

The Das Residence

NE CORNER OF STERLING WAY AND PERRY NEWBERRY WAY, CARMEL 93923



AFTER



BEFORE

EXISTING SETBACKS BEFORE LOT MERGER	AS-BUILT	REQUIRED
FRONT (STERLING WAY)	15'-8"	15'
REAR	3'-11 5/8"	15' (3')
SIDE (STREET SIDE)	7'-2 13/16"	5' (25% COMPOSITE)
SIDE (INTERIOR SIDE HOUSE)	34'-10 1/4"	3' (25% COMPOSITE)
SIDE (INTERIOR SIDE STUDIO ABOVE GARAGE)	29'-1 1/2"	3' (25% COMPOSITE)

PROPOSED SETBACKS AFTER LOT MERGER*	PROPOSED	REQUIRED
FRONT (PERRY NEWBERRY WAY) **	7'-2 13/16"	15'
REAR	32'-6 3/8"	15' (3')
SIDE (STREET SIDE)	15'-10 3/4"	COMPOSITE 5' (25% COMPOSITE)***
SIDE (INTERIOR SIDE)	4'-11 3/4"	COMPOSITE 20'-10.5" 3' (25% COMPOSITE)***

* PER CARMEL-BY-THE-SEA MUNICIPAL CODE, RULES OF MEASUREMENTS 17.06.020 (N)

1. FRONT SETBACKS.
FRONT SETBACKS SHALL BE MEASURED FROM THE PROPERTY LINE ADJACENT TO THE STREET FRONTING THE PROPERTY. ON CORNER LOTS WITH TWO STREET FRONTAGES, THE SHORTEST FRONTAGE SHALL BE CONSIDERED THE FRONT, REGARDLESS OF WHERE THE DRIVEWAY OR FRONT ENTRY IS LOCATED.
AFTER THE MERGER OF LOTS 5 AND 6 THE FRONT SETBACK WAS AUTOMATICALLY SWITCHED FROM STERLING WAY TO PERRY NEWBERRY AND BROUGHT THE PROPERTY TO LEGAL NON-CONFORMING.

** FRONT SETBACK (PERRY NEWBERRY) BECAME LEGAL NON-CONFORMING AFTER THE LOT MERGER. EXISTING WALL ALONG PERRY NEWBERRY TO REMAIN.

*** COMPOSITE SETBACK CALCULATIONS
LOT AVERAGE WIDTH =
85'-10" (WIDTH AT FRONT SETBACK) + 81'-1 1/4" (WIDTH AT REAR SETBACK) = 166.85'
166.85' / 2 = 83.425' (LOT WIDTH)
REQUIRED COMPOSITE SETBACK (25% OF LOT WIDTH) = 20.85' (20'-10.3")
PROPOSED COMPOSITE SETBACK = 20'-10.5"

EXISTING HEIGHT	ALLOWED	PROPOSED
HOUSE (SINGLE-STORY)	14'-8 1/16"	18'
STUDIO ABOVE GARAGE (TWO-STORY)	20'-1 3/16"	N/A

PROPOSED HEIGHT	ALLOWED	PROPOSED
HOUSE (SINGLE-STORY)	18'	15'-6 3/8"
HOUSE (TWO-STORY)	24'	N/A
ADU (SINGLE-STORY)	16'	15'-1"

TOP PLATES	ALLOWED	PROPOSED
HOUSE (SINGLE-STORY)	12'	VARIES FROM 8'-9 3/16" TO 12', SEE ELEVATIONS
HOUSE (TWO-STORY)	18'	N/A
ADU (SINGLE-STORY)	12'	11'-6"

TREE PROTECTION NOTES

A. PRIOR TO GRADING, EXCAVATION, OR CONSTRUCTION, THE DEVELOPER SHALL CLEARLY TAG OR MARK ALL TREES TO BE PRESERVED.

B. EXCAVATION WITHIN 6 FEET OF A TREE TRUNK IS NOT PERMITTED.

C. NO ATTACHMENTS OR WIRES OF ANY KIND, OTHER THAN THOSE OF A PROTECTIVE NATURE SHALL BE ATTACHED TO ANY TREE.

D. PER MUNICIPAL CODE CHAPTER 17.48.110 NO MATERIAL MAY BE STORED WITHIN THE DRIPLINE OF A PROTECTED TREE TO INCLUDE THE DRIP LINES OF TREES ON NEIGHBORING PARCELS.

E. TREE PROTECTION ZONE. THE TREE PROTECTION ZONE SHALL BE EQUAL TO DRIPLINE OR 18 INCHES RADIALLY FROM THE TREE FOR EVERY ONE INCH OF TRUNK DIAMETER AT 4.5 FEET ABOVE THE SOIL LINE, WHICHEVER IS GREATER. MINIMUM OF 4 FOOT HIGH TRANSPARENT FENCING IS REQUIRED UNLESS OTHERWISE APPROVED BY THE CITY FORESTER. TREE PROTECTION SHALL NOT BE RESIZED, MODIFIED, REMOVED, OR ALTERED IN ANY MANNER WITHOUT WRITTEN APPROVAL. THE FENCING MUST BE MAINTAINED UPRIGHT AND TAUGHT FOR THE DURATION OF THE PROJECT. NO MORE THAN 4 INCHES OF WOOD MULCH SHALL BE INSTALLED WITHIN THE TREE PROTECTION ZONE. WHEN THE TREE PROTECTION ZONE IS AT OR WITHIN THE DRIP LINE, NO LESS THAN 6 INCHES OF WOOD MULCH SHALL BE INSTALLED 18 INCHES RADIALLY FROM THE TREE FOR EVERY ONE INCH OF TRUNK DIAMETER AT 4.5 FEET ABOVE THE SOIL LINE OUTSIDE OF FENCING.

F. THE STRUCTURAL ROOT ZONE. STRUCTURAL ROOT ZONE SHALL BE 6 FEET FROM THE TRUNK OR 6 INCHES RADIALLY FROM THE TREE FOR EVERY ONE INCH OF TRUNK DIAMETER AT 4.5' ABOVE THE SOIL LINE, WHICHEVER IS GREATER. ANY EXCAVATION OR CHANGES TO THE GRADE SHALL BE APPROVED BY THE CITY FORESTER PRIOR TO WORK. EXCAVATION WITHIN THE STRUCTURAL ROOT ZONE SHALL BE PERFORMED WITH PNEUMATIC EXCAVATOR, HYDROVAC AT LOW PRESSURE, OR OTHER METHOD THAT DOES NOT SEVER ROOTS.

G. IF ROOTS GREATER THAN 2 INCHES IN DIAMETER OR LARGER ARE ENCOUNTERED WITHIN THE APPROVED STRUCTURAL ROOT ZONE THE CITY FORESTER SHALL BE CONTACTED FOR APPROVAL TO MAKE ANY ROOT CUTS OR ALTERATIONS TO STRUCTURES TO PREVENT ROOTS FROM BEING DAMAGED.

H. IF ROOTS LARGER THAN 2 INCHES IN DIAMETER ARE CUT WITHOUT PRIOR CITY FORESTER APPROVAL OR ANY SIGNIFICANT TREE IS ENDANGERED AS A RESULT OF CONSTRUCTION ACTIVITY, THE BUILDING PERMIT WILL BE SUSPENDED AND ALL WORK STOPPED UNTIL AN INVESTIGATION BY THE CITY FORESTER HAS BEEN COMPLETED AND MITIGATION MEASURES HAVE BEEN PUT IN PLACE.

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PROJECT DATA

PROPERTY OWNER: DR. TONY DAS
4407 MIDDLETON RD.,
DALLAS, TX 75229
TEL. (214) 213-8232

PROJECT ADDRESS: NORTHEAST CORNER OF STERLING WAY AND PERRY NEWBERRY WAY
CARMEL, CA 93923

PROJECT DESCRIPTION: PARTIAL DEMOLITION (875 SF) AND REMODEL OF (E) SINGLE-STORY HOUSE, FULL DEMOLITION OF (E) GARAGE AND STUDIO ABOVE GARAGE. CONSTRUCTION OF A NEW ATTACHED 2-CAR GARAGE AND DETACHED ADU. NEW OUTDOOR GAS FIRE PIT, PATIO, GENERATOR, AND PORTABLE HOT TUB. EXISTING RETAINING/GARDEN WALLS ALONG THE STREETS TO REMAIN. WOOD FRAMING OF EXISTING WEST WALL (ALONG PERRY NEWBERRY) TO REMAIN.

APN: 009-162-025
LOT AND BLOCK: LOT: 5 AND 6 BLOCK: 3B
ZONING: R-1
TYPE OF CONSTRUCTION: V-B
OCCUPANCY: R-3, U
STORIES: 1
HEIGHT LIMIT: 18' (HOUSE), 16' (ADU)
GRADING (INCLUDING ADU): CUT - 80 C.Y. FILL - 50 C.Y. (30 C.Y. EXPORT)
TREE REMOVAL: 1 NON-NATIVE TREE (7"), NOT SIGNIFICANT (PERMIT #24004)
APPLICABLE CODES: 2022 CBC, 2022 CRC, 2022 CFC, 2022 CPC, 2022 CEC, 2022 CMC, 2022 CALIFORNIA ENERGY CODE, 2022 CALIFORNIA GREEN BUILDING CODE

LOT AREA: 8,480 SF

LOT MERGER INCENTIVES:
THE CITY ENCOURAGES THE MERGER OF SMALL LOTS INTO LARGER LOTS TO PROMOTE DIVERSITY IN DESIGN AND HOUSING SIZE AND TO PRESERVE OPEN SPACE. TWO OR MORE CONTIGUOUS LOTS OF RECORD, EACH OF WHICH WOULD INDIVIDUALLY MEET THE STANDARDS FOR DEVELOPMENT AS A BUILDING SITE, MAY BE MERGED THROUGH THE FILING OF A VOLUNTARY MERGER REQUEST BY THE OWNER(S). UPON APPROVAL OF SUCH A MERGER BY THE DEPARTMENT OF COMMUNITY PLANNING AND BUILDING, AND RECORDING OF MERGER DOCUMENTS OR MAPS WITH THE COUNTY RECORDER, THE FOLLOWING INCENTIVES BECOME AVAILABLE TO THE PROPERTY (CMC 17.10.040.B.2):

I. ALLOWED BASE FLOOR AREA MAY BE INCREASED BY THREE PERCENT OF SITE AREA, BEYOND THE STANDARD SPECIFIED IN CMC 17.10.030(D), FLOOR AREA RATIO AND EXTERIOR VOLUME. A COMMENSURATE AMOUNT OF ADDITIONAL EXTERIOR VOLUME ALSO SHALL BE ALLOWED.

1. MAXIMUM ALLOWABLE BASE FLOOR AREA WITH LOT MERGER INCENTIVE:
3,310 SQUARE FEET

FLOOR AREA CALCULATIONS

FLOOR AREA ALLOWED HOUSE - 3,310 SF (BASE FLOOR AREA, INCLUDING LOT MERGER INCENTIVES)
ADU - 800 SF

	EXISTING FLOOR AREA	DEMOLITION	ADDITION	PROPOSED FLOOR AREA
HOUSE MAIN FLOOR	2,301 S.F.	875 S.F.	1,040 S.F.	2,466 S.F.
STUDIO ABOVE GARAGE	464 S.F.	464 S.F.	0 S.F.	0 S.F.
GARAGE	479 S.F.	479 S.F.	478 S.F.	478 S.F.
GARDEN STORAGE	109 S.F.	109 S.F.	0 S.F.	0 S.F.
SHED	83 S.F.	83 S.F.	0 S.F.	0 S.F.
TOTAL FLOOR AREA	3,436 S.F.	2,010 S.F.	1,518 S.F.	2,944 S.F.

ADU	0 S.F.	0 S.F.	791 S.F.	791 S.F.
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SITE COVERAGE CALCULATIONS (SEE A0.1 FOR DETAILS)

SITE COVERAGE ALLOWED: 1,036 S.F. (IF PERMEABLE COVERAGE IS MORE THAN 50% OF TOTAL COVERAGE)
SITE COVERAGE EXISTING: 2,203 S.F.
SITE COVERAGE PROPOSED: 1,017 S.F. (PERMEABLE - 642 SF (63%), IMPERVIOUS - 375 SF)
EXISTING SITE COVERAGE REDUCED BY 1,186 SF (46%)

PROJECT SITE



VICINITY MAP NOT TO SCALE



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CARMEL, CA 93923

THE DAS RESIDENCE
APN: 009-162-025

NE CORNER OF STERLING WAY AND PERRY NEWBERRY WAY

REVISIONS:

11-01-23	OWNERS REVISIONS
01-03-24	PLANNING REVISIONS

COVER SHEET

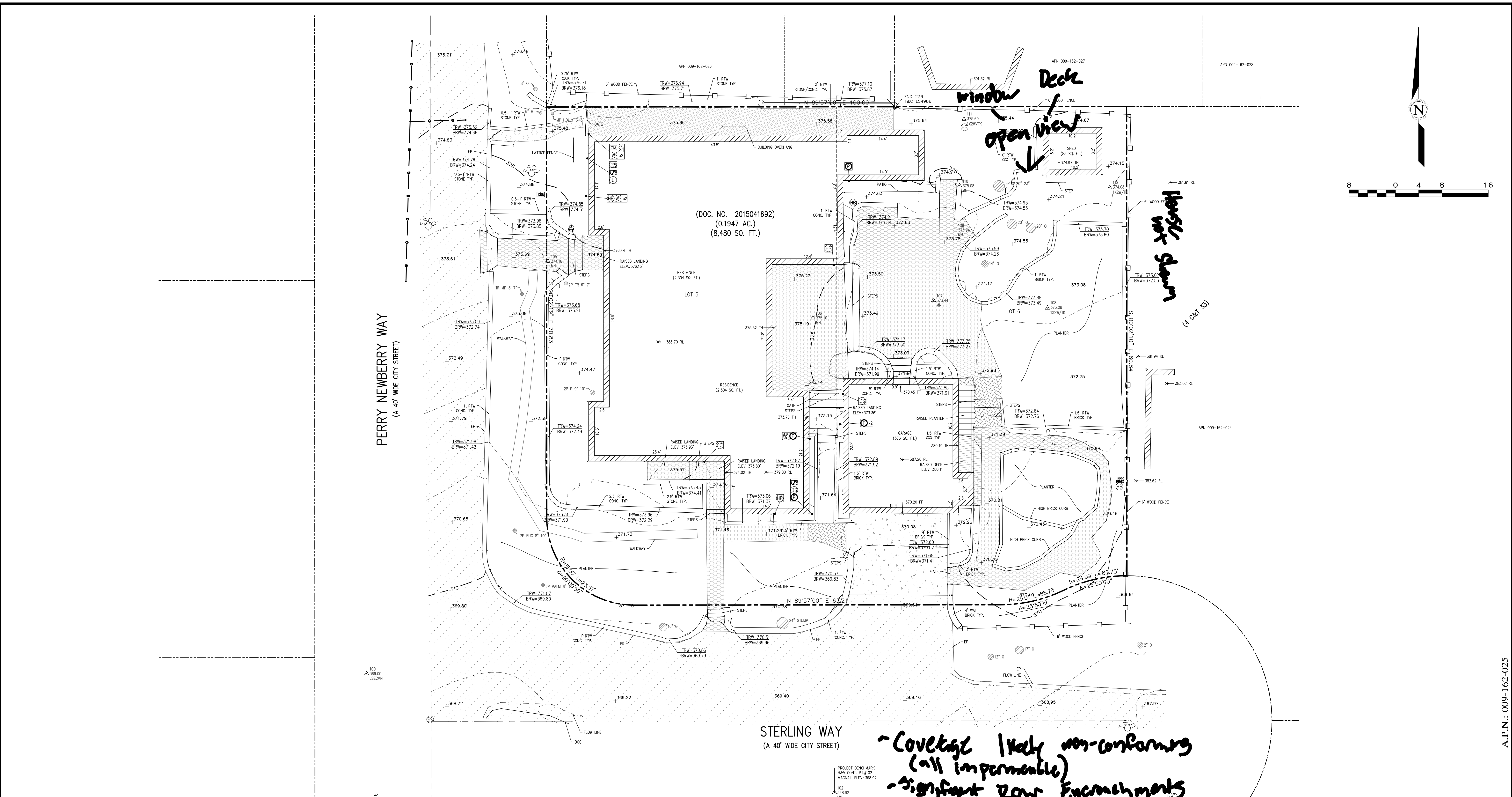
DATE: 06-11-23

DESIGN APPROVAL

SHEET NO.

A0.0

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LEGEND:

---	PROPERTY BOUNDARY	⊙	CONDUIT	⊠	PG&E BOX
---	ADJACENT PROPERTY BOUNDARY	⊙	CLEANOUT	⊠	PG&E GAS MANHOLE
---	ORIGINAL PROPERTY BOUNDARY	⊙	DOWNSPOUT	⊠	PIPE
---	EASEMENT (TYPE AS SHOWN)	⊙	ELECTRICAL HUB	⊠	STORM DRAIN MANHOLE
---	ROADWAY CENTERLINE	⊙	ELECTRIC METER	⊠	SANITARY SEWER CLEANOUT
---	MAJOR CONTOUR LINE (5' INTERVAL)	⊙	ELECTRICAL OUTLET	⊠	SANITARY SEWER MANHOLE
---	MINOR CONTOUR LINE (1' INTERVAL)	⊙	ELECTRICAL PANEL	⊠	TELEPHONE BOX
---	FENCE	⊙	ELECTRIC MANHOLE	⊠	UNKNOWN UTILITY
---	ASPHALT CONCRETE	⊙	FUSEBOX	⊠	UTILITY HUB
---	BRICK	⊙	GAS LINE	⊠	UTILITY POLE
---	PORTLAND CEMENT CONCRETE	⊙	GAS METER	⊠	WATER METER
---	GRAVEL	⊙	GAS VALVE	⊠	WATER SERVICE
---	PAVERS	⊙	GUY WIRE	⊠	WATER VALVE
---	ROCK	⊙	HOSE BIB	⊠	FOUND MONUMENT (TYPE NOTED)
---	WOOD	⊙	FIRE HYDRANT	⊠	SURVEY H&V CONTROL POINT
---	NATURAL GROUND SURFACE/ LANDSCAPED AREA	⊙	IRRIGATION CONTROL VALVE	⊠	
---		⊙	IRRIGATION BOX	⊠	
---		⊙	LANDSCAPE LIGHT	⊠	
---		⊙	STREETLIGHT	⊠	

ABBREVIATIONS:

AC	= ASPHALT CONCRETE	FF	= FINISHED FLOOR	TH	= THRESHOLD
AD	= AREA DRAIN	FL	= FLOWLINE	TR	= TREE
BLDG	= BUILDING	FNC	= FENCE	TYP	= TYPICAL
BRK	= BRICK	FND	= FOUND	UTIL	= UTILITY
BRKR	= BREAKER	FTN	= FOUNTAIN	VGUT	= V-GUTTER
BSW	= BACK OF SIDEWALK	GEN	= GENERATOR	WO	= WILLOW
CB	= CATCH BASIN	GR	= GRATE		
CD	= CEDAR	GRND	= GROUND		
CHK VLV	= CHECK VALVE	GT	= GATE		
CHNLNK	= CHAINLINK	H	= HOLLY		
CL	= CENTERLINE	MON	= MONUMENT		
CMU	= CONCRETE MASONRY UNIT	MTL	= METAL		
CONC	= CONCRETE	O	= OAK		
CTL	= CONTROL	PA	= PALM		
CW	= COTTON WOOD	PE	= PEPPER		
CYP	= CYPRESS	P	= PINE		
DG	= DECOMPOSED GRANITE	PLST	= PLASTIC		
DK	= TOP OF DECK	R	= REDWOOD		
E	= EUCALYPTUS	RL	= RIDGE LINE		
ELEC	= ELECTRIC	RW	= RETAINING WALL		
EP	= EDGE OF PAVEMENT	SAT	= SATELLITE		
ESMT	= EASEMENT	STN	= STONE		
FDC	= FIRE DEPARTMENT CONNECTION	STP	= STEP		
		SYS	= SYSTEMS		

GENERAL NOTES:

- ELEVATIONS ARE BASED ON AN ASSUMED DATUM. PROJECT BENCHMARK IS SURVEY H&V CONTROL POINT #102, A MAGNETIC NAIL LOCATED APPROXIMATELY 37' SOUTHERLY AND 50' WESTERLY FROM THE SOUTHEASTERLY PROPERTY CORNER, ELEVATION = 368.92' AS SHOWN.
- NOT ALL UNDERGROUND UTILITIES WERE LOCATED. ONLY VISIBLE FACILITIES ABOVE AND FLUSH WITH THE SURFACE ARE SHOWN. SUB-SURFACE UTILITY LINES DRAWN MAY NOT BE COMPLETE AND SHOULD BE VERIFIED BY FIELD RECONNAISSANCE. UNDERGROUND UTILITY LOCATIONS CAN BE OBTAINED FROM THE APPROPRIATE UTILITY COMPANIES, PUBLIC AGENCIES, OWNER'S AS-BUILT DRAWINGS, ETC., AND SHOULD BE THOROUGHLY COMPILED AND DEEMED COMPLETE WITHIN THE PROJECT AREA PRIOR TO ANY SITE DEVELOPMENT DESIGN AND/OR CONSTRUCTION.
- TREE TYPES ARE INDICATED WHEN KNOWN. TREE DIAMETERS ARE LABELED IN INCHES AS MEASURED AT 3' ABOVE THE GROUND. SYMBOL IS APPROXIMATE CENTER OF TREE. TREES SMALLER THAN 6" ARE NOT SHOWN.
- THIS MAP PORTRAYS THE SITE AT THE TIME OF THE SURVEY (12/28/22) AND DOES NOT SHOW SOILS OR GEOLOGY INFORMATION. UNDERGROUND CONDITIONS, EASEMENTS, ZONING OR REGULATORY INFORMATION OR ANY OTHER ITEMS NOT SPECIFICALLY REQUESTED BY THE PROPERTY OWNER AND/OR THEIR REPRESENTATIVES.
- BUILDING CORNERS SHOWN WERE LOCATED AT THE OUTERMOST FACE OF TRIM. DIMENSIONS SHOWN REPRESENT THE BUILDING AT GROUND LEVEL. SQUARE FOOTAGE WAS CALCULATED USING THE OUTERMOST BUILDING FOOTPRINT AS MEASURED. BUILDING OVERHANG(S) ARE NOT SHOWN.
- THIS MAP DOES NOT REPRESENT A BOUNDARY SURVEY. PROPERTY LINES SHOWN HEREON WERE COMPILED FROM RECORD INFORMATION AND FROM FIELD TIES TO EXISTING BOUNDARY MONUMENTATION. THE LOCATION OF THESE LINES IS SUBJECT TO CHANGE, PENDING THE RESULTS OF A COMPLETE BOUNDARY SURVEY.
- STRUCTURES AND/OR ACCOMPANYING ELEVATIONS SHOWN ON ADJACENT LOTS LOCATED WITHIN 15' SUBJECT PROPERTY BOUNDARIES ARE APPROXIMATE ONLY AND MAY NOT BE COMPLETE DUE TO RESTRICTED PHYSICAL ACCESS.

CONTACT INFORMATION:

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SITE LOCATION:
CORNER OF STERLING WAY &
PERRY NEWBERRY WAY
CARMEL-BY-THE-SEA, CA 93921

SCALE: 1" = 8'

DATE: JAN 2023

JOB NO.: 2590-01

SHEET: 1

OF: A0.2

No.	DATE	BY	REVISION
01/18/23	AL		RELEASED TO CLIENT

TOPOGRAPHIC MAP

OF
LOTS 5-6 OF BLOCK 3B - TRACT NO. 3, PARADISE PARK
VOLUME 4 OF CITIES AND TOWNS AT PAGE 33
CARMEL-BY-THE-SEA, CALIFORNIA

FOR
MR. TONY DAS

AP.N.: 009-162-025

APPROVED BY:

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THE DAS RESIDENCE

APN: 009-162-025

NE CORNER OF STERLING WAY AND PERRY NEWBERRY WAY

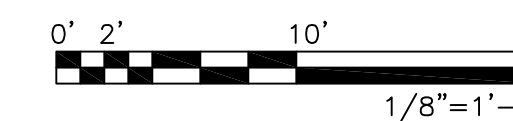
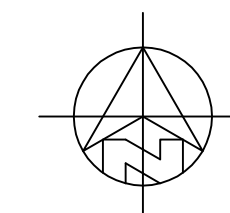
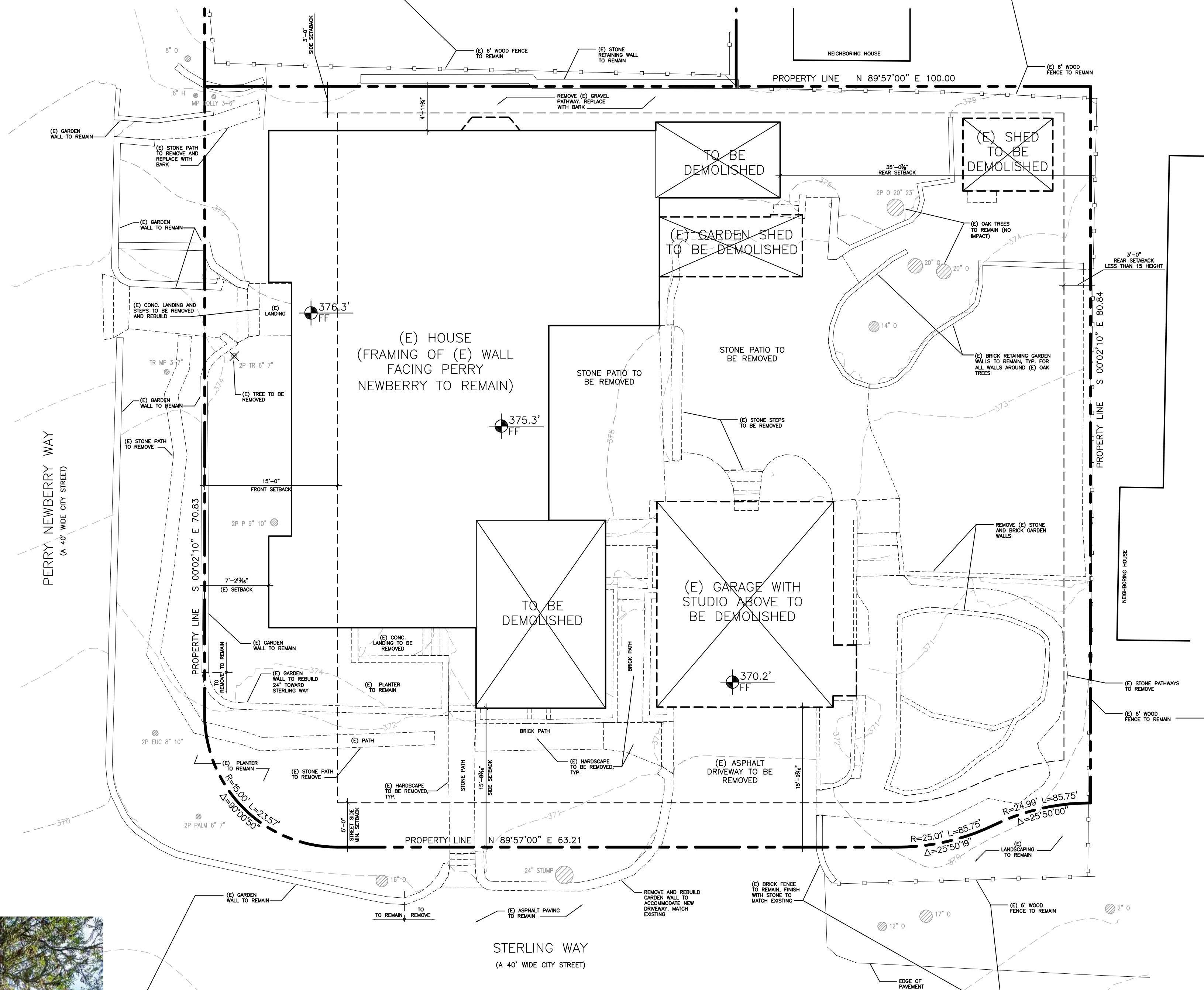
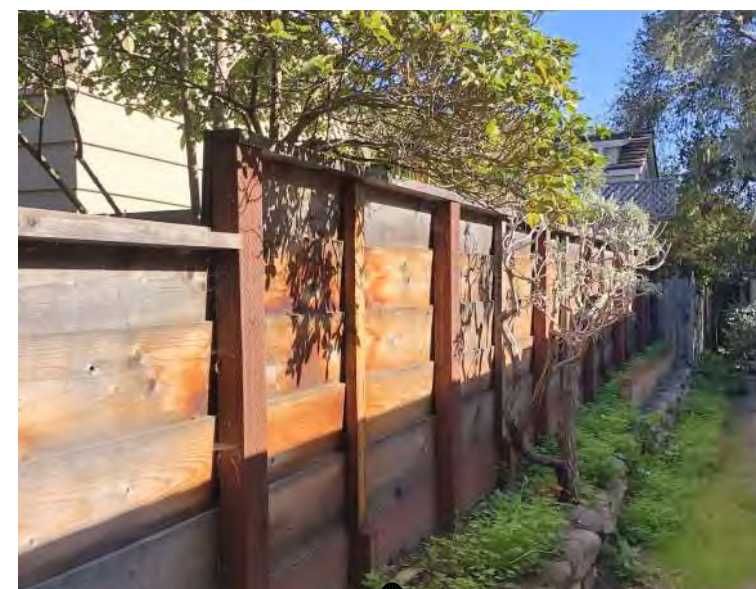
REVISIONS:

11-01-23	OWNERS REVISIONS
01-03-24	PLANNING REVISIONS

EXISTING
SITE PLAN

DATE: 06-11-23
DESIGN APPROVAL

SHEET NO.
A1.0



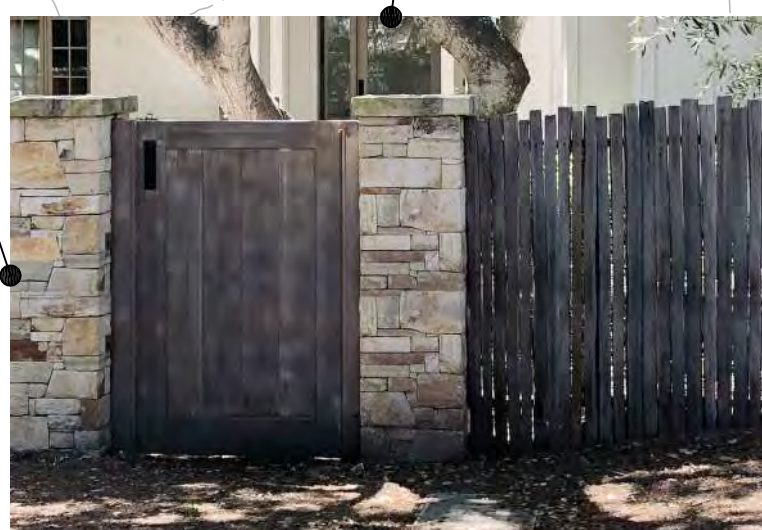
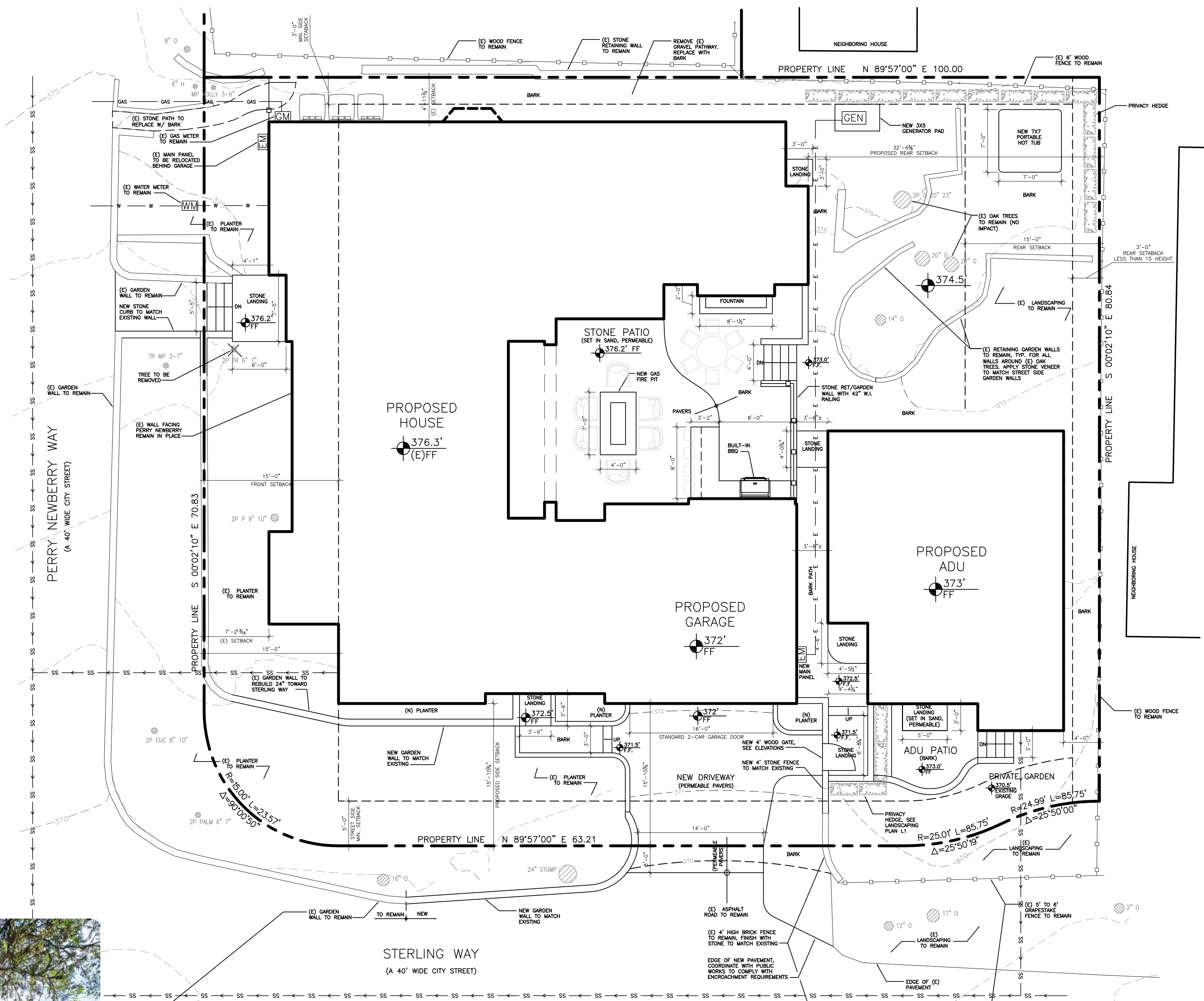
EXISTING SITE PLAN

1/8" = 1'-0"

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THE DAS RESIDENCE
APN: 009-162-025

NE CORNER OF STERLING WAY AND PERRY NEWBERRY WAY



EXAMPLE

REVISIONS:

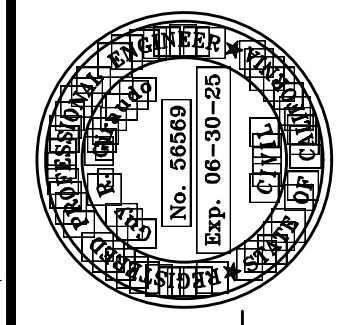
11-01-23	OWNERS REVISIONS
01-03-24	PLANNING REVISIONS

SITE PLAN
PROPOSED

DATE: 06-11-23
DESIGN APPROVAL

SHEET NO.
A1.1

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APPROVED BY:

 GUY E. GIRARDO



" GRADING, DRAINAGE & UTILITY PLAN "

GRADING, DRAINAGE & EROSION CONTROL PLAN

OF

DAS RESIDENCE

A.P.N.: 009-162-025

FOR

CARMEL-BY-THE-SEA, MONTEREY COUNTY, CALIFORNIA

MR. TONY DAS

SCALE: 1"=5'

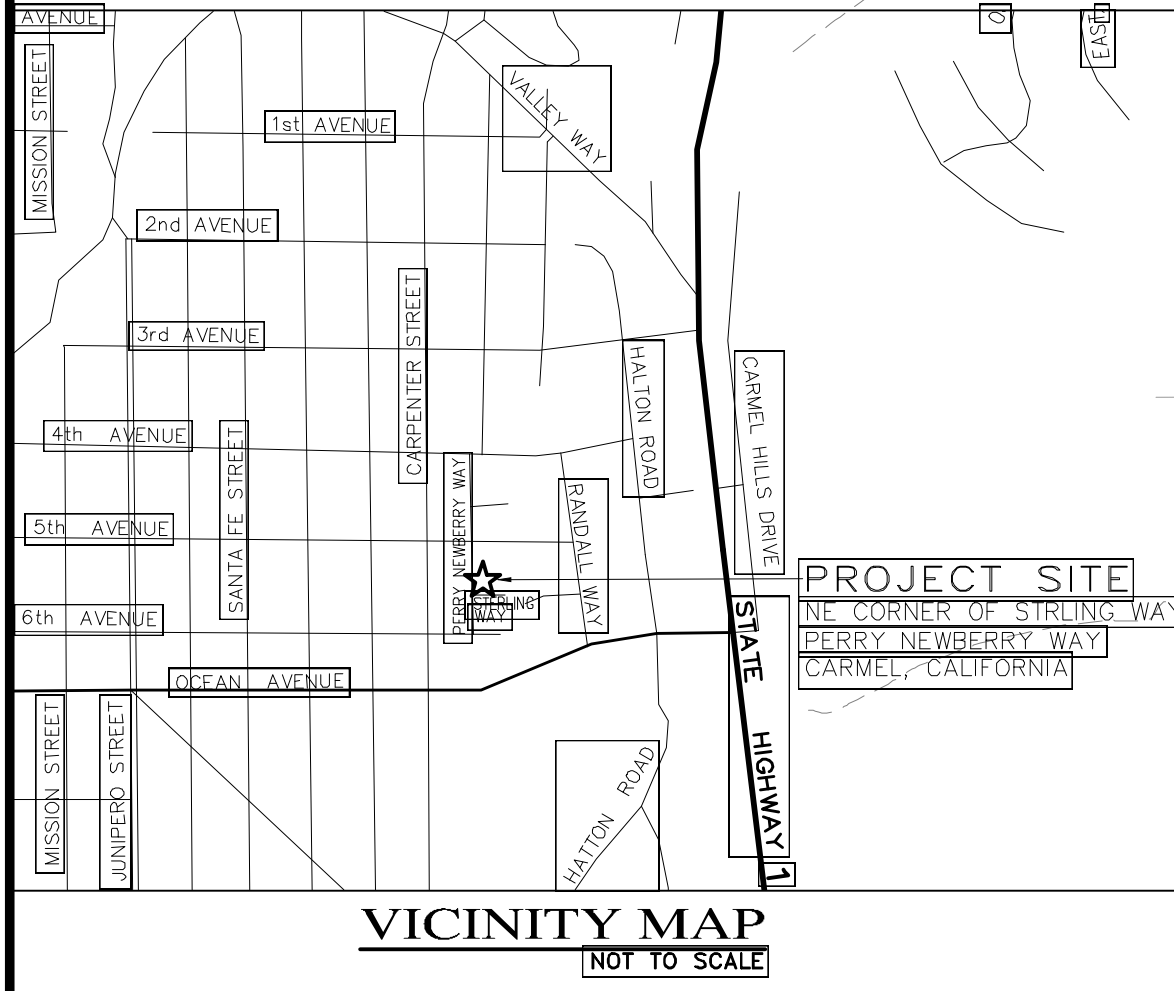
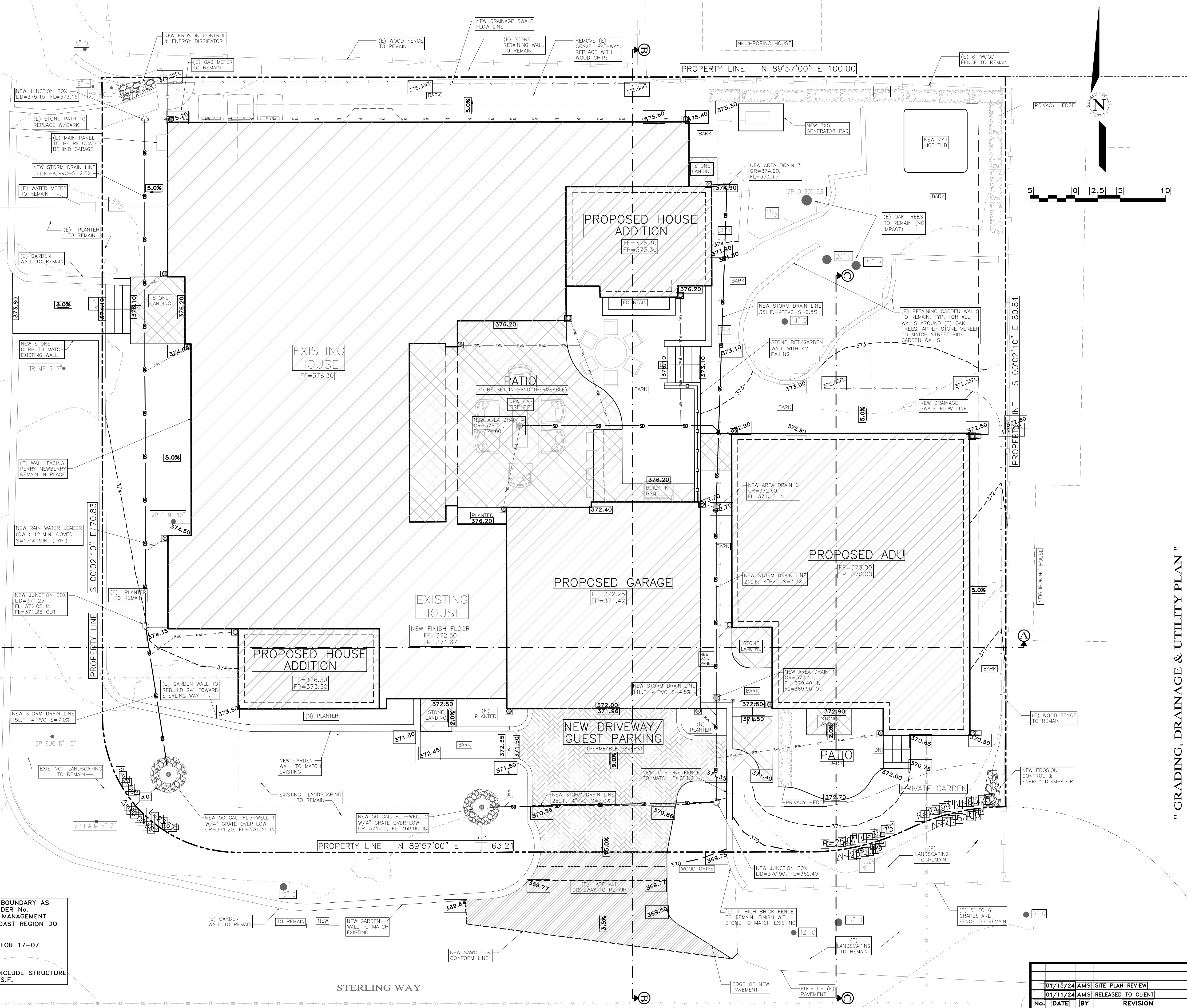
DATE: JANUARY 2024

JOB NO. 2590-02

SHEET **C1**

OF **A1.2**

No.	DATE	BY	REVISION
01/15/24	AMS		SITE PLAN REVIEW
01/11/24	AMS		RELEASED TO CLIENT



NET IMPERVIOUS AREA (STRUCTURE FOOTPRINT NOT INCLUDED)
 EXISTING: 1,802 S.F. (2,203 S.F. TOTAL - 401 S.F. PERMEABLE)
 PROPOSED: 375 S.F. (1,017 S.F. TOTAL - 642 S.F. PERMEABLE)
 * SEE ARCHITECTURAL SHEET A0.1 FOR DETAILED COVERAGE CALCULATIONS

GRADING QUANTITIES:
 CUT = 80 C.Y.
 FILL = 50 C.Y.
 NET = 30 C.Y. EXPORT

INDEX TO SHEETS

SHEET C1	GRADING & DRAINAGE PLAN
SHEET C2	GRADING SECTIONS
SHEET C3	EROSION CONTROL PLAN
SHEET C4	CONSTRUCTION MANAGEMENT PLAN

- STORM WATER CONTROL NOTES:**
- THE PROJECT IS NOT LOCATED WITHIN THE MUNICIPAL GENERAL PERMIT BOUNDARY AS DEFINED BY THE CALIFORNIA STATE WATER QUALITY CONTROL BOARD ORDER NO. 2013-0001-DWG; THEREFORE, THE POST-CONSTRUCTION STORM WATER MANAGEMENT REQUIREMENTS (PCRs) FOR DEVELOPMENT PROJECTS IN THE CENTRAL COAST REGION DO NOT APPLY.
 - ALL DRAINAGE SHALL CONFORM TO THE STANDARD OPERATING GUIDANCE FOR 17-07 PRIVATE STORM WATER SYSTEMS PER THE CITY OF CARMEL-BY-THE-SEA.
 - TOTAL LOT AREA IS 8,480 S.F. THE TOTAL NEW IMPERVIOUS AREA TO INCLUDE STRUCTURE FOOTPRINTS IS 4,110 S.F. THE TOTAL AREA OF DISTURBANCE IS 5,160 S.F.

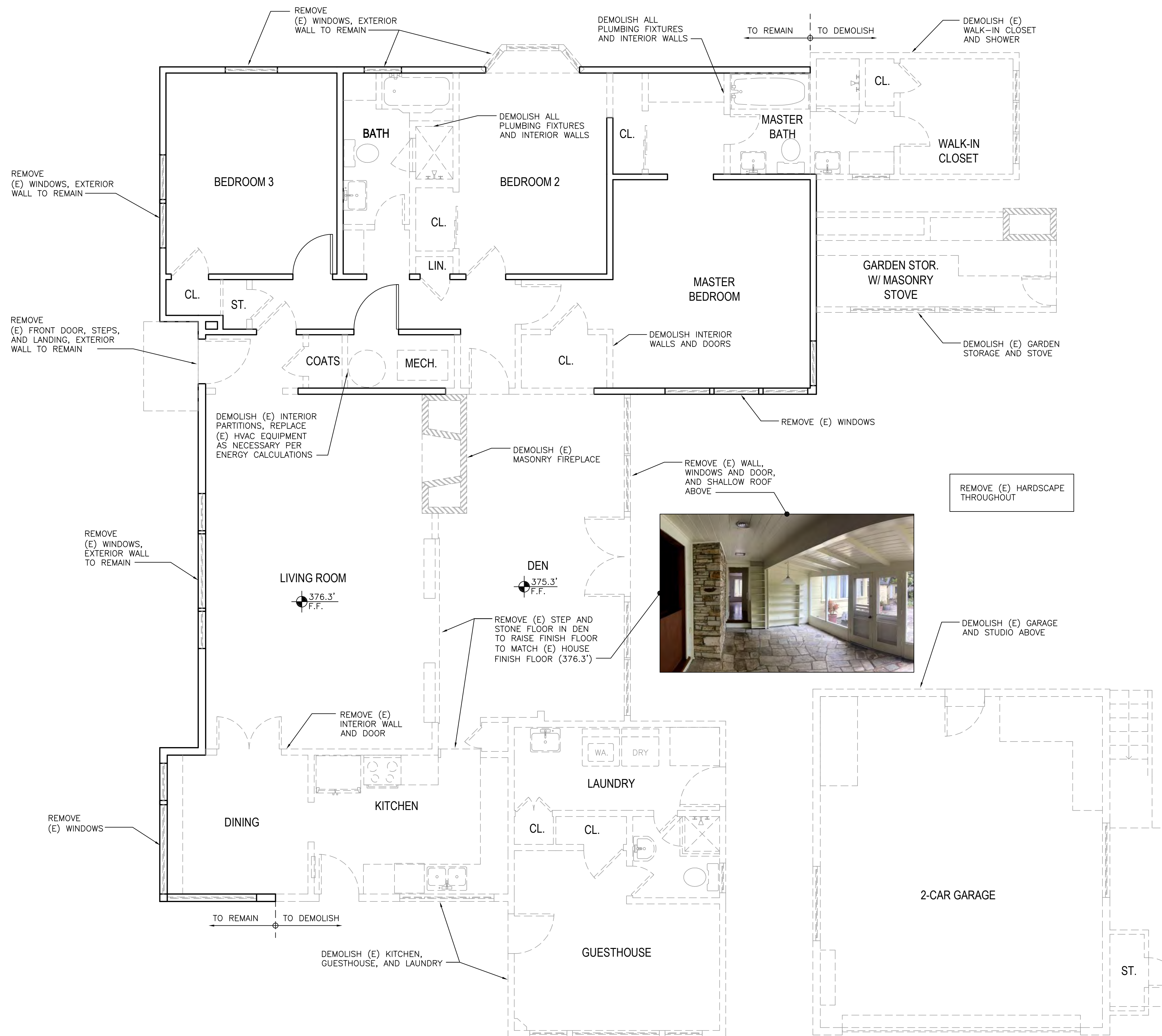
THE DAS RESIDENCE

APN: 009-162-025

NE CORNER OF STERLING WAY AND PERRY NEWBERRY WAY

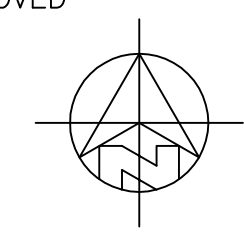
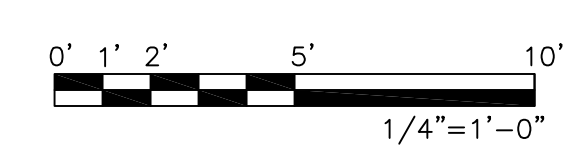
NOTES:

LENGTH OF (E) EXTERIOR WALLS - 265.5 LINEAR FEET (L.F.)
EXTERIOR WALLS TO BE DEMOLISHED - 126 L.F. (47%)
NON-CONFORMING EXTERIOR WALLS TO REMAIN - 76.5 L.F.



WALL LEGEND

- 2X EXISTING WALL TO REMAIN
- EXISTING MASONRY WALL TO BE REMOVED
- (E) DOOR OR WINDOW TO BE REMOVED
- 2X EXISTING WALL TO BE REMOVED



DEMOLITION PLAN

1/4"=1'-0"

REVISIONS:

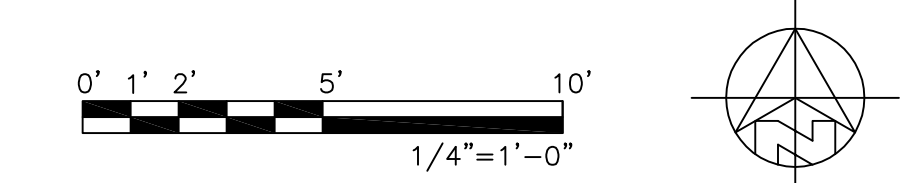
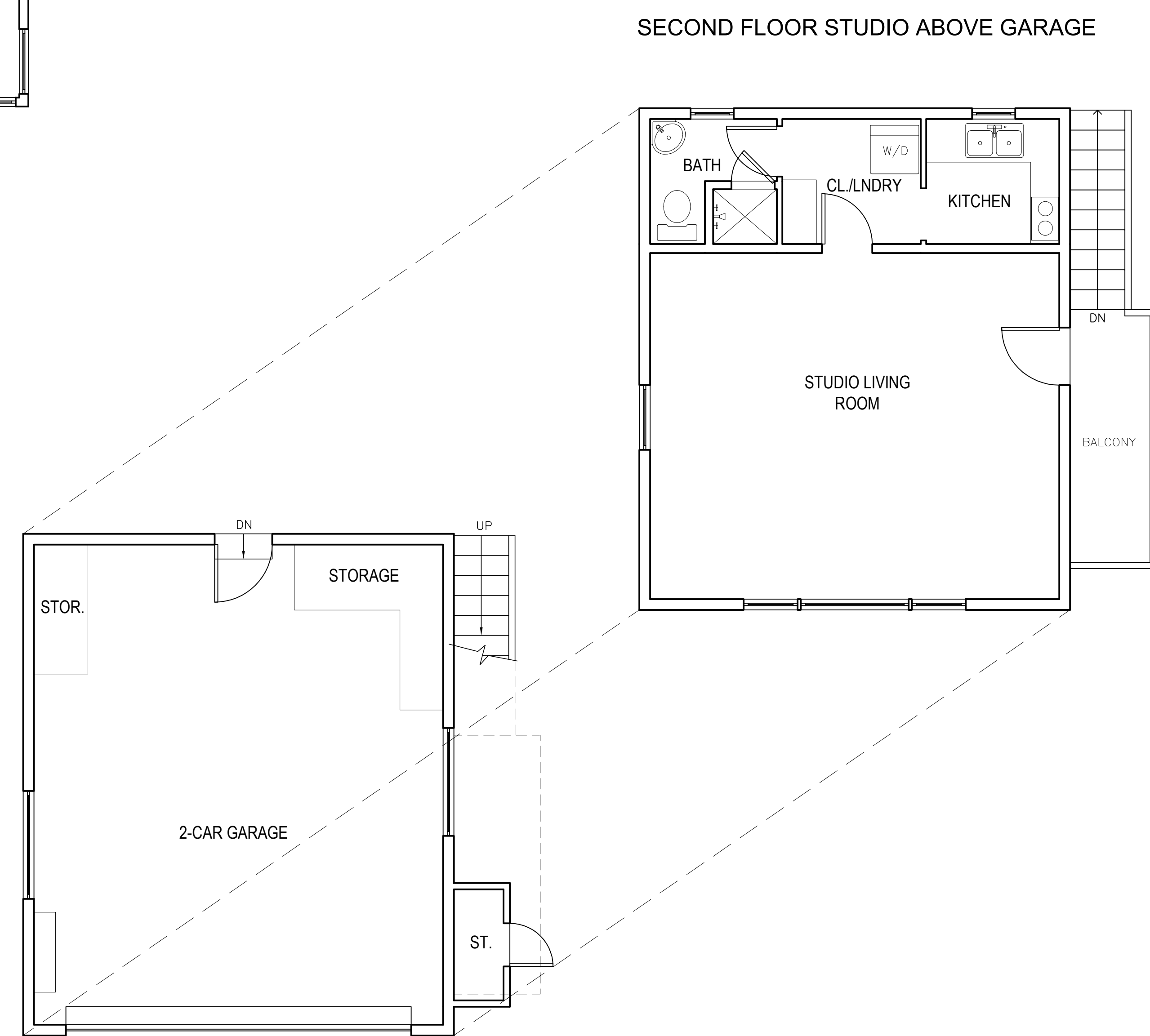
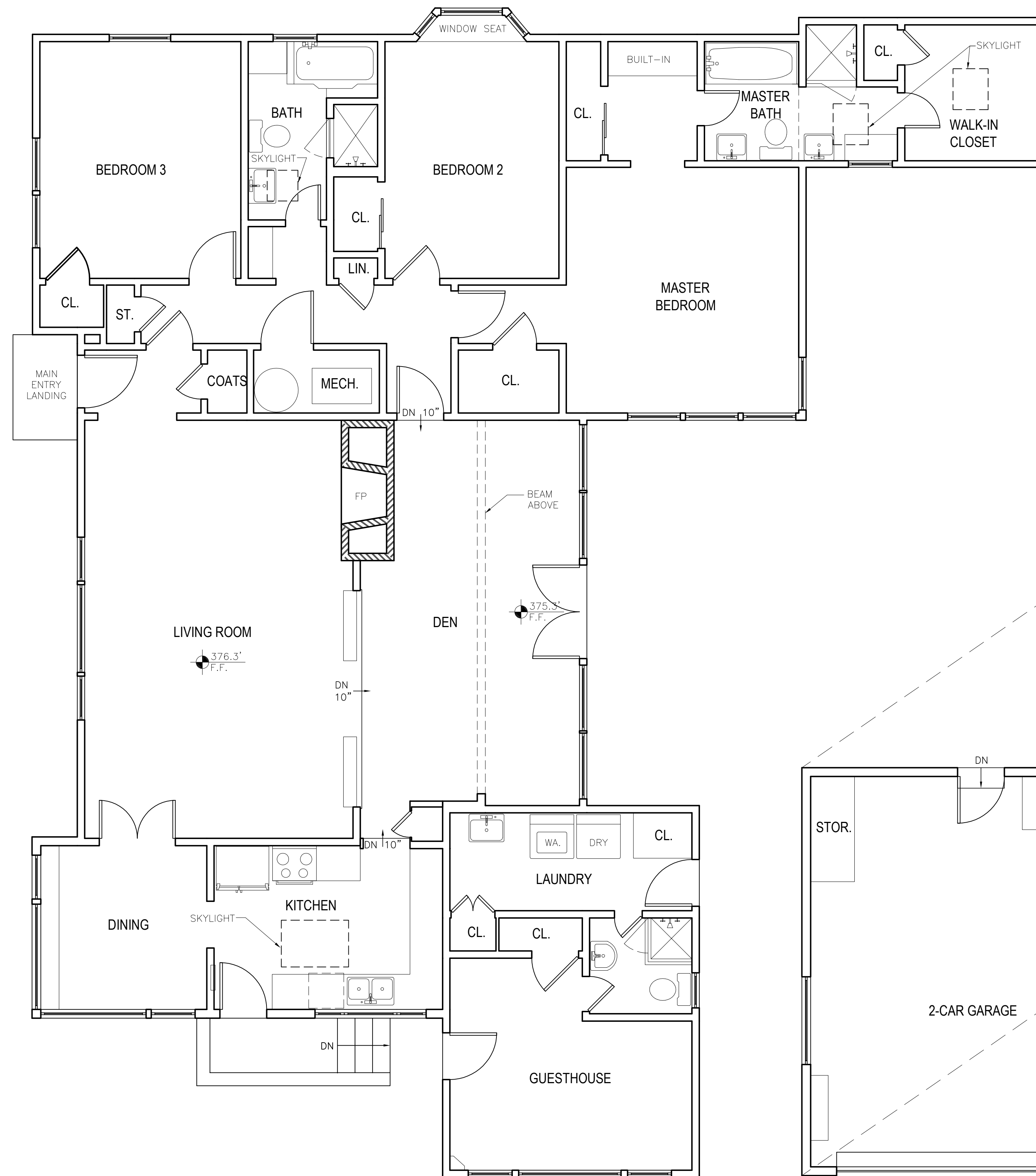
11-01-23	OWNERS REVISIONS
01-03-24	PLANNING REVISIONS

DEMOLITION PLAN

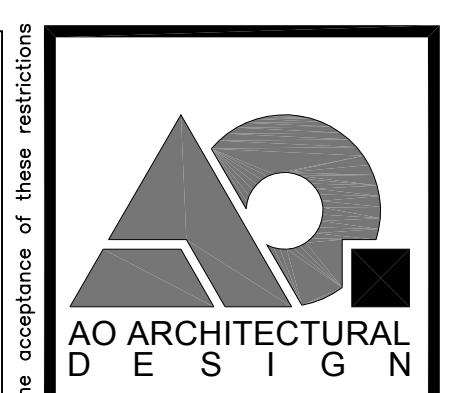
DATE: 06-11-23
DESIGN APPROVAL

SHEET NO.
A2.0

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EXISTING FLOOR PLAN 1/4" = 1'-0"



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THE DAS RESIDENCE

APN: 009-162-025
 NE CORNER OF STERLING WAY AND PERRY NEWBERRY WAY

REVISIONS:

EXISTING FLOOR PLAN

DATE: 08-22-23
 AS-BUILT

SHEET NO.
A2.1

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REVISIONS:
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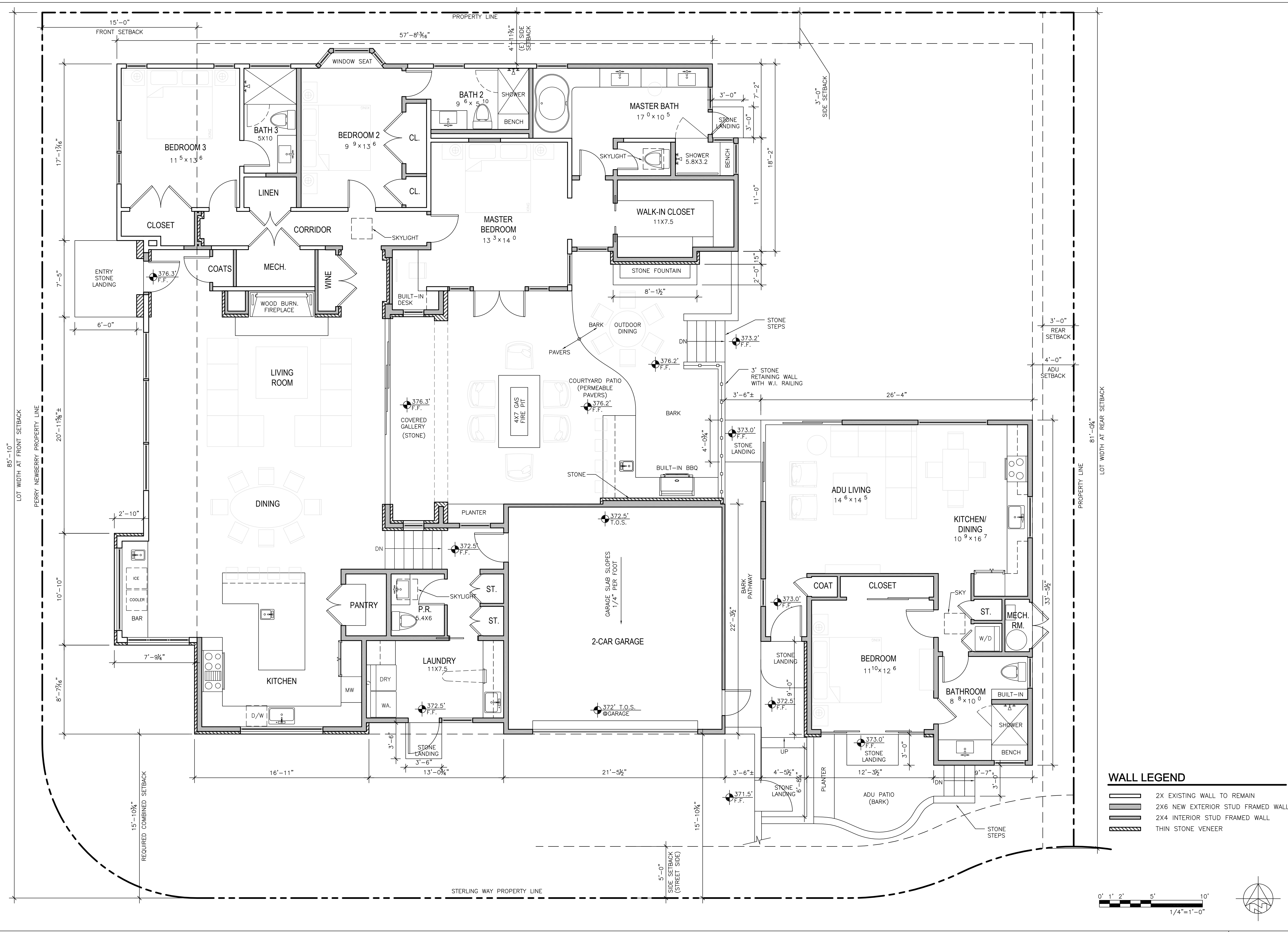
PROPOSED FLOOR PLAN

DATE: 06-11-23

DESIGN APPROVAL

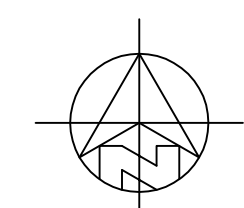
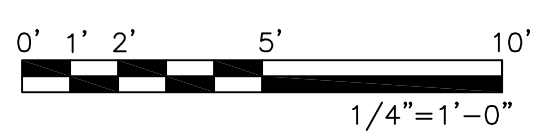
SHEET NO.

A2.2



WALL LEGEND

	2X EXISTING WALL TO REMAIN
	2X6 NEW EXTERIOR STUD FRAMED WALL
	2X4 INTERIOR STUD FRAMED WALL
	THIN STONE VENEER



PROPOSED FLOOR PLAN 1/4"=1'-0"

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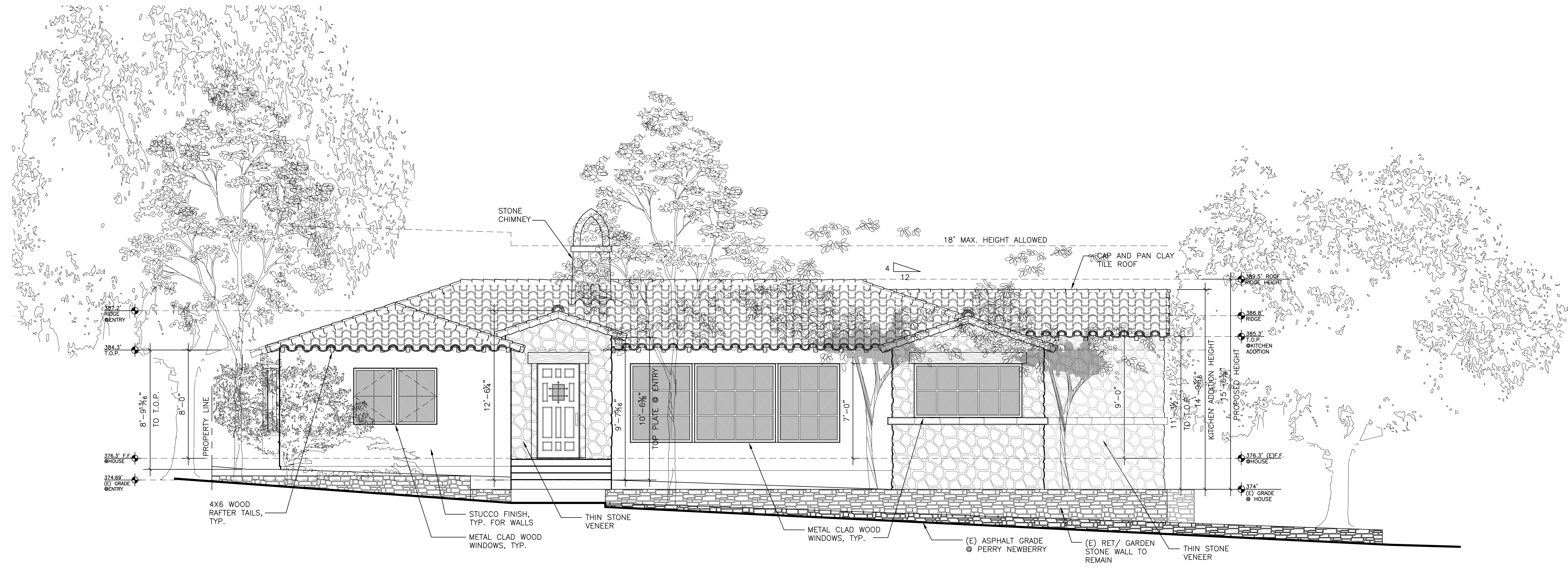
REVISIONS:

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▲	01-03-24	PLANNING REVISIONS
▲		
▲		

EXTERIOR
ELEVATIONS

DATE: 06-11-23
DESIGN APPROVAL

SHEET NO.
A6.0



PROPOSED WEST (FRONT) ELEVATION (PERRY NEWBERRY) 1/4"=1'-0"



EXISTING WEST (FRONT) ELEVATION (PERRY NEWBERRY) 1/4"=1'-0"

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NE CORNER OF STERLING WAY AND PERRY NEWBERRY WAY

REVISIONS:

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01-03-24	PLANNING REVISIONS

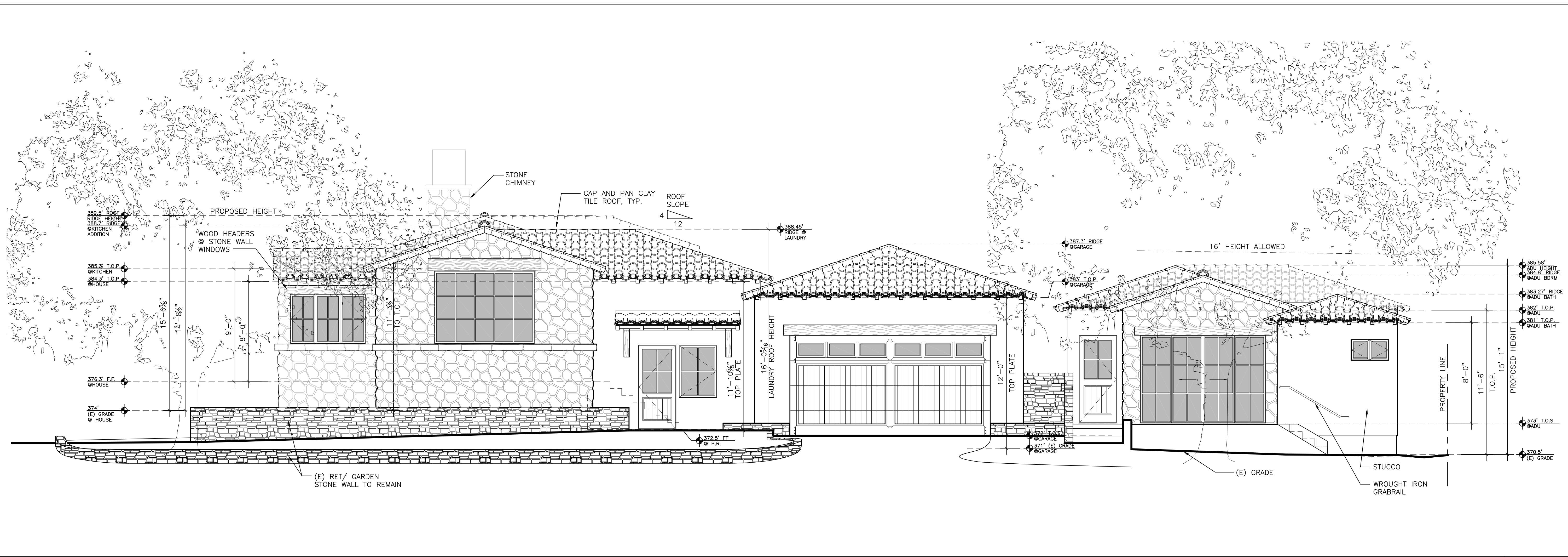
EXTERIOR ELEVATIONS

DATE: 06-11-23

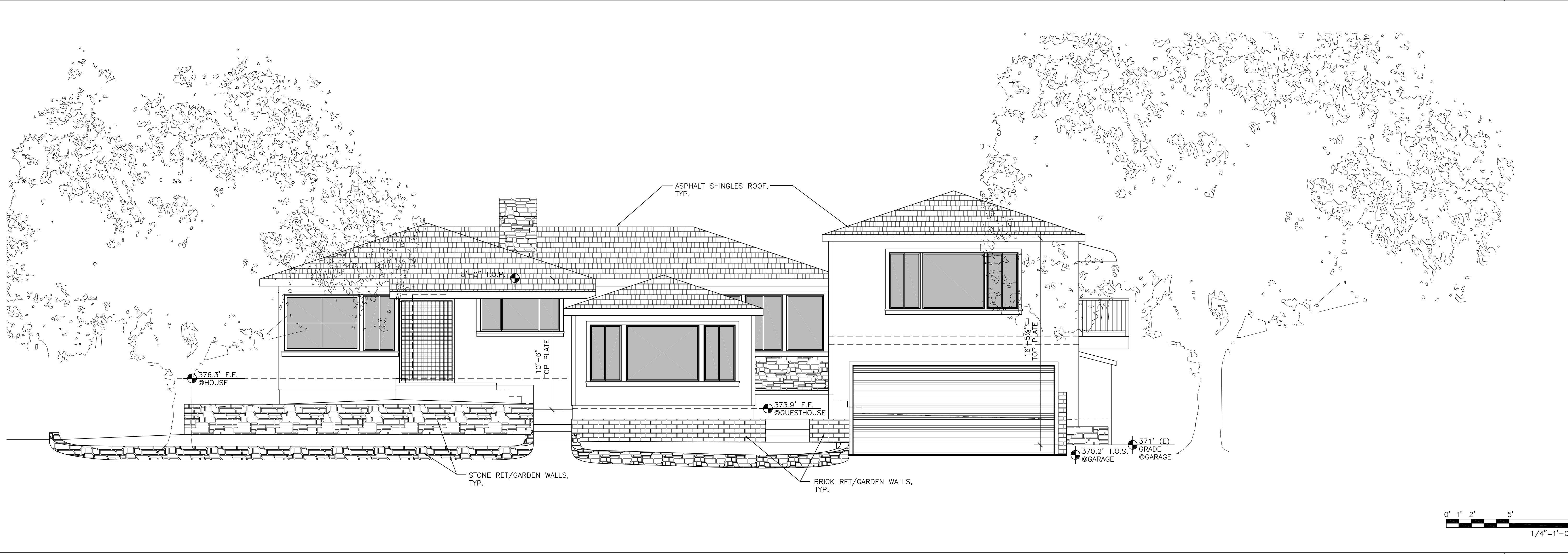
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SHEET NO.

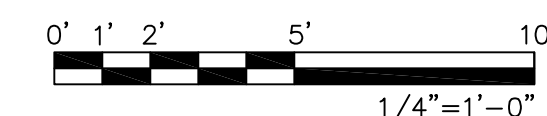
A6.1



PROPOSED SOUTH ELEVATION (STERLING WAY) 1/4"=1'-0"



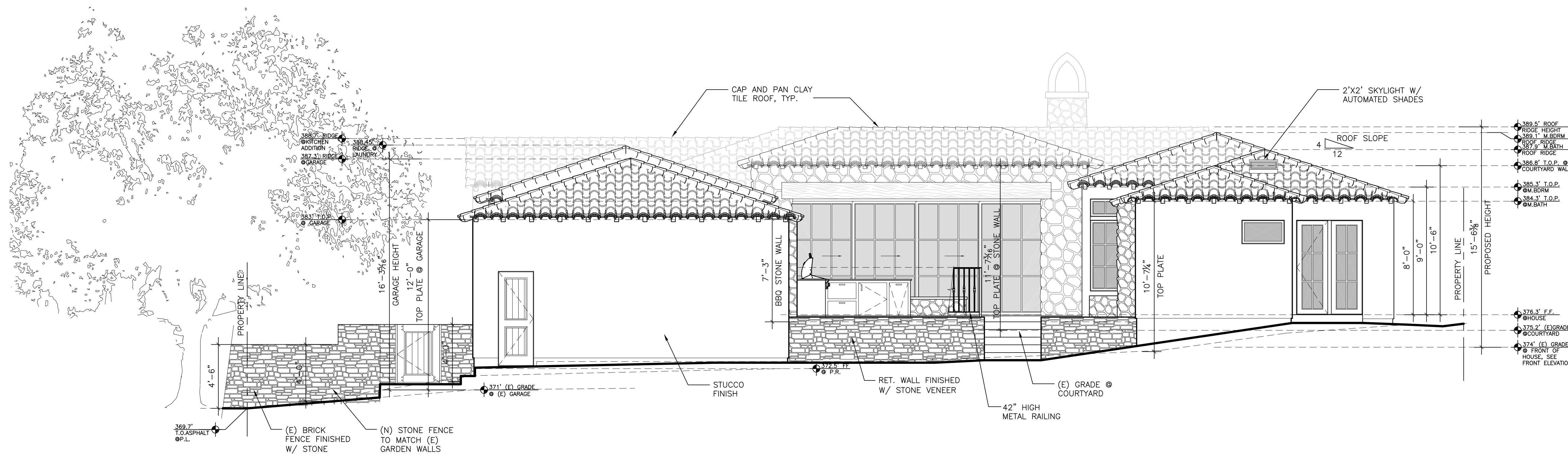
EXISTING SOUTH ELEVATION (STERLING WAY) 1/4"=1'-0"



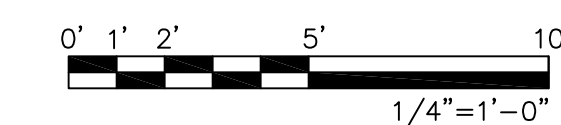
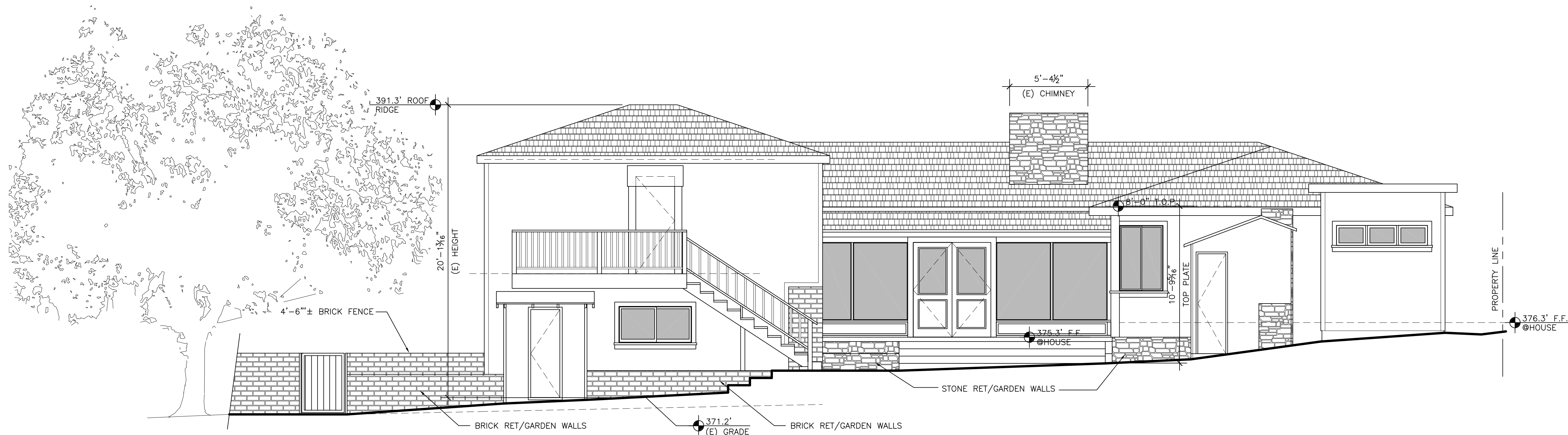
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NE CORNER OF STERLING WAY AND PERRY NEWBERRY WAY



PROPOSED EAST ELEVATION (COURTYARD) 1/4"=1'-0"



EXISTING EAST ELEVATION (COURTYARD) 1/4"=1'-0"

REVISIONS:

11-01-23	OWNERS REVISIONS
01-03-24	PLANNING REVISIONS

EXTERIOR
ELEVATIONS

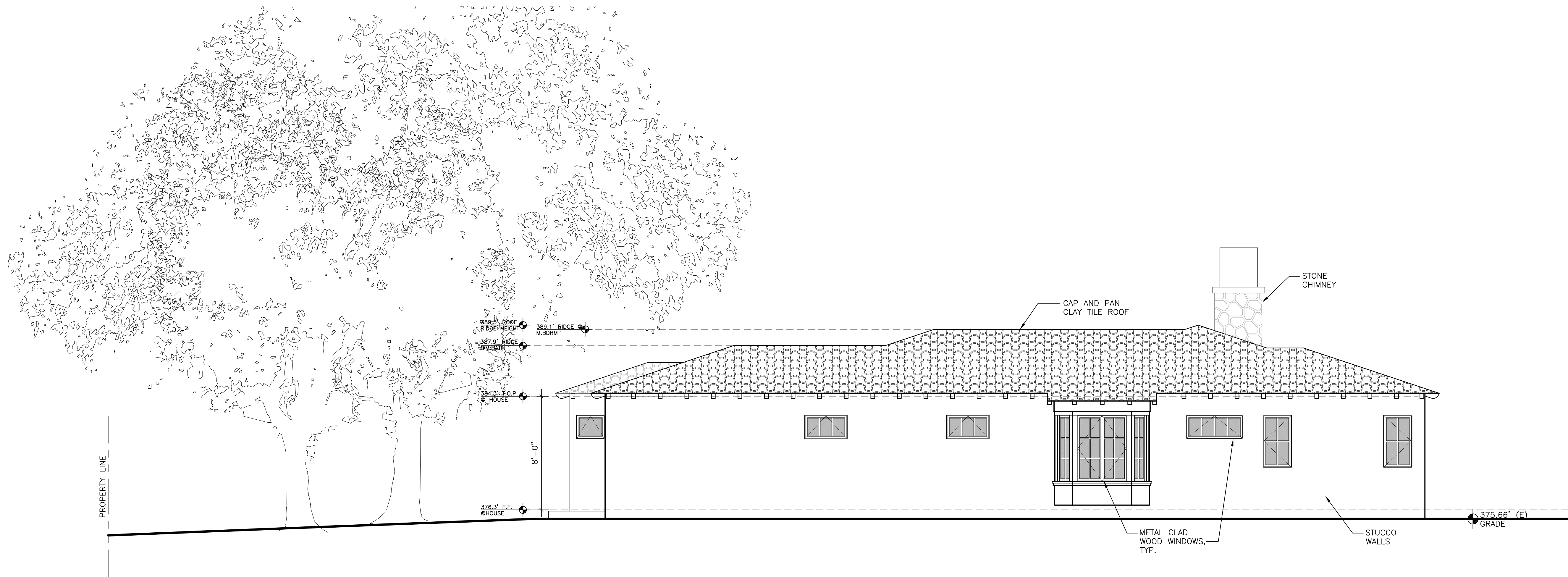
DATE: 06-11-23

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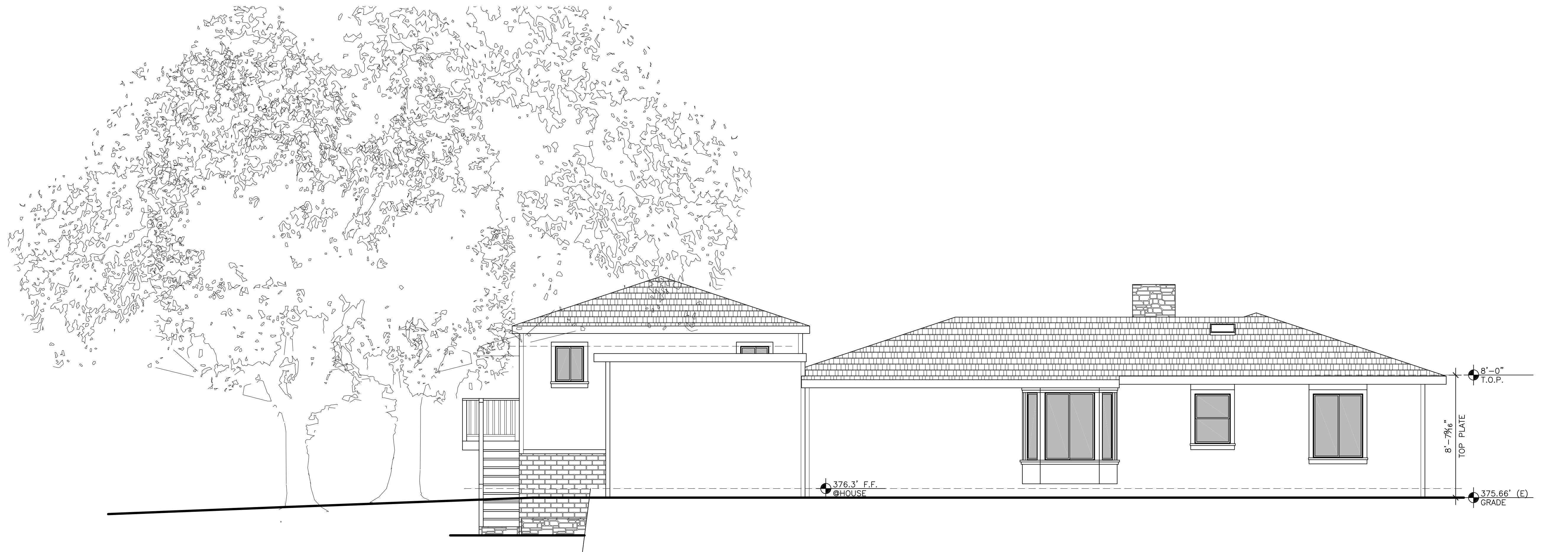
SHEET NO.

A6.2

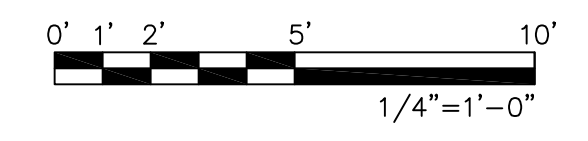
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PROPOSED NORTH ELEVATION 1/4"=1'-0"



EXISTING NORTH ELEVATION 1/4"=1'-0"



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NE CORNER OF STERLING WAY AND PERRY NEWBERRY WAY

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EXTERIOR ELEVATIONS

DATE: 06-11-23

DESIGN APPROVAL

SHEET NO.

A6.3

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REVISIONS:

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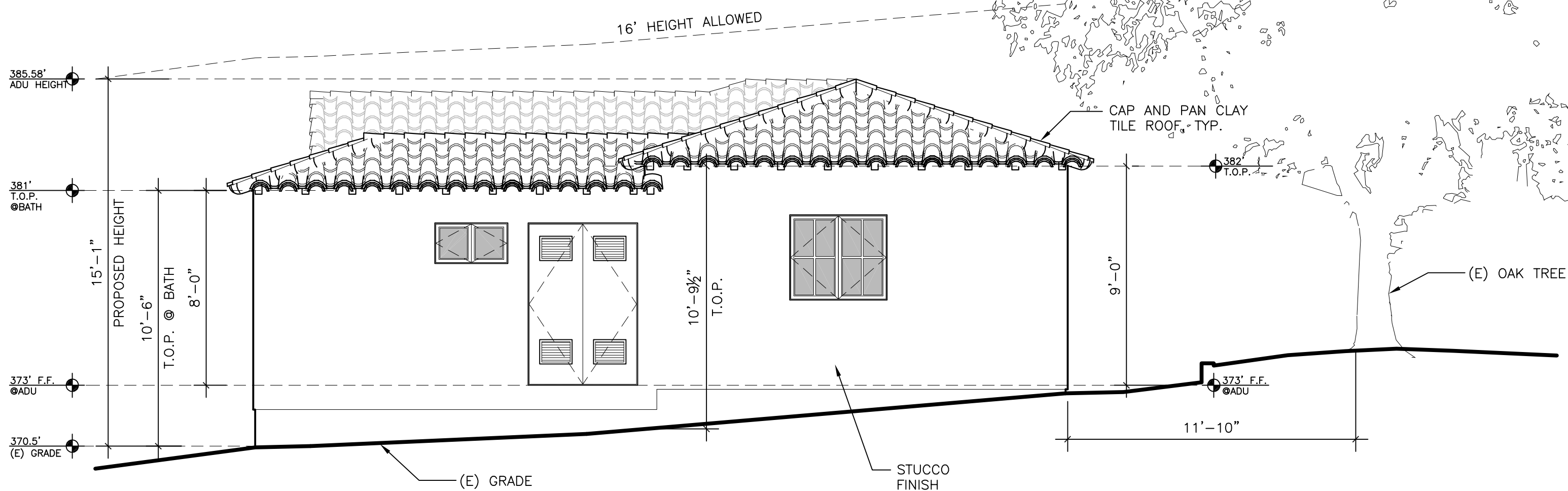
ADU EXTERIOR ELEVATIONS

DATE: 06-11-23

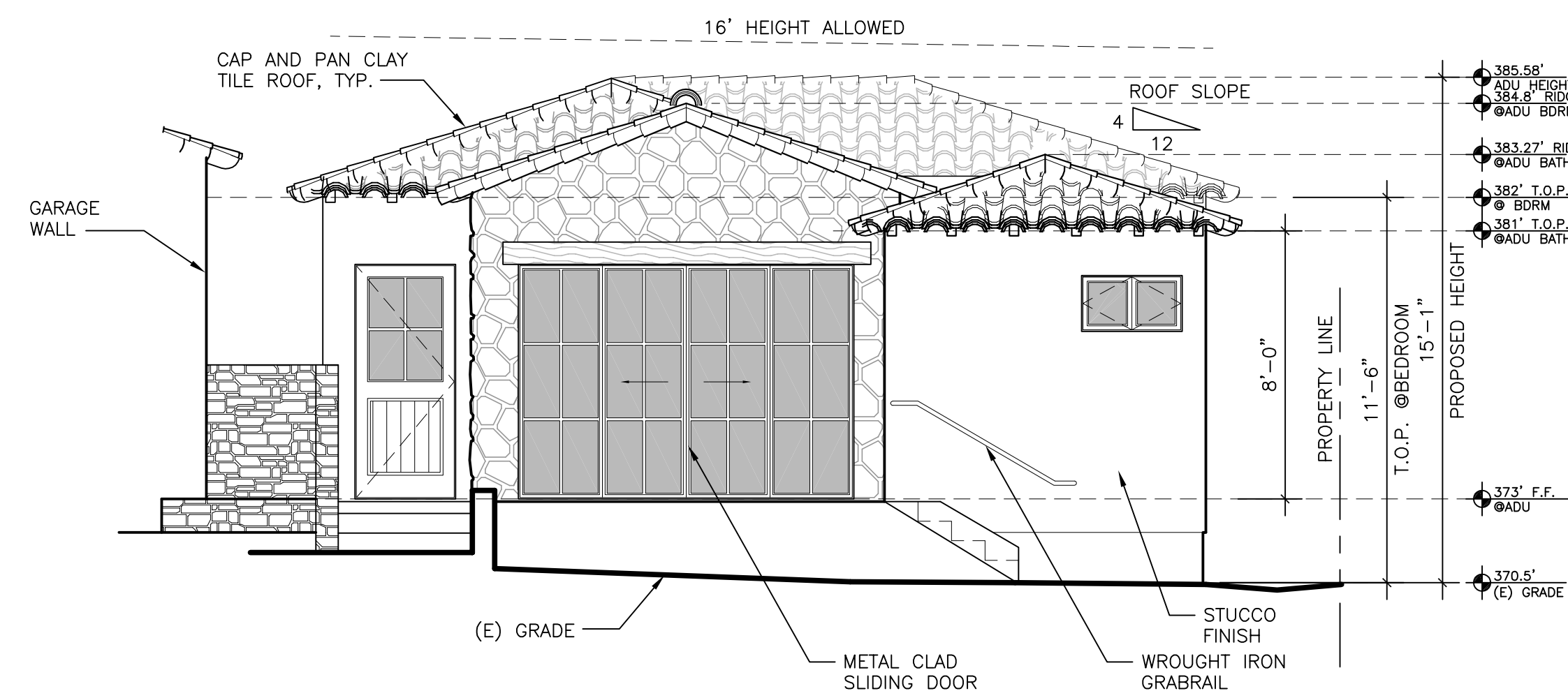
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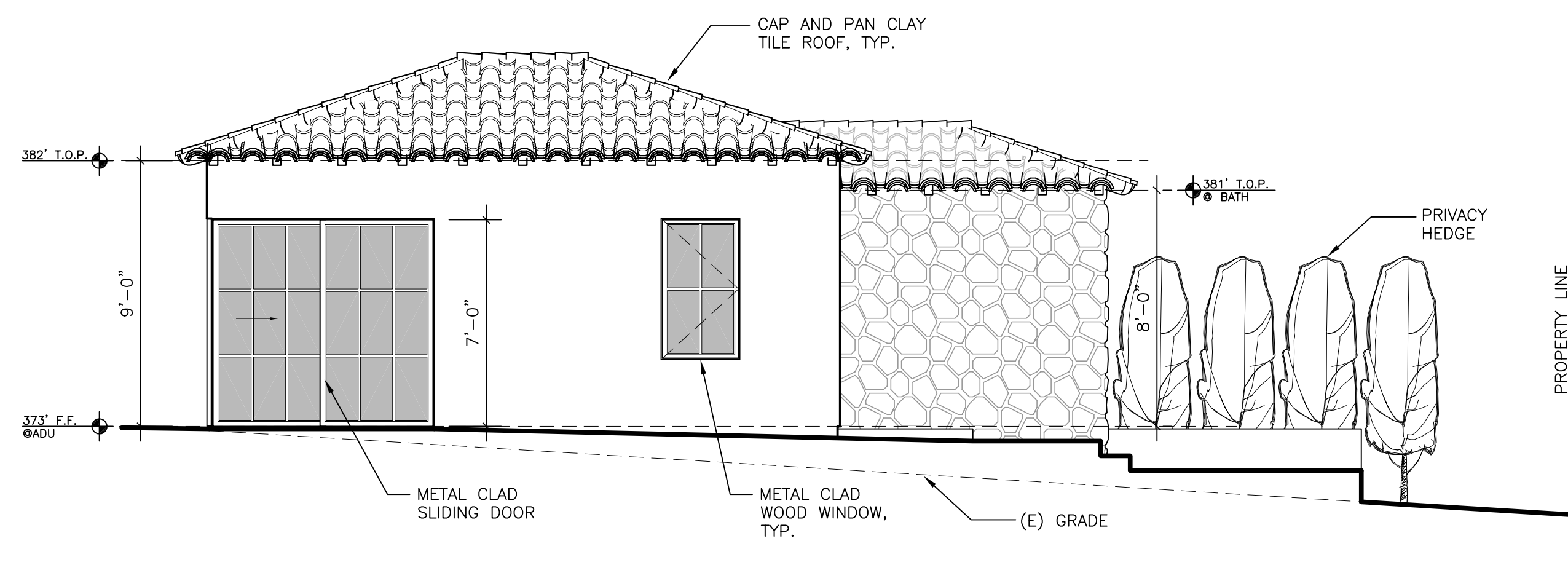
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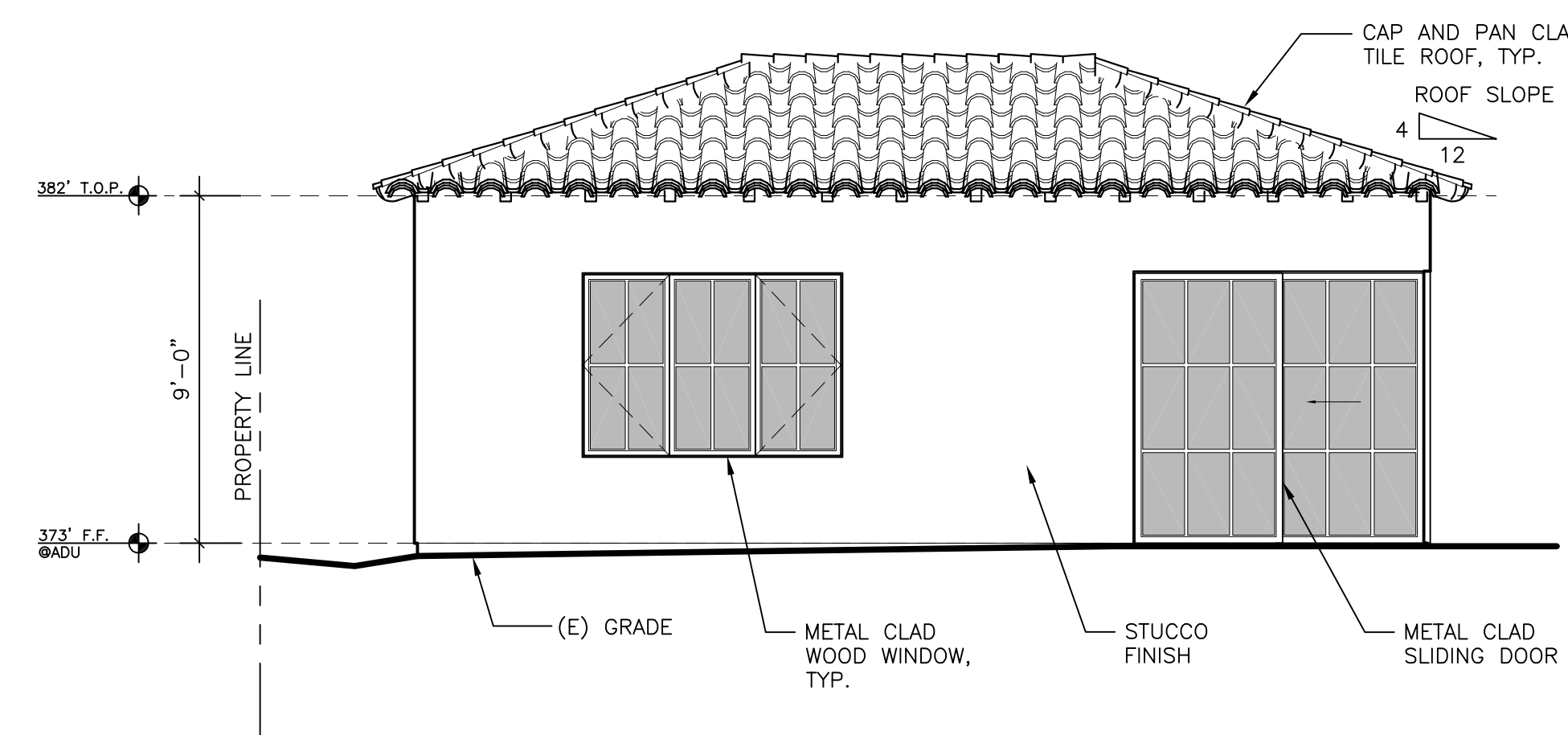
ADU EAST ELEVATION 1/4"=1'-0"



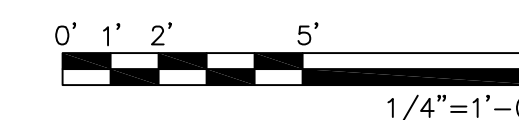
ADU FRONT ELEVATION (SOUTH) 1/4"=1'-0"



ADU WEST ELEVATION 1/4"=1'-0"



ADU NORTH ELEVATION 1/4"=1'-0"



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5TH AVENUE



PROPOSED

PROJECT SITE
PERRY NEWBERRY WAY STREET ELEVATION

STERLING WAY

5TH AVENUE



EXISTING

PROJECT SITE
PERRY NEWBERRY WAY STREET ELEVATION

STERLING WAY

PERRY NEWBERRY WAY ELEVATION

1/8"=1'-0"

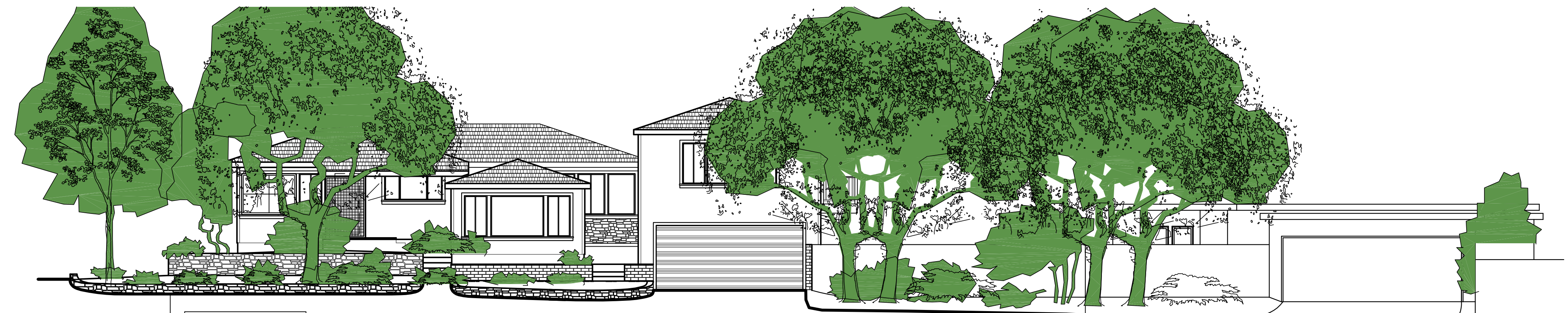
PERRY NEWBERRY WAY



PROPOSED

PROJECT SITE
STERLING WAY STREET ELEVATION

PERRY NEWBERRY WAY

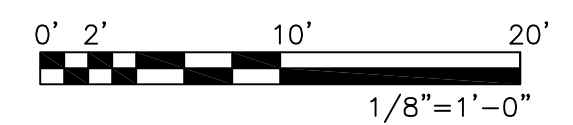


EXISTING

PROJECT SITE
STERLING WAY STREET ELEVATION

STERLING WAY ELEVATION

1/8"=1'-0"



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NE CORNER OF STERLING WAY AND PERRY NEWBERRY WAY

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STREETSCAPE ELEVATIONS

DATE: 06-11-23

DESIGN APPROVAL

SHEET NO.

A7.0

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REVISIONS:

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01-03-24	PLANNING REVISIONS

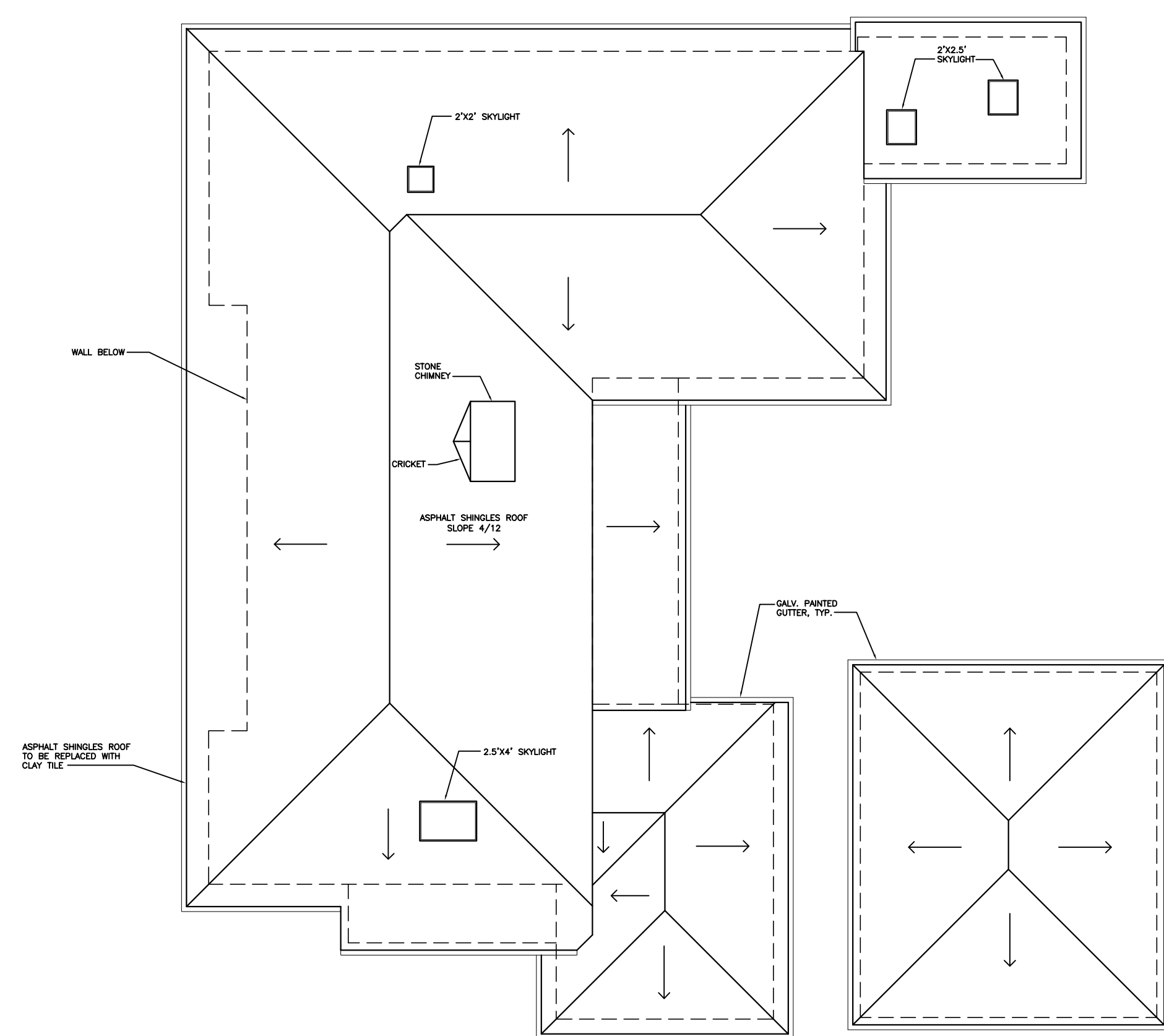
ROOF PLANS

DATE: 06-11-23

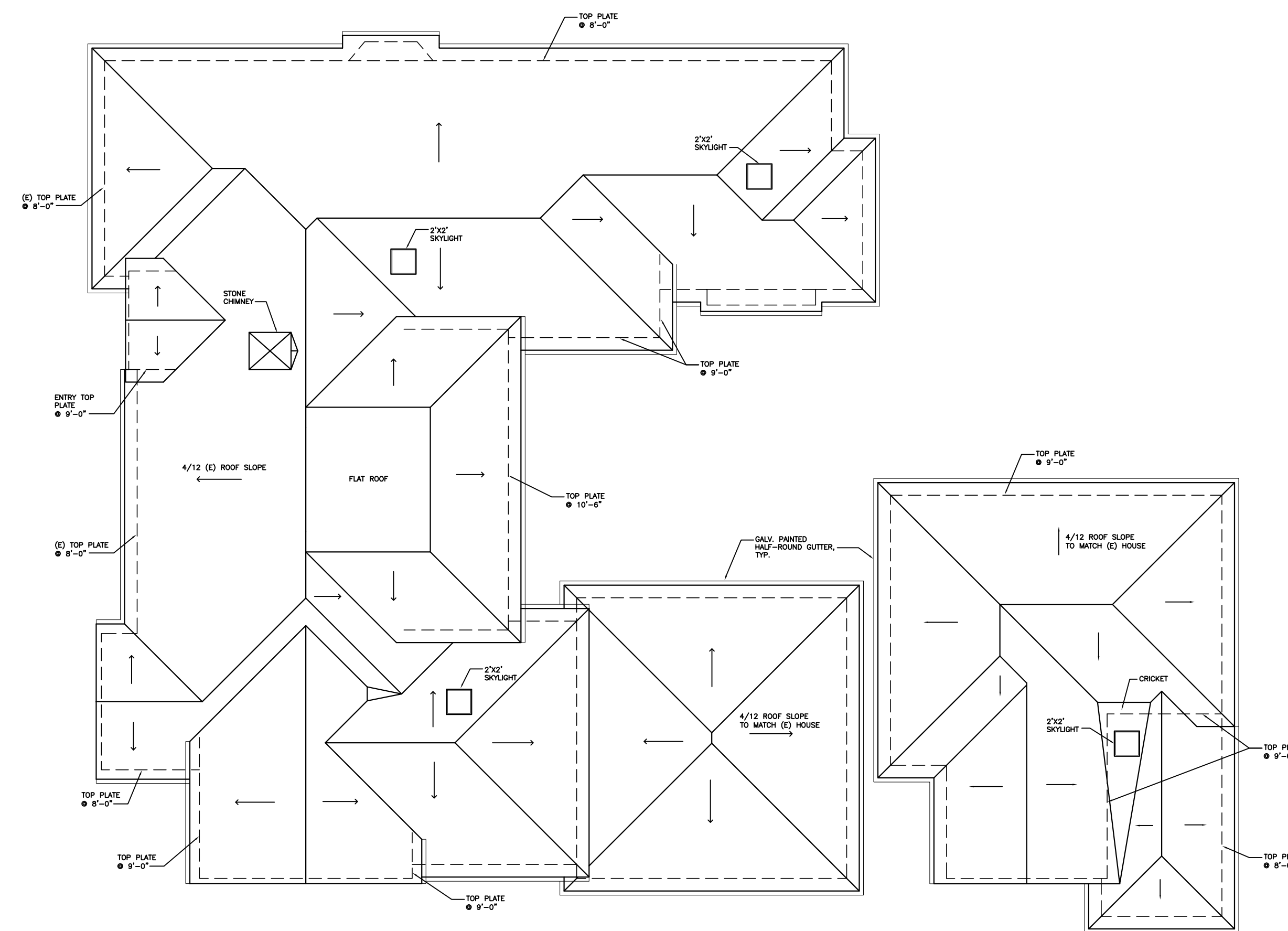
DESIGN APPROVAL

SHEET NO.

A8.0



EXISTING ROOF PLAN 1/8"=1'-0"



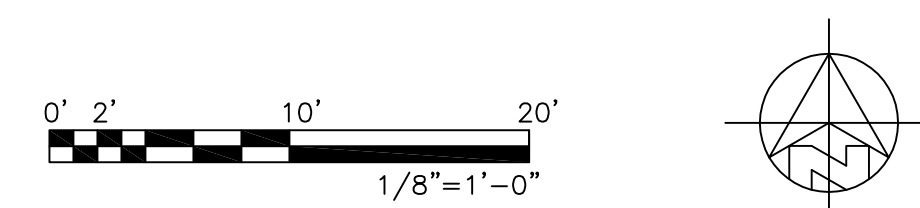
GENERAL ROOF NOTES

ROOF MATERIAL - CLASS 'A' CAP AND PAN CLAY TILE ROOF
- CLASS 'A' 3-PLY (TAR AND GRAVEL) FLAT ROOF

ROOF SLOPE - 4/12 TO MATCH EXISTING

OVERHANG - 12", U.O.N.

PAINTED GALV. HALF-ROUND GUTTERS WITH ROUND DOWNSPOUTS



PROPOSED ROOF PLAN 1/8"=1'-0"

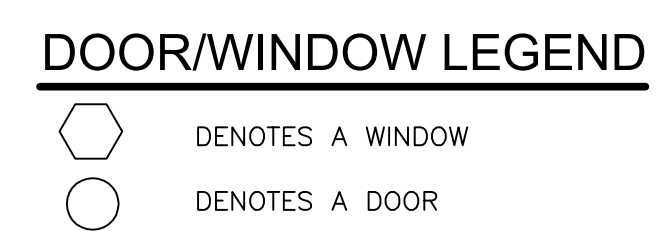
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HOUSE DOOR SCHEDULE					
DOOR NO.	DOOR SIZE		ACTION	GLASS	NOTES
	WIDTH	HEIGHT			
HOUSE					
1	3'-0"	7'-0"			ENTRY DOOR
2	3'-0"	6'-8"	SWING	TEMPERED	⊗ LAUNDRY
3	16'-0"	8'-0"			SOLID WOOD paneled GARAGE DOOR. 6 GLASS PANELS AT TOP
4	2'-6"	6'-8"	SWING		SOLID WOOD ⊗ GARAGE
5	18'-0"	8'-0"	SLIDING	TEMPERED	4-PANEL GLASS DOOR ⊗ LIVING ROOM
6	5'-0"	6'-8"	SWING	TEMPERED	PAIR OF 2'-6" DOORS ⊗ MASTER BDRM.
7	2'-2"	6'-8"	SWING	TEMPERED	⊗ MASTER BATH
8	2'-6"	6'-8"	SWING		⊗ COAT CLOSET
9	5'-0"	6'-8"	SWING	TEMPERED	PAIR OF 2'-6" GLASS DOORS ⊗ WINE ROOM
10	5'-0"	6'-8"	SWING		PAIR OF 2'-6" WOOD LOUVERED DOORS ⊗ MECH. ROOM
11	2'-8"	6'-8"	SWING		⊗ BEDROOM 3
12	6'-0"	6'-8"	SWING		PAIR OF 3'-0" DOORS ⊗ BEDROOM 3 CLOSET
13	2'-6"	6'-8"	SWING		⊗ BATH 3
14	2'-2"	6'-0"	SWING	TEMPERED	⊗ BATH 3 SHOWER
15	4'-0"	6'-8"	SWING		⊗ LINEN
16	2'-8"	6'-8"	SWING		⊗ BEDROOM 2
17	2'-6"	6'-8"	SWING		⊗ BEDROOM 2 CLOSET
18	5'-0"	6'-8"	SWING		PAIR OF 2'-6" DOORS ⊗ BEDROOM 2 CLOSET
19	2'-6"	6'-8"	SWING		⊗ BATH 2
20	2'-2"	6'-8"	SWING	TEMPERED	⊗ BATH 2 SHOWER
21	2'-8"	6'-8"	SWING		⊗ MASTER BEDROOM
22	3'-0"	6'-8"	POCKET		PAIR OF 1'-6" ⊗ MASTER BEDROOM CLOSET
23	2'-6"	6'-8"	SWING		⊗ MASTER BATH
24	2'-0"	6'-8"	SWING		⊗ MASTER BATH TOILET
25	3'-0"	6'-0"	SWING	TEMPERED	⊗ MASTER BATH SHOWER
26	4'-0"	7'-0"	SWING		PAIR OF 2'-0" ⊗ PANTRY
27	2'-6"	6'-8"	SWING		⊗ POWDER ROOM
28	2'-10"	6'-8"	POCKET		⊗ LAUNDRY
29	2'-10"	6'-8"	SWING		PAIR OF 1'-5" ⊗ STORAGE
30	2'-10"	6'-8"	SWING		PAIR OF 1'-5" ⊗ STORAGE
31	2'-10"	6'-8"	SWING		20-MIN FIRE-RATED SELF-CLOSING, SELF-LATCHING ⊗ GARAGE

ADU DOOR SCHEDULE					
DOOR NO.	DOOR SIZE		ACTION	GLASS	NOTES
	WIDTH	HEIGHT			
1	3'-0"	7'-0"	SWING	TEMPERED	ADU ENTRY DOOR
2	8'-0"	7'-0"	SLIDING	TEMPERED	⊗ LIVING ROOM (CORNER DOOR W/ DOOR #3)
3	8'-0"	7'-0"	SLIDING	TEMPERED	⊗ LIVING ROOM (CORNER DOOR W/ DOOR #2)
4	4'-6"	6'-8"	SWING		PAIR OF 2'-3" ⊗ MECH. ROOM, LOUVERED
5	10'-0"	7'-0"	SLIDING	TEMPERED	PAIR OF 5'-0" DOORS (4 GLASS PANELS TOTAL X00X)
6	1'-10"	7'-0"	SWING		⊗ COAT CLOSET
7	2'-8"	6'-8"	SWING		⊗ BEDROOM
8	8'-0"	6'-8"	SLIDING		PAIR OF 4'-0" ⊗ BEDROOM CLOSET
9	2'-6"	6'-8"	SWING		⊗ BEDROOM / BATH
10	2'-2"	6'-0"	SWING	TEMPERED	⊗ SHOWER
11	2'-6"	6'-8"	SWING		⊗ BATHROOM
12	2'-8"	6'-8"	BI-FOLD		⊗ LAUNDRY
13	1'-10"	6'-8"	SWING		⊗ STORAGE

ADU WINDOW SCHEDULE							
WNDW. NO.	WINDOW SIZE			TYPE	MTRL.	GLASS	NOTES
	WIDTH	HEIGHT	HEADER HEIGHT				
1	2'-8"	4'-8"	7'-0"	FIXED	WD		4 LITES
2	6'-8"	4'-8"	7'-0"	CASE/FIXED/CASE	WD		12 LITES (X0X)
3	4'-0"	3'-6"	7'-0"	DBL.CASEMENT	WD		8 LITES
4	3'-0"	1'-8"	6'-8"	DBL.CASEMENT	WD		
5	3'-0"	1'-8"	6'-8"	DBL.CASEMENT	WD	TEMPERED	
6	2'-0"	2'-0"		SKYLIGHT	WD		PROVIDE AUTOMATED SHADES

HOUSE WINDOW SCHEDULE							
WNDW. NO.	WINDOW SIZE			TYPE	MTRL.	GLASS	NOTES
	WIDTH	HEIGHT	HEADER HEIGHT				
HOUSE							
1	4'-6"	5'-10"	7'-0"	FIXED	WD	TEMPERED	9 LITES
2	6'-0"	5'-10"	7'-0"	FIXED	WD	TEMPERED	12 LITES
3	4'-6"	5'-10"	7'-0"	FIXED	WD	TEMPERED	9 LITES
4	8'-0"	4'-0"	7'-0"	FIXED	WD		10 LITES
5	6'-0"	4'-0"	7'-0"	CASE/FIX/CASE	WD		12 LITES
6	8'-0"	5'-10"	8'-10"	FIXED	WD		15 LITES
7	3'-0"	4'-2"	6'-8"	CASEMENT	WD	TEMPERED	4 LITES
8	3'-0"	4'-6"	9'-8"	FIXED	WD		9 LITES
9	2'-0"	4'-6"	6'-8"	FIXED	WD	TEMPERED	6 LITES
10	2'-0"	4'-6"	6'-8"	FIXED	WD	TEMPERED	6 LITES
11	2'-0"	6'-8"	6'-8"	FIXED	WD	TEMPERED	MULLED W/ DOOR #6, 8 LITES
12	2'-0"	6'-8"	6'-8"	FIXED	WD	TEMPERED	MULLED W/ DOOR #6, 8 LITES
13	3'-0"	5'-0"	6'-8"	FIXED	WD	TEMPERED	9 LITES
14	2'-0"	1'-2"	8'-0"	FIXED	WD		TRANSOM WINDOW
15	5'-0"	1'-2"	8'-0"	FIXED	WD		TRANSOM WINDOW
16	2'-0"	1'-2"	8'-0"	FIXED	WD		TRANSOM WINDOW
17	3'-0"	1'-2"	8'-0"	FIXED	WD		TRANSOM WINDOW
18	3'-0"	5'-0"	6'-8"	FIXED	WD		9 LITES
19	3'-0"	1'-8"	6'-8"	FIXED	WD	TEMPERED	2 LITES
20	2'-0"	1'-8"	6'-8"	AWNING	WD	TEMPERED	
21	2'-2"	6'-8"	6'-8"	CASEMENT	WD		MULLED W/ DOOR #7 6 LITES
22	3'-0"	1'-8"	6'-8"	AWNING	WD	TEMPERED	3 LITES
23	3'-0"	1'-8"	6'-8"	AWNING	WD		3 LITES
24	1'-6"	4'-8"	6'-8"	FIXED	WD		6 LITES
25	2'-0"	2'-0"	6'-8"	DBL. CASEMENT	WD		EGRESS WINDOW, 12 LITES
26	1'-6"	4'-8"	6'-8"	FIXED	WD		6 LITES
27	4'-0"	1'-8"	6'-8"	AWNING	WD	TEMPERED	4 LITES
28	2'-0"	3'-8"	6'-8"	CASEMENT	WD		4 LITES
29	2'-0"	3'-8"	6'-8"	CASEMENT	WD		4 LITES
30	3'-0"	4'-2"	6'-8"	CASEMENT	WD		EGRESS WINDOW, 4 LITES
31	3'-0"	4'-2"	6'-8"	CASEMENT	WD		4 LITES
32	2'-0"	2'-0"		SKYLIGHT	WD		PROVIDE AUTOMATED SHADES
33	2'-0"	2'-0"		SKYLIGHT	WD		PROVIDE AUTOMATED SHADES
34	2'-0"	2'-0"		SKYLIGHT	WD		PROVIDE AUTOMATED SHADES

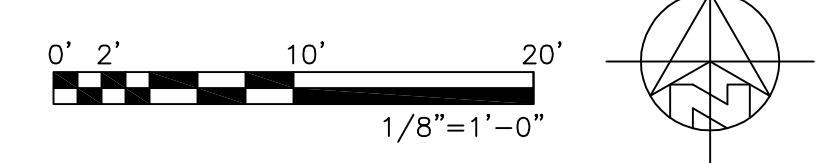
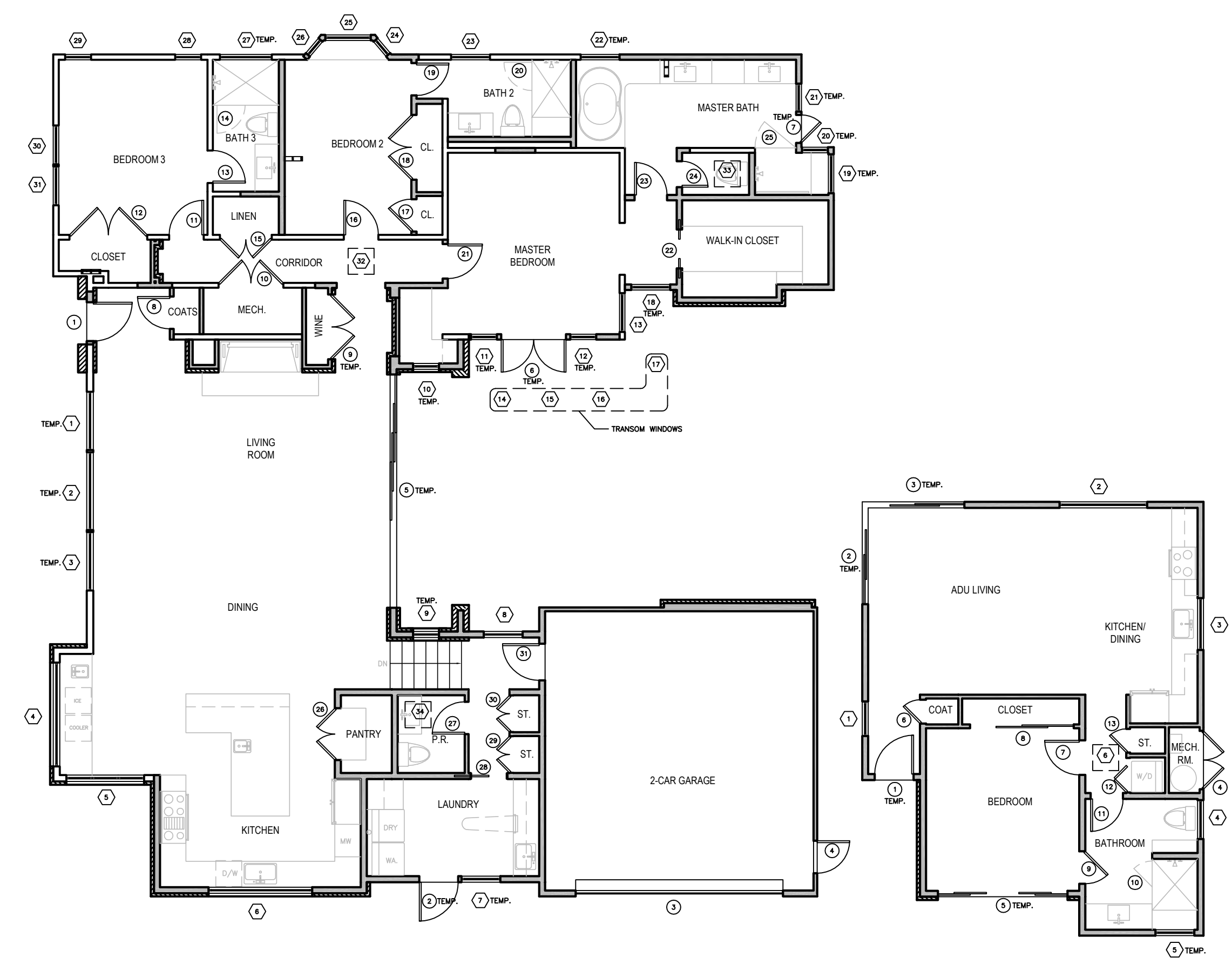


DOOR NOTES:

- EXTERIOR SLIDING DOORS AND FRONT DOOR TO BE METAL CLAD WOOD DOORS (SIERRA PACIFIC OR EQUAL).
- ALL GLAZING IN DOORS SHALL BE TEMPERED GLASS (CBC 2406.4.1, CRC R308.4.1).
- CONTRACTOR TO VERIFY ALL ASPECTS OF DOORS AND PROVIDE SHOP DRAWINGS PRIOR TO ORDERING.
- ALL EXPOSED EDGES TO BE SEALED TO PREVENT MOISTURE PENETRATION AND WARPING.

WINDOW NOTES:

- ALL WINDOWS TO BE METAL CLAD WOOD WINDOWS (SIERRA PACIFIC OR EQUAL).
- ALL WINDOWS TO BE DOUBLE GLAZED.
- FOR WINDOWS THAT SERVE AS EMERGENCY EGRESS FROM SLEEPING AREAS:
 - MINIMUM NET CLEAR OPENING DIMENSION OF 24 INCHES IN HEIGHT.
 - MINIMUM NET CLEAR OPENING DIMENSION OF 20 INCHES IN WIDTH.
 - MINIMUM NET CLEAR OPENING DIMENSION OF 5.7 SQUARE FEET IN AREA.
 - BOTTOM OF SUCH OPENINGS SHALL NOT EXCEED 44 INCHES ABOVE FLOOR (CRC R310.2.1, R310.2.2)
- GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL ADJACENT TO A DOOR WHERE THE NEAREST VERTICAL EDGE OF THE GLAZING IS WITHIN A 24-INCH ARC OF EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION AND WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE THE WALKING SURFACE SHALL BE CONSIDERED A HAZARDOUS LOCATION REQUIRING SAFETY GLAZING MATERIALS (CBC 2406.4.2).
- GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL THAT MEETS ALL OF THE FOLLOWING CONDITIONS SHALL BE CONSIDERED A HAZARDOUS LOCATION REQUIRING SAFETY GLAZING MATERIALS:
 - THE EXPOSED AREA OF AN INDIVIDUAL PANE IS GREATER THAN 9 SQUARE FEET.
 - THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 18 INCHES ABOVE THE FLOOR.
 - THE TOP EDGE OF THE GLAZING IS GREATER THAN 36 INCHES ABOVE THE FLOOR.
 - ONE OR MORE WALKING SURFACE(S) ARE WITHIN 36 INCHES, MEASURED HORIZONTALLY AND IN A STRAIGHT LINE, OF THE PLANE OF THE GLAZING (CBC 2406.4.3).



FLOOR PLAN 1/8"=1'-0"

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THE DAS RESIDENCE
 APN: 009-162-025
 NE CORNER OF STERLING WAY AND PERRY NEWBERRY WAY

REVISIONS:

11-01-23	OWNERS REVISIONS
01-03-24	PLANNING REVISIONS

WIN/DOOR SCHEDULE

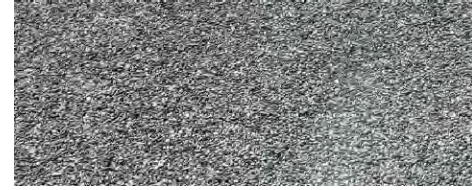
DATE: 06-11-23
 DESIGN APPROVAL

SHEET NO.
A9.0

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MCA CLASSIC TAPERED MISSION CAP AND PAN CLAY TILE (VINTAGE BUFF COLOR FAMILY, CB-383R TEJA BIANCO BLEND) OR EQUAL



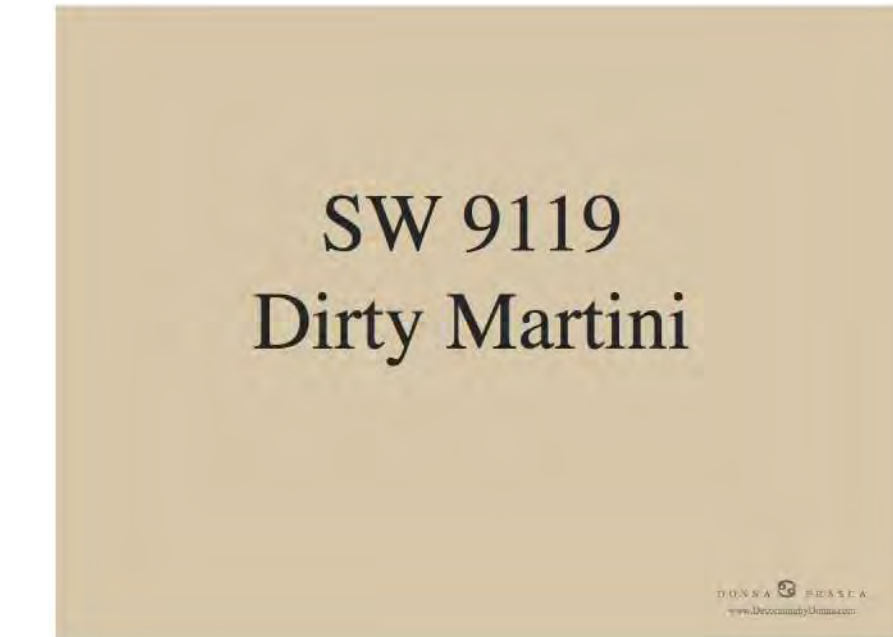
TAR AND GRAVEL FLAT ROOF



WHITE-OAK HAND-SCRAPED HEADERS/BEAMS, NATURALLY AGED



THIN STONE VENEER TUSCAN GOLD



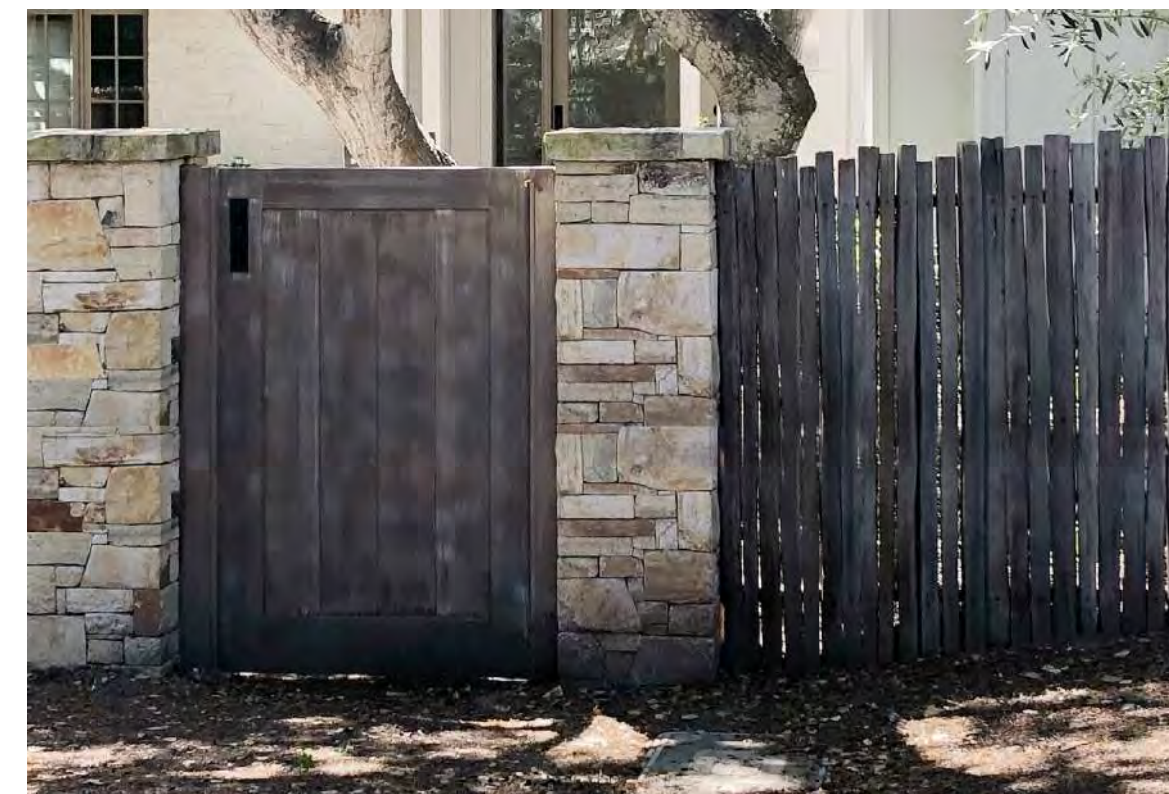
ELASTOMERIC PAINT OVER STUCCO SHERWIN-WILLIAMS COLOR SW 9119 DIRTY MARTINI

ROOF

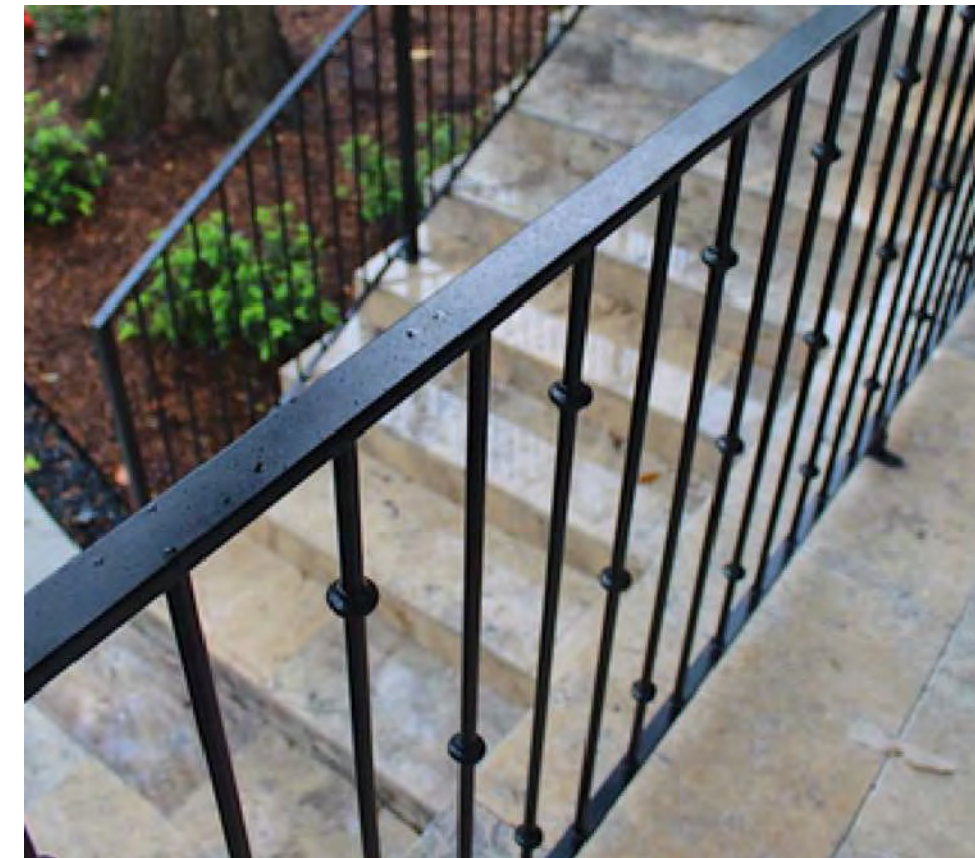
WOOD DETAILS (HEADERS/BEAMS)

STONE WALLS

STUCCO WALLS



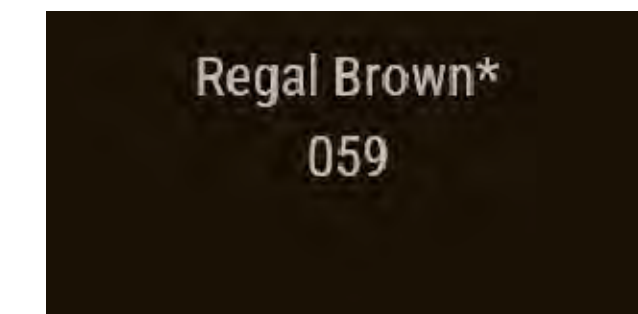
REDWOOD GATE NATURALLY AGED



METAL RAILING AT BBQ AREA COLOR: BLACK



REDWOOD RAFTER TAILS AND T&G DECKING PAINTED TO MATCH WINDOWS AND DOORS GALVANIZED PAINTED HALF-ROUND GUTTERS WITH ROUND DOWNSPOUTS (BROWN COLOR TO MATCH RAFTER TAILS AND WINDOWS)



SIERRA PACIFIC ALUMINUM CLAD WOOD WINDOWS AND EXTERIOR DOORS (OR EQUAL) COLOR: REGAL BROWN 059

WOOD GATE AT DRIVEWAY

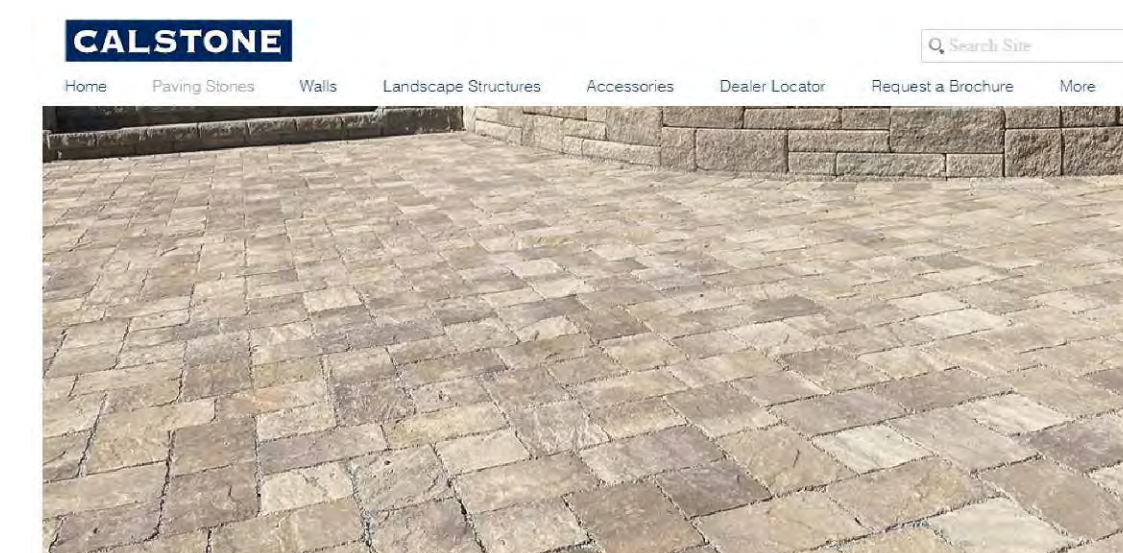
RAILING

RAFTERS AND GUTTERS

WINDOWS AND DOORS

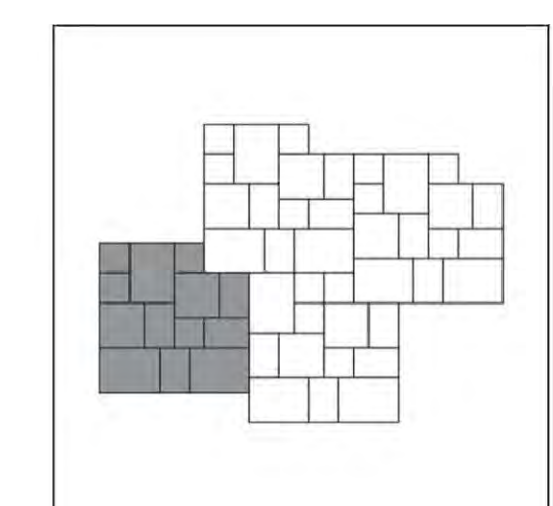
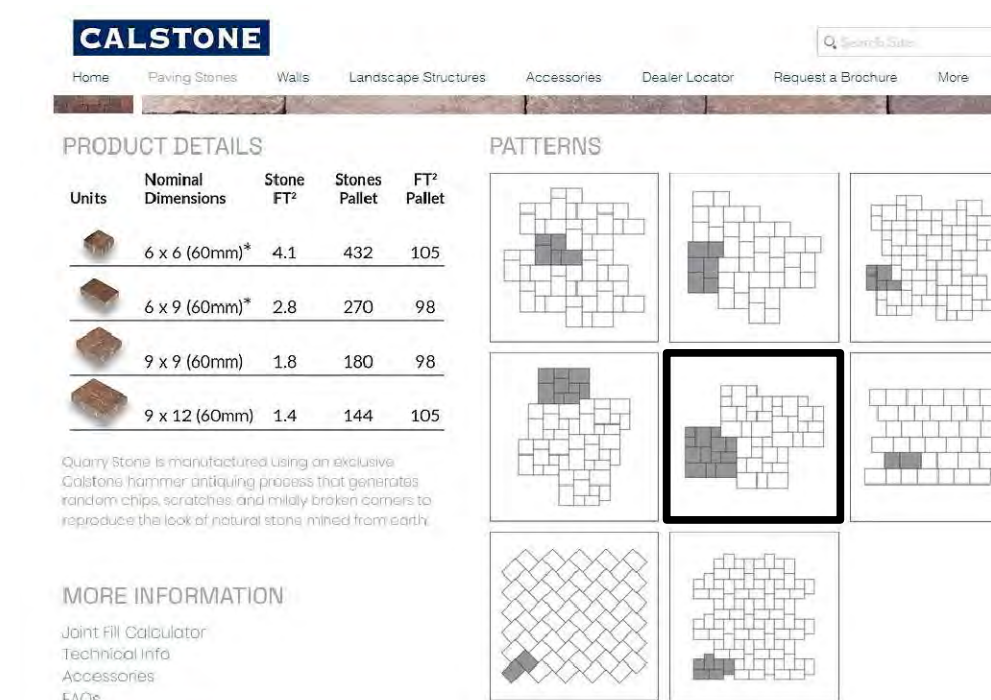


CALSTONE NARROW JOINT PERMEABLE PAVERS. COLOR: CAMERON CREAM PATTERN: 6X9 45 DEGREE HERRINGBONE



Narrow Joint Permeable Quarry Stone

CALSTONE NARROW JOINT PERMEABLE QUARRY STONE COLOR: CAMERON CREAM PATTERN: QSB



QSB

COURTYARD AND LANDINGS PAVERS

DRIVEWAY



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Table with 2 columns: Revisions, Dates. Includes entries for 11-01-23 Owners Revisions, 01-03-24 Planning Revisions, and 06-11-23 Design Approval.

FINISH MATERIAL AND COLORS

DATE: 06-11-23

DESIGN APPROVAL

SHEET NO.

A10.0

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