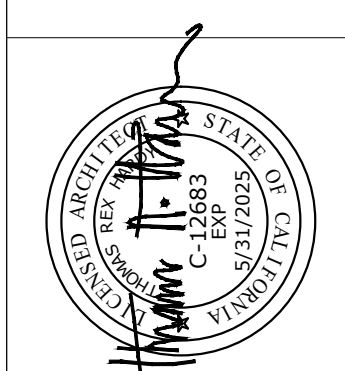


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Presssey Ana & Daniel
PressseyProject 3rd & Santa Fe,
Carmel

APN: 010-029-019-000

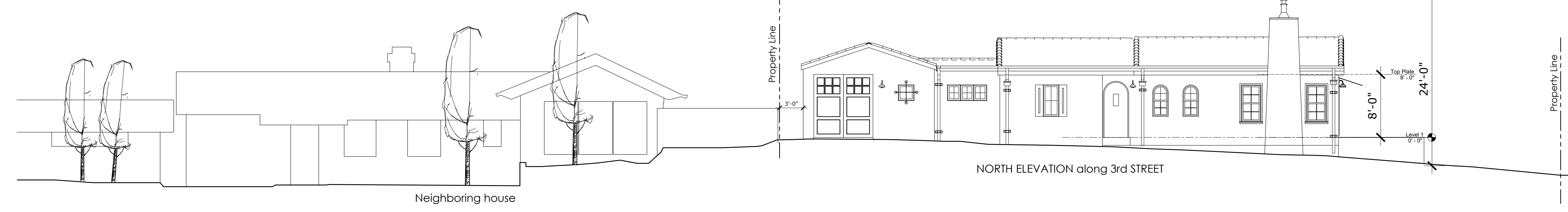
No.	Description	Date

Design Review Rev'd

**STREET ELEVATIONS
& PROFILES**
Existing & Proposed

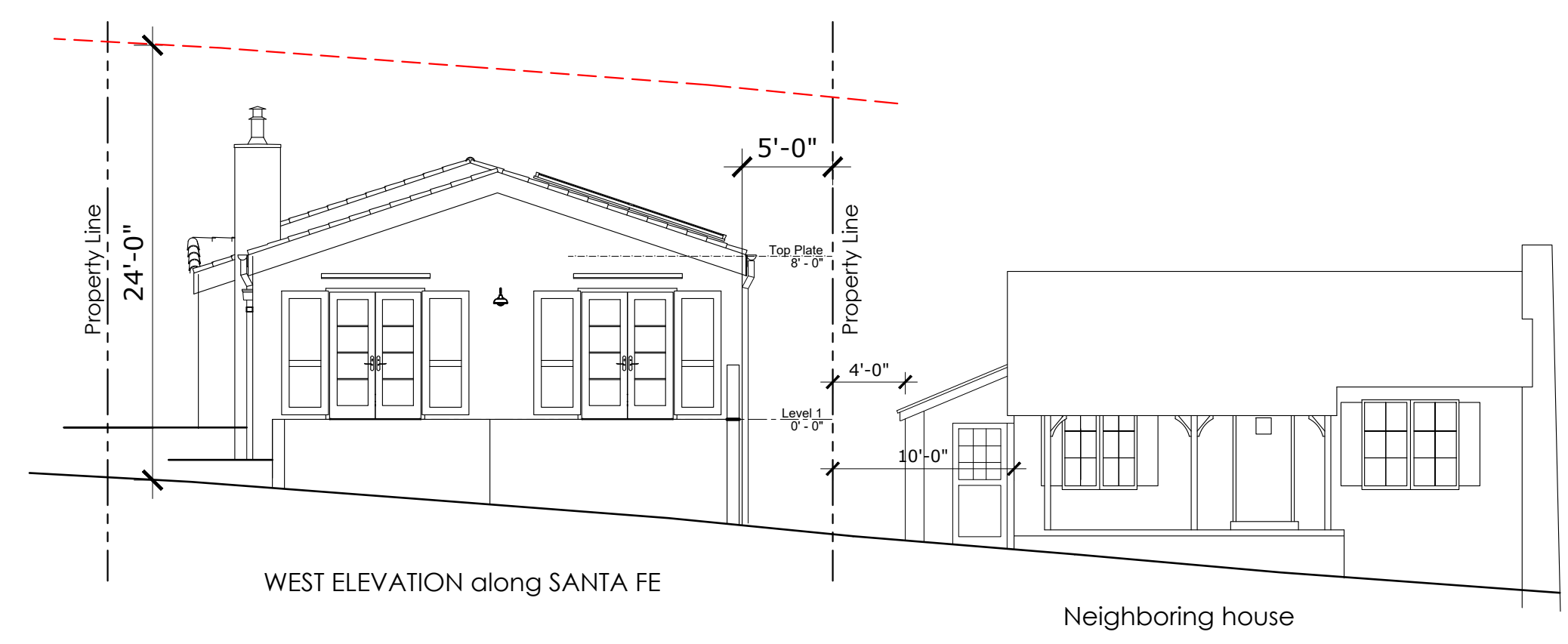
Project Number 2004
Date 1/26/24
Drawn by TRH
Scale 1/8" = 1'-0"

G1.1



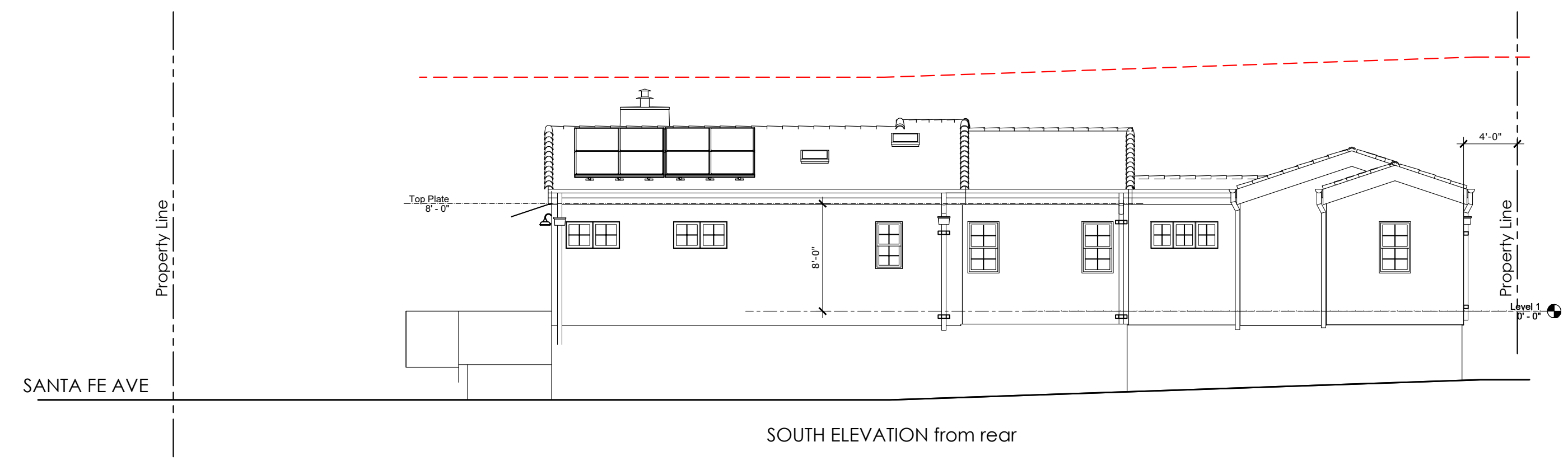
NORTH ELEVATION along 3rd STREET

SANTA FE AVE



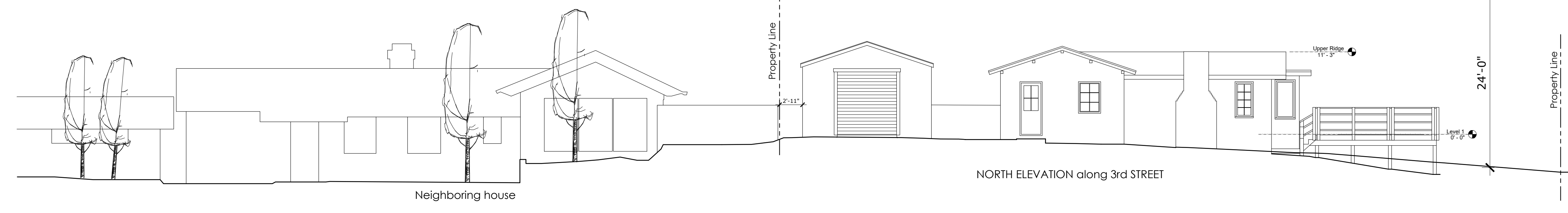
WEST ELEVATION along SANTA FE

Neighboring house



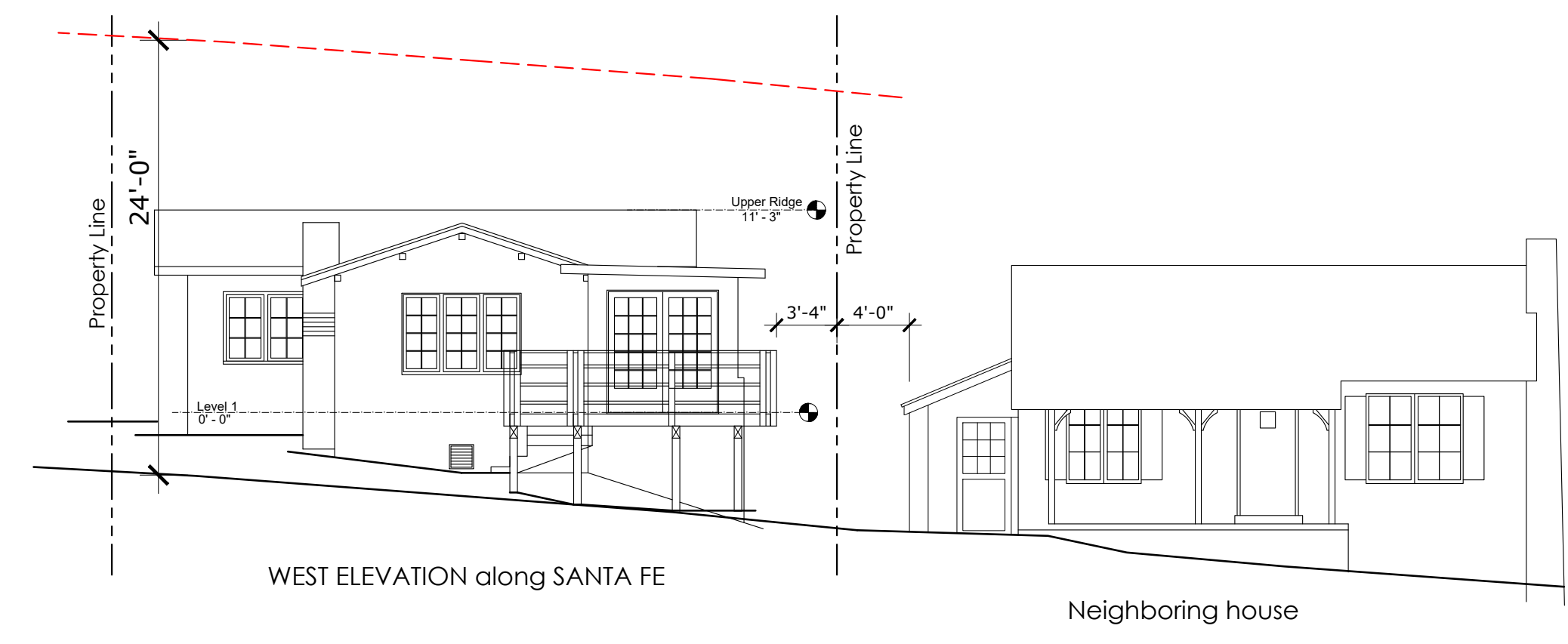
SOUTH ELEVATION from rear

**PROPOSED
STREETSCAPE ELEVATIONS**



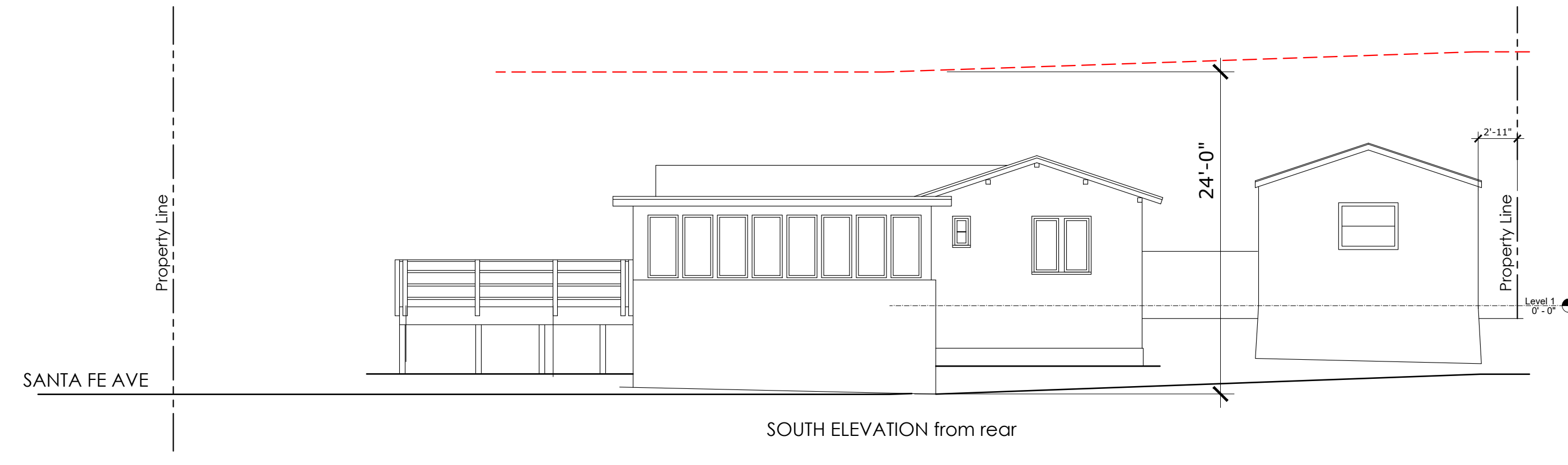
NORTH ELEVATION along 3rd STREET

SANTA FE AVE



WEST ELEVATION along SANTA FE

Neighboring house



SOUTH ELEVATION from rear

**EXISTING
STREETSCAPE ELEVATIONS**



WOOD WINDOWS with TRUE-DIVIDED LITES by LOEWEN, PAINTED MAHOGANY EXTERIOR, CLEAR FINISH or PAINTED INTERIOR.

TAG	WIDTH	HEIGHT	HEAD HT.	OPERATION	DESCRIPTION	COMMENTS
1	2'-0"	4'-0"	6'-8"	CASEMENT	MAHOGANY PAINTED	
2	5'-0"	2'-0"	6'-8"	CASEMENT	MAHOGANY PAINTED	
3	2'-0"	2'-0"	6'-8"	FIXED	MAHOGANY PAINTED	
4	2'-4"	3'-10"	6'-8"	DOUBLE HUNG	MAHOGANY PAINTED	
5	5'-0"	2'-0"	6'-8"	CASEMENT	MAHOGANY PAINTED	
7	2'-4"	3'-10"	6'-8"	DOUBLE HUNG	MAHOGANY PAINTED	
8	2'-4"	3'-10"	6'-8"	DOUBLE HUNG	MAHOGANY PAINTED	
9	2'-0"	3'-6"	6'-8"	DOUBLE HUNG	MAHOGANY PAINTED	
10	4'-0"	2'-0"	6'-8"	CASEMENT	MAHOGANY PAINTED	
11	4'-0"	2'-0"	6'-8"	CASEMENT	MAHOGANY PAINTED	
12	2'-6"	5'-0"	7'-0"	ARCHED HEAD D.H.	MAHOGANY PAINTED	
13	2'-6"	5'-0"	7'-0"	ARCHED HEAD D.H.	MAHOGANY PAINTED	
14	2'-6"	4'-8"	6'-8"	DOUBLE HUNG	MAHOGANY PAINTED	
15	2'-6"	4'-8"	6'-8"	DOUBLE HUNG	MAHOGANY PAINTED	
16	2'-0"	2'-0"		FIXED FIXED SKYLIGHT	SKYLIGHT-DARK BRONZE	VELUX
17	2'-0"	2'-0"		FIXED FIXED SKYLIGHT	SKYLIGHT-DARK BRONZE	VELUX

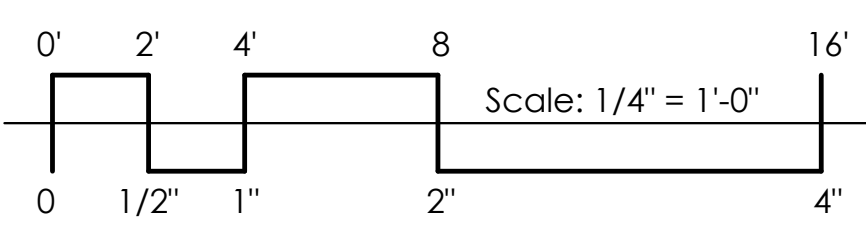
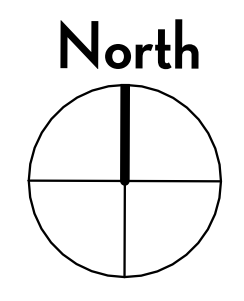
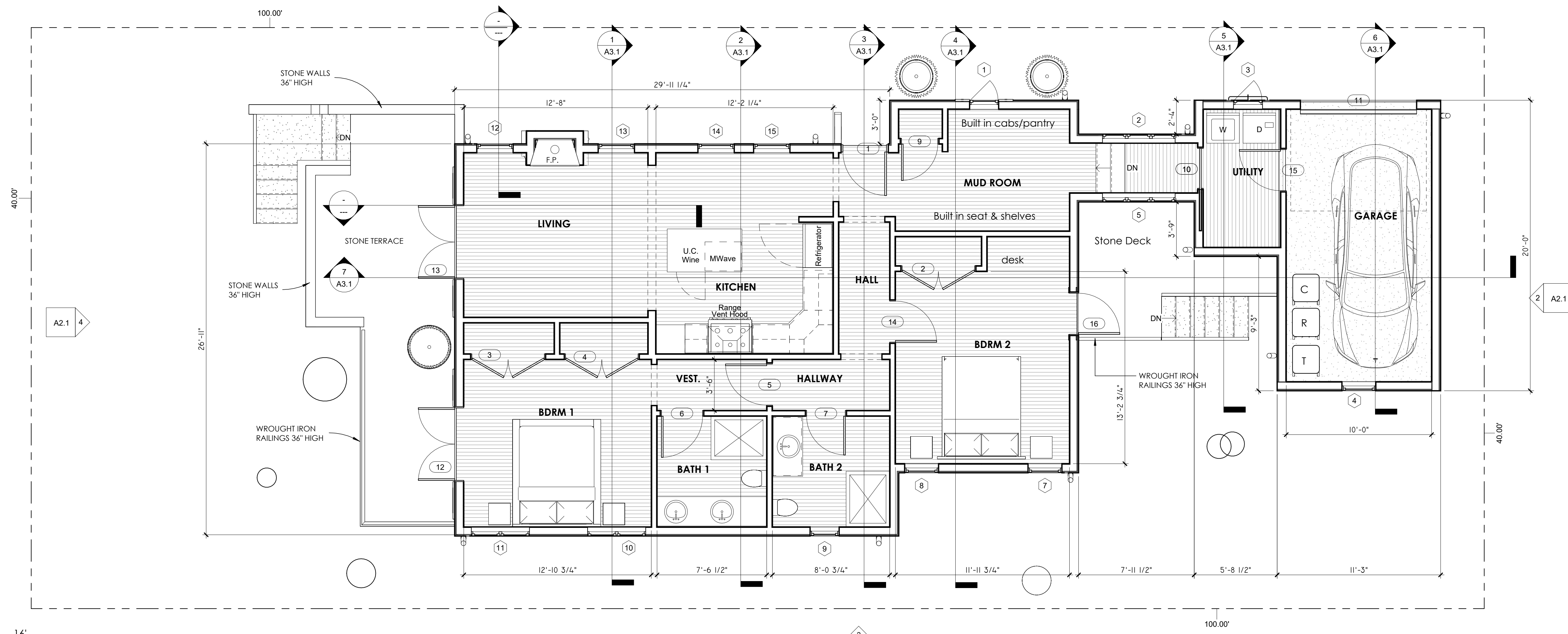
WINDOW NOTES

1. ALL WINDOWS shall be CUSTOM, TRUE-DIVIDED LITE, PAINTED MAHOGANY. By LOEWEN or APPROVED EQUAL.
2. ALL GLAZING shall be TEMPERED or LAMINATE SAFETY GLASS.
3. SKYLIGHTS shall have NON-REFLECTIVE GLASS and be EQUIPPED with INTERIOR SHADE. SKYLIGHT FLASHING shall be DARK to MATCH ROOF MATERIAL.

TAG	WIDTH	HEIGHT	THICKNESS	FIRE RATING	DESCRIPTION
1	3'-0"	7'-0"	0'-1 1/2"	-	Wood arched top
2	5'-0"	7'-0"	0'-1 1/2"		Pair
3	5'-0"	7'-0"	0'-1 1/2"		Pair
4	5'-0"	7'-0"	0'-1 1/2"		Pair
5	2'-10"	7'-0"	0'-1 1/2"		
6	2'-10"	7'-0"	0'-1 1/2"		
7	2'-8"	7'-0"	0'-1 1/2"		
9	2'-6"	6'-8"	0'-1 1/2"		
10	2'-10"	6'-8"	0'-1 1/2"		Pocket
11	8'-0"	7'-0"			Garage Door
12	5'-0"	7'-0"	0'-1 1/2"		
13	5'-0"	7'-0"	0'-1 1/2"		
14	2'-10"	7'-0"	0'-1 1/2"		
15	2'-10"	6'-8"	0'-1 1/2"	20-min. label	Self-closing
16	2'-10"	6'-8"	0'-1 1/2"		
17	2'-8"	3'-0"	0'-2"		

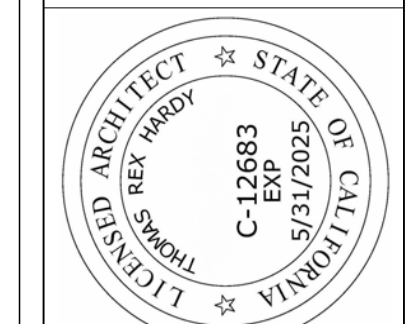
DOOR NOTES

1. ALL EXTERIOR DOORS shall be CUSTOM, TRUE-DIVIDED LITE, PAINTED MAHOGANY.
2. ALL GLAZING shall be TEMPERED or LAMINATE SAFETY GLASS.
3. GARAGE DOOR shall be CUSTOM WOOD, with TRUE-DIVIDED LITE SAFETY GLAZING, PAINTED.



1 GROUND FLOOR PLAN
1/4" = 1'-0"

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3rd & Santa Fe, Carmel
APN # 010-029-019-000

No.	Description	Date

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FLOOR PLAN

Project No. 2004
Date 1/26/24
Drawn by TRH
Scale 1/4" = 1'-0"



PROPOSED MATERIALS

LEGACY COLLECTION
TAPERED BARREL MISSION 14 1/4" TILE LUDOWICI

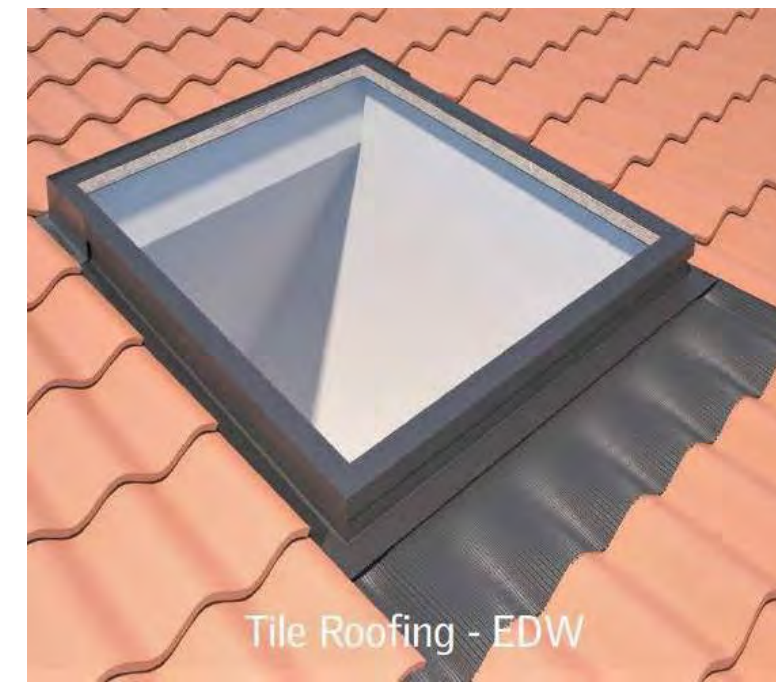


A mission barrel system comprised of small tapered mission caps and straight barrel pans with a smooth surface, Ludowici's short tight tapered barrel tiles create an authentic old European look. Greater pieces per square allow for enhanced color distribution when installing a color blended roof pattern. Tapered barrel Mission tiles are available in all standard and custom colors, mixes and blends offered by Ludowici. See the *Colors of Ludowici* brochure for more information about our extensive color program.

ROOF TILES, LUDOWICI 14-1/4" TAPERED BARREL MISSION, CLAY RED.



ROOF TILES, LUDOWICI 14-1/4" TAPERED BARREL MISSION, CLAY RED.



VELUX LOW PROFILE SKYLIGHT with DARK FLASHING and NON-REFLECTIVE GLASS, INTERIOR SHADES.



TYPICAL WROUGHT-IRON RAILING.



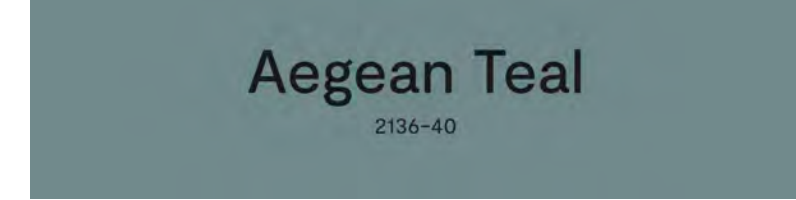
RHEINZINK HALF-ROUND GUTTERS and 3" DIA. DOWNSPOUTS.

PROPOSED PAINT COLORS

All Benjamin-Moore colors.



EXTERIOR PLASTER WALLS.



WINDOWS and TRIM.



ENTRY DOOR, GARAGE DOOR, SHUTTERS.



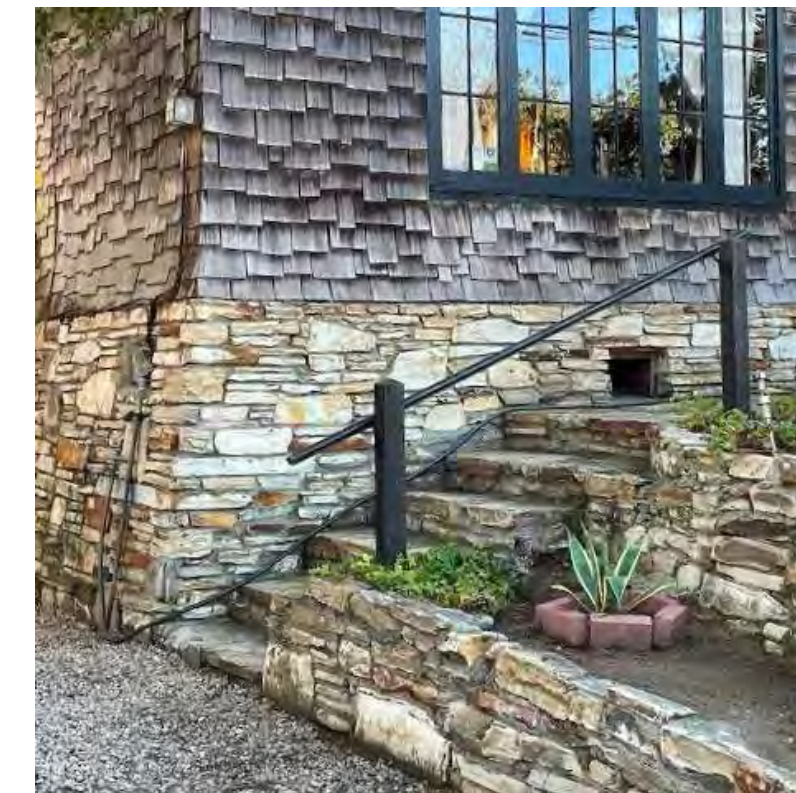
Mission Ridge Small Outdoor Light - Short

Specifications

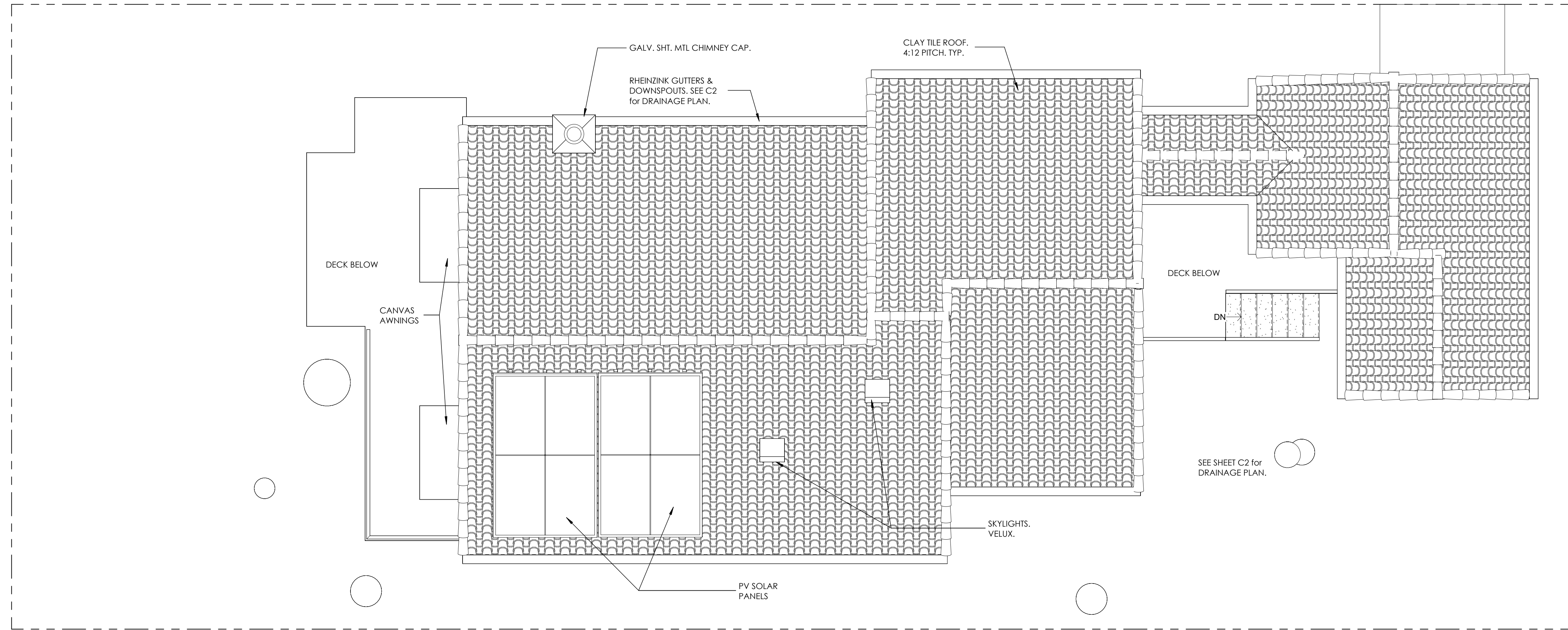
- Width: 5"
- Height: 10"
- Projection: 7"
- Canopy Size: 4.5" x 8.75"
- Max Wattage: E-26 60w
- Weight: 6.5 lbs.
- Sockets: 1
- Weather Location: Wet



EXTERIOR LIGHT FIXTURE.
 LED max. 225 lumens
 Steven Handelman Studios
 Bronze finish.

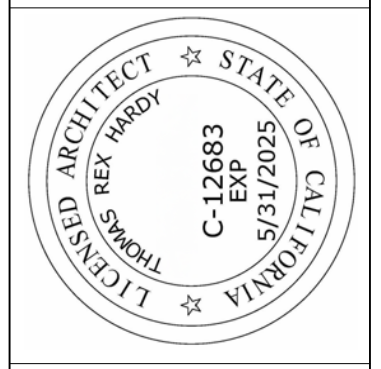


CARMEL STONE for LOW WALLS and STEPS



1 ROOF PLAN
 1/4" = 1'-0"

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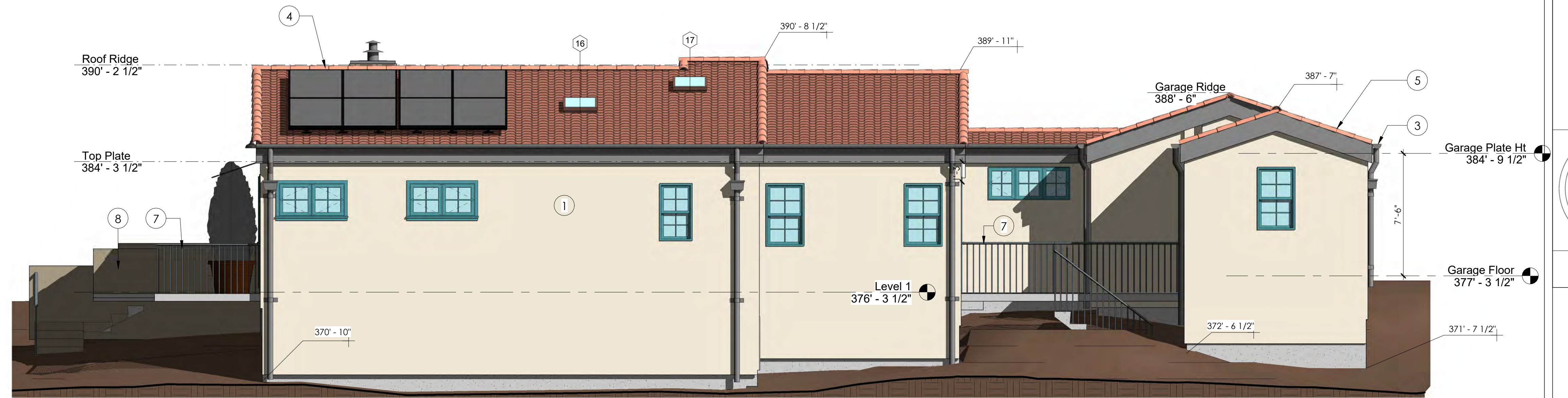
No.	Description	Date

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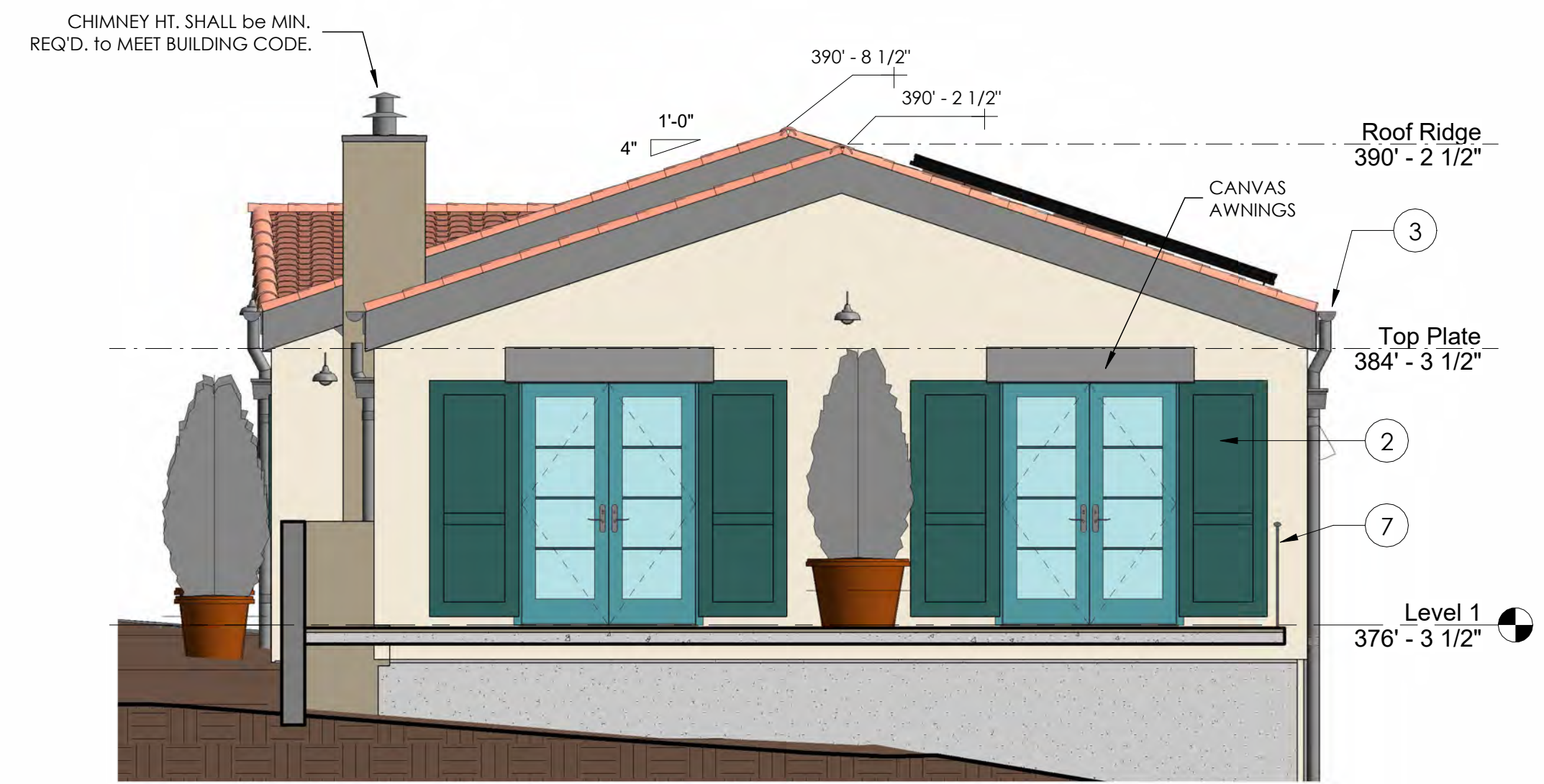
ROOF PLAN MATERIALS

Project No. 2004
 Date 1/26/24
 Drawn by TRH
 Scale 1/4" = 1'-0"

A1.2



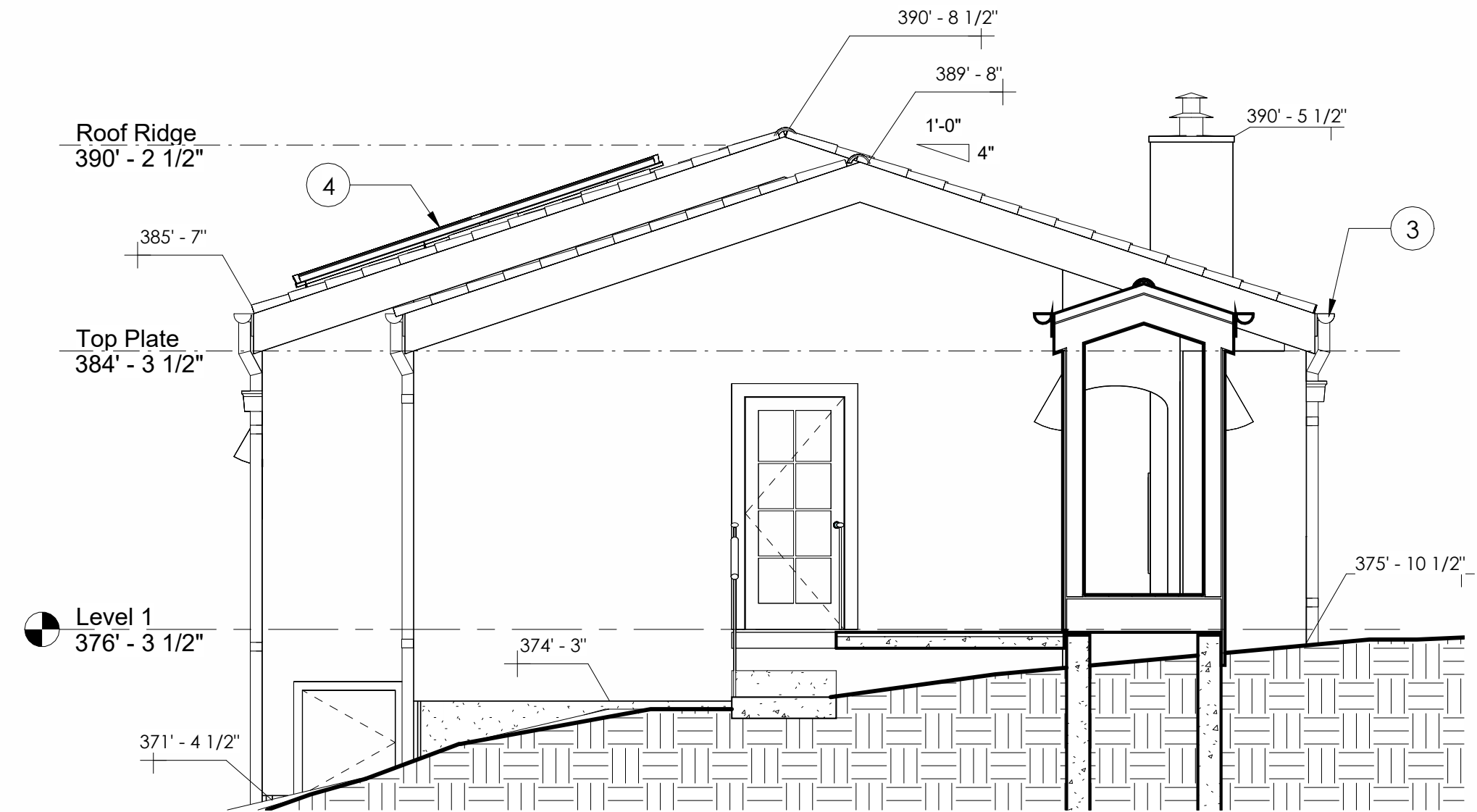
3 SOUTH ELEVATION
1/4" = 1'-0"



4 WEST ELEVATION
1/4" = 1'-0"

ELEVATION NOTES

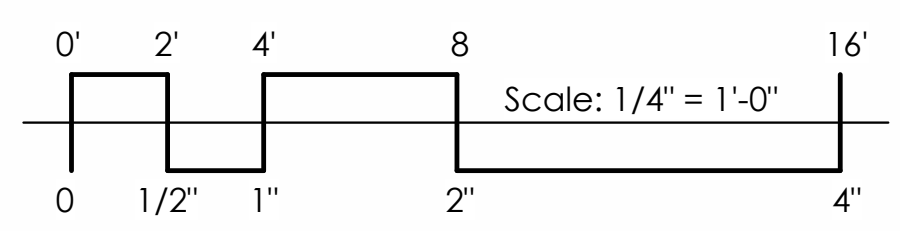
- 1 PAINTED STUCCO, TYP.
- 2 WOOD SHUTTERS PAINTED.
- 3 RHEINZINK GUTTERS & DOWNSPOUTS
- 4 PV PANELS
- 5 CLAY TILE ROOF, Ludowici tapered barrel mission tile
- 6 MAHOGANY WINDOWS, PAINTED
- 7 WROUGHT IRON RAILINGS
- 8 CARMEL STONE



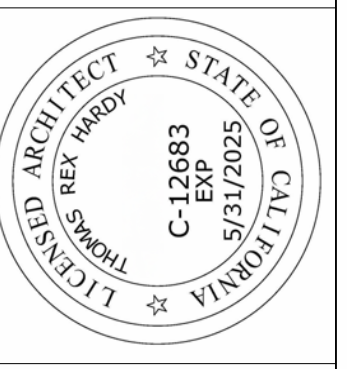
2 EAST ELEVATION
1/4" = 1'-0"



1 NORTH ELEVATION
1/4" = 1'-0"



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EXTERIOR ELEVATIONS

Project No. 2004
Date 1/26/24
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Scale 1/4" = 1'-0"

A2.1



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3rd & Santa Fe, Carmel

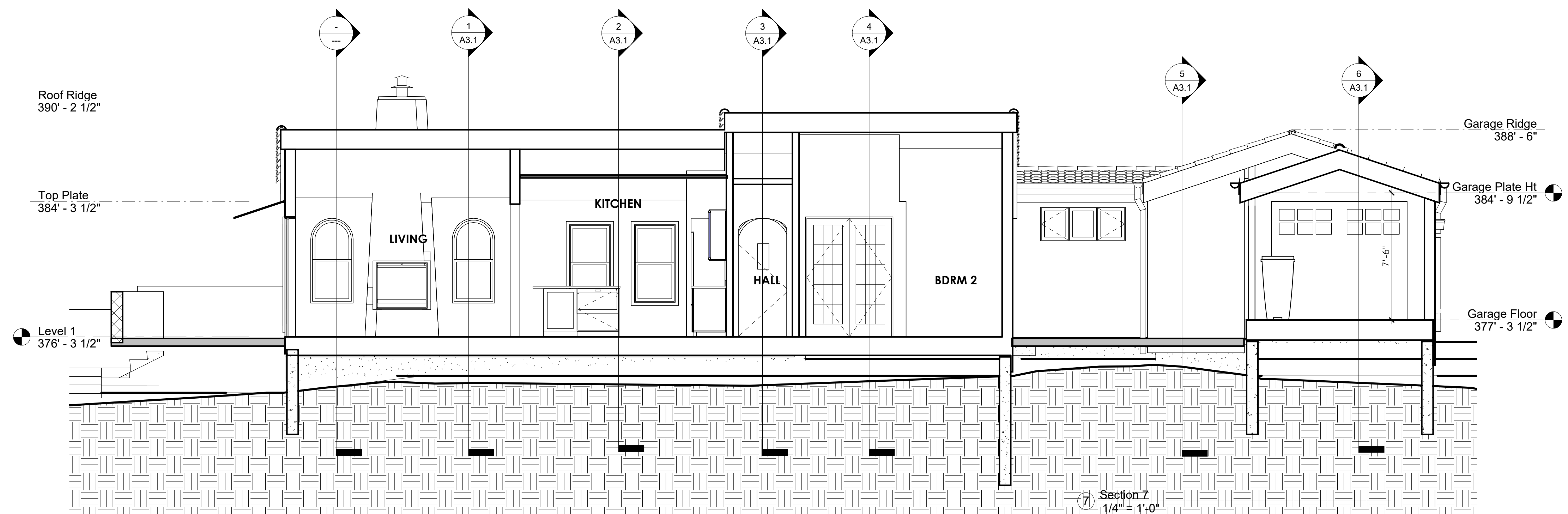
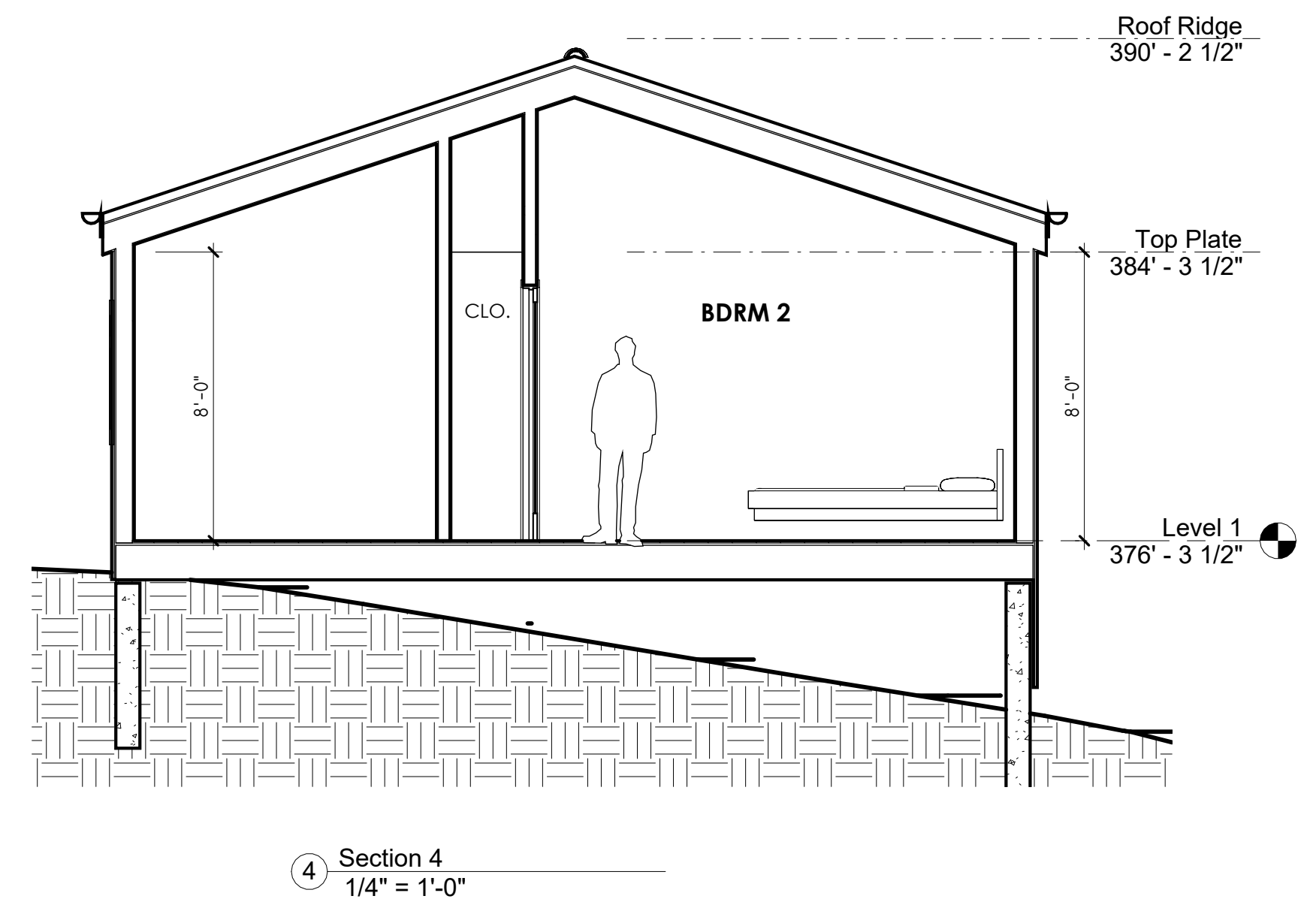
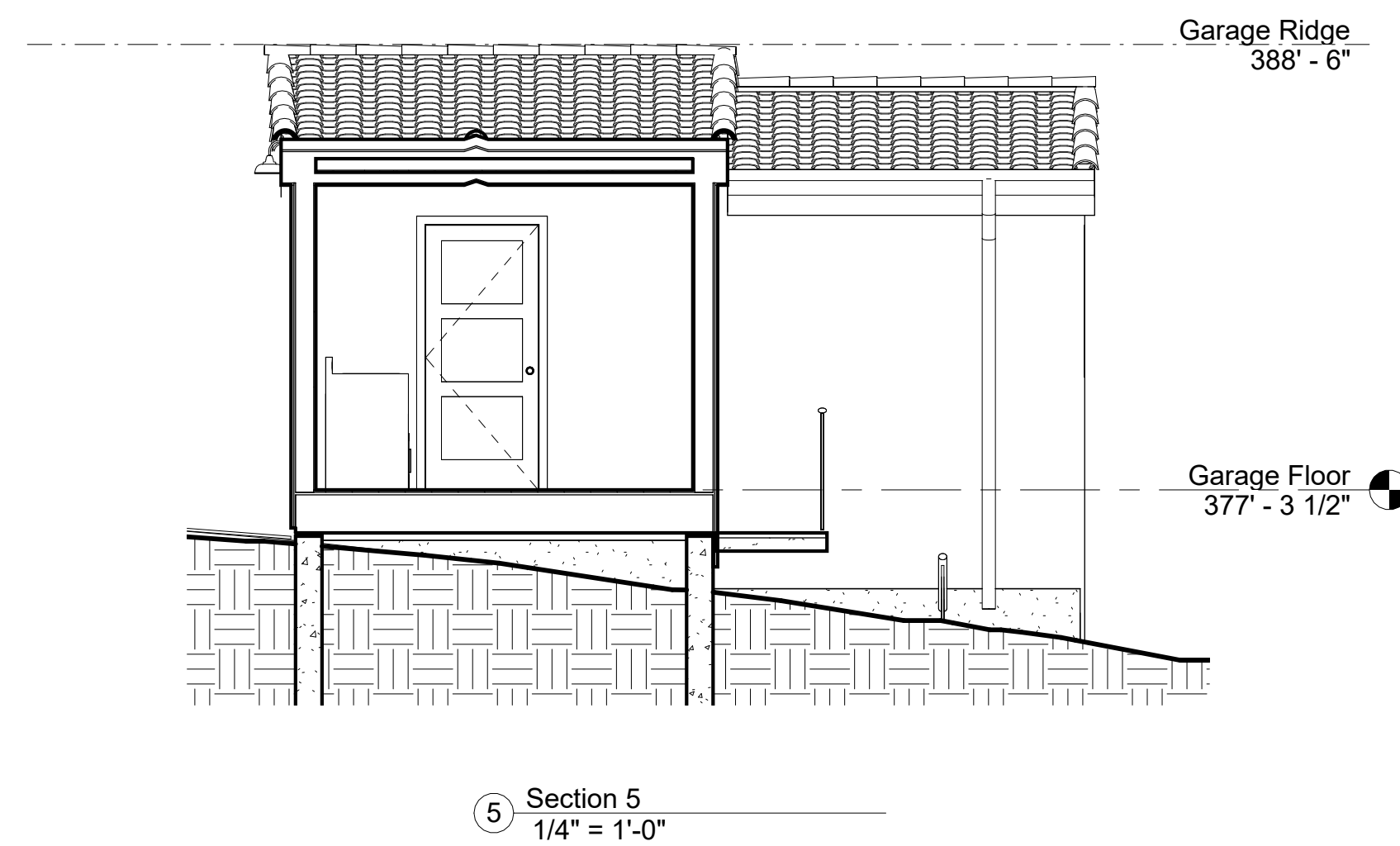
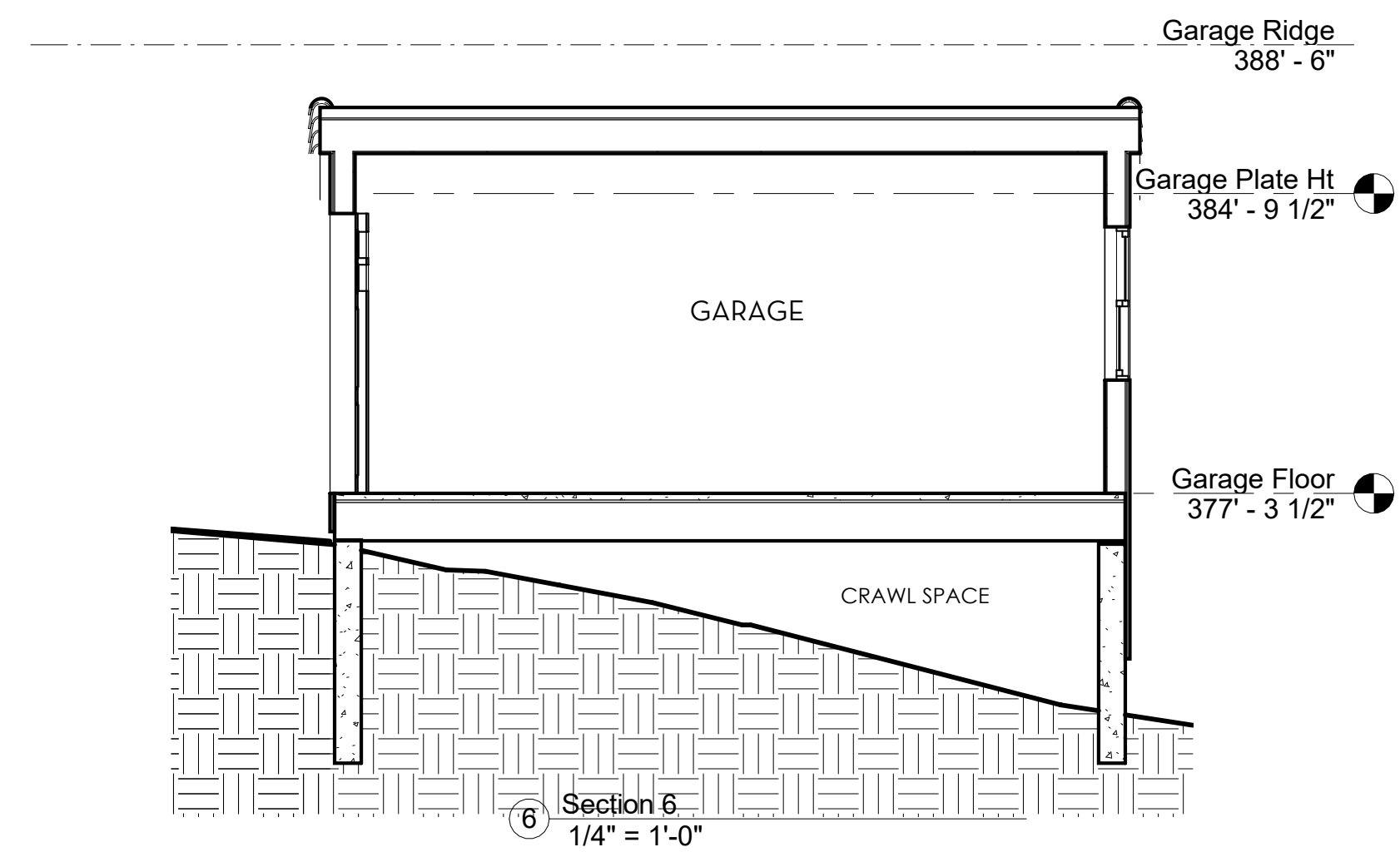
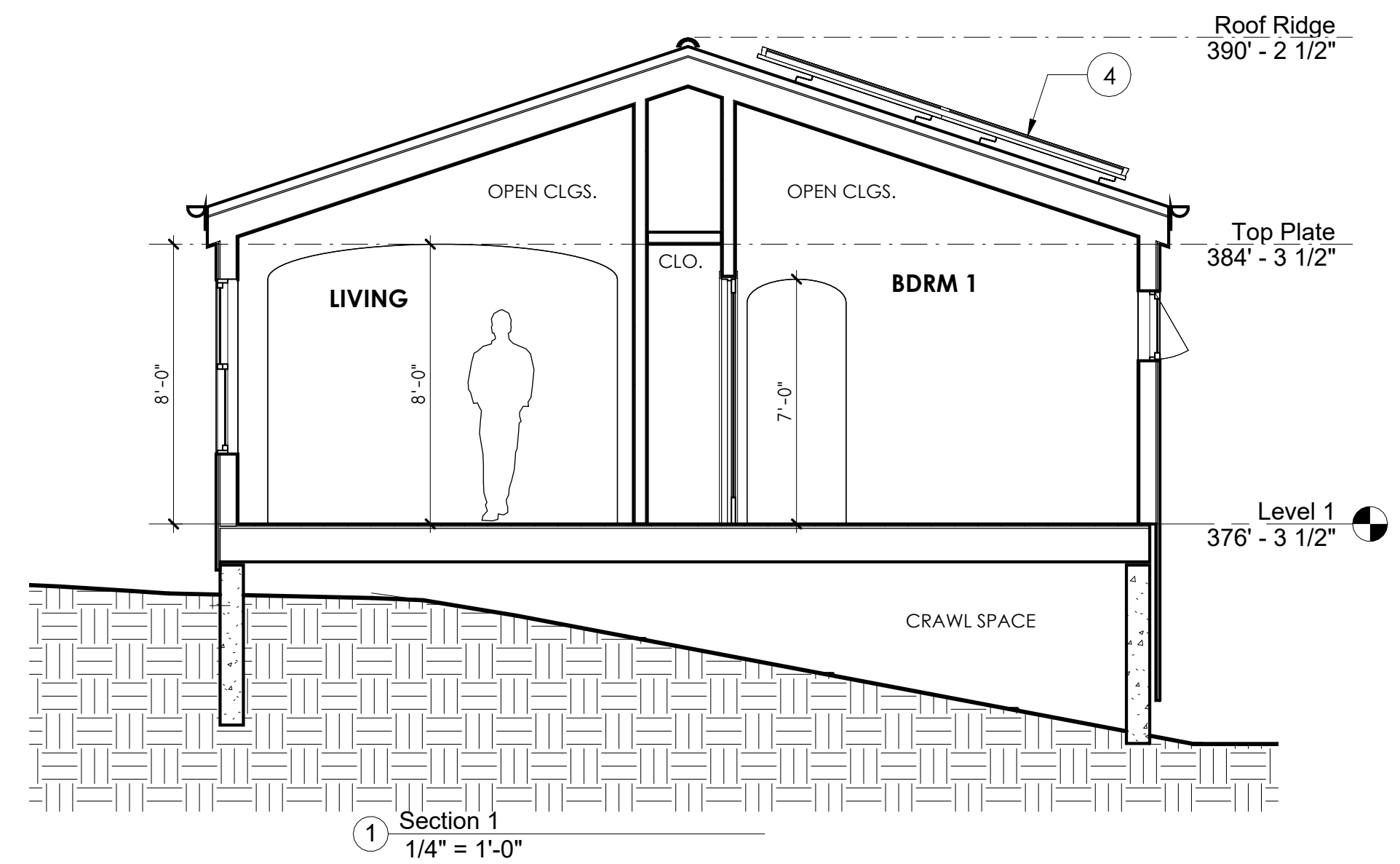
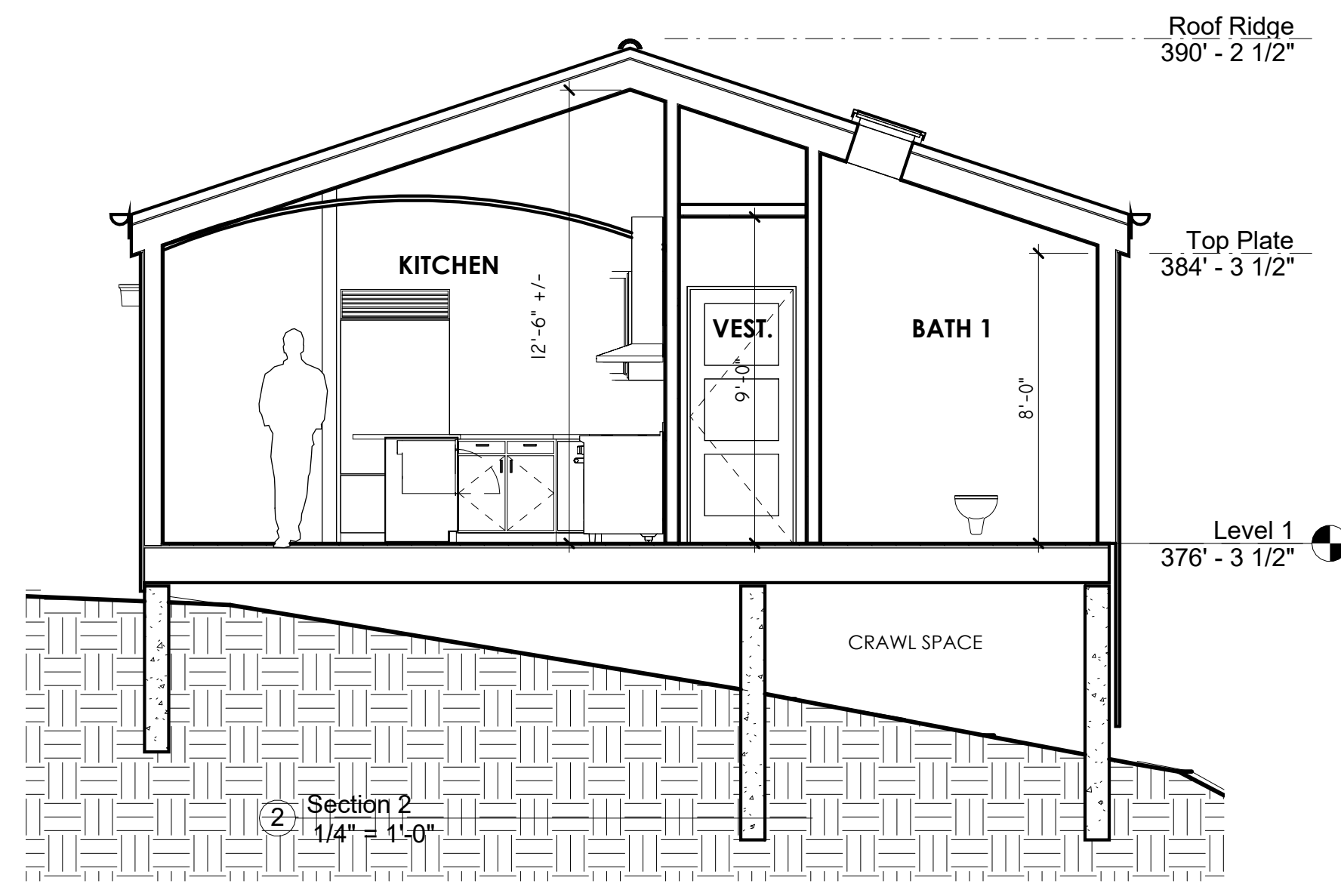
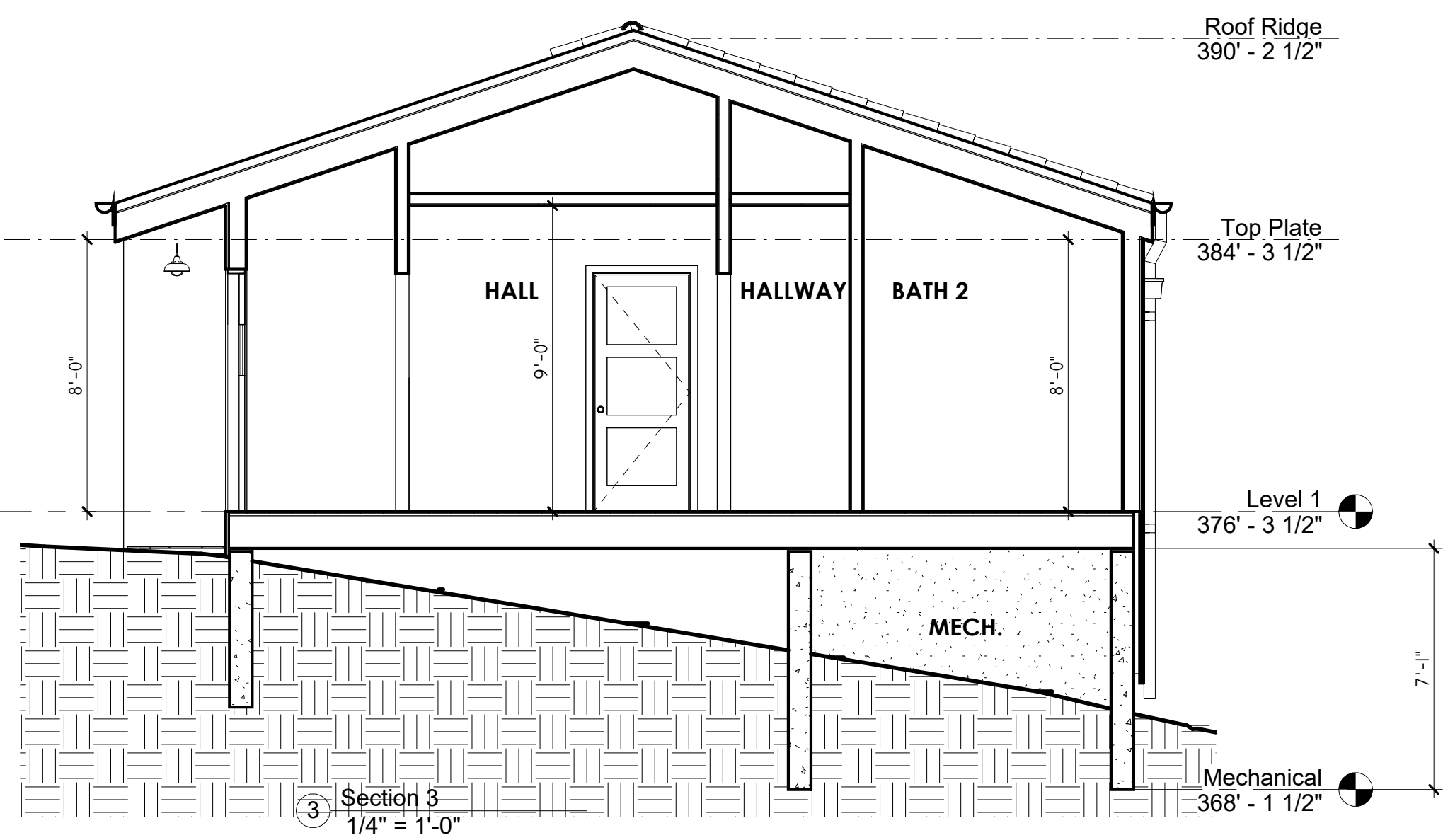
No.	Description	Date

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SECTIONS

Project No. 2004
 Date 1/26/24
 Drawn by TRH
 Scale 1/4" = 1'-0"

A3.1



BEST MANAGEMENT PRACTICE NOTES

- 1. OWNER: DANIEL & ANA PRESSEY
2. CIVIL ENGINEER: STEVEN C. WILSON
3. CONSTRUCTION SUPERINTENDENT:
4. ESTIMATED CONSTRUCTION STARTING & COMPLETION DATE:
5. THIS PLAN IS INTENDED TO BE USED FOR INTERIM EROSION AND SEDIMENT CONTROL ONLY...

PROPOSED PRESSEY RESIDENCE
GRADING & DRAINAGE IMPROVEMENT PLANS
LOT 2, BLOCK 39
MAP OF CARMEL CITY
VOLUME 1 CITIES & TOWNS, PAGE 52
(APN: 010-029-019)

PREPARED FOR
DANIEL & ANA PRESSEY
APRIL, 2023

APPLICANT INFORMATION

PROJECT APN: 010-029-019
ADDRESS: SE CORNER OF SANTA FE & 3RD AVENUE, CARMEL BY THE SEA, CA 93921
OWNER: DANIEL & ANA PRESSEY
CIVIL ENGINEER: STEVEN C. WILSON, RCE25136
PROJECT ARCHITECT: THOMAS REX HARDY, AIA

GRADING NOTES

- 1. ALL WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH 2016 C.B.C., UFC, UMC, UPC, TITLE 24 AND 1996 NEC, AND THE LATEST CITY OF CARMEL BY THE SEA STANDARDS AND SPECIFICATIONS.
2. ALL GRADING SHALL CONFORM TO THE LATEST CITY OF CARMEL BY THE SEA STANDARDS AND SPECIFICATIONS, AND GRADING DRAINAGES.
3. ALL LOOSE SOIL TO WITHIN FIVE FEET OUTSIDE THE BUILDING AREAS MUST BE SUBCULTIVATED TO A DEPTH OF 30" OR MORE...

WASTE MANAGEMENT PLAN

- 1. THE CONTRACTOR SHALL MAINTAIN AND MONITOR THE HANDLING AND DISPOSAL OF ALL WASTE GENERATED ON SITE.
2. STORE HAZARDOUS MATERIALS AND WASTE IN COVERED CONTAINERS AND PROTECT FROM VANDALISM.
3. ENSURE THAT A STOCKPILE OF SPILL CLEANUP MATERIALS ARE AVAILABLE AND READILY ACCESSIBLE.

TREE TRIMMING NOTES

- 1. ALL TREE PRUNING MUST BE DONE UNDER THE SUPERVISION OF A CERTIFIED ARBORIST TO ENSURE THE PROPER ASSESSMENT OF DRIP LINE AND THAT STANDARD TREE PRUNING PRACTICES ARE UPHOLD.
2. NO LIMBS OR ROOTS SHALL BE REMOVED WITHOUT PRIOR APPROVAL OF THE LANDSCAPE ARCHITECT AND MUST OCCUR UNDER THE SUPERVISION OF A LICENSED ARBORIST.

SURVEY NOTES

- 1. BOUNDARY LOCATIONS SHOWN HEREON WERE DETERMINED WITH THE BENEFIT OF A FIELD SURVEY SUPPLEMENTED BY RECORD DATA.
2. ELEVATIONS SHOWN ARE BASED ON NGVD-88 DATUM. A GPS SURVEY WAS CONDUCTED TO ESTABLISH THE SITE BENCHMARK USING REFERENCE STATION "CAM1" ON THE SMARTNET NORTH AMERICA NETWORK.

ROOF WATER COLLECTION NOTES:

- 1. ALL ROOF RUNOFF SHALL BE COLLECTED BY EYE GUTTERS AND RAIN WATER LEADERS.
2. ALL DOWNSPOUTS AT LANDSCAPE AREAS TO UTILIZE SPLASH BLOCKS AND SHALL SURFACE DRAIN TO STORMWATER DISPERSION TRENCH CONTROL MEASURE.

MAINTENANCE NOTES

- 1. MAINTENANCE IS TO BE PERFORMED AS FOLLOWS:
A. REPAIR DAMAGE CAUSED BY SOIL EROSION OR CONSTRUCTION AT THE END OF EACH WORKING DAY.
B. SWALES SHALL BE INSPECTED PERIODICALLY AND MAINTAINED AS NEEDED.

EROSION & SEDIMENT CONTROL MEASURES

- 1. THE FACILITIES SHOWN ON THIS PLAN ARE DESIGNED TO CONTROL EROSION AND SEDIMENT DURING THE RAINY SEASON, OCTOBER 15TH TO APRIL 15TH.
2. THIS PLAN COVERS ONLY THE FIRST WINTER FOLLOWING GRADING WITH ASSUMED SITE CONDITIONS AS SHOWN ON THE EROSION CONTROL PLAN.

SEED AND STRAW MULCH

- 1. SEED AND STRAW MULCH IS TO BE USED FOR SOIL DISTURBED AREAS AS A MEANS FOR TEMPORARY PROTECTION UNTIL PERMANENT STABILIZATION IS ESTABLISHED.
2. SEED AND STRAW MULCH SHALL CONSIST OF SPREADING SEED (A MINIMUM OF 5 LBS/1000 SQ. FT.) OVER DISTURBED AREAS AND THEN PLACING A UNIFORM LAYER OF STRAW (2-3 BALS/1000 SQ. FT.) INCORPORATING IT INTO THE SOIL.

SITE HOUSEKEEPING REQUIREMENTS

- 1. ALL LOOSE STOCKPILED CONSTRUCTION MATERIALS THAT ARE NOT ACTIVELY BEING USED (I.E. SOIL, SPOOLS, AGGREGATE, FLY-ASH, STUCCO, HYDRATED LIME, ETC.) SHALL BE COVERED AND BERMED.
2. ALL CHEMICALS SHALL BE STORED IN WATER-TIGHT CONTAINERS (WITH APPROPRIATE SECONDARY CONTAINMENT TO PREVENT ANY SPILLAGE OR LEAKAGE) OR IN A STORAGE SHED (COMPLETELY ENCLOSED).

WASTE MANAGEMENT

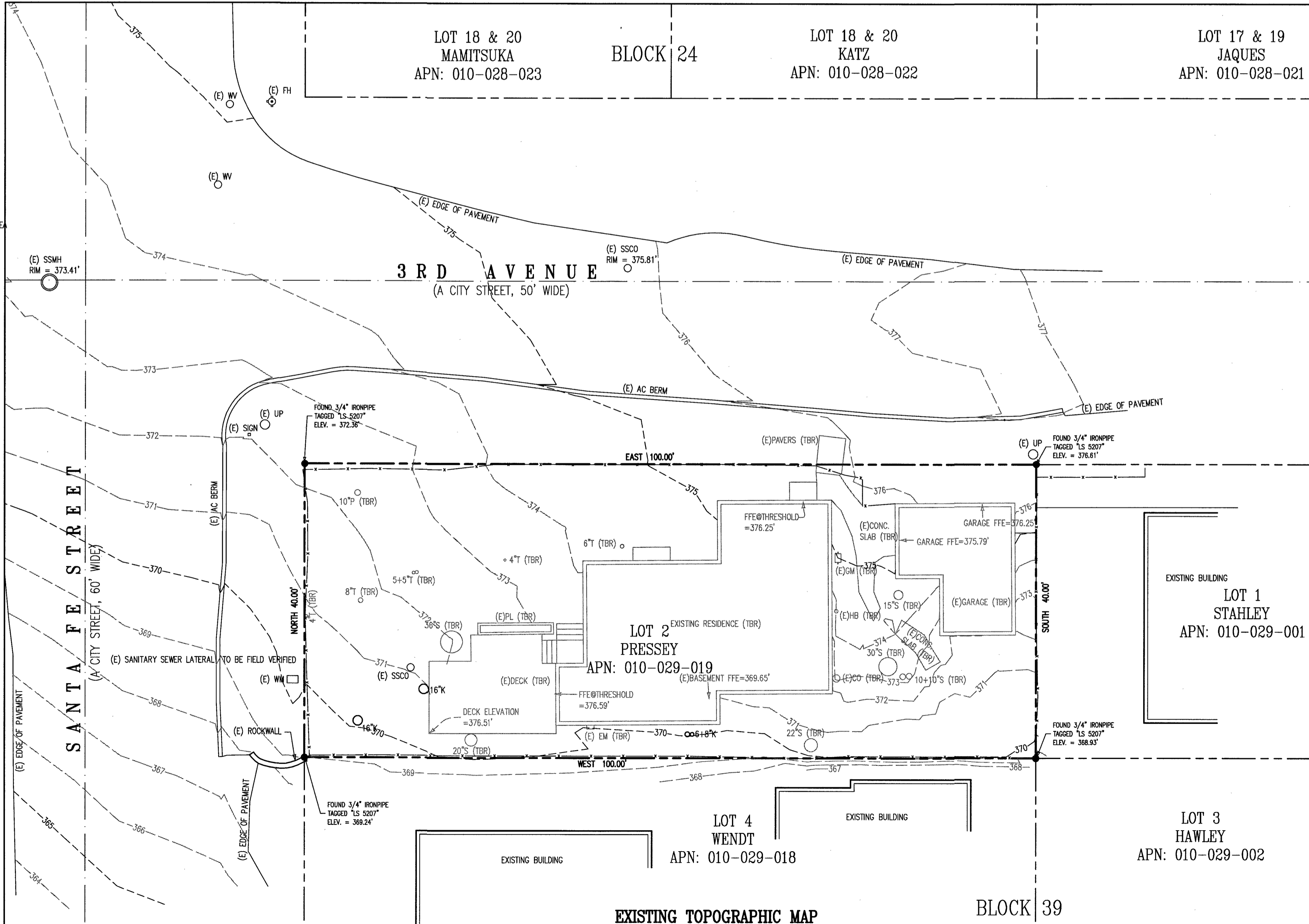
- 1. DISPOSAL OF ANY RUNOFF OR WASH WATERS OR MATERIALS ON IMPERVIOUS OR PERVIOUS SITE SURFACES OR INTO THE STORM DRAIN SYSTEM SHALL BE PREVENTED.
2. SANITATION FACILITIES SHALL BE CONTAINED (E.G., PORTABLE TOILETS) TO PREVENT DISCHARGES OF POLLUTANTS TO THE STORM WATER DRAINAGE SYSTEM OR RECEIVING WATER.

VEHICLE STORAGE AND MAINTENANCE

- 1. MEASURES SHALL BE TAKEN TO PREVENT OIL, GREASE, OR FUEL TO LEAK IN TO THE GROUND, STORM DRAINS OR SURFACE WATERS.
2. ALL EQUIPMENT OR VEHICLES, WHICH ARE TO BE FUELED, MAINTAINED AND STORED ON-SITE SHALL BE IN A DESIGNATED AREA FITTED WITH APPROPRIATE BAYS.

LANDSCAPE MATERIALS

- 1. CONTAIN STOCKPILED MATERIALS SUCH AS MULCHES AND TOPSOIL WHEN THEY ARE NOT ACTIVELY BEING USED.
2. CONTAIN FERTILIZERS AND OTHER LANDSCAPE MATERIALS WHEN THEY ARE NOT ACTIVELY BEING USED.



GRADING LEGEND

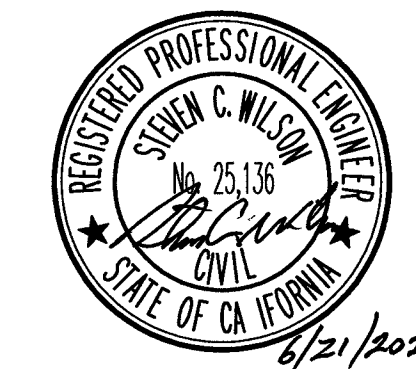
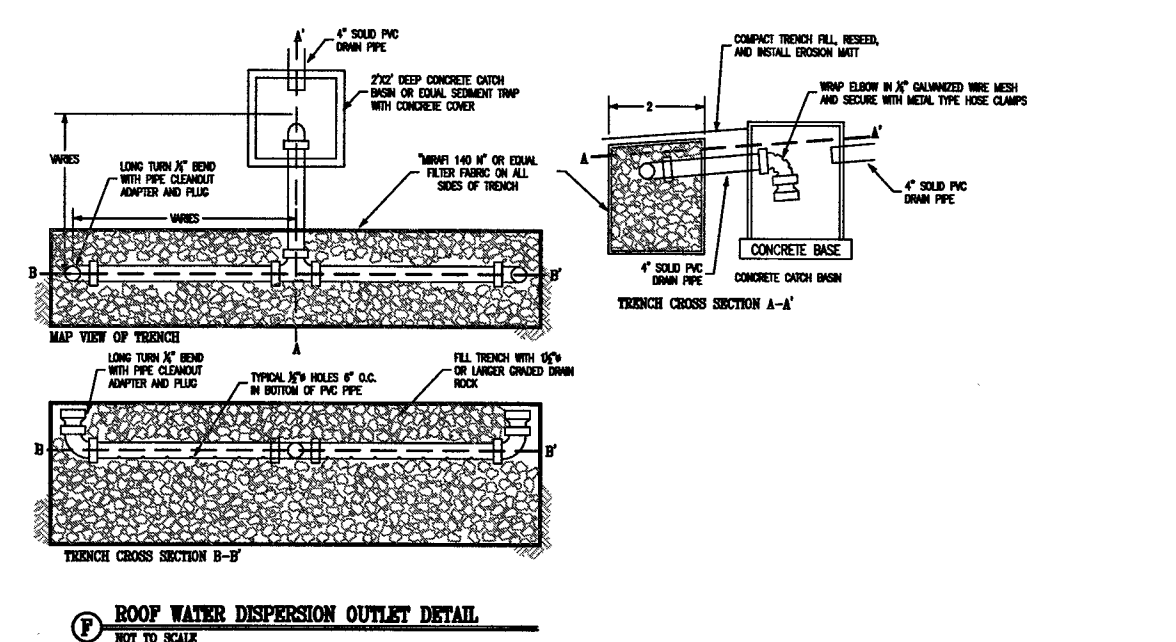
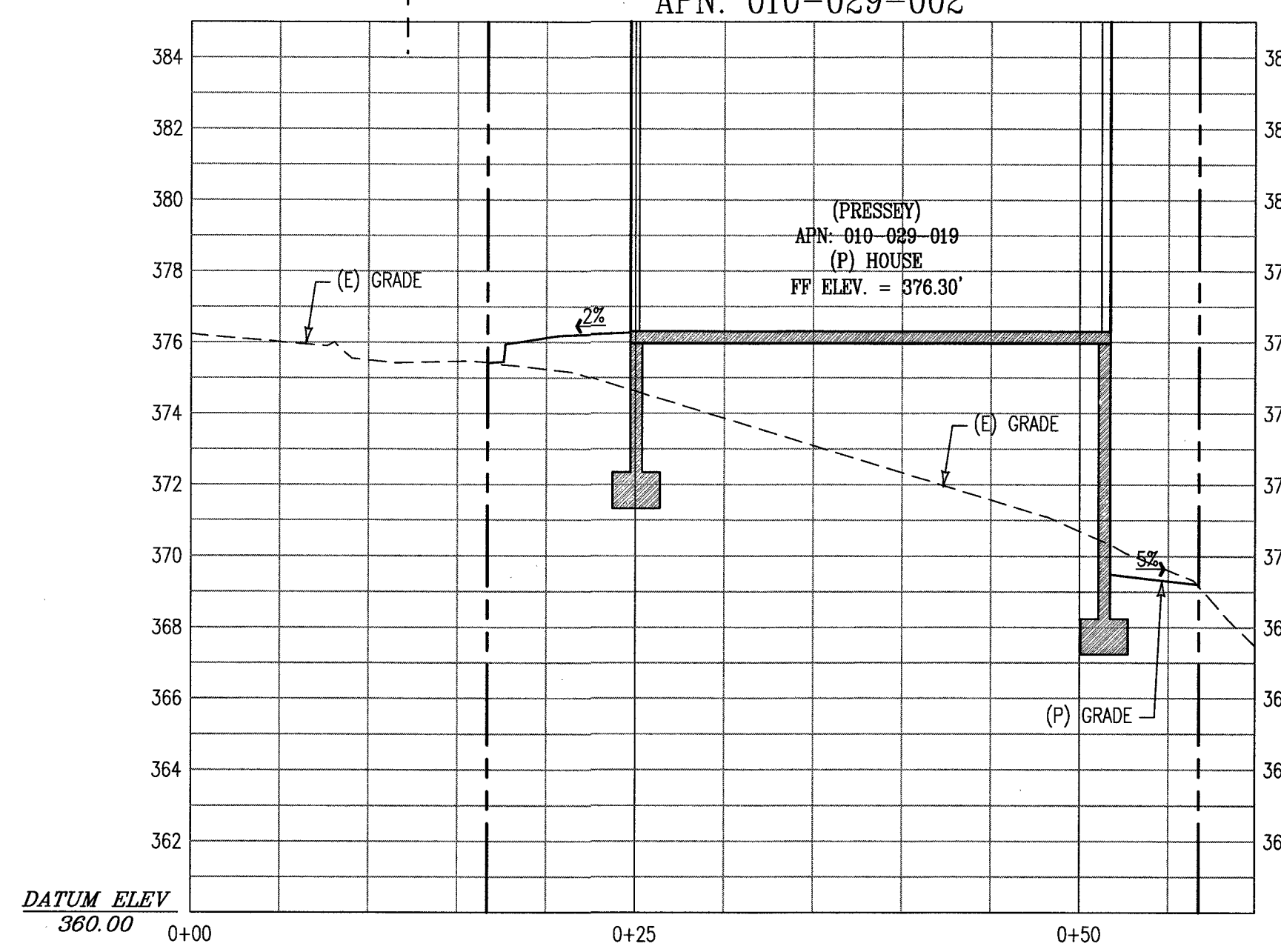
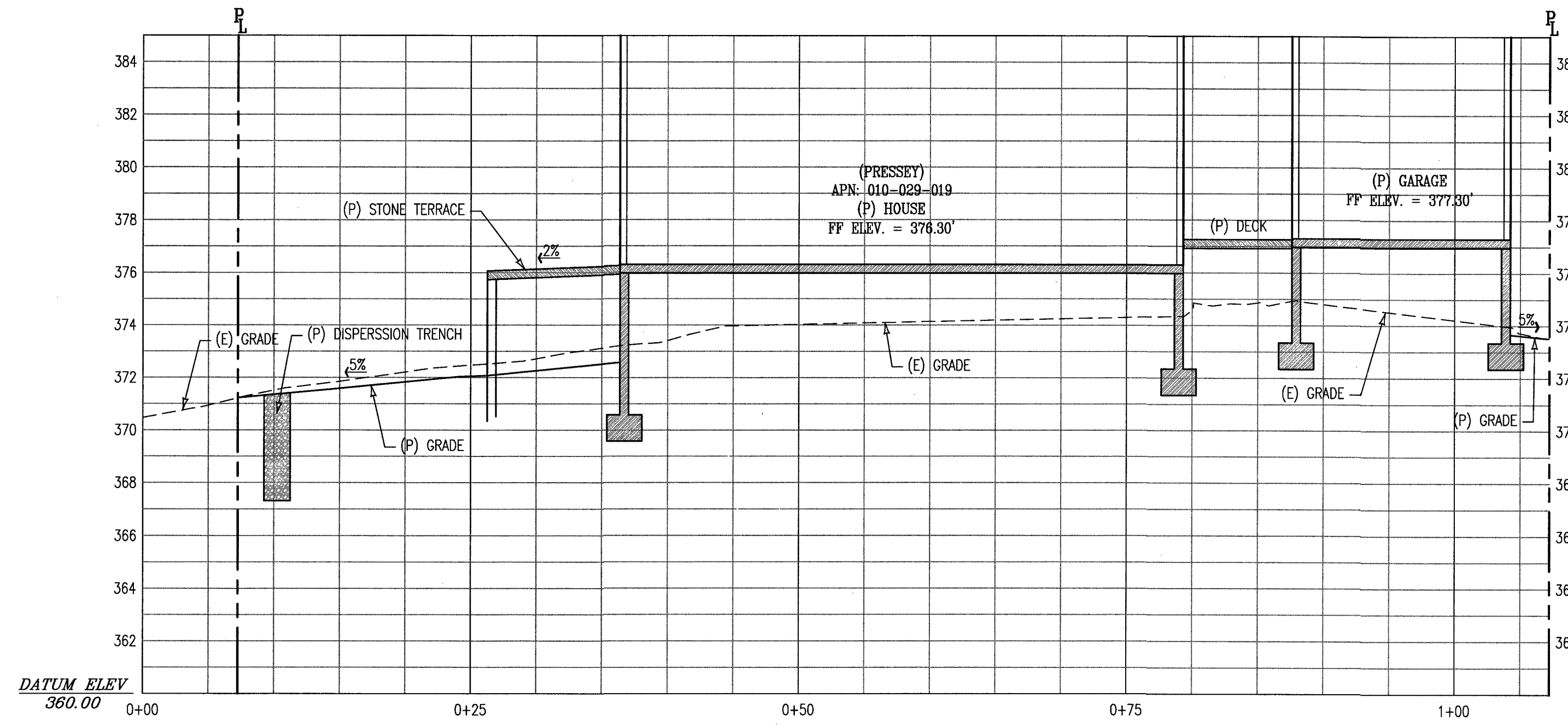
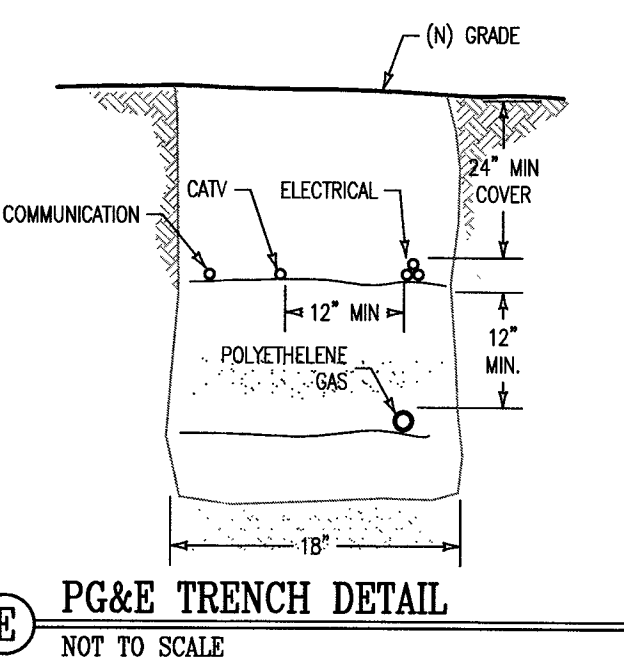
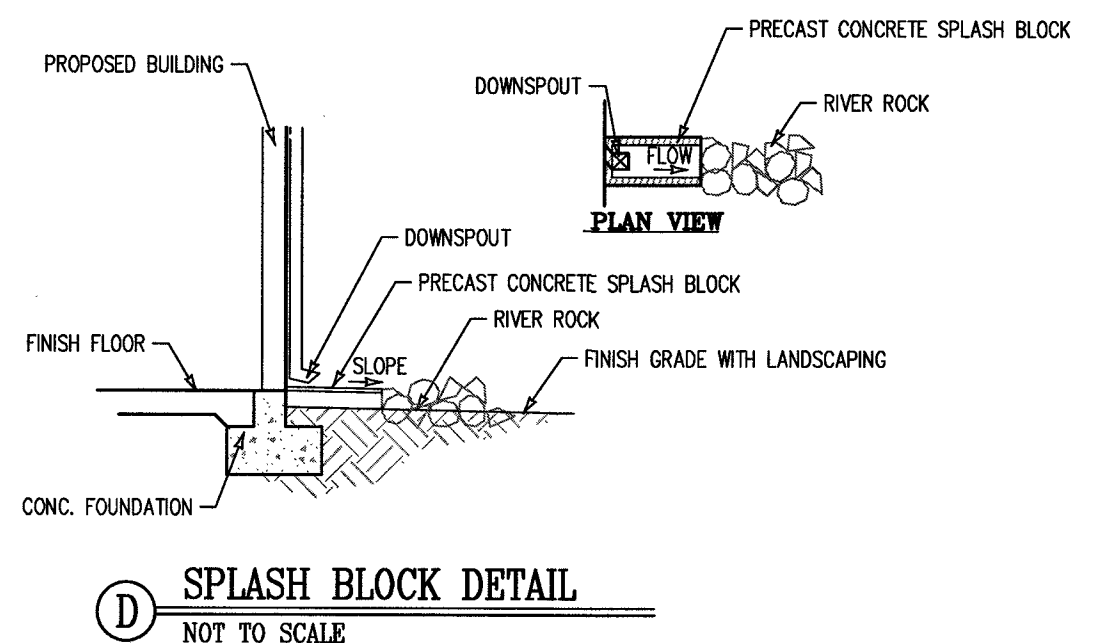
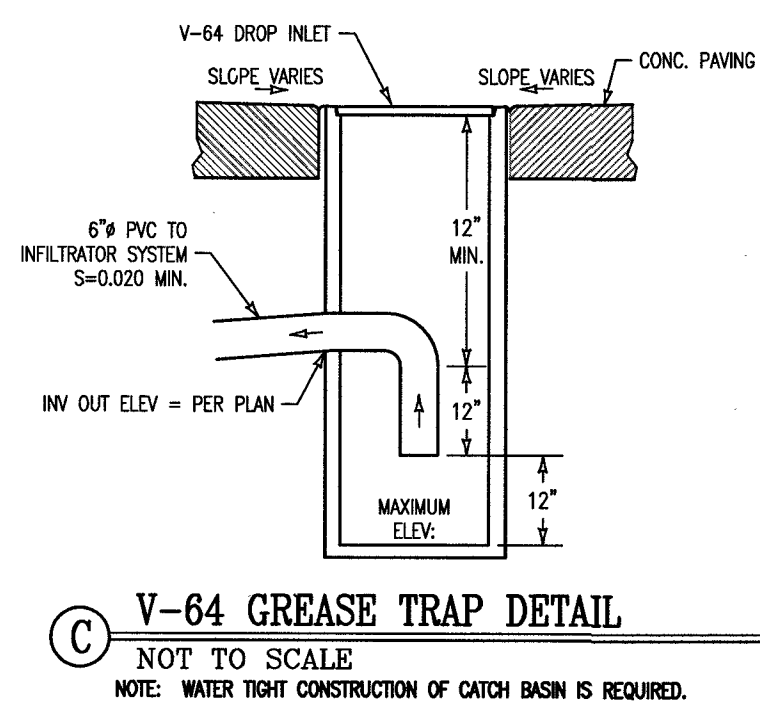
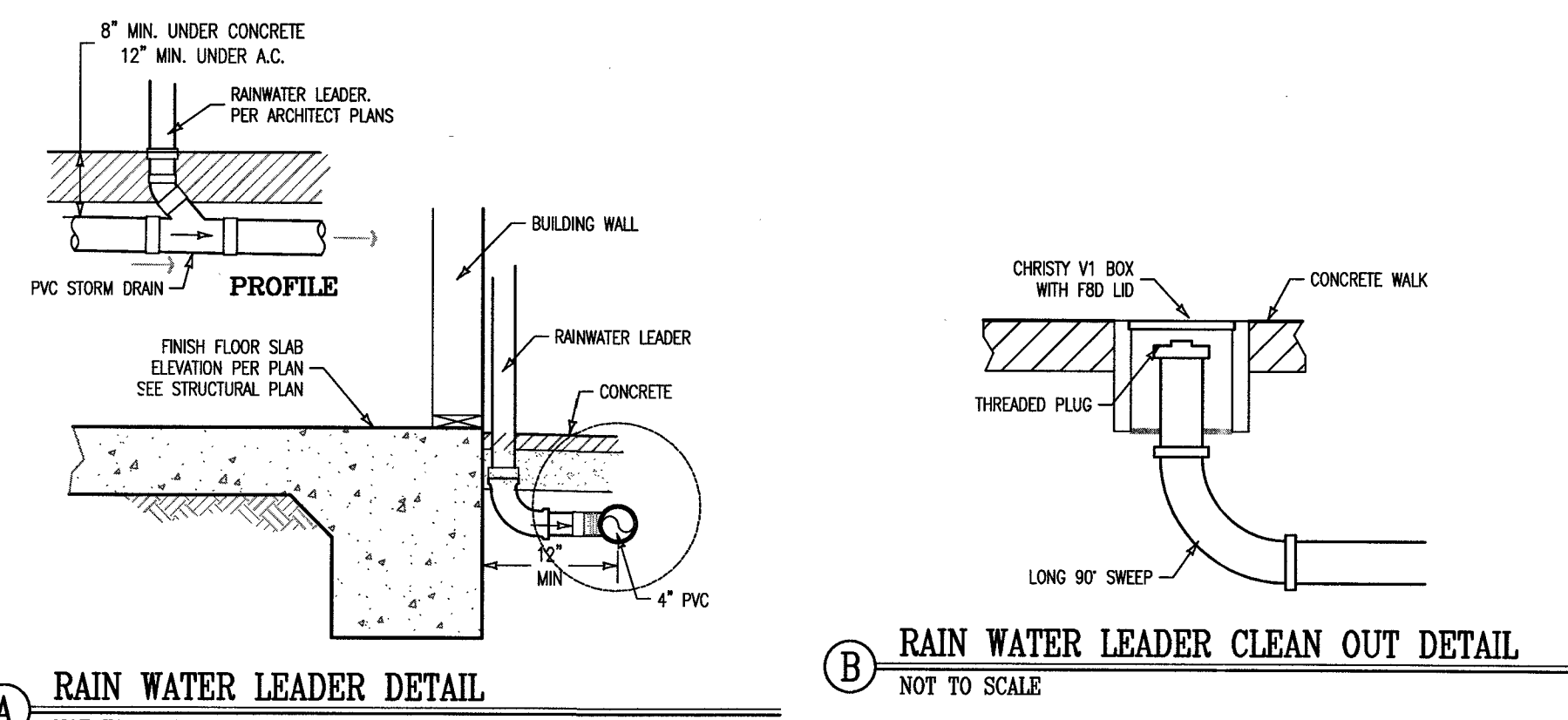
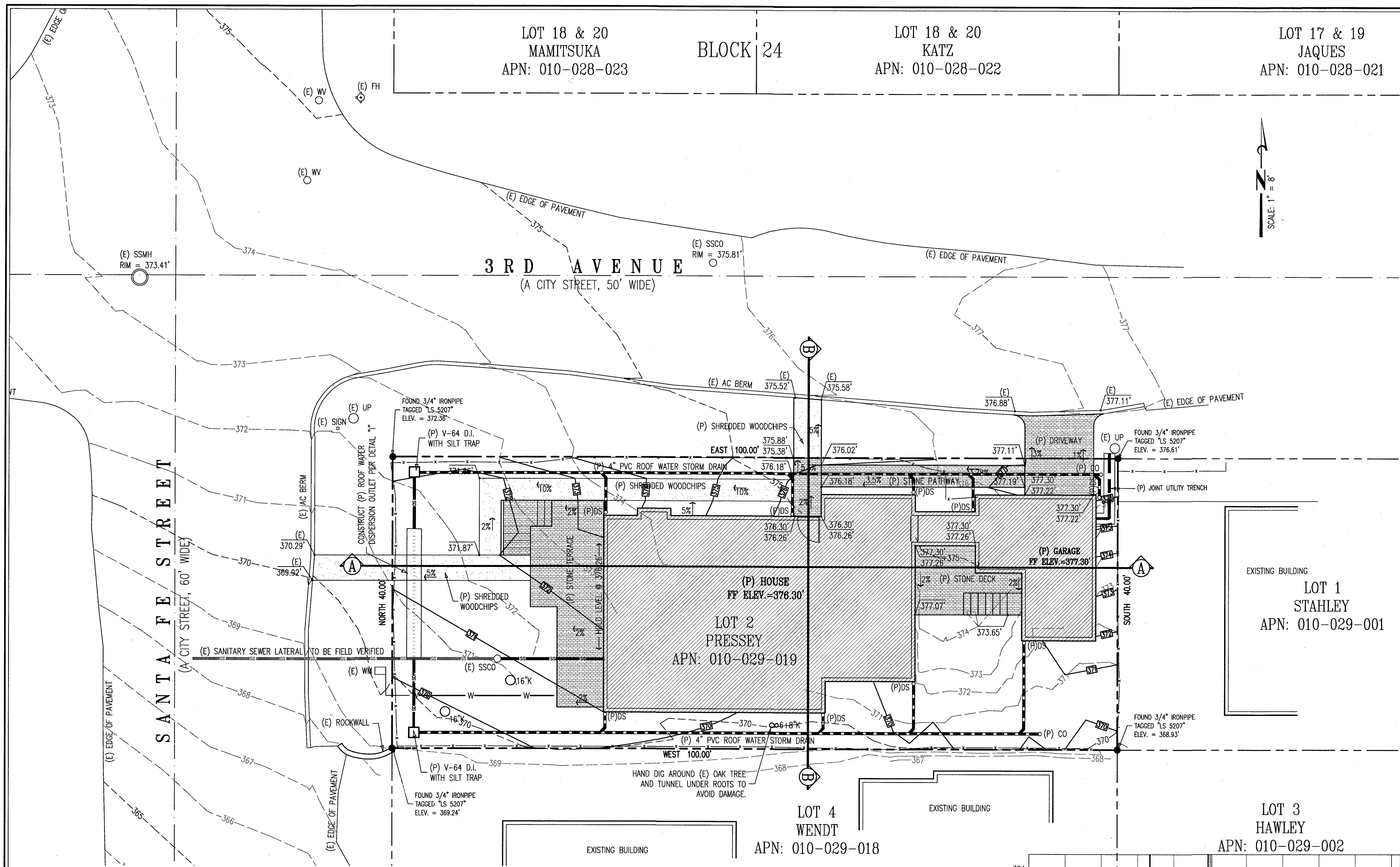
Table with 3 columns: (E) EXISTING, (P) PROPOSED, (F) FINISHED GRADE, (N) NEW, (AB) AGGREGATE BASE, (AC) ASPHALT CONCRETE, (BW) BASE OF WALL, (C&G) CURB & GUTTER, (CB) CATCH BASIN, (CL) CENTERLINE, (CO) CLEAN OUT, (CONC) CONCRETE, (D/W) DRIVEWAY, (DI) DROP INLET, (EL) OR ELEV. ELEVATION, (FF) FACE OF CURB, (FF) FINISHED FLOOR, (FG) FINISHED GRADE, (FL) FLOWLINE, (FB) FLOWLINE, (IN) INVERT ELEVATION, (P) PROPOSED, (R) RADIUS, (RM) RIM ELEVATION, (S) SLOPE, (TBR) TO BE REMOVED/RELOCATED, (TC) TOP OF CURB, (TDC) TOP OF DERESSED CURB, (TIE) TRASH ENCLOSURE, (TW) TOP OF WALL, (UP) UTILITY POLE, (WM) WATER METER, (R) RADIUS, (RWL) RAIN WATER LEADER, (S) SLOPE, (SD) STORM DRAIN, (SF) SQUARE FEET, (TB) THRUST BLOCK, (TBD) TO BE DETERMINED, (TBR) TO BE REMOVED/RELOCATED, (TC) TOP OF CURB, (TDC) TOP OF DERESSED CURB, (UP) UTILITY POLE, (WM) WATER METER, (WV) WATER VALVE.

UTILITY LEGEND

Table with 3 columns: (E) EXISTING, (N) NEW, (AB) AGGREGATE BASE, (AC) ASPHALT CONCRETE, (BFP) BACKFLOW PREVENTER, (BW) BACK OF SIDEWALK, (C&G) CURB & GUTTER, (CB) CATCH BASIN, (CL) CENTERLINE, (CO) CLEAN OUT, (D/W) DRIVEWAY, (DI) DROP INLET, (DS) DOWN SPOUT, (FD) FLOOR DRAIN, (FF) FINISHED FLOOR, (FG) FINISHED GRADE, (FL) FLOWLINE, (GB) GRADE BREAK, (IN) INVERT ELEVATION, (LF) LINEAR FEET, (P) PROPOSED, (R) RADIUS, (RM) RIM ELEVATION, (S) SLOPE, (SD) STORM DRAIN, (SF) SQUARE FEET, (TB) THRUST BLOCK, (TBD) TO BE DETERMINED, (TBR) TO BE REMOVED/RELOCATED, (TC) TOP OF CURB, (TDC) TOP OF DERESSED CURB, (UP) UTILITY POLE, (WM) WATER METER, (WV) WATER VALVE, (SD) STORM DRAIN LINE, (SF) SEWER LINE, (W) WATER LINE, (TDC) JOINT UTILITY TRENCH, (4") 4" PVC RAIN WATER LEADER, (4") 4" PREFORMED WALL DRAIN, (P) PROPOSED BUILDING, (C) CONCRETE, (L) LANDSCAPING.



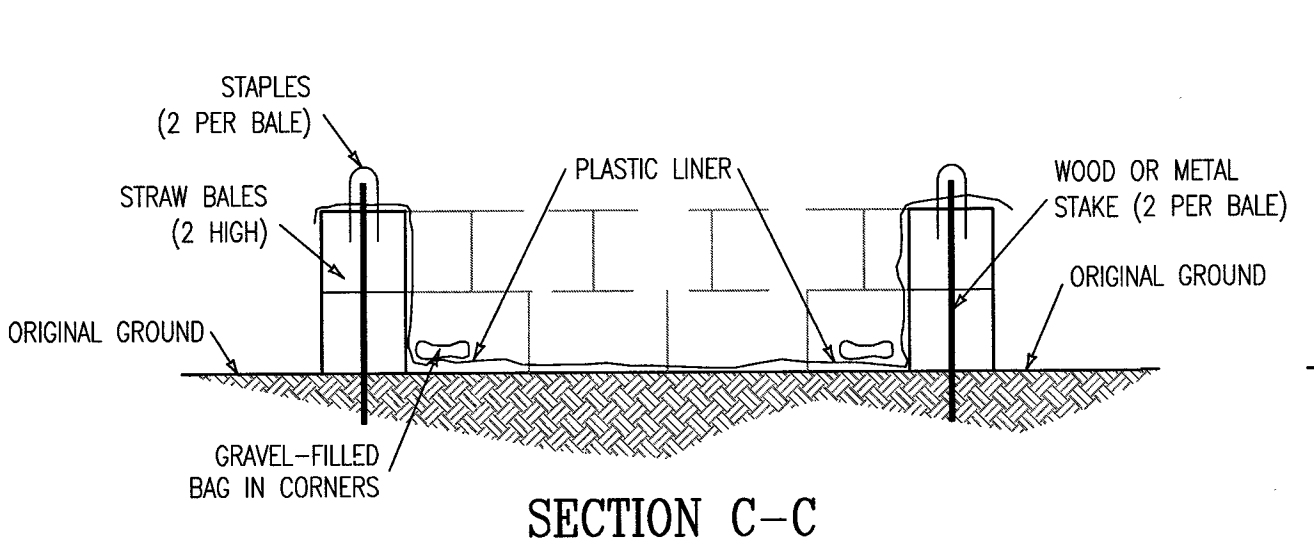
CIVIL IMPROVEMENT PLANS
PROJECT SPECIFICATIONS & KEY MAP
LOT 2, BLOCK 39, MAP OF CARMEL CITY
VOLUME 1, CITIES & TOWNS, PAGE 52, RECORDS OF MONTEREY COUNTY
APN: 010-029-019
CARMEL BY-THE-SEA COUNTY OF MONTEREY STATE OF CALIFORNIA
PREPARED FOR
DANIEL & ANA PRESSEY
BY
MONTEREY BAY ENGINEERS, INC.
CIVIL ENGINEERING • SUBDIVISIONS • LAND SURVEYING • CONSTRUCTION STAKING
807 CHARLES AVE SUITE B (831) 899-7899 SEASIDE, CALIFORNIA 93955
SCALE: 1" = 10' DATE: APRIL, 2023 DRAWN BY: SPH SHEET: C1 OF THREE
JOB No. 22-123



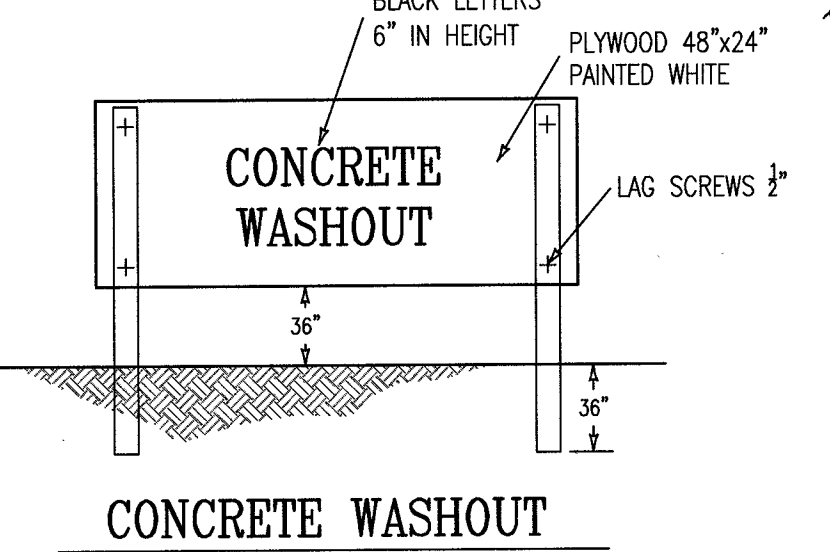
REVISIONS		CIVIL IMPROVEMENT PLANS			
DATE	BY	GRADING & DRAINAGE PLANS			
		LOT 2, BLOCK 39, MAP OF CARMEL CITY			
		VOLUME 1, CITIES & TOWNS, PAGE 52, RECORDS OF MONTEREY COUNTY			
		APN: 010-029-019			
		CARMEL BY-THE-SEA COUNTY OF MONTEREY STATE OF CALIFORNIA			
		PREPARED FOR			
		DANIEL & ANA PRESSEY			
		BY			
		MONTEREY BAY ENGINEERS, INC.			
		CIVIL ENGINEERING • SUBDIVISIONS • LAND SURVEYING • CONSTRUCTION STAKING			
		607 CHARLES AVE SUITE B (831) 899-7899 SEASIDE, CALIFORNIA 93955			
		SCALE	DATE	DRAWN BY	SHEET
		1" = 8'	APRIL, 2023	SPH	C2
		JOB No. 22-123			OF 10000

NOTES

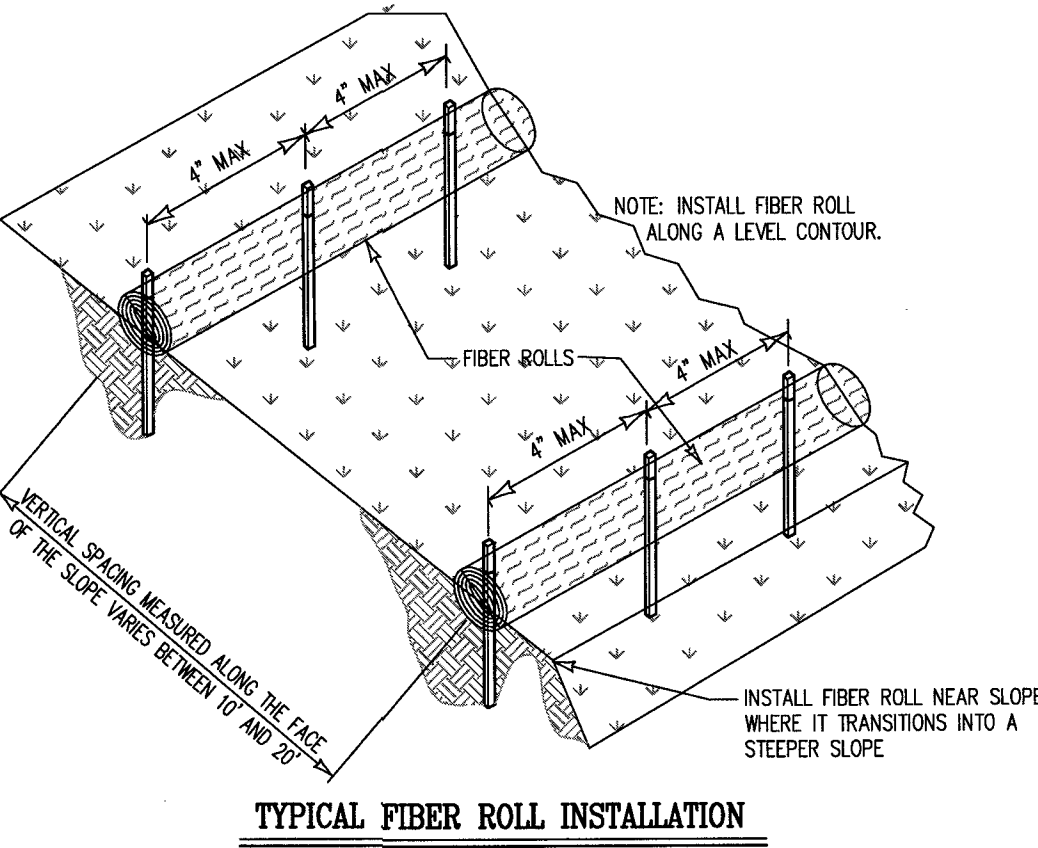
1. THE CONCRETE WASHOUT SIGN SHALL BE INSTALLED WITHIN 30 FEET OF THE TEMPORARY CONCRETE WASHOUT FACILITY.
2. STORE DRY AND WET MATERIALS UNDER COVER, AWAY FROM DRAINAGE AREAS. AVOID MIXING EXCESS AMOUNTS OF FRESH CONCRETE OR CEMENT ON SITE. PERFORM WASHOUT OF CONCRETE TRUCKS OFF SITE OR IN DESIGNATED AREAS ONLY. DO NOT WASH OUT CONCRETE TRUCKS INTO STORM DRAINS, OPEN DITCHES, STREETS, OR STREAMS. DO NOT ALLOW EXCESS CONCRETE TO BE DUMPED ON SITE, EXCEPT IN DESIGNATED AREAS.
3. LOCATE WASHOUT AREA AT LEAST 50' FROM STORM DRAINS, OPEN DITCHES, OR WATER BODIES. DO NOT ALLOW RUNOFF FROM THIS AREA BY CONSTRUCTING A TEMPORARY PIT OR BERMED AREA LARGE ENOUGH FOR LIQUID AND SOLID WASTE.
4. WASH OUT WASTES INTO THE TEMPORARY PIT WHERE THE CONCRETE CAN SET, BE BROKEN UP, AND THEN DISPOSED OF PROPERLY.
5. WHEN WASHING CONCRETE TO REMOVE FINE PARTICLES AND EXPOSE THE AGGREGATE, AVOID CREATING RUNOFF BY DRAINING THE WATER TO A BERMED OR LEVEL AREA. DO NOT WASH SWEEPINGS FROM EXPOSED AGGREGATE CONCRETE INTO THE STREET OR STORM DRAIN. COLLECT AND RETURN SWEEPINGS TO AGGREGATE BASE STOCK PILE, OR DISPOSE IN TRASH.



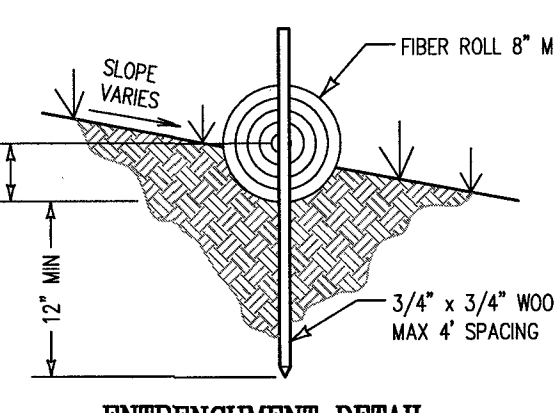
SECTION C-C



CONCRETE WASHOUT SIGN DETAIL

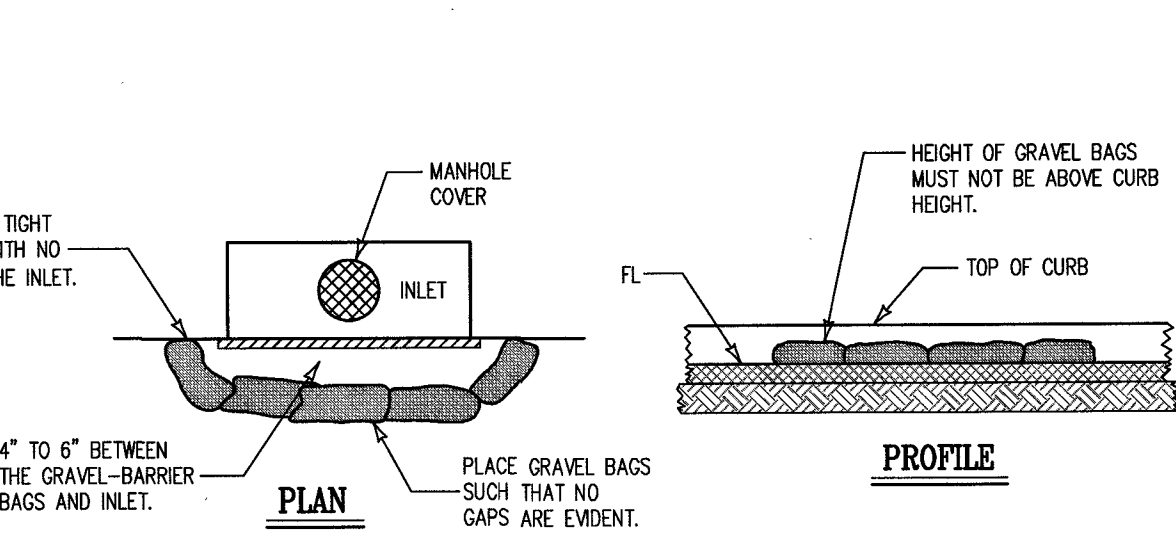


TYPICAL FIBER ROLL INSTALLATION



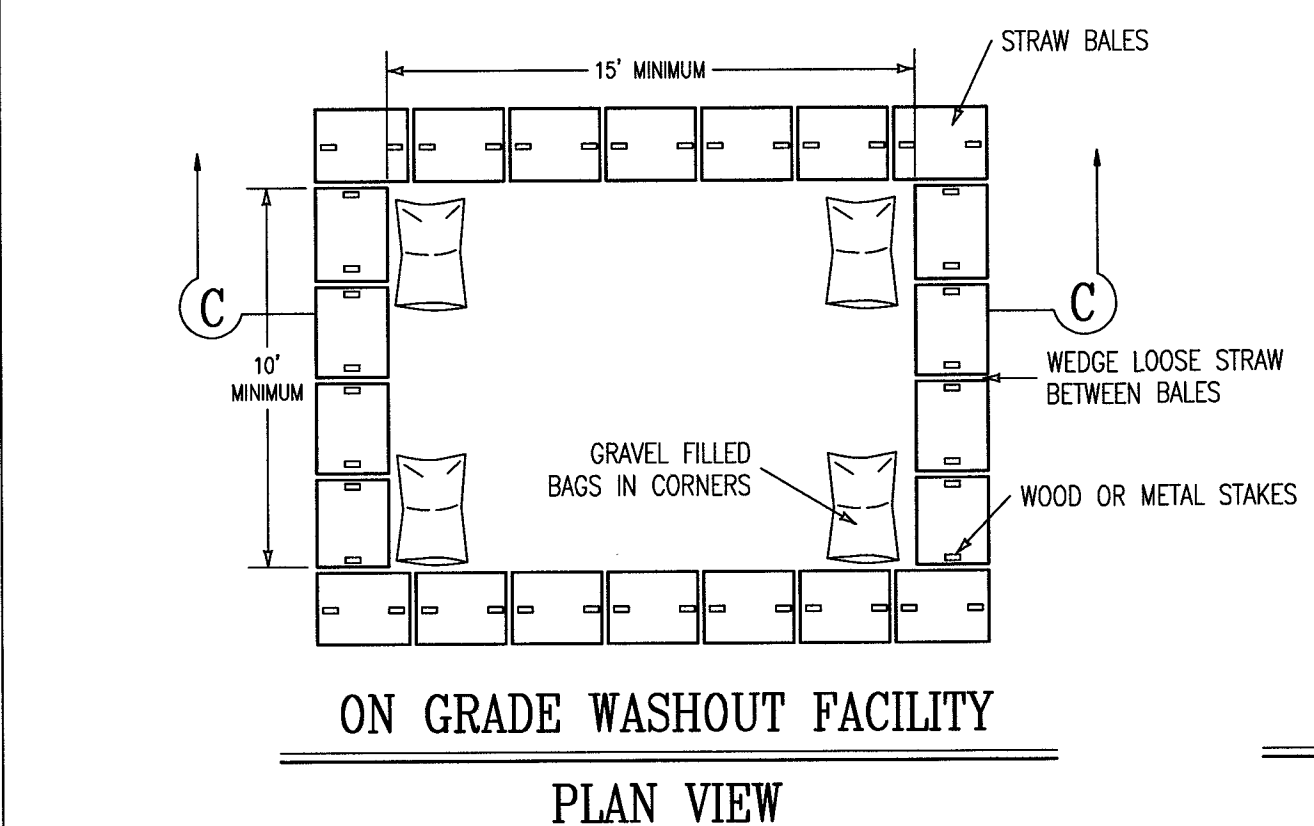
ENTRENCHMENT DETAIL

15 FIBER ROLLS
NOT TO SCALE

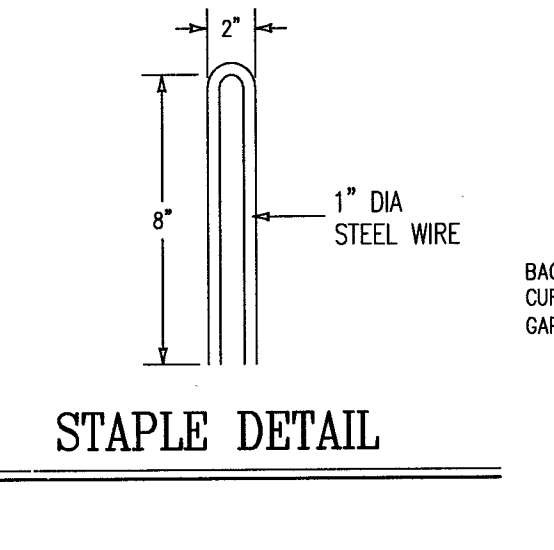


- NOTES**
1. GRAVEL BAGS SHALL CONTAIN 1" TO 2" DIAMETER ROCK CONTAINED IN PERVIOUS BURLAP BAGS OR SYNTHETIC NET BAGS ABOUT 24" LONG, 12" WIDE, AND 6" HIGH.

16 DRAIN INLET BARRIER
NOT TO SCALE

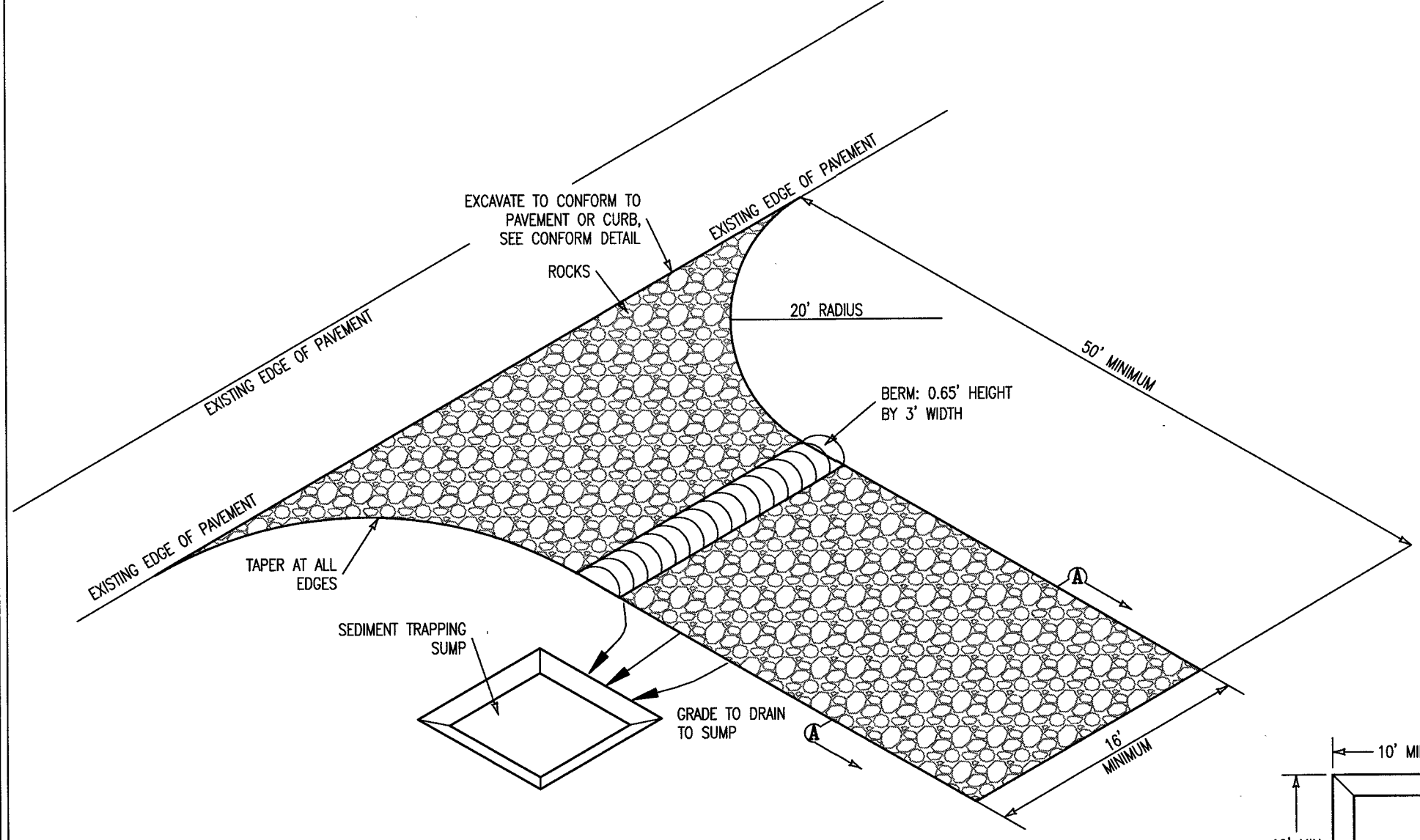


ON GRADE WASHOUT FACILITY PLAN VIEW

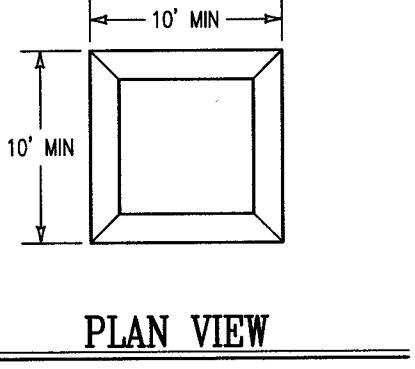


STAPLE DETAIL

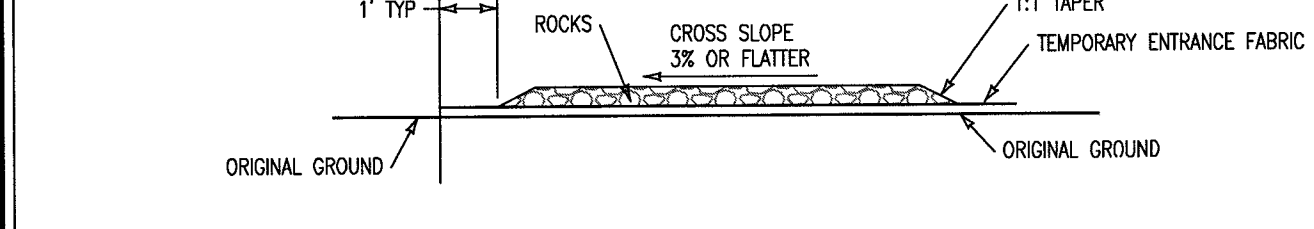
15 TEMPORARY CONCRETE WASHOUT FACILITY
NOT TO SCALE



PERSPECTIVE VIEW



PLAN VIEW



SECTION A-A

ELEVATION SEDIMENT TRAPPING SUMP

EROSION AND SEDIMENT CONTROL GENERAL NOTES

1. **BEST MANAGEMENT PRACTICES (BMPs)** AT A MINIMUM, THE FOLLOWING BMPs ARE REQUIRED REGARDLESS OF WEATHER CONDITIONS, AND AS APPLICABLE TO THE CONSTRUCTION ACTIVITIES PLANNED. VERIFY ALL OF THE BELOW MEASURES ARE ADDRESSED ON THE ESCP SUBMITTAL, AS APPLICABLE.
 - A. **WET WEATHER MEASURES** IF POSSIBLE, AVOID LAND-DISTURBING ACTIVITIES DURING THE WET WEATHER SEASON - OCTOBER 15 THROUGH APRIL 15. OTHERWISE, EXTRA BMP MATERIALS (FILTERS, FIBER ROLLS, GRAVEL BAGS, MULCH/STRAW, PLASTIC COVERS) SHALL BE KEPT ON-SITE FOR PRE-RAIN INSTALL.
 - B. **EXISTING VEGETATION** PROTECT EXISTING VEGETATION; AVOID REMOVAL AS REQUIRED AND WHEREVER POSSIBLE; INSTALL APPROPRIATE/PROTECTIVE FENCING, PERIMETER CONTROLS PRIOR TO WORK.
 - C. **EROSION AND SEDIMENT CONTROL** AS APPLICABLE, SLOPE AND SOIL STABILIZATION BMPs SHALL BE UTILIZED TO PREVENT SLOPE EROSION AND SOIL MOVEMENT-ON-SITE AND OFF-SITE. NO SEDIMENT MAY LEAVE THE SITE, BE DEPOSITED OFF-SITE, OR POLLUTE STORM WATER RUNOFF FROM THE CONSTRUCTION SITE.
 - D. **STOCKPILE MANAGEMENT**
 - 1.) ALL STOCKPILES SHALL BE CONTAINED AND COVERED WHEN NOT ACTIVE, AND SECURED AT THE END OF EACH DAY.
 - 2.) STOCKPILES SHALL BE SECURELY COVERED OVERNIGHT, AND PRIOR TO, DURING, AND AFTER RAIN EVENTS.
 - 3.) NO MATERIAL SHALL LEAVE THE SITE OR MOVE INTO STREET.
 - E. **WASTE MANAGEMENT** ALL CONSTRUCTION WASTE SHALL BE CONTAINED AND SECURELY COVERED ON-SITE, INCLUDING TRASH, PAINT, GROUT, CONCRETE, ETC. ANY WASH OUT FACILITY SHALL BE CONTAINED, MAINTAINED AND ITS CONTENTS DISPOSED OF PROPERLY; NO MATERIAL SHALL BE WASHED INTO STREET.
 - F. **VEHICLES AND EQUIPMENT** RESPONSIBLE PARTIES MUST ENSURE ALL VEHICLES AND EQUIPMENT ARE MAINTAINED IN GOOD WORKING ORDER, WILL NOT CAUSE DIRT, MUD, OIL, GREASE, OR FUEL TO BE DISCHARGED OR TRACKED OFF-SITE INTO THE STREET. INACTIVE VEHICLES/EQUIPMENT MUST USE COVER AND/OR DRIP PANS.
 - G. **DRAIN/INLET PROTECTION & PERIMETER CONTROLS** DRAINS/INLETS THAT RECEIVE STORM WATER MUST BE COVERED OR OTHERWISE PROTECTED FROM RECEIVING SEDIMENT, MUD, DIRT, OR ANY DEBRIS, AND INCLUDE GUTTER CONTROLS AND FILTRATION WHERE APPLICABLE IN A MANNER NOT IMPEDING TRAFFIC OR SAFETY. PROPERLY INSTALLED SILT FENCING OR EQUIVALENT LINEAR CONTROL SHALL BE EVIDENT ALONG SITE PERIMETER TO PREVENT MOVEMENT OF SEDIMENT AND DEBRIS OFF-SITE. ALSO, CHANGING CONSTRUCTION CONDITIONS NECESSITATE THAT THE TYPE OF INLET AND DRAIN PROTECTION IMPLEMENTED BE CHANGED AND/OR ADJUSTED BY THE CONTRACTOR TO ADEQUATELY PROTECT THE STORM DRAIN SYSTEM DURING THE VARIOUS CONSTRUCTION PHASES.
 - H. **SWEEPING** ALL IMPERVIOUS SURFACES (DRIVEWAYS, STREETS) SHALL BE PHYSICALLY SWEEPED (NOT WASHED OR HOSED DOWN), AND MAINTAINED FREE OF DEBRIS AND ACCUMULATIONS OF DIRT. NO TRACKING OFF-SITE.
 - I. **DEWATERING** NO DEWATERING IS ALLOWED FROM CONSTRUCTION SITES UNLESS DISCHARGE IS AN EXCEPTION TO THE DISCHARGE PROHIBITION PER CITY CODE CH. 31.5-12(C). ASBS DRAINAGES HAVE GREATER RESTRICTIONS. ANY PROPOSED DEWATERING MUST BE REVIEWED/CLEARED BY CITY AND APPLICABLE REGULATORY AGENCIES.
 - J. STORMWATER MIXED WITH NON-STORMWATER SHALL BE MANAGED AS NON-STORM WATER.

CONSTRUCTION BEST MANAGEMENT PRACTICES (BMPs)

Construction Projects Are Required to Implement the Stormwater Best Management Practices (BMP) on this Page, as they Apply to Your Project, All Year Long.

MATERIALS & WASTE MANAGEMENT

Non-Hazardous Materials

- Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days.
- Use (but don't overuse) reclaimed water for dust control.

Hazardous Materials

- Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- Arrange for appropriate disposal of all hazardous wastes.

WASTE MANAGEMENT

- Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
- Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction site.
- Clean or replace portable toilets, and inspect them frequently for leaks and spills.
- Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gyp board, pipe, etc.)
- Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.

Construction Entrances and Perimeter

- Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharge from site and tracking off site.
- Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

Maintenance and Parking

- Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
- Perform major maintenance, repair jobs, and vehicle and equipment washing off-site.
- If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and cover a drip pan big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, steam cleaning equipment, etc.

EQUIPMENT MANAGEMENT & SPILL CONTROL

Spill Prevention and Control

- Keep spill cleanup materials (rags, absorbents, etc.) available at the construction site at all times.
- Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
- Clean up spills or leaks immediately and dispose of cleanup materials properly.
- Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
- Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
- Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: 1) Dial 911 or your local emergency response number, 2) Call the Governor's Office of Emergency Services Warning Center, (800) 852-7550 (24 hours).

EARTHWORK & CONTAMINATED SOILS

Erosion Control

- Schedule grading and excavation work for dry weather only.
- Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- Seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.
- Protect storm drain inlets, gutters, ditches, and drainage courses with appropriate BMPs, such as gravel bags, fiber rolls, berms, etc.
- Prevent sediment from migrating offsite by installing and maintaining sediment controls, such as fiber rolls, silt fences, or sediment basins.
- Keep excavated soil on the site where it will not collect into the street.
- Transfer excavated materials to dump trucks on the site, not in the street.

Sediment Control

- Contaminated Soils
- If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
 - Unusual soil conditions.
 - Discoloration, or odor.
 - Abandoned underground tanks
 - Abandoned wells
 - Buried barrels, debris, or trash.

PAVING/ASPHALT WORK

- Avoid paving and seal coating in wet weather, or when rain is forecast before fresh pavement will have time to cure.
- Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- Collect and recycle or appropriately dispose of excess aggregate gravel or sand. Do NOT sweep or wash it into gutters.
- Do not use water to wash down fresh asphalt concrete pavement.

Sawcutting & Asphalt/Concrete Removal

- Completely cover or barricade storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
- Shovel, absorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in site location or at the end of each work day (whichever is sooner).
- If sawcut slurry enters a catch basin, clean it up immediately.

CONCRETE, GROUT & MORTAR APPLICATION

- Store concrete, grout and mortar under cover, on pallets and away from drainage areas. These materials must never reach a storm drain.
- Wash out concrete equipment/trucks offsite or in a contained area, so there is no discharge into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- Collect the wash water from washing exposed aggregate concrete and remove it for appropriate disposal offsite.

Landscaping Materials

- Contain stockpiled landscaping materials by storing them under tarps when they are not actively being used.
- Stack erodible landscape material on pallets. Cover or store these materials when they are not actively being used or applied.
- Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

PAINTING & PAINT REMOVAL

Painting cleanup

- Never clean brushes or rinse paint containers into a street, gutter, storm drain, or surface water.
- Wash out concrete equipment/trucks offsite or in a contained area, so there is no discharge into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- Collect the wash water from washing exposed aggregate concrete and remove it for appropriate disposal offsite.

Paint Removal

- Chemical paint stripping residue and chips and dust from marine paints or paints containing lead or tributyltin must be disposed of as hazardous waste.
- Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.

DEWATERING

- Effectively manage all run-on, all runoff within the site, and all runoff that discharges from the site. Divert run-on water from offsite away from all disturbed areas or otherwise ensure compliance.
- When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- In areas of known contamination, testing is required prior to reuse or discharge of groundwater. Consult with the Engineer to determine whether testing is required and how to interpret results. Contaminated groundwater must be treated or hauled off-site for proper disposal.

STORM DRAIN POLLUTERS MAY BE LIABLE FOR FINES OF UP TO \$10,000 PER DAY!

NOTES

1. FILL GRAVEL BAGS ABOUT 2/3 FULL BEFORE PLACING IN THE GUTTER.
2. PLACE TWO OR MORE SETS OF GRAVEL BAGS IN A MANNER THAT RESULTS IN MAXIMUM SUPPORT. THE FLOW LINE BAG MUST BE LOWER THAN THE TOP OF THE CURB.

STREET GRADE (%)	SPACING BETWEEN BAGS (FT)
0.5	100
1.0	50
2.0	25
3.0	16
4.0	13
5.0	10

19 CURB AND GUTTER CONTAINMENT
NOT TO SCALE

NOTES

1. ALL STOCKPILES SHALL BE CONTAINED AND COVERED WHEN NOT ACTIVE, AND SECURED AT THE END OF EACH DAY.
2. STOCKPILES SHALL BE SECURELY COVERED OVERNIGHT, AND PRIOR TO, DURING, AND AFTER RAIN EVENTS.
3. NO MATERIAL SHALL LEAVE THE SITE OR MOVE INTO STREET.
4. PLASTIC SHEETING HAS LIMITATIONS DUE TO SUNLIGHT BREAKDOWN, HARD TO MANAGE IN WINDY CONDITIONS, AND CAN INCREASE RUNOFF ISSUE FOR PERIMETER CONTROLS. INSPECT FREQUENTLY OR USE GEOSYNTHETIC FABRIC AS APPLICABLE.
5. DO NOT LOCATE WITHIN 50 FEET OF A STORM DRAIN.

18 TEMPORARY COVER ON STOCKPILE
NOT TO SCALE

REVISIONS	
DATE	BY

CIVIL IMPROVEMENT PLANS
BEST MANAGEMENT PRACTICE DETAIL
LOT 2, BLOCK 39, MAP OF CARMEL
VOLUME 1, CITIES & TOWNS, PAGE 62, RECORDS OF MONTEREY COUNTY
APN: 010-029-019
CARMEL BY-THE-SEA COUNTY OF MONTEREY STATE OF CALIFORNIA
PREPARED FOR
DANIEL & ANA PRESSEY CITY
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607 CHARLES AVE. SUITE B (831) 899-7899 SEASIDE, CALIFORNIA 93955
SCALE AS SHOWN DATE APRIL, 2023 DRAWN BY SPH SHEET C3 OF THREE
JOB No. 22-123

DATE:
08/21/2023

SCALE:
AS NOTED

DRAWN BY:
MCW



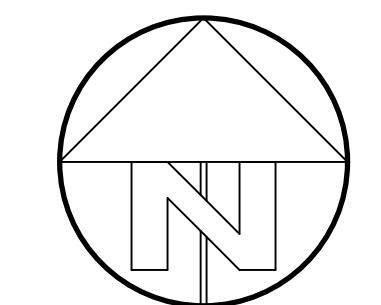
**PRELIMINARY
NOT FOR
CONSTRUCTION**

Revisions:

PROJECT TITLE:

**Pressey
Residence**

SE corner of 3rd and
Santa Fe Street
Carmel by the Sea, CA 93921
Block 39; Lot: 2
APN: 010-029-019

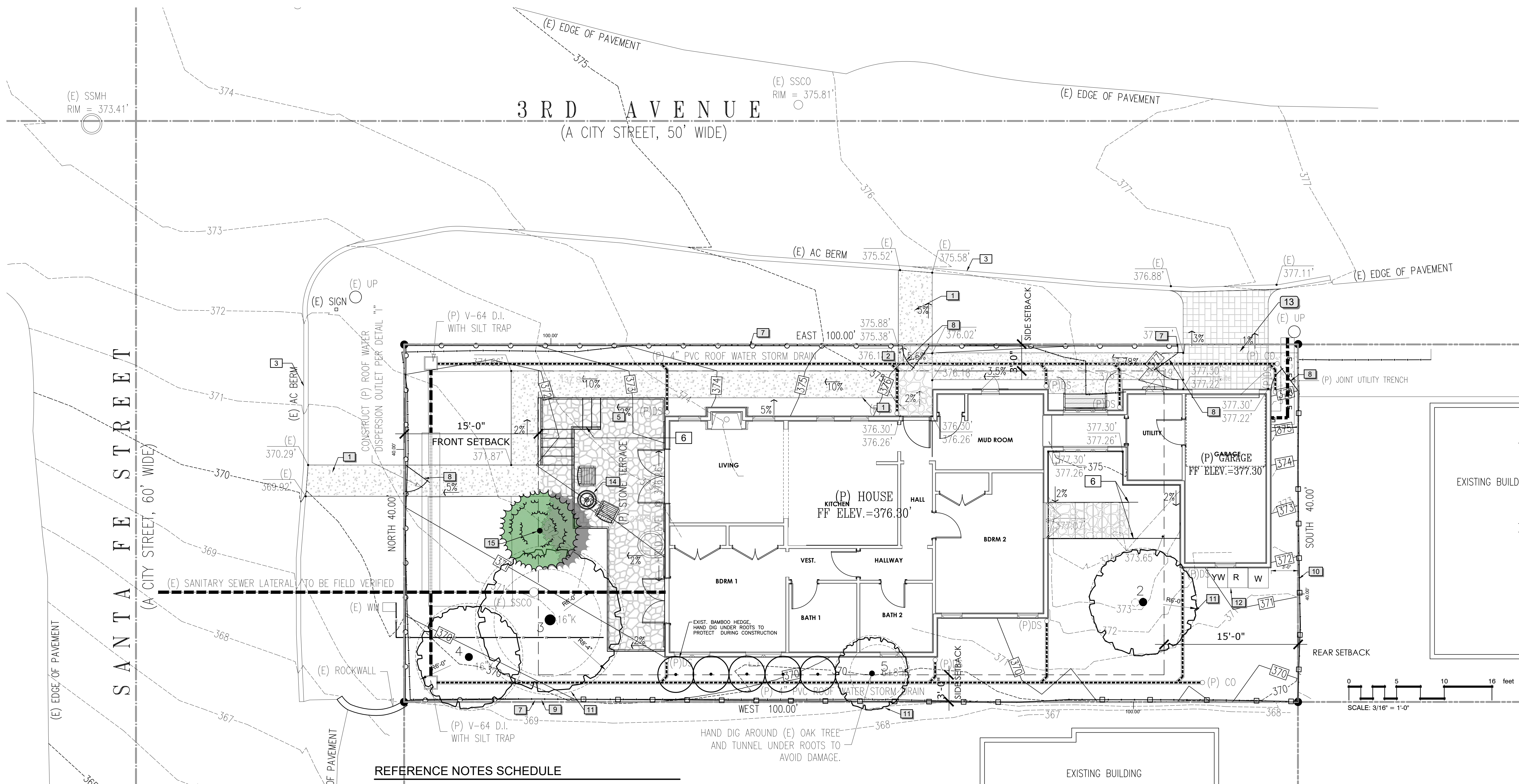


SHEET TITLE:
**Preliminary
Landscape
Site Plan**

Project #21.009

SHEET #

L1.0



REFERENCE NOTES SCHEDULE

SYMBOL	DESCRIPTION	QTY
[1]	New finely shredded woodchips, typ.	386 sf
[2]	New stone pavement, typ.	343 sf
[3]	Edge of street pavement	
[4]	Proposed back stone terrace.	
[5]	Proposed front stone terrace, constructed without disturbing roots in dripline of tree canopy.	
[6]	Proposed hand rail	
[7]	New max. 4 ft. high wood grapestake fence	
[8]	New wood grapestake gate, max. 4 ft. high	
[9]	Existing 6 ft. high grapestake fence to remain	
[10]	Existing wood board fence to remain	
[11]	Tree protection zone, typ.: protect existing trees per City of Carmel Tree Protection standards.	
[12]	Waste can storage	
[13]	New driveway pavers	47 sf
[14]	New self contained water feature (needs power and water connection, install autofill valve)	
[15]	New upper canopy tree	

GENERAL NOTES:

CONTRACTOR RESPONSIBILITY IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS AS THEY RELATE TO THE PLAN, AND THE PLAN AS IT RELATES TO ALL EXISTING CONDITIONS. ANY DISCREPANCY OR ERROR SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT OR OWNER UPON DISCOVERY OF SUCH DISCREPANCY OR ERROR PRIOR TO COMMENCING WORK.
UTILITIES CONTRACTOR SHALL VERIFY LOCATION OF ALL ON-SITE UTILITIES. RESTORATION OF DAMAGED UTILITIES SHALL BE MADE AT THE CONTRACTOR'S EXPENSE.
FIELD VERIFICATION CONTRACTOR TO FIELD VERIFY DIMENSIONS OF ALL PLANTING AREAS IF NECESSARY.
QUANTITIES THE QUANTITIES SHOWN ON THE PLANTING SCHEDULE ARE FOR THE LANDSCAPE ARCHITECT'S USE AND ARE NOT TO BE CONSTRUED AS THE COMPLETE AND ACCURATE LIMITS OF THE CONTRACT.
ROOT BARRIER ROOT BARRIER SHALL BE INSTALLED IN ALL PLANTING AREAS CONTAINING TREES, WITHIN A DISTANCE OF LESS THAN 10 FEET FROM PAVING OR FOOTINGS.
TREE PROTECTION: THE PROPERTY OWNER/CONTRACTOR SHALL ERECT PROTECTIVE BARRICADES AROUND ALL TREES TO REMAIN. THESE BARRICADES SHALL BE IN PLACE PRIOR TO THE START OF ANY CONSTRUCTION OR DEMOLITION ACTIVITIES. BARRICADES SHALL BE UPRIGHT, TWO INCH BY FOUR INCH PLANKS STANDING A MINIMUM OF EIGHT FEET VERTICALLY, CONFORMING TO THE TREE, TIED WITH WIRE OR ROPE, FORMING A MAXIMUM OF ONE INCH SPACE BETWEEN THE PLANKS.

SITE COVERAGE

SITE AREA = 3,996 SF
 BASE FLOOR AREA FOR SITES 4,000 SF = 1,800 SF
 MAX. ALLOWED SITE COVERAGE IS 22% OF 1,800 SF (FLOOR AREA)
 396 SF SITE COVERAGE ALLOWED

	SITE COVERAGE TABLE	
	PERMEABLE	IMPERMEABLE
STONE PAVING FRONT	-	278 SQUARE FEET
STONE PATH FRONT DOOR	-	30 SQUARE FEET
STONE STAIRS BACKYARD	-	36 SQUARE FEET
DRIVEWAY PAVERS	-	47 SQUARE FEET
TOTAL PROPOSED		391 SQUARE FEET

DATE:
08/22/2022

SCALE:
AS NOTED

DRAWN BY:
MCW



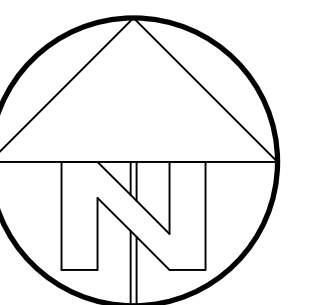
PRELIMINARY
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CONSTRUCTION

Revisions:

PROJECT TITLE:

Pressey
Residence

SE corner of 3rd and
Santa Fe Street
Carmel by the Sea, CA 93921
Block 39; Lot: 2
APN: 010-029-019

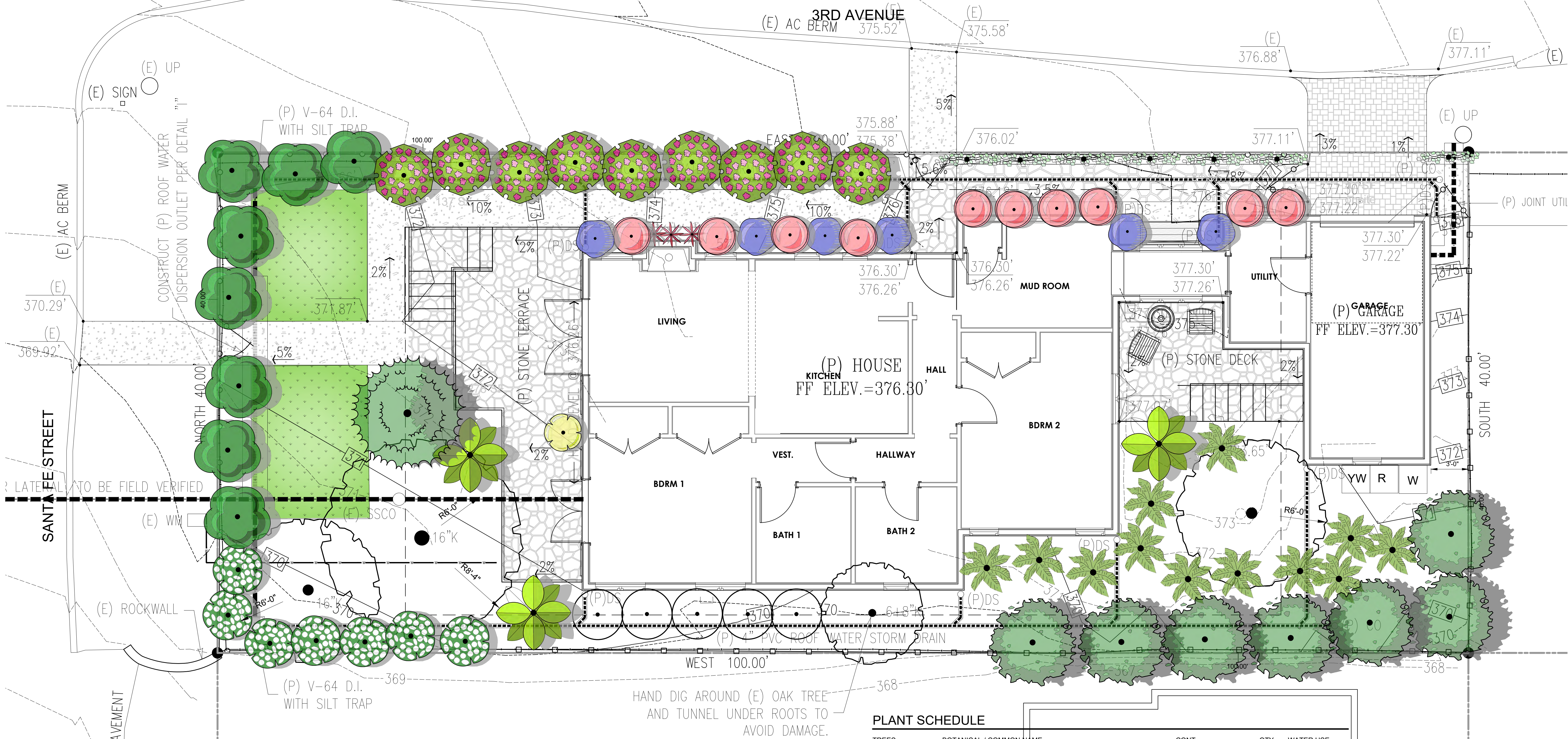


SHEET TITLE:
Preliminary
Planting Plan

Project #21.009

SHEET #

L2.0



PLANTING NOTES

CONTRACTOR RESPONSIBILITY IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS AS THEY RELATE TO THE PLAN, AND THE PLAN AS IT RELATES TO ALL EXISTING CONDITIONS. ANY DISCREPANCY OR ERROR SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT OR OWNER UPON DISCOVERY OF SUCH DISCREPANCY OR ERROR PRIOR TO COMMENCING WORK.

UTILITIES CONTRACTOR SHALL VERIFY LOCATION OF ALL ON-SITE UTILITIES. RESTORATION OF DAMAGED UTILITIES SHALL BE MADE AT THE CONTRACTOR'S EXPENSE.

FIELD VERIFICATION CONTRACTOR TO FIELD VERIFY DIMENSIONS OF ALL PLANTING AREAS IF NECESSARY.

QUANTITIES THE QUANTITIES SHOWN ON THE PLANTING SCHEDULE ARE FOR THE LANDSCAPE ARCHITECT'S USE AND ARE NOT TO BE CONSTRUED AS THE COMPLETE AND ACCURATE LIMITS OF THE CONTRACT.

ROOT BARRIER ROOT BARRIER SHALL BE INSTALLED IN ALL PLANTING AREAS CONTAINING TREES, WITHIN A DISTANCE OF LESS THAN 10 FEET FROM PAVING OR FOOTINGS.

TREE AND SHRUB PLANTING PROCEDURE PLANTS SHOULD BE REMOVED FROM THE CONTAINERS IN A MANNER TO MINIMIZE DISTURBANCE OF PLANT AND ROOT BALL. CIRCLING ROOTS AT THE PERIPHERY OF THE ROOT BALL SHOULD BE PULLED OUTWARD OR PRUNED DURING PLANTING TO PREVENT FUTURE GIRDLING. PLANTS WITH SEVERE GIRDLING SHALL BE REJECTED. BASINS SHOULD BE CONSTRUCTED TO ALLOW RETENTION OF TWO INCHES MINIMUM OF WATER OVER THE TOP OF THE ROOT BALL. THE BACKFILL MATERIAL AND ROOT BALL SHOULD BE SATURATED TO THE FULL DEPTH IMMEDIATELY AFTER PLANTING. EACH PLANT SHOULD BE PLACED IN THE HOLE AT SUCH A DEPTH THAT, AFTER THE SOIL HAS SETTLED, THE TOP OF THE ROOT BALL WILL BE SLIGHTLY ABOVE THE SURROUNDING SOIL TO AVOID WATER ACCUMULATION AT THE CROWN OF THE PLANT. BACKFILL SHOULD BE PLACED AROUND THE ROOT BALL AND COMPACTED GENTLY WITH THE END OF THE SHOVEL. BACKFILL SHOULD BE NO MORE THAN 70% MATERIAL FROM THE PLANT HOLE PREPARATION AND 30% "MANUFACTURED" SOIL.

AMENDMENTS ALL SOIL OUTSIDE OF THE DRIP LINES OF SIGNIFICANT TREES SHALL BE AMENDED BY TILLING IN 2 INCHES OF CLEAN COMPOST.

MULCH IN ADDITION TO THE AREAS CALLED OUT AS PATHS WITH BARK MULCH ALL BARE SOIL IN BETWEEN NEW PLANTINGS SHALL BE COVERED WITH 3" OF NITROLIZED CHIPPED BARK MULCH, OR EQUIVALENT, AS APPROPRIATE.

SOIL ANALYSIS AND AMENDMENT RECOMMENDATION REPORT CONTRACTOR SHALL COLLECT NATIVE SOIL AND SEND TO SOIL LABORATORY FOR TESTING AND TO OBTAIN SOIL AMENDMENT RECOMMENDATIONS

PLANT ARRANGEMENTS PLANT MATERIAL LOCATED IN VISIBLE FROM THE STREET SHALL BE ARRANGED IN A RELAXED, INFORMAL, IRREGULAR PATTERN.

HAND DIG AROUND (E) OAK TREE AND TUNNEL UNDER ROOTS TO AVOID DAMAGE.

PLANT SCHEDULE

TREES	BOTANICAL / COMMON NAME	CONT	QTY	WATER USE	
	Pinus halepensis / Aleppo Pine	15 gal	1	Low	
	Podocarpus gracilior / Fern Pine Column	15 gal	7	Medium	
SHRUBS	BOTANICAL / COMMON NAME	CONT	QTY	WATER USE	
	Aloe arborescens / Torch Aloe	Existing	3	Low	
	Anigozanthos flavidus "Backdraft" / Red Kangaroo Paw	5 gal	3		
	Citrus x limon "Dwarf Improved Meyer" / Dwarf Improved Meyer Lemon	5 gal	1	Medium	
	Tibouchina urvilleana / Princess Flower	5 gal	6	Medium	
	Trachelospermum jasminoides / Star Jasmine Trellis	5 gal	10	Medium	
NATIVE SHRUBS	BOTANICAL / COMMON NAME	CONT	QTY	WATER USE	
	Carpenteria californica "Elizabeth" / Elizabeth Bush Anemone	5 gal	7	Low - Medium	
	Heuchera hirsutissima "Santa Rosa" / Coral Bells	1 gal	10	Low - Medium	
	Rhamnus californica / California Coffeeberry	5 gal	8	Very low - Low	
	Rhus ovata / Sugar Bush	5 gal	9	Very low - Low	
	Woodwardia fimbriata / Giant Chain Fern	5 gal	12	Medium	
SHRUB AREAS	BOTANICAL / COMMON NAME	CONT	SPACING	QTY	WATER USE
	Carex praegracilis "Chisai" / Small California Field Sedge	plugs	12" o.c.	220	Medium

DATE:
08/22/2022

SCALE:
AS NOTED

DRAWN BY:
MCW



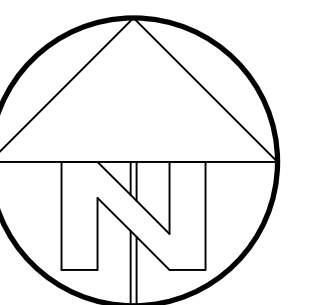
**PRELIMINARY
NOT FOR
CONSTRUCTION**

Revisions:

PROJECT TITLE:

**Pressey
Residence**

SE corner of 3rd and
Santa Fe Street
Carmel by the Sea, CA 93921
Block 39; Lot: 2
APN: 010-029-019



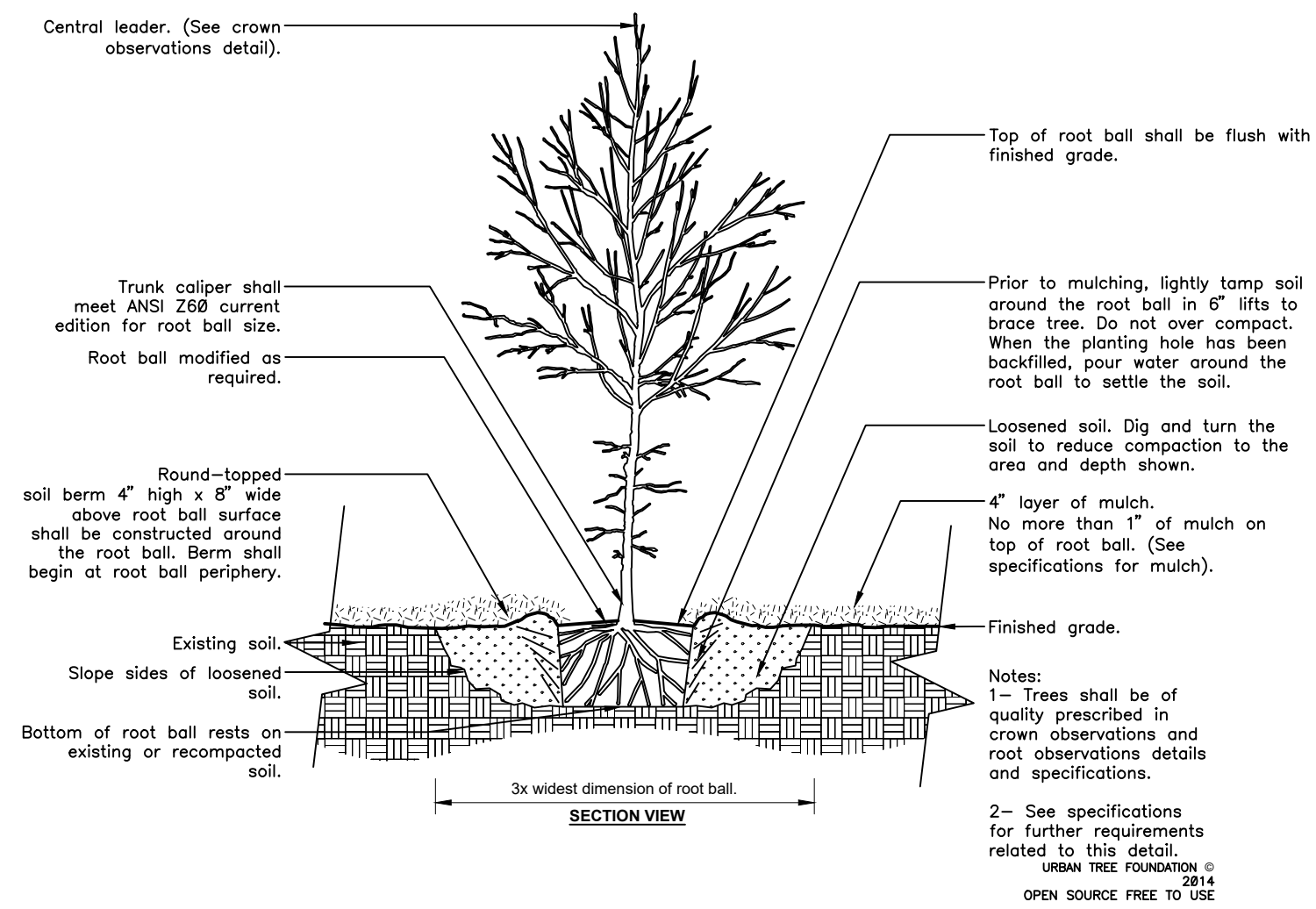
SHEET TITLE:

Planting Details

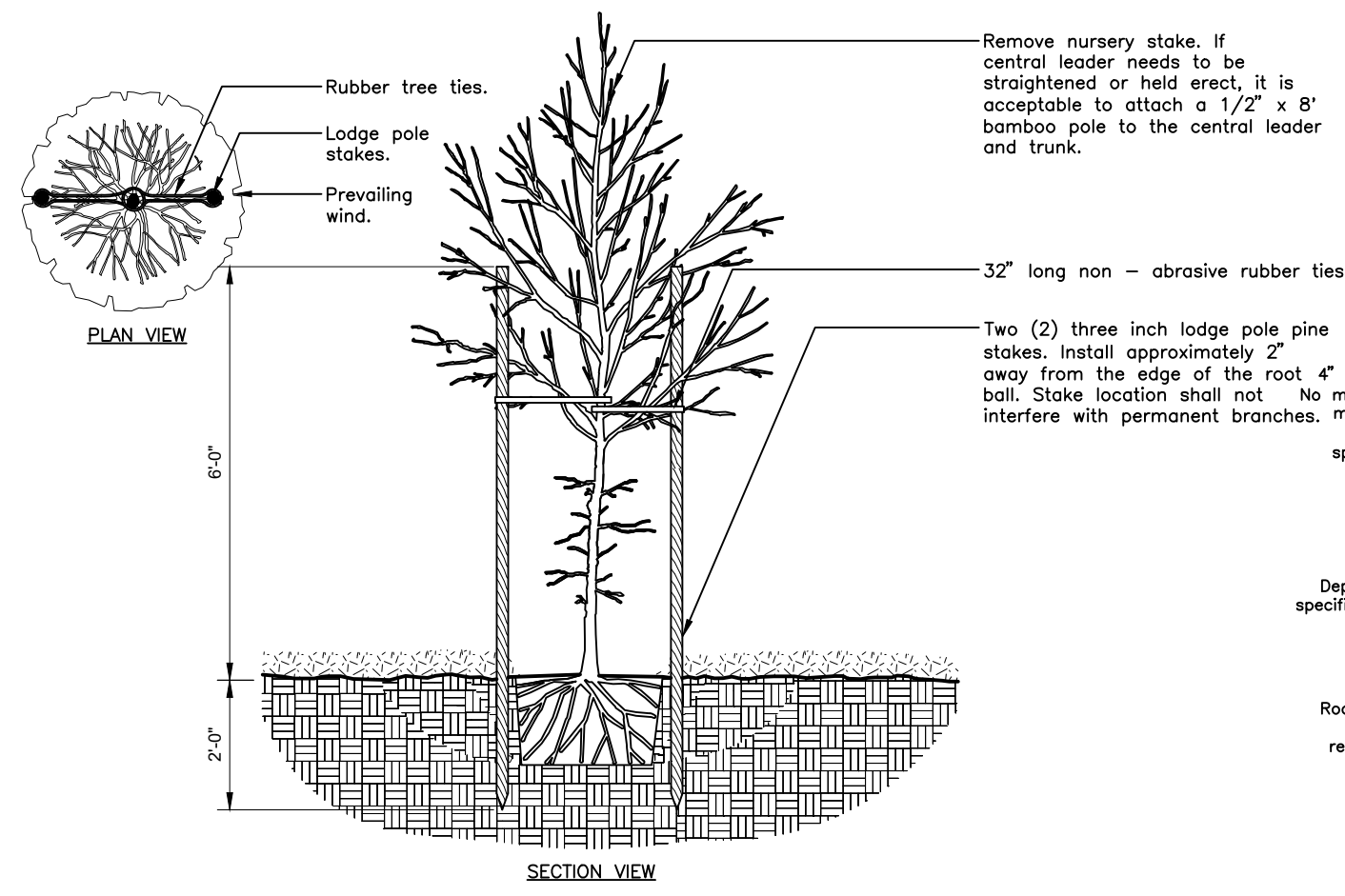
Project #21.009

SHEET #

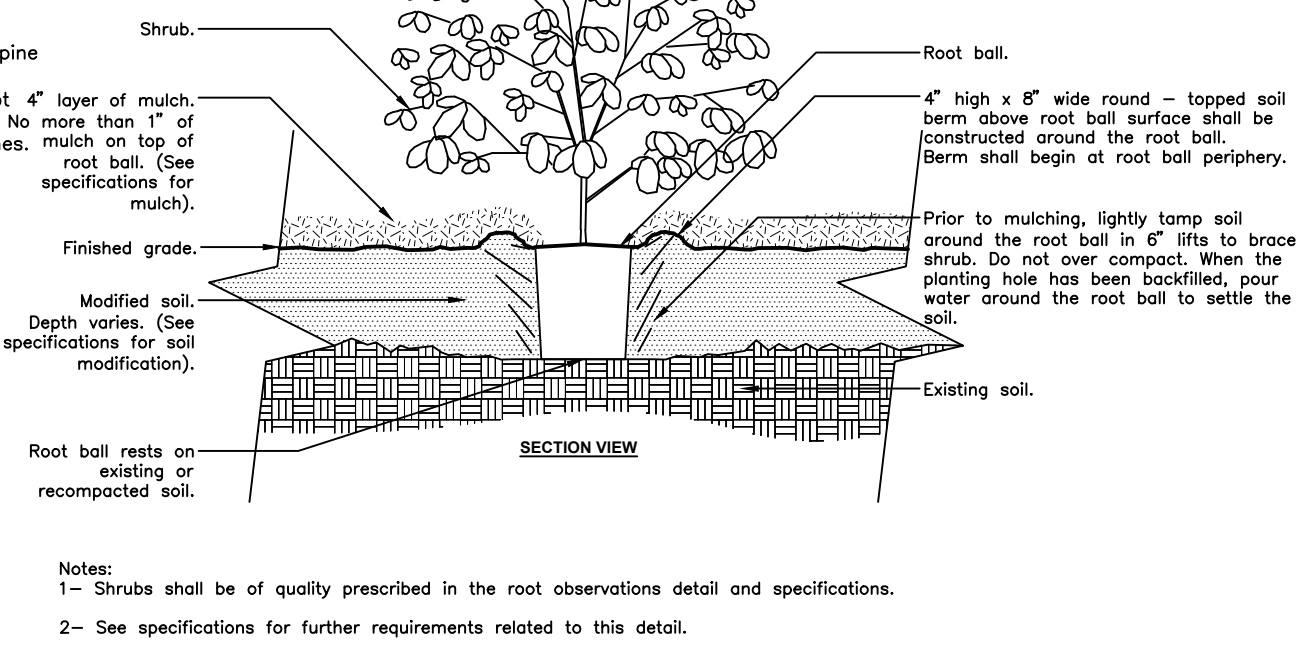
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1 TREE W/ BERM (EXISTING SOIL NOT MODIFIED)
N.T.S. P-PR-01

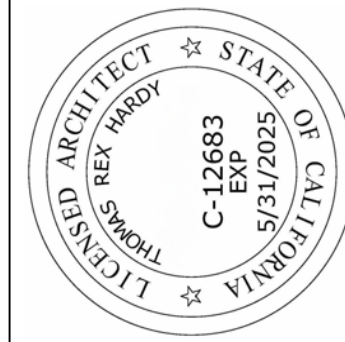


2 TREE STAKING - LODGE POLES (2)
N.T.S. P-PR-02



3 SHRUB - MODIFIED SOIL
N.T.S. P-PR-03

THOMAS REX HARDY, AIA
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Pressey Residence
Ana & Daniel Pressey
3rd & Santa Fe, Carmel

APN #

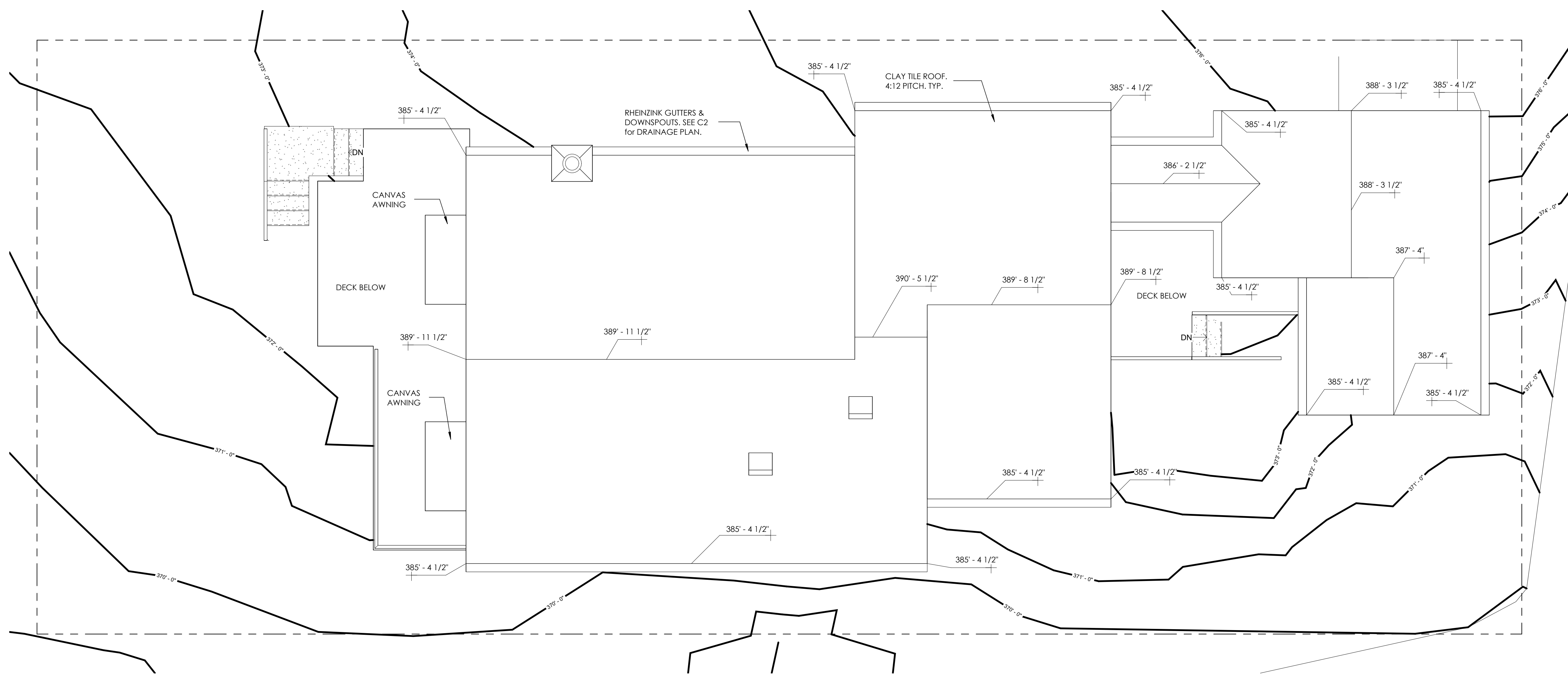
No.	Description	Date

Design Review Rev'd

Story Pole Plan

Project No. 2004
Date 1/26/24
Drawn by TRH
Scale 1/4" = 1'-0"

SP-1



1 ROOF STAKING PLAN
1/4" = 1'-0"