

Mandernach Residence

New Second Story Addition
Carmel, California

APN: 009-145-011



FRONT ELEVATION



NORTHWEST ELEVATION



SOUTHWEST ELEVATION



SOUTHEAST ELEVATION

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HEIGHT LIMITS AND SETBACKS

HEIGHT	MAX. ALLOWED	EXISTING	PROPOSED
MAIN DWELLING			
ONE STORY RIDGE HEIGHT	18'	13'-1"	14'-4"
TWO STORY RIDGE HEIGHT	24'	N/A	22'-7"
ONE STORY PLATES	12'	10'-0"	10'-0"
TWO STORY PLATES	18'	N/A	18'-0"

GARAGE	MAX. ALLOWED	EXISTING	PROPOSED
ONE STORY RIDGE HEIGHT	18'	10'-5"	N/A
ONE STORY PLATES	12'	7'-8"	N/A

SETBACKS	MIN. ALLOWED	EXISTING	PROPOSED
MAIN DWELLING			
NORTH SIDE	3'	11'-8"	11'-8"
SOUTH SIDE	3'	19'-11"	19'-11"
WEST SIDE	15'	14'-7"	14'-7"
EAST SIDE	3'/15'	27'-2"	27'-2"

GARAGE	MIN. ALLOWED	EXISTING	PROPOSED
NORTH SIDE	3'	2'-10"	2'-10"
SOUTH SIDE	3'	36'-9"	36'-9"
WEST SIDE	15'	76'-6"	76'-6"
EAST SIDE	3'	3'-1"	3'-1"

PROJECT DATA

FLOOR AREA

FAR ALLOWED	EXISTING	PROPOSED	
	2,460.0 SQ.FT.		41.0%
PROPOSED			
MAIN LEVEL	1,309.7 SQ.FT.	1,309.7 SQ.FT.	
UPPER LEVEL	0.0 SQ.FT.	749.6 SQ.FT.	
GARAGE (DETACHED)	400.0 SQ.FT.	400.0 SQ.FT.	
TOTAL GROSS FLOOR AREA:	1,709.7 SQ.FT.	2,459.3 SQ.FT.	40.9%

SITE COVERAGE

LAND COVERAGE ALLOWED	EXISTING	PROPOSED	
	541.2 SQ.FT.		22.0% of F.A.R.
BONUS SITE COVERAGE	240.0 SQ.FT.		4.0% of SITE
TOTAL COVERAGE ALLOWED	781.2 SQ.FT.		13.0 %

PERVIOUS COVERAGE	EXISTING	PROPOSED	
DRIVEWAY	920.2 SQ.FT.	446.6 SQ.FT.	
ENTRY WALKWAY	79.4 SQ.FT.	22.8 SQ.FT.	
SOUTH DECK	244.2 SQ.FT.	244.2 SQ.FT.	
SOUTH WALKWAY	51.0 SQ.FT.	0.0 SQ.FT.	
MAIN PATIO-WALKWAY	750.4 SQ.FT.	0.0 Q.FT.	
TOTAL PERVIOUS COVERAGE	2,045.2 SQ.FT.	713.6 SQ.FT.	11.9 %

IMPERVIOUS COVERAGE	EXISTING	PROPOSED	
ENTRY LANDING	40.5 SQ.FT.	40.5 SQ.FT.	
STOOPS	14.6 SQ.FT.	14.6 SQ.FT.	
FIRE PIT	12.5 SQ.FT.	12.5 Q.FT.	
TOTAL IMPERVIOUS COVERAGE	67.6 SQ.FT.	67.6 SQ.FT.	1.1 %
TOTAL GROSS COVERAGE	2,112.8 SQ.FT.	781.2 SQ.FT.	13.0 %

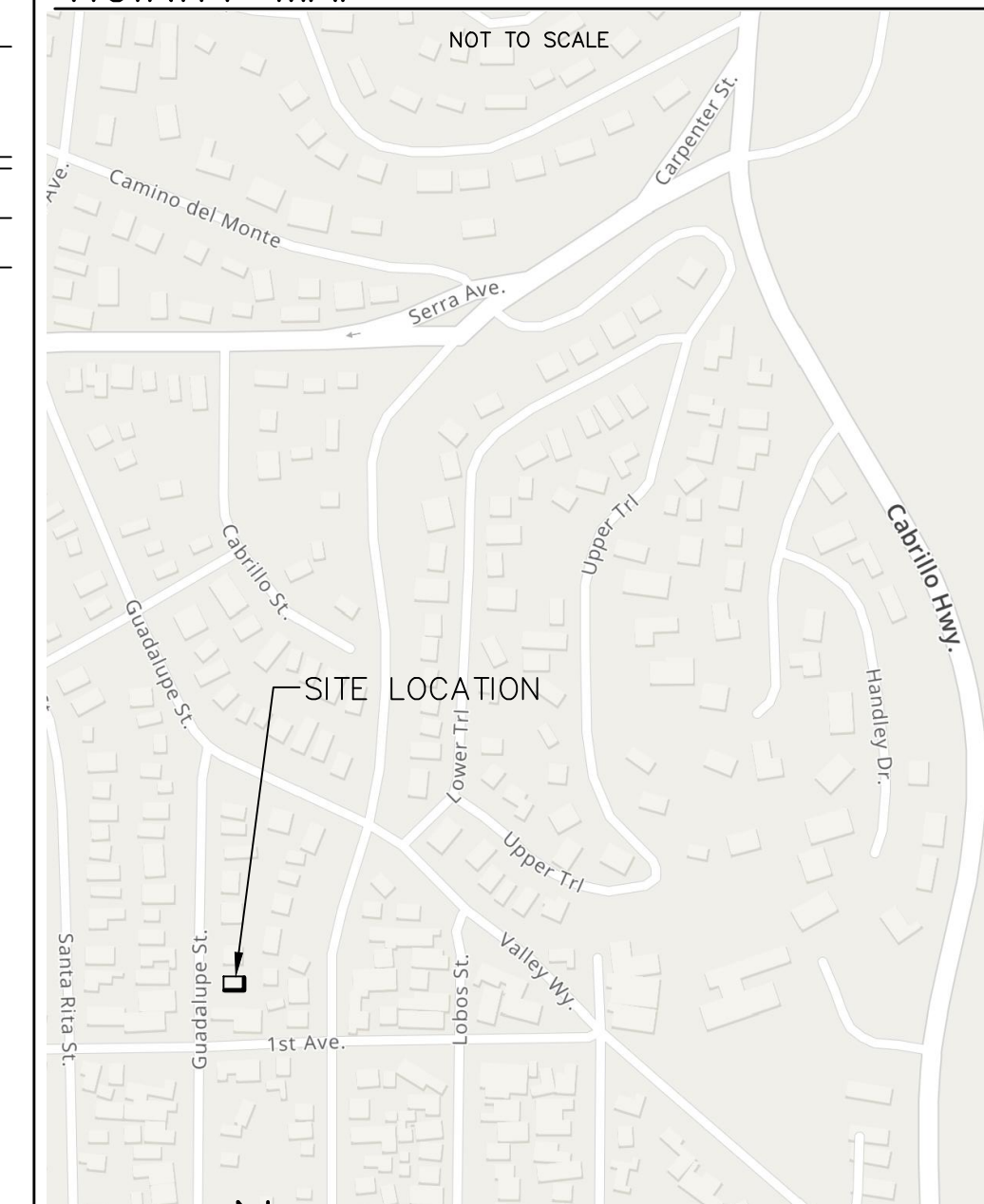
PROJECT INFORMATION

LOT SIZE	(0.14 Acres)	6,000.0 S.F.
A.P.N.	009-145-011-000	
LEGAL DESCRIPTION	Block: 3, Lot: 4 & NORTH HALF OF 6	
ZONING	R-1	
SETBACKS (MIN. ALLOWED)	FRONT: 15FT, SIDE 3FT. REAR 3FT./15FT.	
BLDG. OCCUPANCY	R-3/U	
CONST. TYPE	V-B	
STORIES: 1	PLATE HT. 12FT. - RIDGE HT. 18FT.	
STORIES: 2	PLATE HT. 18FT. - RIDGE HT. 24FT.	

SCOPE OF WORK

1. NEW SECOND STORY ADDITION & NEW ROOF OVER THE EXISTING LEVEL TO AN EXISTING ONE-STORY SFD
2. NO TREE REMOVAL & GRADING
3. NO CHANGES ARE PROPOSED TO THE EXISTING ONE-CAR DETACHED GARAGE

VICINITY MAP



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REVISIONS:

PROJECT:
MANDERNACH RESIDENCE
GUADALUPE, 2 NE OF 1ST, CARMEL, CA
BLOCK: 3, LOT: 4 & N1/2 OF 6
APN: 009-145-011
PROJECT NO.
24-01

ISSUE:
04-01-24
09-27-24
10-04-24

DRAWN BY:
C.C.

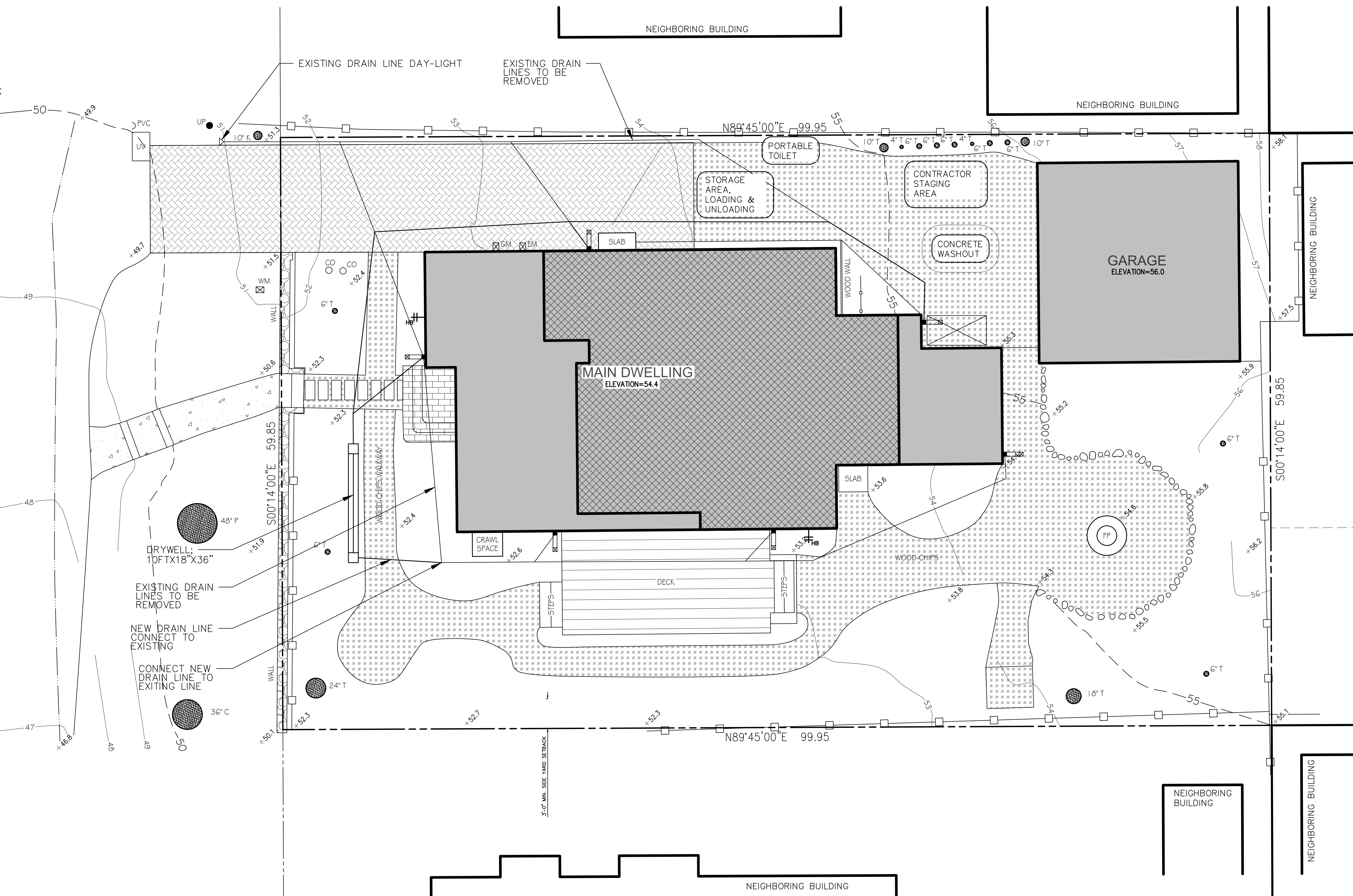
COVER SHEET

SCALE: 1/4" = 1'

T1.0

GUADALUPE STREET
(A 60 FOOT WIDE CITY STREET)

PROJECT BENCHMARK
MAG NAIL & DISC
ELEV=50.0

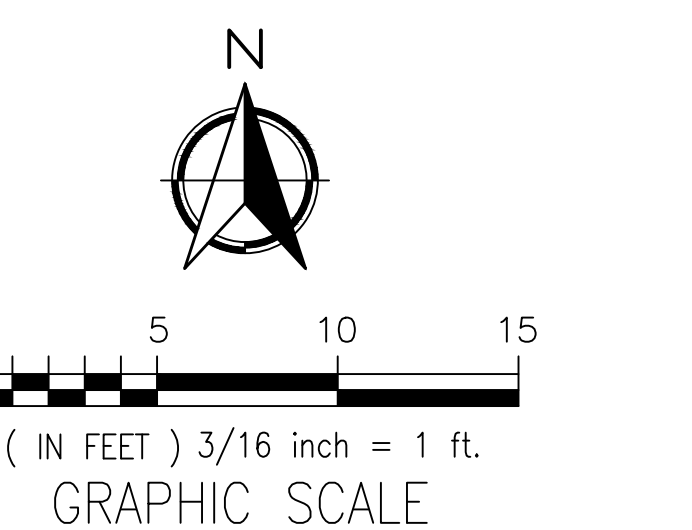


LEGEND

[Solid Grey Box]	EXISTING STRUCTURE
[Cross-hatched Box]	NEW SECOND STORY ADDITION
[Wood-grain Box]	WOOD-CHIPS
[Dotted Box]	EXISTING WOOD DECK
[Horizontal Lines Box]	EXISTING PAVERS; SET ON SAND
[Dashed Line]	PROPERTY LINE
[Solid Line]	EXISTING DRAIN LINES
[Dashed Line]	NEW DRAIN LINES
[Vertical Line]	WOOD FENCES
[X-hatched Box]	EXISTING TRASH AREA
[Wavy Line]	WATER DISPERSION OULET, SEE DET A1.1/5
[Circle with Crosshair]	LIGHT FIXTURE, SEE SHEET 6 FOR SPEC'S
[Circle with H]	HOSE BIB
[Circle]	EXISTING TREE
[Square with X]	UTILITIES: GAS, ELECTRIC, WATER
[Rectangle]	DOWN SPOUTS
[Wavy Line]	FIBER ROLL

CUT & FILL

CUT:	0.0 CU.FT.
FILL:	0.0 CU.FT.
NO EXPORT, NO IMPORT	



STORM WATER MANAGEMENT NOTE

THE FOLLOWING STANDARD BMP'S SHALL BE IMPLEMENTED IN ACCORDANCE WITH THE MONTEREY COUNTY DESIGN STANDARDS AND SPECIFICATIONS, THE LATEST REVISION CALIFORNIA BUILDING CODE (CBC), AND THE PROJECT GEOTECHNICAL INVESTIGATION.

- MINIMAL USE OF OIL-BASED PAINTS
- STORE SOLVENTS AND PAINT IN ORIGINAL CONTAINER OR OTHER FIRE MARSHAL APPROVED CONTAINER.
- SPENT SOLVENT RE HAZARDOUS WASTE. STORE SPENT SOLVENTS IN APPROVED CONTAINER. REUSE SOLVENT AS MUCH AS POSSIBLE AND USE PAINT AS MUCH AS POSSIBLE RATHER THAN DISPOSING OF THEM. DISPOSE OF SPENT SOLVENTS AND UNUSABLE PAINTS AS MUCH AS HAZARDOUS WASTE.
- NEVER CLEAN PAINT EQUIPMENT WHERE, SOLVENTS, PAINT OR CONTAMINATED RISE WATER CAN ENTER THE STORM DRAIN SYSTEM.

PLASTERING/STUCCO/SITE-MIXED CONCRETE:

- STORE PLASTER AND CEMENT IN COVERED AREAS AND KEEP THEM OUT OF THE WIND. LET THE PRODUCT CURE AND DISPOSE OF AS REGULAR REUSE.
- CONSERVE MATERIALS. DON'T MIX MORE PRODUCT THAN CAN BE USED BEFORE IT HARDENS.
- IF THERE IS LEFT OVER PRODUCT, PLACE THE EXCESS IN AN EARTHEN DEPRESSION.
- ALL RINSE WATER IS TO BE PLACED IN AN EARTHEN DEPRESSION CAPABLE OF HOLDING THE RINSE WATER AS WELL AS ANY RAIN WATER THAT WOULD FALL/RUN INTO THE DEPRESSION.

NOTES:

- CONTRACTOR'S STAGING AREA DESIGNATED OR FOLLOWING STORM WATER BEST MANAGEMENT PRACTICES: SCHEDULING, WATER CONSERVATION PRACTICES, VEHICLE & EQUIPMENT CLEANING, SOLID WASTE MANAGEMENT, HAZARDOUS WASTE MANAGEMENT, CONCRETE WASTE MANAGEMENT, SANITARY WASTE MANAGEMENT.
- REFER TO THE CASQA BMP HANDBOOK FOR BMP FACT SHEETS.

GENERAL NOTES

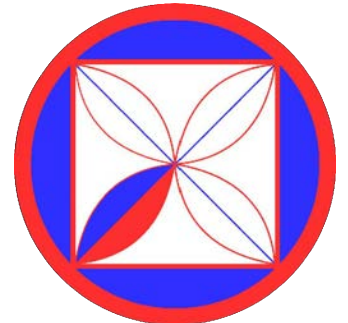
- ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THESE PLANS. IN ADDITION ALL WORK SHALL ALSO CONFORM WITH THE LATEST REVISION OF THE MONTEREY COUNTY DESIGN STANDARDS AND SPECIFICATIONS, THE LATEST REVISION CALIFORNIA BUILDING CODE (CBC), AND THE PROJECT GEOTECHNICAL INVESTIGATION.
- THE LOCATIONS AND SIZE OF UNDERGROUND UTILITIES AND OR OTHER STRUCTURES SHOWN HEREON WERE OBTAINED FROM A FIELD SURVEY AND OR FROM RECORD INFORMATION AS PROVIDED BY OTHERS. THE ENGINEER MAKES NO REPRESENTATION TO THE ACCURACY OF SIZE AND OR LOCATION OF ANY OF THE UTILITIES OR STRUCTURES SHOWN ON THESE PLANS NOR FOR THE EXISTENCE OF ANY OTHER BURIED OBJECTS OR UTILITIES WHICH MAY BE ENCOUNTERED THAT ARE NOT SHOWN ON THIS PLAN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE SIZE AND LOCATION OF EXISTING UNDERGROUND UTILITIES, SURFACE IMPROVEMENTS, AND OTHER STRUCTURES AND TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THEM FROM DAMAGE DURING CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING APPROPRIATE UTILITIES AND REQUESTING VERIFICATION OF SERVICE POINTS, FIELD VERIFICATION OF LOCATION, SIZE, DEPTH, ETC FOR ALL THEIR FACILITIES AND TO COORDINATE WORK SCHEDULES.
- CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH ANY CURRENTLY APPLICABLE SAFETY LAW OF ANY JURISDICTIONAL BODY. FOR INFORMATION REGARDING THIS PROVISION, THE CONTRACTOR IS DIRECTED TO CONTACT THE STATE OF CALIFORNIA, DIVISION OF OCCUPATIONAL SAFETY AND HEALTH. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL BARRICADES, SAFETY DEVICES, AND THE CONTROL OF TRAFFIC WITHIN THE CONSTRUCTION AREA. FOR ALL TRENCH EXCAVATION FIVE (5) FEET OR MORE IN DEPTH, THE CONTRACTOR SHALL OBTAIN A PERMIT FROM THE DIVISION OF OCCUPATIONAL SAFETY AND HEALTH. PRIOR TO BEGINNING ANY EXCAVATION, A COPY OF THIS PERMIT SHALL BE AVAILABLE AT THE CONSTRUCTION SITE AT ALL TIMES.
- THE CONTRACTOR SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR THE JOB SITE CONDITIONS AND SAFETY OF ALL PERSONS AND PROPERTY DURING THE COURSE OF CONSTRUCTION OF THE PROJECT. THE CONTRACTOR AGREES TO HOLD HARMLESS, INDEMNIFY AND DEFEND THE OWNER, THE ENGINEER, AND ALL DESIGN CONSULTANTS FROM ANY AND ALL LIABILITY, CLAIMS, LOSSES OR DAMAGES ARISING FROM THE PERFORMANCE OF THE WORK DESCRIBED HEREIN EXCEPT THOSE ARISING FROM THE SOLE NEGLIGENCE OF ANY OF THE PREVIOUSLY MENTIONED PEOPLE OR ENTITIES. THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.
- IN THE EVENT THAT THE CONTRACTOR FINDS ANY DISCREPANCIES, OMISSIONS, OR DEFICIENCIES IN THE PLANS, THE CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER IMMEDIATELY.
- ALL REVISIONS TO THESE PLANS MUST BE APPROVED BY THE OWNER AND ENGINEER PRIOR TO THEIR CONSTRUCTION, AND SHALL BE ACCURATELY SHOWN ON RECORD DRAWINGS PRIOR TO THE ACCEPTANCE OF THE WORK AS COMPLETE. ANY CHANGES TO OR DEVIATIONS FROM THE PLANS MADE WITHOUT AUTHORIZATION SHALL BE AT THE CONTRACTOR'S SOLE RISK AND SHALL ABSOLVE THE ENGINEER OF ANY AND ALL RESPONSIBILITY ASSOCIATED WITH THE CHANGE OR DEVIATION.
- THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO KEEP PUBLIC AND PRIVATE STREETS AND DRIVEWAYS FREE FROM DIRT AND DEBRIS. SHOULD ANY DIRT OR DEBRIS BE DEPOSITED IN THE PUBLIC RIGHT-OF-WAY OR ONTO PRIVATE DRIVEWAYS, THE CONTRACTOR SHALL REMOVE IT IMMEDIATELY.
- THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO PREVENT AIRBORNE DUST FROM BECOMING A NUISANCE TO NEIGHBORING PROPERTIES. DUST CONTROL MEASURES TO BE IMPLEMENTED INCLUDE BUT ARE NOT LIMITED TO THE FOLLOWING:
 - PROVIDE EQUIPMENT AND MANPOWER REQUIRED FOR WATERING ALL EXPOSED OR DISTURBED EARTH
 - COVER STOCKPILES OF DEBRIS, SOIL, OR OTHER MATERIALS WHICH MAY CONTRIBUTE TO AIRBORNE DUST.
 - KEEP CONSTRUCTION AREAS AND ADJACENT STREET FREE OF MUD AND DUST.
 - LANDSCAPE, SEED, OR COVER PORTIONS OF THE SITE AS SOON AS CONSTRUCTION IS COMPLETE.

EROSION CONTROL NOTES

- AT ALL TIMES THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO MINIMIZE SOIL EROSION AND PREVENT SEDIMENT LADEN RUN-OFF FROM ENTERING THE STORM DRAINAGE SYSTEM. ACCEPTABLE MEASURES MAY INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING: INSTALLATION OF BERMS, SWALES, SILTING BASINS, GRAVEL BAG BARRIERS, FIBER ROLLS, STABILIZED CONSTRUCTION ENTRANCES AND OR STABILIZING EXPOSED SLOPES.
- GRAVEL BAG BARRIERS**
- GRAVEL BAG BARRIERS SHALL BE INSTALLED AROUND EXISTING AND NEW STORM DRAIN INLETS AS REQUIRED TO PREVENT ANY SEDIMENT LADEN RUN-OFF FROM ENTERING THE STORM DRAINAGE SYSTEM.
 - GRAVEL BAG BARRIERS SHALL BE INSPECTED MONTHLY DURING DRY PERIODS, WEEKLY DURING THE RAINY SEASON AND IMMEDIATELY BEFORE AND AFTER EACH RAINFALL. REPAIRS SHALL BE MADE IMMEDIATELY TO ANY DAMAGED PORTION OF THE BARRIER. SEDIMENT AND DEBRIS SHOULD BE REMOVED FROM THE PERIMETER OF THE BARRIER.
 - GRAVEL BAGS SHALL BE INSTALLED ON ALL ON-SITE INLETS AND ALL INLETS IN THE PUBLIC RIGHT OF WAY WHICH ARE IMPACTED BY THE PROJECT.
- CONSTRUCTION ENTRANCE**
- CONSTRUCTION ENTRANCES SHALL BE INSTALLED AS REQUIRED AT THE ENTRANCE TO THE CONSTRUCTION SITE.
 - RUN-OFF FROM CONSTRUCTION ENTRANCES SHALL BE DIVERTED SO AS TO PREVENT SEDIMENT LADEN RUN-OFF FROM ENTERING DIRECTLY INTO THE STORM DRAINAGE SYSTEM.
 - ALL VEHICLE LEAVING THE PROJECT SITE SHOULD PASS OVER THE CONSTRUCTION ENTRANCE AND BE CLEARED OF DIRT, MUD, OR ANY DEBRIS BEFORE ENTERING THE PUBLIC RIGHT-OF-WAY.
 - ANY DIRT, MUD, OR DEBRIS DEPOSITED IN THE PUBLIC RIGHT AWAY FROM THE CONSTRUCTION SITE SHOULD BE CLEANED IMMEDIATELY.
 - THE CONSTRUCTION ENTRANCE SHOULD BE INSPECTED AND MAINTAINED

GRADING AND DRAINAGE NOTES

- ALL SURFACE DRAINAGE SHALL MAINTAIN 2% SLOPE MINIMUM. ALL EXISTING STORM DRAIN LINES SHALL HAVE A MINIMUM OF 12" COVER. DURING WINTER OPERATIONS (BETWEEN OCTOBER 15 AND APRIL 15) **THE FOLLOWING MEASURES MUST BE TAKEN**
- A. DISTURBED SURFACES NOT INVOLVED IN IMMEDIATE OPERATIONS MUST BE PROTECTED BY MULCHING AND OR OTHER EFFECTIVE MEANS OF SOIL PROTECTION.
 - ALL ROADS AND DRIVEWAYS SHALL HAVE DRAINAGE FACILITIES SUFFICIENT TO PREVENT EROSION ON OR ADJACENT TO THE ROADWAY OR ON DOWNHILL PROPERTIES.
 - RUN-OFF FROM THE SITE SHALL BE DETAINED OR FILTERED BY BERMS, VEGETATED FILTER STRIPS, AND OR CATCH BASINS TO PREVENT THE ESCAPE OF SEDIMENT FROM THE SITE.
 - DRAINAGE CONTROL MEASURES SHALL BE MAINTAINED AND IN PLACE AT THE END OF EACH DAY AND CONTINUOUSLY THROUGH THE LIFE OF THE PROJECT DURING WINTER OPERATIONS (MONTEREY COUNTY GRADING/EROSION ORD.2806-16.12090)
 - VEGETATION REMOVAL BETWEEN OCTOBER 15th AND APRIL 15th SHALL NOT PROCEED SUBSEQUENT GRADING OR CONSTRUCTION ACTIVITIES BY MORE THAN 15 DAYS. DURING THIS PERIODS, EROSION AND SEDIMENT CONTROL MEASURE SHALL BE IN PLACE.
 - THE GRADING INSPECTOR MAY STOP OPERATIONS DURING PERIODS OF INCLEMENTS WEATHER IF EROSION PROBLEMS ARE NOT BEING CONTROLLED ADEQUATELY.
 - ALL ROOF DRAINS SHALL DISCHARGE ONTO PAVED SURFACES, SPLASH BLOCKS OR BE HARD PIPED TO THE STORM DRAIN SYSTEM.
 - THE ULTIMATE PURPOSE FOR GRADING OPERATIONS IS TO PREPARE THE GROUND TO ACCOMMODATE THE PROPOSED RESIDENCE.



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REVISIONS:

PROJECT: MANDERNACH RESIDENCE
GUADALUPE, 2 NE OF 1ST, CARMEL, CA
BLOCK: 3, LOT: 4 & N1/2 OF 6
APN: 009-145-011
PROJECT NO. 24-01

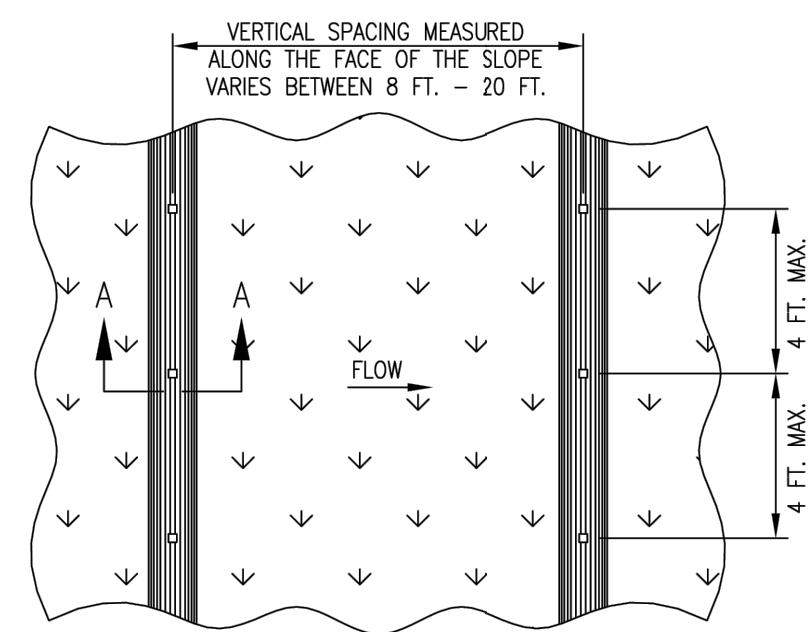
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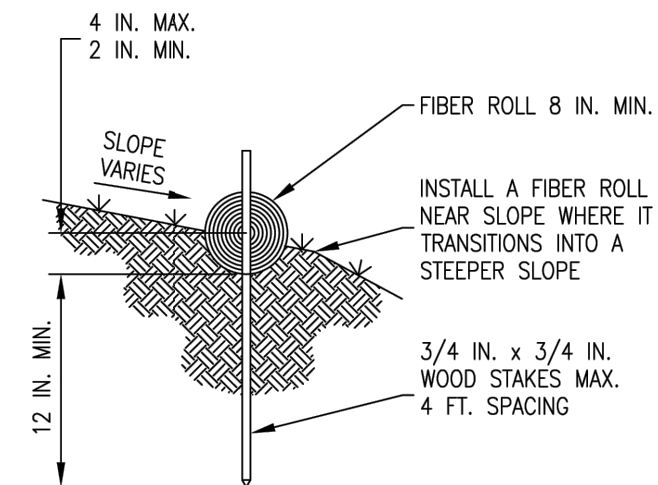
DRAINAGE AND EROSION CONTROL PLAN

SCALE: NTS

C1.0



TYPICAL FIBER ROLL INSTALLATION



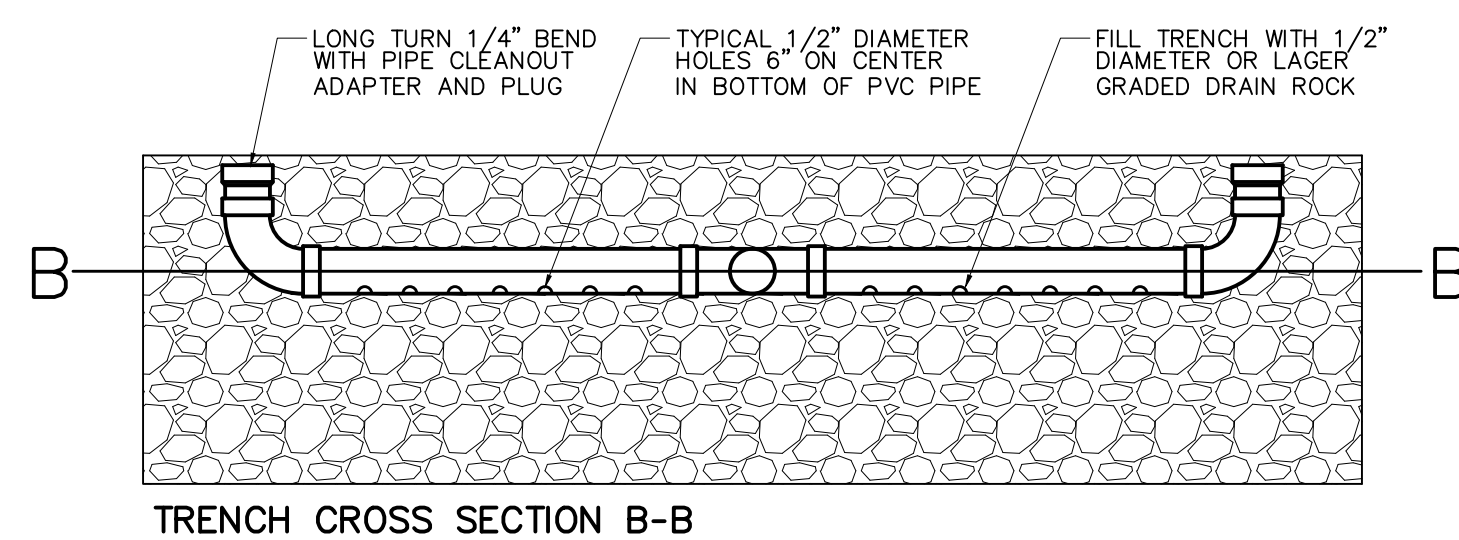
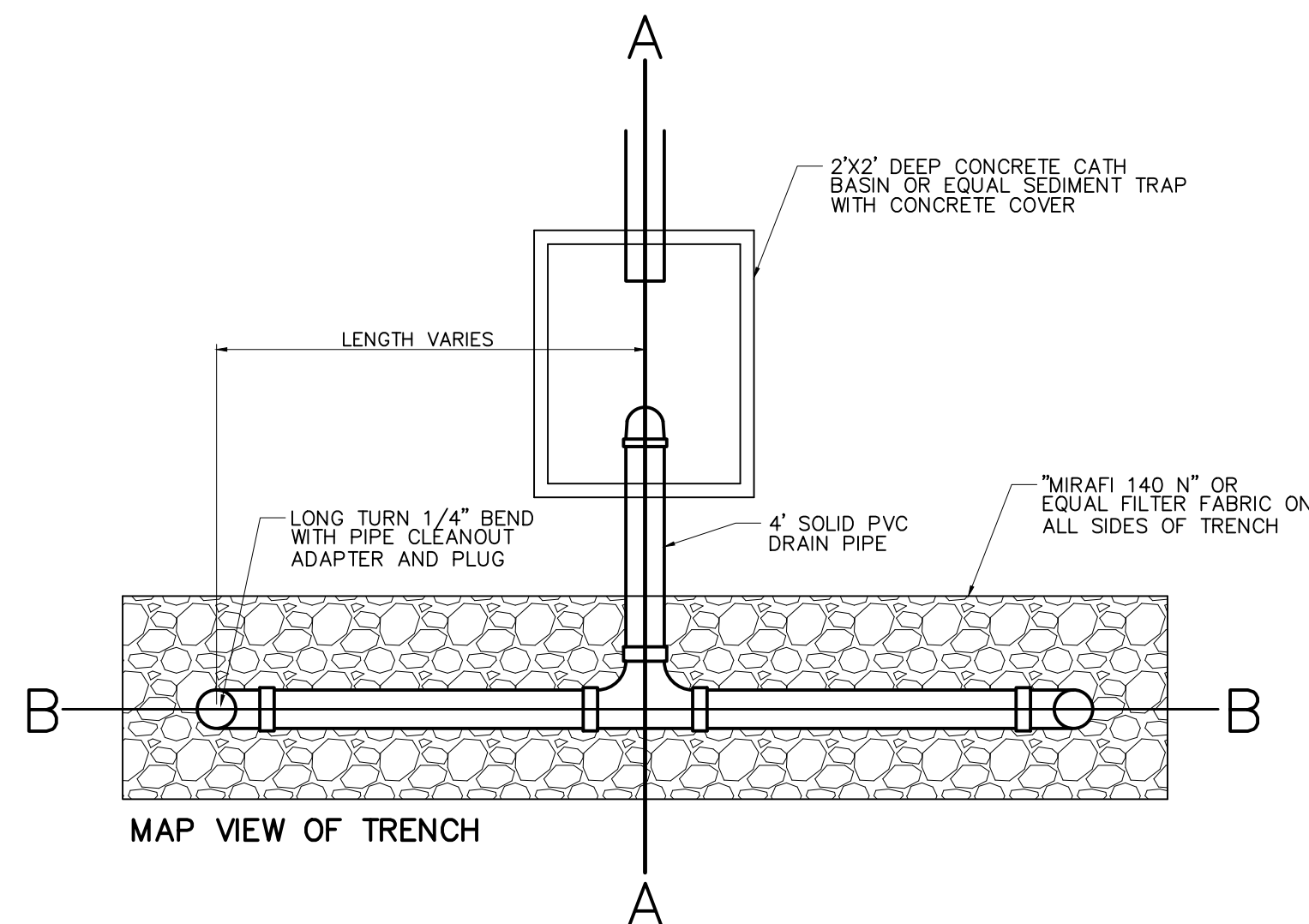
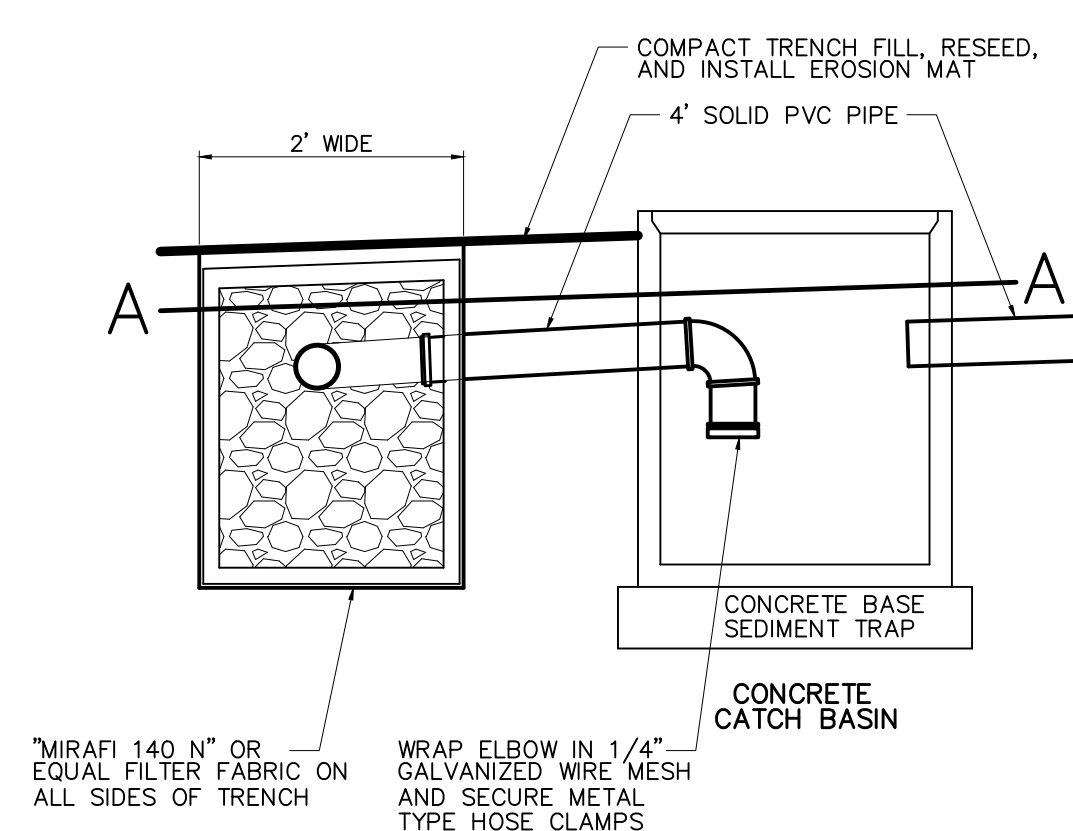
SECTION A - A

- NOTES:
- 1.) INSTALL FIBER ROLLS IN A ROW ALONG A LEVEL CONTOUR.
 - 2.) AT ENDS OF A ROW TURN THE LAST TWO FEET UP SLOPE SLIGHTLY.
 - 3.) FIBER ROLLS SHALL BE OVERLAPED TIGHTLY AT THE JOINTS, NOT ADJUTED.

FIBER ROLL

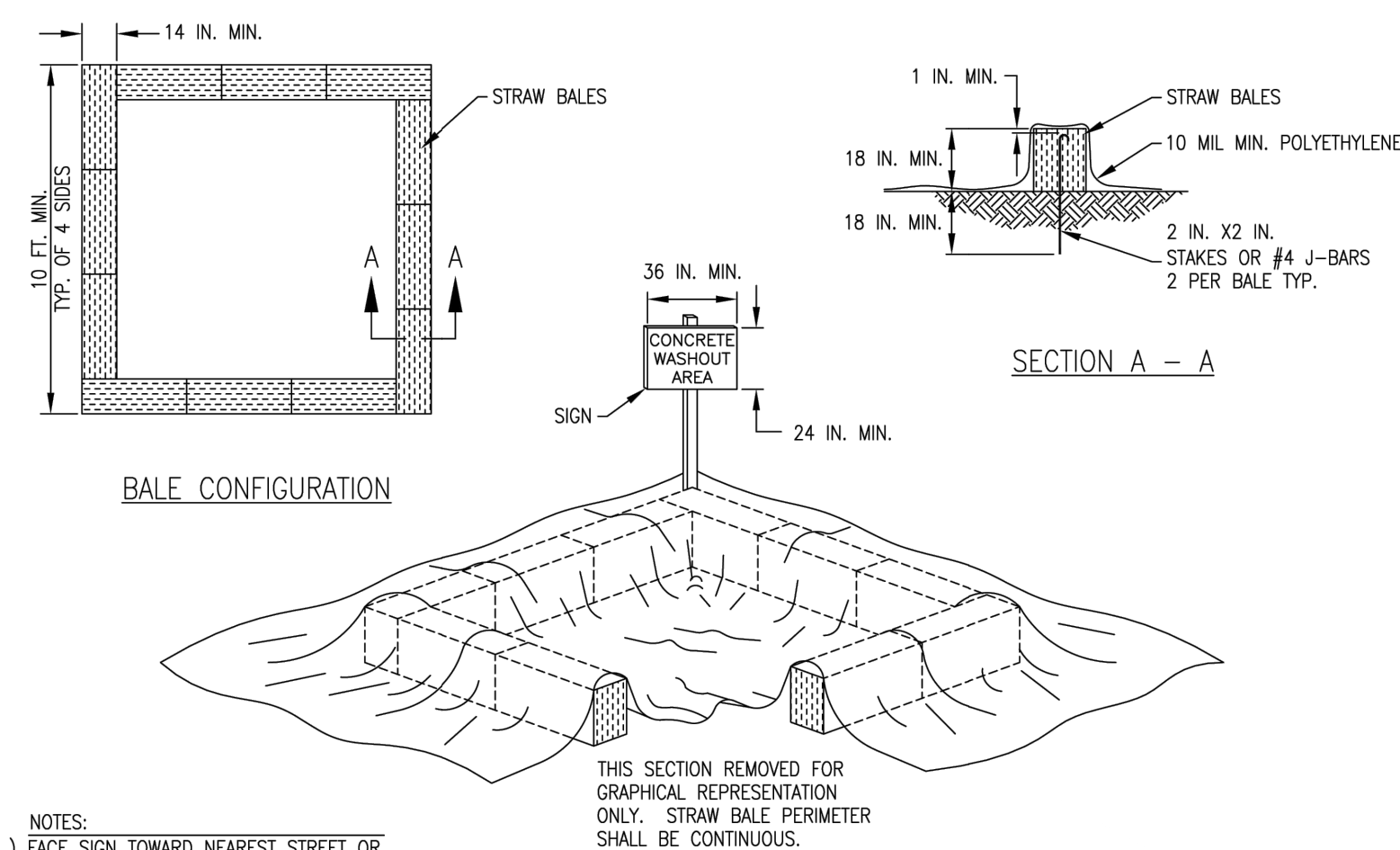
NTS 7

TRENCH CROSS SECTION A-A



ROOF WATER DISPERSION OUTLET DETAIL

NTS 5



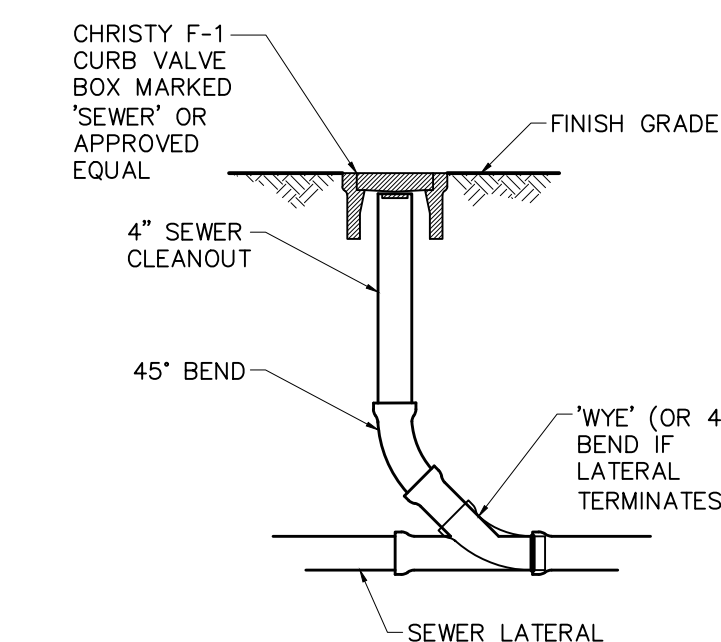
- NOTES:
- 1.) FACE SIGN TOWARD NEAREST STREET OR ACCESS POINT.
 - 2.) CONCRETE WASHOUT SHALL BE LOCATED BEHIND THE CURB AND 50 FT. MINIMUM FROM DRAINAGE INLETS OR WATERCOURSES

CONCRETE WASHOUT PIT

NTS 6

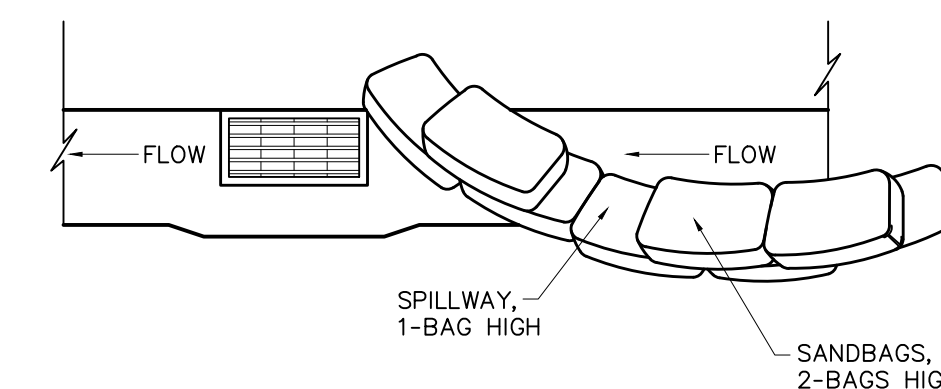
ROOF DRAIN CONNECTION

NTS 1



CLEAN-OUT @ GRADE

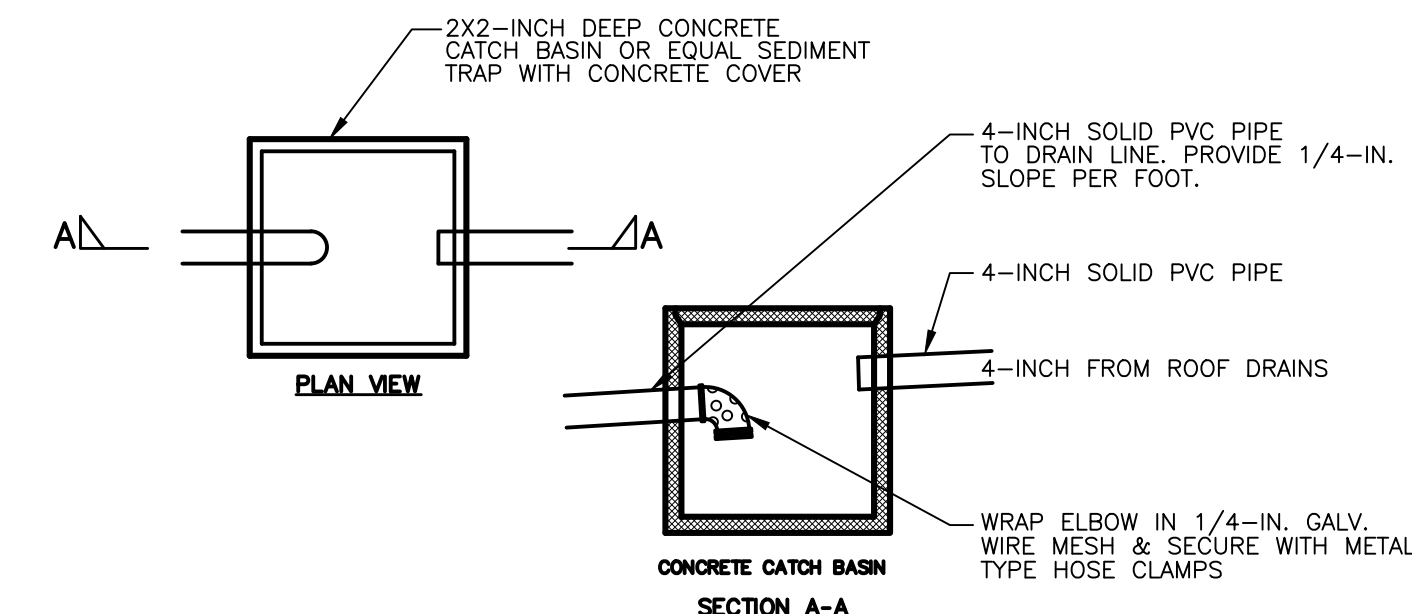
NTS 2



- NOTES:
1. INTENDED FOR SHORT-TERM USE.
 2. USE TO INHIBIT NON-STORM WATER FLOW.
 3. ALLOW FOR PROPER MAINTENANCE AND CLEANUP.
 4. BAGS MUST BE REMOVED AFTER ADJACENT OPERATION IS COMPLETE.
 5. NOT APPLICABLE IN AREAS WITH HIGH SILTS AND CLAYS WITHOUT FILTER FABRIC.

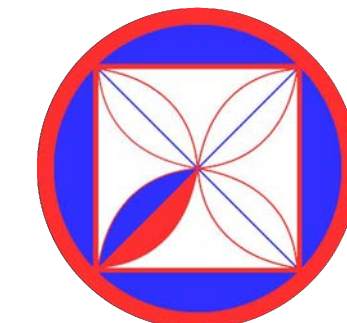
SAND BAG BARRIER

NTS 3



SILT CATCH BASIN DETAIL

NTS 4



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 GUADALUPE, 2 NE OF 1ST, CARMEL, CA
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DRAINAGE AND EROSION CONTROL TYPICAL DETAILS

SCALE: NTS

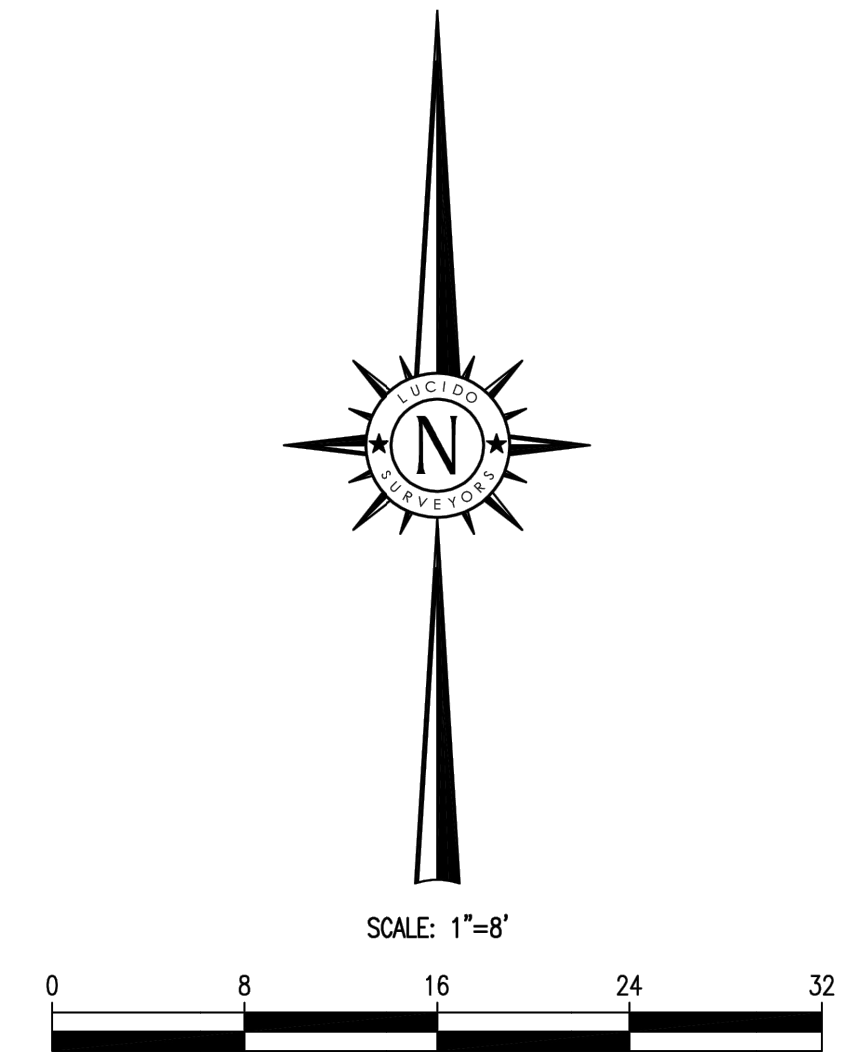
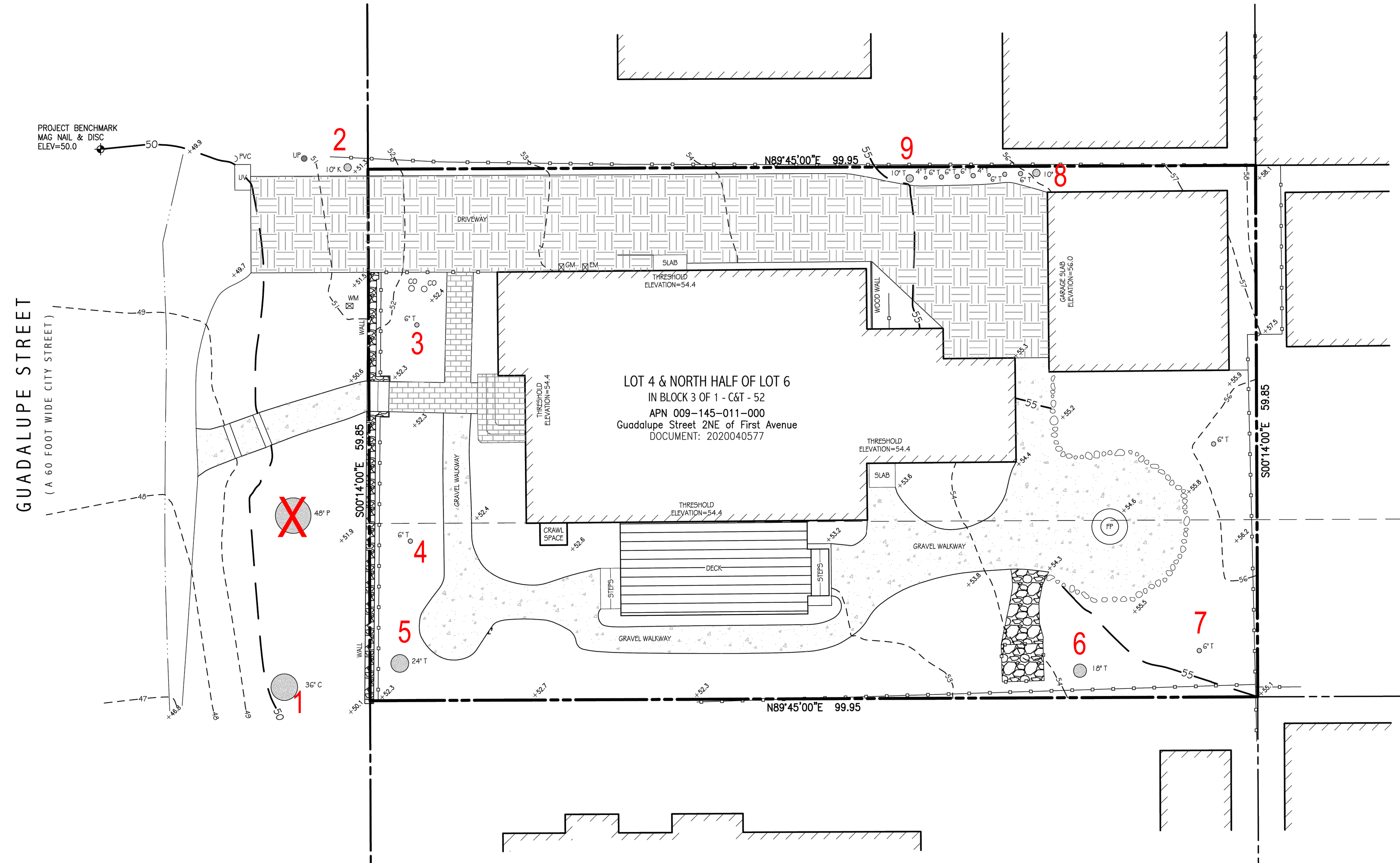
C1.1

LEGEND:

- RECORD BOUNDARY
- RECORD RIGHT OF WAY
- RECORD LOT LINE
- ◆ PROJECT BENCHMARK
- 50--- CONTOUR (MAJOR)
- 49--- CONTOUR (MINOR)
- EP EDGE OF PAVEMENT
- FLOWLINE FLOWLINE
- BUILDING APPROXIMATE BUILDING OUTLINE
- CHIMNEY
- THRESHOLD ELEVATION APPROXIMATE FLOOR ELEVATION
- WM WATER METER
- CO CLEAN-OUT
- MH MANHOLE
- AD AREA DRAIN
- DI DRAINAGE INLET
- UP UTILITY POLE
- GW GUY WIRE
- EM ELECTRIC METER
- GM GAS METER
- WF WOOD FENCE
- FP FIRE PIT
- MB MAIL BOX
- BRW BLOCK RETAINING WALL
- RRW ROCK RETAINING WALL
- BWP BRICK WALKWAY/PORCH
- PSV PAVESTONE
- CSV CARMEL STONE
- GVW GRAVEL WALKWAY
- AC ASPHALT CONCRETE
- BPW BRICK PLANTER WALL
- OMP CORRUGATED METAL PIPE
- CONC CONCRETE SLAB
- CPS CONCRETE PORCH AND STEPS
- CWW CONCRETE WALKWAY
- EKAGG EXPOSED AGGREGATE
- HDPE HIGH DENSITY POLY ETHYLENE
- ME MULCH ENCLOSURE
- PCC PORTLAND CEMENT CONCRETE
- PS PAVER STONE
- PVC POLY VINYL CHLORIDE
- TACS TANK AND CONCRETE SLAB
- TE TRASH ENCLOSURE
- WRW WOOD RETAINING WALL
- XAP EXPOSED AGGREGATE PORCH
- XAWW EXPOSED AGGREGATE WALKWAY
- EDGE OF FOLIAGE
- OT TREE WITH SIZE AND TYPE
- A ACACIA
- C CYPRESS
- K OAK
- P PINE
- R REDWOOD
- T TREE
- SPOT ELEVATION

EASEMENTS:

NO EASEMENTS WERE FOUND IN THE TITLE REPORT FURNISHED TO US ON OCTOBER 3, 2024 (CHICAGO TITLE COMPANY FWMN-5222001382-R5, DATED JULY 20, 2020).



NOTES:

1. BOUNDARY LOCATIONS SHOWN HEREON WERE DETERMINED WITH THE BENEFIT OF A FIELD SURVEY SUPPLEMENTED BY RECORD DATA. ALL BOUNDARY DATA SHOWN HEREON ARE FROM THE RECORDS. A RECORD OF SURVEY IS CURRENTLY IN THE SUBMITTAL PROCESS.
2. ENTITLEMENTS OR ENCUMBRANCES AFFECTING THIS PROPERTY MAY NOT NECESSARILY BE SHOWN.
3. DISTANCES SHOWN ARE EXPRESSED IN FEET AND DECIMALS THEREOF.
4. CONTOUR INTERVAL = ONE FOOT.
5. TREE TYPES (IF ANY) ARE INDICATED WHERE KNOWN. DIAMETERS OF TREES ARE SHOWN IN INCHES AND ARE APPROXIMATE ONLY, TO BE VERIFIED BY AN APPROVED ARBORIST PROVIDED BY OTHERS, PER AGREEMENT WITH THE SURVEYOR. TREES SMALLER THAN 6" IN DIAMETER MAY NOT BE NECESSARILY SHOWN. DIRECTION OF GROWTH AND DRIP LINE SHAPE TO BE VERIFIED BY OTHERS.
6. POSITION AND DIMENSIONS (IF ANY) OF BUILDINGS AND OTHER STRUCTURES ARE SHOWN HEREON APPROXIMATE ONLY DUE TO MEASUREMENT LIMITATIONS. IRREGULAR SHAPE OF BRICK FACING, POP-OUTS, BULL NOSE CORNERS, ETC. SQUARE FOOTAGE OF BUILDINGS (IF ANY) IS SHOWN APPROXIMATE ONLY, AND SUBJECT TO REVISION AT ANY TIME.
7. NOT ALL UTILITY BOXES AND/OR UTILITY STRUCTURES ARE SHOWN INCLUDING BUT NOT LIMITED TO HOSE BIBS AND IRRIGATION VALVES. ONLY THE VISIBLE UTILITY BOXES AND/OR UTILITY STRUCTURES THAT WERE CONSIDERED TO CONVEY THE GENERAL UTILITY CONDITIONS ARE SHOWN.
8. THRESHOLD ELEVATIONS ARE APPROXIMATE ONLY.
9. FENCE TYPES ARE LISTED FOR REFERENCE ONLY. THE MATERIAL MAKE UP OF EACH FENCE IS TO BE DETERMINED BY THE CLIENT AND/OR REPRESENTATIVE.
10. THIS MAP CORRECTLY REPRESENTS A SURVEY PREPARED BY ME AND/OR UNDER MY DIRECTION, FROM FIELD DATA COLLECTED IN APRIL OF 2024.



TOPOGRAPHIC SITE SURVEY

OF
Guadalupe Street 2NE of First Avenue

PER
APN 009-145-011-000
Records of Monterey County

PREPARED FOR
Nathan Mandernach

BY
LUCIDO SURVEYORS

Boundary and Construction Surveys · Topographic and Planimetric Mapping
ALTA Surveys and GIS Database Management · Land Planning and Consulting

2 Saucito Avenue DEL REY OAKS, CALIFORNIA 93940 info@lucidosurveyors.com (831) 620-5032

SCALE: 1"=8' PROJECT No. 3410 APRIL 2024 Rev. 10/3/24
CARMEL-BY-THE-SEA COUNTY OF MONTEREY STATE OF CALIFORNIA

BENCHMARK:

ELEVATIONS FOR THIS SURVEY ARE BASED ON AN ASSUMED DATUM. AN ELEVATION OF 50.0 HAS BEEN ASSIGNED TO A MAG NAIL & STEEL DISC STAMPED "LUCIDO SURVEYORS CONTROL DISC" SET IN THE PAVEMENT NEAR THE NORTHWESTERLY BOUNDARY CORNER OF THE SUBJECT PROPERTY AS SHOWN HEREON.

Significant Tree Evaluation Worksheet

APN: 009-145-011-000
 Street Location: Guadalupe 2 NE of 1st
 Planner: Katherine Wallace
 City Forester: Justin Ono
 Property Owner: Mandemach
 Recommended Tree Density:

Part One: Initial Screening:
 Complete Part One to determine if further assessment is warranted. Trees must pass all criteria in Part One to be considered significant or moderately significant.

A. Does the tree pose an above-normal potential risk to life and property?

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
YES															
NO	x	x	x	x	x	x	x	x	x						

Any tree with structural impairment likely to cause failure should be marked as unsafe and removed. Use page five of this worksheet to document the safety risk. Trees that have limited and specific defects that can be remedied with selective pruning or other mitigation should be marked as safe and specific recommendations should be given to the owner for tree care. Such trees may still be assessed for significance.

B. Is the tree one of the following native species on the Carmel-by-the-Sea recommended tree list?

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
Species	MC	CO	Mag	Mag	CiDp	CC	ST	Eu	Eu						
YES	x	x													
NO			x	x	x	x	x	x	x						

MC -- Monterey cypress CO -- coast live oak ST -- Strawberry Tree (Arbutus) Eu -- Chokecherry (Eugenia)
 CC -- Catalina cherry CiDp -- Canary Island Date Palm Mag -- Magnolia
 (Note: Other species on the recommended tree list may be determined to be Significant Trees only if they are exceptional examples of the species. Such trees also must exhibit excellent health, form, vigor, and substantial size to rate an overall score of at least 7 points in Part Two of the assessment.)

C. Does the tree meet the minimum size criteria for significance?

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
YES	24	10			24	18		10	10						
NO			6	6			6								

Monterey pine, Monterey cypress, Bishop pine, Coast redwood: 6" DBH
 Coast live oak -- single trunk tree: 6" DBH
 Coast live oak -- multi-trunk tree measured per industry standard: 6" DBH
 California sycamore, Big leaf maple, Catalina ironwood, other: 10" DBH
 dbh = diameter at breast height or 4.5 feet above the adjacent ground surface

G. Are environmental conditions favorable to the tree?

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
score	2	1			1	2		1	1						

0 points: The tree is crowded or has no room for growth to maturity. The tree has poor access to light, air or has poor soil for the species.
1 point: The tree has average environmental conditions including room for growth to maturity, access to light, air and soils suitable for the species.
2 points: The tree has room for growth to maturity with no crowding from other significant trees or existing buildings nearby. The tree also has excellent access to light, air and excellent soils for root development.

Part Three: Final Assessment
 Record the total points scored on D - G for each tree.

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
Total	7	6	0	0	4	7	0	3	3						

A. Did all assessment categories in Part Two achieve a minimum score of 1-point?

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
YES	x	x			x	x									
NO			x	x			x	x	x						

B. Are there any other factors that would disqualify a tree from a determination of significance?
 (Explain any 'yes' answer)

Yes ___ Specimen 5 is a palm and is not a tree, the palm is also not in an exemplary condition to warrant Significant status. Trees 8 and 9 have been maintained as a hedge.

Conclusion: Does The Tree Qualify As Significant Or Moderately Significant?
 If the tree meets the species, size and safety criteria identified in Part One and scores at least one point under each of the criteria in Part Two, it shall be classified as Significant if it achieves a score of **6 or more points** or shall be classified as Moderately Significant if it achieves a score of **4 or 5 points**. Tree species not listed in Part One-B that meet other screening criteria in Part One may be classified by the City Forester as Significant if they score **at least 7 points**, or as Moderately Significant if they score **at least 4 points**. All other trees are classified as non-significant.

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
SIGNIF	x	x				x									
MOD SIGNIF															
NOT SIGNIF			x	x	x		x	x	x						

Part Two: Assessment For Tree Significance
 For each of the criteria below assign points as shown to assess the tree. If any criteria score is zero the assessment may stop as the tree cannot qualify as significant or moderately significant.

D. What is the health and condition of the tree?

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
score	2	2			1	2		1	1						

0 points: The tree is heavily infested with pests or has advanced signs of disease that indicates the tree is declining and has very limited life expectancy.
1 point: The tree shows some pests or disease that impair its condition, but which does not immediately threaten the health of the tree. The tree may recover on its own, or with appropriate intervention.
2 points: The tree appears healthy and in good condition.
3 points: The tree shows excellent health, is free of pests and disease and is in very strong condition.

E. What is the overall form and structure of the tree?

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
score	2	1			1	2		0	0						

0 points: Prior pruning, disease or growth habit have left the tree deformed or unsound to an extent that it cannot recover or will never be a visual asset to the neighborhood or will likely deteriorate into a structural hazard.
1 point: The tree has poor form or structure but (a) can recover with proper maintenance or (b) it provides visual interest in its current form, and does not have structural defects that are likely to develop into a safety hazard.
2 points: The tree has average form and structure for the species but does not exhibit all the qualities of excellent form and structure.
3 points: The tree exhibits excellent form and structure. For all species there will be a good distribution of foliage on multiple branches with no defects. For conifers, the tree will have a single straight leader with balanced branching and with good taper. Oaks will exhibit a well-developed canopy with no suppressed branches. Oaks may be single-trunked or multi-trunked and will have a balanced distribution of foliage on each

F. What is the age and vigor of the tree?

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
score	1	2			1	1		1	1						

0 points: The tree is over-mature or shows signs of poor or declining vigor such as die-back of major limbs or of the crown, small leaves/needles and/or minimal new growth.
1 point: The tree is mature but retains normal vigor and is likely to continue as a forest asset for a substantial period into the future.
2 points: The tree is young to middle age and shows normal vigor.
3 points: The tree is young to middle age and shows exceptional vigor.

Items to note:
Required Structural Root Zone

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
Feet	8	6	6	6	4	8	6	6	6						

Required Tree Protection Zone

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
YES	12	6	6	6	4	10	8	6	6						

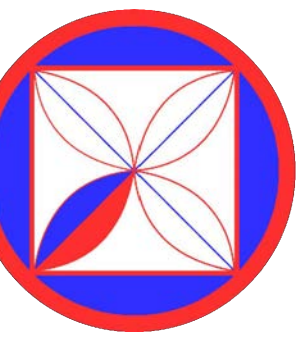
Requirements for tree preservation shall adhere to the following tree protection measures on construction site.
 · Prior to grading, excavation, or construction, the developer shall clearly tag or mark all trees to be preserved.
 · Excavation within 6 feet of a tree trunk is not permitted.
 · No attachments or wires of any kind, other than those of a protective nature shall be attached to any tree.
 · Per Municipal Code Chapter 17.48.110 no material may be stored within the dripline of a protected tree to include the drip lines of trees on neighboring parcels.

· Tree Protection Zone -- The Tree Protection Zone shall be equal to dripline or 18 inches radially from the tree for every one inch of trunk diameter at 4.5 feet above the soil line, whichever is greater. Minimum of 4 foot high transparent fencing is required unless otherwise approved by the City Forester. Tree protection shall not be resized, modified, removed, or altered in any manner without written approval. The fencing must be maintained upright and taught for the duration of the project. No more than 4 inches of wood mulch shall be installed within the Tree Protection Zone. When the Tree Protection Zone is at or within the drip line, no less than 6 inches of wood mulch shall be installed 18 inches radially from the tree for every one inch of trunk diameter at 4.5 feet above the soil line outside of fencing.

· The Structural Root Zone -- Structural Root Zone shall be 6 feet from the trunk or 6 inches radially from the tree for every one inch of trunk diameter at 4.5' above the soil line, whichever is greater. Any excavation or changes to the grade shall be approved by the City Forester prior to work. Excavation within the Structural Root Zone shall be performed with pneumatic excavator, hydrovac at low pressure, or other method that does not sever roots.

· If roots greater than 2 inches in diameter or larger are encountered within the approved Structural Root Zone the City Forester shall be contacted for approval to make any root cuts or alterations to structures to prevent roots from being damaged.

· If roots larger than 2 inches in diameter are cut without prior City Forester approval or any significant tree is endangered as a result of construction activity, the building permit will be suspended and all work stopped until an investigation by the City Forester has been completed and mitigation measures have been put in place.



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REVISIONS:

PROJECT:
 MANDERNACH RESIDENCE
 GUADALUPE, 2 NE OF 1ST, CARMEL, CA
 BLOCK: 3, LOT: 4 & N1/2 OF 6
 APN: 009-145-011
 PROJECT NO:
 24-01

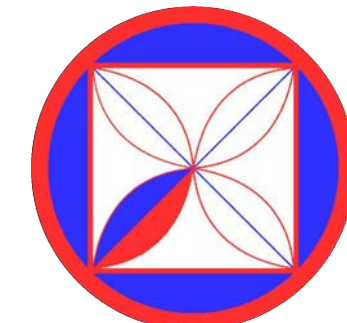
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 09-27-24
 10-04-24
DRAWN BY:
 C.O.

TREE ASSESSMENT REPORT

SCALE: NTS

A1.1

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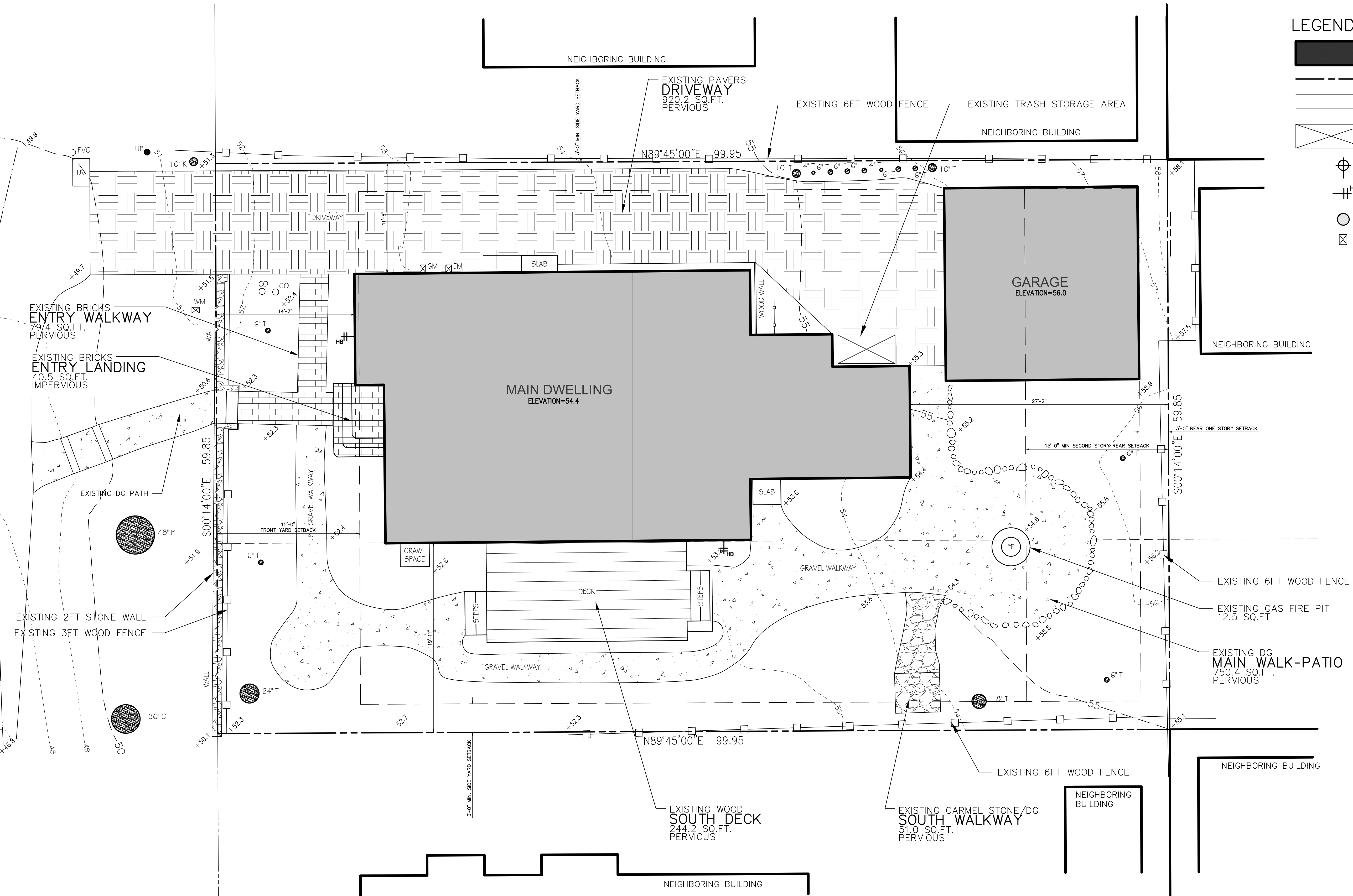
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GUADALUPE STREET
 (A 60 FOOT WIDE CITY STREET)

PROJECT BENCHMARK
 MAG NAIL & DISC
 ELEV=50.0

LEGEND

- EXISTING STRUCTURE
- PROPERTY LINE
- MIN. SETBACKS
- WOOD FENCES
- EXISTING TRASH AREA
- LIGHT FIXTURE, SEE SHEET 6 FOR SPEC'S
- HOSE BIB
- EXISTING TREE
- UTILITIES: GAS, ELECTRIC, WATER



REVISIONS:

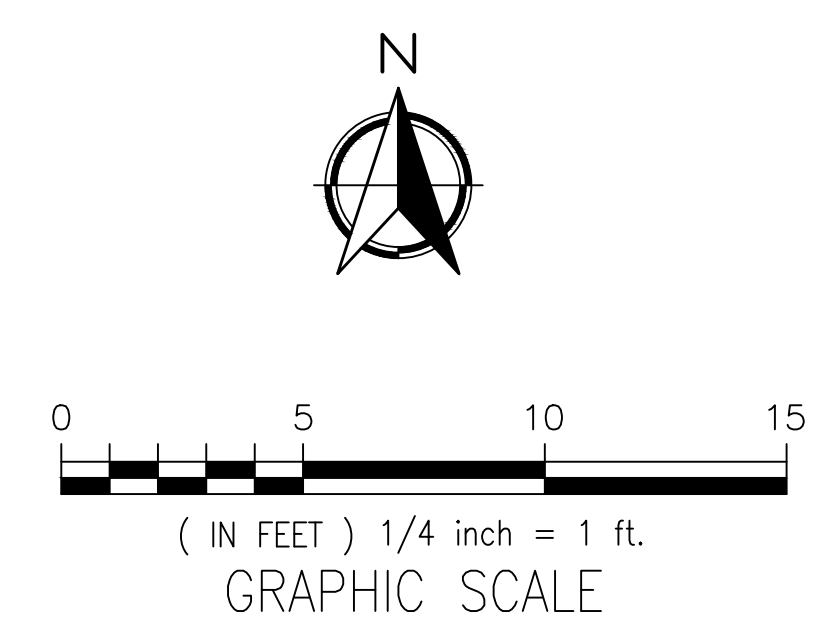
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 BLOCK: 3, LOT: 4 & N1/2 OF 6
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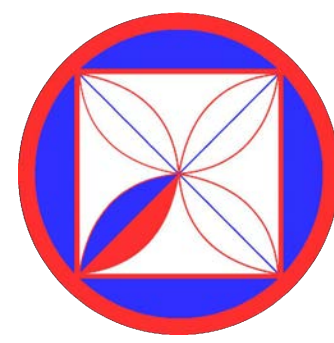
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 10-04-24
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SITE PLAN
 (EXISTING)

SCALE: 1" = 3/16"

A2.0





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REVISIONS:

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PROJECT NO.:
 24-01

ISSUE:
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 09-27-24
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**SITE PLAN
 (PROPOSED)**

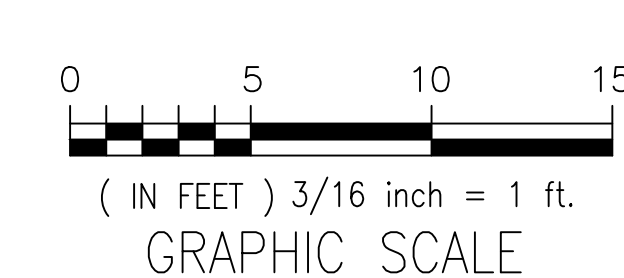
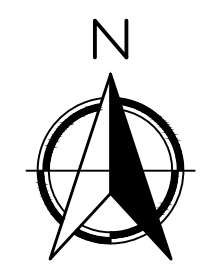
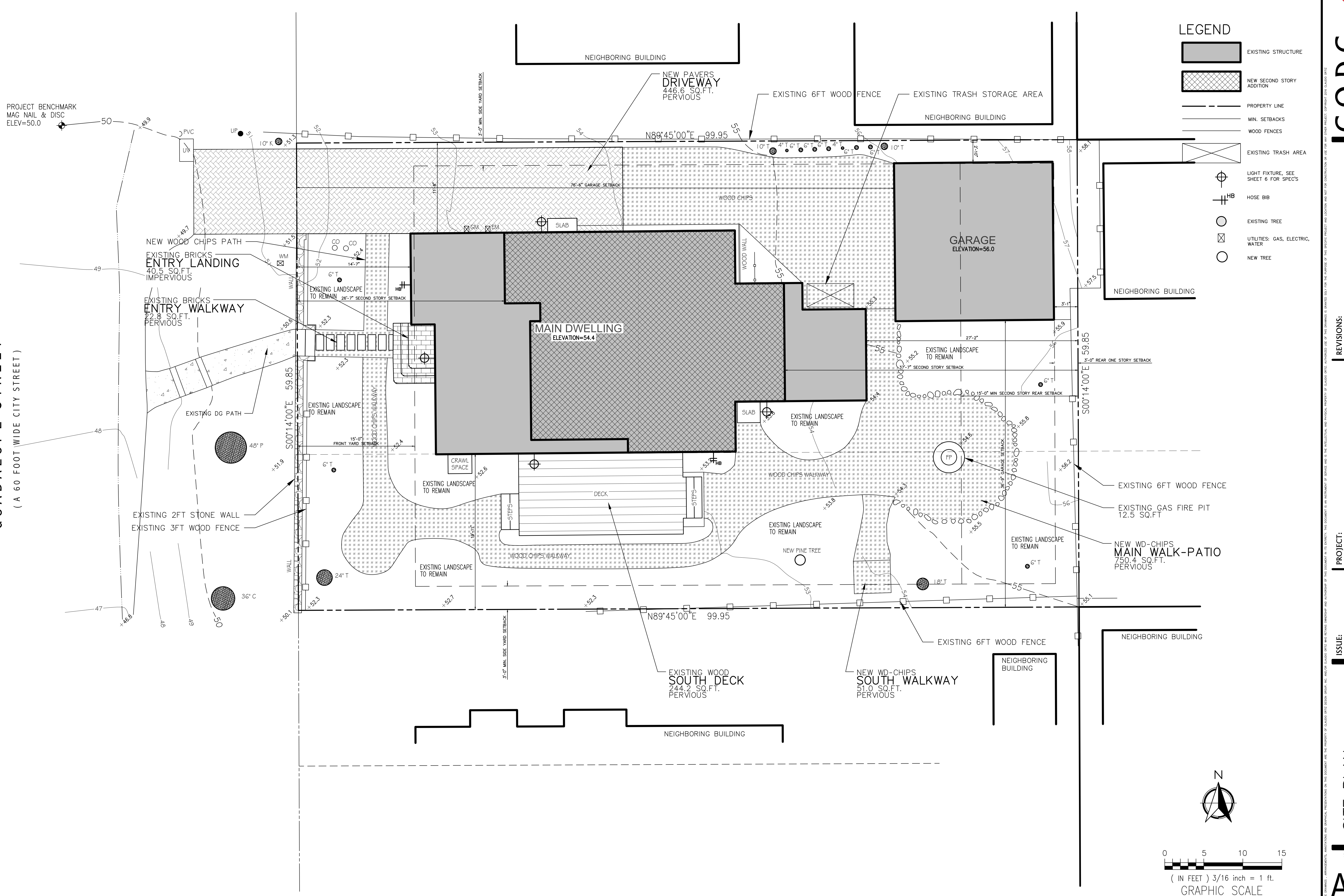
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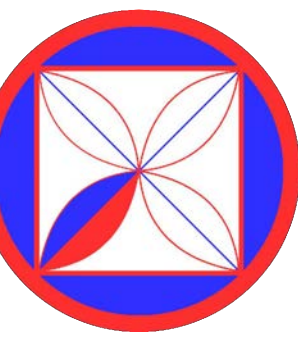
A2.1

GUADALUPE STREET
 (A 60 FOOT WIDE CITY STREET)

PROJECT BENCHMARK
 MAG NAIL & DISC
 ELEV=50.0

- LEGEND**
- EXISTING STRUCTURE
 - NEW SECOND STORY ADDITION
 - PROPERTY LINE
 - MIN. SETBACKS
 - WOOD FENCES
 - EXISTING TRASH AREA
 - LIGHT FIXTURE, SEE SHEET 6 FOR SPEC'S
 - HOSE BIB
 - EXISTING TREE
 - UTILITIES: GAS, ELECTRIC, WATER
 - NEW TREE





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REVISIONS:

PROJECT: MANDERNACH RESIDENCE
 GUADALUPE, 2 NE OF 1ST, CARMEL, CA
 BLOCK: 3, LOT: 4 & N1/2 OF 6
 APN: 009-145-011
PROJECT NO. 24-01

ISSUE:
 04-01-24
 09-27-24
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EXISTING FLOOR PLAN

SCALE: 1" = 1/4"

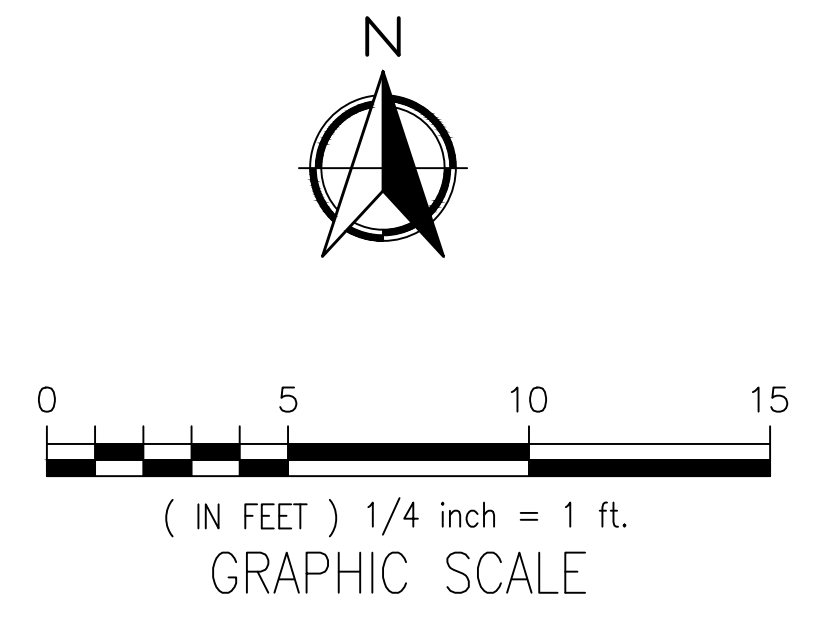
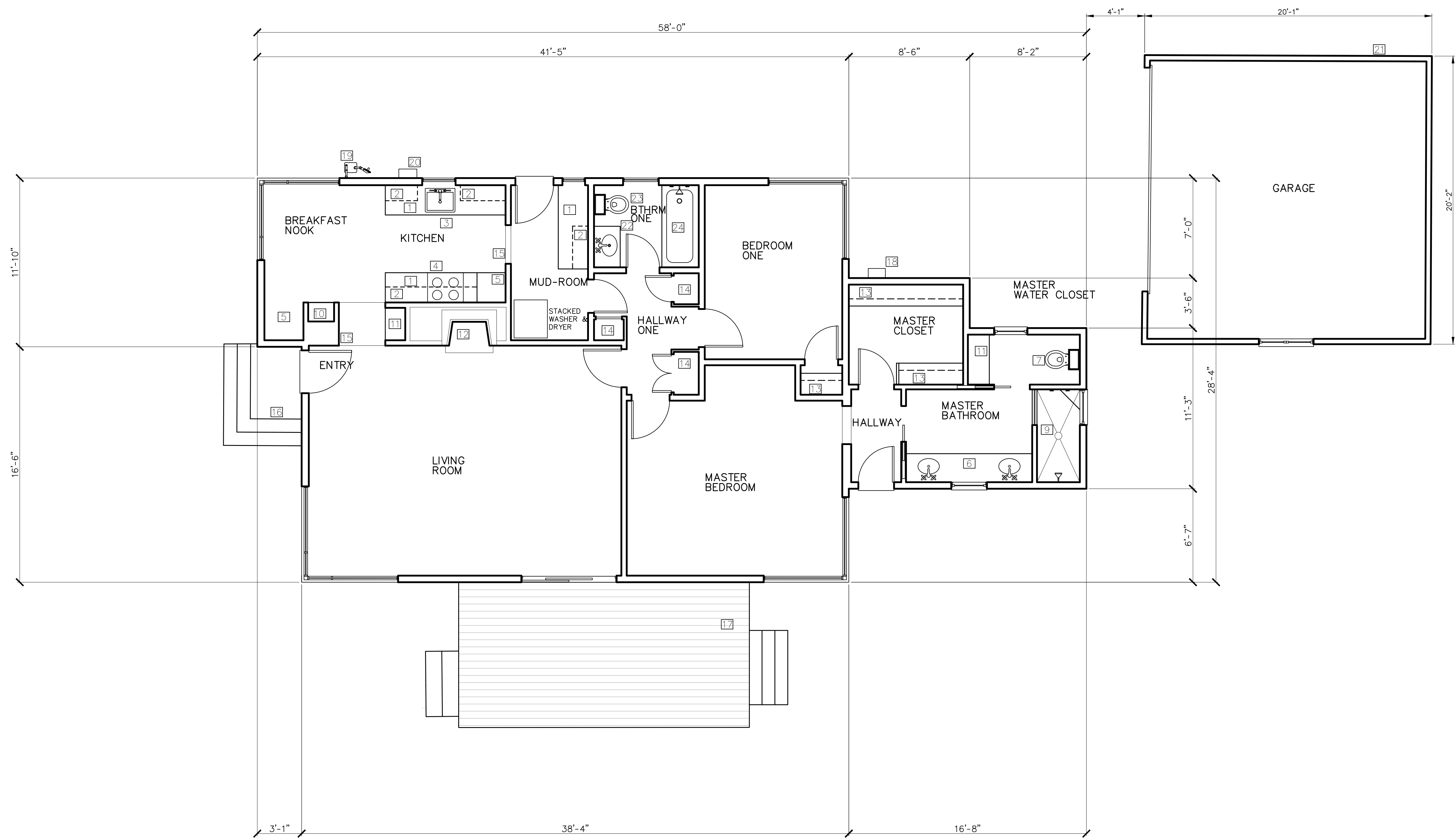
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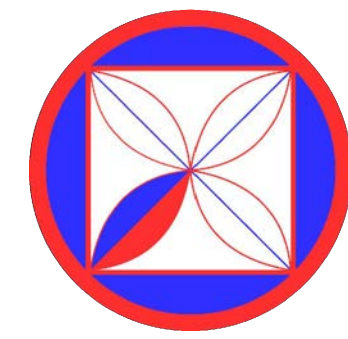
KEY NOTES

- 1 KITCHEN COUNTERTOP
- 2 UPPER CABINET
- 3 SINK WITH DISPOSAL
- 4 RANGE, 30-INCH
- 5 REFRIGERATOR SPACE
- 6 BATHROOM VANITY AND SINK
- 7 TOILET
- 8 TUB
- 9 SHOWER STALL WITH SAFETY GLASS
- 10 BUILT-IN PLASTER NICHES
- 11 BUILT-IN CABINET
- 12 FIREPLACE: WOOD BURNING
- 13 CLOSET ROD AND SHELF
- 14 LINEN STORAGE CLOSET
- 15 ARCHED WAY SHOWN DASHED LINE
- 16 ENTRY STEPS, BRICKS
- 17 WOOD DECK AND GUADRIL
- 18 EXISTING TANKLESS WATER HEATER
- 19 EXISTING GAS METER
- 20 EXISTING ELECTRIC METER
- 21 EXISTING GARAGE. NO WORK INTENDED FOR THIS STRUCTURE.
- 22 EXISTING BATHROOM VANITY AND SINK TO BE REMOVED
- 23 EXISTING TOILET TO BE REMOVED
- 24 EXISTING TUB TO BE REMOVED

LEGEND

- EXISTING WALLS
- EXISTING WOOD DECK
- EXISTING GARAGE





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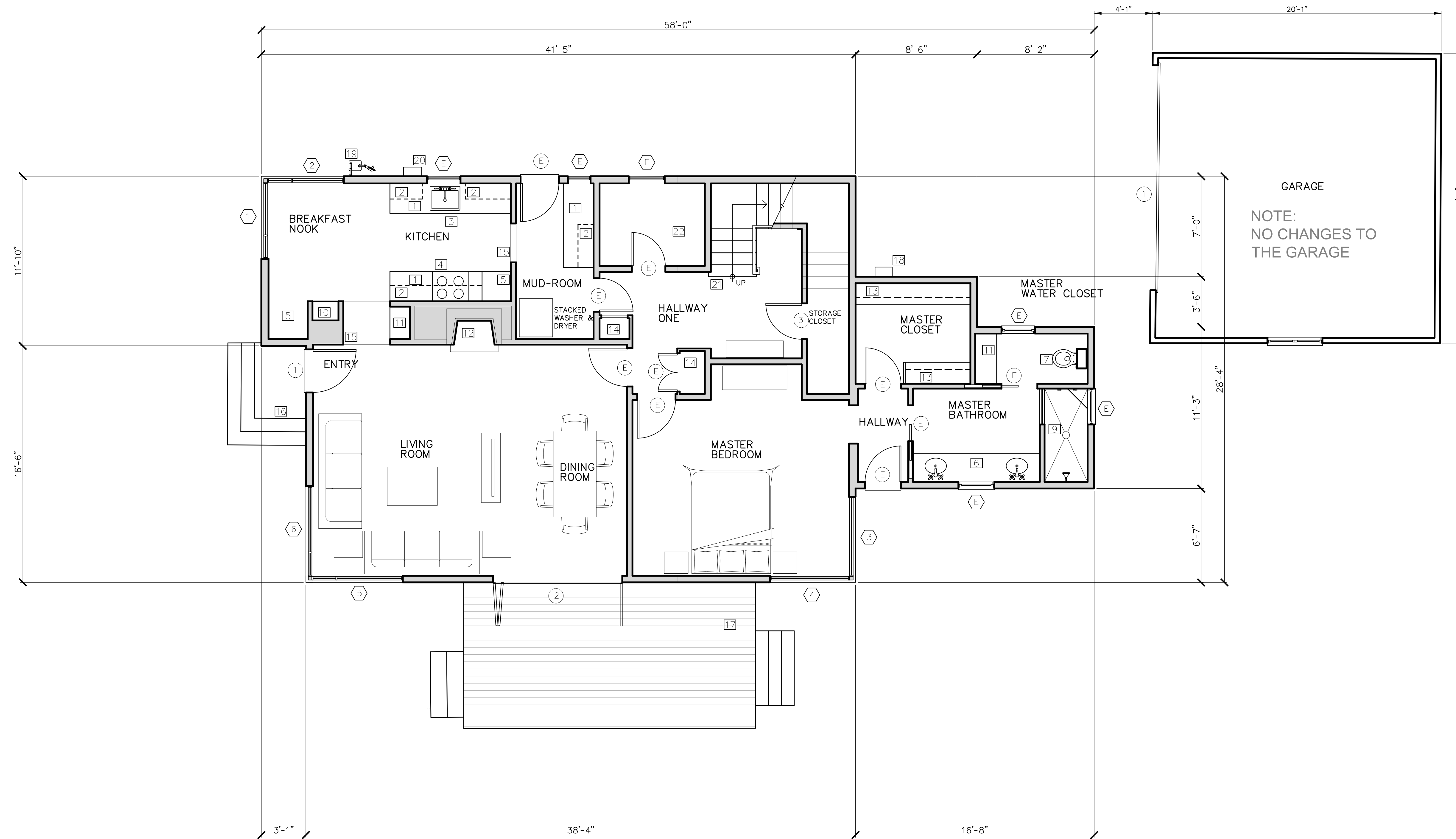
KEY NOTES

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- 16 ENTRY STEPS, BRICKS
- 17 WOOD DECK AND GUADRAIL
- 18 EXISTING TANKLESS WATER HEATER
- 19 EXISTING GAS METER
- 20 EXISTING ELECTRIC METER
- 21 NEW STAIRS
- 22 NEW STORAGE RM

LEGEND

- WALLS
- EXISTING WOOD DECK

- 1
- 7



GARAGE
 NOTE:
 NO CHANGES TO
 THE GARAGE



REVISIONS:

PROJECT: MANDERNACH RESIDENCE
 GUADALUPE, 2 NE OF 1ST, CARMEL, CA
 BLOCK: 3, LOT: 4 & N1/2 OF 6
 APN: 009-145-011
PROJECT NO.: 24-01

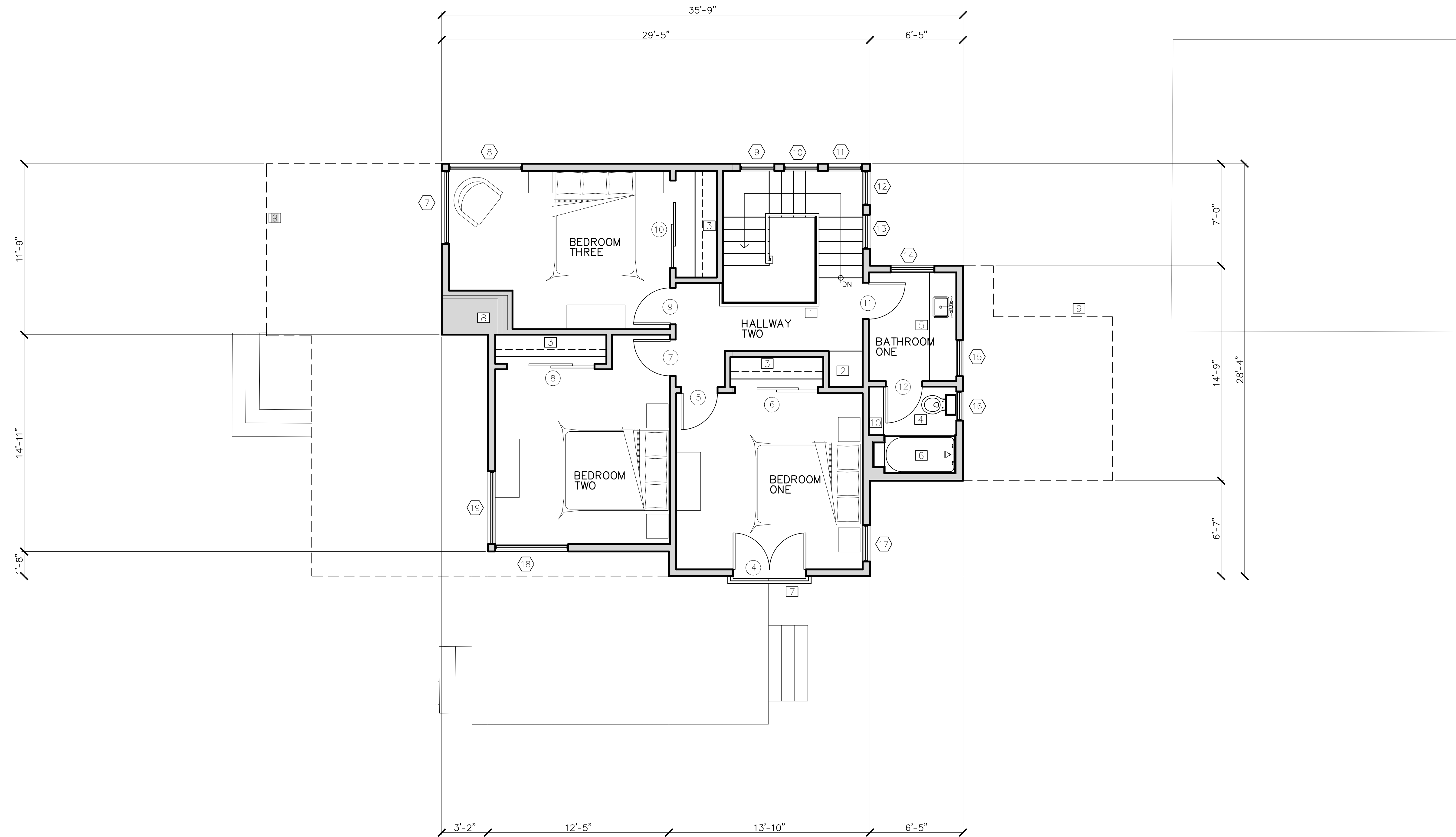
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**PROPOSED MAIN
 LEVEL FLOOR PLAN**

SCALE: 1" = 1/4"

A4.0

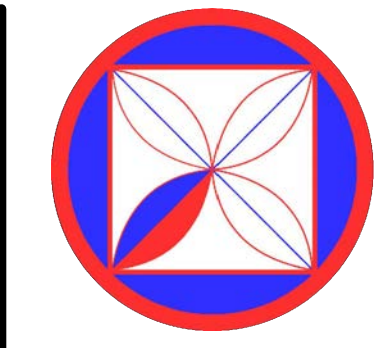
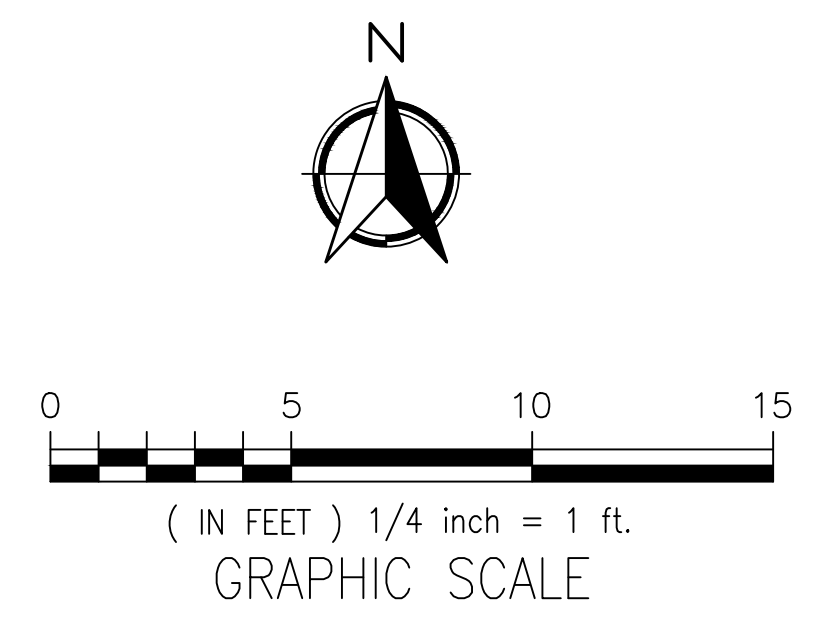
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- ### KEY NOTES
- 1 GUARDRAIL: WROUGHT IRON
 - 2 LINEN CLOSET
 - 3 ONE SHELF AND ONE CHROME ROD
 - 4 TOILET
 - 5 SINK AND VANITY WITH 36-INCH HIGH WITH A STONE COUNTERTOP AND BACKSPLASH
 - 6 TUB WITH FRAMELESS SAFETY GLASS SHOWER DOORS; TILED WALLS FULL HEIGHT
 - 7 JULIET BALCONY: METAL, PAINTED, 42-INCH HIGH
 - 8 FIREPLACE SHAFT
 - 9 LOWER LEVEL FOOTPRINT SHOWN THIN-DASHED LINE
 - 10 BUILT-IN LINEN CLOSET, 12-INCH DEEP, FULL HEIGHT

LEGEND

NEW WALLS



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REVISIONS:

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 GUADALUPE, 2 NE OF 1ST, CARMEL, CA
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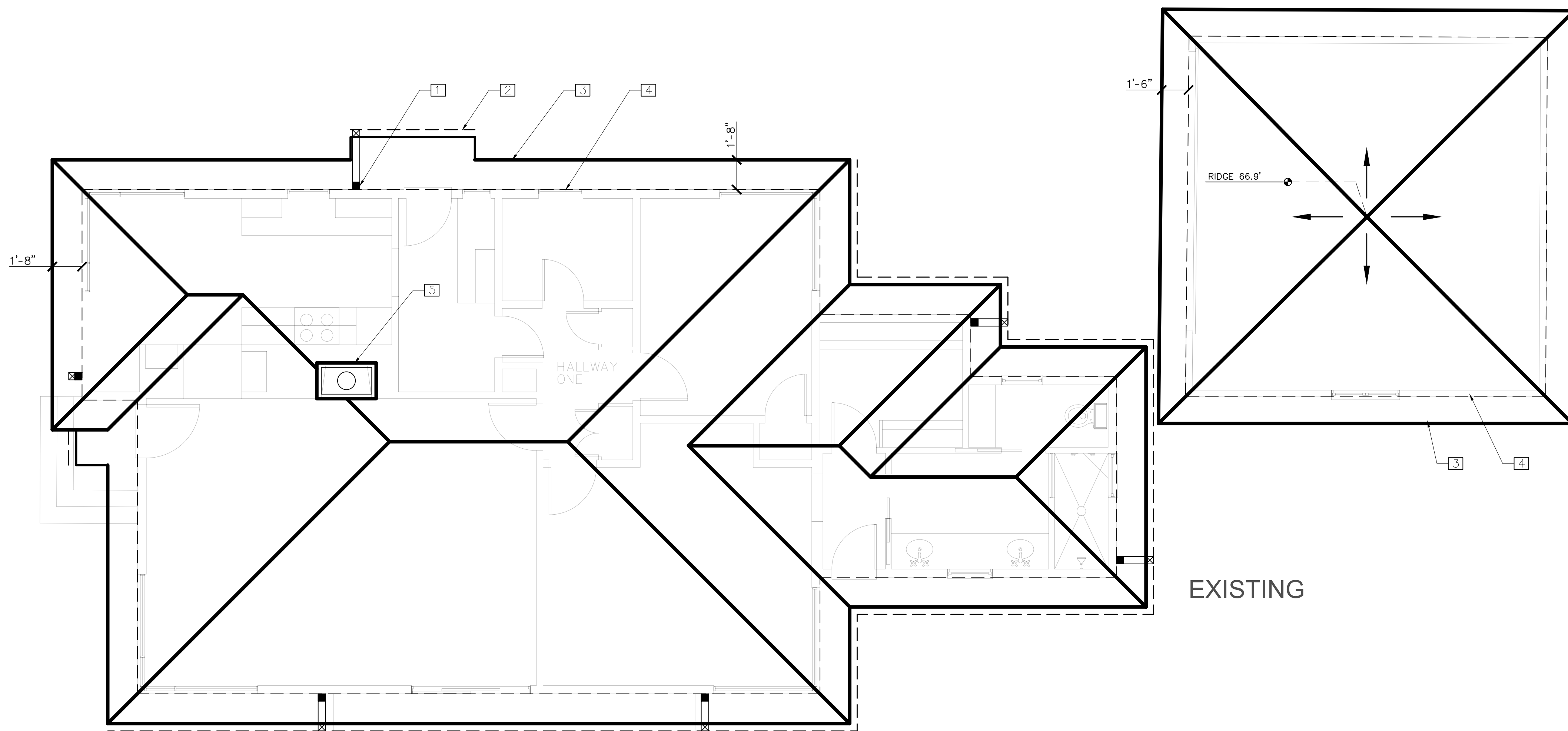
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**PROPOSED UPPER
 LEVEL FLOOR PLAN**

SCALE: 1" = 1/4"

A4.1

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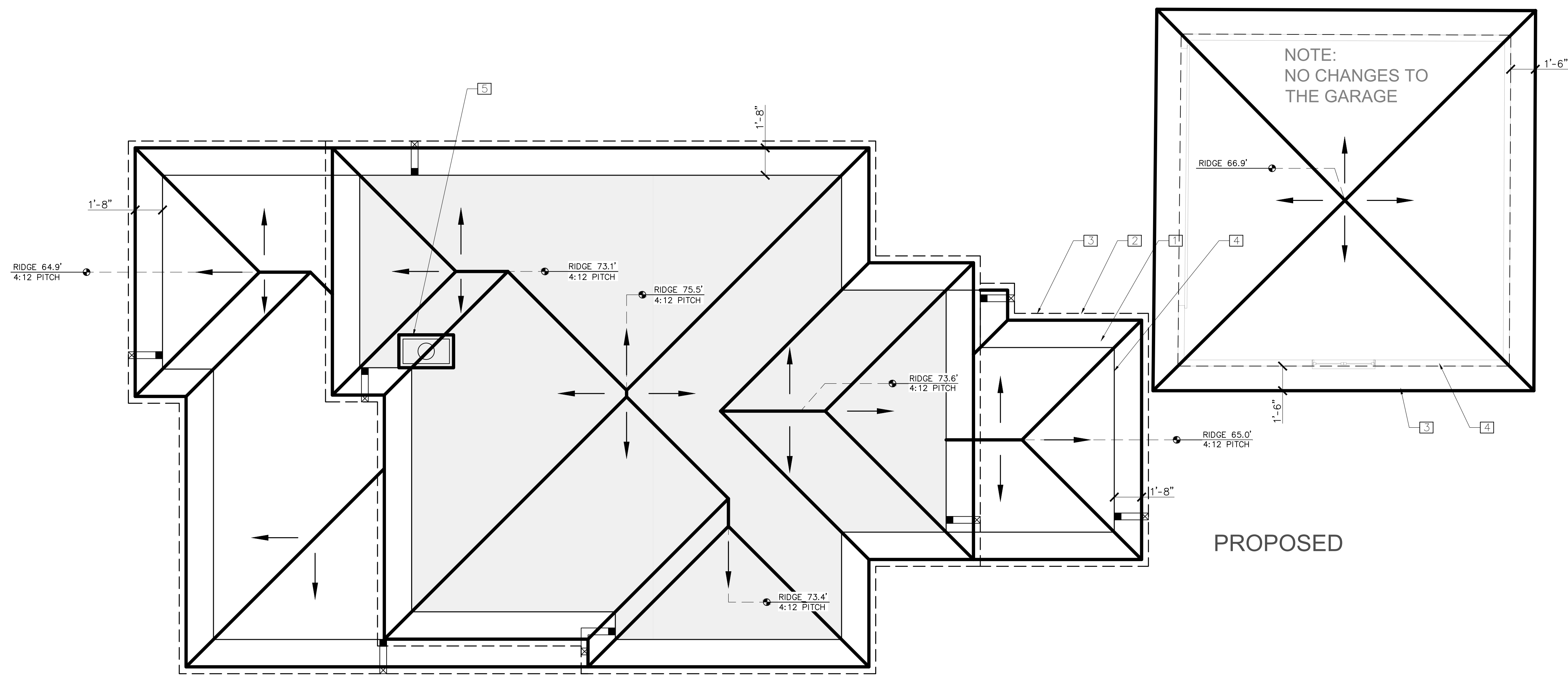


KEY NOTES

- 1] DOWNSPOUTS
- 2] GUTTERS W/ 2% SLOPE
- 3] ROOF SHOWN THICK LINE
- 4] BUILDING FOOTPRINT
- 5] CHIMNEY

LEGEND

- SLOPE DIRECTION ARROW
- ROOF LINE: EXISTING THICK SOLID LINE
- - - BUILDING FOOTPRINT THIN DASHED LINE
- - - GUTTERS
- ⊠ DOWNSPOUTS W/2% SLOPE

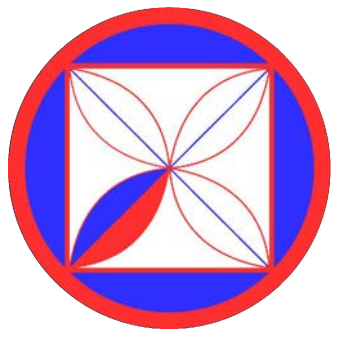
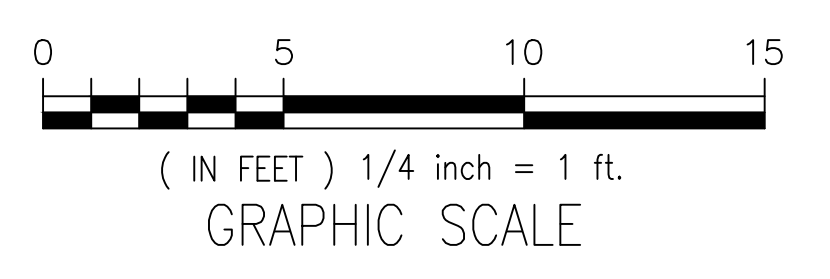
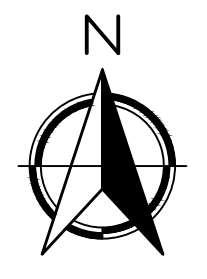


KEY NOTES

- 1] DOWNSPOUTS
- 2] GUTTERS W/ 2% SLOPE
- 3] ROOF SHOWN THICK LINE
- 4] BUILDING FOOTPRINT
- 5] CHIMNEY

LEGEND

- SLOPE DIRECTION ARROW
- ROOF LINE: THICK SOLID LINE
- - - BUILDING FOOTPRINT THIN DASHED LINE
- - - GUTTERS
- ⊠ DOWNSPOUTS W/2% SLOPE
- SECOND FLOOR LEVEL



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 CLAUDIO@CODG.COM
 WWW.CODG.COM

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REVISIONS:

PROJECT:
 MANDERNACH RESIDENCE
 GUADALUPE, 2 NE OF 1ST, CARMEL, CA
 BLOCK: 3, LOT: 4 & N1/2 OF 6
 APN: 009-145-011
PROJECT NO.
 24-01

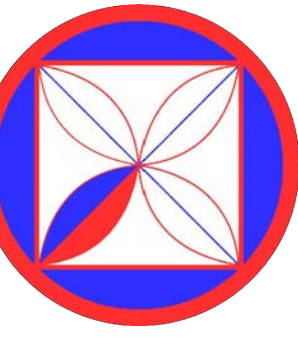
ISSUE:
 04-01-24
 09-27-24
 10-04-24

DRAWN BY:
 C.O.

ROOF PLAN:
 EXISTING &
 PROPOSED

SCALE: 1" = 1/4"

A5.0



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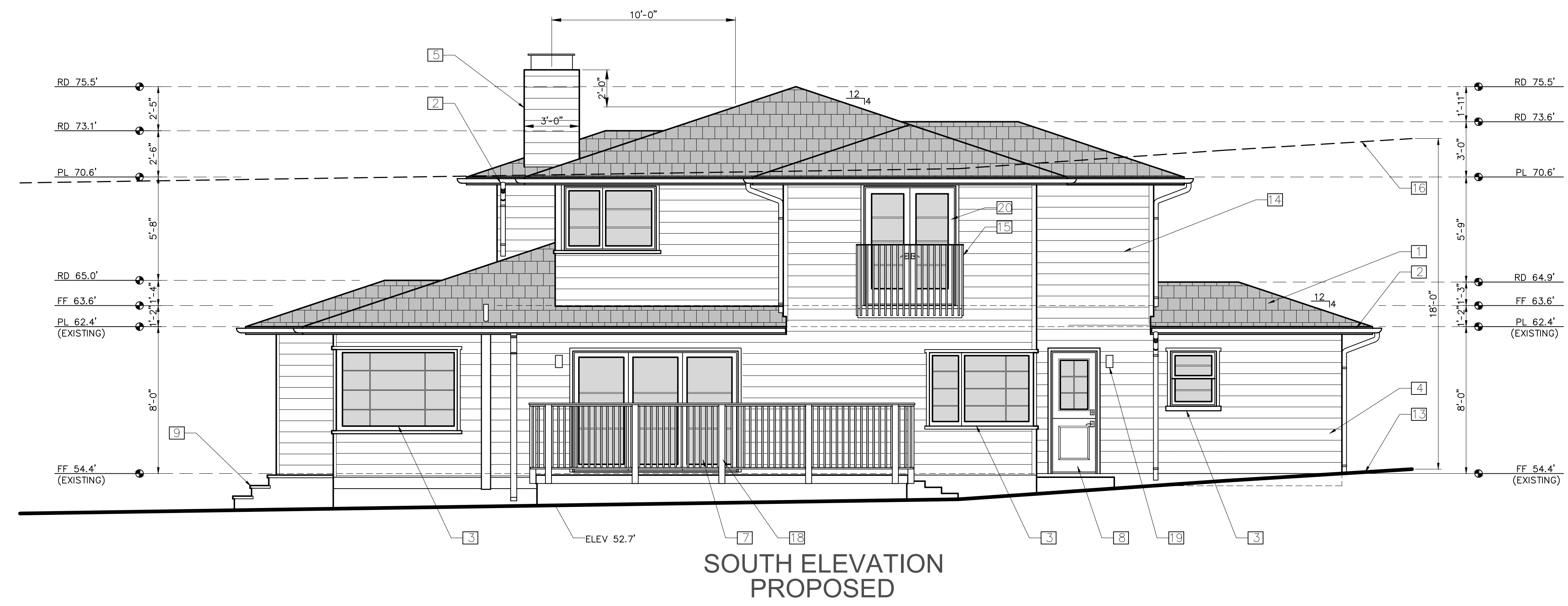
ELEVATIONS:
 EXISTING &
 PROPOSED

SCALE: 1" = 1/4"

A6.0

KEY NOTES

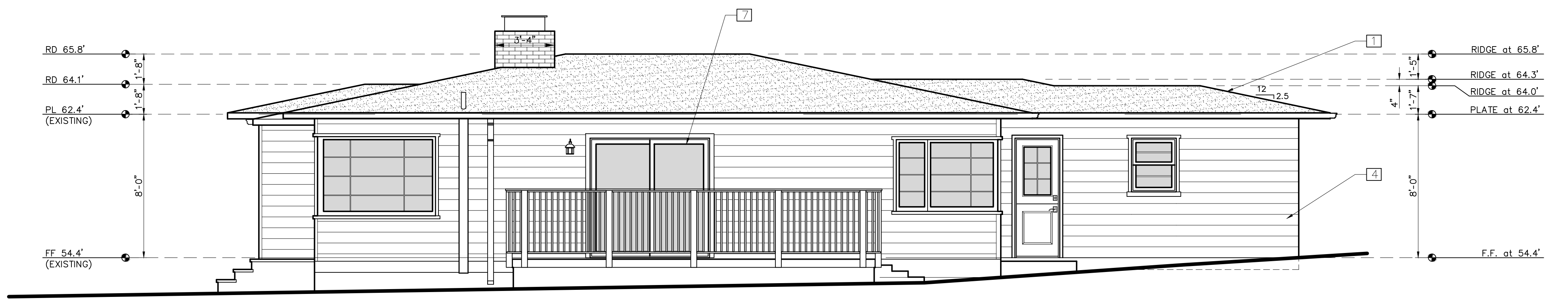
- 1 ROOF: NEW COMPOSITION ASPHALT SHINGLE, PITCH 4:12; BY CERTAITEED, PRESIDENTIAL TL, COUNTRY GRAY.
- 2 GUTTER: ALUMINUM 6-INCH HALF ROUND, CONNECTED TO A DOWNSPOUT
- 3 WINDOWS: EXISTING WOOD CASEMENT/FIXED
- 4 SIDING: EXISTING, WOOD SHIP LAP SIDING
- 5 CHIMNEY: NEW WOOD SHIP LAP SIDING TO MATCH EXISTING WITH A METAL SHROUD
- 6 GUARDRAIL: WOOD BALUSTRADES AND CAP
- 7 DOOR: EXISTING, VINYL SLIDING DOOR
- 8 DOOR: NEW WOOD WITH OBSCURED GLASS PANEL
- 9 STEPS: BRICKS
- 10 ELECTRICAL MAIN PANEL
- 11 GAS METER
- 12 NETWORK PANELS
- 13 GRADE: WHERE OCCURS
- 14 SIDING: NEW WOOD SHIP LAP SIDING TO MATCH EXISTING, TYP AT SECOND FLOOR ADDITION
- 15 GUARDRAIL: METAL JULIET BALCONY, PAINTED
- 16 SECOND STORY PLATE HEIGHT LIMIT, 18-FT. SHOWN DASHED LINE
- 17 WINDOWS: NEW WOOD WINDOWS (AT SECOND LEVEL) TO MATCH EXISTING.
- 18 DECK GUARDRAIL: WOOD PAINTED, EXISTING TO REMAIN
- 19 LIGHT FIXTURES: DARK SKY, LED, SEE MATERIALS SPECIFICATIONS
- 20 NEW WOOD FRENCH DOORS



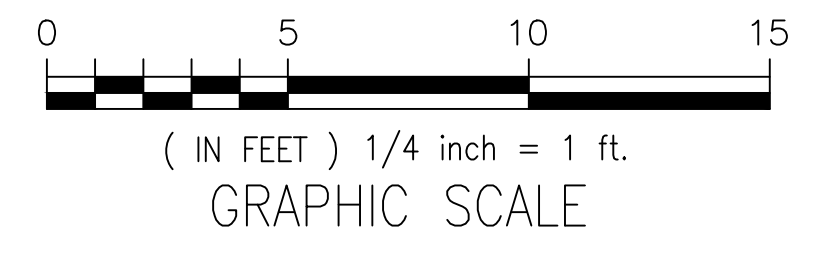
**SOUTH ELEVATION
 PROPOSED**

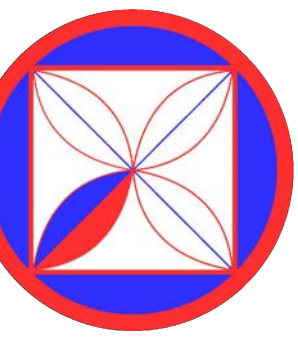
KEY NOTES

- 1 ROOF: TAR & GRAVEL, 2.5:12 PITCH
- 2 GUTTER: ALUMINUM "X" STYLE, CONNECTED TO A DOWNSPOUT
- 3 WINDOWS: WOOD
- 4 SIDING: WOOD SHIP LAP SIDING
- 5 CHIMNEY: BRICK WITH A METAL SHROUD
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- 9 STEPS: BRICKS
- 10 ELECTRICAL MAIN PANEL
- 11 GAS METER
- 12 NETWORK PANELS
- 13 GRADE: WHERE OCCURS
- 14 TANKLESS WATER HEATER



**SOUTH ELEVATION
 EXISTING**





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REVISIONS:

PROJECT:
 MANDERNACH RESIDENCE
 GUADALUPE, 2 NE OF 1ST, CARMEL, CA
 BLOCK: 3, LOT: 4 & N1/2 OF 6
 APN: 009-145-011
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 24-01

ISSUE:
 04-01-24
 09-27-24
 10-04-24
 DRAWN BY:
 C.O.

ELEVATIONS:
 EXISTING &
 PROPOSED MAIN
 HOUSE & GARAGE

SCALE: 1" = 1/4"

A6.1



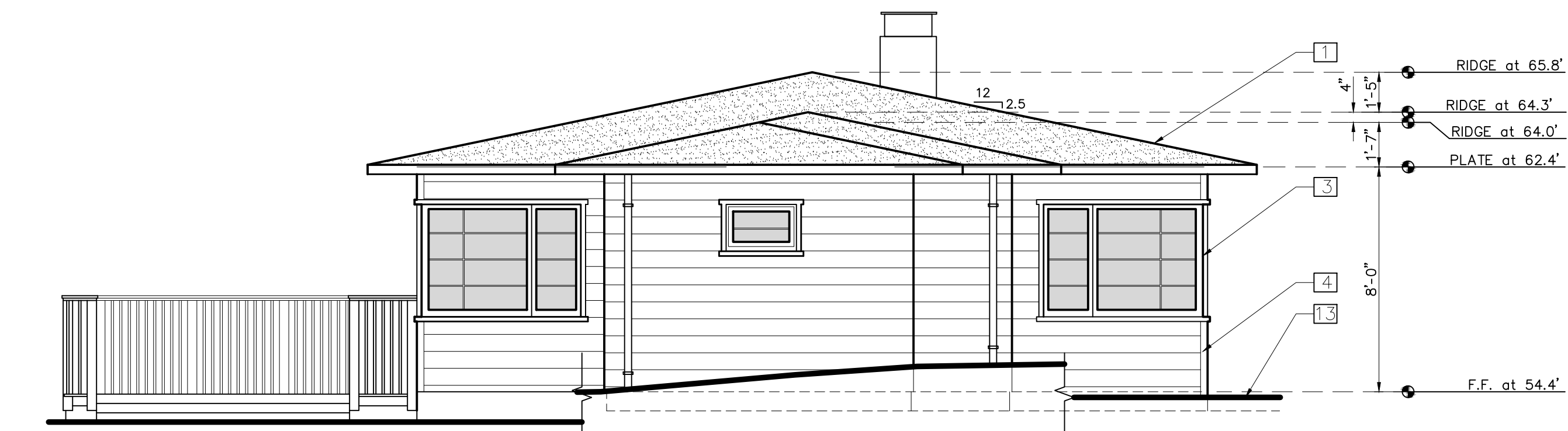
EAST ELEVATION
 PROPOSED



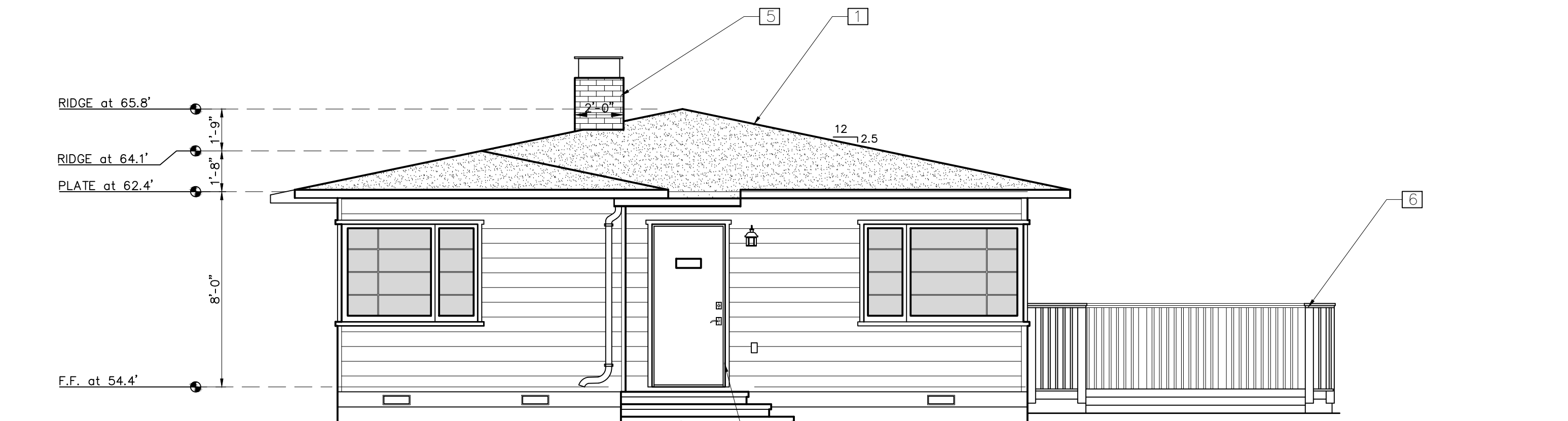
WEST ELEVATION
 PROPOSED

KEY NOTES

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- 19 LIGHT FIXTURES: DARK SKY, LED, SEE MATERIALS SPECIFICATIONS
- 20 CANOPY: STANDING SEAM METAL AWNING AND METAL FRAME FRAME PAINTED, SEE DETAIL 6/A12.0



EAST ELEVATION
 EXISTING

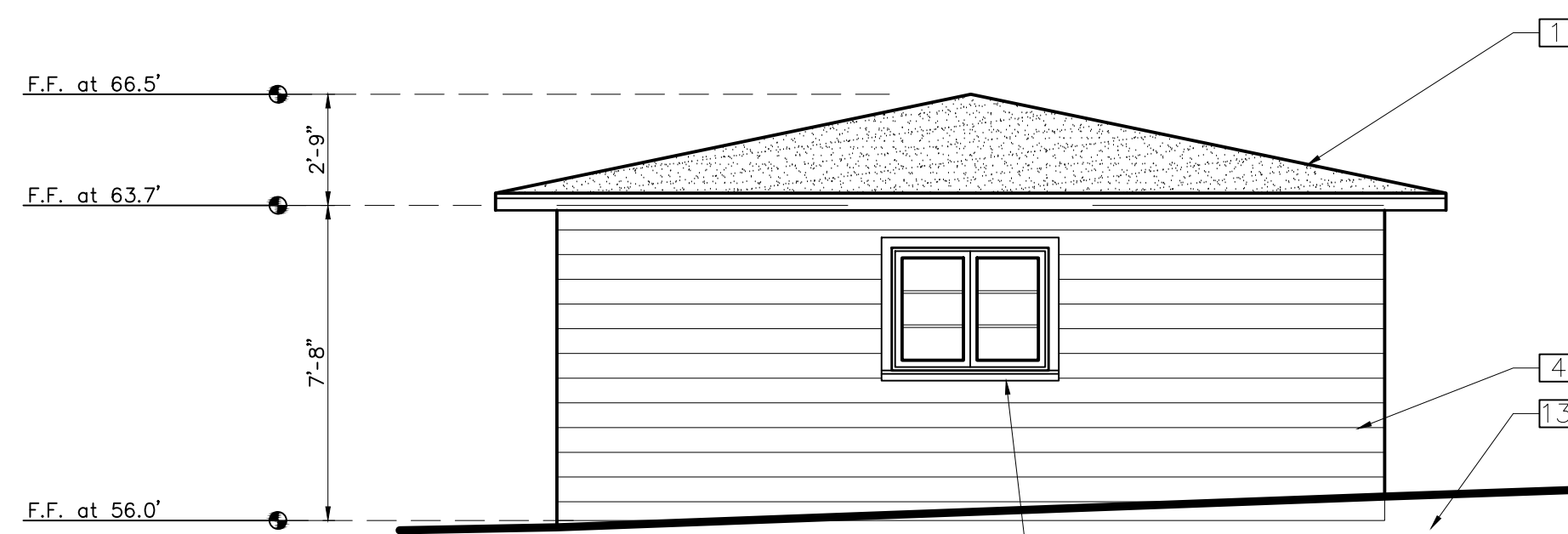


WEST ELEVATION
 EXISTING

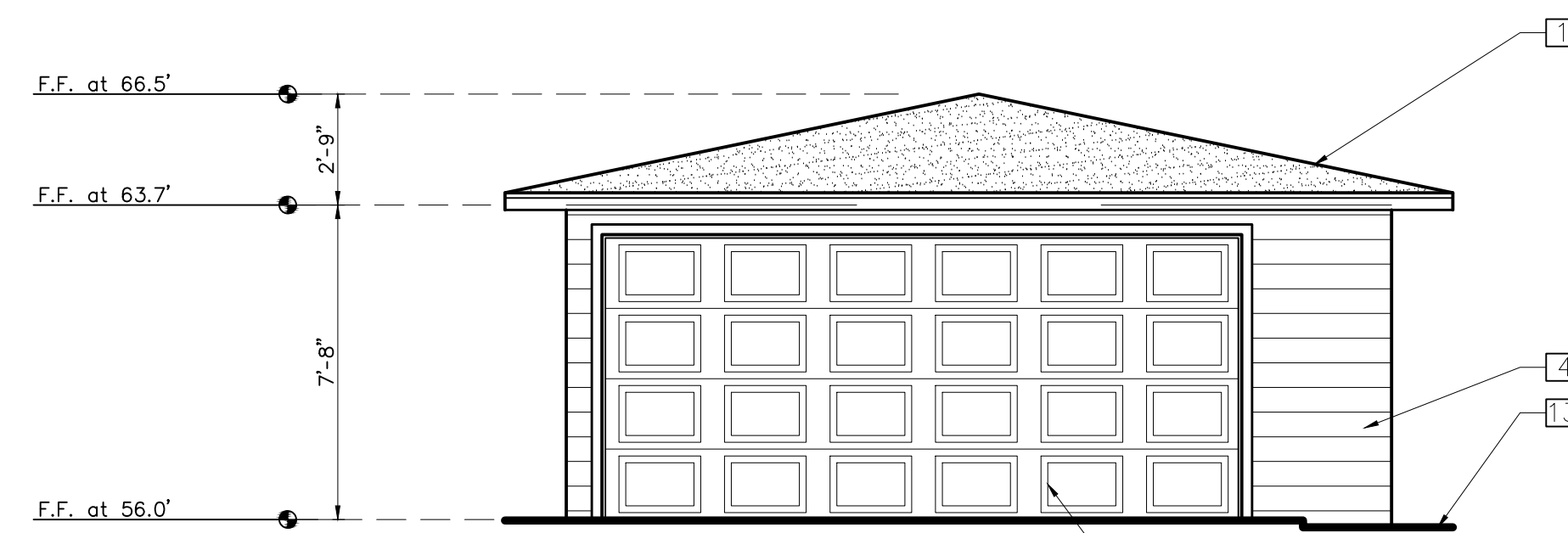
KEY NOTES

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- 12 NETWORK PANELS
- 13 GRADE: WHERE OCCURS
- 14 TANKLESS WATER HEATER
- 15 GARAGE DOOR

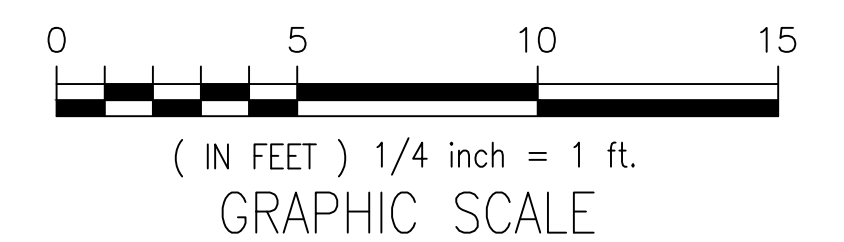
NOTE:
 NO CHANGES TO
 THE GARAGE

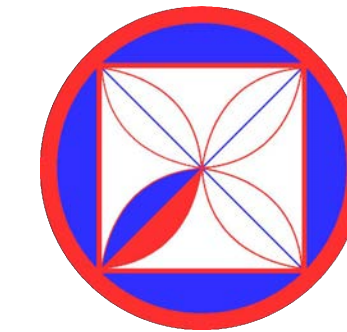


SOUTH ELEVATION
 EXISTING GARAGE

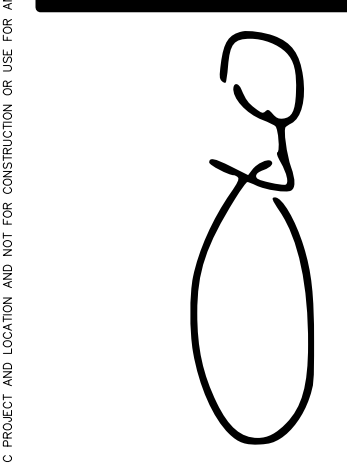


WEST ELEVATION
 EXISTING GARAGE





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 Carmel, CA 93923
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REVISIONS:

PROJECT:
 MANDERNACH RESIDENCE
 GUADALUPE, 2 NE OF 1ST, CARMEL, CA
 BLOCK: 3, LOT: 4 & N1/2 OF 6
 APN: 009-145-011
 PROJECT NO.
 24-01

ISSUE:
 04-01-24
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 10-04-24
 DRAWN BY:
 C.O.

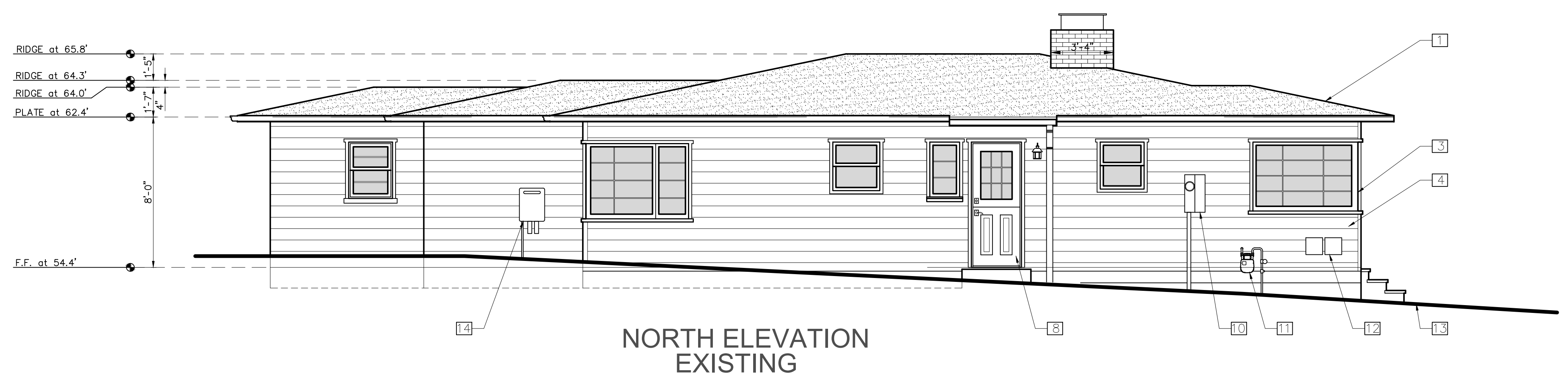
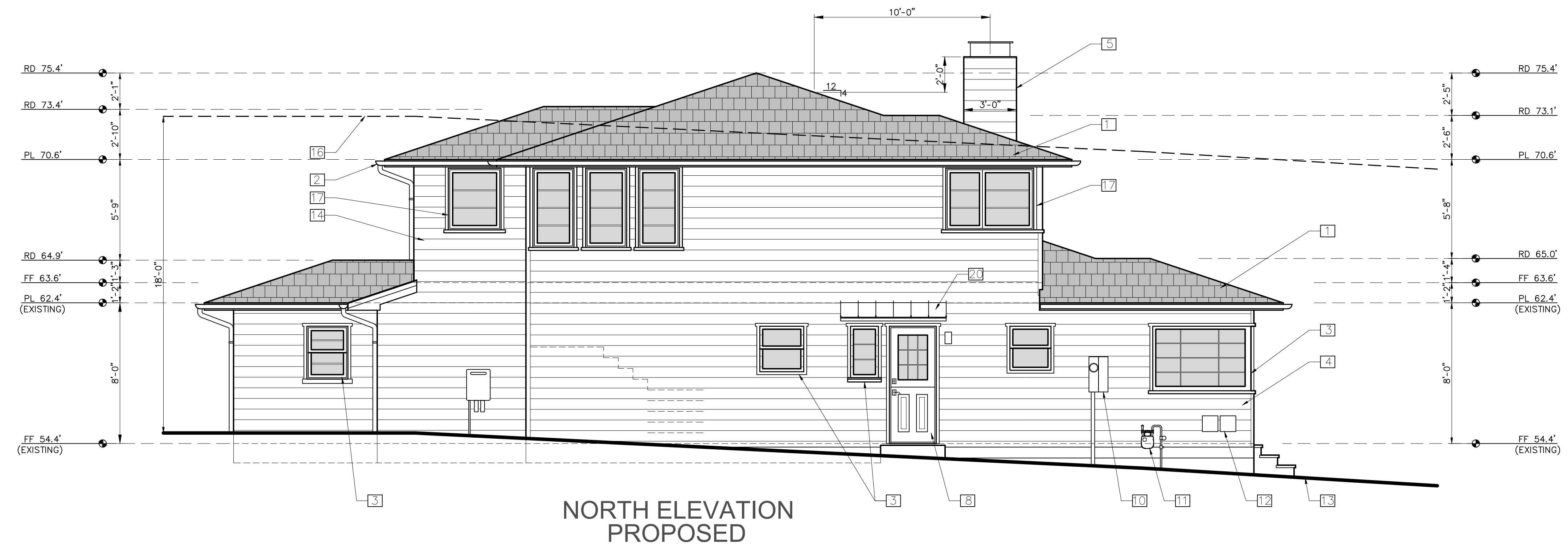
ELEVATIONS:
 EXISTING &
 PROPOSED MAIN
 HOUSE & GARAGE

SCALE: 1" = 1/4"

A6.2

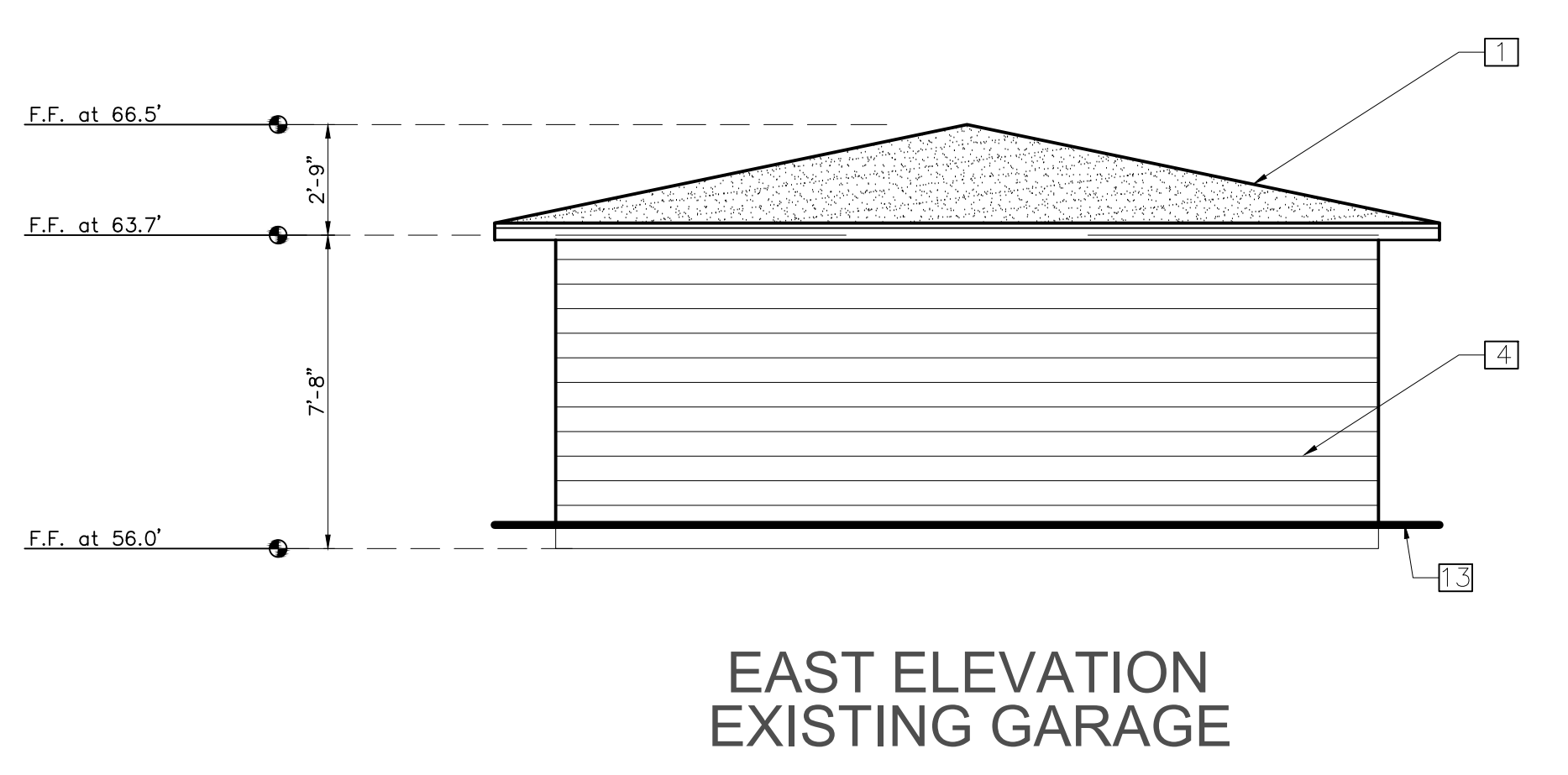
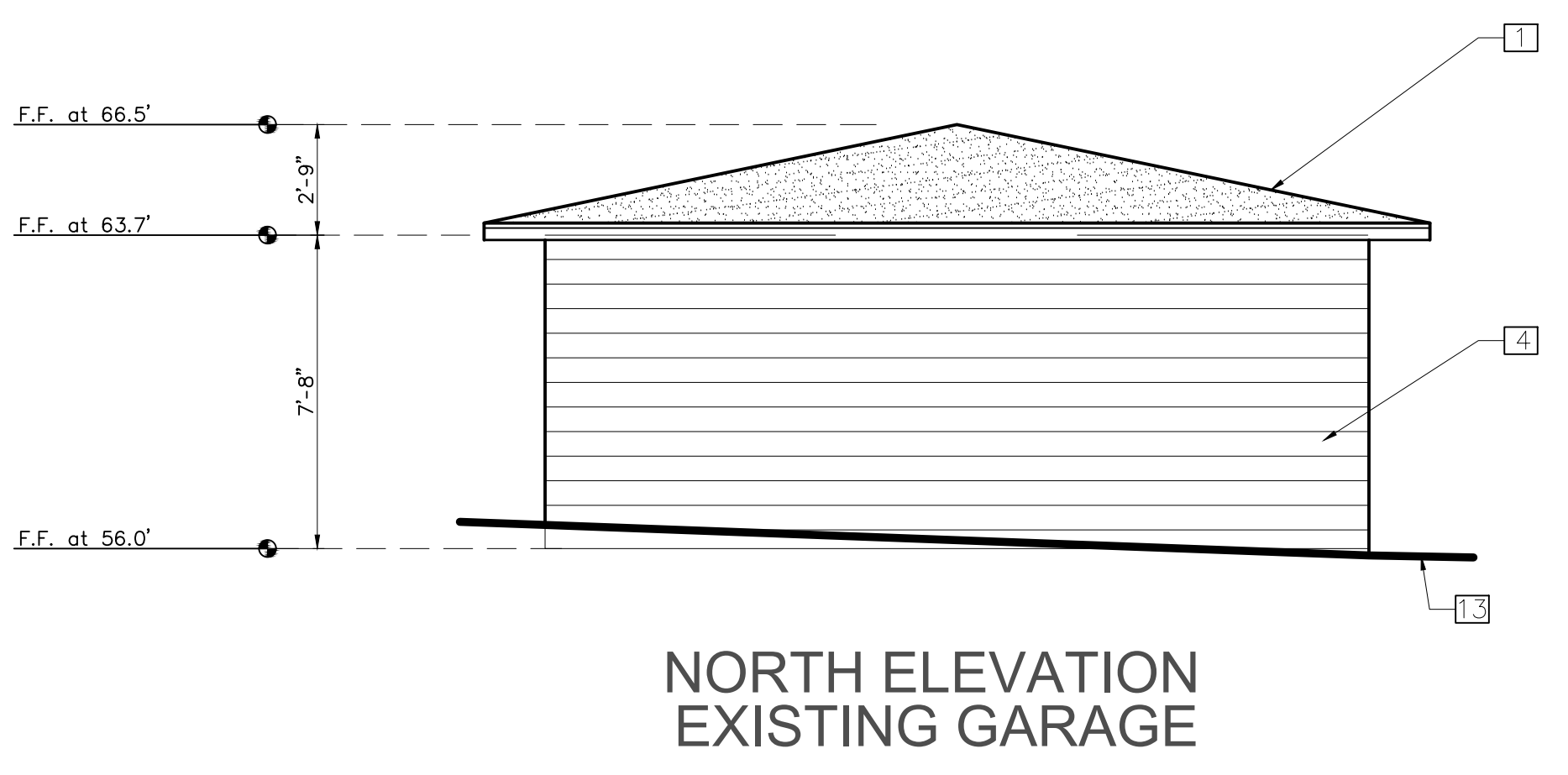
KEY NOTES

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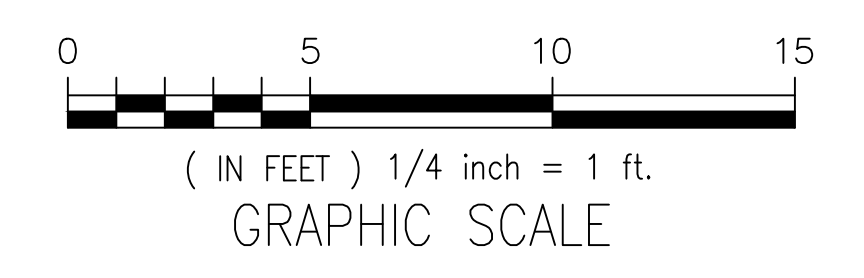


KEY NOTES

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NOTE:
 NO CHANGES TO
 THE GARAGE





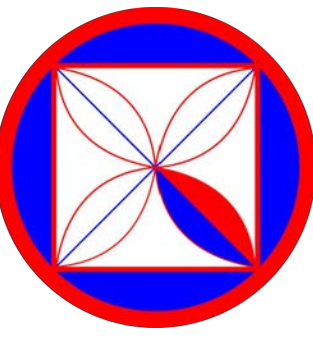
Guadalupe St.

EXISTING WEST ELEVATION



Guadalupe St.

PROPOSED WEST ELEVATION



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 CLAUDIO ORTIZ, ARCHITECT
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 WWW.CODGINC.COM

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REVIEWS:

PROJECT: MANDERNACH RESIDENCE
 GUADALUPE, 2 NE OF 1ST, CARMEL, CA
 BLOCK: 4 & N1/2 OF 6, LOT: 3
 APN: 009-145-011
 PROJECT NO. 24-01

ISSUE: 05-22-2024

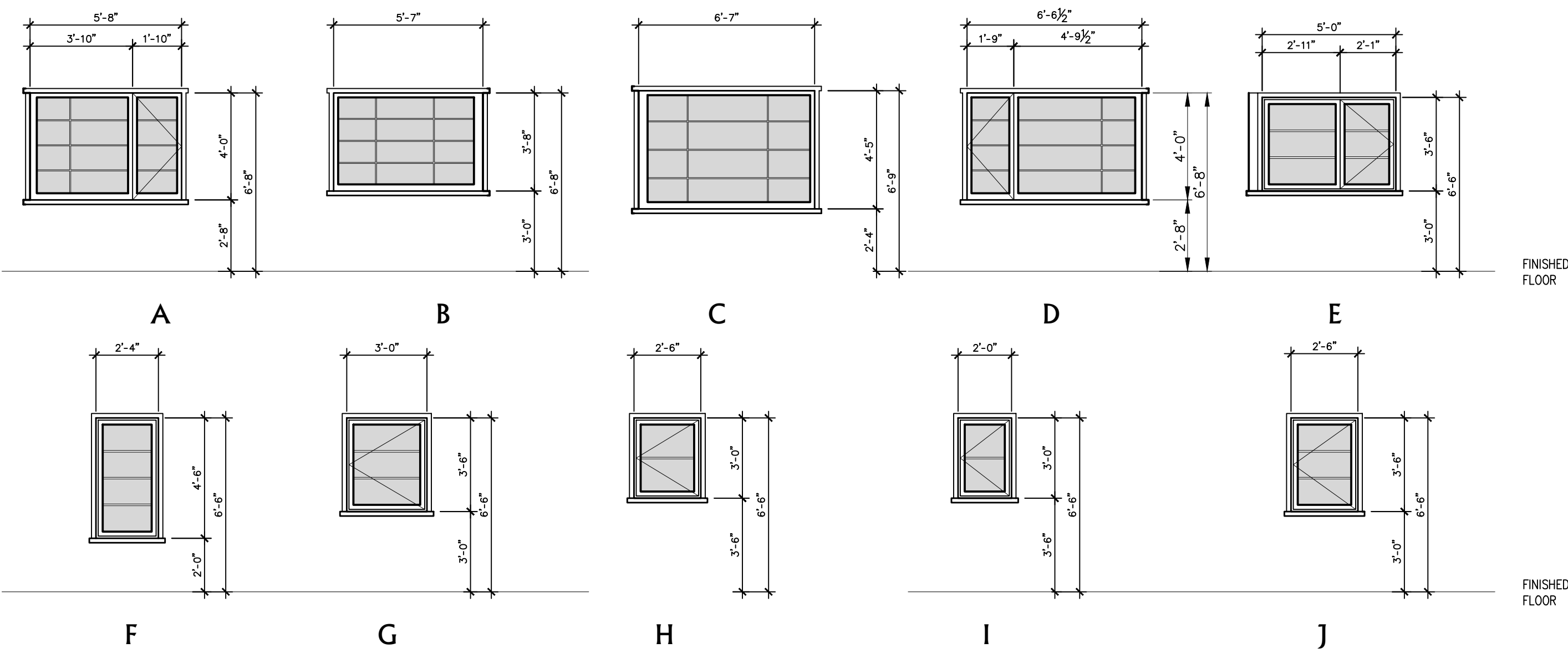
DRAWN BY: CO

STREET SCAPE

SCALE: 1" = 1/4"

A7.0

Window Elevation Types



FINISHED FLOOR

FINISHED FLOOR

Window Schedule

	NO.	LOCATION	TYPE	SIZE	FINISH	REMARKS	MATERIAL	GLAZING	TEMPERED	SCREEN	EGRESS WINDOWS
MAIN LEVEL	1	BREAKFAST NOOK	A	5'-8" X 4'-0"	P	FIXED/CASEMENT	WOOD	YES	NO	NO	NO
	2	BREAKFAST NOOK	B	5'-7" X 3'-8"	P	FIXED	WOOD	YES	NO	NO	NO
	3	MASTER BEDROOM	A	5'-8" X 4'-0"	P	FIXED/CASEMENT	WOOD	YES	NO	NO	YES
	4	MASTER BEDROOM	A	5'-8" X 4'-0"	P	FIXED/CASEMENT	WOOD	YES	NO	NO	YES
	5	LIVING ROOM	C	6'-7" X 4'-5"	P	FIXED	WOOD	YES	NO	NO	NO
	6	LIVING ROOM	D	6'-7" X 4'-0"	P	FIXED/CASEMENT	WOOD	YES	NO	NO	NO
UPPER LEVEL	7	BEDROOM THREE	E	5'-0" X 3'-6"	P	FIXED/CASEMENT	WOOD	YES	NO	YES	YES
	8	BEDROOM THREE	E	5'-0" X 3'-6"	P	FIXED/CASEMENT	WOOD	YES	YES	YES	YES
	9	STAIRS	F	2'-4" X 4'-6"	P	FIXED	WOOD	YES	YES	NO	NO
	10	STAIRS	F	2'-4" X 4'-6"	P	FIXED	WOOD	YES	YES	NO	NO
	11	STAIRS	F	2'-4" X 4'-6"	P	FIXED	WOOD	YES	YES	NO	NO
	12	STAIRS	F	2'-4" X 4'-6"	P	FIXED	WOOD	YES	YES	NO	NO
	13	STAIRS	F	2'-4" X 4'-6"	P	FIXED	WOOD	YES	YES	NO	NO
	14	BATHROOM ONE	G	3'-0" X 3'-6"	P	CASEMENT	WOOD	YES	NO	NO	NO
	15	BATHROOM ONE	H	2'-6" X 3'-0"	P	CASEMENT	WOOD	YES	NO	NO	NO
	16	BATHROOM ONE	I	2'-0" X 3'-0"	P	CASEMENT	WOOD	YES	NO	NO	NO
	17	BEDROOM ONE	J	2'-6" X 3'-6"	P	CASEMENT	WOOD	YES	NO	NO	NO
	18	BEDROOM THREE	E	5'-0" X 3'-6"	P	FIXED/CASEMENT	WOOD	YES	NO	YES	YES
19	BEDROOM THREE	E	5'-0" X 3'-6"	P	FIXED/CASEMENT	WOOD	YES	NO	YES	YES	

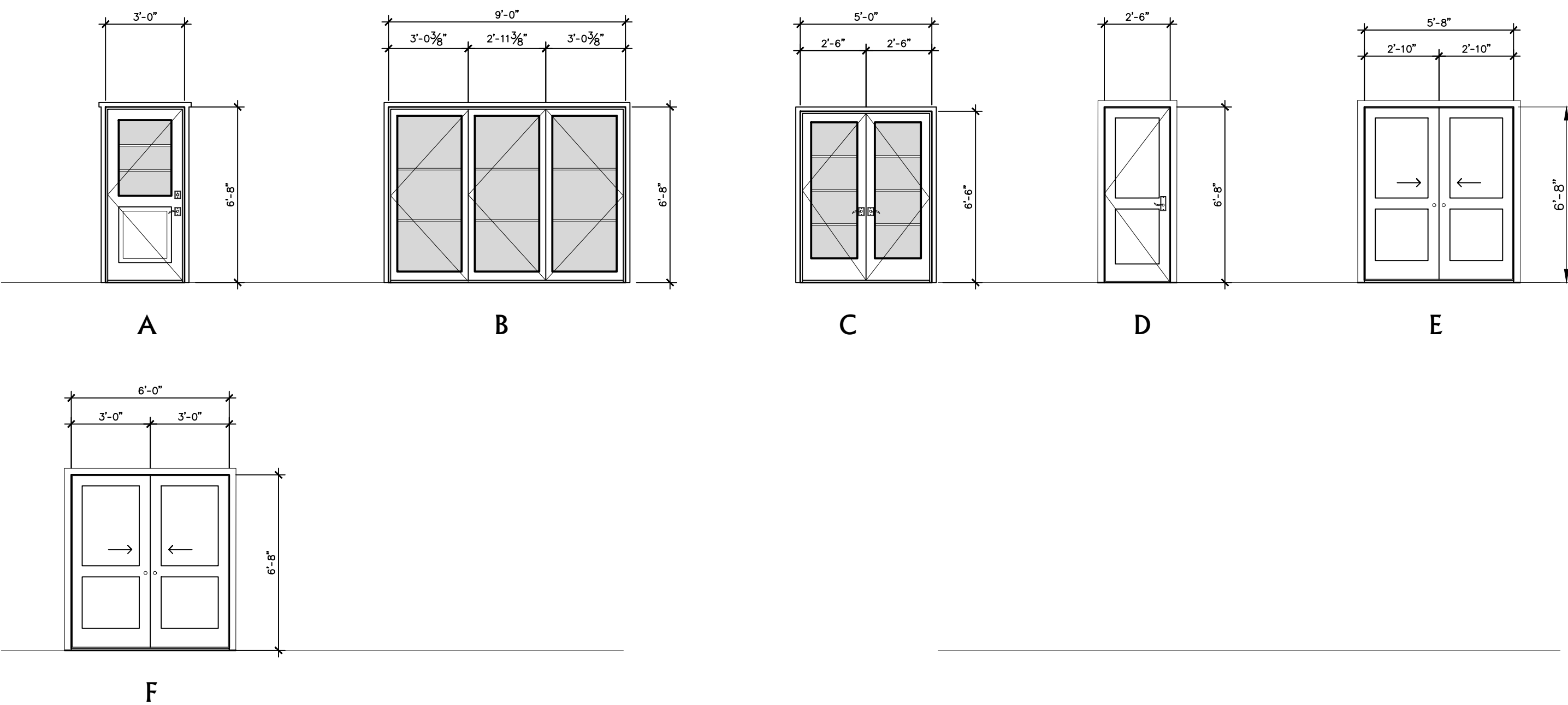
WINDOW SPECIFICATIONS:

MANUFACTURE: SIERRA PACIFIC
 MODEL: URBAN CASEMENT

GLASS: STANDARD DUAL PANE, CLEAR
 GRILL: NONE
 JAMB: 4-9/16 INCH
 CLAD COLOR: MATCH EXISTING WINDOWS
 INTERIOR FINISH: CLEAR
 WOOD SPECIE: DOUGLAS FIR
 HARDWARE: STANDARD CONTEMPORARY HANDLE
 HARDWARE COLOR: SATIN NICKEL

TRIM OPTIONS:
 EXTERIOR: NONE
 INTERIOR: NONE

Door Elevation Types



Door Schedule

	NO.	LOCATION	TYPE	SIZE	FINISH	REMARKS	MATERIAL	GLAZING	TEMPERED	
MAIN LEVEL	1	ENTRY	A	3'-0" X 6'-8"	P	GLASS / PANELED	OUTSIDE	WOOD	NO	YES
	2	DINING ROOM	B	9'-0" X 6'-8"	P	BI-FOLD/THREE PANELS/GLASS	OUTSIDE	WOOD	YES	YES
	3	HALLWAY ONE	D	2'-6" X 6'-8"	P	1-3/4" THK. SOLID-CORE DOOR/PANELED	OUTSIDE	WOOD	NO	NO
UPPER LEVEL	4	BEDROOM TWO	C	(2) PR 2'-6" X 6'-6"	P	GLASS / PANELED DOOR	OUTSIDE	WOOD	YES	YES
	5	BEDROOM ONE	D	2'-6" X 6'-8"	P	1-3/4" THK. SOLID-CORE DOOR/PANELED	INSIDE	WOOD	YES	YES
	6	BEDROOM ONE	E	(2) PR 2'-10" X 6'-8"	P	1-3/4" THK. SOLID-CORE SLIDING DOOR/PANELED	INSIDE	WOOD	YES	YES
	7	BEDROOM TWO	D	2'-6" X 6'-8"	P	1-3/4" THK. SOLID-CORE DOOR/PANELED	INSIDE	WOOD	YES	YES
	8	BEDROOM TWO	F	(2) PR 3'-0" X 6'-8"	P	1-3/4" THK. SOLID-CORE SLIDING DOOR/PANELED	INSIDE	WOOD	YES	YES
	9	BEDROOM THREE	D	2'-6" X 6'-8"	P	1-3/4" THK. SOLID-CORE DOOR/PANELED	INSIDE	WOOD	NO	NO
	10	BEDROOM THREE	F	(2) PR 3'-0" X 6'-8"	P	1-3/4" THK. SOLID-CORE SLIDING DOOR/PANELED	INSIDE	WOOD	NO	NO
	11	BATHROOM ONE	D	2'-6" X 6'-8"	P	1-3/4" THK. SOLID-CORE DOOR/PANELED	INSIDE	WOOD	NO	NO
	12	BATHROOM ONE	D	2'-6" X 6'-8"	P	1-3/4" THK. SOLID-CORE DOOR/PANELED	INSIDE	WOOD	NO	NO

DOOR SPECIFICATIONS (EXTERIOR):

MANUFACTURE: SIERRA PACIFIC
 MODEL: STANDARD CASEMENT

GLASS: STANDARD DUAL PANE, CLEAR
 GRILL: NONE
 JAM: 6-9/16"
 CLAD COLOR: BATTLESHIP GRAY #321
 INTERIOR FINISH: CLEAR
 WOOD SPECIE: DOUGLAS FIR
 HARDWARE: STANDARD CONTEMPORARY HANDLE
 HARDWARE COLOR: SATIN NICKEL

TRIM OPTIONS:
 EXTERIOR: WOOD CASING TO MATCH EXISTING
 INTERIOR: WOOD CASING TO MATCH EXISTING

DOOR SPECIFICATIONS (INTERIOR):

MANUFACTURE: TRUESTILE
 MODEL: TMIR13000

GLASS: NONE
 GRILL: NONE
 INTERIOR FINISH: STAINED
 WOOD SPECIE: PLAIN SAWN WHITE OAK
 THICKNESS: 1-3/4"
 JAM WIDTH: 4" (VERIFY)
 HINGES: BRUSHED CHROME
 HARDWARE: EMTEK, FREESTONE LEVEL
 HARDWARE COLOR: SATIN NICKEL
 PROFILES: 1/4" KERF CUT REVEAL

TRIM OPTIONS:
 INTERIOR: NONE

Door Notes:

- PROVIDE DEAD BOLT LOCKS ON ALL EXTERIOR DOORS. SEE SCHEDULE FOR ADDITIONAL REQUIREMENTS.
- PROVIDE PRIVACY HARDWARE FOR ALL BEDROOM AND BATHROOM LOCATIONS.
- GENERAL CONTRACTOR TO CONSULT WITH OWNER FOR ADDITIONAL DOOR HARDWARE REQUIREMENTS.
- ALL DOOR GLAZING TO BE TEMPERED GLASS.
- ALL EXTERIOR DOOR GLAZING TO BE 5/8" INSULATED TEMPERED GLASS.
- DOORS BETWEEN CONDITIONED AND UNCONDITIONED SPACES TO BE FULLY WEATHER STRIPPED.
- GENERAL CONTRACTOR TO REVIEW DOOR ORDER WITH ARCHITECT PRIOR TO DOOR ORDER PLACEMENT.
- DOOR HINGES TO BE 4.5"H.X4.5"W. DOOR 7"-0"
- ALL DOOR TOPS AND BOTTOM TO BE SANDED, FINISHED, AND SEALED.
- GARAGE DOORS : SEE SCHEDULE AND EXTERIOR ELEVATIONS FOR ADDITIONAL INFORMATION.
- THE DOOR FINISH PER CLIENT OR CODG, INC.
- THE DOOR STILES TO BE PER PLAN
- CHECK FLOOR PLAN FOR HINGES LOCATION
- PER THE ENERGY CODE ALL WINDOWS ARE TO BE LAMINATED DOUBLE GLAZING PANE.

Window Notes:

- PROVIDE SAFETY GLAZING (TEMPERED OR LAMINATED) AS REQUIRED PER C.B.C.
- SCREEN CASEMENT TO BE SPECIFIED BY CLIENT
- GENERAL CONTRACTOR TO VERIFY THE WINDOW ORDER AND ROUGH FRAMING WITH THE DESIGNER/ARCHITECT PRIOR TO PLACEMENT OF THE WINDOW ORDER.
- THE WINDOW MANUFACTURER WILL SUPPLY SHOP DRAWINGS FOR SPECIAL WINDOWS (OVERSIZE,ETC.) FOR REVIEW BY CODG, INC.
- APPLY SISAL KRAFT PAPER AROUND ALL EXTERIOR OPENING.
- PROVIDE CONTINUOUS CAULK AROUND ALL WINDOW OPENINGS WITH G.E. SILICONE ACRYLIC, POLYSULFIDE OR URETHANE AS REQUIRED.
- ALL MANUFACTURED WINDOWS TO BE CERTIFIED AND LABELED MEETING STANDARDS LISTED IN TABLE 2-53V OF TITLE 24.
- EXTERIOR WINDOW FINISH TO BE SEALED, U.N.O.
- ALL OPERABLE WINDOWS TO HAVE SCREENS. AS SPECIFY BY CLIENT.
- SEE EXTERIOR ELEVATIONS FOR ALL WINDOW HEAD HEIGHTS.
- DOUBLE PANE LAMINATED GLASS AS SPECIFIED TITLE 24 GLASS & GLAZING SEC. 2401 & TABLE 2403.2.1
- PER THE ENERGY CODE ALL WINDOWS ARE TO BE GLAZING AS DUAL PANE.
- WINDOW JAMS TO BE 3-1/2-INCHES WITHOUT EXTENSION AND DELIVERED WITH EXTERIOR WOOD SILLS ONLY. (U.N.O)

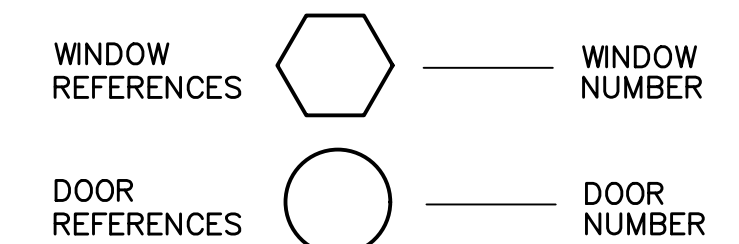
Note:

- FOR HINGE LOCATION & OPENING SWING DIRECTION SEE ELEVATIONS
- ALL WINDOW DIMENSIONS ARE THE ROUGH OPENING SEE ELEVATIONS
- ALL DOOR DIMENSIONS ARE ACTUAL DOOR SIZE & OPENING SEE ELEVATIONS

Tempered Glass Note:

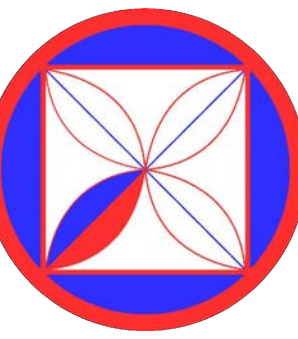
- EACH PANE OF GLAZING INSTALLED IN HAZARDOUS LOCATIONS SHALL BE TEMPERED GLASS; THE FOLLOWING LOCATIONS SHALL BE HAZARDOUS LOCATIONS FOR GLAZING:
- GLAZING IN DOORS.
 - GLAZING IN A FIXED OR OPERABLE PANEL ADJACENT TO A DOOR WHERE THE BOTTOM OF THE GLAZING IS LESS THAN 60-INCHES ABOVE THE FLOOR OR WALKING SURFACE AND ITS EITHER WITHIN 24-INCHES OF EITHER SIDE OF THE DOOR IN THE PLANE OF THE DOOR "OR" WHERE THE GLAZING IS ON A WALL PERPENDICULAR TO THE PLANE OF THE DOOR WITHIN 24-INCHES OF THE HINGE SIDE OF AN IN-SWINGING DOOR.
 - GLAZING IN WINDOWS THAT MEET ALL THE FOLLOWING CONDITIONS:
 - THE EXPOSED AREA OF AN INDIVIDUAL PANE IS LARGER THAN 9 SQUARE FEET
 - THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 18-INCHES ABOVE THE FLOOR.
 - THE TOP EDGE OF THE GLAZING IS LESS THAN 18-INCHES ABOVE THE FLOOR.
 - ONE OR MORE WALKING SURFACES ARE WITHIN 36-INCHES, MEASURED HORIZONTALLY.
 - GLAZING IN GUARDS AND RAILINGS.
 - GLAZING IN WALLS CONTAINING OR FACING TUBS, SHOWERS AND OTHER WET SURFACES WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60-INCHES MEASURED VERTICALLY ABOVE ANY STANDING OR WALKING SURFACES, INCLUDING SHOWER DOORS AND SURROUNDS.
 - GLAZING ADJACENT TO STAIRS AND RAMPS.

Symbols

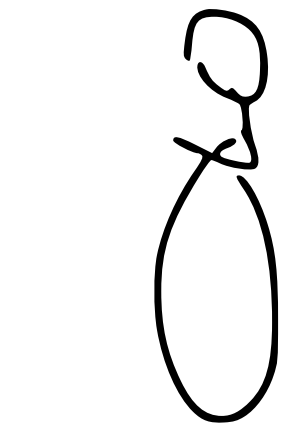


Abbreviations

- N/A NOT APPLICABLE
 G.C. GENERAL CONTRACTOR
 P PAINT
 ST STAIN
 FF FACTORY FINISH
 I.D. INTERIOR DESIGN
 S SEALED
 MFR. MANUFACTURER
 FIN. FINISH
 NAT. NATURAL



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REVISIONS:

PROJECT:
 MANDERNACH RESIDENCE
 GUADALUPE, 2 NE OF 1ST, CARMEL, CA
 BLOCK: 3, LOT: 4 & N1/2 OF 6
 APN: 009-145-011
 PROJECT NO.
 24-01

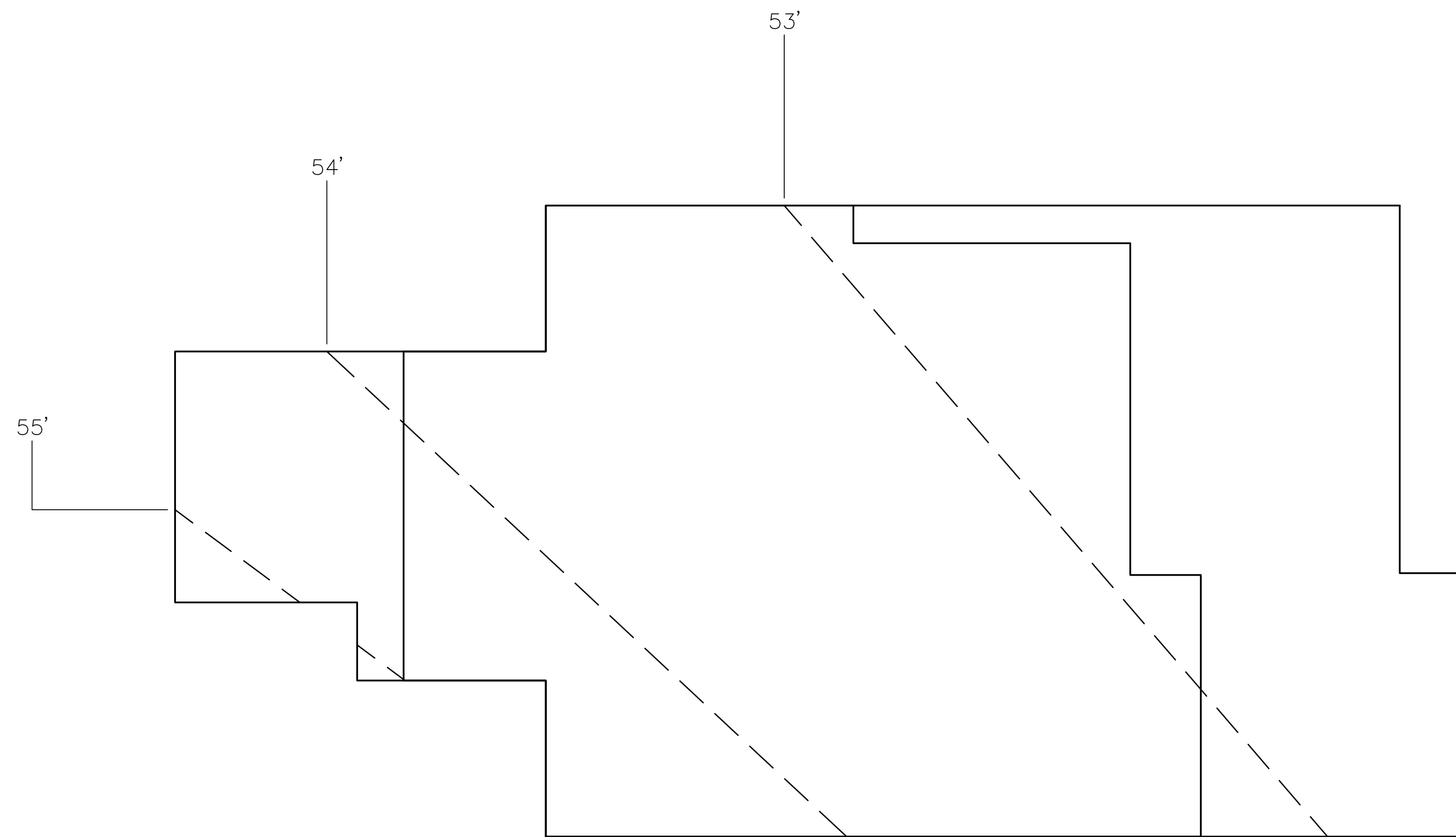
ISSUE:
 04-01-24
 09-27-24
 10-04-24

DRAWN BY:
 C.O.

WINDOW AND DOOR
 SCHEDULES

SCALE: 1" = 1/4"

A8.0



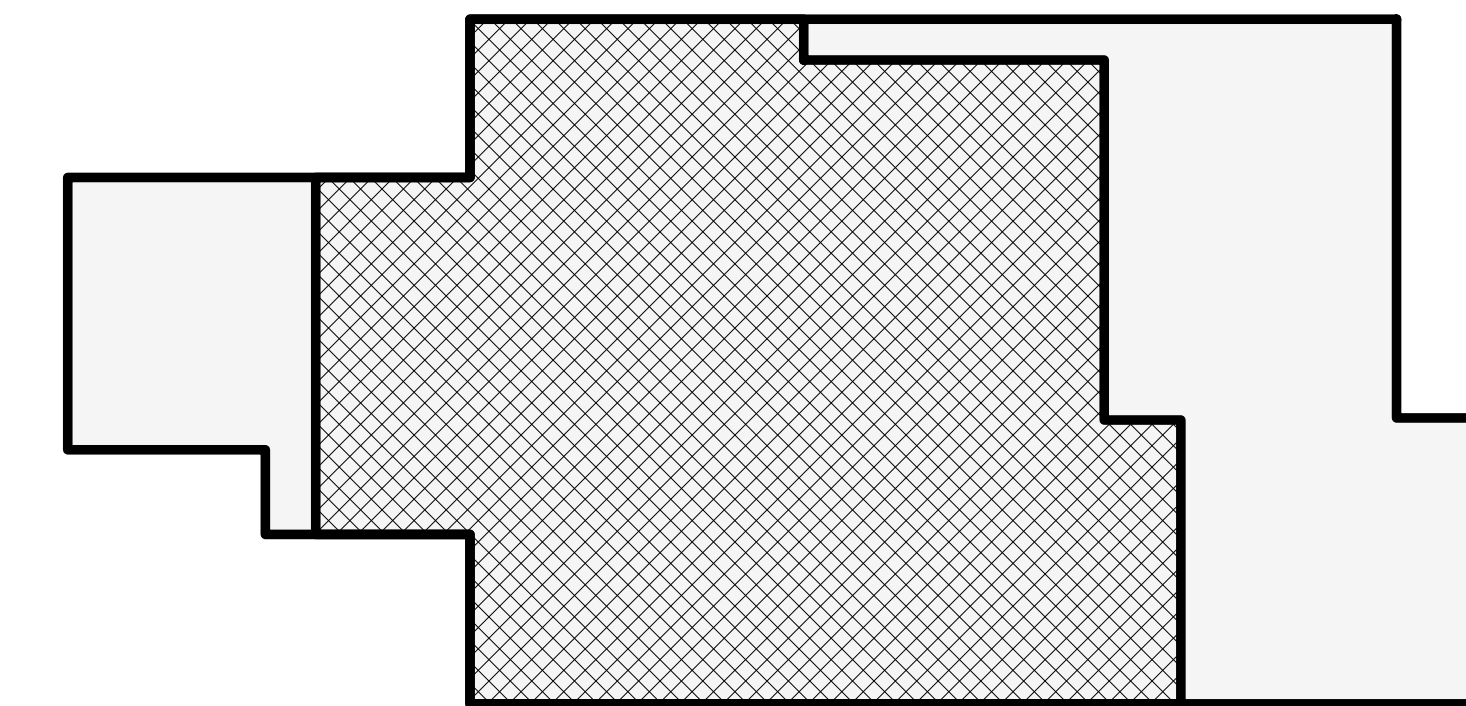
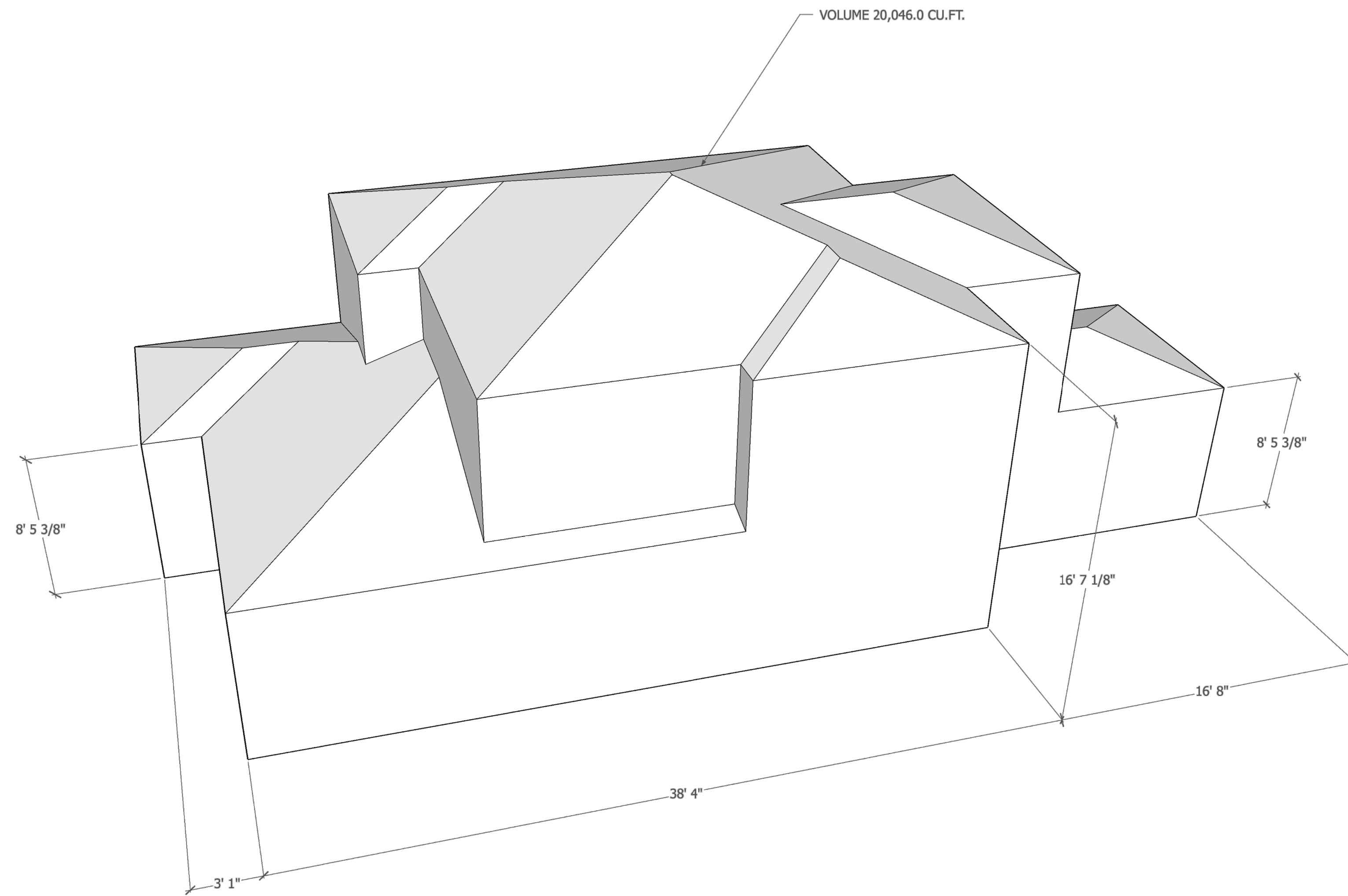
AVERAGE NATURAL GRADE

DWELLING AVERAGE NATURAL GRADE			57.5 FT
ELEV.	LINE	LENGTH	TOTAL
53 FT	0	37.3'	0'
54 FT	1	31.8'	31.8'
55 FT	2	9.6'	19.2'
TOTAL		78.7'	51.0'

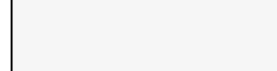



MATH: $78.7 / 51.0 = 1.54$
 FACTOR: = 1.5
 A.N.G. = 53 FT + 1.5 FACTOR = 54.5 FT

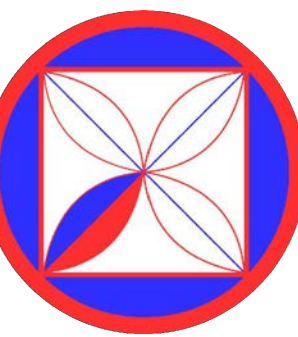
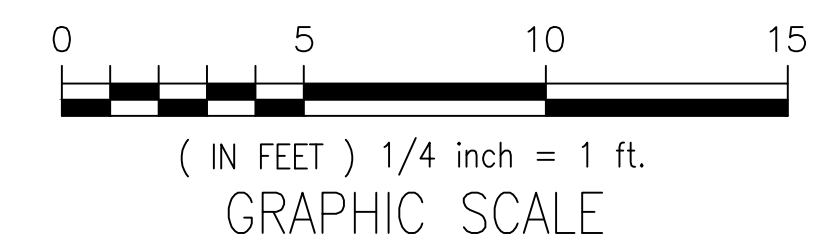
VOLUME ANALYSIS

MAIN DWELLING:		
MAIN LEVEL PITCHED	1,309.7 SF X 12	15,716.4 CU.FT.
UPPER LEVEL PITCHED	749.6 SF X 11	8,245.6 CU.FT.
VOLUME ALLOWED		23,962.0 CU.FT.
VOLUME PROPOSED		20,046.0 CU.FT.
DETACHED GARAGE PITCHED	400.0 SF X 12	4,800.0 CU.FT.



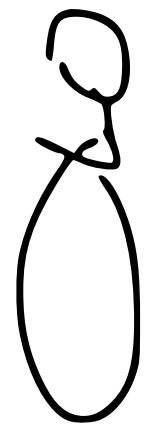
LEGEND

-  LOWER LEVEL PITCHED ROOF
-  UPPER LEVEL PITCHED ROOF
-  MAIN LEVEL FOOTPRINT
-  UPPER LEVEL FOOTPRINT



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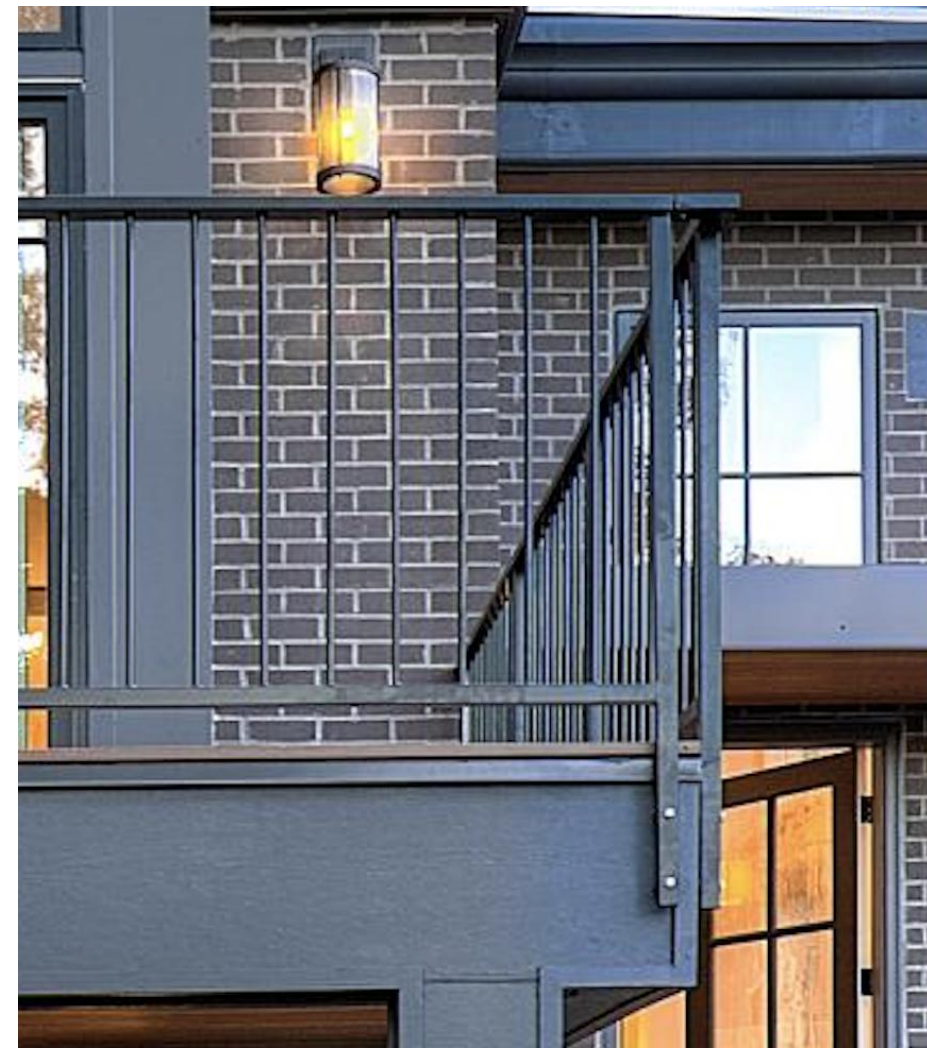
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 C.O.

**AVERAGE NATURAL
 GRADE AND VOLUME
 ANALYSIS**

SCALE: 1" = 1/4"

A9.0



1 GUARDRAIL

MATERIAL: STEEL
COLOR: PAINTED
HEIGHT: 42-IN



EXISTING SIDING

2 SIDING

NEW SIDING: TO MATCH EXISTING SHIPLAP SIDING



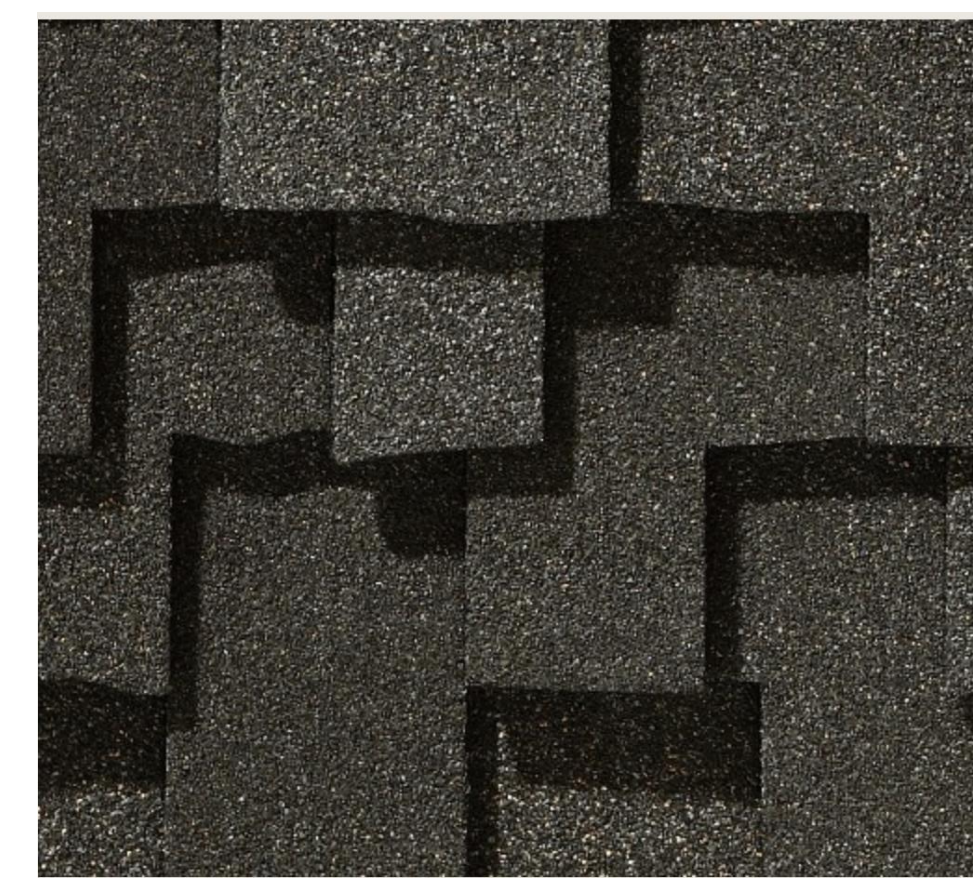
3 BULB

MANUFACTURE: FEIT ELECTRIC
WATTS: 4.5 WATTS
BULB TYPE: E26
LUMENS: 310



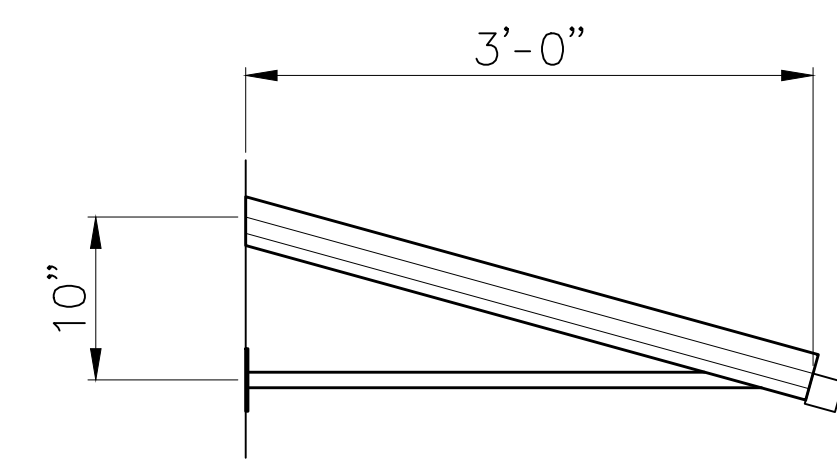
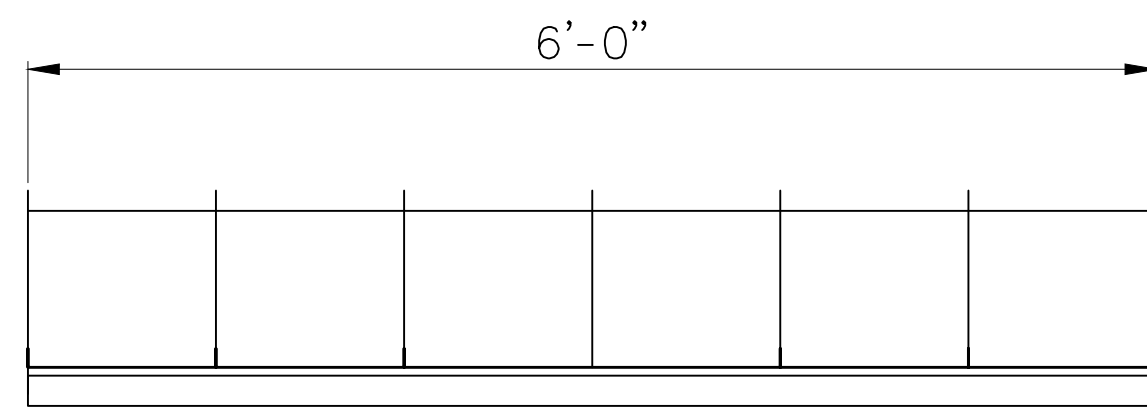
4 FIXTURE A

MANUFACTURE: HINKLEY
T24 COMPLIANT: YES
COLOR: BLACK
WATTS: SEE LIGHT BULB
LUMENS: SEE LIGHT BULB
BULB TYPE: SEE LIGHT BULB
DIMENSIONS: 8H X 4.5"W X 5.75"D



5 ROOF

MANUFACTURE: CERTAINTEED
MATERIAL: COMPOSITE ASPHALT SHINGLE
MODEL: PRESIDENTIAL TL
COLOR: COUNTRY GRAY



6 CANOPY

MATERIAL: METAL STANDING SEAM
DIMENSIONS: 6'-0"X3'-0"X10"
FINISH: PAINTED, DARK BRONZE



EXISTING PAVERS

7 DRIVEWAY PAVERS

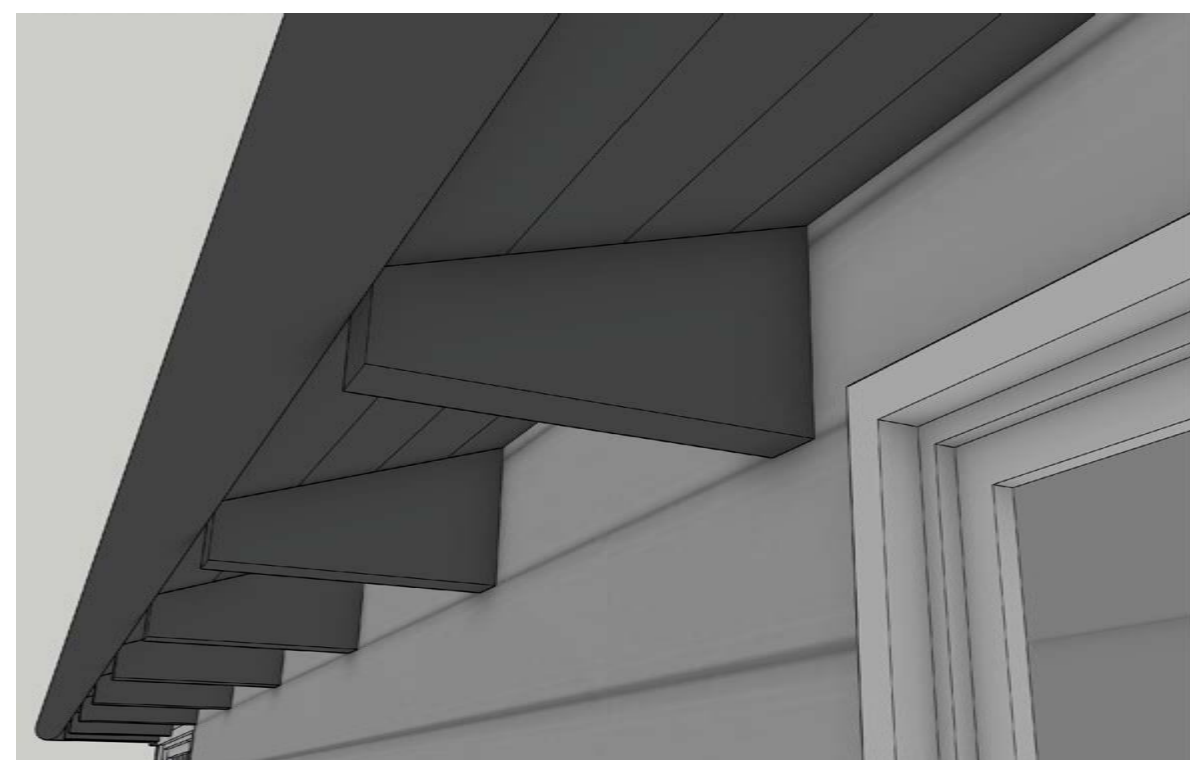
PAVERS: PAVERS TO REMAIN
ASSEMBLY: SET ON SAND



EXISTING WINDOW

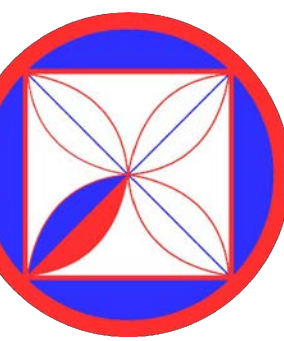
8 WINDOWS

NEW WINDOWS: TO MATCH EXISTING



9 NEW RAFTER TAIL

MATERIAL: WOOD
DIMENSIONS: 3-1/2 WIDE X 10-5/8X20"
FINISH: PAINTED
SPACED: 42-IN O.C.



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BLOCK: 3, LOT: 4 & N1/2 OF 6
APN: 009-145-011
PROJECT NO.: 24-01

ISSUE: 04-01-24
09-27-24
10-04-24
DRAWN BY: C.O.

MATERIALS

SCALE: 1" = 1/4"

A10.0

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C EXISTING LANDSCAPING TO REMAIN



D EXISTING LANDSCAPING TO REMAIN



E EXISTING LANDSCAPING TO REMAIN



A EXISTING LANDSCAPING TO REMAIN



B EXISTING LANDSCAPING TO REMAIN

MATERIALS:
EXISTING
LANDSCAPING

SCALE: 1" = 1/4"

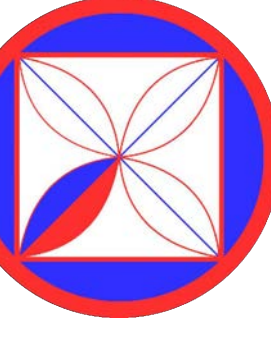
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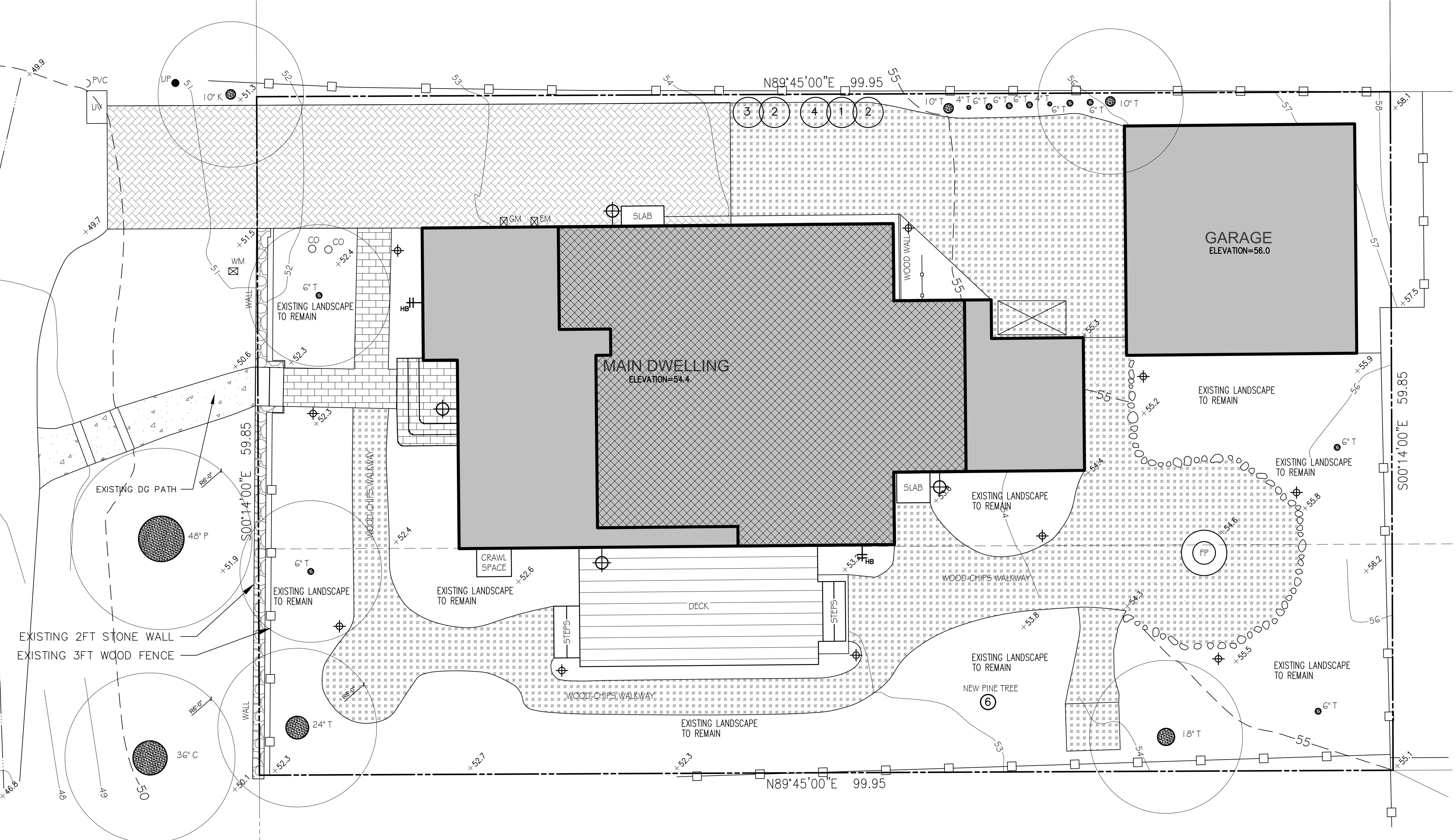


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GUADALUPE STREET
(A 60 FOOT WIDE CITY STREET)

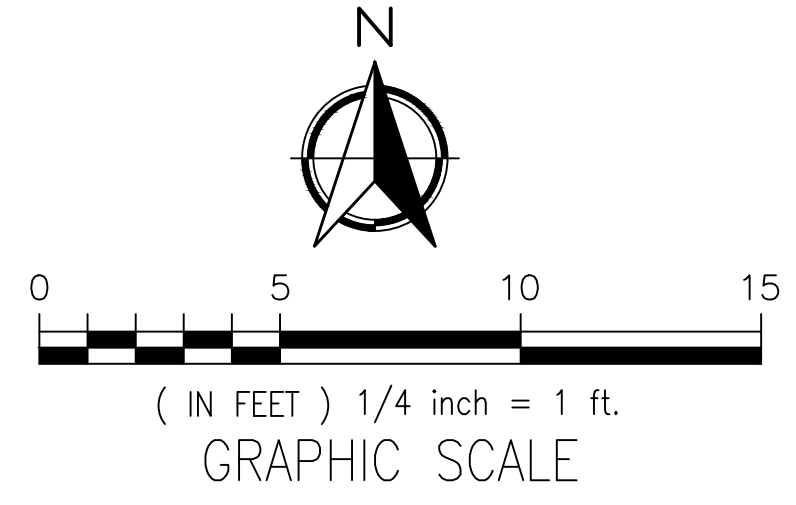
PROJECT BENCHMARK
MAG NAIL & DISC
ELEV=50.0



- LEGEND**
- NEW WD-CHIPS
 - DRIVEWAY PAVERS
 - PROPERTY LINE
 - WOOD FENCES
 - EXISTING TRASH AREA
 - LIGHT FIXTURE, SEE SHEET 6 FOR SPECS
 - HOSE BIB
 - EXISTING TREE
 - UTILITIES: GAS, ELECTRIC, WATER
 - NEW TREE
 - TREE ROOT PROTECTION ZONE

CITY FORESTER REQUIREMENTS

1. 6FT SETBACK FROM TREE TO BUILD FOOTPRINT AND STRUCTURE.
2. EXCAVATION WITHIN THE STRUCTURAL ROOT ZONES, 15FT AREA AROUND TREES MIN., SHALL BE DUG BY HAND OR PERFORMED WITH PNEUMATIC EXCAVATOR, HYDROVAC AT LOW PRESSURE, OR OTHER METHOD THAT DOES NOT SEVER ROOTS.
3. PER MUNICIPAL CODE CHAPTER 17.48.110 NO MATERIAL MAY BE STORED WITHIN THE DRIPLINE OF A PROTECTED TREE TO INCLUDE THE DRIP LINES OF TREES ON NEIGHBORING PARCELS. THE STORAGE AREA, CONCRETE WASHOUT AND PAINT AND SOLVENT CLEAN OUT AREA NEED TO BE MOVED.
4. ALL MEASUREMENTS FROM THE SETBACK LINE TO PROPERTY BOUNDARY LINE SHALL BE MEASURED FROM THE FINISHED EXTERIOR SURFACE OF THE STRUCTURE.
5. PITTSPOREUM & ACAJIA ARE NOT PERMITTED.
6. ERADICATE ANY IVY FROM THE LOT AND PLANTS LISTED ON THE CALIFORNIA NOXIOUS WEED LIST.
7. SECTION 17.34.060 B 1 OF THE MUNICIPAL CODE STATES: "PLANT MATERIAL LOCATED IN AREAS VISIBLE FROM THE STREET OR OTHER PUBLIC PLACES SHALL BE ARRANGED IN A RELAXED, INFORMAL PATTERN CONSISTENT WITH THE CHARACTER OF THE CARMEL FOREST. FORMAL, UNNATURAL ARRANGEMENTS SHALL BE AVOIDED EXCEPT FOR FOCAL POINTS." ARRANGE PLANTS TO NOT BE IN STRAIT LINES.



PLANT INDEX

No.	BOTANICAL NAME	COMMON NAME	SIZE
1	AGANTHUS PETER PAN	LILY OF THE NILE	1 GAL
2	CISTUS DORIS HIBBERSON	ROCK ROSE	5 GAL
3	LAVANDULA STOECHAS	SPANISH LAVENDER	5 GAL
4	SALVIA LEUCANTHA	MEXICAN BUSH SAGE	5 GAL
5	DM-DYMONDIA MARGARETAE	NO COMMON	FLAT
6	PINUS RADIATA	MONTEREY PINE	5 GAL

PATH LIGHT, 3 WATTS LED, SEE FIXTURE "C" ON SHEET 6.0 MAY NOT BE SPACED CLOSER THAN 10-FEET APART

TREE PRESERVATION & TREE PROTECTION

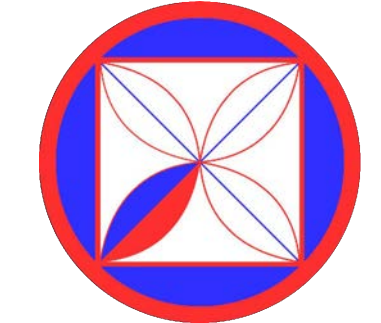
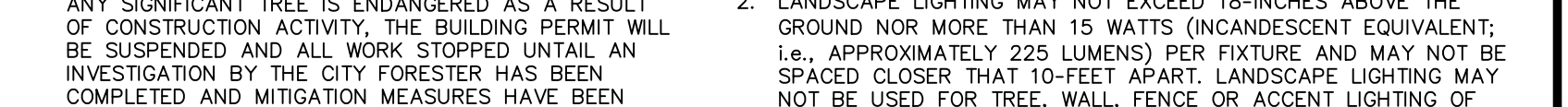
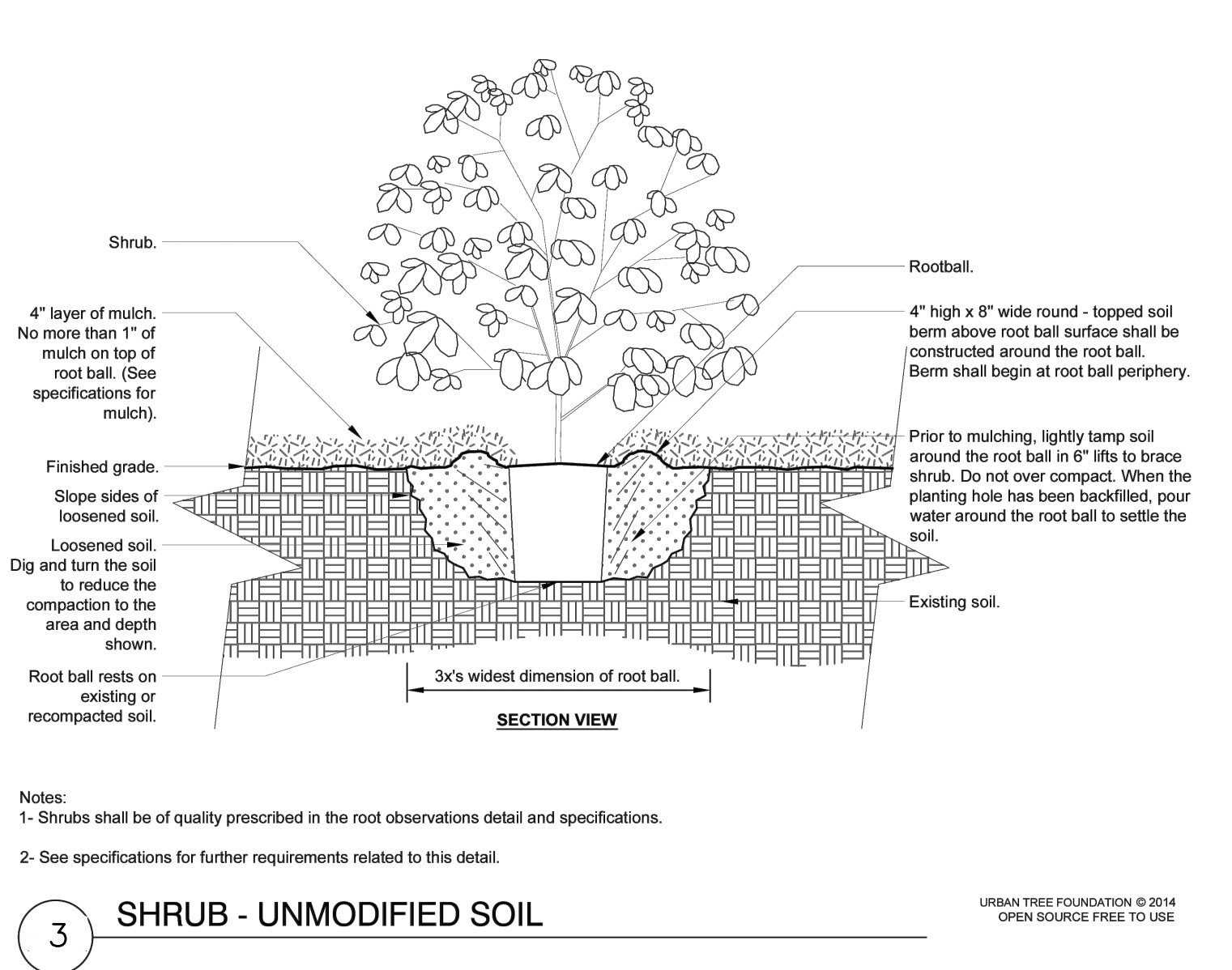
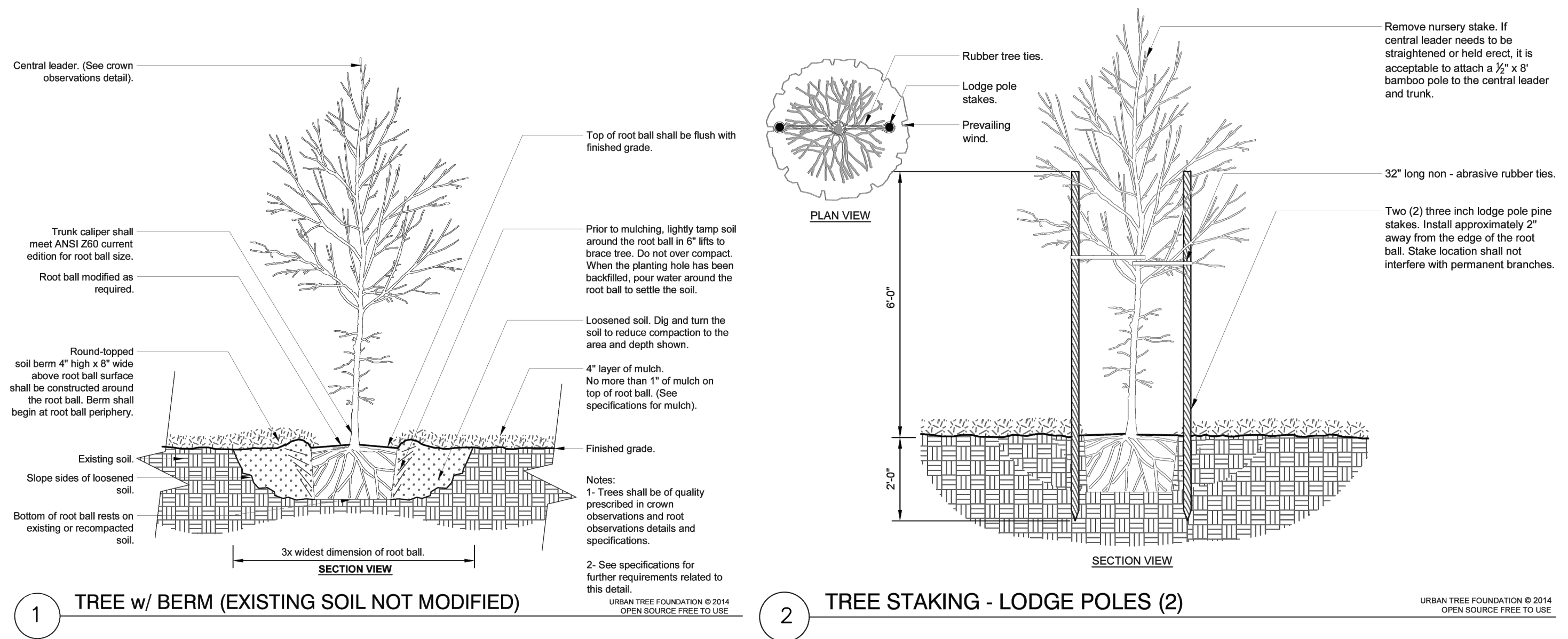
1. PRIOR TO GRADING, EXCAVATION, OR CONSTRUCTION, THE DEVELOPER SHALL CLEARLY TAG OR MARK ALL TREES TO BE PRESERVED.
2. EXCAVATION WITHIN 6-FEET OF A TREE TRUNK IS NOT PERMITTED.
3. NO ATTACHMENTS OR WIRES OF ANY KIND, OTHER THAN THOSE OF A PROTECTIVE NATURE SHALL BE ATTACHED TO ANY TREE.
4. PER MUNICIPAL CODE CHAPTER 17.48.110 NO MATERIAL MAY BE STORED WITHIN THE DRIPLINE OF A PROTECTED TREE TO INCLUDE THE DRIP LINES OF TREES ON NEIGHBORING PARCELS.
5. IF ROOTS GREATER THAN 2 INCHES IN DIAMETER OR LARGER ARE ENCOUNTERED WITHIN THE APPROVED STRUCTURAL ROOT ZONE THE CITY FORESTER SHALL BE CONTACTED FOR APPROVAL TO MAKE ANY ROOT CUTS OR ALTERATIONS TO STRUCTURES TO PREVENT ROOTS FROM BEING DAMAGED.
6. IF ROOTS ARE LARGER THAN 2 INCHES IN DIAMETER ARE CUT WITHOUT PRIOR CITY FORESTER APPROVAL OR ANY SIGNIFICANT TREE IS ENDANGERED AS A RESULT OF CONSTRUCTION ACTIVITY, THE BUILDING PERMIT WILL BE SUSPENDED AND ALL WORK STOPPED UNTIL AN INVESTIGATION BY THE CITY FORESTER HAS BEEN COMPLETED AND MITIGATION MEASURES HAVE BEEN PUT IN PLACE.

IRRIGATION NOTES

1. NO TURF TO BE INSTALLED.
2. COMPOST AT THE RATE OF 4 CUBIC YARD PER 1,000 SQ.FT. TO BE INCORPORATED TO A DEPTH OF 6" INTO THE LANDSCAPE AREA.
3. ALL LANDSCAPE AREA TO RECEIVE 3" OF TOP DRESSING MULCH.
4. IRRIGATION SYSTEM TO HAVE AN AUTOMATIC RENEGOTIATION CONTROLLER THAT HAS A SOIL MOISTURE SENSING DEVICE AND RAIN SENSOR.
5. IRRIGATION CONTROLLER TO HAVE A BATTERY BACKUP AN NON-VOLATILE MEMORY.
6. IRRIGATION SYSTEM TO BE SUBSURFACE POINT OF DRIP. VALVES TO HAVE PRESSURE REGULATORS TO SYSTEM WITHIN MANUFACTURER'S PRESSURE RANGE. SHUT OFF VALVES TO BE CLOSE TO POINT OF CONNECTION.

EXTERIOR LIGHTING NOTES

1. ALL EXTERIOR LIGHTING ATTACHED TO THE MAIN BUILDING OR ANY ACCESSORY BUILDING MAY NOT BE HIGHER THAN 10-FOOT ABOVE THE GROUND AND MAY NOT EXCEED 25-WATTS (INCANDESCENT EQUIVALENT; I.E., APPROXIMATELY 225 LUMENS) PER FIXTURE AND MAY NOT BE SPACED CLOSER THAN 10-FEET APART. LANDSCAPE LIGHTING MAY NOT BE USED FOR TREE, WALL, FENCE OR ACCENT LIGHTING OF ANY TYPE. THE PURPOSE OF LANDSCAPE LIGHTING IS TO SAFELY ILLUMINATE WALKWAYS AND ENTRANCES TO THE SUBJECT PROPERTY.



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[Handwritten signature]

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LANDSCAPE PLAN
(PROPOSED)

SCALE: 1" = 3/16"

L1.0