

GENERAL NOTES

THIS PROJECT SHALL COMPLY WITH CALIFORNIA CODE OF REGULATIONS TITLE 24, BUILDING STANDARD CODE, 2022 EDITION:
- CRC - CALIFORNIA RESIDENTIAL CODE, PART 2.5
- CBC - CALIFORNIA BUILDING CODE, PART 2, VOL. 1 & 2
- CEC - CALIFORNIA ELECTRICAL CODE, PART 3
- CMC - CALIFORNIA MECHANICAL CODE, PART 4
- CFC - CALIFORNIA PLUMBING CODE, PART 5
- CENC - CALIFORNIA ENERGY CODE, PART 6
- CFC - CALIFORNIA FIRE CODE, PART 9
- CEBC - CALIFORNIA EXISTING BUILDING CODE, PART 10
- CALGREEN - CALIFORNIA GREEN BUILDING REQUIREMENTS, PART 11

THIS PROJECT SHALL ADDITIONALLY COMPLY WITH APPLICABLE CODES AND ORDINANCE REQUIREMENTS SET FORTH BY THE PREVAILING GOVERNING BODY:
- CARMEL-BY-THE-SEA MUNICIPAL CODE (LATEST EDITION ADOPTED JULY 2023)

THESE DRAWINGS ARE PREPARED FOR USE BY A PROPERLY LICENSED AND CERTIFIED CONTRACTOR.

ALL WRITTEN DIMENSIONS SHALL SUPERCEDE SCALED DIMENSIONS.

DURING THE COURSE OF CONSTRUCTION, THE PREVAILING BEST MANAGEMENT PRACTICE (BMP'S) SHALL BE OBSERVED.

CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS, MATERIALS, AND CONDITIONS PRIOR TO STARTING CONSTRUCTION AND REPORT ANY DISCREPANCIES TO THE DESIGNER OR OWNER PRIOR TO ORDERING MATERIALS.

CONTRACTOR IS RESPONSIBLE FOR COMPLETE FINAL DISPOSAL OF ALL CONSTRUCTION DEBRIS IN A MANNER CONSISTENT WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL LAWS.

EXISTING CONDITIONS ARE SHOWN. CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS, MATERIALS, AND CONDITIONS PRIOR TO STARTING CONSTRUCTION.

CONTRACTOR TO VERIFY LOCATION OF UTILITIES AND EXISTING CONDITIONS AT THE SITE PRIOR TO CONSTRUCTION.

CONTRACTOR IS RESPONSIBLE FOR COMPLETE FINAL DISPOSAL OF ALL CONSTRUCTION DEBRIS IN A MANNER CONSISTENT WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL LAWS.

CONTRACTOR TO PROTECT EXISTING CONDITIONS FROM DAMAGE, DUST, AND DEBRIS. MATERIALS PLANNED TO BE REUSED ARE TO BE PROTECTED FROM DAMAGE THROUGHOUT THE DEMOLITION PROCESS.

ADDRESS IDENTIFICATION:
PRIOR TO CONSTRUCTION, A LEGIBLE ADDRESS IDENTIFICATION SHALL BE PLACED IN A POSITION THAT IS VISIBLE FROM THE STREET OR ROAD FRONTING PROPERTY.
ADDRESS IDENTIFICATION CHARACTERS SHALL CONTRAST WITH THEIR BACKGROUND.
ADDRESS NUMBERS SHALL BE ALL ARABIC NUMBERS OR ALPHABETIC LETTERS.
NUMBERS SHALL NOT BE SPELLED OUT. EACH CHARACTER SHALL NOT BE LESS THAN 4 INCHES IN HEIGHT WITH A STROKE WIDTH OF NOT LESS THAN 0.5 INCH.
WHERE REQUIRED BY THE FIRE CODE OFFICIAL, ADDRESS IDENTIFICATION SHALL BE PROVIDED IN ADDITIONAL APPROVED LOCATIONS TO FACILITATE EMERGENCY RESPONSE.
WHERE ACCESS IS BY MEANS OF PRIVATE ROAD AD THE BUILDING ADDRESS CANNOT BE VIEWED FROM THE PUBLIC WAY, A MONUMENT, POLE, OR OTHER SIGN OR MEANS SHALL BE USED TO IDENTIFY THE STRUCTURE. ADDRESS IDENTIFICATION SHALL BE MAINTAINED.

DISCOVERY OF PREHISTORIC OR ARCHAEOLOGICAL RESOURCES:
SHOULD CONCENTRATIONS OF ARCHAEOLOGICAL OR PALEONTOLOGICAL MATERIALS BE ENCOUNTERED DURING CONSTRUCTION OR GRADING OPERATIONS, ALL GROUND-DISTURBING WORK SHALL BE TEMPORARILY HALTED ON THE SITE AND MONTEREY COUNTY HOUSING & COMMUNITY DEVELOPMENT SHALL BE NOTIFIED.
WORK NEAR THE ARCHAEOLOGICAL FINDS SHALL NOT BE RESUMED UNTIL A QUALIFIED ARCHAEOLOGIST HAS EVALUATED THE MATERIALS AND OFFERED RECOMMENDATIONS FOR FURTHER ACTION.

SHOULD HUMAN REMAINS BE UNCOVERED, ALL EXCAVATION SHALL BE HALTED IN THE IMMEDIATE AREA AND COUNTY CORONER SHALL BE CONTACTED IMMEDIATELY. SHOULD THE CORNER DETERMINE THAT HE REMAINS ARE LIKELY THOSE OF A NATIVE AMERICAN, THE CALIFORNIA NATIVE AMERICAN HERITAGE COMMISSION MUST BE CONTACTED WITHIN 24 HOURS OF IDENTIFICATION AND SHALL DETERMINE THE APPROPRIATE TREATMENT OF THE REMAINS.

ABBREVIATIONS

Table of abbreviations and their meanings, including: A.B. ANCHOR BOLT, A.C. ASPHALTIC CONCRETE, A.I.C. AIR CONDITIONING, A.L.P.M. ALUMINUM, A.P.P.R.O.X. APPROXIMATE, A.R.C.H. ARCHITECTURAL, A.N.C.D. ANODIZED, A.S.P.H. ASPHALT, B.D. BOARD, B.L.G.S. BUILDING, B.L.K.G. BLOCKING, B.H. BEAM, B.O.T.T. BOTTOM, C.A.B. CABINET, C.E.M.T. CERMENT, C.G. CERAMIC TILE, C.I. CAST IRON, C.L. CLIPS, C.L.S.T. CLOSET, C.O.F. COFFER, C.O.N.C. CONCRETE, C.O.N.C. CONCRETE MASONRY UNIT, C.O.L. CLEAN OUT, C.O.L. COLOR, C.O.N. CONNECTION, C.O.N.S.T. CONSTRUCTION, C.A.S.H. CASHEM, C.W. COLD WATER, D.B.L. DOUBLE, D.F. DETAIL, D.O.U.G.L.A.S. P.I.R. DOUGLAS FIR, O.R. OR OTHER, D.I.M. DIMENSION, D.I.B. DIMENSION, D.R. DRIB, D.R.A.B.B.A.R. DRABBAR, D.W.G. DRAWING, E.A. EACH, E.L.E.C. ELECTRICAL, E.L.E.V. ELEVATION, E.N.C.L. ENCLOSURE, E.G. EQUAL, E.M. EMOUNT, E.X.P.A.N.S.I.O.N. EXPANSION, E.X.I.S.T. EXISTING, E.X.T. EXISTING, E.X.T.E.R.I.O.R. EXTERIOR, F.I.B.E.R.G.L.A.S.S. FIBERGLASS, F.O. FOUNDATION, F.I.N.I.S.H. FINISH, F.I.N.I.S.H. GRADE, F.L. FLOOR, F.L. FLUORESCENT, F.P.C. FACE OF CONCRETE, F.O.S. FACE OF STUD, F.R. DR. FRENCH DOOR, F.T. FOOT OR FEET, F.T.G. FOOTING, F.X. FIXED, G.A. GAUGE, G.A.L.V.A.N.I.Z.E.D. GALVANIZED, G.I. GALVANIZED IRON, G.F. GROUND FAULT INTERRUPTER, G.L. GLASS, G.N.D. GROUND, G.T.F. BOARD, H.C. HOLLOW CORE, H.D. HOLD DOWN, H.D.R. HEADER, H.D.U.D. HARDWOOD, H.O.R.I.Z. HORIZONTAL, H.R. HOUR, H.S. HOSE BIBB, H.T. HEIGHT, H.C. HANDICAP, H.V.A.C. HEATING VENTILATION & AIR CONDITIONING, H.W. HOT WATER, I.D. INSIDE DIAMETER, I.M.U. INSULATION, I.N.T. INTERIOR, J.B. JUNCTION BOX, J.B.T. JOIST, K.I.T. KITCHEN, K.I.C.K.E.R. POST, K.S. KING STUD, L.A.V. LAVATORIES, L.N. LIGHT, M.A.T. MATERIAL, M.A.X. MAXIMUM, M.B. MACHINE BOLT, M.E.C.H. MECHANICAL, M.E.D.I.C.I.N.E. G.A.B.I.N.E.T. MEDICINE CABINET, M.F.R. MANUFACTURER, M.I.A. MECHANICAL, M.I.S.C. MISCELLANEOUS, M.T.D. MOUNTED, N.E.U. NEW, N.I.C. NOT IN CONTRACT, N.O. CR. NUMBER, N.T.S. NOT TO SCALE, O.C. OVER CENTER, O.F.S. OUTSIDE FACE OF STUD, O.P.P.O.S.I.T.E. OPPOSITE, O.A. OUTSIDE DIAMETER, P.L. PLATE, P.P.R.O.P.E.R.T.Y. PROPERTY, P.L.A.S. PLASTER, P.L.Y. PLYWOOD, P.N.L. PANEL, P.N.H. POINT, P.R. PAIR, R.A. RETURN AIR, R.A.D. RADII, R.D. ROUND, R.E.C. RECESSED, R.E.F. REFRIGERATOR, R.E.N.F. REINFORCING, R.E.S.U.L.T. RESULT, R.I. ROOM, R.O.U.G.H. OPENING, R.Q. REQUIRED, R.I.U. RIGHT OF WAY, R.E.D.W.O.O.D. REDWOOD, R.W.L. RAINWATER LEADER, S.C.H.E.D. SCHEDULE, S.O.L.I.D. CORE, S.E.C.T. SECTION, S.F. SQUARE FOOT/FEET, S.H. SINGLE HANG, S.H. SHEET, S.H.R. SHIP-LAR, S.L.D. SLIDER, S.L.D. DR. SLIDING GLASS DOOR, S.P. SHELF AND POLE, S.P.E.C.I.F.I.C.A.T.I.O.N.S. SPECIFICATIONS, S.Q.F.T. SQUARE FEET, S.T.D. STANDARD, S.T.E.E.L. STEEL, S.T.O.R. STORAGE, S.T.R.U.C.T. STRUCTURAL, S.S.D. SEE STRUCTURAL DRAWINGS, S.S. STAINLESS STEEL, S.Y.N.T.H.E.T.I.C.A.L. SYNTHETICAL, T.B. TOWEL BAR, T.E.L. TELEPHONE, T.E.M.P. TEMPERED, T.H.R.E.S.H.O.L.D. THRESHOLD, T.H.G. TONGUE & GROOVE, T.O.P. TOP OF ROOFING, T.O.P. TOP OF PLATE, T.O.B. TOP OF SLAB, T.O.W. TOP OF WALL, T.O.I.L. TOILET, T.O.I.L. P.A.P.E.R. TOILET PAPER, T.Y.P. TYPICAL, U.N.O. UNLESS NOTED OTHERWISE, V.E.R.T. VERTICAL, W.I.T.H. WITH, W.A.N.S. WAINSCOT, W.C. WATER CLOSET, W.O.D. WOOD, W.I.N.D.O.W. WINDOW, W.I.T.H. O.U.T. WITH OUT, W.A.T.E.R.P.R.O.O.F. WATERPROOF, W.U.P. WELED WIRE FABRIC

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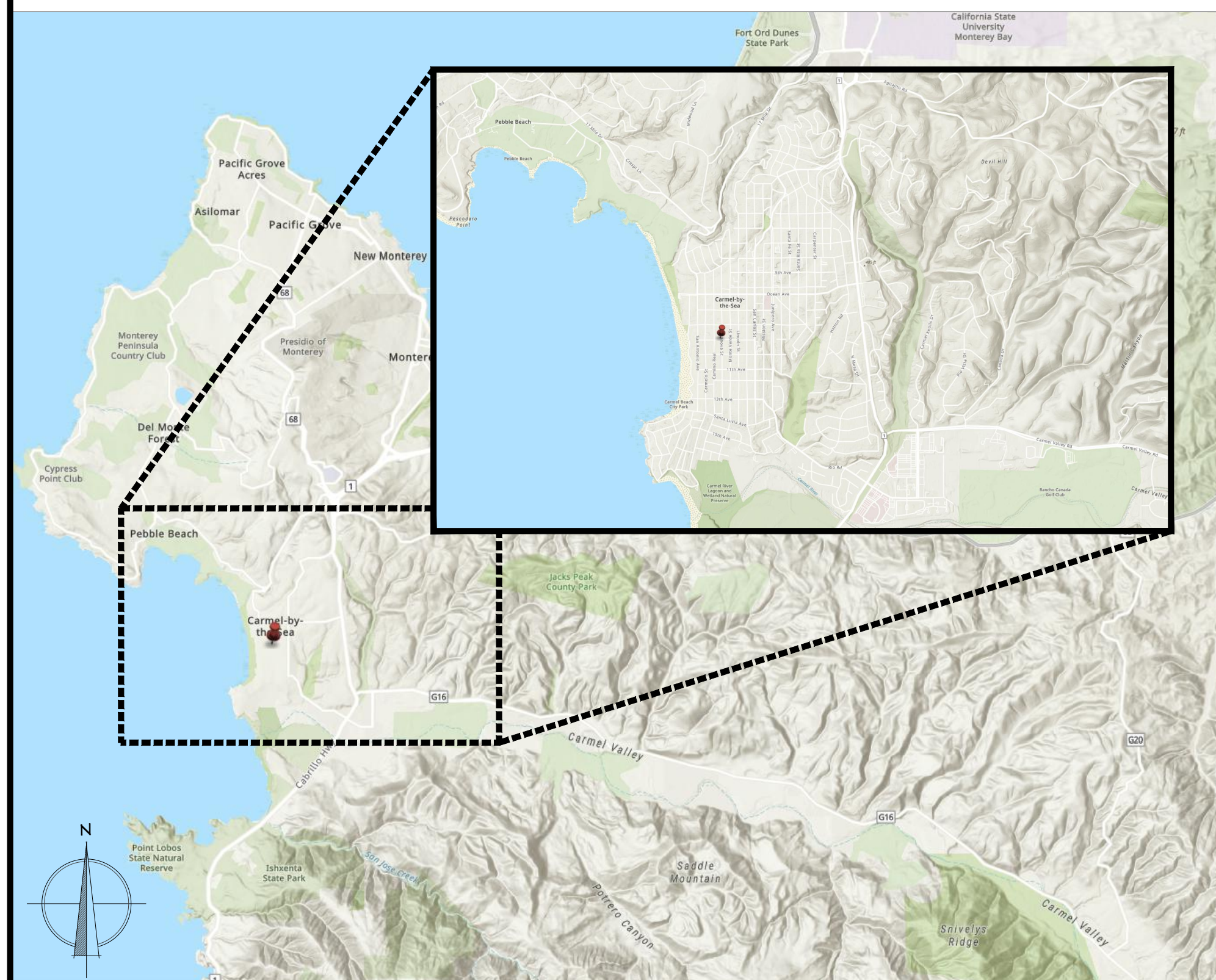
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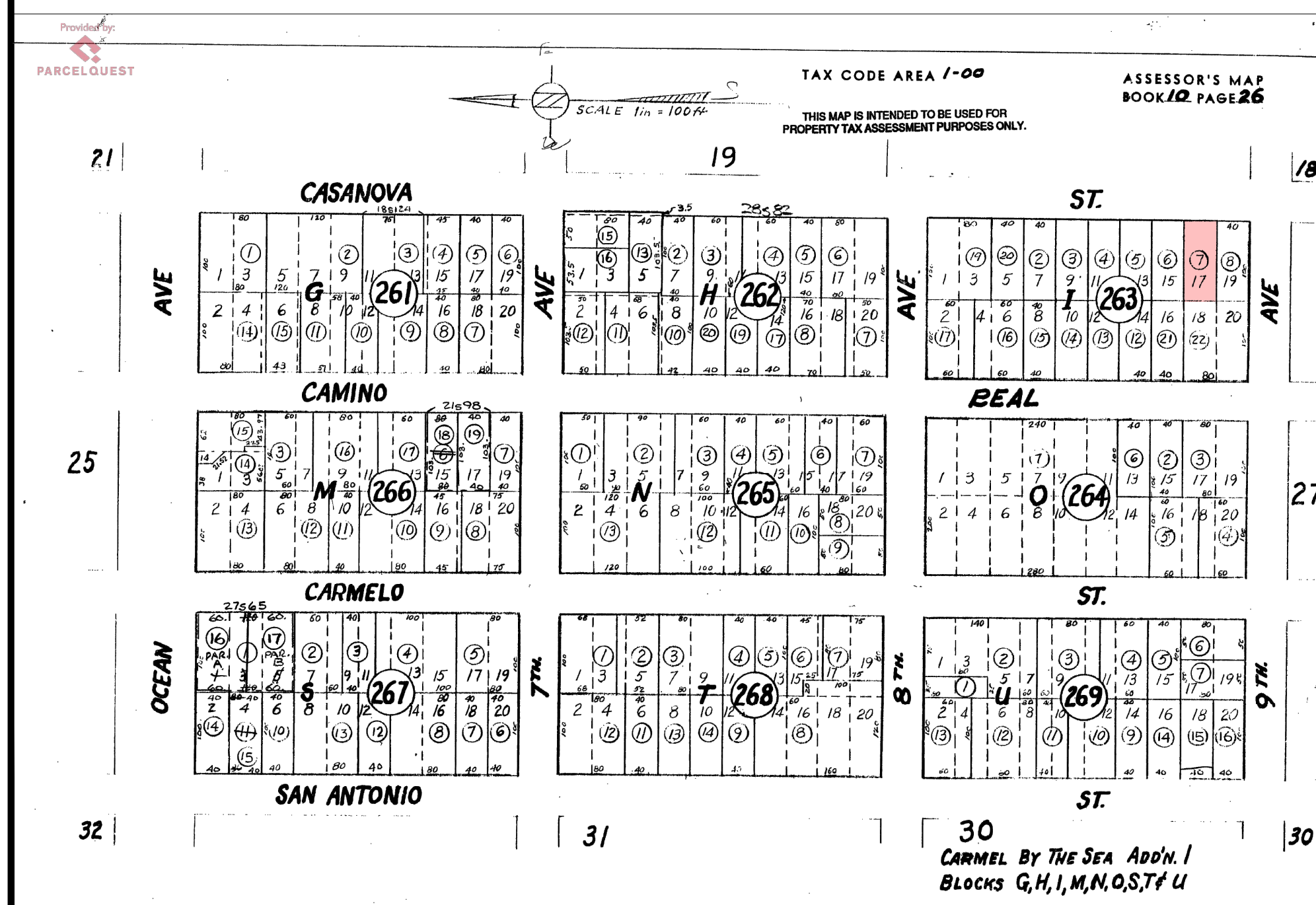
CIVIL

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VICINITY MAP



APN MAP



DRAWING INDEX

GENERAL

- T1 Title Sheet
T2 Significant Tree Evaluation Worksheet

CIVIL

- 1 of 1 Topographic Survey

ARCHITECTURAL

- A1 Existing and Proposed Site Plan
A2 Preliminary Drainage Plan
A3 Tree Site Plan
A4 Existing Floor Plan
A5 Existing Elevations and Existing Roof Plan

ARCHITECTURAL

- A6 Proposed Floor Plan
A7 Proposed Front and Rear Elevation, and Roof Plan
A8 Proposed Side Elevations
A9 Existing and Proposed Streetscape
A10 3D Renderings
A11 Door and Window Schedules and Proposed Color and Material Schemes

SCOPE OF WORK

Demolition of existing single family residence. Construction of new 2-story single family residence. Removal of 2 not significant trees. Connection of existing utilities to be placed underground. Landscaping to be all natural. Fencing along perimeters to remain; new fencing along front property line.

PROJECT DATA

LOT DATA:

Project Address: Casanova Street 2NW 9th Avenue
Carmel-by-the-Sea, California, 93921
APN: 010-263-007-000
Zoning: R-1
Built: 1939

BUILDING CODE DATA:

Occupancy: R-3
Construction Type: VB
Fire Sprinklers: Yes (Deferred Submittal)

AREAS:

Existing Floor Area (832 sq. ft. interior):
Entry Level Interior: 832 sq. ft.
Garage: 165 sq. ft.
Base Floor Area: 997 sq. ft.

SITE COVERAGE:

Parcel Size: 4,000 sq. ft. (0.09 AC)
Impermeable: Deck: 187 sq. ft. Porch: 28 sq. ft.
Permeable: 9' Driveway: 210 sq. ft. Entry Walkway: 34 sq. ft. Side Yard Walkway: 57 sq. ft.
TOTAL SITE COVERAGE: 516 sq. ft.
(Maximum 556 sq. ft. allowed; 396 sq. ft. allowed with 4% bonus for >50% permeable surfaces.)

Proposed Floor Area (1,567 sq. ft. interior):
Entry Level Interior: 1,223 sq. ft.
Second Level Interior: 344 sq. ft.
Garage: 232 sq. ft.
Base Floor Area: 1,799 sq. ft.
Porch: 28 sq. ft.
Deck: 187 sq. ft.

SETBACKS:

Allowed: Front: 15'-0" Side: 10'-0" Composite
Rear: 15'-0" 25% of site width (min. 3'-0")

Existing: Front: 12'-0" North Side: 2'-7", 5'-10"
Rear: 36'-0" South Side: 10'-3", 15'-3", 21'-0"

Proposed: Front: 19'-1" North Side: 6'-6", 9'-8", 20'-7"
Rear: 16'-7" South Side: 3'-6", 4'-8", 7'-6"

TREE REMOVAL:

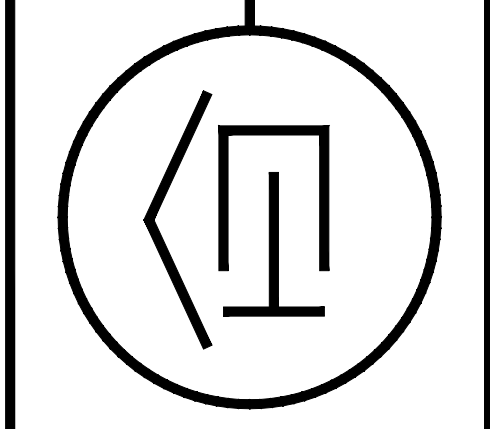
- Two (2) trees to be removed (see evaluation on sheet T2):
- Acacia tree #3 on Tree Evaluation Worksheet Listed as "Not Significant"
- Acacia tree #4 on Tree Evaluation Worksheet Listed as "Not Significant"

TREE PRUNING:

- One (1) tree to be pruned (see evaluation on sheet T2):
- Coastal Live Oak tree #12 on Tree Evaluation Worksheet removal of two (2) +4" limbs on east side of tree to accommodate new second level of residence in accordance with municipal code title 17.48

Revision/Issue table with columns for Revision/Issue and Date. Entry: DS 23-331 PLN COM 05/09/24

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LIC# 791939 CLASS: A/B
Bradley Green



Drawing Title: TITLE SHEET
Job Title: KIM RESIDENCE
Project Address & APN: CASANOVA STREET 2NW NINTH AVENUE, CARMEL-BY-THE-SEA, CALIFORNIA 93921
APN: 010-263-007-000

Project: HC-23021
Date: 6.13.2024
Drawn By: BGREEN
Scale: NOT TO SCALE
Sheet No. T1

THESE PLANS ARE INTENDED ONLY FOR THE SITE FOR WHICH THEY WERE DESIGNED AND THE PROPERTY OF HASTINGS CONSTRUCTION. THESE PLANS MAY NOT BE REPRODUCED OR REPRODUCED WITHOUT THE CONSENT OF HASTINGS CONSTRUCTION, INC.



# SIGNIFICANT TREE EVALUATION WORKSHEET

## Significant Tree Evaluation Worksheet

APN: 010-263-007-000  
 Street Location: Casanova 2 NW 9th  
 Planner: Evan Kort  
 City Forester: Justin Ono  
 Property Owner: Kim  
 Recommended Tree Density: 3 Upper, 1 Lower

**Part One: Initial Screening:**  
 Complete Part One to determine if further assessment is warranted. Trees must pass all criteria in Part One to be considered significant or moderately significant.

**A. Does the tree pose an above-normal potential risk to life and property?**

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
YES															
NO	x	x	x	x	x	x	x	x	x	x	x	x	x	x	x

Any tree with structural impairment likely to cause failure should be marked as unsafe and removed. Use page five of this worksheet to document the safety risk. Trees that have limited and specific defects that can be remedied with selective pruning or other mitigation should be marked as safe and specific recommendations should be given to the owner for tree care. Such trees may still be assessed for significance.

**B. Is the tree one of the following native species on the Carmel-by-the-Sea recommended tree list?**

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
YES	x	x			x	x	x	x							
NO			x	x					x	x					

MP-Monterey pine MC-Monterey cypress BP-Bishop pine CR-coast redwood CO-coast live oak  
 CI - Catalina ironwood CS - California sycamore BL - big leaf maple Ac - Acacia Pitt - Pittosporum  
 (Note: Other species on the recommended tree list may be determined to be Significant Trees only if they are exceptional examples of the species. Such trees also must exhibit excellent health, form, vigor, and substantial size to rate an overall score of at least 7 points in Part Two of the assessment.)

**C. Does the tree meet the minimum size criteria for significance?**

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
YES	x	x			x	x	x	x							
NO			x	x					x	x					

Monterey pine, Monterey cypress, Bishop pine, Coast redwood: 6" DBH  
 Coast live oak - single trunk tree: 6" DBH  
 Coast live oak - multi-trunk tree measured per industry standard: 6" DBH  
 California sycamore, Big leaf maple, Catalina ironwood, other: 10" DBH  
 dbh = diameter at breast height or 4.5 feet above the adjacent ground surface

**Part Two: Assessment For Tree Significance**  
 For each of the criteria below assign points as shown to assess the tree. If any criteria score is zero the assessment may stop as the tree cannot qualify as significant or moderately significant.

**D. What is the health and condition of the tree?**

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
score	1	2	2	2	1	1	1	1	1	1	1	1	1	1	1

**0 points:** The tree is heavily infested with pests or has advanced signs of disease that indicates the tree is declining and has very limited life expectancy.  
**1 point:** The tree shows some pests or disease that impair its condition, but which does not immediately threaten the health of the tree. The tree may recover on its own, or with appropriate intervention.  
**2 points:** The tree appears healthy and in good condition.  
**3 points:** The tree shows excellent health, is free of pests and disease and is in very strong condition.

**E. What is the overall form and structure of the tree?**

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
score	2	3	2	2	1	1	1	1	1	1	1	2	2	2	2

**0 points:** Prior pruning, disease or growth habit have left the tree deformed or unsound to an extent that it cannot recover or will never be a visual asset to the neighborhood or will likely deteriorate into a structural hazard.  
**1 point:** The tree has poor form or structure but (a) can recover with proper maintenance or (b) it provides visual interest in its current form, and does not have structural defects that are likely to develop into a safety hazard.  
**2 points:** The tree has average form and structure for the species but does not exhibit all the qualities of excellent form and structure.  
**3 points:** The tree exhibits excellent form and structure. For all species there will be a good distribution of foliage on multiple branches with no defects. For conifers, the tree will have a single straight leader with balanced branching and with good taper. Oaks will exhibit a well-developed canopy with no suppressed branches. Oaks may be single-trunked or multi-trunked and will have a balanced distribution of foliage on each.

**F. What is the age and vigor of the tree?**

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
score	1	2	2	2	2	2	2	2	2	2	2	2	2	2	2

**0 points:** The tree is over-mature or shows signs of poor or declining vigor such as die-back of major limbs or of the crown, small leaves/needles and/or minimal new growth.  
**1 point:** The tree is mature but retains normal vigor and is likely to continue as a forest asset for a substantial period into the future.  
**2 points:** The tree is young to middle age and shows normal vigor.  
**3 points:** The tree is young to middle age and shows exceptional vigor.

**G. Are environmental conditions favorable to the tree?**

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
score	1	2	2	2	2	2	2	2	2	2	2	2	2	2	2

**0 points:** The tree is crowded or has no room for growth to maturity. The tree has poor access to light, air or has poor soil for the species.  
**1 point:** The tree has average environmental conditions including room for growth to maturity, access to light, air and soils suitable for the species.  
**2 points:** The tree has room for growth to maturity with no crowding from other significant trees or existing buildings nearby. The tree also has excellent access to light, air and excellent soils for root development.

**Part Three: Final Assessment**  
 Record the total points scored on D - G for each tree.

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
Total	5	9	8	8	6	6	6	6	6	6	7	7			

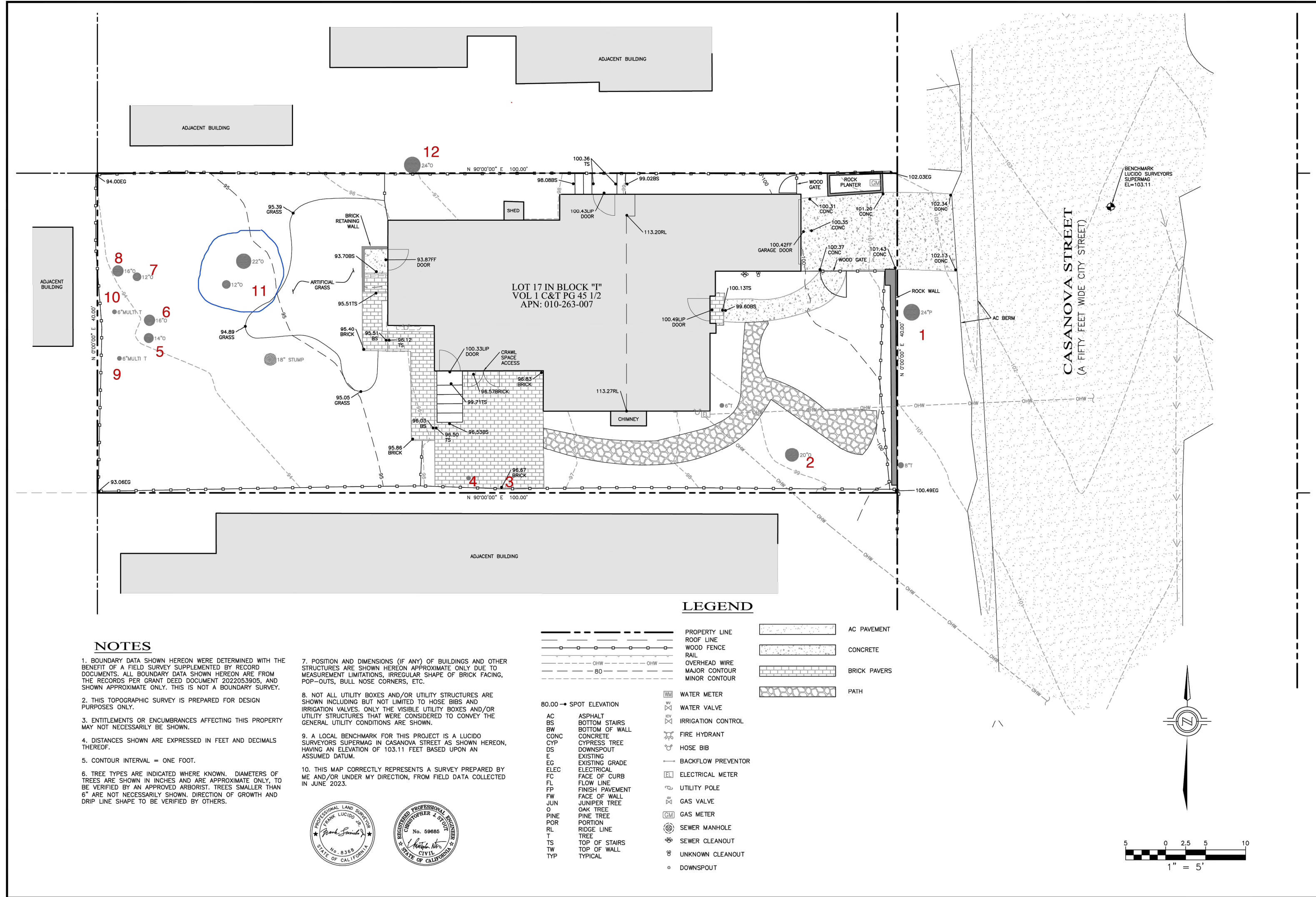
**A. Did all assessment categories in Part Two achieve a minimum score of 1-point?**

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
YES	x	x	x	x	x	x	x	x	x	x	x	x	x	x	x
NO															

**B. Are there any other factors that would disqualify a tree from a determination of significance? (Explain any 'yes' answer)**  
 Yes \_\_\_ Trees #3 and #4 are acacias and are undesirable species.

**Conclusion: Does The Tree Qualify As Significant Or Moderately Significant?**  
 If the tree meets the species, size and safety criteria identified in Part One and scores at least one point under each of the criteria in Part Two, it shall be classified as Significant if it achieves a score of 6 or more points or shall be classified as Moderately Significant if it achieves a score of 4 or 5 points. Tree species not listed in Part One-B that meet other screening criteria in Part One may be classified by the City Forester as Significant if they score at least 7 points, or as Moderately Significant if they score at least 4 points. All other trees are classified as non-significant.

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
SIGNIF					x	x	x	x							
MOD SIGNIF	x														
NOT SIGNIF			x	x											



**U.S. ENGINEERING AND SURVEYING, INC.**  
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DESIGNED BY: KIM ROY & ABBIE KIM  
 DATE: 6/20/22  
 DRAWN BY: ABBIE KIM  
 CHECKED BY: KIM ROY  
 PROJECT NUMBER: 22-17  
 LAST REVISION: 22-17  
 REVISIONS:

PREPARED FOR:  
 KIM RESIDENCE  
 CASANOVA 2 NW 9th AVE  
 CARMEL-BY-THE-SEA, CA 93923  
 APN: 010-263-007

SHEET 1 OF 1 SHEET

Revision/Issue	Date

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 LIC#: 791939 CLASS: A/B  
*Bradley Green*

Drawing Title: **SIGNIFICANT TREE EVALUATION WORKSHEET**

Job Title: **KIM RESIDENCE**

Project Address & APN: **CASANOVA STREET 2NW NINTH AVENUE, CARMEL-BY-THE-SEA, CALIFORNIA 93921**  
**APN: 010-263-007-000**

Project: **HC-23021**

Date: **6.13.2024**

Drawn By: **BGREEN**

Scale: **N.T.S.**

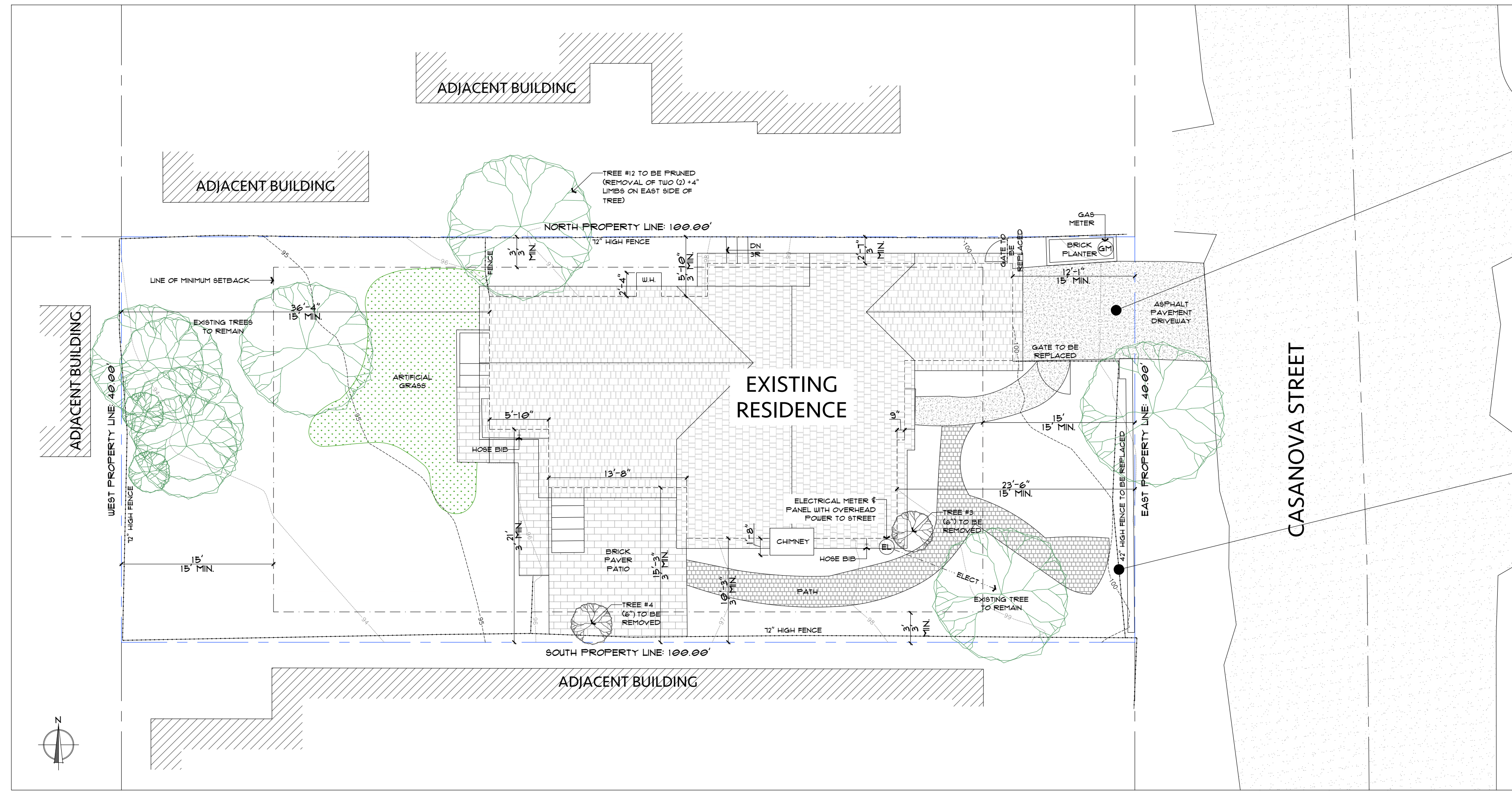
**T2**

Sheet No.

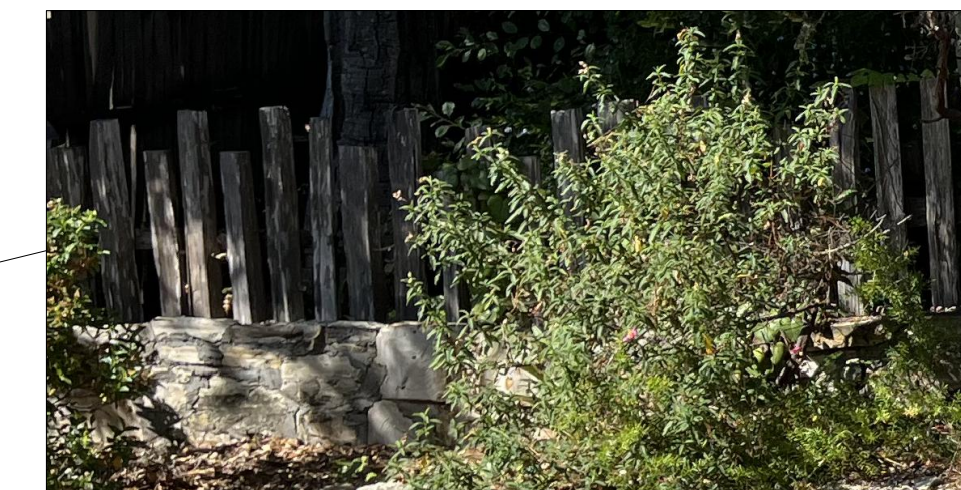
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Revision/Issue	Date
DS 23-331 PLN COM	05/08/24



EXISTING DRIVEWAY



EXISTING FENCE

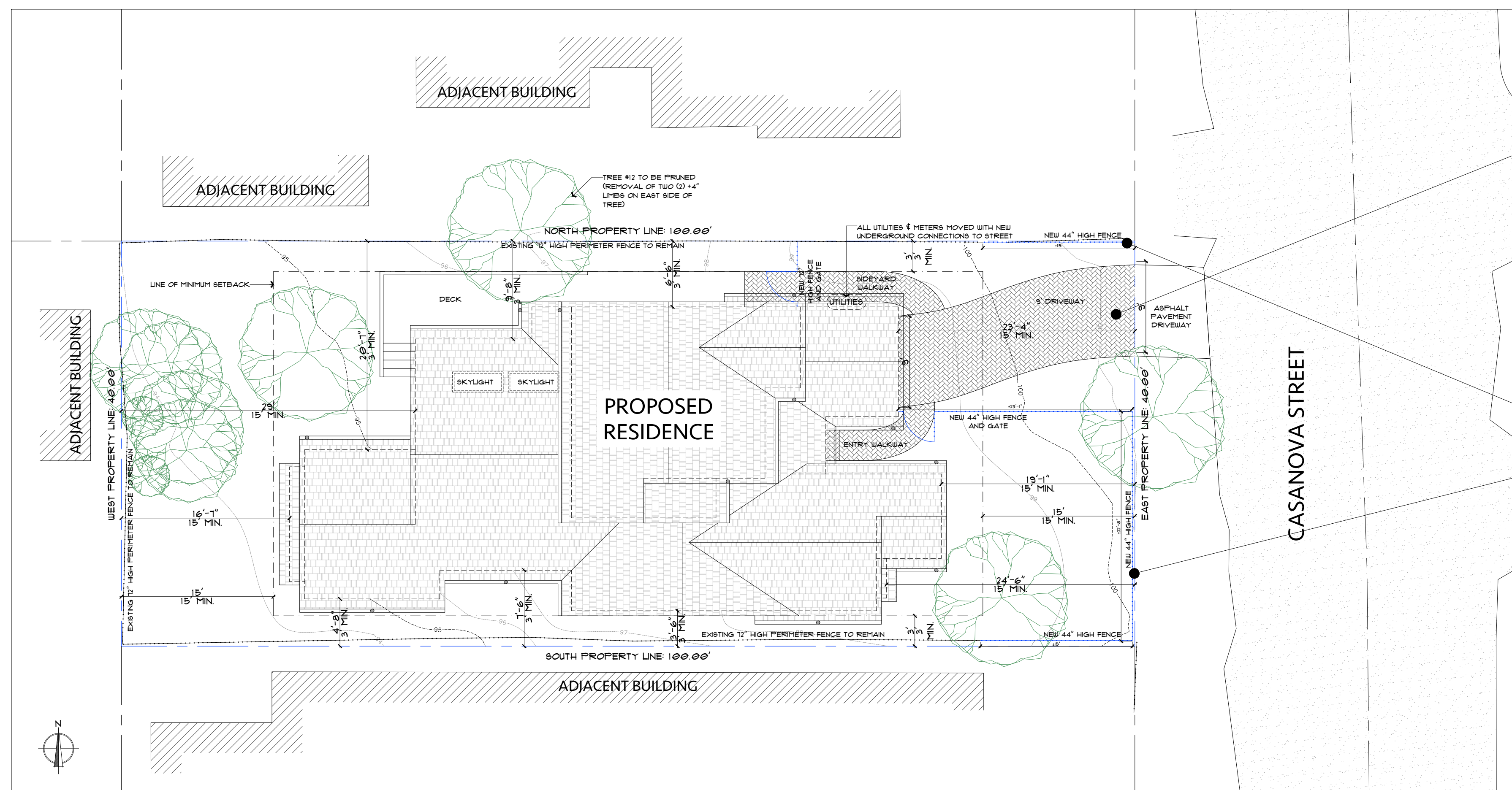
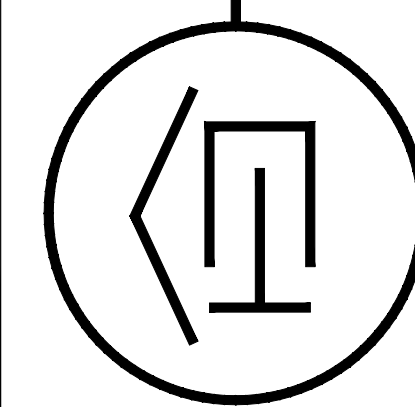
**EXISTING SITE PLAN**

NOTE: ALL EXISTING STRUCTURES AND SITE COVERAGE (DRIVEWAY, WALKWAYS, ETC) ARE TO BE DEMOLISHED. ALL UTILITIES TO BE RELOCATED AT RESIDENCE CONNECTION WITH NEW UNDERGROUND CONNECTION TO STREET. NORTH, WEST, AND SOUTH PERIMETER FENCES TO REMAIN; REMOVAL AND REPLACEMENT OF EAST (FRONT PROPERTY LINE) PERIMETER FENCE.



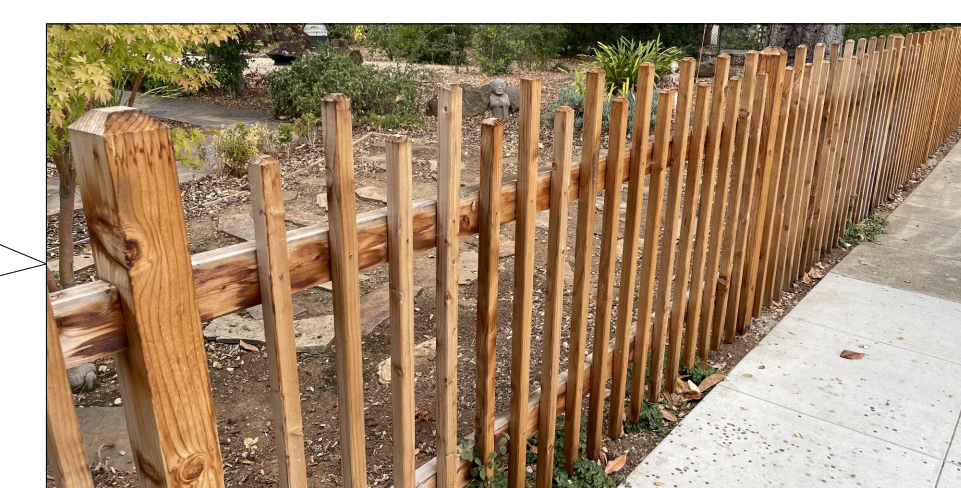
SCALE: 1/8" = 1'-0"

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*Bradley Green*



PROPOSED PERMEABLE PAVER DRIVEWAY

CAL STONE CLASSIC COBBLE - CREAM TAN BROWN (OR EQUAL)



PROPOSED 44" HIGH FENCE

NEW 44" HIGH VERTICAL WOOD FENCE AT FRONT YARD WITH POST AND GRAPE STAKE AT 6' O.C. (OR EQUAL)  
 NEW 12" HIGH VERTICAL WOOD FENCE AT GARAGE SIDE YARD WITH POST AND GRAPE STAKE AT 3' O.C. (OR EQUAL)

**PROPOSED SITE PLAN**

NOTE: ALL EXISTING STRUCTURES AND SITE COVERAGE (DRIVEWAY, WALKWAYS, ETC) ARE TO BE DEMOLISHED. ALL UTILITIES TO BE RELOCATED AT RESIDENCE CONNECTION WITH NEW UNDERGROUND CONNECTION TO STREET. NORTH, WEST, AND SOUTH PERIMETER FENCES TO REMAIN; REMOVAL AND REPLACEMENT OF EAST (FRONT PROPERTY LINE) PERIMETER FENCE.



SCALE: 1/8" = 1'-0"

ALL PRODUCT SELECTIONS ARE PROVIDED FOR DESIGN INTENT ONLY. PRODUCT SELECTIONS SHALL BE APPROVED BY OWNER PRIOR TO PURCHASE AND WILL HAVE THE SAME ATTRIBUTES.

SITE COVERAGE TABLE	
<b>IMPERMEABLE:</b>	
DECK	187 SQ. FT.
PORCH	28 SQ. FT.
<b>PERMEABLE:</b>	
9' DRIVEWAY	210 SQ. FT.
ENTRY WALKWAY	34 SQ. FT.
SIDEYARD WALKWAY	57 SQ. FT.
<b>TOTAL SITE COVERAGE:</b>	<b>516 SQ. FT.</b>

(MAXIMUM 556 SQ. FT. ALLOWED; 396 SQ. FT. W/ 4% BONUS FOR <math>50\%</math> PERMEABLE SURFACES)

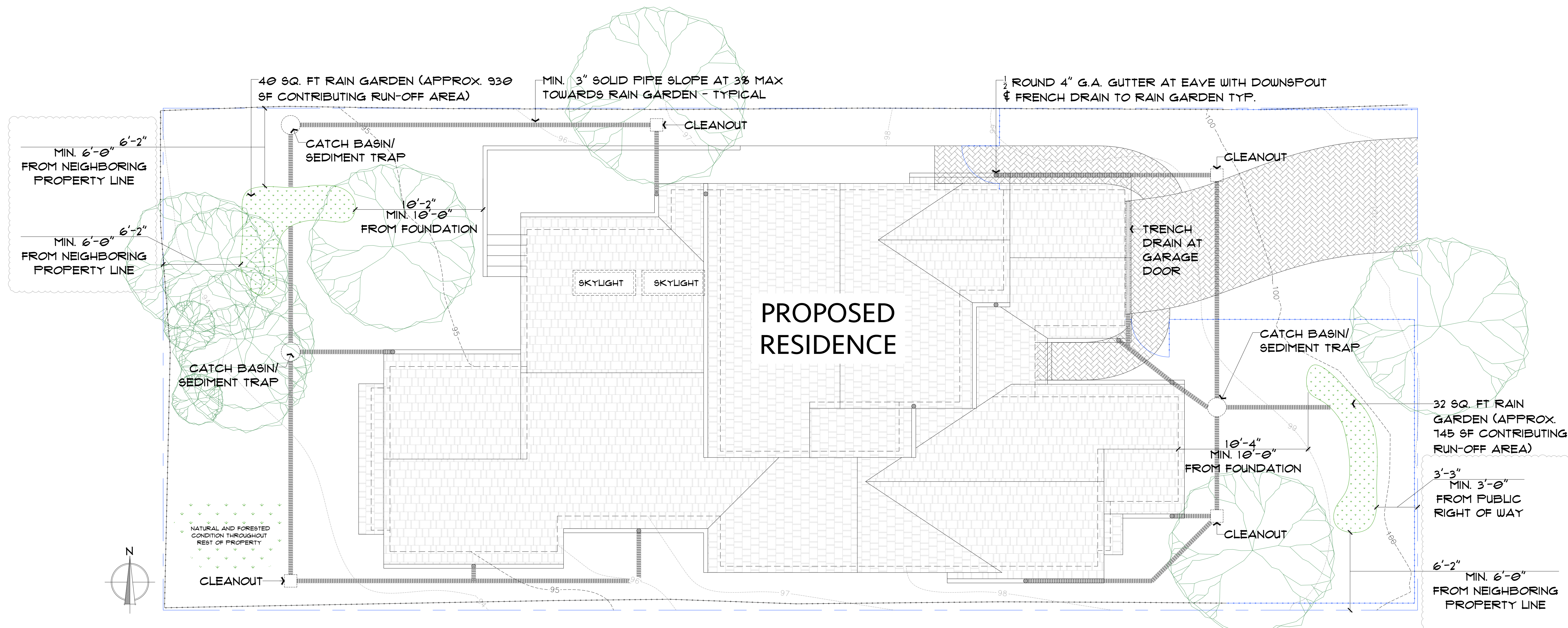
Drawing Title: **EXISTING AND PROPOSED SITE PLAN**  
 Job Title: **KIM RESIDENCE**  
 Project Address & APN: **CASANOVA STREET 2NW NINTH AVENUE, CARMEL-BY-THE-SEA, CALIFORNIA 93921**  
**APN: 010-263-007-000**

Project:	Sheet No.
HC-23021	<b>A1</b>
Date:	
6.13.2024	
Drawn By:	
BGREEN	
Scale:	
1/8" = 1'-0"	

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DS 23-331 PLN COM	05/08/24



**PRELIMINARY DRAINAGE PLAN**

**DRAINAGE NOTES:**

ALL INFILTRATION SYSTEM(S) SHALL BE DESIGNED IN ACCORDANCE WITH CARMEL MUNICIPAL CODE STANDARD OPERATING GUIDANCE (SOG) 17-01 FOR PRIVATE STORMWATER DRAINAGE SYSTEMS.

DRAINAGE FROM DOWNSPOUTS AND PAVED AREAS SHALL BE DIRECTED TO LANDSCAPED AREAS, OR COLLECTED IN FRENCH DRAINS OR SUBGRADE PERFORATED PIPE COLLECTORS, AND CONVEYED TO BEST MANAGEMENT PRACTICES (BMP) SUCH AS RAIN GARDENS OR INFILTRATION TRENCHES.

RAIN GARDENS SHALL BE DESIGNED IN ACCORDANCE WITH THE BAY AREA STORMWATER MANAGEMENT AGENCIES ASSOCIATION (BASMAA) PUBLICATION RAIN GARDENS, STORMWATER CONTROL FOR SMALL PROJECTS.

REFER TO [HTTPS://CI.CARMEL.CA.US/POD/PRIVATE-DRAINAGE-SYSTEMS](https://ci.carmel.ca.us/POD/PRIVATE-DRAINAGE-SYSTEMS) FOR APPROVED LIST OF RAIN GARDEN PLANTS.

THE LANDSCAPED AREAS USED FOR INFILTRATION SHALL BE AT LEAST 50% OF THE SIZE OF THE CONTRIBUTING IMPERVIOUS SURFACE.

RUNOFF SHALL BE DIRECTED AWAY FROM BUILDING FOUNDATIONS.

OVERFLOW MUST BE DIRECTED AWAY FROM NEIGHBORING PROPERTIES. OVERFLOW TO THE STREET REQUIRES AN ENCROACHMENT PERMIT APPROVED BY THE PUBLIC WORKS DIRECTOR.

**LANDSCAPING GENERAL NOTES**

ALL LANDSCAPING SHOWN IS FOR DESIGN INTENT ONLY AND SHALL BE SELECTED AND APPROVED BY OWNER, PRIOR TO INSTALLATION.

ALL NEW LANDSCAPING SHALL BE INSTALLED AND MAINTAINED IN CONFORMANCE WITH THE STANDARDS IN CARMEL MUNICIPAL CODE FOR LANDSCAPING, TREES & SHRUBS CHAPTERS 17.34 AND 17.48.

ALL NEW LANDSCAPING SHALL BE 75% DROUGHT-TOLERANT.

LANDSCAPED AREAS SHALL BE IRRIGATED BY A DRIP/SPRINKLER SYSTEM SET ON A TIMER.

THE PROJECT SHALL MEET THE CITY'S RECOMMENDED TREE DENSITY STANDARDS UNLESS OTHERWISE APPROVED BY THE CITY BASED ON SITE CONDITIONS.

TREES ON THE SITE SHALL ONLY BE REMOVED UPON THE APPROVAL OF THE CITY FORESTER OR FOREST AND BEACH COMMISSION, AS APPROPRIATE; ALL REMAINING TREES SHALL BE PROTECTED DURING CONSTRUCTION BY METHODS APPROVED BY THE CITY FORESTER

IF ANY TREE ROOTS LARGER THAN TWO INCHES (2") ARE ENCOUNTERED DURING CONSTRUCTION, THE CITY FORESTER SHALL BE CONTACTED BEFORE CUTTING THE ROOTS.

TWELVE INCHES (12") OF MULCH SHALL BE EVENLY SPREAD INSIDE THE DRIPLINE OF ALL TREES PRIOR TO THE ISSUANCE OF A BUILDING PERMIT.



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*Bradley Green*

**PRELIMINARY DRAINAGE PLAN**  
 Drawing Title:  
 Job Title: **KIM RESIDENCE**  
 Project Address & APN: **CASANOVA STREET 2NW NINTH AVENUE, CARMEL-BY-THE-SEA, CALIFORNIA 93921 APN: 010-263-007-000**

Project: **HC-23021**  
 Date: **6.13.2024**  
 Drawn By: **BGREEN**  
 Scale: **1/4" = 1'-0"**  
 Sheet No. **A2**

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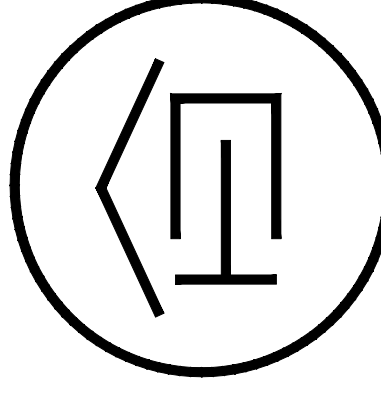


Revision/Issue	Date

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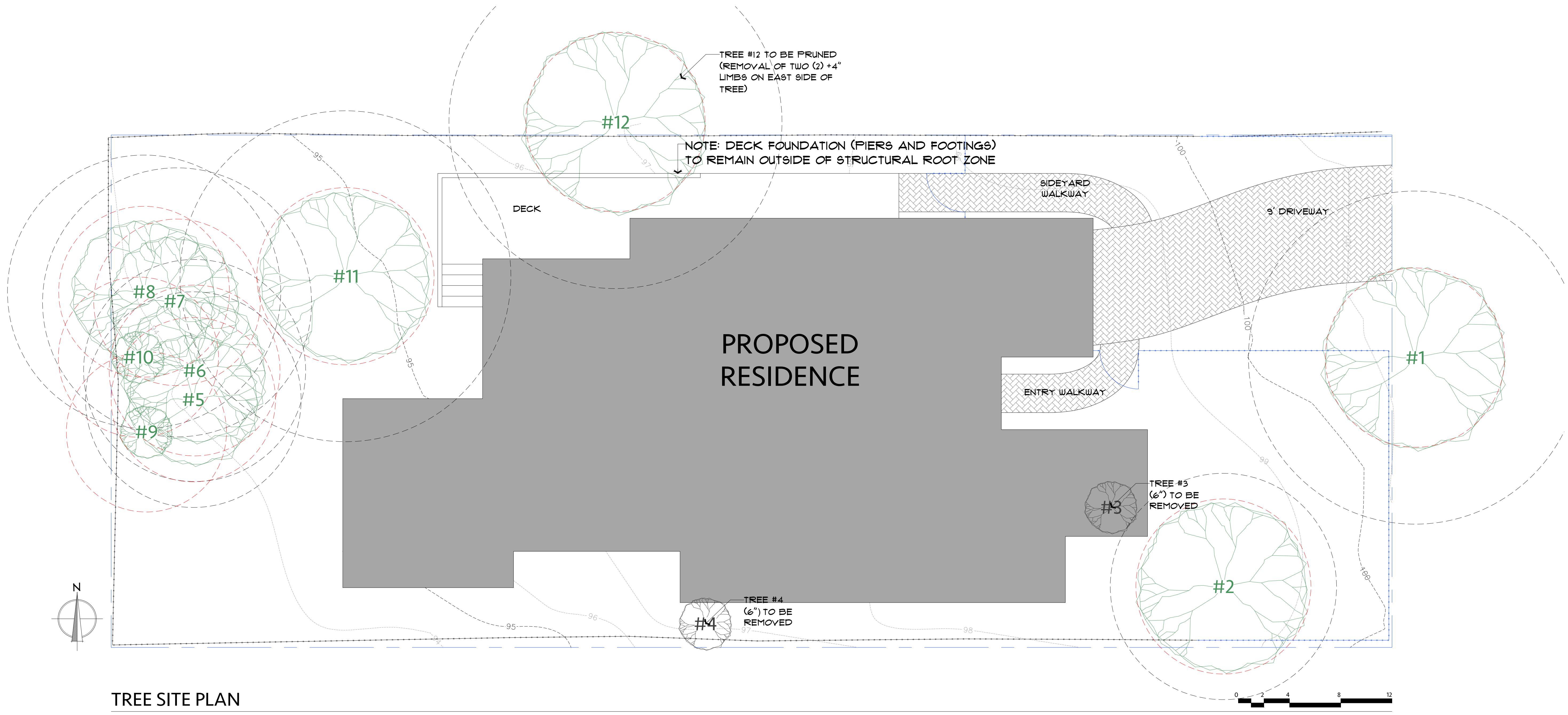
**TREE SITE PLAN**

Drawing Title: **TREE SITE PLAN**

Job Title: **KIM RESIDENCE**

Project Address & APN: **CASANOVA STREET 2NW NINTH AVENUE, CARMEL-BY-THE-SEA, CALIFORNIA 93921  
APN: 010-263-007-000**

Project: HC-23021	Sheet No. <b>A3</b>
Date: 6.13.2024	
Drawn By: BGREEN	
Scale: 1/4" = 1'-0"	



### TREE SITE PLAN

**REQUIRED TREE ZONE KEY:**

--- : STRUCTURAL ROOT ZONE

- - - : TREE PROTECTION ZONE

**TREE SITE PLAN NOTES:**

- REQUIREMENTS FOR TREE PRESERVATION SHALL ADHERE TO THE FOLLOWING TREE PROTECTION MEASURES ON CONSTRUCTION SITE.
- PRIOR TO GRADING, EXCAVATION, OR CONSTRUCTION, THE DEVELOPER SHALL CLEARLY TAG OR MARK ALL TREES TO BE PRESERVED.
  - EXCAVATION WITHIN 6 FEET OF A TREE TRUNK IS NOT PERMITTED.
  - NO ATTACHMENTS OR WIRES OF ANY KIND, OTHER THAN THOSE OF A PROTECTIVE NATURE SHALL BE ATTACHED TO ANY TREE.
  - PER MUNICIPAL CODE CHAPTER 17.48.110 NO MATERIAL MAY BE STORED WITHIN THE DRIPLINE OF A PROTECTED TREE TO INCLUDE THE DRIP LINES OF TREES ON NEIGHBORING PARCELS.
  - IF ROOTS GREATER THAN 2 INCHES IN DIAMETER OR LARGER ARE ENCOUNTERED WITHIN THE APPROVED STRUCTURAL ROOT ZONE THE CITY FORESTER SHALL BE CONTACTED FOR APPROVAL TO MAKE ANY ROOT CUTS OR ALTERATIONS TO STRUCTURES TO PREVENT ROOTS FROM BEING DAMAGED.
  - IF ROOTS LARGER THAN 2 INCHES IN DIAMETER ARE CUT WITHOUT PRIOR CITY FORESTER APPROVAL OR ANY SIGNIFICANT TREE IS ENDANGERED AS A RESULT OF CONSTRUCTION ACTIVITY, THE BUILDING PERMIT WILL BE SUSPENDED AND ALL WORK STOPPED UNTIL AN INVESTIGATION BY THE CITY FORESTER HAS BEEN COMPLETED AND MITIGATION MEASURES HAVE BEEN PUT IN PLACE.

**TREE PROTECTION ZONE:**

THE TREE PROTECTION ZONE SHALL BE EQUAL TO DRIPLINE OR 18 INCHES RADIALLY FROM THE TREE FOR EVERY ONE INCH OF TRUNK DIAMETER AT 4.5 FEET ABOVE THE SOIL LINE, WHICHEVER IS GREATER. MINIMUM OF 4 FOOT HIGH TRANSPARENT FENCING IS REQUIRED UNLESS OTHERWISE APPROVED BY THE CITY FORESTER. TREE PROTECTION SHALL NOT BE RESIZED, MODIFIED, REMOVED, OR ALTERED IN ANY MANNER WITHOUT WRITTEN APPROVAL. THE FENCING MUST BE MAINTAINED UPRIGHT AND TAUGHT FOR THE DURATION OF THE PROJECT. NO MORE THAN 4 INCHES OF WOOD MULCH SHALL BE INSTALLED WITHIN THE TREE PROTECTION ZONE. WHEN THE TREE PROTECTION ZONE IS AT OR WITHIN THE DRIP LINE, NO LESS THAN 6 INCHES OF WOOD MULCH SHALL BE INSTALLED 18 INCHES RADIALLY FROM THE TREE FOR EVERY ONE INCH OF TRUNK DIAMETER AT 4.5 FEET ABOVE THE SOIL LINE OUTSIDE OF FENCING.

**THE STRUCTURAL ROOT ZONE:**

STRUCTURAL ROOT ZONE SHALL BE 6 FEET FROM THE TRUNK OR 6 INCHES RADIALLY FROM THE TREE FOR EVERY ONE INCH OF TRUNK DIAMETER AT 4.5' ABOVE THE SOIL LINE, WHICHEVER IS GREATER. ANY EXCAVATION OR CHANGES TO THE GRADE SHALL BE APPROVED BY THE CITY FORESTER PRIOR TO WORK. EXCAVATION WITHIN THE STRUCTURAL ROOT ZONE SHALL BE PERFORMED WITH PNEUMATIC EXCAVATOR, HYDROVAC AT LOW PRESSURE, OR OTHER METHOD THAT DOES NOT SEVER ROOTS.

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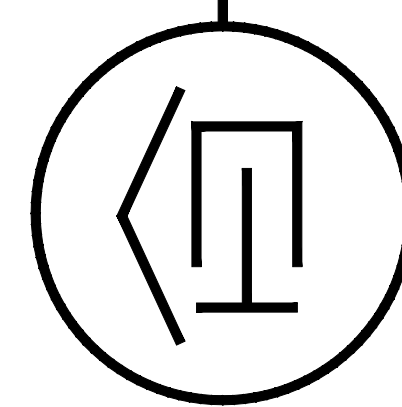


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 LIC#: 791839 CLASS: A/B

*Bradley Green*



Drawing Title:  
**EXISTING FLOOR PLAN**

Job Title:  
**KIM RESIDENCE**

Project Address & APN:  
**CASANOVA STREET 2NW NINTH AVENUE, CARMEL-BY-THE-SEA, CALIFORNIA 93921  
 APN: 010-263-007-000**

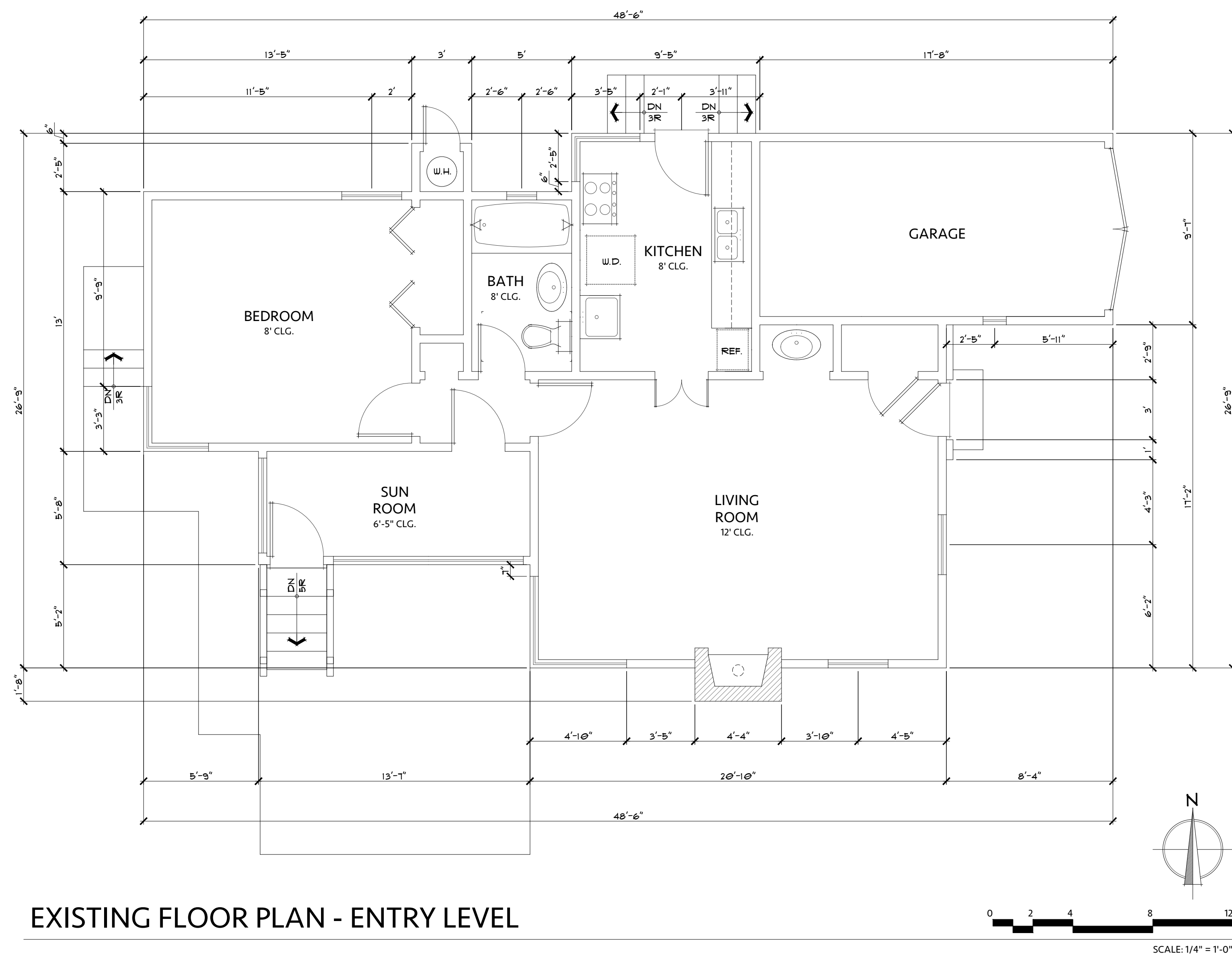
Project:  
 HC-23021

Date:  
 6.13.2024

Drawn By:  
 BGREEN

Scale:  
 1/4" = 1'-0"

Sheet No.  
**A4**



2NW CASANOVA ST & 9TH AVE  
 832 SQ. FT. INTERIOR  
 1 BED / 1 BATH - 1-STORY

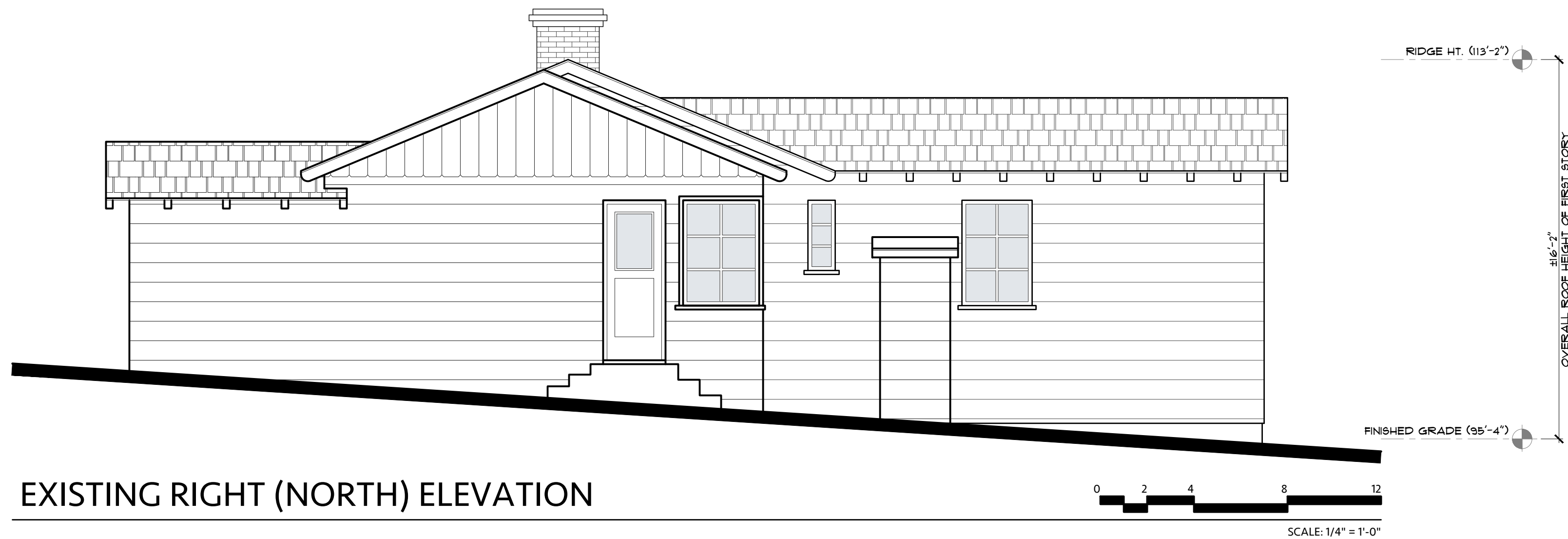
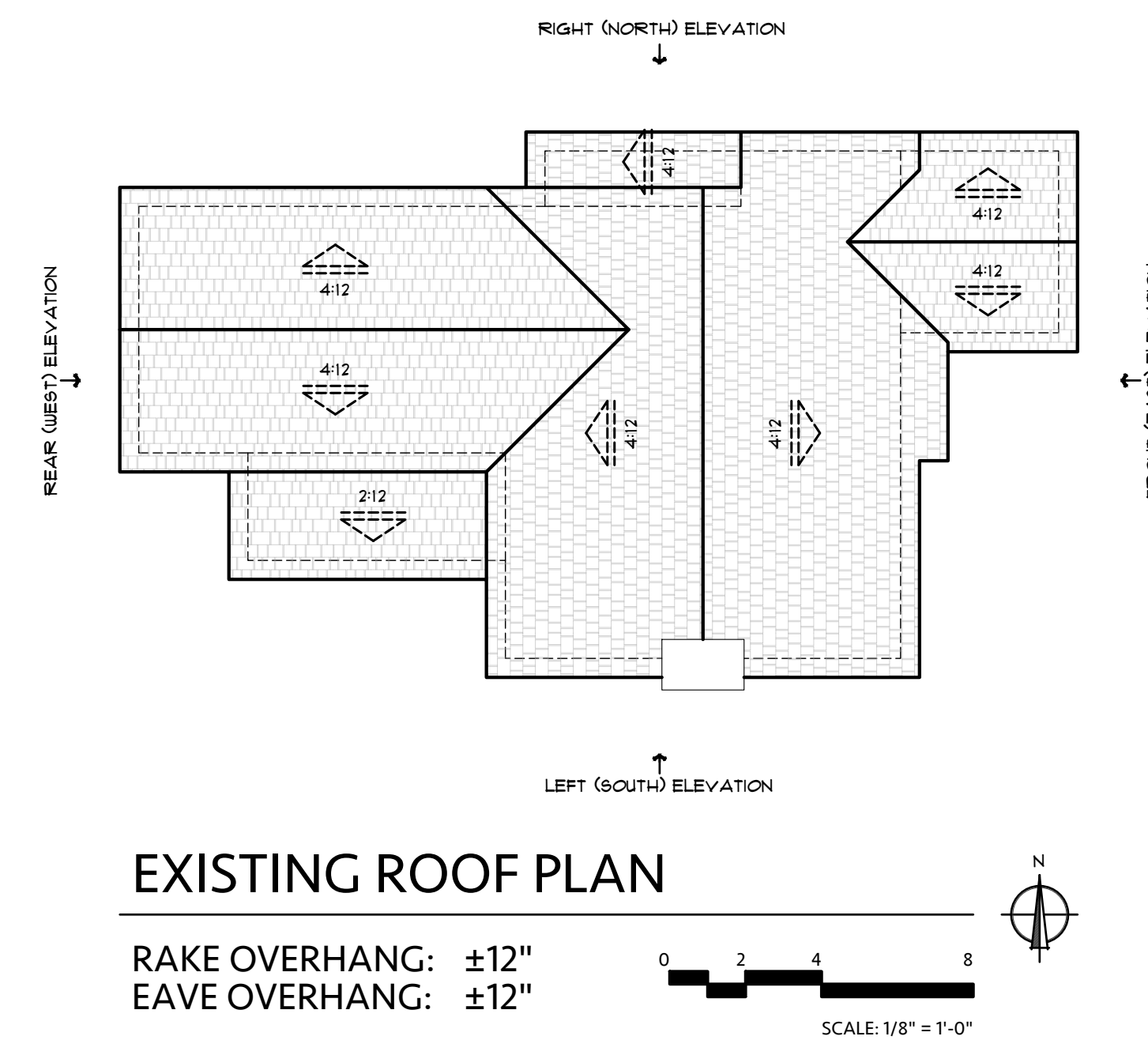
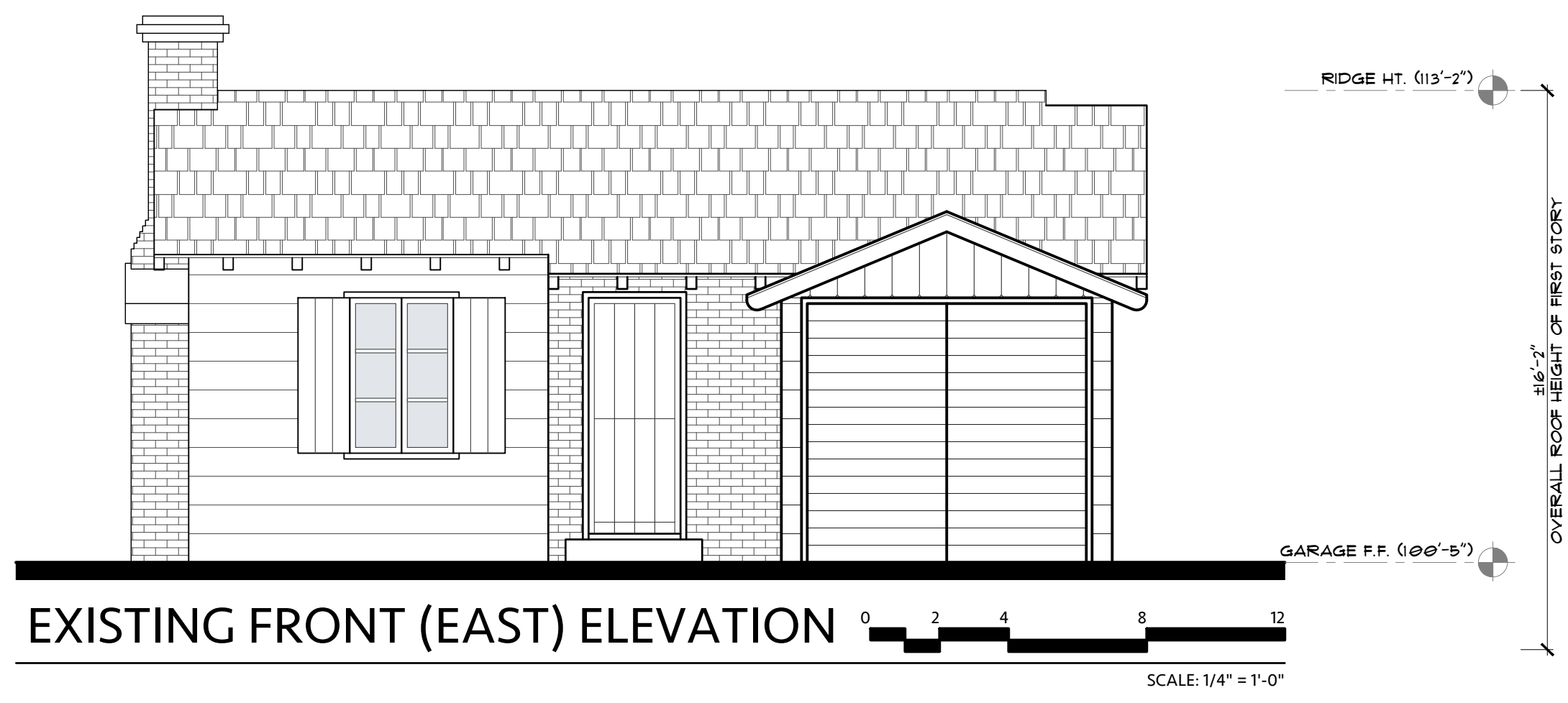
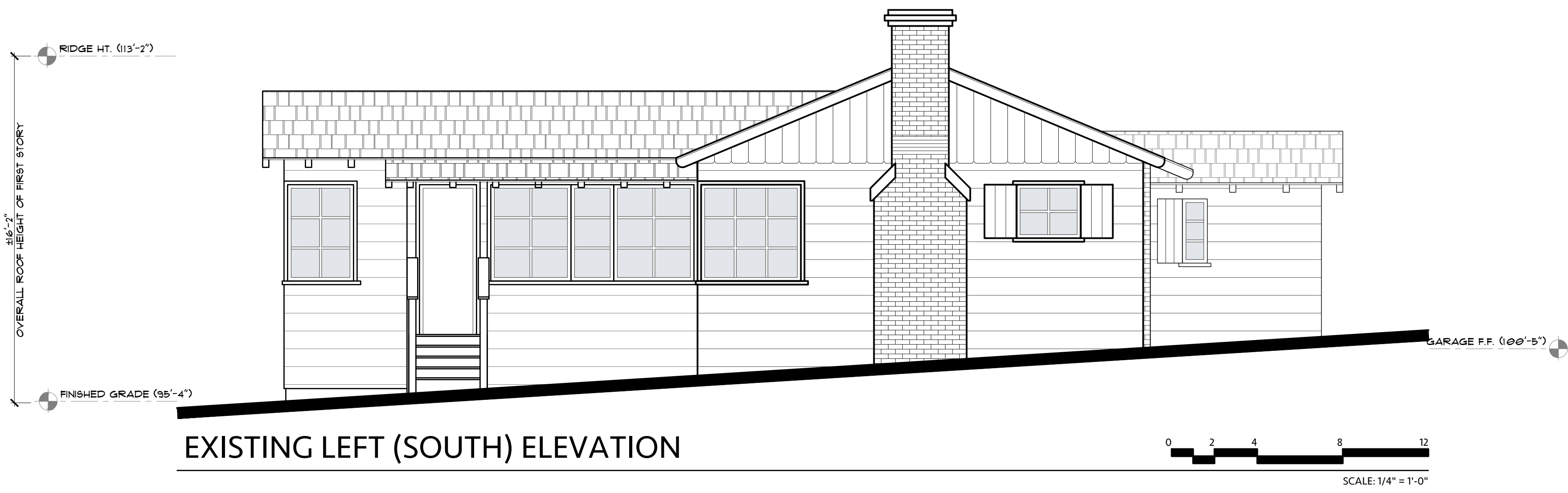
FLOOR AREA TABLE	
ENTRY LEVEL INTERIOR:	832 SQ. FT.
GARAGE	165 SQ. FT.
<b>TOTAL BASE FLOOR AREA:</b>	<b>997 SQ. FT.</b>

(MAXIMUM 1,800 SQ. FT. BASE FLOOR AREA ALLOWED FOR 4,000 SQ. FT. LOT)  
 NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION

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 LIC#: 791939 CLASS: A/B

*Bradley Green*

Drawing Title:  
**EXISTING ELEVATIONS AND EXISTING ROOF PLAN**

Job Title:  
**KIM RESIDENCE**

Project Address & APN:  
**CASANOVA STREET 2NW NINTH AVENUE, CARMEL-BY-THE-SEA, CALIFORNIA 93921**  
**APN: 010-263-007-000**

Project:  
HC-23021

Date:  
6.13.2024

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BGREEN

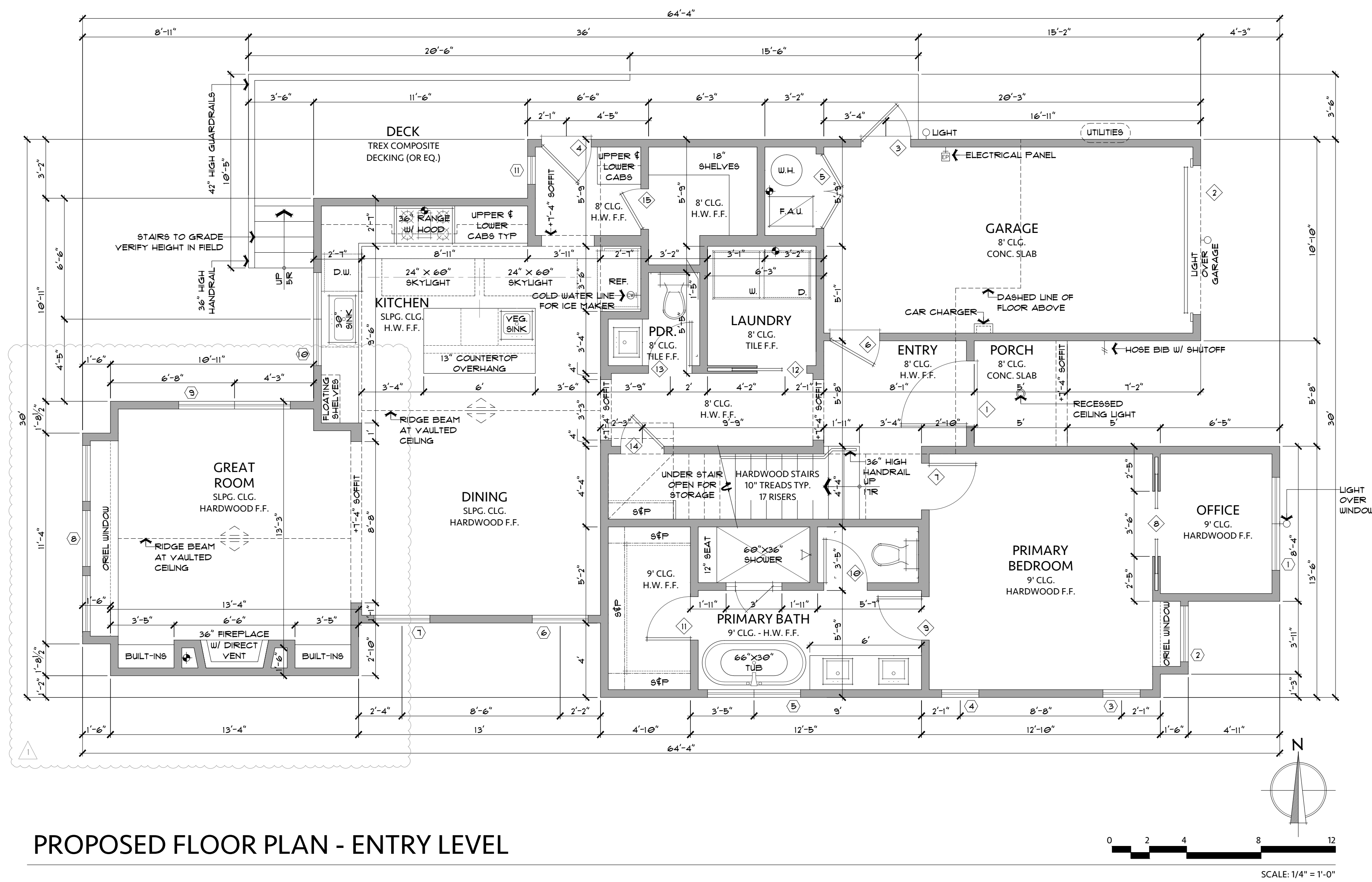
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Sheet No.  
**A5**

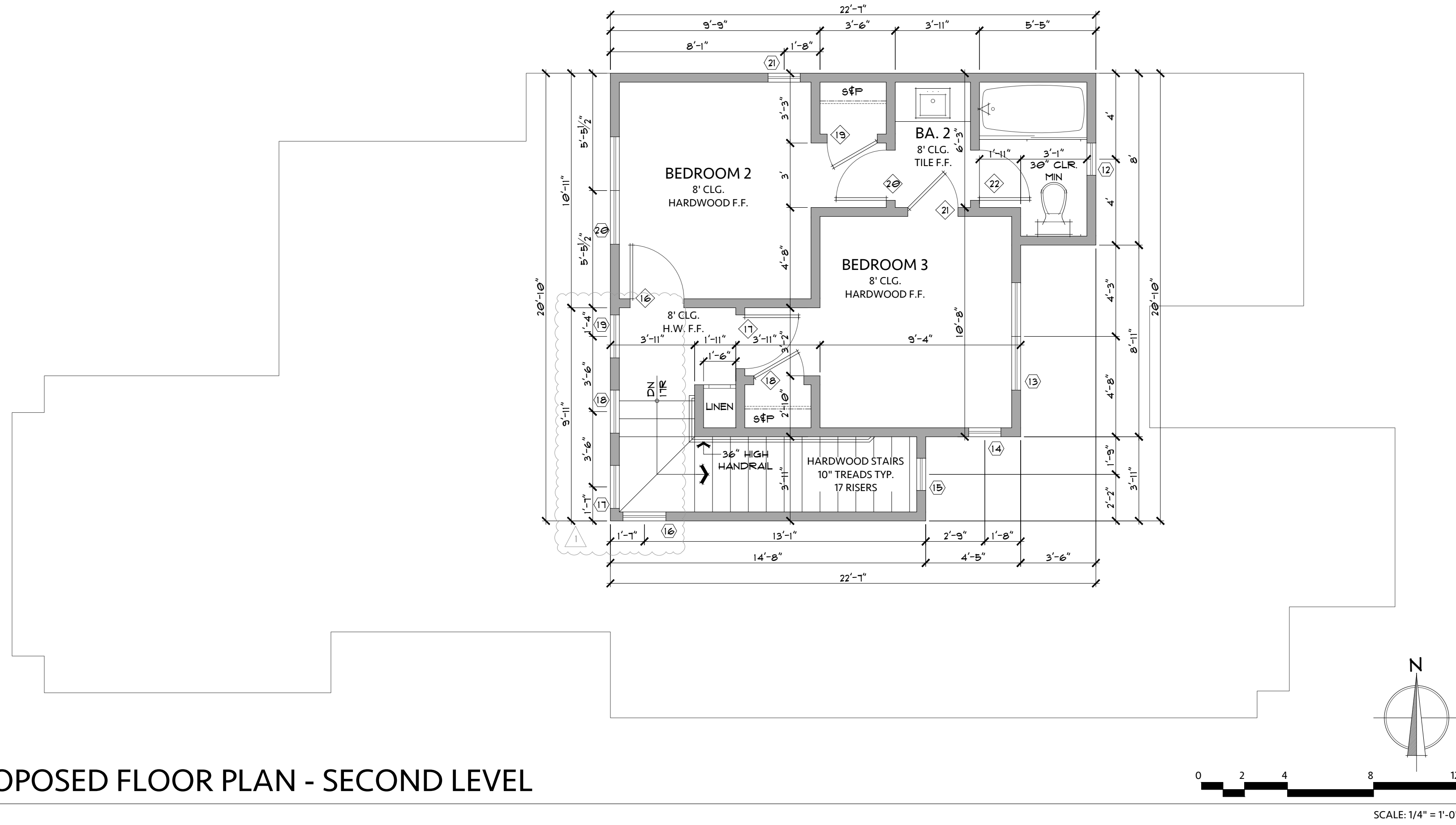
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PROPOSED FLOOR PLAN - ENTRY LEVEL



PROPOSED FLOOR PLAN - SECOND LEVEL

2NW CASANOVA ST & 9TH AVE  
1567 SQ. FT. INTERIOR  
3 BED / 2.5 BATH - 2-STORY

FLOOR AREA TABLE		SITE COVERAGE TABLE	
ENTRY LEVEL INTERIOR:	1223 SQ. FT.	IMPERMEABLE:	
SECOND LEVEL INTERIOR:	344 SQ. FT.	DECK	187 SQ. FT.
GARAGE	232 SQ. FT.	PORCH	28 SQ. FT.
TOTAL BASE FLOOR AREA:	1799 SQ. FT.	PERMEABLE:	
<small>(MAXIMUM 1,800 SQ. FT. BASE FLOOR AREA ALLOWED FOR 4,000 SQ. FT. LOT)</small>		9' DRIVEWAY	210 SQ. FT.
PORCH	28 SQ. FT.	ENTRY WALKWAY	34 SQ. FT.
DECK	187 SQ. FT.	SIDEYARD WALKWAY	57 SQ. FT.
NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION		TOTAL SITE COVERAGE:	516 SQ. FT.
		<small>(MAXIMUM 556 SQ. FT. ALLOWED, 396 SQ. FT. W/ 4% BONUS FOR &gt;50% PERMEABLE SURFACES)</small>	

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LIC#: 791939 CLASS: A/B

*Bradley Green*

Drawing Title: **PROPOSED FLOOR PLANS**  
Job Title: **KIM RESIDENCE**  
Project Address & APN: **CASANOVA STREET 2NW NINTH AVENUE, CARMEL-BY-THE-SEA, CALIFORNIA 93921**  
APN: 010-263-007-000

Project: HC-23021  
Date: 6.13.2024  
Drawn By: BGREEN  
Scale: 1/4" = 1'-0"

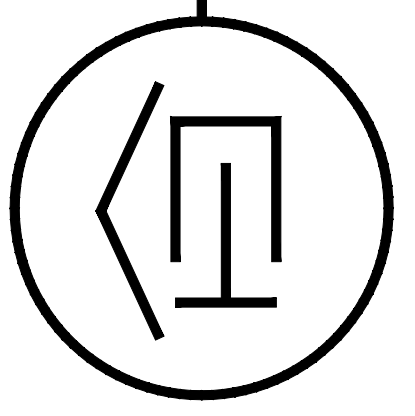
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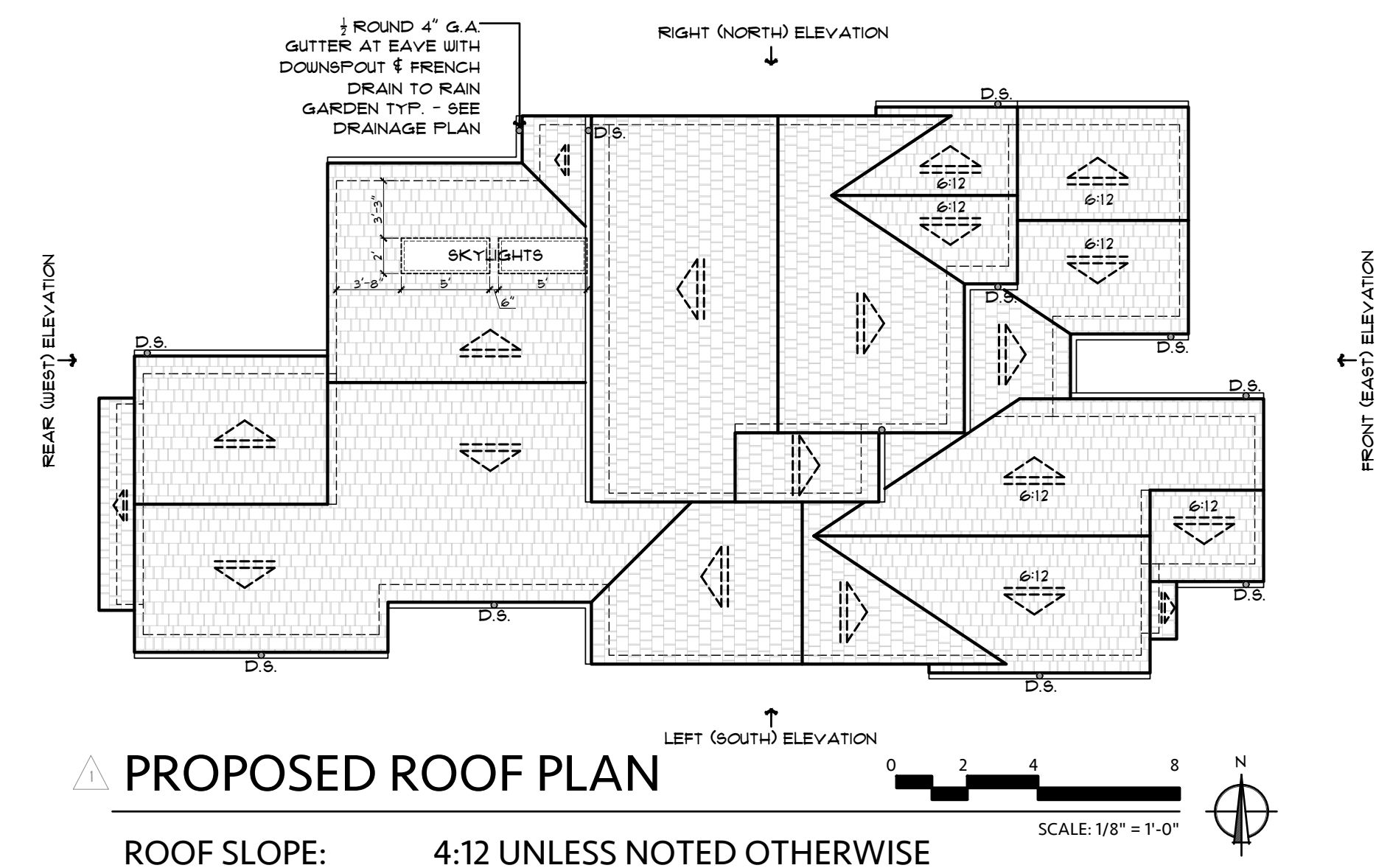
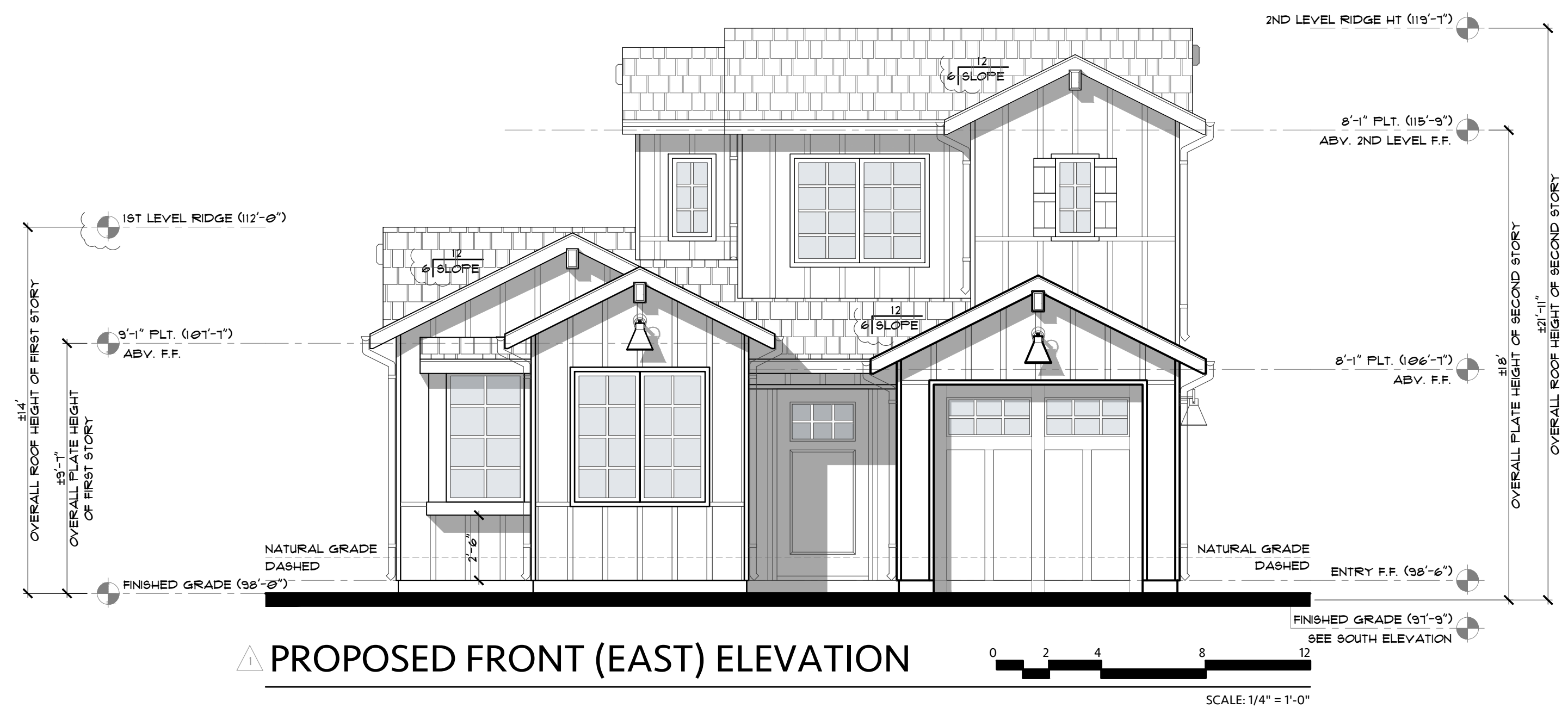
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 LIC#: 791939 CLASS: A/B  
*Bradley Green*



Drawing Title: **PROPOSED FRONT AND REAR ELEVATIONS, AND ROOF PLAN**  
 Job Title: **KIM RESIDENCE**  
 Project Address & APN: **CASANOVA STREET 2NW NINTH AVENUE, CARMEL-BY-THE-SEA, CALIFORNIA 93921**  
 APN: 010-263-007-000

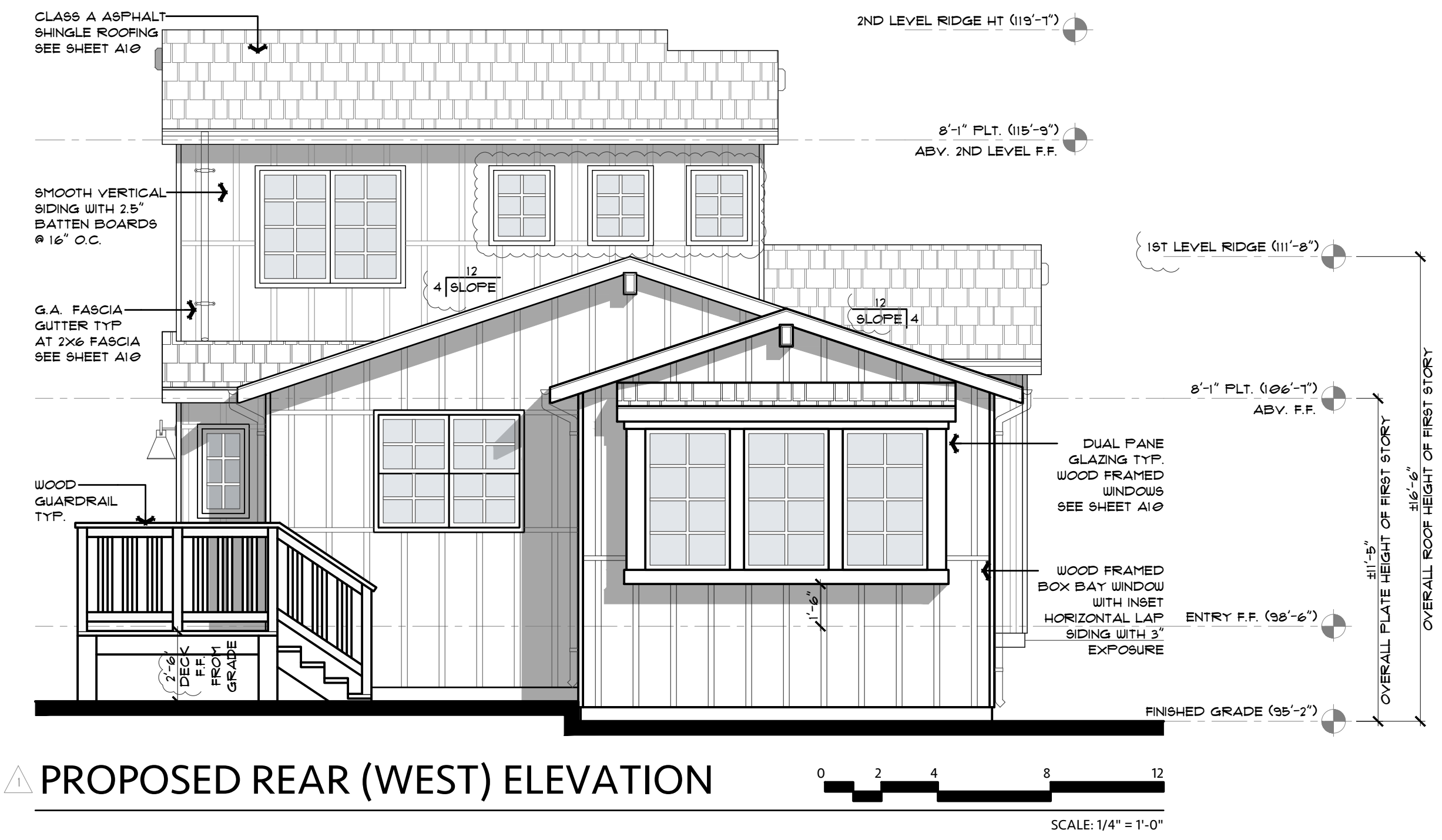
Project: HC-23021  
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 Scale: 1/4" = 1'-0"

Sheet No. **A7**



**ROOF SLOPE:** 4:12 UNLESS NOTED OTHERWISE  
**RAKE OVERHANG:** 6"  
**EAVE OVERHANG:** 12"  
**ROOF MATERIAL:** CERTAINTED PRESIDENTIAL SHAKE TL ASPHALT SHINGLE ROOFING (OR EQ.)

**ROOF PLAN NOTES:**  
 ROOF SLOPE IS NOTED ON ROOF PLAN; ARROWS INDICATE DIRECTION OF ROOF SLOPE.  
 ROOFING SHALL BE RATED CLASS 'A' OR HIGHER AND INSTALLED PER MANUFACTURER'S SPECS.  
 SKYLIGHTS SHALL BE LOW PROFILE, NON-GLARE, DUAL PANE, TEMPERED GLASS - BY VELUX OR EQUAL  
 FLASHINGS SHALL BE INSTALLED AT WALL AND ROOF INTERSECTIONS WHEREVER THERE IS A CHANGE IN ROOF SLOPE OR DIRECTION AND AROUND ROOF OPENINGS. FLASHING SHALL BE INSTALLED TO DIVERT WATER AWAY FROM WHERE THE EAVE OF A SLOPED ROOF INTERSECTS WITH A VERTICAL WALL (PER R903.2.1)



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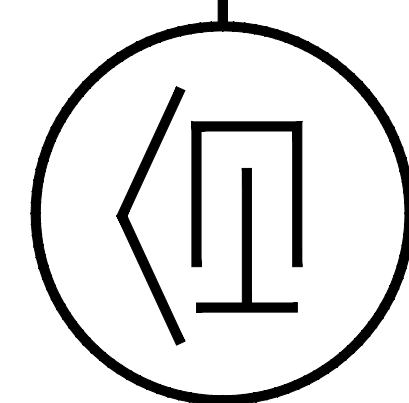


Revision/Issue	Date
DS 23-231 PLN COM	05/09/24

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 LIC#: 791939 CLASS: A/B

*Bradley Green*



Drawing Title:  
**PROPOSED SIDE ELEVATIONS**

Job Title:  
**KIM RESIDENCE**

Project Address & APN:  
**CASANOVA STREET 2NW NINTH AVENUE, CARMEL-BY-THE-SEA, CALIFORNIA 93921**  
**APN: 010-263-007-000**

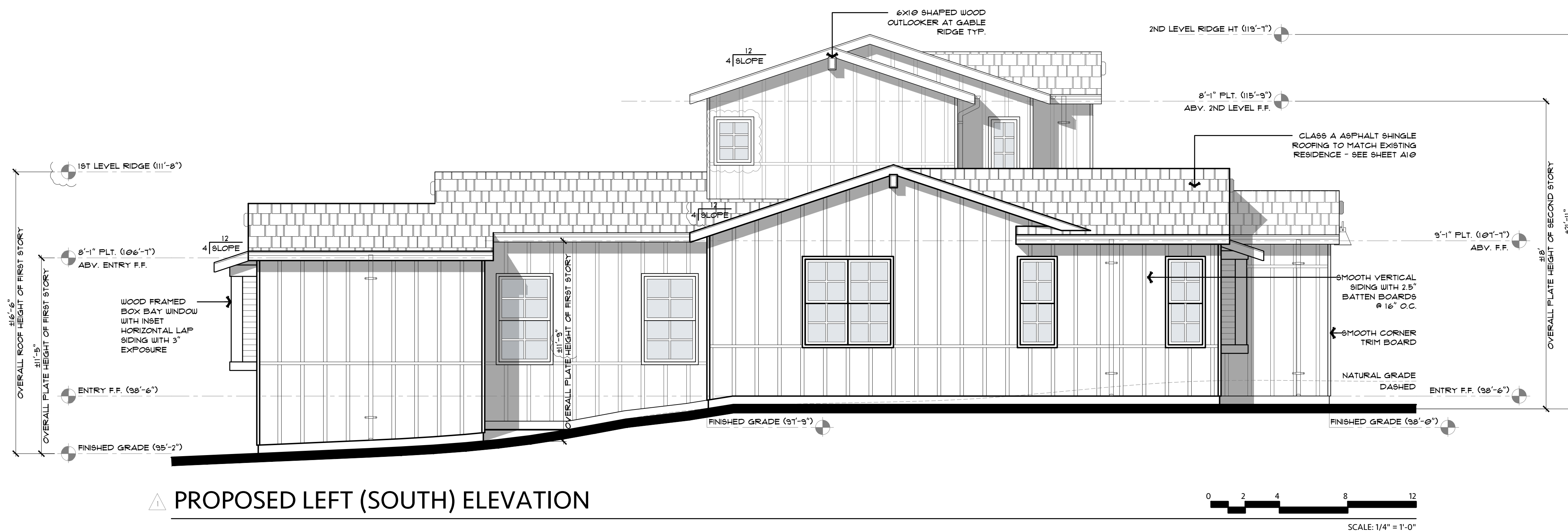
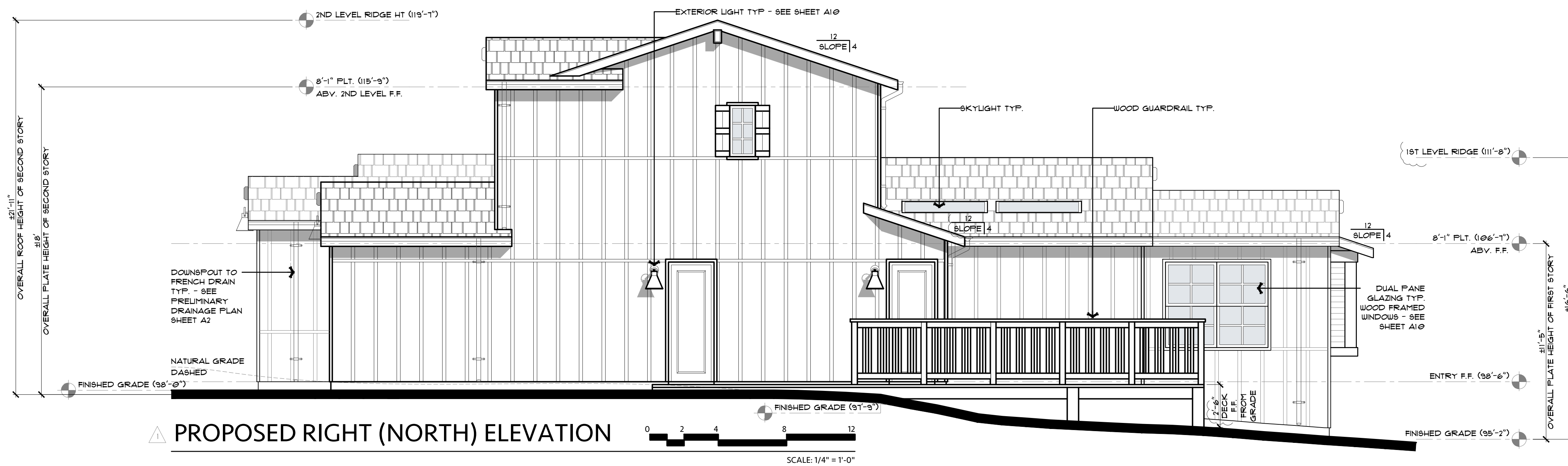
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 HC-23021

Date:  
 6.13.2024

Drawn By:  
 BGREEN

Scale:  
 1/4" = 1'-0"

Sheet No.  
**A8**





Revision/Issue	Date
DS 23-231 PLN COM	05/09/24



9TH AVE FACING WEST



NW CORNER CASANOVA & 9TH AVE



2NW CASANOVA & 9TH AVE



3NW CASANOVA & 9TH AVE



4NW CASANOVA & 9TH AVE

EXISTING CASANOVA STREETScape FACING WEST

NOT TO SCALE



9TH AVE FACING WEST



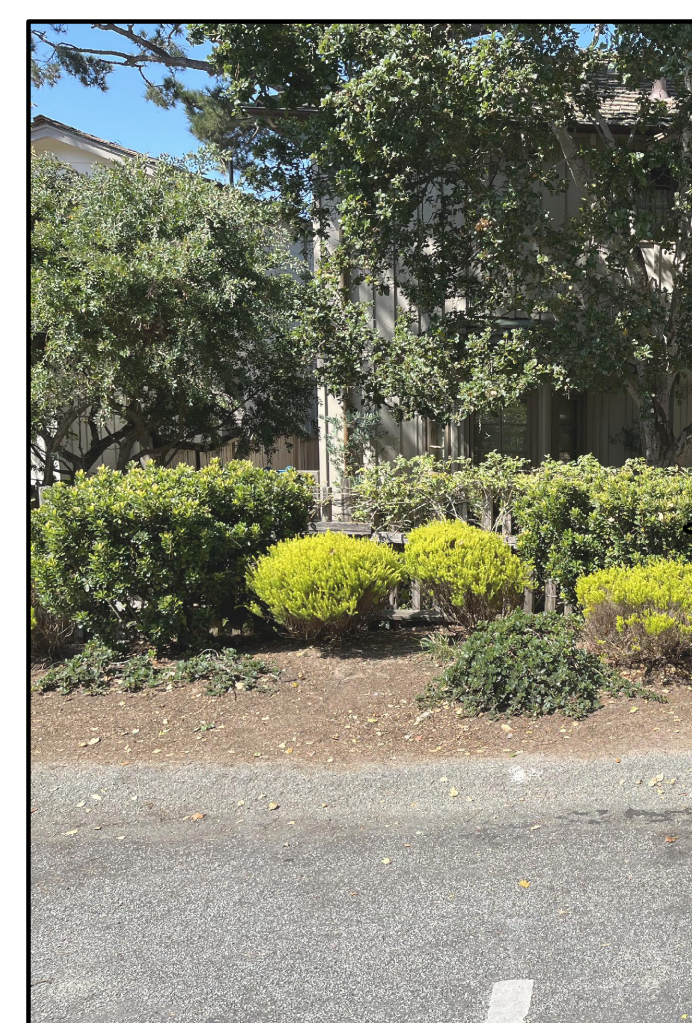
NW CORNER CASANOVA & 9TH AVE



2NW CASANOVA & 9TH AVE



3NW CASANOVA & 9TH AVE



4NW CASANOVA & 9TH AVE

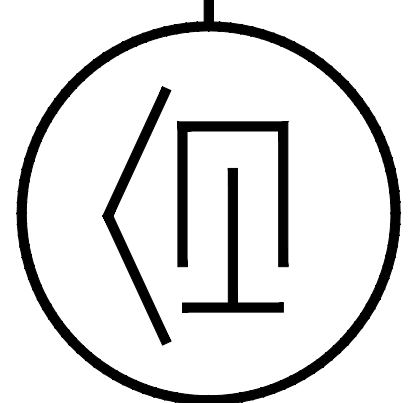
PROPOSED CASANOVA STREETScape FACING WEST

NOT TO SCALE

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 LIC#: 791839 CLASS: A/B

*Bradley Green*



Drawing Title: STREETSCAPE AND PROPOSED COLOR AND MATERIAL SCHEMES

Job Title: KIM RESIDENCE

Project Address & APN: CASANOVA STREET 2NW NINTH AVENUE, CARMEL-BY-THE-SEA, CALIFORNIA 93921  
 APN: 010-263-007-000

Project: HC-23021  
 Date: 6.13.2024  
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A9

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△ VIEW FROM CASANOVA STREET



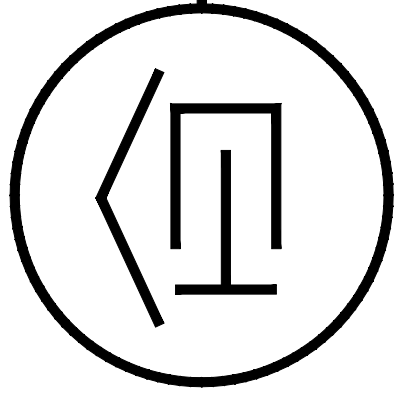
△ VIEW OF REAR FROM PRIVATE YARD

Revision/Issue	Date
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 (831) 620-0920 | INFO@HASTINGSCONSTRUCTION.COM  
 LIC#: 791539 CLASS: A/B

*Bradley Green*



Drawing Title:  
**3D RENDERINGS**

Job Title:  
**KIM RESIDENCE**

Project Address & APN:  
**CASANOVA STREET 2NW NINTH AVENUE, CARMEL-BY-THE-SEA, CALIFORNIA 93921  
 APN: 010-263-007-000**

Project:  
 HC-23021

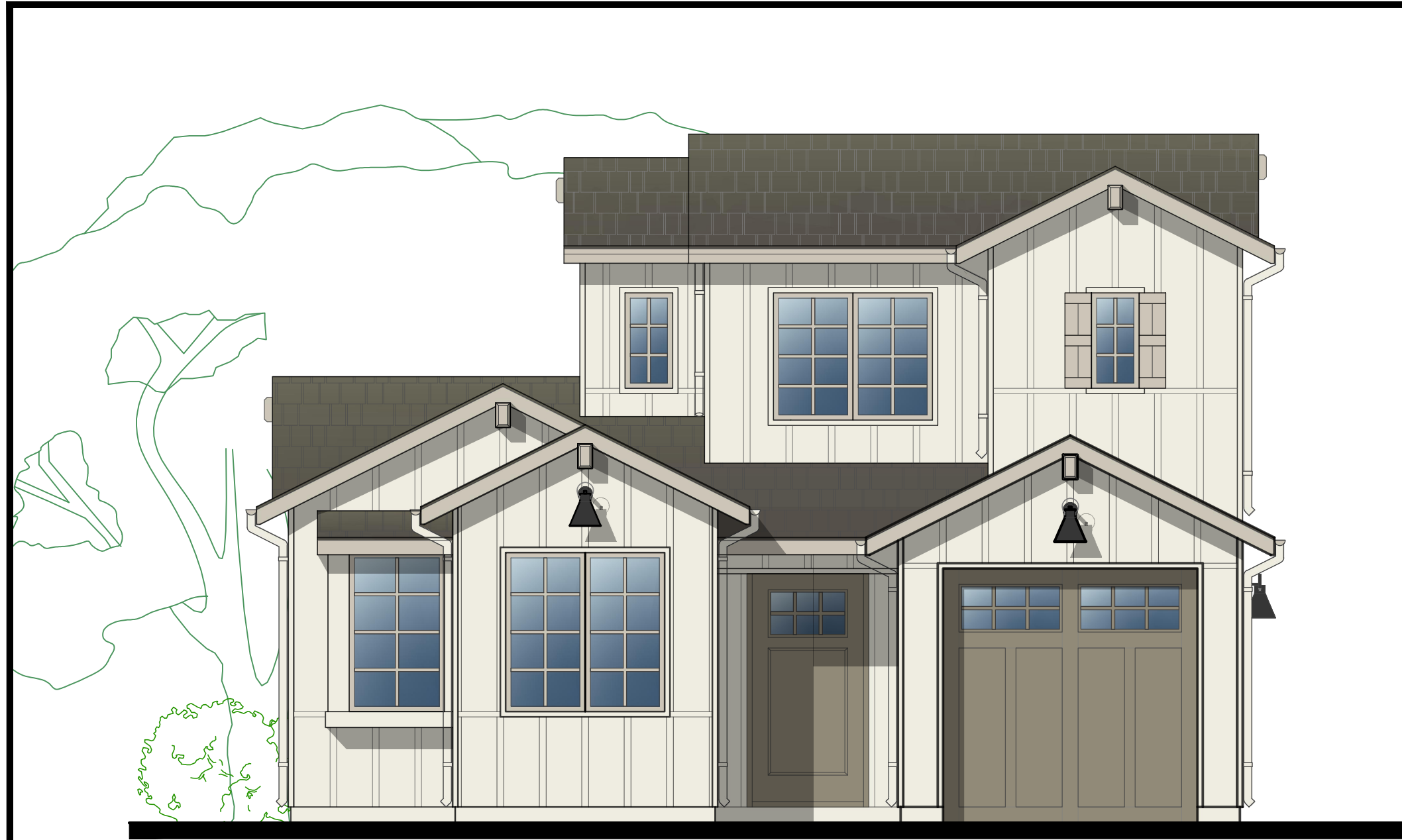
Date:  
 6.13.2024

Drawn By:  
 BGREEN

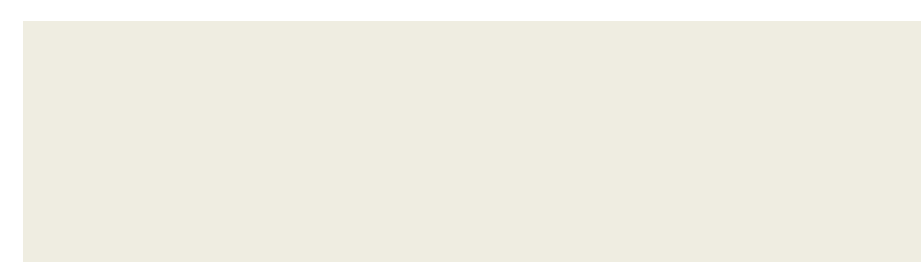
Scale:  
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Sheet No.  
**A10**





**PROPOSED FRONT (EAST) ELEVATION**



**MAIN BODY BOARD AND BATTEN, AND TRIM  
BM OC-45 SWISS COFFEE (OR EQ.)**



**ROOFING CERTAINTED - PRESIDENTIAL SHAKE  
AUTUMN BLEND (OR EQ.)**



**ACCENT FASCIA, OUTRIGGERS AND WINDOWS  
BM HC-172 REVERE PEWTER (OR EQ.)**



**ACCENT ENTRY DOOR AND GARAGE DOOR  
BM HC-104 COPLEY GRAY (OR EQ.)**



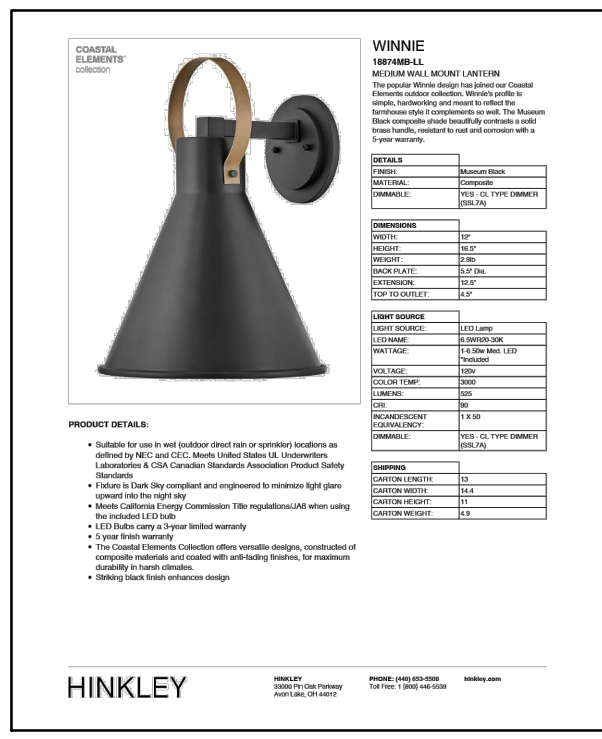
**ENTRY DOOR  
T.M. COBB - WOOD DOOR W/ GLASS (OR EQ.)  
PAINTED WITH ACCENT COLOR - BM HC-104 COPLEY GRAY (OR EQ.)**



**GARAGE MAN DOOR  
T.M. COBB - WOOD DOOR (OR EQ.)  
PAINTED WITH ACCENT COLOR - BM HC-172 REVERE PEWTER (OR EQ.)**



**GARAGE DOOR  
CLOPAY CANYON RIDGE - WOOD DOOR W/ GLASS (OR EQ.)  
PAINTED WITH ACCENT COLOR - BM HC-104 COPLEY GRAY (OR EQ.)**



**EXTERIOR WALL LIGHT  
HINKLEY COASTAL ELEMENTS WINNIE - 17 INCH LED (OR EQ.)**



**EXTERIOR LIGHT BULBS  
SATCO 130V 30WATT R20; 185 LUMENS (OR EQ.)  
S2810 30R20 REFLECTOR 130 V 30 WATT R20 INCANDESCENT; FROST  
2000 AVERAGE RATED HOURS; 185 LUMENS; MEDIUM BASE; 130 VOLT**

WINDOW SCHEDULE							
LEVEL	WINDOW NUMBER	SIZE			TYPE	GLAZING NOTES	ADDITIONAL NOTES
		WIDTH	HEIGHT	HEADER			
ENTRY LEVEL EXTERIOR	1	5'-0"	5'-0"	8'-0"	CSMT / CSMT		DOUBLE (2) 2650 CSMT
	2	3'-0"	5'-0"	8'-0"	CSMT		EGRESS
	3	2'-0"	5'-0"	8'-0"	SH		
	4	2'-0"	5'-0"	8'-0"	SH		
	5	5'-0"	5'-0"	8'-0"	SH / SH	TEMPERED	(2) TEMPERED 2650 SH MULLED
	6	3'-0"	5'-0"	7'-0"	SH		
	7	3'-0"	5'-0"	7'-0"	SH		
	8	10'-0"	5'-0"	7'-0"	OXO CSMT / FX / CSMT		(2) 3050 CSMT (1) 3050 FX PICTURE WINDOW IN CENTER
	9	6'-0"	5'-0"	7'-0"	SH / SH		(2) 3050 SH
	10	5'-0"	4'-0"	7'-0"	SH / SH	TEMPERED	(2) 2640 SH
	11	1'-6"	3'-0"	7'-0"	FX	TEMPERED	
SECOND LEVEL EXTERIOR	12	1'-6"	3'-0"	7'-0"	FX	TEMPERED	
	13	5'-0"	4'-0"	7'-0"	CSMT / CSMT		EGRESS DOUBLE (2) 2640 CSMT
	14	1'-6"	3'-0"	7'-0"	FX		
	15	1'-6"	3'-0"	7'-0"	FX	TEMPERED	
	16	2'-0"	2'-6"	7'-0"	FX	TEMPERED	
	17	2'-0"	2'-6"	7'-0"	FX	TEMPERED	
	18	2'-0"	2'-6"	7'-0"	FX	TEMPERED	
	19	2'-0"	2'-6"	7'-0"	FX	TEMPERED	
	20	5'-0"	4'-0"	7'-0"	CSMT / CSMT		EGRESS DOUBLE (2) 2640 CSMT
	21	1'-6"	3'-0"	7'-0"	FX		

**ABBREVIATIONS:**  
 AWN = AWNING  
 CSMT = CASEMENT  
 DS = DIRECT SET (PICTURE)  
 FX = FIXED  
 HOP = HOPPER  
 SH = SINGLE HUNG  
 DH = DOUBLE HUNG  
 SLD = SLIDER  
 TRSM = TRANSOM  
 X = OPERABLE PANEL  
 O = FIXED PANEL

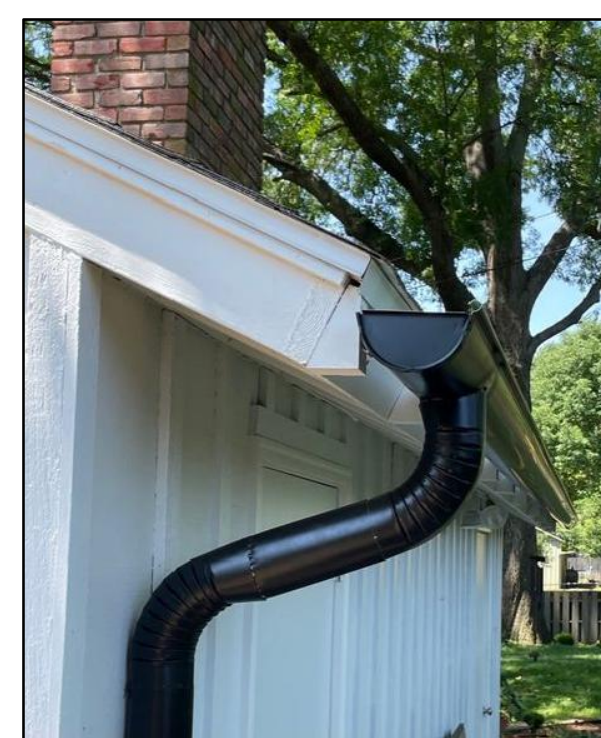
DOOR SCHEDULE							
LEVEL	DOOR NUMBER	SIZE		DOOR MATERIAL	HANDLING	GLAZING NOTES	ADDITIONAL NOTES
		WIDTH	HEIGHT				
ENTRY LEVEL EXTERIOR	1	3'-6"	7'-6"	WOOD & GLASS	LH	TEMPERED	T.M. COBB - 5661 - 42" WIDE DOOR (OR EQ.)
	2	8'-0"	8'-0"	WOOD & GLASS	SECT	TEMPERED	CLOPAY CANYON RIDGE - WOOD DOOR 5 LAYER SECTIONAL DESIGN 12 W/ SQ23 GLASS (OR EQ.)
	3	2'-8"	7'-0"	WOOD	RHR	N/A	T.M. COBB - 4020
	4	2'-8"	7'-0"	WOOD	RH	N/A	T.M. COBB - 4020
ENTRY LEVEL INTERIOR	5	4'-0"	6'-8"	TBD	PR IS	N/A	(2) 2'-0" WIDE DOORS
	6	2'-8"	7'-6"	TBD	RH	N/A	
	7	2'-6"	6'-8"	TBD	LH	N/A	
	8	3'-6"	6'-8"	TBD	PR PKT	N/A	(2) 1'-10" WIDE POCKET DOORS PER PLAN
	9	2'-4"	6'-8"	TBD	RH	N/A	
	10	2'-4"	6'-8"	TBD	LH	N/A	
	11	2'-4"	6'-8"	TBD	LH	N/A	
	12	3'-0"	6'-8"	TBD	PKT	N/A	
	13	2'-4"	6'-8"	TBD	RH	N/A	
	14	2'-4"	6'-8"	TBD	RH	N/A	FIELD VERIFY HEIGHT OF DOOR AND CLIP HEADER IF NEEDED - DUE TO STAIR
	15	2'-2"	6'-8"	TBD	LH	N/A	
SECOND LEVEL INTERIOR	16	2'-6"	6'-8"	TBD	LH	N/A	
	17	2'-6"	6'-8"	TBD	LH	N/A	
	18	2'-4"	6'-8"	TBD	LH	N/A	
	19	2'-4"	6'-8"	TBD	LH	N/A	
	20	2'-4"	6'-8"	TBD	LH	N/A	
	21	2'-4"	6'-8"	TBD	LH	N/A	
	22	2'-4"	6'-8"	TBD	RH	N/A	

**ABBREVIATIONS:**  
 RH = RIGHT HAND SWING  
 RHR = RIGHT HAND REVERSE SWING  
 LH = LEFT HAND SWING  
 LHR = LEFT HAND REVERSE SWING  
 FR = FRENCH SWING (GLAZING)  
 PR = PAIR (OS = out-swing / IS = in-swing)  
 SLD = SLIDING  
 SECT = SECTIONAL  
 PKT = POCKET  
 X = OPERABLE PANEL  
 O = FIXED PANEL

**NOTE: ALL PRODUCT SELECTIONS ARE PROVIDED FOR DESIGN INTENT ONLY. PRODUCT SELECTIONS SHALL BE APPROVED BY OWNER PRIOR TO PURCHASE AND WILL HAVE THE SAME ATTRIBUTES.**



**WINDOWS  
SIERRA PACIFIC - DUAL PANE WOOD FRAMED WINDOWS (OR EQ.)  
FRAMING PAINTED - BM HC-172 REVERE PEWTER (OR EQ.)**



**GUTTERS  
ALUMINUM 1/2 ROUND WITH 4" ROUND DOWNSPOUT (OR EQ.)  
GUTTER TO MATCH TRIM - BM HC-172 REVERE PEWTER (OR EQ.)  
D.S. TO MATCH MAIN BODY - BM OC-45 SWISS COFFEE (OR EQ.)**

Revision/Issue	Date
DS 23-231 PLN COM	05/09/24

**HASTINGS CONSTRUCTION, INC.**  
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 (831) 620-0920 | INFO@HASTINGSCONSTRUCTION.COM  
 LIC#: 791939 CLASS: A/B  
*Bradley Green*

**DOOR AND WINDOW SCHEDULES AND PROPOSED COLOR AND MATERIAL SCHEMES**

Job Title: **KIM RESIDENCE**  
 Project Address & APN: **CASANOVA STREET 2NW NINTH AVENUE, CARMEL-BY-THE-SEA, CALIFORNIA 93921 APN: 010-263-007-000**

Project: **HC-23021**  
 Date: **6.13.2024**  
 Drawn By: **BGREEN**  
 Scale: **1/4" = 1'-0"**

Sheet No. **A11**

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