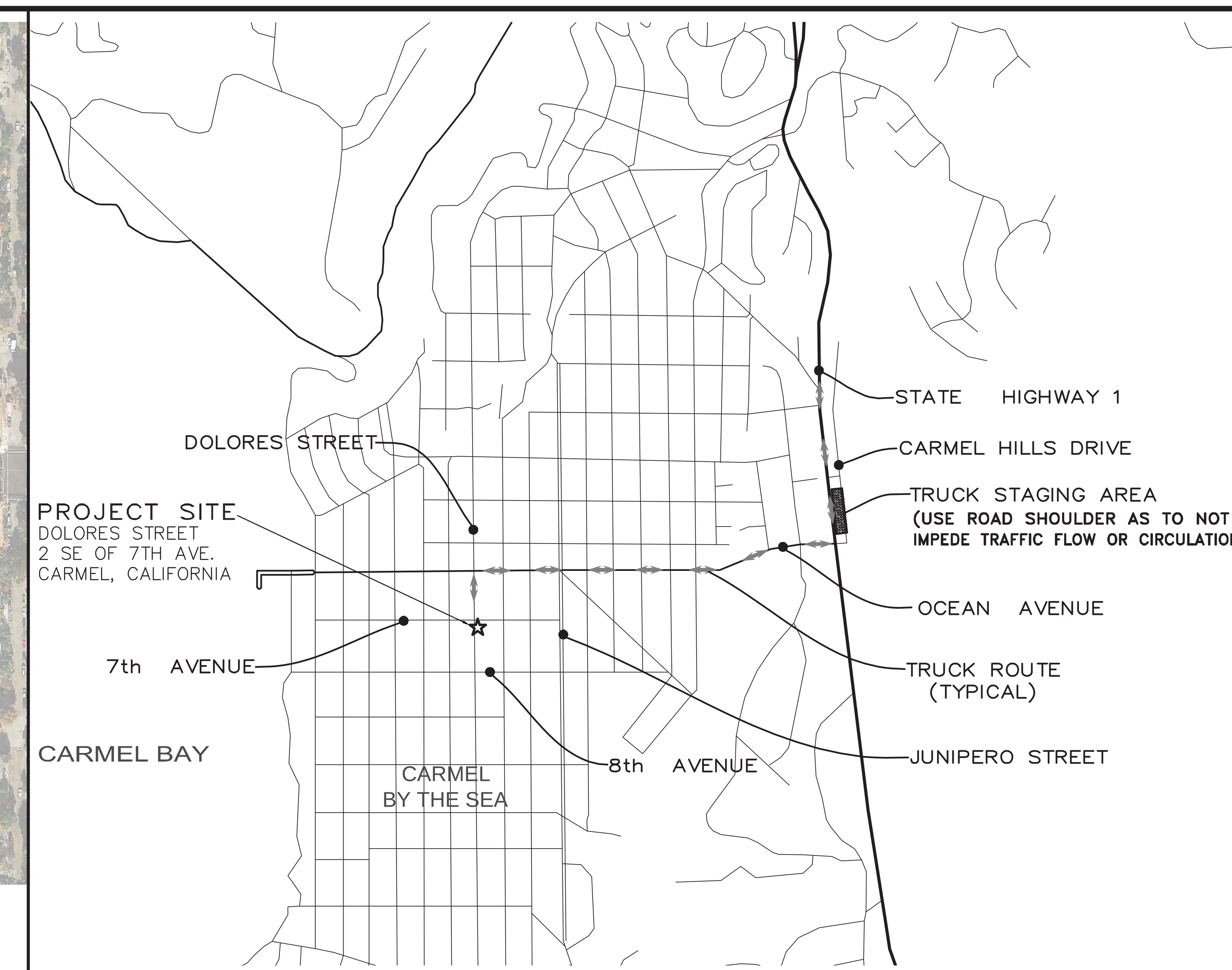
NUMBER OF EMPLOYEES/DAY: 6-10

HOURS OF OPERATION/DAY: 8

PROJECT SCHEDULING: PROJECTED START DATE 20 MARCH 20254, 10 WORKING DAYS TO COMPLETE GRADING, MONDAY THRU FRIDAY, 8:00 A.M. - 4:30 P.M. TOTAL PROJECT DURATION IS APPROXIMATELY 20 MONTHS.

(A) CONSTRUCTION STAGING PLAN

PUBLIC PARKING



(B) NEIGHBORHOOD TRUCK ROUTING PLAN

(C) OVERALL TRUCK ROUTING PLAN
NOT TO SCALE

" CONSTRUCTION MANAGEMENT PLAN "

GRADING, DRAINAGE & EROSION CONTROL PLAN

OF
JB PASTOR BUILDING
A.P.Ns.: 010-145-012, 023, & 024
CITY OF CARMEL, MONTEREY COUNTY, CALIFORNIA
FOR
ESPERANZA CARMEL COMMERCIAL, LLC

REGISTERED PROFESSIONAL ENGINEER
GUY R. GIRAUDO
No. 56580
Exp. 06-30-25
CIVIL
STATE OF CALIFORNIA

APPROVED BY:
GUY R. GIRAUDO

LANDSET ENGINEERS, INC.
520-B Crazy Horse Canyon Road
Salinas, California 93907
Office (831) 443-6970 Fax (831) 443-3801
www.landseteng.com

SCALE: AS SHOWN
DATE: MARCH 2024
JOB NO. 2746-01

No.	DATE	BY	REVISION
	02/10/25	AMS	SITE PLAN UPDATE-SWCP
	12/18/24	AMS	SITE PLAN/FINISH FLOORS UPDATE
	06/04/24	AMS	C.O.C. DESIGN REVIEW LETTER
	03/28/24	AMS	RELEASED TO CLIENT
	03/22/24	AMS	RELEASED TO CLIENT

SHEET C9
OF 9 SHEETS

IRRIGATION NOTES:

VALVE SIZES ON PLAN ARE SCHEMATIC AND NOT ACTUAL SIZE OF BOXES

SYSTEM DESIGNED TO PREVENT LOW HEAD DRAINAGE AND NO OVERSPRAY OR RUNOFF

IRRIGATION LAID OUT TO CONFORM TO HYDROZONES INDICATED ON LANDSCAPE PLAN

SYSTEM DESIGNED TO ACHIEVE MINIMUM IRRIGATION EFFICIENCY OF .75 FOR OVERHEAD SPRAY AND .81 FOR DRIP ZONES

SYSTEM USES LOW VOLUME IRRIGATION IN MULCHED PLANTING AREAS

SYSTEM HAS MATCHED PRECIPITATION RATES FOR HEAD AND EMISSION DEVICES

THE IRRIGATION HEADS ARE LAID OUT FOR OPTIMAL SPACING

SWING JOINTS ARE USED ON ALL SPRINKLER HEADS

SYSTEM USES CHECK OR ANTI-DRAIN VALVES

SUBSURFACE IRRIGATION OR OTHER MEANS THAT PRODUCES NO RUNOFF OR OVERSPRAY FOR TURF OR OTHER AREAS LESS THAN 10 FEET IN WIDTH

WHERE SPRINKLER HEADS ARE CLOSER THAN 24" TO HARDSCAPE, HARDSCAPE IS DESIGNED TO DRAIN ENTIRELY INTO LANDSCAPE

EACH VALVE IRRIGATES HYDROZONE WITH SIMILAR CONDITIONS WITH SPRINKLER HEADS AND EMISSION DEVICES THAT ARE APPROPRIATE FOR THE PLANT TYPE WITHIN THE HYDROZONE

TREES WILL BE PLACED ON SEPARATE VAVLES FROM SHRUBS, GROUNDCOVERS, AND TURF WHERE FEASIBLE

DRIP EMITTERS TO BE 1 GPH UNLESS OTHERWISE NOTED

ALL IRRIGATION MAIN LINE TRENCHING SHALL BE A MINIMUM OF 18" MIN. BELOW FINISH AT PLANTER BEDS AND 24" MIN. BELOW PAVED SURFACES. LATERAL LINES TO BE 12" BELOW FINISH AND DRIP LINES TO BE 5" BELOW FINISH.

CONNECT IRRIGATION WATER LINE TO DOMESTIC MAIN SUPPLY VIA BACKFLOW PREVENTION DEVICE. (SEE DETAIL.)

ALL BANKS OF IRRIGATION VALVES TO BE CONNECTED TO IRRIGATION MAINLINE AFTER A GATE VALVE FOR SERVICING OF INDIVIDUAL BANKS.

IRRIGATION DEMAND:

14GPM AT 55 PSI STATIC UPSTREAM OF BACKFLOW PREVENTOR. VERIFY EXACT PRESSURE PRIOR TO COMMENCEMENT OF WORK.

ALL TRENCHES FOR IRRIGATION WORK TO BE LAID OUT ONSITE TO AVOID DAMAGE TO ANY EXISTING TREE ROOTS

AUTOMATIC CONTROLLER DEVICE:

SHALL BE WALL MOUNTED AS DIRECTED BY LANDSCAPE CONTRACTOR. SERVICE TO BE 120 VOLT AC HARDWIRED PER ELECTRICAL CONTRACTOR.

LOW VOLTAGE LIGHTING:

TO BE INSTALLED IN ELECTRAL CONDUIT. RUN ADDITIONAL 2" CHASES AND EXTRA WIRES AS NEEDED. LOCATE BEOW MAIN IRRIGATION LINES. SEE ELECTRICAL PLAN.

HOSE BIBS:

TO BE BRASS AND INSTALLED ON A 4"X4" PRESSURE TREATED POST.

VALVE BOXES, PIPE, AND HOSE BIBS:
ALL EXPOSED COMPONENTS OF IRRIGATION SYSTEM TO BE PURPLE IN COLOR TO SHOW IT IS RECLAIMED WATER IF NECESSARY..

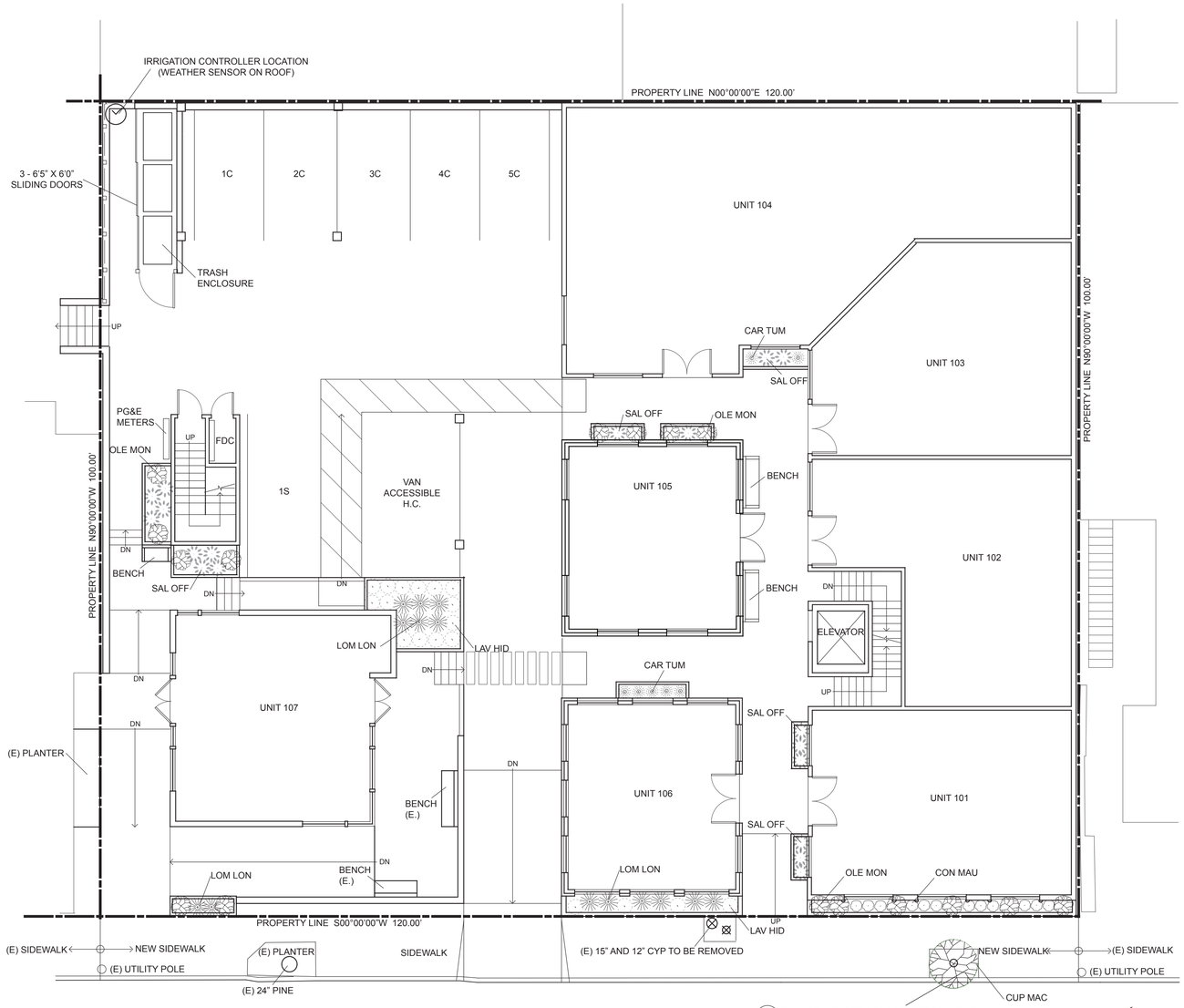
IRRIGATION SCHEDULE:
FOR ESTABLISHMENT PERIOD - ONE YEAR

1 AND 2 GALLON PLANTS	15 MINS X 2 TIMES PER WEEK
5 AND 15 GALLON PLANTS	20 MINS X 2 TIMES PER WEEK
24" BOX TREES	30 MINS X 2 TIMES PER WEEK

FOR MATURE PERIOD - AFTER ONE YEAR OR DETERMINE ON PLANT TO PLANT BASIS

1 AND 2 GALLON PLANTS	15 MINS X 1 TIMES PER WEEK
5 AND 15 GALLON PLANTS	20 MINS X 1 TIMES PER WEEK
24" BOX TREES	30 MINS X 1 TIMES PER WEEK

AS PLANTS MATURE AND BECOME MORE ESTABLISHED, THE IRRIGATION CAN BEGIN TO TAPER OFF AS MUCH AS THE PLANTS WILL ALLOW.



PLANTING PLAN AT STREET LEVEL
1/8"=1'0"

PLANTING LEGEND

SYMBOL	BOTANICAL NAME	COMMON NAME	QUANTITY	SIZE	WUCOLS
CAR TUM	*Carex tumulicola*	Foothill Sedge	7	1 gal	Low
CON MAU	*Convolvulus mauritanicus*	Ground Morning Glory	12	1 gal	Low
CUP MAC	*Cupressus macrocarpa*	Monterey Cypress	1	5 gal	Low
LAV HID	*Lavandula* 'Hidcote Superior'	Hidcote Supereor	55	1 gal	Low
LOM LON	*Lomandra longifolia* 'Breeze'	Dwarf Mat Rush	49	5 gal	Low
OLE EUR	*Olea europea* 'Majestic Beauty'	Majestic Beauty Fruitless Olive	3	15 gal	Low
OLE MON	*Olea europea* 'Montra'	Little Ollie	22	5 gal	Low
OLE SWA	*Olea europea* 'Swan Hill'	Swan Hill Fruitless Olive - columnar	22	15 gal	Low
SAL OFF	*Salvia officinalis*	Garden Sage	37	5 gal	Low

SCOPE OF WORK:

THIS PROJECT INVOLVES LANDSCAPE INSTALLATION IN PLANTERS WITH NEW LOW FLOW DRIP IRRIGATION SYSTEM. THE LANDSCAPE IS DESIGNED TO USE ALL NATIVE AND/OR DROUGHT TOLERANT PLANTING.

PROJECT INFORMATION:

OWNER	ESPERANZA CARMEL COMMERCIAL, LLC ATTN: RYAN AESCHLIMAN
SITE	DOLORES ST 2 SE OF 7TH AVE. CARMEL-BY-THE-SEA, CA LOTS: 6,8,10 BLOCK 91
APN	010-145-012, 023, 024
TOPOGRAPHY	FLAT
TREE REMOVAL	NONE
GRADING	SEE CIVIL SHEET

LANDSCAPING STATEMENT:

I PATRICK WILSON CERTIFY THAT THIS LANDSCAPING AND IRRIGATION PLAN COMPLIES WITH ALL CITY OF CARMEL'S LANDSCAPING REQUIREMENTS INCLUDING USE OF NATIVE, DROUGHT TOLERANT, NON-INVASIVE SPECIES; LIMITED TURF; AND LOW-FLOW, WATER CONSERVING IRRIGATION FIXTURES

I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN.

XERISCAPE PRACTICES:

1. LOW WATER USE, DROUGHT TOLERANT PLANTS
2. WATER CONSERVING IRRIGATION TECHNIQUES AND SYSTEMS
3. DRIP IRRIGATE ALL PLANT MATERIAL
4. INSTALLATION OF RAIN SENSOR

PLANTING NOTES:

ALL LANDSCAPE AREAS SHALL BE CONTINUOUSLY MAINTAINED IN A LITTER FREE, WEED FREE CONDITION AND ALL PLANT MATERIAL SHALL BE CONTINUOUSLY MAINTAINED IN A HEALTHY GROWING CONDITION.

STAKING:
STAKING SHALL BE PROVIDED FOR TREES AND SHRUBS AS NEEDED. TIES TO BE LOCATED AND SIZED TO ALLOW FOR EXPANSION AND GROWTH.

MULCHING:
SPREAD 3" OF MULCH OVER ALL EXPOSED PLANTING AREAS

COMPOST MINIMUM OF 4 CUBIC YARDS PER 1,000SQFT OF PERMEABLE AREA TO A DEPTH OF 6"

STAGING:
WHEN STAGING PLANT MATERIAL ON SITE INSTALL A TEMPORARY DRIP LINE AS NEEDED.

SOIL AMENDMENT TO BE ADDED TO PLANTED ARE AS NEEDED FOR PLANT MATERIAL

BUILDING DEPARTMENT NOTES:

PERMITS & INSPECTIONS:

THE CONTRACTOR SHALL OBTAIN ALL REQUIRED INSPECTIONS FOR THE WORK AND GIVE THE OWNER TIMELY NOTICE OF INTENT TO EACH INSPECTION.

CODES:

ALL MATERIAL, WORKMANSHIP AND METHODS OF CONSTRUCTION SHALL CONFORM TO THE APPLICABLE REQUIREMENTS OF THE UBC AND LOCAL BUILDING CODES.

NO POTABLE WATER MAY BE USED FOR COMPACTION OR DUST CONTROL PURPOSES IN CONSTRUCTION ACTIVITIES WHERE THERE IS A REASONABLY AVAILABLE SOURCE OF RECLAIMED WATER.

CONTRACTOR TO USE AUTO SHUT-OFF NOZZLES ON ANY WATER HOSES USED ON THE PROJECT.

LAYOUT NOTES:
ANNOTATED DIMENSIONS TO TAKE PRECEDENCE OVER SCALED DRAWINGS.

FIRE SAFETY NOTES:
ALL NON IRRIGATED BRUSH TO BE KEPT AT GROUND LEVEL FOR AN AREA OF 50' SURROUNDING THE PROPOSED RESIDENCE.

TREES TO BE CLEARED OF DEAD LIMBS WITHIN A 50' RADIUS OF THE PROPOSED RESIDENCE. ANY TREE LIMBS WITHIN 10' OF A CHIMNEY WILL BE REMOVED.

MISSION LANDSCAPING
P.O. BOX 875
PACIFIC GROVE
CALIFORNIA 93950
P 831 373 8293
F 831 373 2283
www.missionlandscaping.com
email:
missionlandscaping@me.com
Landscape & General Contractors C27 & B 392291
Landscape Architecture
CA Lic #5806

Project:

JB Pastor Building
Dolores St.
2 SE of 7th Ave.
Carmel By-The-Sea,
CA 93921

APN: 010-145-012, 023, 024
Revisions:

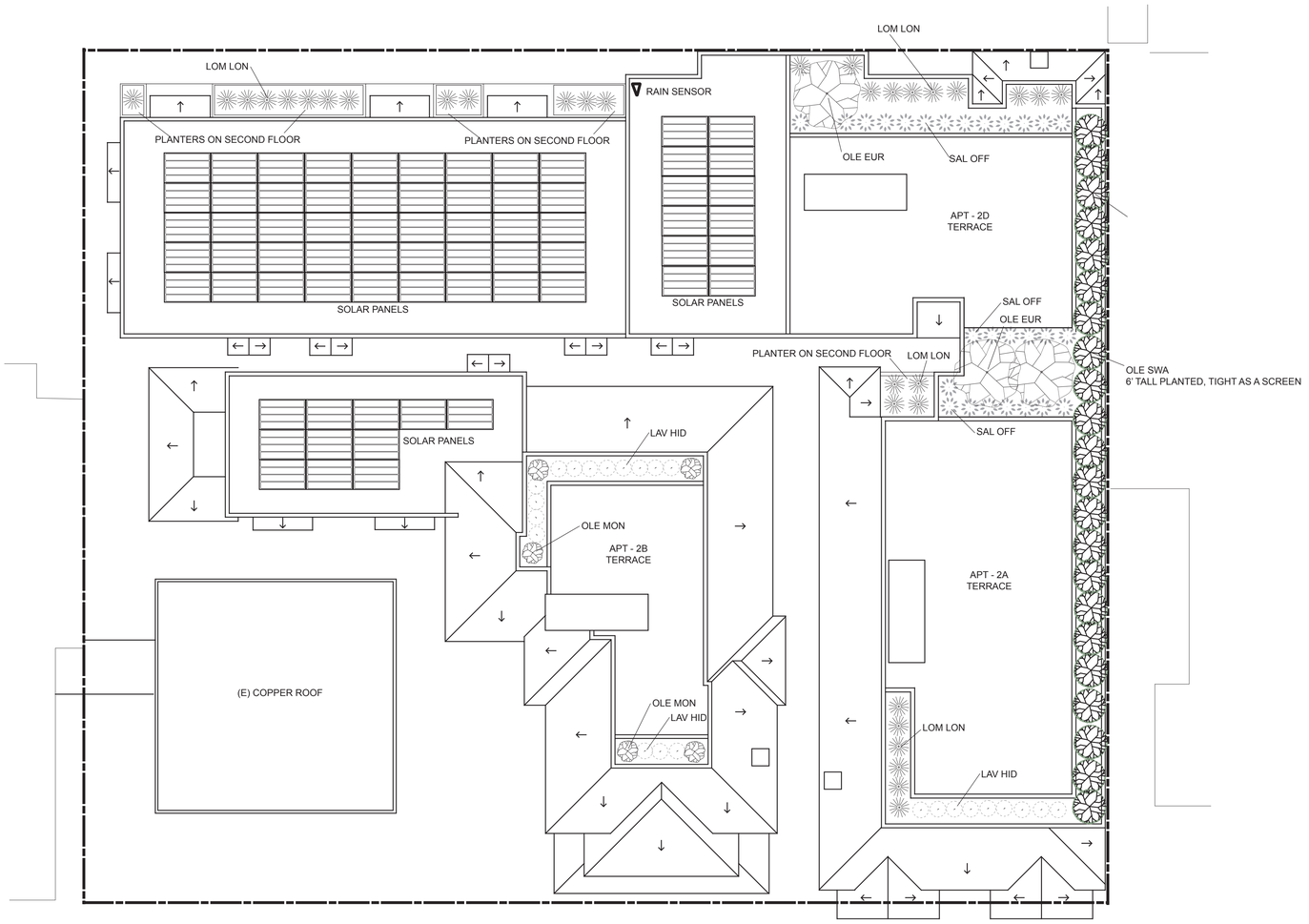
LICENSED LANDSCAPE ARCHITECT
PATRICK R WILSON 5806
Signature
07/31/25
Renewal Date
02/10/25
Date
STATE OF CALIFORNIA

Drawing Title:

Street Level Landscape Plan

Date: 02/10/25
Scale: 1/8" = 1'0"
Drawn By: PW
Page Number:

L1.0



PLANTING PLAN AT ROOF LEVEL
1/8"=1'0"

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LICENSED LANDSCAPE ARCHITECT
PATRICK R WILSON 3906
Signature
07/31/25
Renewal Date
02/10/25
Date
STATE OF CALIFORNIA

Drawing Title:

Roof and 2nd Level
Landscape Plan

Date: 02/10/25

Scale: 1/8" = 1'0"

Drawn By: PW

Page Number:

L1.1

Olea europea ‘Majestic Beauty’

Convolvulus mauritanicus

Olea europea ‘Montra’

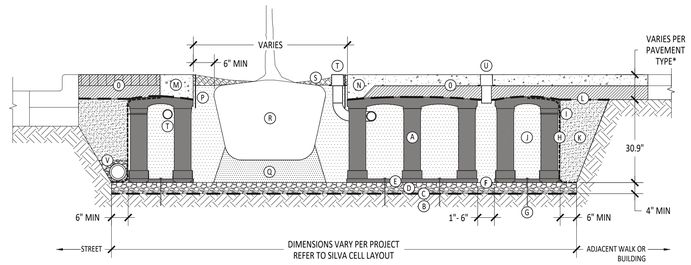
Carex tumulicola

Salvia officinalis

Lavandula ‘Hidcote Superior’

Lomandra longifolia ‘Breeze’

Olea europea ‘Swan Hill’ - screen



A L1.2 SILVA CELL SYSTEM 2X

NOT TO SCALE

KEY PLAN

(A) SILVA CELL SYSTEM (DECK, BASE, AND POSTS)
(B) SUBGRADE, COMPACTED
(C) GEOTEXTILE FABRIC, PLACED ABOVE SUBGRADE
(D) 4" MIN AGGREGATE SUB BASE, COMPACTED TO 95% PROCTOR
(E) SILVA CELL BASE SLOPE, 10% MAX
(F) 1" TO 6" SPACING BETWEEN SILVA CELLS AT BASE
(G) ANCHORING SPIKES, CONTACT DEEPROOT FOR ALTERNATIVE
(H) GEOGRID, WRAPPED AROUND PERIMETER OF SYSTEM, WITH 6" TOE (OUTWARD FROM BASE) AND 12" EXCESS (OVER TOP OF DECK)
(I) CABLE TIE, ATTACHING GEOGRID TO SILVA CELL AT BASE OF UPPER LEG FLARE, AS NEEDED
(J) PLANTING SOIL, PER PROJECT SPECIFICATIONS, PLACED IN LIFTS AND WALK-IN COMPACTED TO 75-85% PROCTOR
(K) COMPACTED BACKFILL, PER PROJECT SPECIFICATIONS
(L) GEOTEXTILE FABRIC TO EDGE OF EXCAVATION
(M) RIBBON CURB AT TREE OPENING (TO BE USED WITH PAVERS OR ASPHALT)
(N) THICKENED EDGE AT TREE OPENING (TO BE USED WITH CONCRETE)
(O) PAVEMENT AND AGGREGATE BASE PER PROJECT *
(P) DEEPROOT ROOT BARRIER, 12" OR 18", DEPTH DETERMINED BY THICKNESS OF PAVEMENT SECTION, INSTALL DIRECTLY ADJACENT TO CONCRETE EDGE RESTRAINT
(Q) PLANTING SOIL BELOW ROOT BALL, COMPACTED WELL TO PREVENT SETTLING
(R) ROOT BALL
(S) TREE OPENING TREATMENT, PER PROJECT SPECIFICATIONS
(T) DEEPROOT WATER AND AIR VENT, ROOTBALL, WHEN REQUIRED
(U) DEEPROOT WATER AND AIR VENT, WHEN REQUIRED
(V) UNDERDRAIN SYSTEM, WHEN REQUIRED (LOCATION AND DETAILS BY OTHERS)

*MINIMUM PAVEMENT PROFILE OPTIONS TO MEET H-20 LOADING

PAVEMENT	+ AGGREGATE BASE COURSE
4" CONCRETE	+ 4" AGGREGATE
3" PAVER	+ 12" AGGREGATE
4" ASPHALT	+ 12" AGGREGATE
2.6" PAVER	+ 5" CONCRETE

NOTES
1. EXCAVATION SHALL BE DONE IN ACCORDANCE WITH ALL APPLICABLE HEALTH AND SAFETY REGULATIONS
2. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS
3. PROVIDE SUPPLEMENTAL IRRIGATION
4. DO NOT SCALE DRAWINGS

NOT TO SCALE
FEET

SILVA CELL SYSTEM 2X

TREES SHALL HAVE AT LEAST 100 CUBIC FEET OF UNCOMPACTED SOIL.

deeproot
DeepRoot Green Infrastructure
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APN: 010-145-012, 023, 024

Revisions:

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PATRICK R WILSON 5806
Signature
07/31/25
Renewal Date
02/10/25
Date
STATE OF CALIFORNIA

Drawing Title:

Landscape Details and Plant Pictures

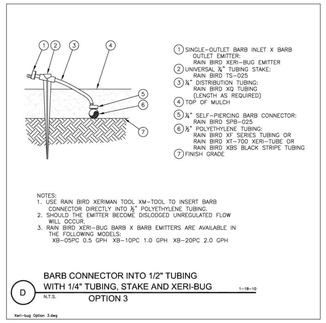
Date: 02/10/25

Scale:

Drawn By: PW

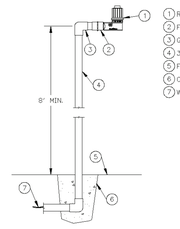
Page Number:

L1.2



D BARB CONNECTOR INTO 1/2" TUBING WITH 1/4" TUBING, STAKE AND XERI-BUG OPTION 3
N.T.S. 1-18-10

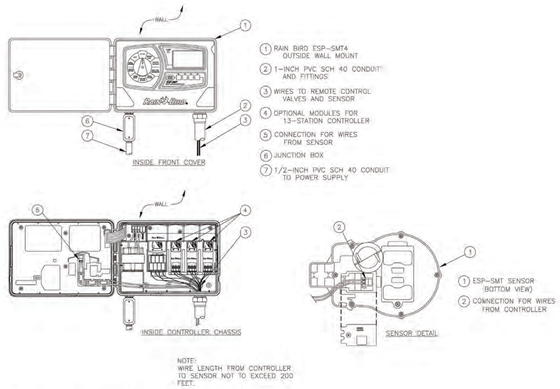
Xeri-bug Option 3.dwg



1 RAIN SENSOR: RAIN BIRD RSD-CEx
2 FEMALE ADAPTER (SLIP X FIPT)
3 GALVANIZED 90° EL (1 OF 2)
4 3/4-INCH GALVANIZED PIPE
5 FINISHED GRADE
6 CONCRETE BASE
7 WIRE TO IRRIGATION CONTROLLER

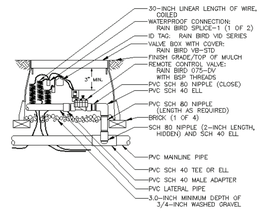
D RAIN SENSOR
N.T.S. RSD-CEx POLE MOUNT
1-07-24

C-RSD-CEx POLE MOUNT.DWG



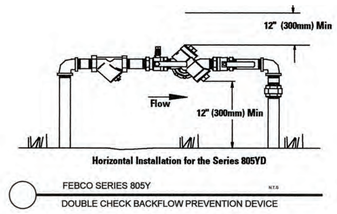
D ESP-SMT SMART CONTROL SYSTEM (OUTDOOR)
N.T.S. 9-27-19

C-ESP-SMT.DWG



D ELECTRIC REMOTE-CONTROL VALVE
N.T.S. DV SERIES 075-DV OR 100-DV
1-20-09

V-075 OR 100-DV.DWG



FEBCO SERIES 805Y
DOUBLE CHECK BACKFLOW PREVENTION DEVICE
N.T.S

Water Efficient Landscape Worksheet							
Instructions:							
Fill in all items in this color							
Answer is shown in this color							
Reference Evapotranspiration (ETo)		**32.9**	Carmel				
	ETWU requirement	**ETWU requirement**	**ETWU requirement**	**ETWU requirement**	**MAWA requirement**	**ETWU requirement**	
Hydrozone#/Planting Description	Plant Factor (PF)	Irrigation Method	Irrigation Efficiency (IE)	**ETAF** (PF/IE)	Landscape Area **(LA)** (sq. ft.)	ETAF x Area	Estimated Total Water Use (ETWU)
Regular Landscape Areas							
1) low water use plants	0.2	Drip	0.81	0.247	791	195.31	3,984
2) medium water use plants	0.4	Drip	0.81	0.494	0	0.00	0
3) high water use (pool & spa)	0.7	Drip	1	0.700	0	0.00	0
							0
			Totals		791	195.31	3,984
Special Landscape Areas (SLA): Recycled Water							
1) low water use plants				1	0	0	0
2) medium water use plants				1	0	0	0
3) medium water use plants				1	0	0	0
				Totals	0	0	0
						Estimated Total Water Use (ETWU)	**3,984**
						Maximum Allowed Water Allowance (MAWA)	**7,261**

Plant Water Use Type	**Plant Factor**	**Irrigation method**	**Irrigation Efficiency**
very low	0-0.1	overhead spray	0.75
low	0.1-0.3	drip	0.81
medium	0.4-0.6		
high	0.7-1.0		

MAWA (annual gallons allowed)= (Eto) (0.62) [(ETAF x LA) + ((1-ETAF) x SLA)]

where 0.62 is a conversion factor that converts acre-inches per acre/year to gallons per sq. ft./ year. LA is the total landsape area in sq. ft, SLA is the total special landscape area in sq. ft., and ETAF is .55 for residential areas and 0.45 for non residential areas.

ETAF Calculations

Regular Landscape Areas	
Total ETAF x Area	195
Total Area	791
Average ETAF	**0.25**

Average ETAF for regular landscape areas must be 0.55 or below for residential areas, and 0.45 or below for non-residential areas.

All Landscape Areas	
Total ETAF x Area	195
Total Area	791
Sitewide ETAF	**0.25**

ESTIMATED TOTAL WATER USE = 3,984 GALLONS PER YEAR
MAXMUM ALLOWED WATER ALLOWANCE = 7,261 GALLONS PER YEAR
ETWU IS LESS THAN MAWA

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Signature
07/31/25
Renewal Date
02/10/25
Date
STATE OF CALIFORNIA

Drawing Title:

Landscape Details and Plant Pictures

Date: 02/10/25
Scale:
Drawn By: PW
Page Number:

L1.3

ELECTRICAL SYMBOLS & ABBREVIATIONS

SYMBOLS & ABBREVIATIONS SHOWN ARE FOR GENERAL USE. DISREGARD THOSE WHICH DO NOT APPEAR ON THE PLANS.

- FLUORESCENT OR LED LUMINAIRE - SEE SCHEDULE
- EMERGENCY OR NIGHT LIGHT
- STRIP FLUORESCENT OR LED LUMINAIRE - SEE SCHEDULE
- LUMINAIRE - RECESSED - SEE SCHEDULE
- RECESSED WALL WASHER
- LUMINAIRE - SURFACE MOUNTED - SEE SCHEDULE
- LUMINAIRE - POLE OR POST MOUNTED - SEE SCHEDULE
- LUMINAIRE - WALL MOUNTED SEE SCHEDULE
- BOLLARD OR PATH LIGHT - SEE SCHEDULE
- EXIT LIGHT - DIRECTIONAL ARROWS AS INDICATED - SEE SCHEDULE
- TRACK LIGHTING - SEE SCHEDULE
- EMERGENCY LIGHT
- DIGITAL DUAL TECHNOLOGY OCC. SENSOR
- LIGHTING CONTROL OCCUPANCY SENSOR CORNER MOUNTED
- DRC — DIMMER ROOM CONTROLLER
- PC — PLUG LOAD CONTROLLER
- RC — ROOM LIGHTING CONTROLLER
- LCP — LIGHTING CONTROL PANEL
- DL — DIGITAL DAYLIGHT SENSOR
- SINGLE POLE SWITCH **
- SINGLE POLE SWITCH, ** a = CIRCUIT CONTROLLED
- 3 — THREE WAY SWITCH**
- 4 — FOUR WAY SWITCH**
- M — MANUAL MOTOR STARTER
- K — KEY OPERATED SWITCH**
- LIGHTING DIMMER**
- DIGITAL ON/OFF SWITCH **
- D — DIGITAL DIMMER SWITCH **
- M# — DIGITAL MULTI SCENE LIGHTING SWITCH **
- DS — DIGITAL DUAL TECHNOLOGY WALL OCC. SENSOR **
- WALL OCCUPANCY SENSOR **
- 2 — DOUBLE SWITCHED WALL OCCUPANCY SENSOR **
- DIMMING DUAL TECHNOLOGY WALL SWITCH OCCUPANCY SENSOR **
- 2 — 2-BUTTON DIMMING DUAL TECHNOLOGY WALL SWITCH OCCUPANCY SENSOR **

- SECURITY DOOR CONTACTS
- MD — SECURITY MOTION DETECTOR
- SC — CCTV CAMERA
- KP — SECURITY SYSTEM KEYPAD
- DOOR BELL PUSHBUTTON
- CH — DOOR CHIME WITH LED
- RECEPTACLE - DUPLEX *
- DUPLEX RECEPTACLE MOUNTED ABOVE COUNTER - FIELD VERIFY HEIGHT
- GFCI CONVENIENCE RECEPTACLE - DUPLEX*
- GFCI CONVENIENCE DUPLEX RECEPTACLE MOUNTED ABOVE COUNTER - FIELD VERIFY HEIGHT
- RECEPTACLE DOUBLE DUPLEX*
- HALF SWITCHED DUPLEX RECEPTACLE *
- SINGLE RECEPTACLE*
- DUPLEX RECEPTACLE - CEILING MOUNTED
- HC — LETTER INDICATES DUPLEX HALF CONTROLLED RECEPTACLE *
- C — LETTER INDICATES DUPLEX FULLY CONTROLLED RECEPTACLE *
- FLOOR MOUNTED DUPLEX RECEPTACLE
- FLOOR MOUNTED BOX
- POWER OUTLET - SEE PLANS FOR NEMA TYPE*
- POWER POLE
- WALL TELEPHONE OUTLET **
- [#] — VOICE/DATA WALL OUTLET *
- [#] — VOICE/DATA OUTLET MOUNTED ABOVE COUNTER - FIELD VERIFY HEIGHT
- [#] — SURFACE MOUNTED VOICE/DATA WALL OUTLET *
- [#] — SURFACE MOUNTED VOICE/DATA OUTLET MOUNTED ABOVE COUNTER - FIELD VERIFY HEIGHT
- WIRELESS ACCESS POINT (WAP) - CEILING MOUNTED
- WIRELESS ACCESS POINT (WAP) - WALL MOUNTED - FIELD VERIFY HEIGHT
- [#] — VOICE/DATA OUTLET - FLOOR MOUNTED
- TV OUTLET *
- [#] — VOICE/DATA OUTLET - CEILING MOUNTED
- S — INTERIOR SPEAKERS CEILING MOUNTED
- HS — INTERIOR SPEAKERS WALL MOUNTED
- HC — CLOCK +8'-0" AFF U.O.N. VERIFY BEFORE INSTALLATION

- PANELBOARD - FLUSH MOUNTED
- EQUIPMENT PANEL - FLUSH MOUNTED
- PANELBOARD - SURFACE MOUNTED
- EQUIPMENT PANEL - SURFACE MOUNTED
- M — METER W/ CURRENT TRANSFORMER
- J — JUNCTION BOX - CEILING OR WALL MOUNTED, SIZE PER CODE, TAPE AND TAG WIRES
- MOTOR CONNECTION
- NON-FUSED DISCONNECT SWITCH
- FUSED DISCONNECT SWITCH; FUSED WITH DUAL-ELEMENT FUSES SIZED PER EQUIPMENT MFGR'S NAMEPLATE DATA
- COMBINATION STARTER/FUSED DISCONNECT SWITCH; FUSED DISCONNECT SWITCH ELEMENT FUSES SIZED PER EQUIPMENT MFGRS NAMEPLATE DATA
- MAGNETIC STARTER - NEMA SIZE INDICATED NEMA 3R ENCLOSURE UNLESS OTHERWISE SPECIFIED
- CIRCUIT BREAKER
- GROUND ROD WITH GROUNDWELL BOX
- GROUND ELECTRODE
- NORMALLY OPEN CONTACT
- NORMALLY CLOSED CONTACT
- TRANSFORMER - SEE SINGLE LINE FOR SIZE
- PULLBOX
- ERMS
- FLEX CONDUIT WITH CONNECTION
- CONDUIT - UP
- CONDUIT - DOWN
- E — CONDUIT EMERGENCY SYSTEM
- LV — LOW VOLTAGE WIRING
- SURFACE METAL OR NON-METALLIC RACEWAY
- CONDUIT - CONCEALED IN WALLS OR CEILING
- CONDUIT - EXISTING
- CONDUIT - BELOW SLAB OR UNDERGROUND: 3/4"MIN.
- E — CAPPED OR STUB-OUT CONDUIT
- CONDUIT CONTINUATION
- #10 — CONDUIT - HOME RUN TO PANEL, TERMINAL CABINET, ETC. RUNS MARKED WITH CROSSHATCHES INDICATE NUMBER OF #12 AWG WIRES WHEN MORE THAN TWO. SIZE CONDUIT ACCORDING TO SPECIFICATIONS AND APPLICABLE CODE. CROSS HATCHES WITH NUMBER ADJACENT INDICATES WIRE SIZE OTHER THAN #12 AWG.
- 2 — SHEET NOTE REFERENCE SYMBOL; SEE ASSOCIATED NOTE ON SAME SHEET
- 3 — SCHEDULE SYMBOL: SEE ASSOCIATED NOTE ON SAME SHEET

- X — DETAIL NOTE REFERENCE SYMBOL SEE ASSOCIATED NOTE ON SAME DETAIL
- FXXX — FEEDER DESIGNATION; SEE ASSOCIATED NOTE ON SAME DETAIL
- X / X.XX — DETAIL NUMBER; DETAIL OR SECTION REFERENCE; SHEET NUMBER
- X / X — INDICATES QUANTITY OF TELEPHONE OUTLETS; INDICATES QUANTITY OF DATA OUTLETS

ABBREVIATIONS

A	AMPERE	GFCI	GROUND FAULT	NTS	NOT TO SCALE
AFF	ABOVE FINISHED FLOOR	GFI	INTERRUPTING	OAH	OVERALL HEIGHT
ALUM/AL	ALUMINUM	GND, G	GROUND	OC	ON CENTER
ARCH	ARCHITECT	GRS	GALVANIZED RIGID STEEL	OH	OVERHEAD
AWG	AMERICAN WIRE GAUGE	HT	HEIGHT	OFCI	OWNER FURNACED CONTRACTOR INSTALLED
BKR	BREAKER	IC	INTERCOM	PA	PUBLIC ADDRESS
C	CONDUIT	IDF	INTERMEDIATE DISTRIBUTION FRAME	PB	PULL BOX
CATV	CABLE TV	INCAND	INCANDESCENT	PF	POWER FACTOR
CB	CIRCUIT BREAKER	JB	JUNCTION BOX	PH	PHASE
CCTV	CLOSED CIRCUIT TV	KV	KILOVOLT	PIR	PASSIVE INFRARED
CKT	CIRCUIT	KVA	KILOVOLT AMPERES	PNL	PANEL
CL	CENTER LINE	KW	KILOWATT	PV	PHOTOVOLTAIC
CLG	CEILING	LCP	LIGHTING CONTROL PANEL	PVC	POLYVINYL CHLORIDE
C.O.	CONDUIT ONLY	LTG	LIGHTING	PWR	POWER
CTR	CENTER	LV	LOW VOLTAGE	(R)	RELOCATE
D	DIMMER	KCM	THOUSAND CIRCULAR MILS	(RP)	REMOVABLE POLE
DIM	DIMENSION	M.B.	MAIN CIRCUIT BREAKER	RECPT'S	RECEPTACLES
DIST	DISTRIBUTION	MCA	MINIMUM CIRCUIT AMPS	REQD	REQUIRED
(E)	EXISTING	MDF	MAIN DISTRIBUTION FRAME	REQMT'S	REQUIREMENT(S)
EC	ELECTRICAL CONTRACTOR	MECH	MECHANICAL	SHT	SHEET
(EL)	EVENING LIGHT	MH	METAL HALIDE	SLD	SINGLE LINE DIAGRAM
EM	EMERGENCY	MLO	MAIN LUGS ONLY	STC	SYSTEMS TERMINATION CABINET
EMT	ELECTRICAL METALLIC TUBING	MPOE	MAIN POINT OF ENTRANCE	SW	SWITCH
ERMS	ENERGY REDUCTION MAINTENANCE SWITCH	MTD	MOUNTED	SWBD	SWITCHBOARD
EQUIP	EQUIPMENT	MTG	MOUNTING	TTB	TELEPHONE TERMINAL BACKBOARD
EV	ELECTRICAL VEHICLE	MOCP	MAXIMUM OVER CURRENT PROTECTION	TYP	TYPICAL
FA	FIRE ALARM	(N)	NEW	UON	UNLESS OTHERWISE NOTED
FACP	FIRE ALARM CONTROL PANEL	NIC	NOT IN CONTRACT	UG	UNDERGROUND
FC	FOOT CANDLE	NIEC	NOT IN ELECTRICAL CONTRACT	V	VOLT
FIN	FINISH	(NL)	NIGHT LIGHT	VD	VOLTAGE DROP
FL	FLOOR	NO.	NUMBER	W	WATT
FLA	FULL LOAD AMPS	NOM	NOMINAL	W/	WITH
FLUOR	FLUORESCENT			WP	WEATHERPROOF
(F)	FUTURE			XFMR	TRANSFORMER
GC	GENERAL CONTRACTOR				

* +15" A.F.F. TO BOTTOM OF BOX, U.O.N.
** +48" A.F.F. TO TOP OF BOX, U.O.N.
[#] NUMBER IN BRACKETS DENOTES NUMBER OF CABLE DROPS WHEN MORE THAN (2).

LIGHT FIXTURE SCHEDULE

FIXTURE NOTES:

1. ALL LED LIGHT FIXTURE DRIVERS SHALL BE ELECTRONIC TYPE, 10% TOTAL HARMONIC DISTORTION MAXIMUM.
2. ALL LED LIGHT MODULES SHALL BE ENERGY SAVING 3000° K, 80 CRI MINIMUM, U.O.N. (SEE SPECIFICATIONS FOR MORE INFORMATION).
3. ALL LED DRIVERS (AND ASSOC. FIXTS.) SHALL HAVE MANUFACTURER'S CERTIFICATION OF COMPLIANCE WITH CALIFORNIA ENERGY COMMISSION STANDARDS AND REQUIREMENTS, WHERE SUCH ARE USED IN CONDITIONED SPACES.
4. EXIT SIGNS , EMERGENCY LIGHTS AND LIGHT FIXTURES WITH EMERGENCY BATTERY BACK-UP SHALL SUPPLY A MINIMUM DURATION OF 90 MINUTES OF POWER IN THE EVENT OF A POWER OUTAGE/FAILURE.
5. ALL RECESSED LIGHT FIXTURES SHALL BE U.L. APPROVED FOR ZERO CLEARANCE INSULATION COVER WHEN INSTALLED IN INSULATED CEILINGS.

TYPE	DESCRIPTION	LAMPS	MANUFACTURER
XA	3" DIA RECESSED LED DOWN LIGHT GALVANIZED STEEL FRAME WITH MATTE BLACK INTERIOR PAINT. ICAT RATED HOUSING, 40° BEAM SPREAD, 90 CRI, UNIVERSAL VOLTAGE WITH ED010 DIMMING DRIVER TL3R TRIM WITH MICRO PRISMATIC LENS.	9.5W 1609 LUMEN 3000°K LED	HALO HL36A SERIES
XB	40"x12.5"x16.125" WALL MOUNTED LED PENDANT FIXTURE. ALUMINUM WITH TEXTURED BRONZE POWDER COAT FINISH, HONEY ONYX ACRYLIC LENS. 120/277 UNIVERSAL VOLTAGE, 0-10 VOLT DIMMING WITH INTEGRAL BATTERY BACKUP.	12W LED	EVERGREEN LIGHTING 27064 SERIES WALL MOUNT
XC	12"x6.5"x6.5" LED WALL SCONCE, FORMED STEEL HOUSING WITH TEXTURED BRONZE FINISH CLEAR FROSTED GLASS LENS. 120/277 UNIVERSAL VOLTAGE, 0-10 VOLT DIMMING DARK SKY COMPLIANT.	6W LED	EVERGREEN LIGHTING 2100 SERIES WALL SCONCE

APPLICABLE CODES & STANDARDS

CODES:

1. 2022 CALIFORNIA ADMINISTRATIVE CODE C.A.C., PART 1, TITLE 24, C.C.R.
2. 2022 CALIFORNIA BUILDING CODE (CBC) C.C.R., TITLE 24, VOL. 1 & 2 BASED ON THE 2021 INTERNATIONAL BUILDING CODE (IBC) WITH CALIFORNIA AMENDMENTS.
3. 2022 CALIFORNIA RESIDENTIAL CODE C.C.R., TITLE 24, PART 2.5 BASED ON THE 2021 INTERNATIONAL RESIDENTIAL CODE WITH CALIFORNIA AMENDMENTS.
4. 2022 CALIFORNIA ELECTRICAL CODE (CEC) C.C.R., TITLE 24, PART 3 BASED ON THE 2020 NATIONAL ELECTRICAL CODE (NEC) WITH CALIFORNIA AMENDMENTS.
5. 2022 CALIFORNIA MECHANICAL CODE (CMC) C.C.R., TITLE 24, PART 4 BASED ON THE 2021 UNIFORM MECHANICAL CODE (UMC) WITH CALIFORNIA AMENDMENTS.
6. 2022 CALIFORNIA PLUMBING CODE (CPC) C.C.R., TITLE 24, PART 5 BASED ON THE 2021 UNIFORM PLUMBING CODE (UPC) WITH CALIFORNIA AMENDMENTS.
7. 2022 CALIFORNIA ENERGY CODE C.C.R., TITLE 24, PART 6.
8. 2022 CALIFORNIA FIRE CODE (CFC) C.C.R., TITLE 24, PART 9 BASED ON THE 2021 INTERNATIONAL FIRE CODE (IFC) WITH CALIFORNIA AMENDMENTS.
9. 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE C.C.R., TITLE 24, PART 11.
10. 2022 CALIFORNIA REFERENCED STANDARDS CODE C.C.R., TITLE 24, PART 12.
11. TITLE 19 C.C.R., PUBLIC SAFETY, STATE FIRE MARSHAL REGULATIONS.
12. NATIONAL FIRE ALARM CODE (NFPA 72) 2022.
13. CITY OF CARMEL BY THE SEA ORDINANCES, CODES, AND REGULATIONS.

STANDARDS:

1. AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI)
2. ELECTRONICS INDUSTRIES ASSOCIATION (EIA)
3. INSTITUTE OF ELECTRICAL AND ELECTRONIC ENGINEERS (IEEE)
4. NATIONAL ELECTRICAL MANUFACTURERS ASSOCIATION (NEMA)
5. NATIONAL ELECTRICAL TESTING ASSOCIATION (NETA)
6. UNDERWRITER LABORATORIES (UL)
7. CALIFORNIA OCCUPATIONAL SAFETY AND HEALTH ACT STANDARDS (CAL/OSHA)

SHEET INDEX

JUN A. SILLANO, AIA

IDG

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DISCLAIMER:

STAMPS:

REGISTERED PROFESSIONAL ENGINEER — ELDRIDGE O. GILL — No. E17788 EXP. 6/30/26 — ELECTRICAL — STATE OF CALIFORNIA

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Project No. 24-510.00

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PROJECT/CLIENT:

JB PASTOR BUILDING

PROJECT ADDRESS:

DOLORES, 2ND SE OF 7TH
CARMEL, CA
93921

APN: 010-145-012
022, & 023

SYMBOLS, ABBREVS., LIGHT FIXTURE SCHEDULE, CODES & SHEET INDEX

DATE: NOVEMBER 21, 2024

P.C. SUBMITTAL

REVISIONS:

1. _____
2. _____
3. _____
4. _____
5. _____
6. _____

SHEET NO.

E0.1

STATE OF CALIFORNIA
Outdoor Lighting CALIFORNIA ENERGY COMMISSION

CERTIFICATE OF COMPLIANCE	NRCC-LTO-E
This document is used to demonstrate compliance with requirements in 110.9, 130.0, 130.2, 140.7, and 141.0(b)2L for outdoor lighting scopes using the prescriptive path for nonresidential and hotel/motel occupancies. It is also used to document compliance with requirements in 160.5, 170.2(e)6, 180.1(a) and 180.2(b)4Bv for outdoor lighting scopes using the prescriptive path for multifamily and mixed-use occupancies. Multifamily includes dormitory and senior living facilities.	
Project Name: JB Pastor Building	**Report Page:** (Page 1 of 8)
Project Address:	**Date Prepared:** 2025-01-17T17:16:11-05:00

A. GENERAL INFORMATION

01	Project Location (city)	Carmel By The Sea	04	Total Illuminated Hardscape Area (ft²)	5678
02	Climate Zone	3			
03	Outdoor Lighting Zone per Title 24 Part 1 10.114 or as designated by Authority Having Jurisdiction (AHJ):				
☐	LZ-0: Very Low - Undeveloped Parkland	☐ LZ-2: Moderate - Urban Clusters	☐	LZ-4: High - Must be reviewed by CA Energy Commission for Approval	
☐	LZ-1: Low - Rural Areas	☒ LZ-3: Moderately High - Urban Areas			
05	Occupancy Types within Project				
● All Other Occupancies					

B. PROJECT SCOPE

This table includes outdoor lighting systems that are within the scope of the permit application and are demonstrating compliance using the prescriptive path outlined in 140.7 / 170.2(e)6 or 141.0(b)2L / 180.2(b)4Bv for alterations.

My Project Consists of:

01	02		
☒ New Lighting System	Must Comply with Allowances from 140.7 / 170.2(e)6		
☐ Altered Lighting System	Is your alteration increasing the connected lighting load (Watts)?	○ Yes	○ No
03	04	05	
% of Existing Luminaires Being Altered[1]	Sum Total of Luminaires Being Added or Altered	Calculation Method	
☐ < 10% ☐ >= 10% and < 50% ☐ >= 50%			

Please proceed to Table F. Outdoor Lighting Fixture Schedule to define the project's luminaires.

[1] FOOTNOTES: % of Existing Luminaires Being Altered = (Sum Total of Luminaires Being Added or Altered / Existing Luminaires within the Scope of the Permit Application) x 100.

STATE OF CALIFORNIA
Outdoor Lighting CALIFORNIA ENERGY COMMISSION

CERTIFICATE OF COMPLIANCE	NRCC-LTO-E
Project Name: JB Pastor Building	**Report Page:** (Page 2 of 8)
	Date Prepared: 2025-01-17T17:16:11-05:00

C. COMPLIANCE RESULTS

Results in this table are automatically calculated from data input and calculations in Tables F through N. Note: If any cell on this table says "COMPLIES with Exceptional Conditions" refer to Table D. Exceptional Conditions for guidance or see applicable Table referenced below.

Calculations of Total Allowed Lighting Power (Watts) 140.7 / 170.2(e)6 or 141.0(b)2L / 180.2(b)4Bv										Compliance Results			
01		02		03		04		05		06		07	08	09
General Hardscape Allowance 140.7(d)1 / 170.2(e)6 (See Table I)	+	Per Application 140.7(d)2 / 170.2(e)6 (See Table J)	+	Sales Frontage 140.7(d)2 (See Table K)	+	Ornamental 140.7(d)2 / 170.2(e)6 (See Table L)	+	Per Specific Area 140.7(d)2 / 170.2(e)6 (See Table M)	OR	Existing Power Allowance 141.0(b)2L / 180.2(b)4Bv (See Table N)	=	**Total Allowed** (Watts)	≥	**Total Actual** (Watts)	**07 must be >= 08**
461.04	+	83.5	+	—	+	—	+	—	OR	—	=	544.54	≥	336	COMPLIES
Shielding Compliance (See Table G for Details)															N/A
Controls Compliance (See Table H for Details)															COMPLIES

D. EXCEPTIONAL CONDITIONS

This table is auto-filled with uneditable comments because of selections made or data entered in tables throughout the form.

E. ADDITIONAL REMARKS

This table includes remarks made by the permit applicant to the Authority Having Jurisdiction.

STATE OF CALIFORNIA
Outdoor Lighting CALIFORNIA ENERGY COMMISSION

CERTIFICATE OF COMPLIANCE	NRCC-LTO-E
Project Name: JB Pastor Building	**Report Page:** (Page 3 of 8)
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F. OUTDOOR LIGHTING FIXTURE SCHEDULE

For new or altered lighting systems demonstrating compliance with 140.7 / 170.2(e)6 all new luminaires being installed and any existing luminaires remaining or being moved within the spaces covered by the permit application are included in the Table below. For altered lighting systems using the Existing Power method per 141.0(b)2L only new luminaires being installed and replacement luminaires being installed as part of the project scope are included (ie, existing luminaires remaining or existing luminaires being moved are not included). Outdoor lighting attached to multifamily buildings and controlled from the inside of a dwelling unit are included in Table H, and are not included here. All other multifamily outdoor lighting is included here.

Designed Wattage:

01	02		03	04	05	06	07	08	09	10	
Name or Item Tag	Complete Luminaire Description		Watts per luminaire[1, 2]	How is Wattage determined	Total Number Luminaires[2]	Luminaire Status[3]	Excluded per 140.7(a) / 170.2(e)6A	Design Watts	Cutoff Req. > 6,200 initial lumen output 130.2(b) / 160.5(c)1[4]	Field Inspector	
										Pass	Fail
XA	3" Dia. Recessed LED Down Light Fixture	☐ Linear	9.5	Mfr. Spec	24	New	☐	228	NA: < 6200 lumens	☐	☐
XB	40"x12.5"x16.125"D LED Wall Mounted Pendant Light Fixture	☐ Linear	12	Mfr. Spec	6	New	☐	72	NA: < 6200 lumens	☐	☐
XC	12"Hx6.5"Wx6.5"D LED Wall Sconce Light Fixture	☐ Linear	6	Mfr. Spec	6	New	☐	36	NA: < 6200 lumens	☐	☐
							Total Design Watts:	336			

* NOTES: Selections with a * require a note in the space below explaining how compliance is achieved.
EX: Luminaire is lighting a statue; EXCEPTION 2 to 130.2(b)

[1] FOOTNOTES: Authority Having Jurisdiction may ask for Luminaire cut sheets to confirm wattage used for compliance per 130.0(c) / 160.5(b)
[2] For linear luminaires, wattage should be indicated as W/lf instead of Watts/luminaire. Total linear feet should be indicated in column 05 instead of number of luminaires.
[3] Select "New" for new luminaires in a new outdoor lighting project, or for added luminaires in an alteration. Select "Altered" for replacement luminaires in an alteration. Select "Existing to Remain" for existing luminaires within the project scope that are not being altered and are remaining. Select "Existing Reinstalled" for existing luminaires which are being removed and reinstalled as part of the project scope.
[4] Compliance with mandatory shielding requirements is required for luminaires with initial lumen output >= 6,200 unless exempted by 130.2(b)/ 160.5(c)

G. SHIELDING REQUIREMENTS (BUG)

This section does not apply to this project.

STATE OF CALIFORNIA
Outdoor Lighting CALIFORNIA ENERGY COMMISSION

CERTIFICATE OF COMPLIANCE	NRCC-LTO-E
Project Name: JB Pastor Building	**Report Page:** (Page 4 of 8)
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H. OUTDOOR LIGHTING CONTROLS

This table demonstrates compliance with controls requirements for all new or altered luminaires installed as part of the permit application. For alteration projects, luminaires which are existing to remain (ie untouched) and luminaires which are removed and reinstalled (wiring only) do not need to be included in this table even if they are within the spaces covered by the permit application.
Outdoor lighting for nonresidential buildings, parking garages and common service areas in multifamily buildings must be documented separately from outdoor lighting attached to multifamily buildings and controlled from the inside of a dwelling unit

Mandatory Controls for Nonresidential Occupancies, Parking Garages & Common Areas in Multifamily Buildings

01	02	03	04	05	
Area Description	Shut-Off 130.2(c)1 / 160.5(c)	Auto-Schedule 130.2(c)2 / 160.5(c)	Motion Sensor 130.2(c)3 / 160.5(c)	Field Inspector	
				Pass	Fail
General Hardscape: "XA"	Astronomical Timer	Provided	NA: Each Luminaire <= 40 Watts	☐	☐
General Hardscape: "XB"	Astronomical Timer	Provided	NA: Each Luminaire <= 40 Watts	☐	☐
General Hardscape: "XC"	Astronomical Timer	Provided	NA: Each Luminaire <= 40 Watts	☐	☐

[1] FOOTNOTE: Text has been abbreviated, please refer to Table 160.5-A to confirm compliance with the specific light source technologies listed.
[2] Authority having jurisdiction may ask for cutsheets or other documentation to confirm compliance of light source.
[3] Recessed luminaires marked for use in fire-rated installations, and recessed luminaires installed in non-insulated ceilings are excepted from ii and iii.

STATE OF CALIFORNIA
Outdoor Lighting CALIFORNIA ENERGY COMMISSION

CERTIFICATE OF COMPLIANCE	NRCC-LTO-E
Project Name: JB Pastor Building	**Report Page:** (Page 5 of 8)
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I. LIGHTING POWER ALLOWANCE (per 140.7 / 170.2(e))

This table includes areas using allowance calculations per 140.7 / 170.2(e). General Hardscape Allowance is per Table 140.7-A/Table 170.2-R while "Use it or lose it" Allowances are per Table 140.7-B /Table 170.2-S. Indicate which allowances are being used to expand sections for user input. Luminaires that qualify for one of the "Use it or lose it" allowances shall not qualify for another "Use it or lose it" allowance.
Outdoor lighting attached to multifamily buildings and controlled from the inside of a dwelling unit are included in Table H, and are not included here. All other multifamily outdoor lighting is included here.

	01				
	"Use it or lose it" Allowance (select all that apply) (select all that apply)				
☒ General Hardscape Allowance Table I (below)	☒ Per Application Table J	☐ Sales Frontage Table K	☐ Ornamental Table L	☐ Per Specific Area Table M	

Calculated General Hardscape Lighting Power Allowance per Table 140.7-A for Nonresidential & Hotel/Motel

02	03	04	05	06	07	08	09
Area Description	Area Wattage Allowance (AWA)			Linear Wattage Allowance (LWA)			Total General AWA + LWA (Watts)
	Illuminated Area (ft²)	Allowed Density (W/ft²)	Area Allowance (Watts)	Perimeter Length (lf)	Allowed Density (W/lf)	Linear Allowance (Watts)	
General Hardscape	5678	0.021	119.24	459	0.2	91.8	211.04
Initial Wattage Allowance for Entire Site (Watts):							250
Instances of Initial Wattage Allowance (LZ 0 only)[1]							
Total General Hardscape Allowance (Watts):							461.04

STATE OF CALIFORNIA
Outdoor Lighting CALIFORNIA ENERGY COMMISSION

CERTIFICATE OF COMPLIANCE	NRCC-LTO-E
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J. LIGHTING ALLOWANCE: PER APPLICATION

This table includes areas using the wattage allowance per application from Table 140.7-B / Table 170.2-S.

01	02	03	04	05	06	07	08	09	10
Area Description	Application per Table 140.7-B[1]	CALCULATED ALLOWANCE (Watts)			DESIGN WATTS				Additional Allowance (Watts)
		# of Locations	Allowance per Location[2]	Extra Allowance (Watts)	Luminaire Name or Item Tag	Watts per Luminaire	# of Luminaires	Design Watts	
Building Entrances	Building Entrance/Exit	7	19	133	XA	9.5	5	47.5	83.5
					XB	12	3	36	
					Total Design Watts for this Area:			83.5	
					Total Allowance (Watts) All Areas:			83.5	

[1] FOOTNOTES: Primary entrance applications are only available for senior care facilities, healthcare facilities, police stations, hospitals, fire stations, and emergency vehicle facilities.
[2] The Allowance per Location for ATMs is 100W for the first ATM and 35W for each additional per Table 140.7-B /Table 170.2-S.
[3] For luminaires indicated in Table F as linear, wattage in column 07 is W/lf instead of Watts/luminaire. Total linear feet should be indicated in column 08 instead of number of luminaires.

K. LIGHTING ALLOWANCE: SALES FRONTAGE

This section does not apply to this project.

L. LIGHTING ALLOWANCE: ORNAMENTAL

This section does not apply to this project.

M. LIGHTING ALLOWANCE: PER SPECIFIC AREA

This section does not apply to this project.

STATE OF CALIFORNIA
Outdoor Lighting CALIFORNIA ENERGY COMMISSION

CERTIFICATE OF COMPLIANCE	NRCC-LTO-E
Project Name: JB Pastor Building	**Report Page:** (Page 7 of 8)
	Date Prepared: 2025-01-17T17:16:11-05:00

N. EXISTING CONDITIONS POWER ALLOWANCE (alterations only)

This section does not apply to this project.

O. DECLARATION OF REQUIRED CERTIFICATES OF INSTALLATION

Selections have been made based on information provided in this document. If any selection has been changed by permit applicant, an explanation should be included in Table E. Additional Remarks. These documents must be provided to the building inspector during construction and can be found online

Form/Title
NRCI-LTO-E - Must be submitted for all buildings

P. DECLARATION OF REQUIRED CERTIFICATES OF ACCEPTANCE

Selections have been made based on information provided in this document. If any selection has been changed by permit applicant, an explanation should be included in Table E. Additional Remarks. These documents must be provided to the building inspector during construction and must be completed through an Acceptance Test Technician Certification Provider (ATTCP). For more information visit: http://www.energy.ca.gov/title24/attcp/providers.html

Form/Title	Systems/Spaces To Be Field Verified
NRCA-LTO-02-A - Must be submitted for all outdoor lighting controls except for alterations where controls are added to <= 20 luminaires.	General Hardscape: "XA"; General Hardscape: "XB"; General Hardscape: "XC"

STATE OF CALIFORNIA
Outdoor Lighting CALIFORNIA ENERGY COMMISSION

CERTIFICATE OF COMPLIANCE	NRCC-LTO-E
Project Name: JB Pastor Building	**Report Page:** (Page 8 of 8)
Project Address: Dolores, 2nd. SE of 7th., Carmel, CA. 93921	**Date Prepared:** 2025-01-17T17:16:11-05:00

DOCUMENTATION AUTHOR'S DECLARATION STATEMENT

I certify that this Certificate of Compliance documentation is accurate and complete.

Documentation Author Name: Eldridge O. Bell	Documentation Author Signature: Eldridge O. Bell
Company: Aurum Consulting Engineers, Monterey	Signature Date: 12/18/2024
Address: 404 W. Franklin St., Suite 100	CEA/ HERS Certification Identification (If applicable):
City/State/Zip: Monterey, CA. 93940	Phone: 831-646-3330

RESPONSIBLE PERSON'S DECLARATION STATEMENT

I certify the following under penalty of perjury, under the laws of the State of California:

1. The information provided on this Certificate of Compliance is true and correct.
2. I am eligible under Division 3 of the Business and Professions Code to accept responsibility for the building design or system design identified on this Certificate of Compliance (responsible designer)
3. The energy features and performance specifications, materials, components, and manufactured devices for the building design or system design identified on this Certificate of Compliance conform to the requirements of Title 24, Part 1 and Part 6 of the California Code of Regulations.
4. The building design features or system design features identified on this Certificate of Compliance are consistent with the information provided on other applicable compliance documents, worksheets, calculations, plans and specifications submitted to the enforcement agency for approval with this building permit application.
5. I will ensure that a completed signed copy of this Certificate of Compliance shall be made available with the building permit(s) issued for the building, and made available to the enforcement agency for all applicable inspections. I understand that a completed signed copy of this Certificate of Compliance is required to be included with the documentation the builder provides to the building owner at occupancy.

Responsible Designer Name: Eldridge O. Bell	Responsible Designer Signature: Eldridge O. Bell
Company: Aurum Consulting Engineers, Monterey	Date Signed: 12/18/2024
Address: 404 W. Franklin St., Suite 100	License: E17789 Exp: 06/30/26
City/State/Zip: Monterey, CA. 93940	Phone: 831-646-3330

Outdoor Lighting Mandatory Measures:

110.9 OUTDOOR LIGHTING CONTROLS AND COMPONENTS
ALL LIGHTING CONTROL DEVICES AND SYSTEMS, AND ALL LIGHT SOURCES SHALL MEET THE APPLICABLE REQUIREMENTS OF 110.9.

130.0 GENERAL LUMINAIRE REQUIREMENTS
ALL LUMINAIRES SHALL BE FACTORY-LABELLED PER 130.0(c).
ENERGY MANAGEMENT CONTROL SYSTEMS (EMCS) SHALL MEET REQUIREMENTS OF 130.0(e).

130.2(c) CONTROLS FOR OUTDOOR LIGHTING
ALL OUTDOOR LIGHTING SHALL BE INDEPENDENTLY CONTROLLED FROM OTHER ELECTRICAL LOADS AND SHALL HAVE THE FOLLOWING FEATURES:

1. AUTOMATICALLY TURNS OFF OUTDOOR LIGHTING WHEN DAYLIGHT IS AVAILABLE
2. AUTOMATIC SCHEDULING CONTROLS
   A. AUTOMATIC SCHEDULING CONTROLS SHALL BE INSTALLED FOR ALL OUTDOOR LIGHTING.
   B. CAPABLE OF REDUCING LIGHTING POWER AT LEAST 50% AND NO MORE THAN 90% AND SEPARATELY CAPABLE OF TURNING LIGHTING OFF DURING UNOCCUPIED PERIODS
   C. THAT ALLOW SCHEDULING OF AT LEAST TWO NIGHTTIME PERIODS WITH INDEPENDENT LIGHTING LEVELS (MAY INCLUDE OVERRIDE FOR NO MORE THAN 2 HOURS)

JUN A. SILLANO, AIA
IDG
ARCHITECTURE + PLANNING + INTERIOR DESIGN
721 LIGHTHOUSE AVE
PACIFIC GROVE CA.
93950
PH (831) 646-1261
FAX (831) 646-1290
EMAIL idg@idg-inc.net
WEB idg-inc.net

DISCLAIMER:

STAMPS:

REGISTERED PROFESSIONAL ENGINEER ELDRIDGE O. BELL No. E17789 EXP. 6/30/26 ELECTRICAL STATE OF CALIFORNIA

AURUM CONSULTING ENGINEERS MONTEREY BAY, INC.
Project No. 24-510.00
404 W. Franklin St. ● Suite 100 ● Monterey, CA 93940
T 831.646.3330 ● F 831.646.3335 ● www.acemb.com

PROJECT/CLIENT:

JB PASTOR BUILDING

PROJECT ADDRESS:

DOLORES, 2ND SE OF 7TH CARMEL, CA 93921

APN: 010-145-012 022, & 023

CALIFORNIA ENERGY COMPLIANCE TITLE 24 (BUILDING INTERIOR / EXTERIOR)

DATE: NOVEMBER 21, 2024
P.C. SUBMITTAL

REVISIONS:

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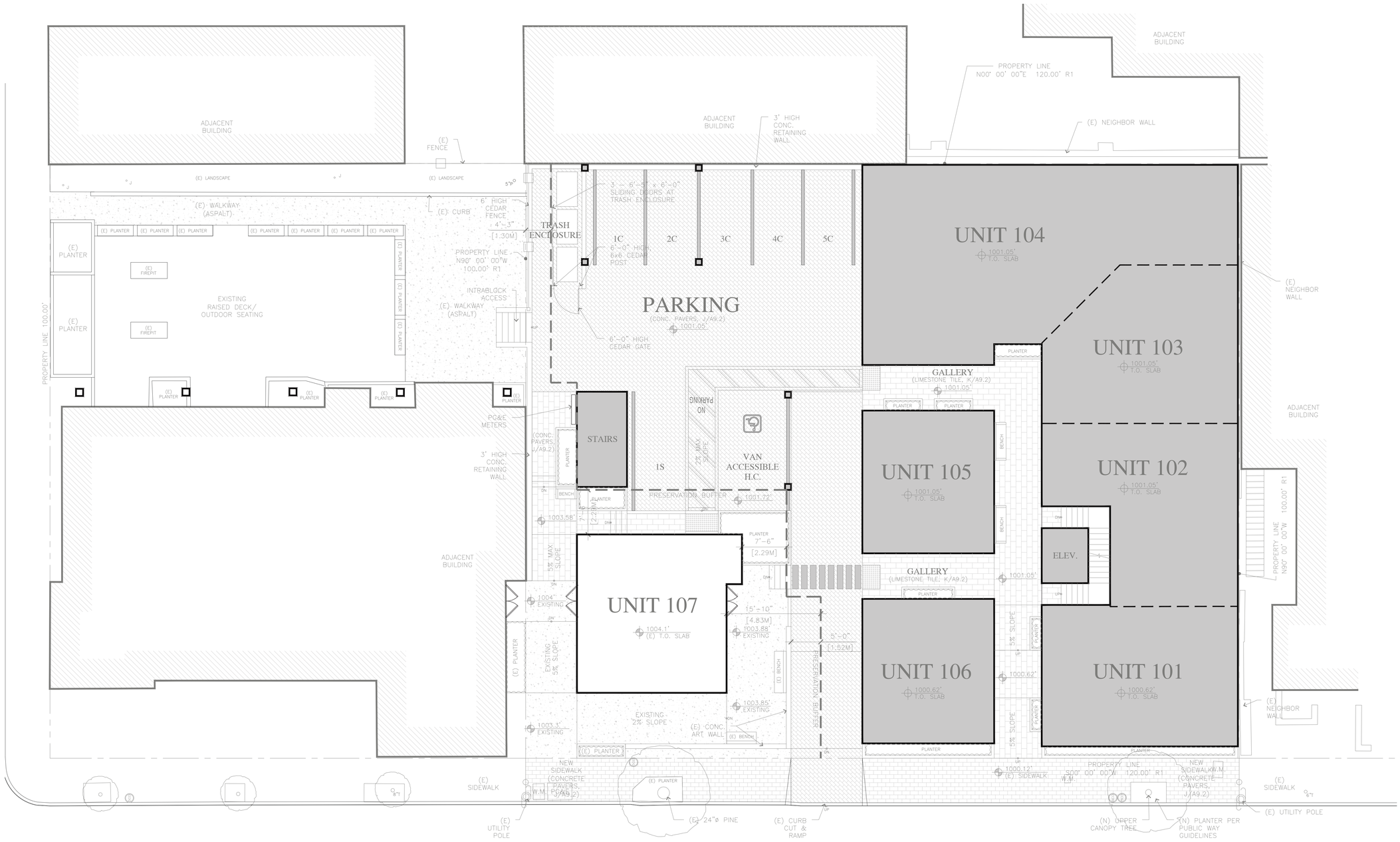
SHEET NO.

E0.2



8' 0' 2' 4' 6' 8'

SCALE: 1/8"=1'-0"

NORTH

JUN A. SILLANO, AIA

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JB PASTOR BUILDING

PROJECT ADDRESS:

DOLORES, 2ND SE OF 7TH
CARMEL, CA
93921

APN: 010-145-012
022, & 023

ELECTRICAL SITE PLAN

DATE: NOVEMBER 21, 2024
P.C. SUBMITTAL

REVISIONS:

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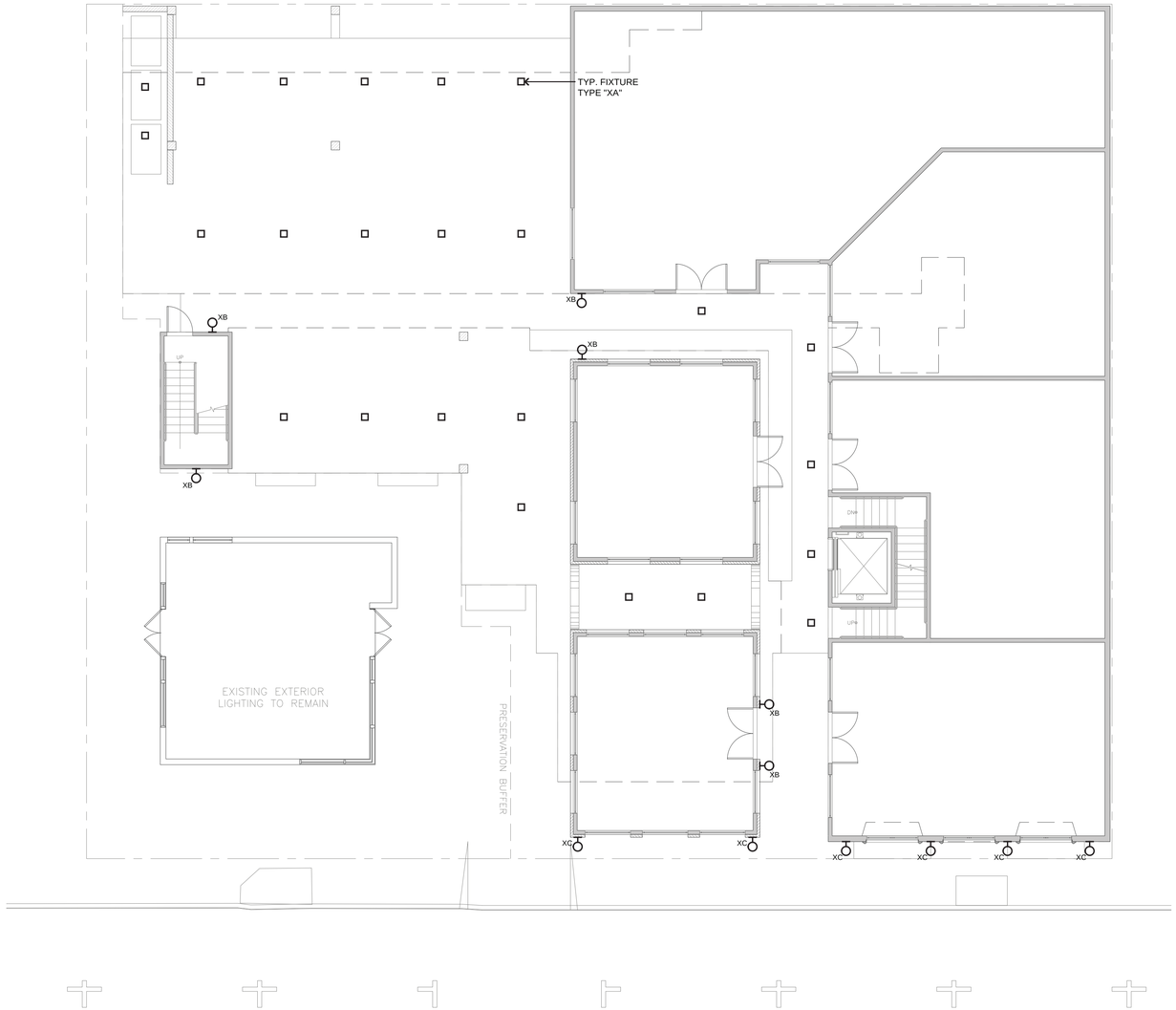
SHEET NO.

E2.1



SCALE: 1/8"=1'-0"

NORTH

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PROJECT/CLIENT:

JB PASTOR
BUILDING

PROJECT ADDRESS:

DOLORES, 2ND SE
OF 7TH
CARMEL, CA
93921

APN: 010-145-012
022, & 023

LIGHTING PLAN

DATE: NOVEMBER 21, 2024
P.C. SUBMITTAL

REVISIONS:

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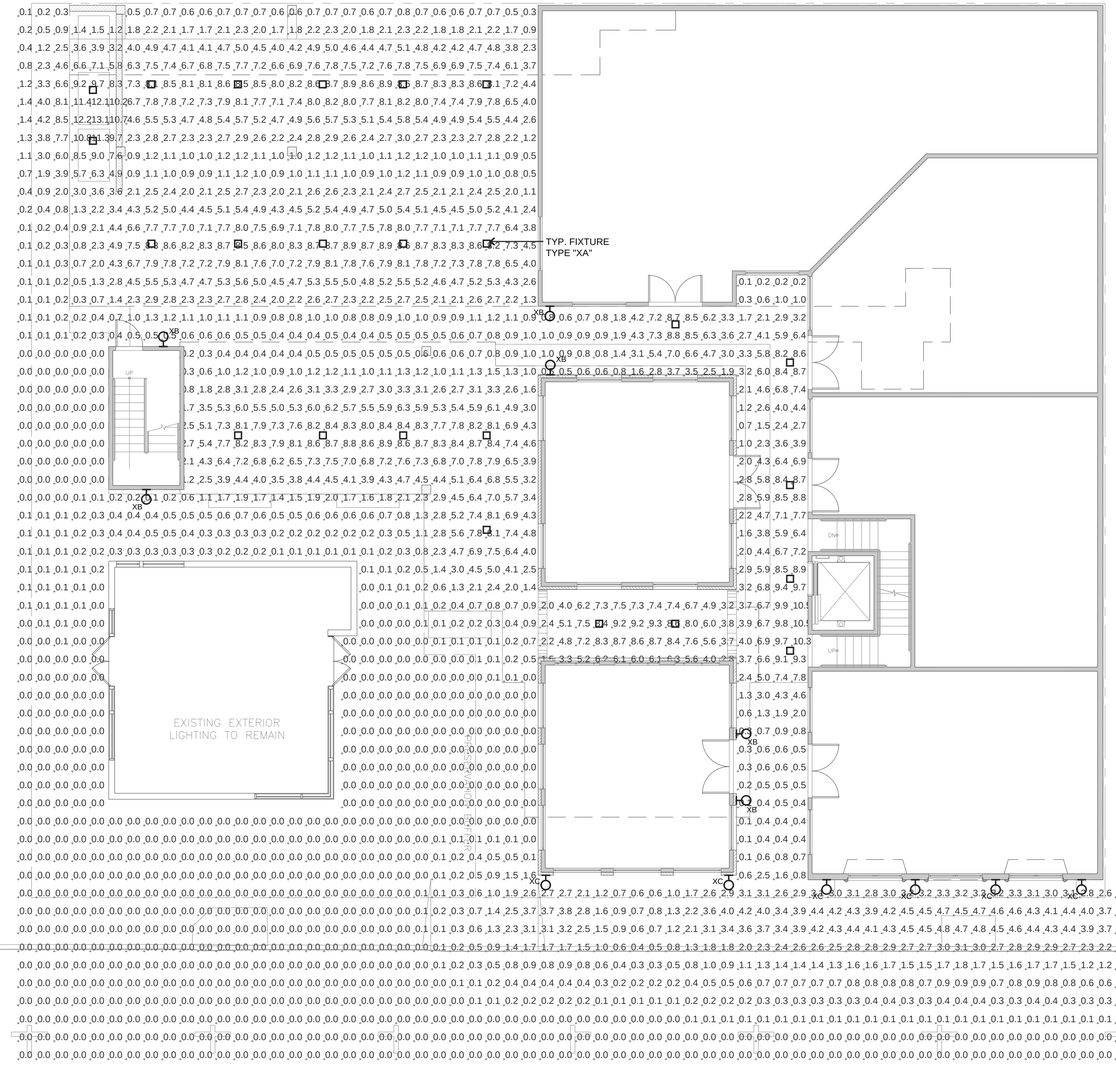
SHEET NO.

E5.1

Schedule									
Symbol	Label	QTY	Manufacturer	Catalog	Description	Number Lamps	Lamp Output	LLF	Input Power
□	XA	24	COOPER LIGHTING SOLUTIONS - HALO (FORMERLY EATON)	HL36A10WFL930ED010T L3RMW	HL3 10W Round, Wide Flood optic with conical trim, No Lens, Matte White	1	843	0.89	9.5
♀	XB	6	EVERGREEN LIGHTING	POM2211C24-12LED-TBR-HO-EMR-27K	LED LANTERN SCROLL ARM MOUNT UNIT. HONEY ONYX ACRYLIC LENS. OPEN BOTTOM 12 WATTS	1	840	0.89	12
♀	XC	6	EVERGREEN LIGHTING	2100-6LED	ARCHITECTURAL BARCELONA SCONCE WITH FORWARD THROW DISTRIBUTION WITH CLEAR FROSTED ACRYLIC LENS MEETS THE 'NIGHTTIME FRIENDLY' CRITERIA	1	600	0.89	6

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #1	+	2.2 fc	13.1 fc	0.0 fc	N/A	N/A



8' 0' 2' 4' 6' 8'
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93921

APN: 010-145-012
022, & 023

PHOTOMETRIC STUDY

DATE: NOVEMBER 21, 2024
P.C. SUBMITTAL

REVISIONS:

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SHEET NO.

E5.2