



STREET ELEVATION
1/4"=1'-0"

LUTZ RESIDENCE

Historic "Our House"

Santa Fe 4 NW of 6th

Carmel, California

PROJECT DATA:

KITCHEN ADDITION, BEDROOM ADDITION AND NEW DETACHED GARAGE TO EXISTING HISTORIC RESIDENCE

PROPERTY LOCATION:
SANTA RITA STREET 4 NW SIXTH
APN 010-092-025-020
BLOCK 60 LOT 11, CARMEL-BY-THE-SEA

OWNERS:
BRECK & CAROLE LUTZ
3400 CLAY STREET NO. 3
SAN FRANCISCO CALIFORNIA 94116
EMAIL: carolelutz@gmail.com

ZONING: R-1

LOT SIZE: 4,000 SQUARE FEET

APPLICABLE BUILDING CODES

CONSTRUCTION TYPE: V-B (EXISTING)

APPLICABLE CODES:

- 2022 CALIFORNIA BUILDING CODE
- 2021 CBC-PLUMBING
- 2022 CBC-MECHANICAL
- 2021 CBC-ELECTRICAL
- 2022 CALIFORNIA RESIDENTIAL CODE
- 2022 CBC-FIRE
- 2022 CA RESIDENTIAL CODE
- 2022 GREEN BUILDING CODE

- APPLICABLE CONDITIONS OF APPROVAL 1 CITY PROGRAM REQUIREMENTS
- CARMEL CONSTRUCTION & DEMOLITION RECYCLING REQUIREMENTS
- HIBARD HAZARDOUS MATERIAL REMOVAL AND DISPOSAL REQUIREMENTS
- CARMEL BMP IMPLEMENTATION

SETBACKS	ALLOWED	EXISTING	PROPOSED
FRONT (EAST)	15'-0"	31'-8"	31'-8"
FRONT (GARAGE)	0'-0"	0'-0"	0'-0"
SOUTH SIDE	3'-0"	3'-1"	3'-1" (1/3'-0" NEW)
NORTH SIDE	3'-0"	2'-5"	2'-5" (1/3'-0" NEW)
REAR	3'-0" / 15'-0"	3'-10"	3'-10"

COMPOSITE: (SEE COMPOSITE SETBACK KEY PLAN SHEET 12)

- ⓐ EXISTING BUILDING 10'-0" 3'-4" (E)
- ⓑ KITCHEN ADDN 10'-0" 15'-4"
- ⓒ BEDROOM ADDN 10'-0" 17'-1"
- ⓓ EXISTING LIVING 10'-0" 21'-6" (E)
- ⓔ GARAGE 10'-0" 76'-4"

RIDGE HT ABV GRADE 18'-0" 14'-10" LIVING 11'-3/13'-0" @ BR
PLATE HT ABV GRADE 12'-0" 8'-1" 8'-1"

FLOOR AREA	EXISTING	PROPOSED
EXISTING HOUSE	1243	1243
TOOL SHED (REMOVE)	33	0
PROPOSED KITCHEN ADDITION:		76
PROPOSED BEDROOM ADDITION:		125
GARAGE		232
TOTAL	1288	1695 SF.
MAXIMUM ALLOWED FLOOR AREA:		1800 SF
FLOOR AREA RATIO:		43%

EXISTING AND PROPOSED SITE COVERAGE (SEE SHEET 13)

TOTAL EXISTING STONE WALKWAYS + PATIO: 840 SF.

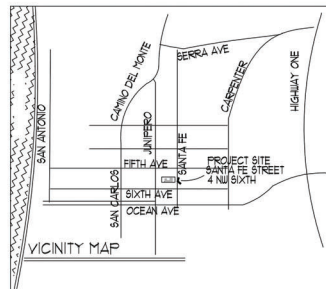
- REMOVE SOUTH STONE WALKWAY 15 SF.
- REMOVE CROSSOVER STONE WALKWAY 66 SF.
- REMOVE NORTH STONE WALKWAY 85 SF.
- REMOVE EAST STONE WALKWAY 102 SF.
- DEDUCT HISTORIC PATIO 89 SF.

TOTAL REMOVED AND/OR DEDUCTED: 281 SF.

TOTAL REMAINING STONE WALKWAY: 559 SF.

NOTE: HISTORIC SOUTH PATIO NOT COUNTED AS SITE COVERAGE.

SITE COVERAGE	EXISTING	PROPOSED
STONE WALKWAYS	842 SF.	251 SF.
TRASH BINS ENCLOSURE + GARAGE ENTRY (STONE)	60 SF.	0 SF.
REPLACEMENT STEPS @ LIVING ROOM DOOR	26 SF.	0 SF.
NEW LANDSCAPING @ KITCHEN DOOR	16 SF.	0 SF.
DRIVEWAY BTWN GARAGE AND PROPERTY LINE	85 SF.	0 SF.
TOTAL PROPOSED SITE COVERAGE		251 SF.
TOTAL ALLOWED SITE COVERAGE		400 SF.



PLUMBING FIXTURE SCHEDULE

TYPE	FIL	EXISTING	PROPOSED
KIT. SINK	2.0	1	2.0
KIT. SINK W/ LOW-FLOW DWJ	1.5	0	1.5
WASHER	2.0	0	2.0
ENERGY STAR WASHER	1.0	0	1.0
TUB OR STALL SHOWER	2.0	2	4.0
LAV.	1.0	2	3
W.C.	1.5	2	3.6
W.HET W.C.	0.5	0	0.5
HOT WATER LOOP	-0.5	0	-0.5
TOTAL		11.6	11.4

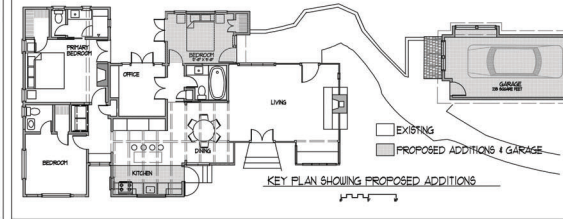
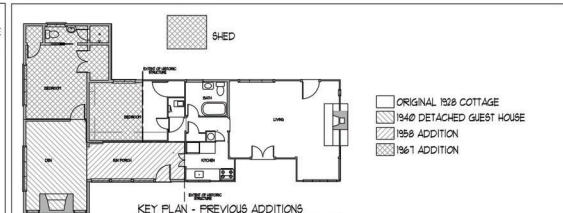
ARCHITECT & ENGINEERS

ARCHITECT: THOMAS BATEMAN HOOD ARCHITECTURE
27880 DORRIS DRIVE SUITE 200
CARMEL CALIFORNIA 93923
415/505-1836 thomas@hood.com

SURVEYOR: RASMUSSEN LAND SURVEYING INC.
2180 GARDEN ROAD SUITE A-3
MONTEREY CALIFORNIA 93940
831/751-7140

INDEX TO DRAWINGS

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- A12 PROPOSED SITE-ROOF PLAN
- A13 TREE ROOT ZONE PROTECTION PLAN
- A14 STORM DRAINAGE PLAN
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- A23 EXTERIOR LIGHTING PLAN
- A24 NEW GARAGE PLAN & ELEVATIONS
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- A32 PROPOSED BUILDING ELEVATIONS
- A33 EXISTING & PROPOSED BUILDING SECTIONS
- A41 DOOR & WINDOW SCHEDULE & DETAILS



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PROJECT:
BEDROOM/BATH/KITCHEN
ADDITION TO EXISTING
RESIDENCE & NEW GARAGE
SANTA FE 4 NW of 6TH
CARMEL, CA 93921

APN 010-092-025-020

OWNER:
BRECK & CAROLE LUTZ
SANTA FE 4 NW of 6TH
CARMEL, CA 93921
TEL 832 324-6473
lutz@hood.com
www.thomasbatemanhood.com

- REVISIONS:
- REVISION
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OWNERSHIP AND USE OF ARCHITECT'S DOCUMENTS

The drawings, specifications and other documents prepared by the architect for this project are instruments of the architect's service for use solely with respect to this project and the architect shall be deemed the author of these documents and shall retain all common law, statutory and other reserved rights including the copyright. The owner shall be permitted to retain copies, including reproducible copies of the architect's drawings, specifications and other documents for information and reference in connection with the owner's use and occupancy of the project. The architect's drawings, specifications or other documents shall not be used by the owner or others on other projects, for additions to this project or for completion of this project by others except by agreement in writing and with appropriate compensation to the architect, Thomas Bateman Hood, AIA.

ARCHITECTURAL STAMP:
THOMAS BATEMAN HOOD, AIA
CARMEL, CA

DRAWN BY: BTC

PRINT DATE: 11-30-23

DRAWING DATE: 11-30-23

PAGE TITLE:
PROJECT DATA

SHEET:

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City of Carmel-by-the-Sea
COMMUNITY PLANNING AND BUILDING DEPARTMENT
 PORT OFFICE BUILDING
 CARMEL-BY-THE-SEA, CA 98301
 (831) 425-3910 OFFICE

February 15, 2023
 Thomas Bateman Hood, AIA
 25805 Carol Place
 Carmel, CA 93921

Via email: tom@t-hood.com
 RE: Preliminary Site Assessment
 PSA 23-011 (Lutz)
 Santa Fe Street 4 NW of 6th Avenue
 Blk 60, Lot 11; APN: 010-092-005

Mr. Hood,
 Enclosed is a copy of the Preliminary Site Assessment Report, Significant Tree Evaluation Worksheet, and annotated tree survey from the preliminary site assessment conducted on January 24, 2023. This information has been prepared to inform you of the site opportunities and constraints that should be addressed in your design. Specifically, potential impacts to trees labeled "significant" and their associated root zones should be avoided.

Please review the enclosed information and do not hesitate to contact me with any questions. Other reference materials such as Carmel's Residential Design Guidelines and Carmel Municipal Code Chapter 17.10 (R-1 District Design Regulations) are available on-line at www.ci.carmel.ca.us and at the Community Planning & Building Department.

If you have any questions I can be reached directly at (831) 620-2027 or kwallace@cpts.us.

Best regards,

Katherine Wallace
 Katherine Wallace
 Associate Planner

Encl. Site Assessment Report

CC: Marnie R. Waffle, AICP, Principal Planner (mwaffle@cpts.us); Carol and Breck Lutz, property owners (carolelutz@gmail.com)

PRELIMINARY SITE ASSESSMENT REPORT

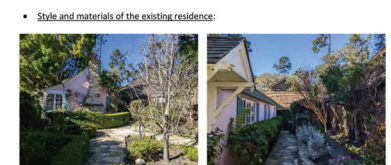
Date of Site Visit: January 24, 2023
Planner: Katherine Wallace
Forester: Sara Davis
Block/Lot: 60/ 11
APN: 010-092-005
Property Owner: Carol and Breck Lutz
Street Location: Santa Fe Street 4 NW of 6th Avenue

Purpose: The information contained in this Preliminary Site Assessment is meant to provide input to the applicant on potential project issues prior to project submittal.

Location:

Zoning District	R-1 Single Family Residential
Coastal Commission Appeal Jurisdiction Overlay	No
Archaeological Significance Overlay	No
Park Overlay	No
Beach and Riparian Overlay	No
Environmentally Sensitive Habitat Area	No
Very High Fire Hazard Severity Zone	No

Street and Neighborhood Character:



• **Style and materials of the neighboring residences:** The Residential Design Guidelines encourage diversity of architectural styles while maintaining compatibility with the character of the neighborhood. A new building should be different in style from buildings on nearby and abutting properties.



• **Right-of-way characteristics:** During the site assessment, rocks, fencing, no parking signs, and a lamp post were observed as right-of-way encroachments. The submittal of any permit to the City triggers a review of any encroaching structures or objects in the right-of-way in front of the property. A Condition of Approval of any future project will include the requirement to secure an encroachment permit, or remove any encroachments not specified in an existing encroachment permit.

The treatment of the right-of-way should contribute to, and maintain, the forested image of the Village. The Residential Design Guidelines encourage maintaining and enhancing an informal, vegetated, open space character of the right-of-way. Parking areas in the right-of-way shall be informal, unpaved and reinforce the forest image. Planting in the right-of-way should be predominately green foliage plants. Native trees, ground covers, and low shrubs are preferred. Preferred surface materials within the right-of-way include natural soil, shredded bark or wood chips; gravel is prohibited. For more information, please refer to the Right-of-Way Vision Statement.



Existing right-of-way encroachments

Site Conditions & Development Standards:

• **Building Site Area:** The lot is a standard 4,000 square-foot lot (40'x100'). A base floor area of 1,800 square feet is permitted. A minimum of 200 square feet of the base floor area, and 2,200 cubic feet of exterior volume, shall be reserved for required parking whether provided by a garage, carport or parking pad.

Floor Area is defined as "...the total gross square footage included within the surrounding exterior walls of all floors contained within all enclosed buildings on a building site whether finished or unfinished. In above-ground spaces, floor area is measured at the exterior of the enclosing walls. In basement spaces, floor area is measured at the interior of the enclosing walls. Floor area shall include, but shall not be limited to, all floors of all enclosed spaces within all buildings, basements, mezzanines, guesthouses, studios, garages and carports. All attic, basement and storage shed spaces with five or more feet of clearance between the floor or walking surface and the ceiling or roof surface shall be counted as floor area. All required parking shall be counted as floor area, whether supplied by garage, carport or other means."

• **Setback Standards:** The minimum front and rear setbacks are 15 feet. The composite side yard setback is 25% of the lot width with a 3-foot minimum on one side. All new construction must meet all required setbacks.

Table 17.10-A: Setback Standards for R-1 District

Lot Type	Front Setback (on feet)	Rear Setback* (on feet)	Side Setbacks		
			Companion* (Depth Side)	Interior Side	Street Side
Interior Site	15	15	25% of site width	3	5
Corner Site	15	15	25% of site width	3	5
Rebuild/Extend Corner Site	10	N/A	25% of site width	3	5
Residential Frontage Site	15	N/A	25% of site width	3	3 (if applicable)

* The rear setback is three feet for those portions of structures less than 15 feet in height.
 ** See CMC 17.10.030(A)(1) and 17.10.030. Rules of Measurement.

• **Building Height:** The height of buildings shall be measured as the plumb vertical distance from existing or finished grade (whichever is more restrictive) to the highest point on the roof.

Table 17.10-C: Maximum Height Standards

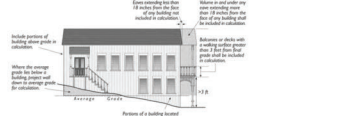
	R-1 District	R-1-BR District	R-1-PO District
Number of Stories Allowed	2	2	1*
Roof Height of First Story (in feet)	16	16	16
Plate Height of First Story (in feet)	12	12	12
Roof Height of Second Story (in feet)	24	16	24*
Plate Height of Second Story (in feet)	18	18	18*

• **Exterior Volume:** The maximum allowable exterior volume is the total allowed base floor area for the site multiplied by the volume factors in Table 17.10-E (refer to table below). It is recognized that existing homes built prior to 2003 may not have been designed to comply with volume standards. For these homes, the Code allows the exterior volume to be calculated for additions only.

Table 17.10-E: Exterior Volume Factors for R-1 District

	Maximum Exterior Volume (Cubic Feet) Per Square Foot of Floor Area	
	One-Story Elements of the Building	Two-Story Elements of the Building
Located under a pitched or sloping roof greater than 3/12 pitch	12	11
Located under a flat roofed area of the building 3/12 or less pitch	11	10

Figure 17-10: Determining Exterior Volume



• **Parking:** One parking space per primary dwelling is required on sites 8,000 square feet or less. Required parking shall be provided by a garage, carport or parking pad measuring at least 10 feet by 20 feet having practical ingress and egress for a vehicle. All required parking shall be provided on-site and shall be counted as floor area and exterior volume. On each site, a minimum of 200 square feet of base floor area and 2,200 cubic feet of exterior volume shall be reserved for each required parking space whether provided by means of a garage, carport or parking pad.

• **Garage:** To encourage variety and diversity in neighborhood design, detached garages and carports may be authorized by the Planning Commission within the front setback and/or side yard setback facing a street. Garages permitted to be located within a setback are limited to a single-car, detached structure not exceeding 12 feet in width, 250 square feet in floor area and 15 feet in height. Detached garages may encroach into an interior side yard setback, rear yard setbacks, or both, if limited to 15 feet in height, if the setback encroachment would not impact significant or moderately significant trees, and the garage location/design complies with design guidelines.

• **Accessory Structures:** Up to two accessory structures may be constructed on the property. Accessory structures cannot exceed 400 square feet in floor area (unless an exception applies), and will count towards the total base floor area allowed for the site. Sheds that exceed 5 feet in height also count as floor area.

Studio: A studio is defined as, "An attached or detached residential dwelling unit without kitchen or cooking facilities, designed for accessory uses by occupants of the dwelling to which it is accessory, and not designed or intended for living, sleeping and/or cooking. Studios are permitted to have a bathroom with a sink and toilet. Studios that are attached to the primary dwelling are not required to have inter-accessibility with the primary dwelling."

One studio is permitted so long as it does not contain any living, sleeping, bathing or food preparation facilities of any kind. Studios may have a bathroom with a sink and toilet. Studios that are attached to the primary dwelling are not required to have inter-accessibility with the primary dwelling. No additional parking is required for a studio. Studios shall be a maximum size of 400 square feet and shall not exceed the allowed floor area ratio for the lot.

Guesthouses: Guesthouses are not permitted on sites less than 6,000 square feet, per CMC 17.08.050.C.

Accessory Dwelling Units (ADUs): One accessory dwelling unit and one junior accessory dwelling unit are permitted pursuant to CA State Law. For more information, please refer to the Accessory Dwelling Unit Handbook.

• **Topography and drainage features:** The Residential Design Guidelines encourage designs that follow the natural contours of the site and that avoid abrupt changes in grade on the site and between properties.

Following design approval, plans that are submitted for a building permit must include a storm water drainage plan. The drainage plan shall include applicable Best Management Practices and all drainage shall be retained on-site through the use of semi-permeable paving materials, French drains, seepage pits, etc.

• **Does the site contain "Steep Slope Areas" (greater than 30% slope):** Not applicable.

• **Basement Bonus:** Each site is allowed 100 square feet of floor area located in a basement that is exempt from the floor area limits. Additionally, as an incentive to reduce the above-ground floor area and exterior volume, bonus floor area is allowed if located in a basement. For each square foot of base floor area not constructed above-ground, one additional square foot of floor area may be constructed in a basement.

A basement is defined as, "An underground room or excavated space between five and nine feet of interior height, finished or unfinished where the finished floor level directly above the space is not more than one foot above both the existing or final grade. Any subgrade space where the finished floor elevation directly above the space is more than one foot above existing or finished grade shall be considered above-ground space. All areas where the finished floor elevation directly above a subgrade space is more than five feet above either existing or final grade shall also be considered a story. (Note: In calculating the floor area of a basement it may be necessary to count part of the area in a basement level as basement and part of the area in a floor level as above-ground space.) Basement spaces may be used for any residential occupancy allowed by the Uniform Building Code such as bedrooms, family rooms, hobby rooms, offices, mechanical equipment, storage and, if equipped with window wells, bedrooms."

• **Site Coverage:** Impermeable site coverage is limited to 22% of the base floor area for the site or 396 square feet for a base floor area of 1,800 square feet. Impermeable materials include, asphalt, concrete, mortared brick and stone, decomposed granite, unpaved decking and balconies at any level, garden walls, solariums, bridges, sheds not counted as floor area, ponds, hot tubs, and swimming pools. Site coverage does not include areas of the residence or garage.

If at least 50 percent of all site coverage on the property is made of permeable or semi-permeable materials, an additional amount of site coverage (up to four percent of the site area, or 566 square feet) may be allowed. Permeable and semi-permeable materials include gravel, spaced decking and exterior stairs, sand-set bricks or pavers, garden walkways of small paving stones, and arbors.



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PROJECT:
 BEDROOM/BATH/KITCHEN
 ADDITION EXISTING
 RESIDENCE & NEW GARAGE
 SANTA FE 4 NW OF 6TH
 CARMEL CA 93921
 APN 010-092-005

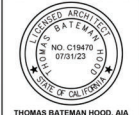
OWNER:
 BRECK & CAROLE LUTZ
 SANTA FE 4 NW OF 6TH
 CARMEL CA 93921
 TEL 925 324 9473

- REVISIONS:**
- ▲
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OWNERSHIP AND USE OF ARCHITECT'S DOCUMENTS

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ARCHITECTURAL STAMP:



THOMAS BATEMAN HOOD, AIA
 CARMEL, CA

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PRINT DATE: 5-19-23
DRAWING DATE: 5-19-23

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SCALE:
SHEET:

PSA 11

Sites not in compliance with site coverage limits shall not be authorized to increase site coverage. Sites with excess coverage may add floor area only when:

- a. The site complies with the R-1 district tree density provisions established in CMC 17.48.080(A) and all existing and new trees have sufficient space to protect the root zones and provide for new growth; and
- b. Excess site coverage will be reduced at a rate equal to two times the amount of floor area added to the site, or to an amount that complies with the site coverage limits, whichever is less.

- **Fences:** Fences located within the front setback are limited to 4 feet in height. This limit cannot be increased through a Design Study. Side and/or rear yard fences are permitted at a height of 6 feet and may be taller with approval by the Planning Commission. The existing and proposed heights should be clearly noted on the project plans.

Table 17.19-G: Maximum Front Fence and Wall Heights				
Setback Location				
Design Element	Front Setback	Side Setback	Side Setback Facing Street	Rear Setback
Fence	4 feet*	6 feet	4 feet*	6 feet
Garden Wall	3 feet*	6 feet	3 feet*	6 feet
Retaining Wall	3 feet**	6 feet	3 feet**	6 feet
Patios and Decks	6 feet	N/A	6 feet	N/A
Adorn/Trellis	7 feet	7 feet	7 feet	7 feet

* These limits shall not be altered through Design Review by the Planning Commission.
 ** Up to six feet may be allowed for retaining walls that are not visible from the street. See CMC 17.18.020(E)(4).

Potential Neighbor Impacts:

- **Privacy & View Concerns:** The Residential Design Guidelines encourage preserving reasonable privacy for adjacent properties and locating windows such that they avoid overlooking active indoor and outdoor use areas of adjacent properties. Additionally, the Guidelines recommend screening patios and terraces.

There may be potential privacy impacts to neighboring residences to the north and west. The neighboring residence to the north has dormer windows that look onto the subject property, and the neighboring residence to the west has a second-story east-facing window that looks onto the subject property. Staff did not observe any potential privacy impacts to the neighboring residence to the south.



View north

View northwest



View southwest from south property line

View northwest from rear property line

- **View Concerns:** The Residential Design Guidelines encourage maintaining view opportunities to natural features that lie outside the property. The Carmel Municipal Code states, "Designs should respect views enjoyed by neighboring parcels. This objective is intended to balance the private rights to views from all parcels that will be affected by a proposed building or addition. No single parcel should enjoy a greater right than other parcels except the natural advantages of each site's topography. Buildings which substantially eliminate an existing significant view enjoyed on another parcel should be avoided."
- **Neighborhood Input:** Staff strongly recommends reaching out to all adjacent property owners early in the review process to explain the proposed project and address any concerns. Most project delays occur when applicants have not reached out to neighbors prior to public hearings.

Forest/Trees: The Significant Tree Evaluation Worksheet and annotated tree survey is attached to this report. The Residential Design Guidelines state that significant trees should be preserved and that new construction should minimize impacts on established trees. The root systems of

all trees to be preserved shall be protected and the forested image of a site shall be maintained.

Historic Status: The property was reviewed for historical significance in 2002, at which time a DPR 523A Form was completed. The original building was constructed in 1928 by Hugh Comstock; additions and alterations have been carried out over the years but the cottage retains overall integrity. The property is significant under California Register Criterion 3 (Architecture) and was listed on the Carmel Inventory of Historic Resources on May 25, 2005. Any addition or building modification would need to meet the Secretary of the Interior's Standards for the treatment of historic properties.

Story Pole Policy: Story-poles and netting are required in Carmel-By-The-Sea. The City's Story-Pole Policy was adopted by the City Council in 2017. All story-poles, netting and ribbons must be installed, and certified, in accordance with the Story-Pole Policy a minimum of 10 calendar days prior to a public hearing. Failure to comply with the Policy could result in the project being continued to a later hearing date.

Additional Resources: For more information on the Design Review Process, Residential Design Guidelines, Carmel Municipal Code, Green Building Ordinance and Title 7A of the Building Code, please visit our website at:

- [Residential Design Guidelines – Concept](#)
- [Residential Design Guidelines – Final](#)
- [Right-of-Way Vision Statement](#)

<http://ci.carmel.ca.us/carmel/index.cfm/government/staff-departments/community-planning-and-building/>

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 TEL 925-324 6473

REVISIONS:

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ARCHITECTURAL STAMP:



THOMAS BATEMAN HOOD, AIA
 CARMEL, CA
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 DRAWING DATE: 5-19-23

PAGE TITLE:
 PSA
SCALE:
 SHEET:
 PSA2

Map Legend:

Basis of Bearings: The bearing of N00° 00' 00"E as shown on 1 C&T 52 and as found monumented is taken as the basis of bearings for this survey.

Vertical Datum: Assumed.

Site Benchmark: Control Point 55 as shown herein.

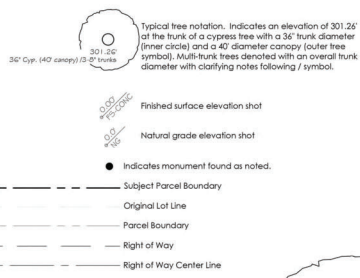
Contour Interval: Contours as shown herein are interpolated using computer digital terrain modeling software and spot elevations. Ground may be more irregular than contours indicate.

Note: The abbreviation and symbol lists below are comprehensive and not all abbreviations or symbols will appear on the map.

Record Map References:

R1: "Map of Carmel City" filed in Volume 1 of Cities and Towns" at Page 52, in the Monterey County Recorder's Office, State of California.

R2: Corner Record No. 2227 filed in the Monterey County Surveyor's Office, State of California.



Surveyor's Notes:

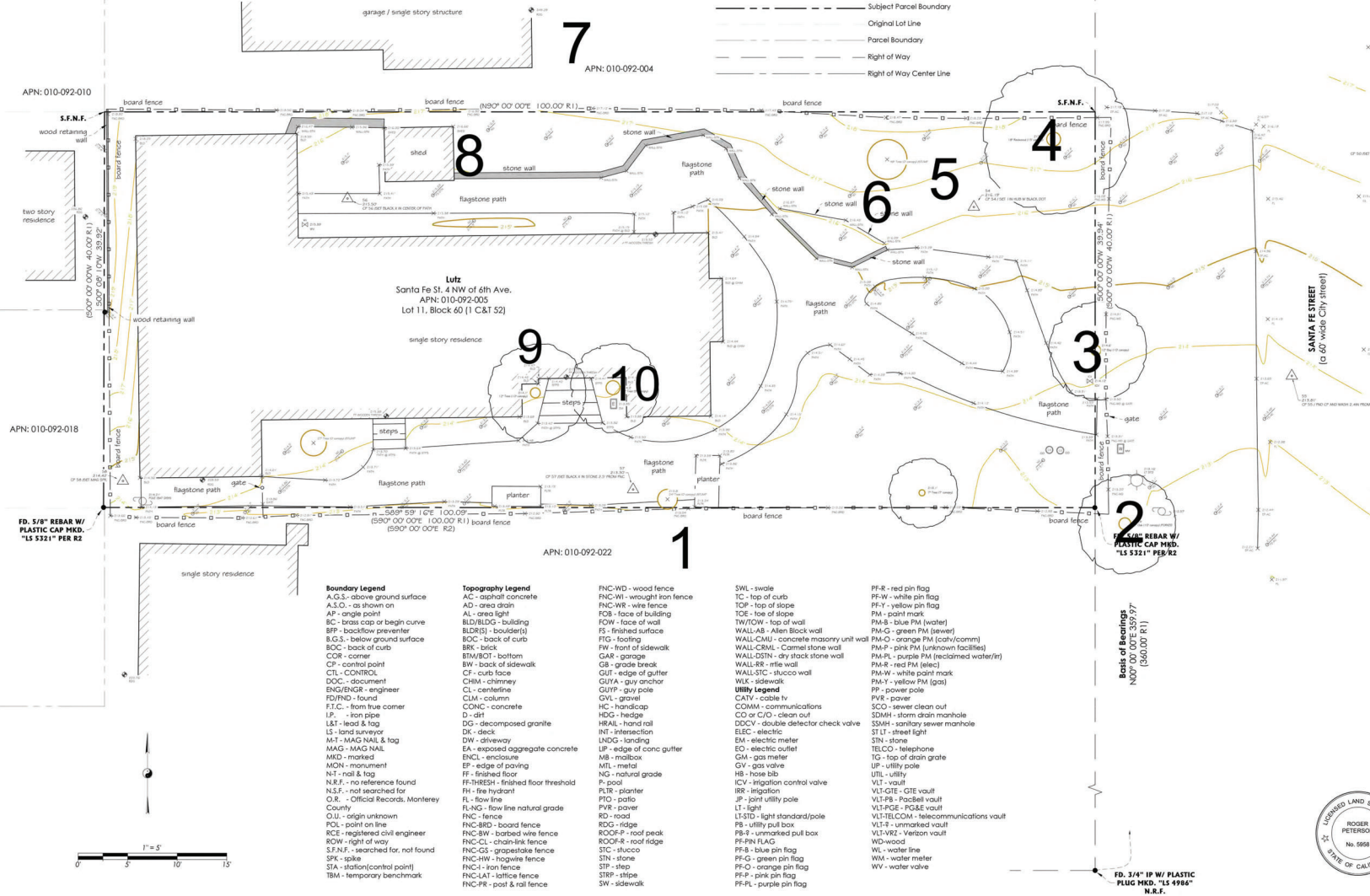
This map portrays the site at the time of the survey and does not show soils or geologic information, underground conditions, easements, zoning setbacks, regulatory information or any other items not specifically identified by the party requesting the survey. There may be easements or other rights, recorded or unrecorded, affecting the subject property which are not shown herein.

Visible evidence of underground utilities such as utility meters, manhole lids, clean outs, valve covers, pull boxes and similar features are shown herein. Underground utility pipes, conduits, transmission lines sewer laterals, etc. were not located. Information regarding underground utility line locations should be obtained from the appropriate utility companies or public agencies.

Elevations are based on an assumed datum as noted. Ground may be more irregular than contours indicate.

Distances are expressed in feet and decimals thereof. The cross symbol (x) marks the horizontal position of the spot elevation shown. Tree symbols indicating free trunk and free canopy are drawn to scale based on approximate trunk and canopy diameters.

Sufficient boundary lines were made to graphically show existing features however a complete boundary survey was not performed.



Boundary Legend

A.G.S. - above ground surface
A.S.O. - as shown on
AP - angle point
BC - brass cap or bragg curve
BFP - backflow preventer
B.O.S. - below ground surface
BOC - back of curb
COR - corner
CP - control point
CTL - CONTROL
DOC - document
ENGR/ENGR - engineer
FD/FND - found
F.T.C. - from true corner
I.P. - iron pipe
L&T - lead & tag
L3 - land surveyor
M&T - MAG NAIL & tag
MAG - MAG NAIL
MKD - marked
MON - monument
N-T - nail & tag
N.R.F. - no reference found
N.S.F. - not searched for
O.R. - Official Records, Monterey County
O.U. - origin unknown
POL - point on line
RCE - registered civil engineer
ROW - right of way
S.F.N.F. - searched for, not found
SPK - spike
STA - station/control point
TBM - temporary benchmark

Topography Legend

AC - asphalt concrete
AD - area drain
AL - area light
BLD/BLDG - building
BLDRS - boulder(s)
BOC - back of curb
BR - brick
BTM/BOT - bottom
CF - curb face
CHIM - chimney
CL - centerline
CLM - column
CONC - concrete
D - drift
DG - decomposed granite
DK - deck
DW - driveway
EA - exposed aggregate concrete
ENCL - enclosure
EP - edge of paving
FF - finished floor
FF/THRESH - finished floor threshold
FH - fire hydrant
FL - flow line
FLNG - flow line natural grade
FNC - fence
FNC-BD - board fence
FNC-BW - barbed wire fence
FNC-CL - chain-link fence
FNC-GS - grass/straw fence
FNC-HW - hogwire fence
FNC-I - iron fence
FNC-LAT - lattice fence
FNC-PR - post & rail fence

FNC-WD - wood fence
FNC-WI - wrought iron fence
FNC-WR - wire fence
FOB - face of building
FOW - face of wall
FS - finished surface
FTG - footing
FW - front of sidewalk
GAR - garage
GB - grade break
GUT - edge of gutter
GUYA - guy anchor
GUYP - guy pipe
CLM - column
GVL - gravel
HC - handicap
HDC - hedge
HRAIL - hand rail
INT - intersection
LNDC - landing
LP - edge of conc gutter
MB - mailbox
ML - metal
NG - natural grade
P - pool
PLR - planter
PTG - patio
PVR - paver
RD - road
RDO - ridge
ROOF-P - roof peak
ROOF-R - roof ridge
RSG - ramp
STN - stone
STP - step
STR - stripe
SW - sidewalk

SWL - swale
TC - top of curb
TOF - top of slope
TOE - toe of slope
TW/TOW - top of wall
WALL-AB - Allen Block wall
WALL-CMU - concrete masonry unit wall
WALL-CRNL - Carmel stone wall
WALL-DSTN - dry stack stone wall
WALL-RR - rife wall
WALL-STC - stucco wall
WLK - sidewalk
GUYP - guy pipe
CATV - cable tv
COMMA - communications
CO or C/O - clean out
DDCV - double detector check valve
ELEC - electric
EM - electric meter
EPO - electric outlet
GM - gas meter
GV - gas valve
HB - hose bib
ICV - irrigation control valve
IRR - irrigation
JP - joint utility pole
FL - light
LTSTD - light standard/pole
PB - utility pull box
ROOF-P - roof peak
ROOF-R - roof ridge
RSG - ramp
STN - stone
STP - step
STR - stripe
SW - sidewalk

PF-R - red pin flag
PF-W - white pin flag
PF-Y - yellow pin flag
PM - paint mark
PM-B - blue PM (water)
PM-G - green PM (sewer)
PM-O - orange PM (catch/camm)
PM-P - pink PM (unknown facilities)
PM-PL - purple PM (reclaimed water/tr)
PM-R - red PM (elec)
PM-W - white paint mark
PM-Y - yellow PM (gas)
PVP - power pole
PVR - paver
SCO - sewer clean out
SDM - storm drain manhole
SSMH - sanitary sewer manhole
STL - street light
STN - stone
TELECO - telephone
TG - top of drain grate
ULP - utility pole
UL - utility
VLT - vault
VLT-GTE - GTE vault
VLT-PR - PacBell vault
VLT-POE - PG&E vault
VLT-TELCOM - telecommunications vault
VLT-S - stone
VLT-VRZ - Verizon vault
WD - wood
STC - top of drain grate
WM - water meter
WW - water valve

catch basin-drain
control point
electric meter or pull box
fire hydrant
gas meter or pull box
gas valve
guy anchor
irrigation pull box
irrigation control valve
light standard
manhole
point on line
sewer clean out
sign(pole)
storm drain manhole
sewer manhole
telephone manhole
telephone pull box
traffic signal box
cable television pull box
unmarked pull box
utility pole
water meter
water valve
well

DRAWING REVISIONS:
July 2022 - Original Survey

PSA3

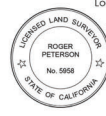
Topographic Survey

Santa Fe St. 4 NW of 6th Ave., APN: 010-092-005
Located in Carmel-by-the-Sea, Monterey County, State of California

Prepared For: J Breck Lutz and Carol A Lutz
Requested by: Thomas Hood

July 2022

Rasmussen Land Surveying, Inc.
2150 Garden Road, Suite A-3, Monterey, California 93942
P: 831.375.7240 F: 831.375.2545



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PROJECT:
BEDROOM/BATH/KITCHEN
ADDITION TO EXISTING
RESIDENCE & NEW GARAGE
SANTA FE 4 NW of 6TH
CARMEL, CA 95021

APN 010-092-005-000
OWNER:
BRECK & CAROLE LUTZ
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ARCHITECTURAL STAMP:



THOMAS BATEMAN HOOD, AIA
CARMEL, CA

DRAWN BY: BTC

PRINT DATE: 11-30-23

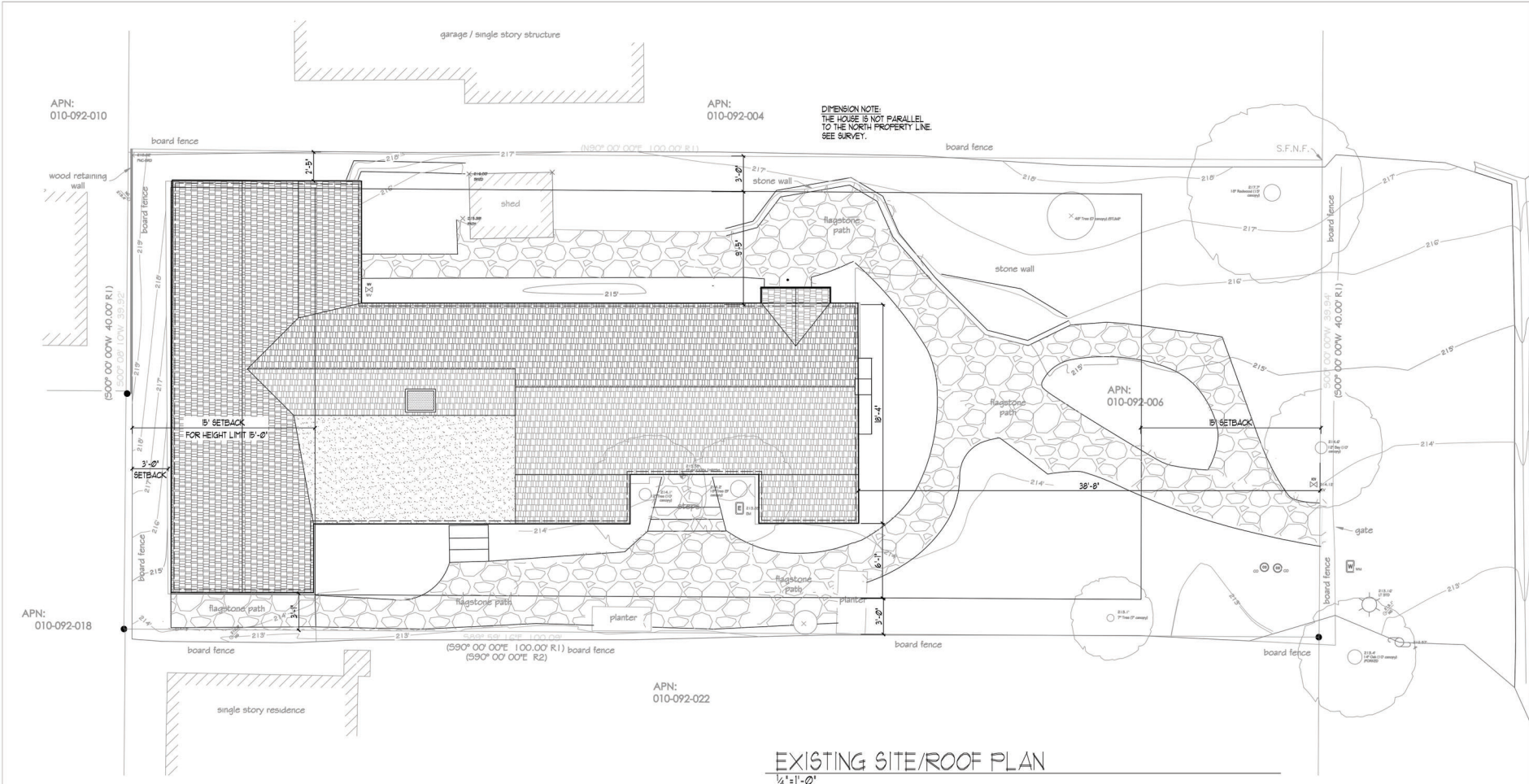
DRAWING DATE: 11-30-23

PAGE TITLE:
EXISTING SITE/
ROOF PLAN

SCALE: 1/4" = 1'-0"

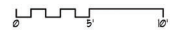
SHEET:

A1.1



EXISTING SITE/ROOF PLAN

1/4" = 1'-0"



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CARMEL, CA

DRAWN BY: BTC

PRINT DATE: 11-30-23

DRAWING DATE: 11-30-23

PAGE TITLE:
PROPOSED SITE/
ROOF PLAN
COMPOSITE
SETBACK PLAN

SCALE: 1/4" = 1'-0"
SHEET:

A1.2

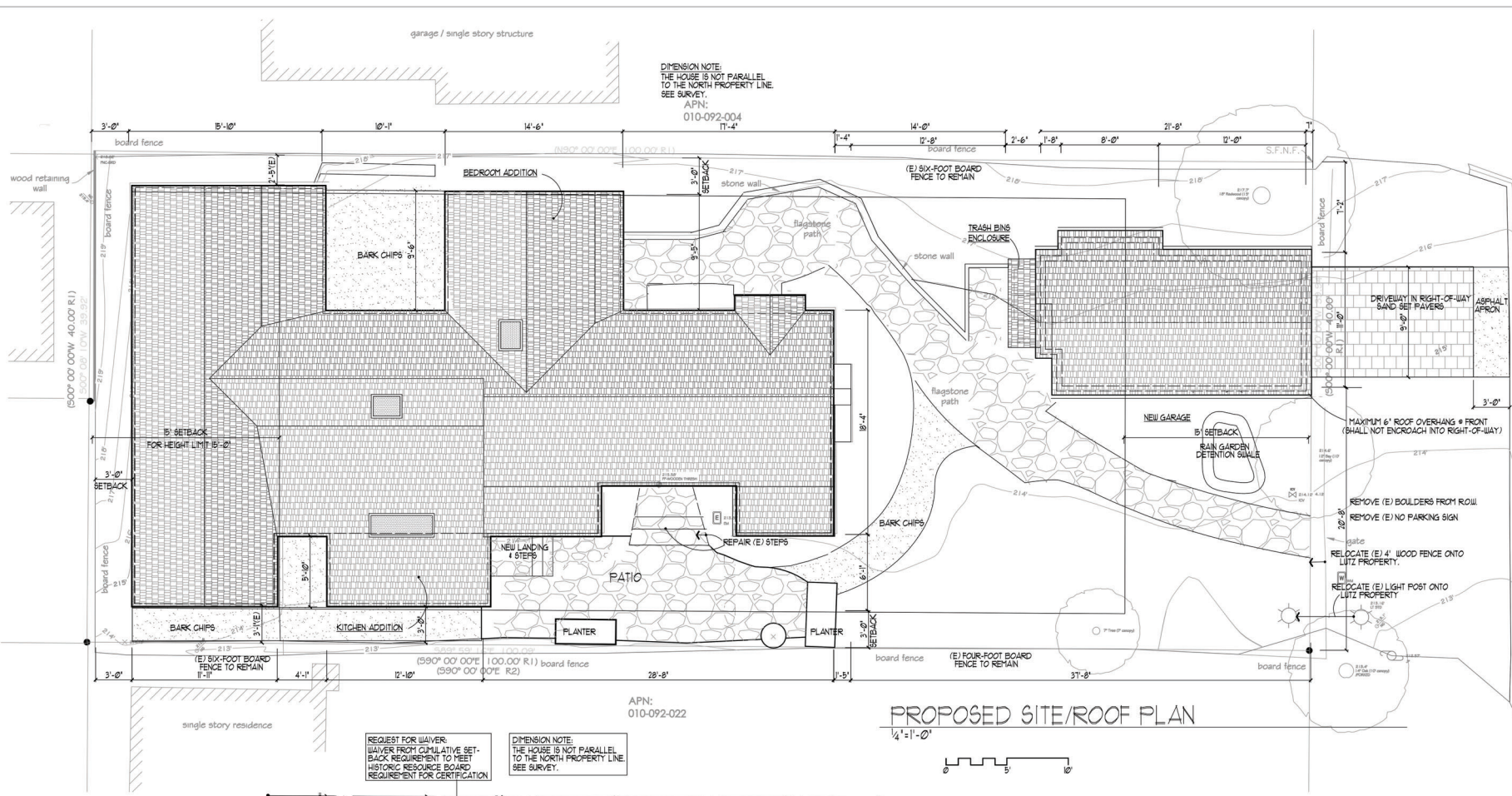
DIMENSION NOTE:
THE HOUSE IS NOT PARALLEL
TO THE NORTH PROPERTY LINE.
SEE SURVEY.
APN:
010-092-004
IT-4"

APN:
010-092-022

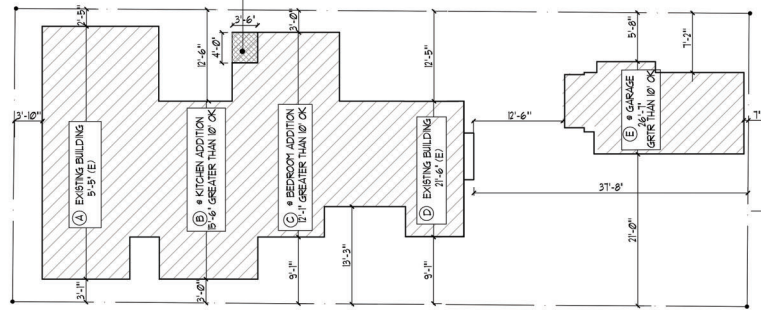
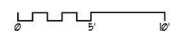
REQUEST FOR WAIVER:
WAIVER FROM CUMULATIVE SET-
BACK REQUIREMENT TO MEET
HISTORIC RESOURCE BOARD
REQUIREMENT FOR CERTIFICATION

DIMENSION NOTE:
THE HOUSE IS NOT PARALLEL
TO THE NORTH PROPERTY LINE.
SEE SURVEY.

NOTE:
NO LANDSCAPE CHANGES OTHER THAN REMOVAL OF TREES #3 & #10.



PROPOSED SITE/ROOF PLAN
1/4" = 1'-0"



KEY PLAN - COMPOSITE SETBACKS
1/8" = 1'-0"



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PROJECT:
BEDROOM/KITCHEN
ADDITION TO EXISTING
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SANTA FE & HWY OF 6TH
CARMEL, CA 93821

APN 010-092-005-000

OWNER:
BRICK & CAROLE LUTZ
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CARMEL, CA 93821
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ARCHITECTURAL STAMP:



THOMAS BATEMAN HOOD, AIA
CARMEL, CA

DRAWN BY: BTC

PRINT DATE: 11-30-23

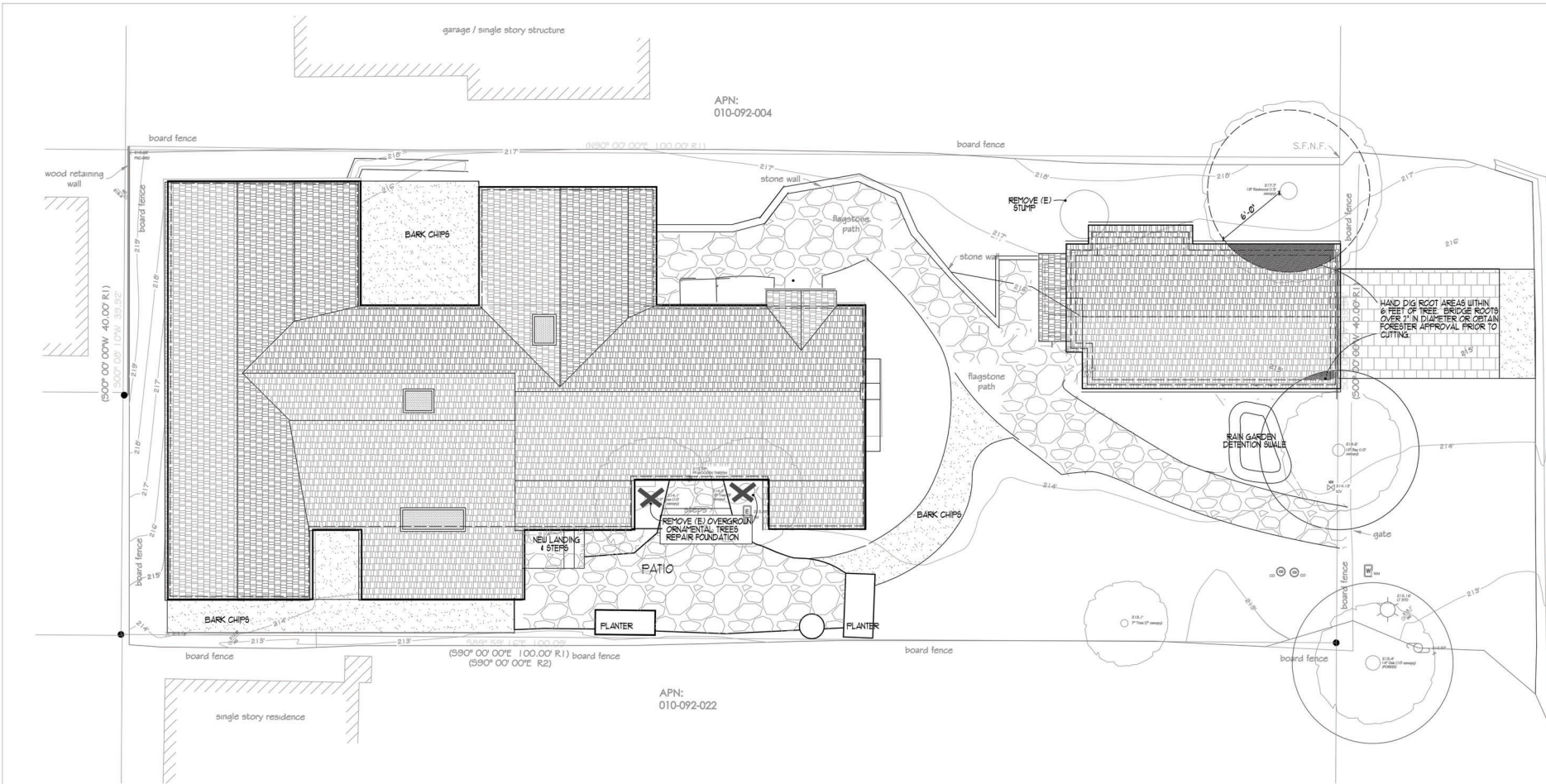
DRAWING DATE: 11-30-23

PAGE TITLE:
TREE ROOT
PROTECTION PLAN

SCALE: 1/4" = 1'-0"

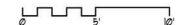
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A1.3

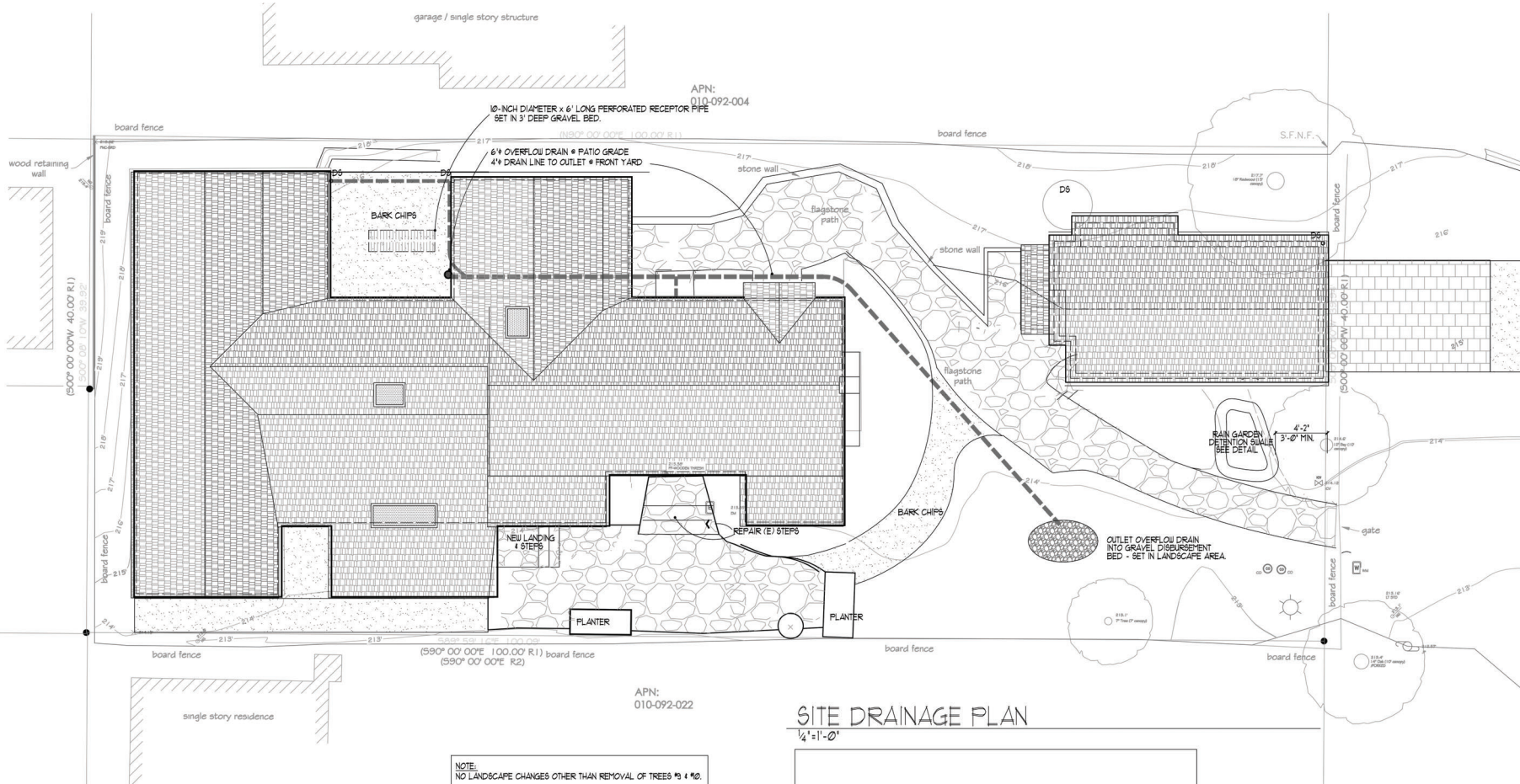


TREE ROOT ZONE PROTECTION PLAN

1/4" = 1'-0"

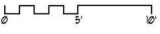
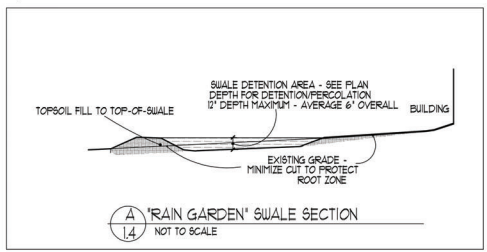


NOTE:
NO LANDSCAPE CHANGES OTHER THAN REMOVAL OF TREES #3 & #10.



NOTE:
NO LANDSCAPE CHANGES OTHER THAN REMOVAL OF TREES #3 & #6.

SITE DRAINAGE PLAN



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www.thomasbatemanhood.com

PROJECT:
BEDROOM/BATHKITCHEN
ADDITION TO EXISTING
RESIDENCE & NEW GARAGE
SANTA FE 4 NW of 8TH
CARMEL CA 93821

APN 010-092-005-000

OWNER:
BRECK & CAROLE LUTZ
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ARCHITECTURAL STAMP:



THOMAS BATEMAN HOOD, AIA
CARMEL, CA

DRAWN BY: BTC

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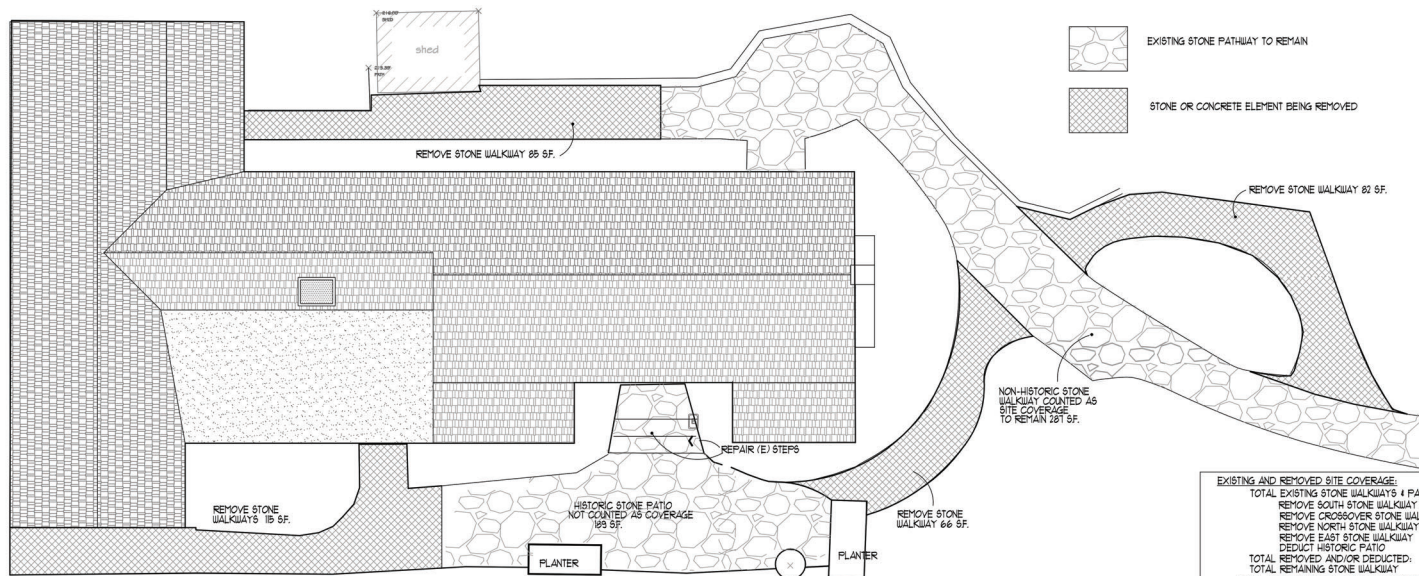
DRAWING DATE: 11-30-23

PAGE TITLE:
SITE DRAINAGE PLAN

SCALE: 1/4" = 1'-0"

SHEET:

A1.4

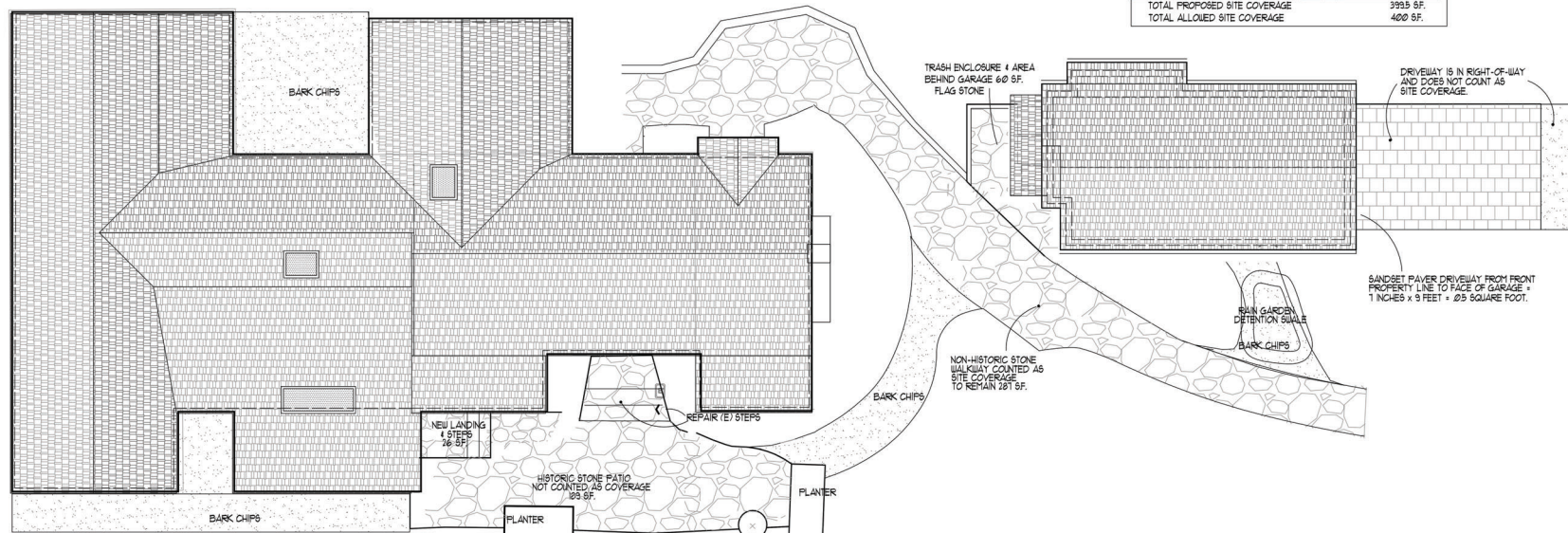


EXISTING COVERAGE REMOVAL PLAN

1/4" = 1'-0"

EXISTING AND REMOVED SITE COVERAGE:

TOTAL EXISTING STONE WALKWAYS + PATIO:	842 SF.	
REMOVE SOUTH STONE WALKWAY	15 SF.	
REMOVE CROSSOVER STONE WALKWAY	66 SF.	
REMOVE NORTH STONE WALKWAY	85 SF.	
REMOVE EAST STONE WALKWAY	100 SF.	
DEDUCT HISTORIC PATIO	193 SF.	
TOTAL REMOVED AND/OR DEDUCTED:	559 SF.	
TOTAL REMAINING STONE WALKWAY	281 SF.	
NOTE: HISTORIC SOUTH PATIO NOT COUNTED AS SITE COVERAGE		
SITE COVERAGE	EXISTING	PROPOSED
STONE WALKWAYS	842 SF.	281 SF.
TRASH BING ENCLOSURE + GARAGE ENTRY (STONE)		60 SF.
REPLACEMENT STEPS @ LIVING ROOM DOOR		16 SF.
NEW LANDING + STEPS @ KITCHEN DOOR		16 SF.
DRIVEWAY BTWN GARAGE AND PROPERTY LINE		625 SF.
TOTAL PROPOSED SITE COVERAGE	393.5 SF.	
TOTAL ALLOWED SITE COVERAGE	400 SF.	



PROPOSED COVERAGE PLAN

1/4" = 1'-0"

THOMAS BATEMAN ARCHITECTURE

HOOD

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BEDROOM/BATH/KITCHEN
ADDITION TO EXISTING
RESIDENCE + NEW GARAGE
SANTA FE + NW of 6TH
CARMEL, CA 93821

APN 018-092-005-000

OWNER:
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ARCHITECTURAL STAMP:

THOMAS BATEMAN HOOD, AIA
CARMEL, CA

DRAWN BY: BTG

PRINT DATE: 11-30-23

DRAWING DATE: 11-30-23

PAGE TITLE:
EXISTING & PROPOSED
SITE COVERAGE PLANS

SCALE: 1/4" = 1'-0"

SHEET:

A1.5

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CARMEL, CA 93821

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CARMEL, CA

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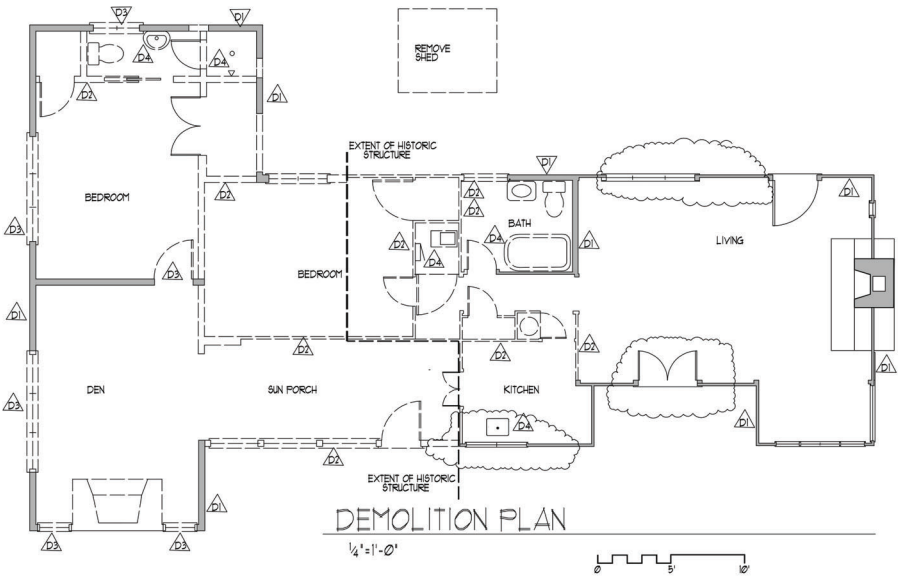
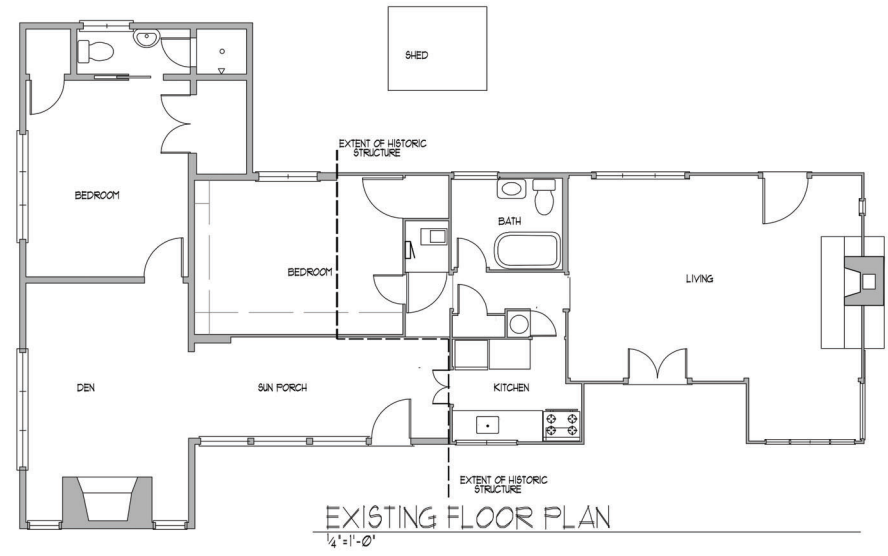
DRAWING DATE: 11-30-23

PAGE TITLE:
EXISTING FLOOR PLAN
DEMOLITION PLAN

SCALE: 1/4" = 1'-0"

SHEET:

A2.1

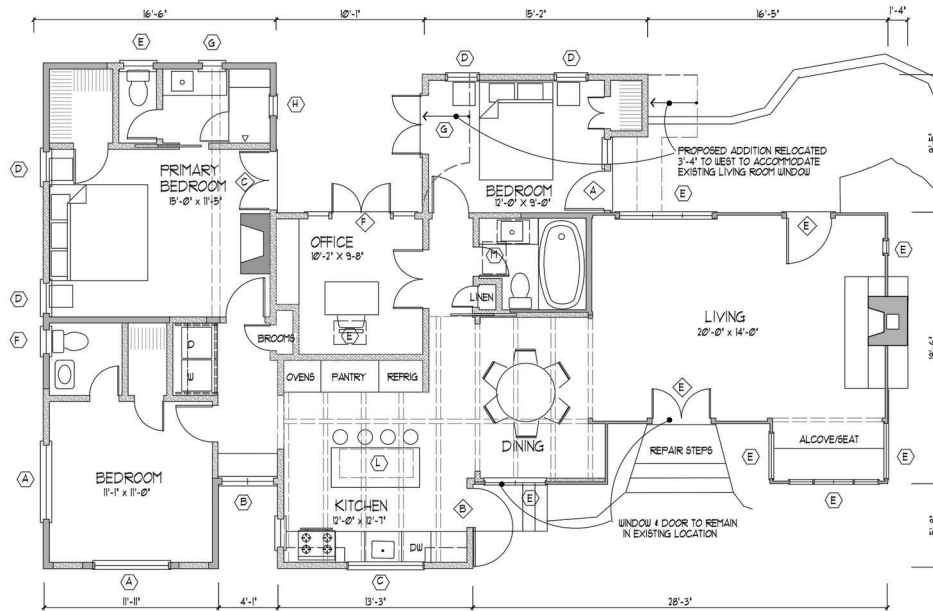


DEMOLITION FLAG NOTES-

- SEE DEMOLITION NOTES THIS SHEET. SHORE EXISTING ELEMENTS DURING MODIFICATIONS.
- ▲ EXISTING WALL TO REMAIN - PROTECT EXISTING ELEMENTS DURING CONSTRUCTION.
- ▲ REMOVE EXISTING WALL, OR OTHER ELEMENTS INCLUDED IN WALL. REMOVAL INCLUDES DOORS, WINDOWS.
- ▲ REMOVE EXISTING DOOR/WINDOW. SEE CONSTRUCTION PLAN & ELEVATIONS.
- ▲ REMOVE PLUMBING AND ELECTRICAL FIXTURES AND FINISHES.

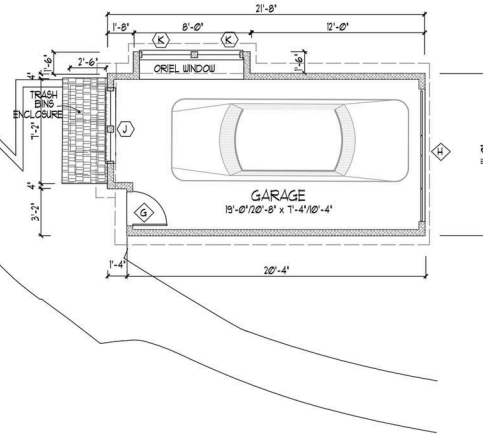
GENERAL NOTES - DEMOLITION WORK

- REMOVAL OF IMPROVEMENTS.
- REMOVE CABINETS AND MILLWORK WALL AND FLOOR FINISHES AS NOTED.
- REMOVE ANY PLUMBING ELEMENTS NOT TO BE PART OF THE NEW WORK.
- REMOVE ANY ELECTRICAL ELEMENTS NOT TO BE A PART OF THE NEW WORK. REMOVE EXTRA OR 'WILD' WIRING, CLOSE OPEN J-BOXES.
- REMOVE PARTITIONS OR PORTIONS THEREOF AS INDICATED BY DASHED LINE ON PLAN.
- PRESERVE AND PROTECT ELEMENTS NOT TO BE REMOVED, AND ITEMS SET ASIDE FOR RELOCATION AND REUSE.
- PROVIDE SHORING AND BRACING AS REQUIRED TO PROTECT EXISTING ELEMENTS AND TO SUPPORT ROOF AND WALL STRUCTURE DURING REMOVAL.
- SHORING AND BRACING DESIGN IS NOT PART OF THESE DOCUMENTS.



PROPOSED FLOOR PLAN

1/4" = 1'-0"



LEGEND TO PLAN

- ◆ NEW WOOD DOOR & FRAME. SEE DOOR SCHEDULE AND DETAILS.
- NEW CLAD WOOD WINDOW. INSULATED LOW E GLASS, TEMPERED WHERE INDICATED ON DRAWINGS AND AS REQUIRED BY CODE. TRUE DIVIDED LIGHTS. SEE WINDOW SCHEDULE AND DETAILS.
- △ EXISTING WALL TO REMAIN. PROJECT ELEMENTS DURING CONSTRUCTION.
- ▨ NEW WALL.
- △ INFILL OPENING FOLLOWING REMOVAL OF WINDOW OR DOOR. MATCH ADJACENT (E) WALL MATERIALS. SEE ELEVATIONS.

REVISIONS:

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△	REVISION
△	REVISION
△	REVISION
△	REVISION

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ARCHITECTURAL STAMP



THOMAS BATEMAN HOOD, AIA
CARMEL, CA

DRAWN BY: **BT**

PRINT DATE: **11-30-21**

DRAWING DATE: **11-30-21**

PAGE TITLE:
**PROPOSED FLOOR
& GARAGE PLAN**

SCALE: 1/4" = 1'-0"

SHEET:

A2.2

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APN 010-092-005-000

OWNER:
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ARCHITECTURAL STAMP:



THOMAS BATEMAN HOOD, AIA
CARMEL, CA

DRAWN BY: BTC

PRINT DATE: 11-30-23

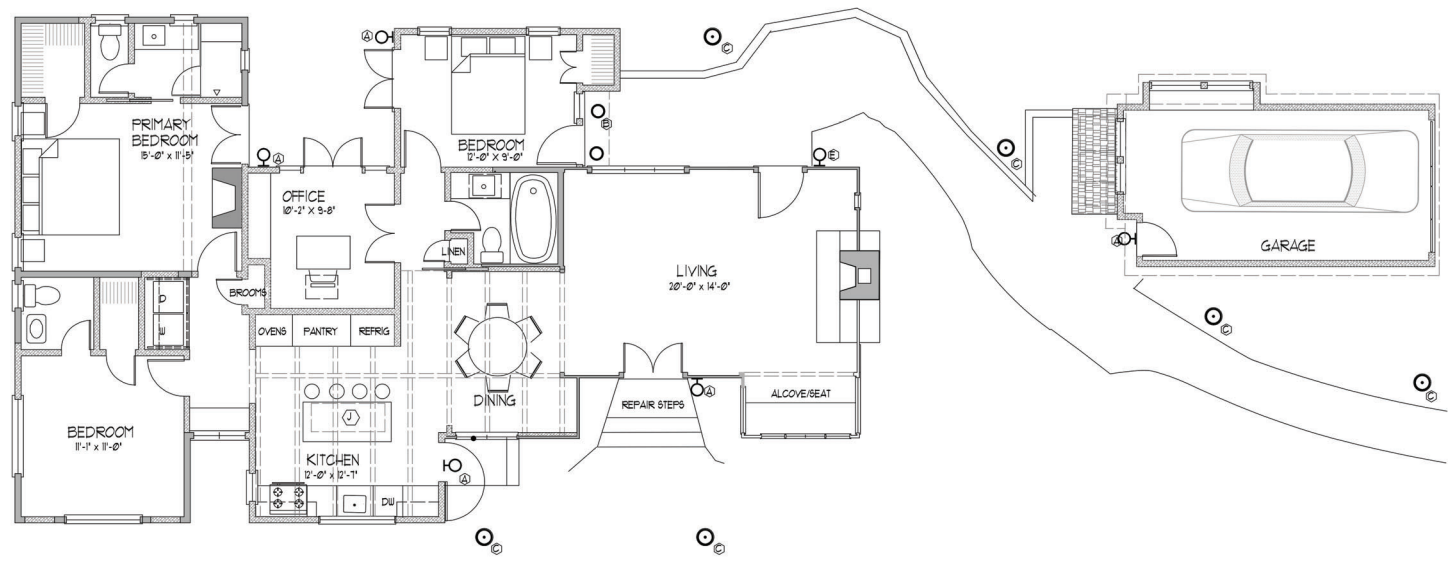
DRAWING DATE: 11-30-23

PAGE TITLE:
EXTERIOR LIGHTING PLAN

SCALE: 1/4" = 1'-0"

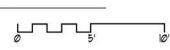
SHEET:

A2.3



EXTERIOR LIGHTING PLAN

1/4" = 1'-0"



MECHANICAL/ELECTRICAL SYMBOLS

○	HIGH-EFFICACY RECESSED DOWNLIGHT
○	SURFACE MOUNTED CEILING LIGHT
○	WALL MOUNTED LIGHT
○	"MUSHROOM" FEDESTAL LANDSCAPE LIGHT
⊕	SMOKE DETECTOR - MOUNT ON CEILING OR @ TOP OF WALL - 120V AC POWERED W/ BATTERY BACKUP.
⊕	CARBON MONOXIDE ALARM. MAY BE A COMBINATION UNIT WITH SMOKE DETECTOR.
⊕	WALL SWITCH
⊕	THREE WAY WALL SWITCH
⊕	1/0 V DUPLEX OUTLET
⊕	1/0 V DUPLEX WALL OUTLET
⊕	GROUND FAULT CIRCUIT INTERRUPTER
⊕	220 V. OUTLET
⊕	EXHAUST FAN
⊕	THERMOSTAT
⊕	ELECTRIC METER & MAIN BREAKER
⊕	ELECTRICAL PANEL
⊕	GAS METER
⊕	WATERPROOF/WEATHERPROOF

EXTERIOR LIGHT SCHEDULE

MARK	TYPE	MANUFACTURER/MODEL NO.
Ⓐ	WALL SCONCE	WALL SCONCE SHIELDED MODERN FORMS® RAIN, MODEL NO. US-10242 BRONZE W/ CLEAR SEEDY GLASS NO. US-10242 LAMP: T9W/31 LUMEN LED
Ⓑ	RECESSED DOWNLIGHT	
Ⓒ	LANDSCAPE POST LAMP	SPJLIGHTING.COM FOREVER BRIGHT™ CONTEMPORARY PATH LIGHT MODEL # SPJ-80700 PVD SOLID BRASS SATIN 9-18V, 24 US LUMENS LED 8' TALL, 5" WIDE POST MT.
Ⓔ	EXISTING LIGHT	



Model:	SPJ20-02
Shown:	PVD Black
Material:	Solid Brass or Copper
Finish:	Specify
Electrical:	8-15V
Engine:	FB-3W Cone 1A16
Lumens:	200
Color Temp:	2700K
Mounting:	1/2" NPT, Dual Fin Spike Incl.
LED:	Nichia Forever Bright

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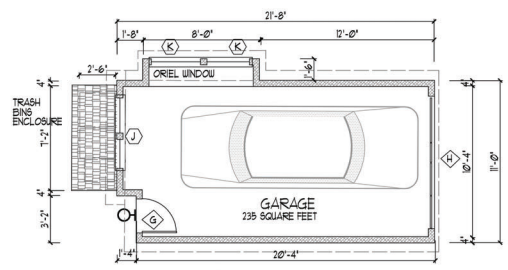
PAGE TITLE:

GARAGE PLAN & ELEVATIONS

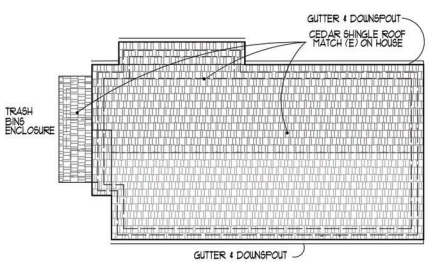
SCALE: 1/4" = 1'-0"

SHEET:

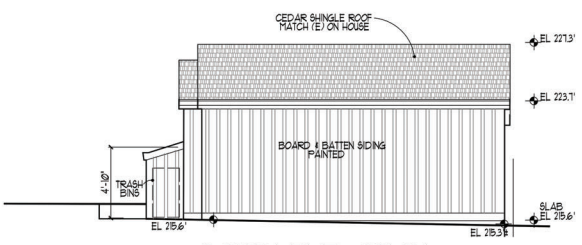
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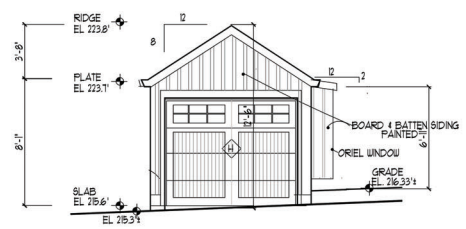
GARAGE PLAN
 1/4" = 1'-0"



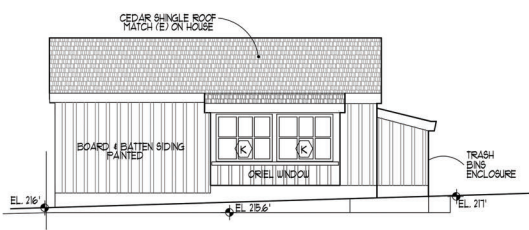
GARAGE ROOF PLAN
 1/4" = 1'-0"



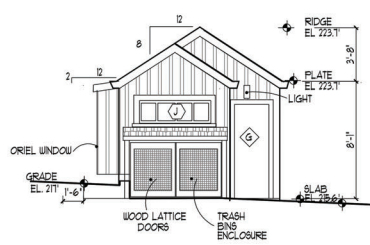
SOUTH ELEVATION
 1/4" = 1'-0"



EAST ELEVATION
 1/4" = 1'-0"



NORTH ELEVATION
 1/4" = 1'-0"



WEST ELEVATION
 1/4" = 1'-0"

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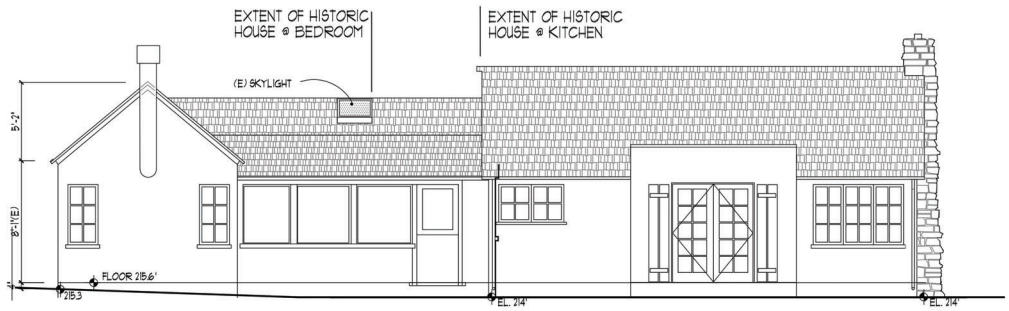
DRAWING DATE: 11-30-23

PAGE TITLE:
EXISTING & PROPOSED
EAST & SOUTH
ELEVATIONS

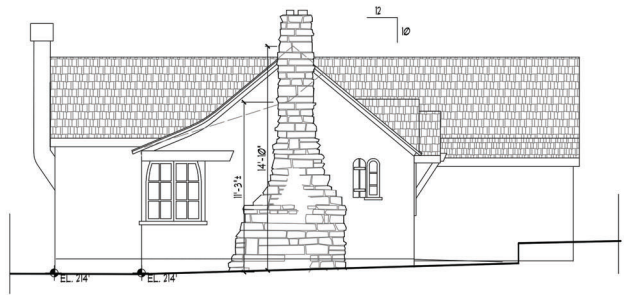
SCALE: 1/4" = 1'-0"

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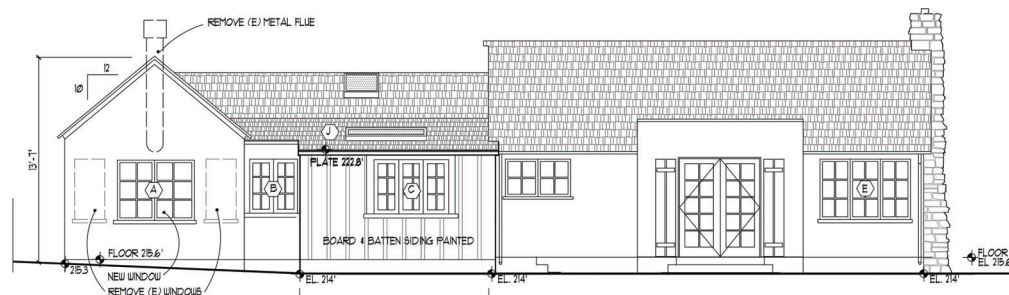
A3.1



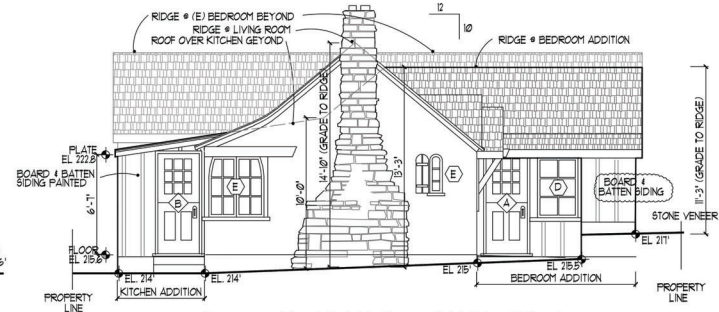
(E) SOUTH ELEVATION
1/4" = 1'-0"



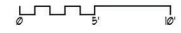
(E) EAST (FRONT) ELEVATION
1/4" = 1'-0"



(PROPOSED) SOUTH ELEVATION
1/4" = 1'-0"



(PROPOSED) EAST (FRONT) ELEVATION
1/4" = 1'-0"



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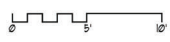
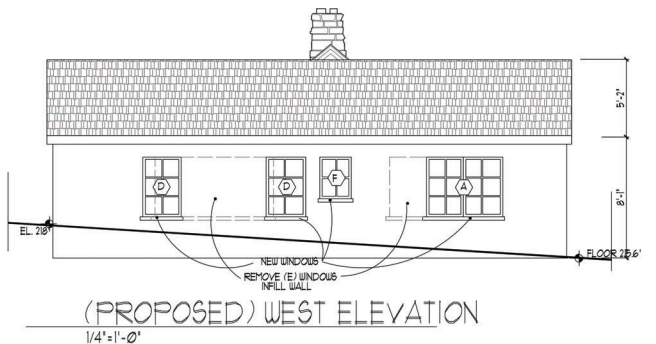
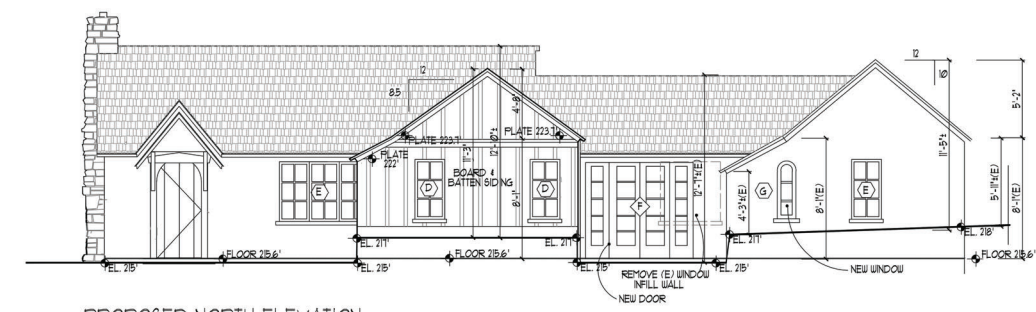
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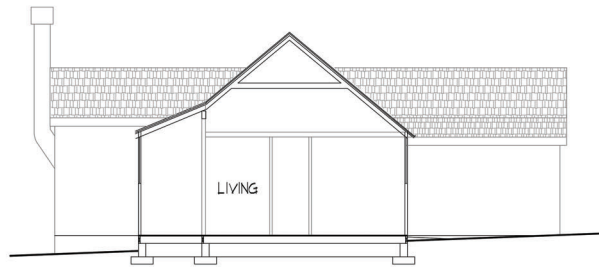
EXISTING & PROPOSED
NORTH & WEST
ELEVATIONS

SCALE: 1/4" = 1'-0"

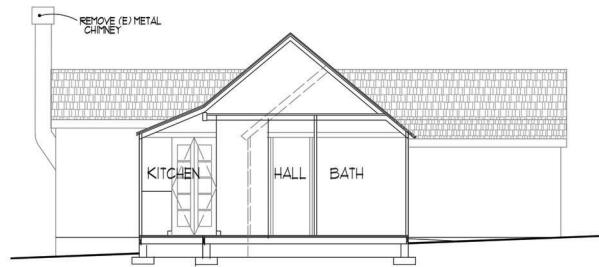
SHEET:

A3.2

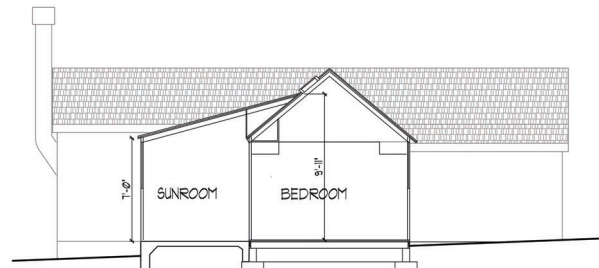




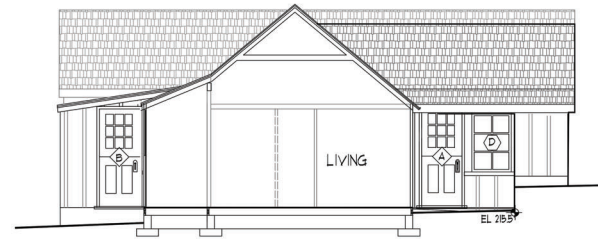
(E) SECTION THROUGH LIVING
1/4" = 1'-0" LOOKING WEST



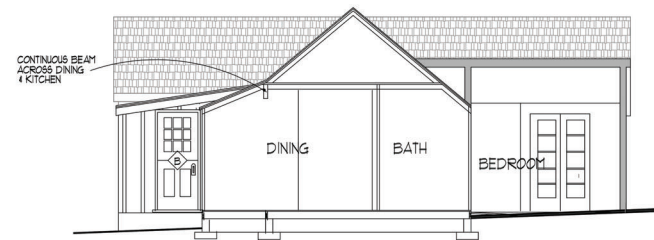
(E) SECTION THROUGH KITCHEN/HALL/BATH
1/4" = 1'-0" LOOKING WEST



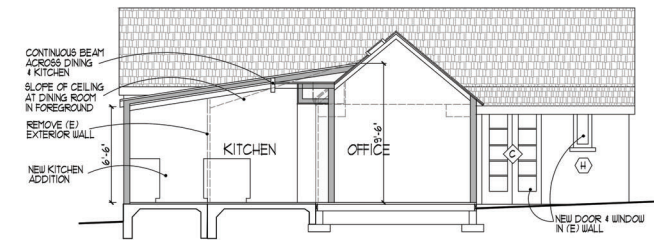
(E) SECTION THROUGH SUNROOM/BEDROOM
1/4" = 1'-0" LOOKING WEST



(PROPOSED) SECTION THROUGH LIVING
1/4" = 1'-0" LOOKING WEST



(PROPOSED) SECTION THROUGH DINING/BATH/BR ADDITION
1/8" = 1'-0" LOOKING WEST



(PROPOSED) SECTION THROUGH KITCHEN/OFFICE
1/8" = 1'-0" LOOKING WEST



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CARMEL, CA

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PAGE TITLE:

EXISTING & PROPOSED BUILDING SECTIONS

SCALE: 1/4" = 1'-0"

SHEET:

A3.3



STUCCO
Schoohouse White



WINDOWS & TRIM
Simply White



SHUTTERS & PLANTERS
Spellbound



WOOD SHAKE ROOF

DOOR TYPES							NOTE: DO NOT ORDER FROM THIS SCHEDULE ALONE REVIEW PLAN & FIELD CONDITIONS FOR DOOR LOCATIONS AND SIZES			LEGEND					
TYPE	LOCATION	WIDTH	HEIGHT	TYPE	MATL.	HARDWARE	REMARKS	T	DB	L5	PS	FRV	TEMP.	INSUL.	FR
(A)	EXTERIOR TO BEDROOM	2'-8"	6'-8"	DUTCH DOOR OPENS IN	CLAD WD	L5,DB,T	TEMPERED GLASS								
(B)	EXTERIOR TO KITCHEN	2'-8"	6'-8"	DUTCH DOOR OPENS OUT	CLAD WD	L5,DB,T	TEMPERED GLASS								
(C)	EXTERIOR TO PRIMARY BEDROOM	4'-0"	6'-8"	FR 2 1/2 FRENCH DRSS OPENS IN	CLAD WD	L5,DB,T	TEMPERED GLASS VERIFY DOOR HEIGHT PER (E) EAVE HEIGHT								
(D)	EXTERIOR TO NEW BEDROOM	4'-0"	6'-8"	FR 2 1/2 FRENCH DRSS OPENS OUT	CLAD WD	L5,DB,T	TEMPERED GLASS								
(E)	EXISTING DOOR TO REMAIN - REPAIR & REFINISH AS NEEDED														
(F)	EXTERIOR TO OFFICE	1'-0"	6'-8"	FR 2 1/2 FRENCH DRSS W/FR 1/2 SIDELIGHTS	PAINTED WD	L5,DB,T	TEMPERED GLASS VERIFY DOOR HEIGHT PER (E) EAVE HEIGHT								
(G)	EXTERIOR TO GARAGE	2'-4"	6'-8"												
(H)	GARAGE DOOR	9'-0"	1'-0"												

WINDOW TYPES							DOOR/WINDOW NOTES			
WDO UNIT TYPE	WIDTH	UNIT HEIGHT	MATERIAL	TYPE	FLOOR TO SILL	FLOOR TO HEAD	REMARKS			
(A)	5'-0"	4'-0"	CLAD WOOD	CASEMENT (2)	2'-8"	6'-8"		1. FIELD VERIFY ALL OPENING SIZES PRIOR TO WINDOW FABRICATION. OPENINGS MAY VARY, PARTICULARLY WHERE MULTIPLE UNITS FORM A WINDOW WALL. 2. NEW WINDOW UNITS SHALL BE CLAD WOOD SIERRA PACIFIC 3. ALL WINDOW TRIM, DOORS & TRIM SHALL BE PAINTED WOOD. 4. MILLIONS ON WINDOWS & DOORS SHALL BE TRUE DIVIDED LIGHT. 5. PROVIDE SCREENS W/ ALL OPERABLE WINDOWS. 6. INSTALL HEAD & SILL FLASHING & ALL WINDOWS & DOORS. 7. INSULATED GLASS ALL NEW WDS. 8. TEMPERED GLASS WHERE REQUIRED BY CODE, WHETHER OR NOT INDICATED ON PLANS.		
(B)	3'-2"	3'-6"	CLAD WOOD	FIXED	2'-8"	6'-8"	TEMPERED GLASS			
(C)	5'-0"	3'-6"	CLAD WOOD	CASEMENT (3) 2x2	3'-2"	6'-8"				
(D)	2'-0"	4'-0"	CLAD WOOD	CASEMENT	2'-8"	6'-8"				
(E)	EXISTING WINDOW OR SKYLIGHT									
(F)	2'-0"	3'-0"	CLAD WOOD	CASEMENT	3'-8"	6'-8"	TEMPERED GLASS			
(G)	1'-3"	4'-0"	CLAD WOOD	FIXED ARCH TOP	2'-8"	6'-8"	TEMPERED GLASS			
(H)	1'-3"	2'-6"	CLAD WOOD	FIXED-SHOWER	2'-8"		FIELD VERIFY TEMPERED GLASS INTERIOR UET RATED OBSCURE GLASS			
(J)	5'-0"	1'-6"	CLAD WOOD	AWNING	5'-2"	6'-8"				
(K)	4'-0"	3'-3"	CLAD WOOD	FIXED	5'-2"	6'-8"				
(L)	5'-0"	2'-0"	CLAD WOOD	SKYLIGHT	-	-	CLAD COLOR SIERRA TAN W/ SOLAR SHADE			
(M)	2'-6"	2'-6"	CLAD WOOD	SKYLIGHT	-	-	CLAD COLOR SIERRA TAN W/ SOLAR SHADE			

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PAGE TITLE:
DOOR & WINDOW
SCHEDULES

SCALE: 1/4" = 1'-0"
SHEET:

A4.1