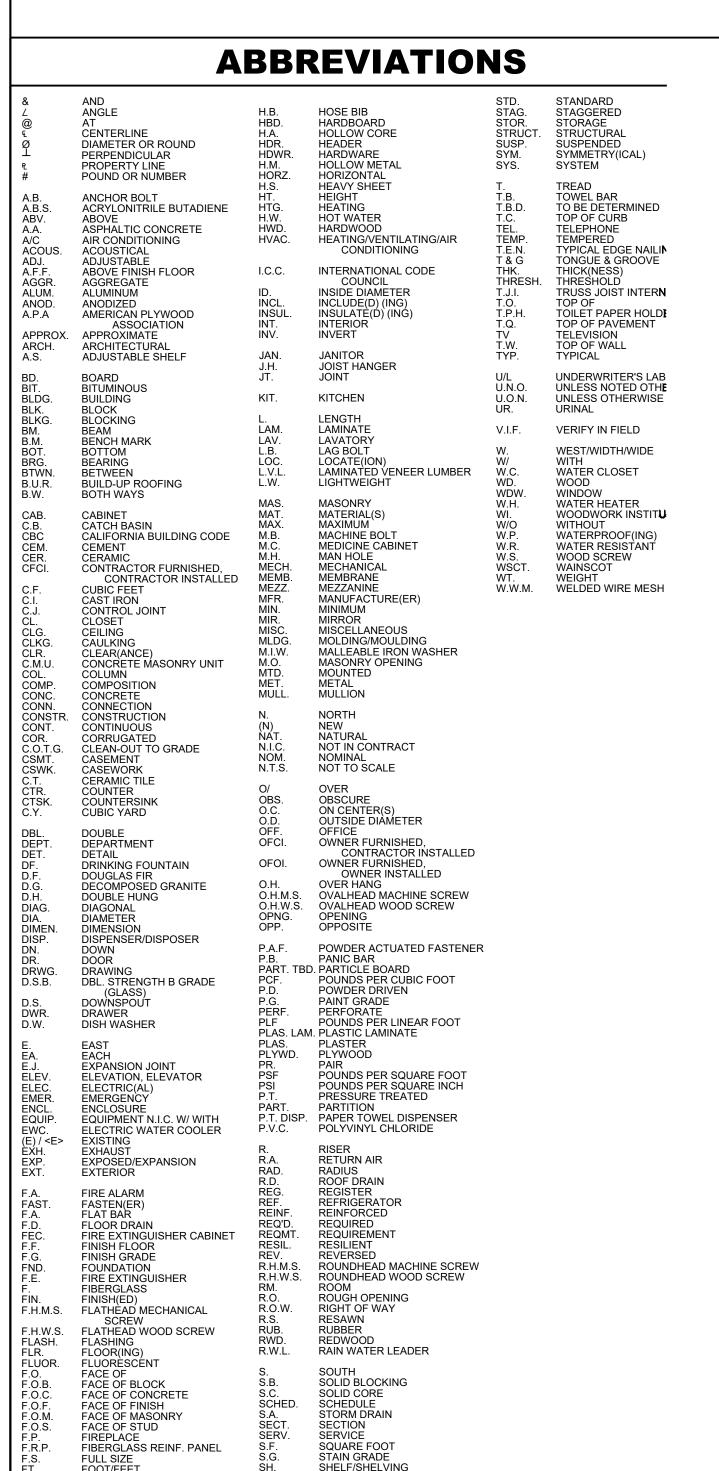
SAN CARLOS BUILDING ROOF IMPROVEMENTS

San Carlos 2 NW of 8th Street Carmel, CA 93921



SHEATHING

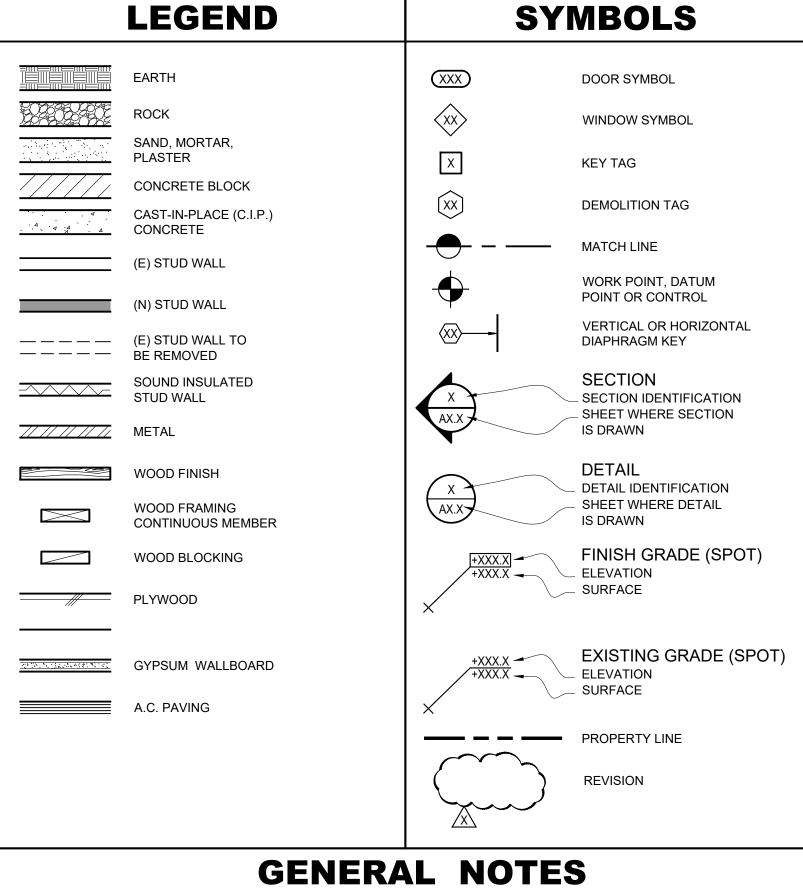
STAINLESS STEEL SERVICE

SEE STRUCTURAL DRAWINGS

SIM. S.S.

GAUGE/GAGE

GALVANIZED GRAB BAR



DISCREPANCIES TO THE ARCHITECT FOR CLARIFICATION AND CORRECTION PRIOR TO BEGINNING ANY WORK.

i. THESE DRAWINGS SHALL BE CONSIDERED SUBSTANTIALLY COMPLETE. IT IS THE RESPONSIBILITY OF THE GENERAL

CONTRACTOR TO PROVIDE ALL LABOR AND MATERIALS NECESSARY TO RENDER THE WORK COMPLETE, AS IS THE INTENT

EXISTING CONSTRUCTION DETAILS SHOWN HEREIN ARE ASSUMED TO BE SUBSTANTIALLY CORRECT AND MAY NOT DEPICT

THE ACTUAL CONDITION. THE GENERAL CONTRACTOR SHALL VERIFY (E) CONDITIONS AND NOTIFY THE ARCHITECT ANY

3. ANY PROPOSED SHUT DOWN OF UTILITIES SHALL BE REGISTERED IN WRITING AT LEAST SEVEN (7) WORKING DAYS IN

10.PROVIDE ALL REQUIRED FIRE BLOCKING IN ACCORDANCE WITH SECTION 718.2 OF THE CURRENT ADOPTED EDITION OF

1.PER CALIFORNIA CIVIL CODE ARTICLE 1101.4 AND CALGREEN SECTION 301.1, FOR HOMES BUILT PRIOR TO 1994, EXISTING

WATER CLOSETS WITH A FLOW RATE IN EXCESS OF 1.6 GPF WILL NEED TO BE REPLACED WITH WATER CLOSETS WITH A

REPLACED WITH A MAXIMUM 2.0 GPM SHOWER HEAD. LAVATORY AND KITCHEN FAUCETS WITH A FLOW RATE GREATER.

THAN 2.2 GPM WILL NEED TO BE REPLACED WITH A FAUCET WITH MAXIMUM FLOW RATE OF 1.2 GPM (OR 1.8 GPM FOR

PLUMBING FIXTURES IN THE ENTIRE HOUSE THAT DO NOT MEET CURRENT FLOW RATES WILL NEED TO BE UPGRADED.

MAXIMUM FLOW RATE OF 1.28 GPF. SHOWER HEADS WITH A FLOW RATE GREATER THAN 2.5 GPM WILL NEED TO BE

OF THESE DRAWINGS, EITHER SHOWN OR INFERRED HEREIN, THROUGH PROPER AND ESTABLISHED CONSTRUCTION

3. IT SHALL BE THE GENERAL CONTRACTORS RESPONSIBILITY FOR THE SUPERVISION OF THE WORK.

REPORTED TO THE ARCHITECT IMMEDIATELY, PRIOR TO COMMENCEMENT OF WORK.

(7) WORKING DAYS IN ADVANCE. REQUESTS SHALL BE DIRECTED TO THE ARCHITECT

ADVANCE. REQUESTS SHALL BE DIRECTED TO THE ARCHITECT

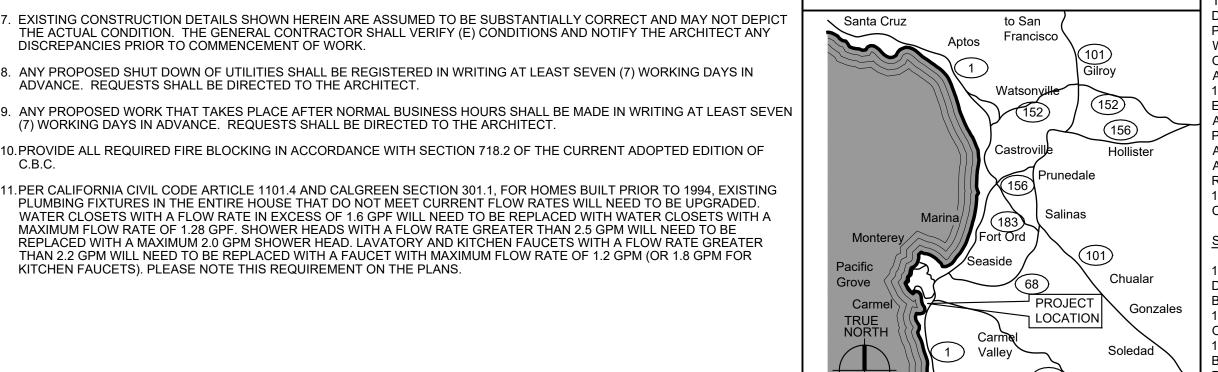
KITCHEN FAUCETS). PLEASE NOTE THIS REQUIREMENT ON THE PLANS.

C.B.C.

PROJECT TEAM BUILDING OWNER P.O. BOX 222795 CARMEL, CA 93923 ph: (831) 917-5614 Email: kristinaminnich@gmail.com Contacts: KRISTIN MINNICH **ARCHITECT** WALD, RUHNKE & DOST ARCHITECTS, LLP 2340 GARDEN ROAD, SUITE 100 MONTEREY, CA 93940 ph: (831) 649-4642 fax: (831) 649-3530 Email: christopherb@wrdarch.com Contact: CHRISTOPHER BARLOW **SCOPE OF WORK** XISTING SECOND FLOOR APARTMENT #330 (COMPLETED) NEW ROOF ACCESS STAIRCASE, NEW WATER PROOF DECK & PART. PEDESTAL. PAVER ROOF COVER, NEW RAILINGS & UTURE BUILD -OUT OF SECOND FLOOR APARTMENT #340

VICINITY MAP THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE VERIFICATION OF ALL DIMENSIONS, GRADES, AND OTHER CONDITIONS, AND SHALL CORRELATE AT THE JOB SITE ALL SUCH ITEMS. GENERAL CONTRACTOR SHALL REPORT ANY THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE WORK AND THE COORDINATION OF ALL TRADES AND 6 976 40 GOVERNING AGENCIES, AND SHALL PROVIDE ALL MATERIALS AND LABOR (SHOWN OR INFERRED) ON THESE PLANS TO dash . THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR THE SUPERVISION OF THE WORK OR THE PROPER EXECUTION OF THE PROJECT i. WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. ANY AND ALL DISCREPANCIES SHALL BE

148 92 80 80



PROJECT INFORMATION

SAN CARLOS BUILDING ROOF IMPROVEMENTS SAN CARLOS 2 NW of 8TH STREETS LOCATION: CARMEL, CA 93921 APN: 010-145-021-000 ALL OF LOTS 13 & 15 - BLOCK 91 SITE AREA: 8,000 s.f. (0.18 ac.)

ZONING:

BUILDING USE: MIXED USE BUILDING LOWER LEVEL - OFFICE SPACE (NO CHANGES) UPPER LEVEL - RESIDENTIAL APARTMENT UNITS

CONSTRUCTION VB SPRINKLERED (EXISTING)

MAX. BUILDING HT

BUILDING AREAS: BASEMENT FLOOR: 1,335 S. FIRST FLOOR (OFFICES): 3,440 S.F. CARPORT: 640 S.F. MECHANICAL ROOM: 82 S.F. SECOND FLOOR: 1,982 S.F **APARTMENT #330: APARTMENT #320:** 919 S.F. APARTMENT #310: 678 S.F. COMMON OPEN AREA:

73 S.F. ROOF DECK STAIR: 213 S.F. WATERPROOF DECK: PEDESTAL PAVER DECK 545 S.F.

APPLICABLE BUILDING CODES & STANDARDS

CALIFORNIA CODE OF REGULATIONS (CCR)

2022 CALIFORNIA ADMINISTRATIVE CODE (CAC), CCR TITLE 24, PART 1

2022 CALIFORNIA BUILDING CODE (CBC), CCR TITLE 24, PART 2, VOLUMES 1 AND 2 2022 CALIFORNIA ELECTRICAL CODE (CEC), CCR TITLE 24, PART 3

2022 CALIFORNIA MECHANICAL CODE (CMC), CCR TITLE 24, PART 4

2022 CALIFORNIA PLUMBING CODE (CPC), CCR TITLE 24, PART 5 2022 CALIFORNIA ENERGY CODE (CEC), CCR TITLE 24, PART 6

2022 CALIFORNIA HISTORICAL BUILDING CODE (CHBC), CCR TITLE 24, PART 8

2022 CALIFORNIA FIRE CODE (CFC), CCR TITLE 24, PART 9

2022 CALIFORNIA EXISTING BUILDING CODE (CEBC), CCR TITLE 24, PART 10

2022 CALIF. GREEN BUILDING STANDARDS CODE (CALGreen), CCR TITLE 24, PART 11 2022 CALIFORNIA REFERENCED STANDARDS CODE, CCR TITLE 24, PART 12

CCR TITLE 19, PUBLIC SAFETY, DIVISION 1, STATE FIRE MARSHAL PARTIAL LIST OF APPLICABLE STATE STANDARDS

2022 NFPA 13, AUTOMATIC SPRINKLER SYSTEMS (CA AMENDED) 2022 NFPA 72, NATIONAL FIRE ALARM AND SIGNALLING CODE (CA AMENDED)

STANDARD CONDITIONS

PART 7 VACANT

NOTE: THIS BUILDING OR SPACE SHALL PROVIDE A READILY DISTINGUISHABLE MEANS OF EGRESS COMPLYING WITH CHAPTER 10 AND CHAPTER 11 (WHERE APPLICABLE FOR ACCESSIBILITY PURPOSES) OF THE 2022 EDITION OF THE CALIFORNIA BUILDING CODE. TH EXIT SYSTEM SHALL MAINTAIN A CONTINUOUS, UNOBSTRUCTED AND UNDIMINISHED PATH OF EXIT TRAVEL FROM ANY OCCUPIED POINT WITHIN THE BUILDING TO A PUBLIC WAY.

SHEET INDEX SHEET TITLE

COVER SHEET

COVER SHEET

TOPOGRAPHIC MAP

PHASE 1 EXISTING FIRST FLOOR PLAN PHASE 2 FIRST FLOOR PLAN PHASE 3 PROPOSED FIRST FLOOR PLAN EXISTING FIRST FLOOR PLAN A202 EXISTING FIRST FLOOR PLAN PROPOSED SECOND FLOOR PLAN EXISTING ROOF PLAN

PHASE 2 PROPOSED ROOF PLAN PHASE 3 COMPLETED ROOF PLAN **EXISTING EXTERIOR ELEVATIONS** EXISTING EXTERIOR ELEVATIONS ENLARGED STAIR PLAN

BUILDING SECTIONS STAIR DETAILS

ARCHITECTS LLP

2340 GARDEN ROAD, SUITE 100 MONTEREY, CALIFORNIA 93940

FAX: 831.649.3530

PHONE: 831.649.4642

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RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED, AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH US ANY METHOD IN WHOLE OR IN PART IS SPECIFICATIONS REMAINS WITH THE ARCHITECT,
AND VISUAL CONTACT WITH THEM



DEFERRED SUBMTTALS

The contractor shall provide shop drawings, details and structural calculations for the deferred items per the architectural and structural drawings & criteria. Submittal documents for deferred items shall be submitted for review to the architect and engineer of record. The architect and engineer of record shall review the deferred item documents, sign and stamp them as approved and forward them to the Building Official with a notification indicating that the deferred submittal documents have been found to be in general conformance with the design of the building and no exceptions are taken. The deferred items shall not be installed until their design and submittal documents have been approved by the building official.:

- FIRE SPRINKLERS: DRAWINGS AND SUPPORTIVE CALCULATIONS FOR ALL MODIFICATIONS TO THE EXISTING FIRE SPRINKLER SYSTEM ARE REQUIRED TO BE SUBMITTED BY THE INSTALLING LICENSED FIRE SPRINKLER CONTRACTOR (C-16) TO THE FIRE PREVENTION DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
- AUTOMATIC FIRE ALARM SYSTEM
- PANEL CALCULATIONS: PG&E (OR OWNER'S AGENT) WILL PROVIDE ALI REQUIRED 30 DAY AND / OR 72 HOUR RECORDING AMMETER READINGS, AND ANY NECESSARY ON-SITE SUPPORT (SUCH AS AN ELECTRICIAN AND / OR FACILITIES STAFF) THAT MAY BE REQUIRED TO FACILITATE ACCESS TO AREAS AND EQUIPMENT.

PLANNING CONDITIONS OF APPROVAL

AUTHORIZATION. THIS APPROVAL OF DESIGN REVIEW (DR 23-121, MINNICH)) AUTHORIZES ALTERATIONS TO AN EXISTING COMMERCIAL PROPERTY LOCATED ON SAN CARLOS 2 NW OF 8TH IN THE RESIDENTIAL AND LIMITED COMMERCIAL (RC) ZONING DISTRICT WITH AN ACTIVE BUILDING PERMIT (BP# 22-355). THE MODIFICATIONS APPROVED UNDER THIS DESIGN REVIEW INCLUDE: 1. A WINDOW ADDITION TO THE SOUTH ELEVATION; 2. A WINDOW ADDITION WITHIN THE INTERIOR TERRACE ON THE SECOND FLOOR; 3 REPLACEMENT OF A WINDOW ON THE NORTH ELEVATION AND REDUCTION IN SIZE; 4. WATERPROOFING AND REPAIRS TO THE ROOF; 5. THE ADDITION OF TWO NEW SKYLIGHTS THE PROJECT SHALL BE CONSISTENT WITH THE PLANS PREPARED BY WRD ARCHITECTS DATED APPROVED BY COMMUNITY PLANNING & BUILDING DEPARTMENT ON MAY 19 2023, UNLESS MODIFIED BY THE CONDITIONS OF APPROVAL CONTAINED HEREIN

CODES AND ORDINANCES. THE PROJECT SHALL BE CONSTRUCTED IN CONFORMANCE WITH ALL REQUIREMENTS OF THE R-1 ZONING DISTRICT. ALL ADOPTED BUILDING AND FIRE CODES SHALL BE ADHERED TO IN PREPARING THE WORKING DRAWINGS. IF ANY CODES OR ORDINANCES REQUIRE DESIGN ELEMENTS TO BE CHANGED, OR IF ANY OTHER CHANGES ARE REQUESTED AT THE TIME SUCH PLANS ARE SUBMITTED, SUCH CHANGES MAY REQUIRE ADDITIONAL ENVIRONMENTAL REVIEW AND SUBSEQUENT APPROVAL BY THE PLANNING COMMISSION

PERMIT VALIDITY. THIS APPROVAL SHALL BE VALID FOR A PERIOD OF ONE YEAR FROM THE DATE OF ACTION UNLESS AN ACTIVE BUILDING PERMIT HAS BEEN ISSUED ANI MAINTAINED FOR THE PROPOSED CONSTRUCTION. WATER USE, APPROVAL OF THIS APPLICATION DOES NOT PERMIT AN INCREASE IN WATER USE ON THE PROJECT SITE WITHOUT ADEQUATE SUPPLY. SHOULD THE MONTEREY PENINSULA WATER MANAGEMENT DISTRICT DETERMINE THAT ADEQUATE WATER IS NOT AVAILABLE FOR THIS SITE. THIS PERMIT WILL BE SCHEDULED FOR

RECONSIDERATION. AND APPROPRIATE FINDINGS PREPARED FOR REVIEW AND ADOPTION BY THE PLANNING COMMISSION SERVICE LATERALS. ALL ELECTRICAL SERVICE LATERALS TO ANY NEW BUILDING OR STRUCTURE, OR TO ANY BUILDING OR STRUCTURE BEING REMODELED WHEN SUCH REMODELING REQUIRES THE RELOCATION OR REPLACEMENT OF THE MAIN SERVICE EQUIPMENT, SHALL BE PLACED UNDERGROUND ON THE PREMISES UPON WHICH THE BUILDING OR STRUCTURE IS LOCATED. UNDERGROUNDING WILL NOT BE REQUIRED WHEN THE PROJECT VALUATION IS LESS THAN \$200,000 OR WHEN THE CITY FORESTER DETERMINES THAT UNDERGROUNDING WILL DAMAGE OR DESTROY SIGNIFICANT TREES(S) (CMC 15.36.020)

FIRE SPRINKLER. ADDITIONS, ALTERATIONS, OR REPAIRS TO EXISTING STRUCTURES THAT INVOLVE THE ADDITION, REMOVAL, OR REPLACEMENT OF 50 PERCENT OR MORE OF THE LINEAR LENGTH OF THE WALLS (INTERIOR AND EXTERIOR) WITHIN A 5-YEAR PERIOD SHALL REQUIRE THE INSTALLATION OF AN AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM IN ACCORDANCE WITH THE CALIFORNIA BUILDING AND FIRE CODES (CMC 15.08.135)

MODIFICATIONS. THE APPLICANT SHALL SUBMIT IN WRITING, WITH REVISED PLANS, TO THE COMMUNITY PLANNING AND BUILDING STAFF ANY PROPOSED CHANGES TO THE APPROVED PROJECT PLANS PRIOR TO INCORPORATING THOSE CHANGES. IF THE APPLICANT CHANGES THE PROJECT WITHOUT FIRST OBTAINING CITY APPROVAL, THE APPLICANT WILL BE REQUIRED TO SUBMIT THE CHANGE IN WRITING, WITH REVISED PLANS, WITHIN 2 WEEKS OF THE CITY BEING NOTIFIED. A CEASE WORK ORDER MAY BE SSUED ANY TIME AT THE DISCRETION OF THE DIRECTOR OF COMMUNITY PLANNING AND BUILDING UNTIL: A) EITHER THE PLANNING COMMISSION OR STAFF HAS APPROVED THE CHANGE, OR B) THE PROPERTY OWNER HAS ELIMINATED THE CHANGE AND SUBMITTED THE PROPOSED CHANGE IN WRITING, WITH REVISED PLANS, FOR REVIEW. THE

PROJECT WILL BE REVIEWED FOR ITS COMPLIANCE TO THE APPROVED PLANS PRIOR TO FINAL INSPECTION. EXTERIOR REVISIONS TO PLANNING APPROVAL FORM. ALL PROPOSED MODIFICATIONS THAT AFFECT THE EXTERIOR APPEARANCE OF THE BUILDING OR SITE ELEMENTS SHALL BE SUBMITTED ON THE "REVISIONS TO PLANNING APPROVAL" FORM ON FILE IN THE COMMUNITY PLANNING AND BUILDING DEPARTMENT. ANY MODIFICATION INCORPORATED INTO THE CONSTRUCTION DRAWINGS THAT IS NOT LISTED ON THIS FORM, SHALL NOT BE DEEMED APPROVED UPON ISSUANCE OF A BUILDING PERMIT

CONFLICTS BETWEEN PLANNING APPROVALS AND CONSTRUCTION PLANS. IT SHALL BE THE RESPONSIBILITY OF THE OWNER, APPLICANT, AND CONTRACTOR(S) TO ENSURE CONSISTENCY BETWEEN THE PROJECT PLANS APPROVED BY PLANNING STAFF, THE PLANNING COMMISSION, OR THE CITY COUNCIL ON APPEAL, AND THE CONSTRUCTION PLANS SUBMITTED TO THE BUILDING DIVISION AS PART OF THE BUILDING PERMIT REVIEW. WHERE INCONSISTENCIES BETWEEN THE PLANNING APPROVAL AN THE CONSTRUCTION PLANS EXIST, THE PLANNING APPROVAL SHALL GOVERN, UNLESS OTHERWISE APPROVED IN WRITING BY THE COMMUNITY PLANNING & BUILDING DIRECTOR, OR THEIR DESIGNEE. WHEN CHANGES OR MODIFICATIONS TO THE PROJECT ARE PROPOSED, THE APPLICANT SHALL CLEARLY LIST AND HIGHLIGHT EACH PROPOSED CHANGE AND BRING EACH CHANGE TO THE CITY'S ATTENTION. CHANGES TO THE PROJECT THAT ARE INCORPORATED INTO THE CONSTRUCTION DRAWINGS THAT WERE NOT CLEARLY LISTED OR IDENTIFIED AS A PROPOSED CHANGE SHALL NOT BE CONSIDERED AN APPROVED CHANGE. SHOULD CONFLICTS EXIST BETWEEN THE ORIGINALLY APPROVED PROJECT PLANS AND THE ISSUED CONSTRUCTION DRAWINGS THAT WERE NOT EXPLICITLY IDENTIFIED AS A PROPOSED CHANGE, THE PLANS

APPROVED AS PART OF THE PLANNING DEPARTMENT REVIEW, INCLUDING ANY CONDITIONS OF APPROVAL, SHALL PREVAIL 10. INDEMNIFICATION. THE APPLICANT AGREES, AT HIS OR HER SOLE EXPENSE, TO DEFEND, INDEMNIFY, AND HOLD HARMLESS THE CITY, ITS PUBLIC OFFICIALS, OFFICERS, EMPLOYEES, AND ASSIGNS, FROM ANY LIABILITY; AND SHALL REIMBURSE THE CITY FOR ANY EXPENSE INCURRED, RESULTING FROM, OR IN CONNECTION WITH ANY PROJECT APPROVALS. THIS INCLUDES ANY APPEAL, CLAIM, SUIT, OR OTHER LEGAL PROCEEDING, TO ATTACK, SET ASIDE, VOID, OR ANNUL ANY PROJECT APPROVAL. THE CITY SHALL PROMPTLY NOTIFY THE APPLICANT OF ANY LEGAL PROCEEDING, AND SHALL COOPERATE FULLY IN THE DEFENSE. THE CITY MAY, AT ITS SOLE DISCRETION, PARTICIPATE IN ANY SUCH LEGAL ACTION, BUT PARTICIPATION SHALL NOT RELIEVE THE APPLICANT OF ANY OBLIGATION UNDER THIS CONDITION. SHOULD ANY PARTY BRING ANY LEGAL ACTION IN CONNECTION WITH THIS PROJECT, THE SUPERIOR COURT OF THE COUNTY OF MONTEREY, CALIFORNIA, SHALL BE THE SITUS AND HAVE JURISDICTION FOR THE RESOLUTION OF ALL SUCH ACTIONS BY THE PARTIES HERETO

I1. CONDITIONS OF APPROVAL. ALL CONDITIONS OF APPROVAL FOR THE PLANNING PERMIT(S) SHALL BE PRINTED ON A FULL-SIZE SHEET AND INCLUDED WITH THE CONSTRUCTION PLAN SET SUBMITTED TO THE BUILDING SAFETY DIVISION.

SKYLIGHT FLASHING SHALL MATCH THE ROOF COLOR

12. CONDITION OF APPROVAL ACKNOWLEDGEMENT. THE CONDITION OF APPROVAL ACKNOWLEDGEMENT FORM. AVAILABLE FROM THE COMMUNITY PLANNING AND BUILDING DEPARTMENT, SHALL BE SIGNED BY THE APPROPRIATE PARTIES PRIOR TO THE ISSUANCE OF A BUILDING PERMIT, A SIGNED COPY OF THE ACKNOWLEDGEMENT SHALL ALSO BE PRINTED IN THE BUILDING PLAN SET.

BUILDING PERMIT REVISION. THE APPLICANT SHALL APPLY FOR AND OBTAIN A BUILDING PERMIT REVISION TO BUILDING PERMIT BP 22-355 PRIOR TO COMMENCING WORK ON THE APPROVED DESIGN STUDY AMENDMENT (DR 23-121). 14. SKYLIGHTS & SKYLIGHT SHADES. THE APPLICANT SHALL SUBMIT PRODUCT INFORMATION FOR THE SKYLIGHTS AND SKYLIGHT SHADES PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. ALL SKYLIGHTS SHALL BE LOW-PROFILE AND USE NON-REFLECTIVE GLASS TO MINIMIZE THE AMOUNT OF LIGHT AND GLARE VISIBLE FROM ADJOINING PROPERTIES. MANUAL OR AUTOMATIC SHADES SHALL BE INSTALLED IN EACH SKYLIGHT TO REDUCE VISIBLE LIGHT TRANSMISSION DURING THE HOURS OF DARKNESS.

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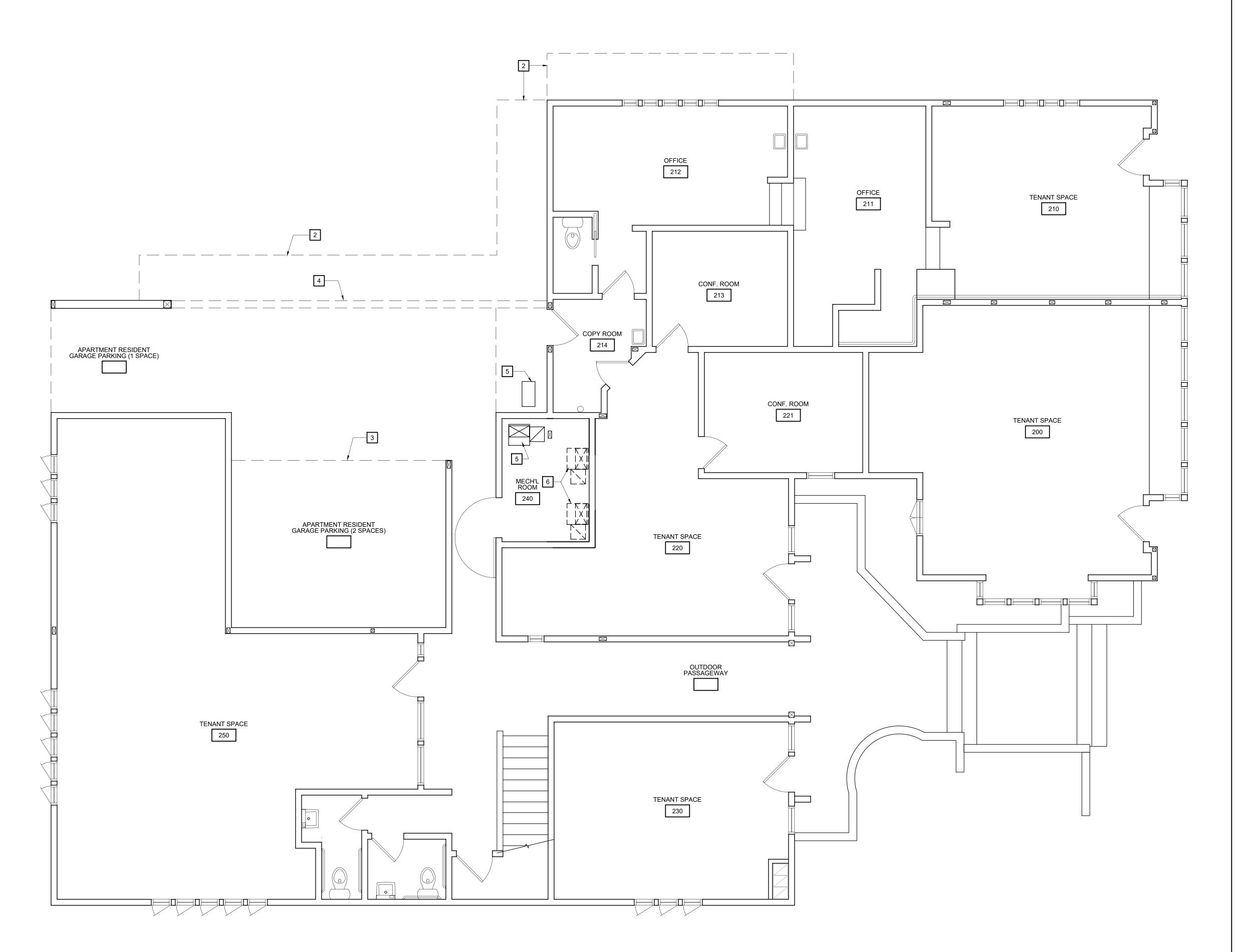
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SET ISSUED:

2.14.2024 Planning Commissio

SHEET NAME:

COVER SHEET





THE KEY NOTES THAT FOLLOW APPLY TO THE DRAWING(S) ON THIS SHEET ONLY. REFER TO FOLLOWING SHEETS FOR NOTES THAT ARE APPLICABLE TO THOSE DRAWINGS.

- 1 EXISTING COLUMN TO REMAIN (TYP)
- 2 EXISTING LINE OF SECOND FLOOR ABOVE
- = EXISTING LINE OF GEOGRAPTEON
- 3 EXISTING SOFFIT ABOVE
 4 EXISTING BEAM ABOVE
- 5 MECHANICAL EQUIPMENT
- MEON MINIONE EQUITA
- 6 MECHANICAL EQUIPMENT



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FAX: 831.649.3530

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110-145-021

I CARLOS BUILDING OF IMPROVEMENTS

JOB NO.:
23086

PRINT DATE:

PLOT DATE: 1.31.2

DRAWN BY:

CHECKED BY:

SET ISSUED:

2.14.2024 Planning Commission

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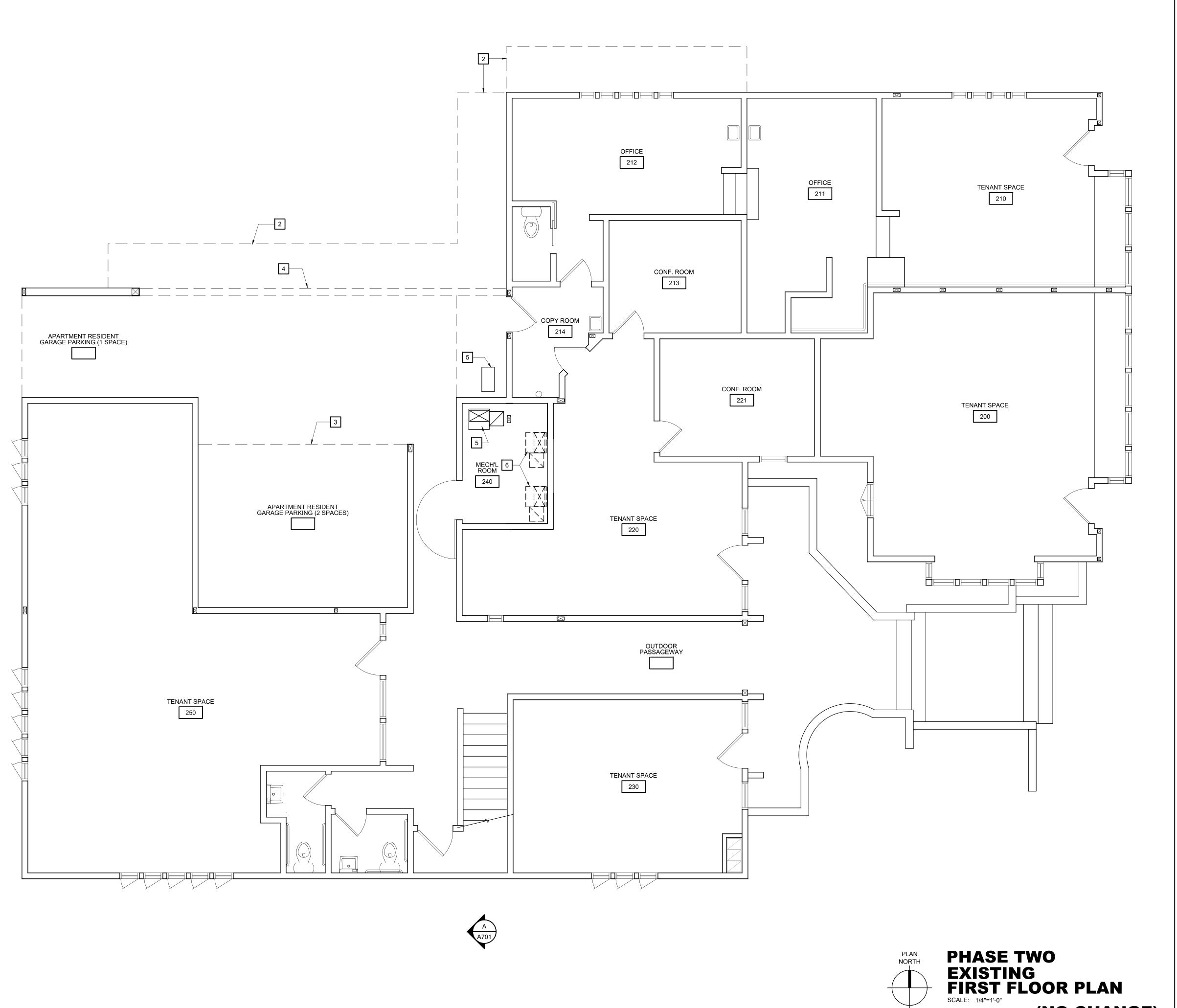
EXISTING FIRST FLOOR PLAN

SHEET NO.:

A101

FILE NAME: 23086-A

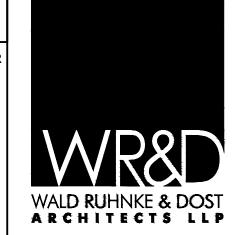
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- 2 EXISTING LINE OF SECOND FLOOR ABOVE
- 3 EXISTING SOFFIT ABOVE
- 4 EXISTING BEAM ABOVE
- 5 MECHANICAL EQUIPMENT
- 6 MECHANICAL EQUIPMENT

(NO CHANGE)



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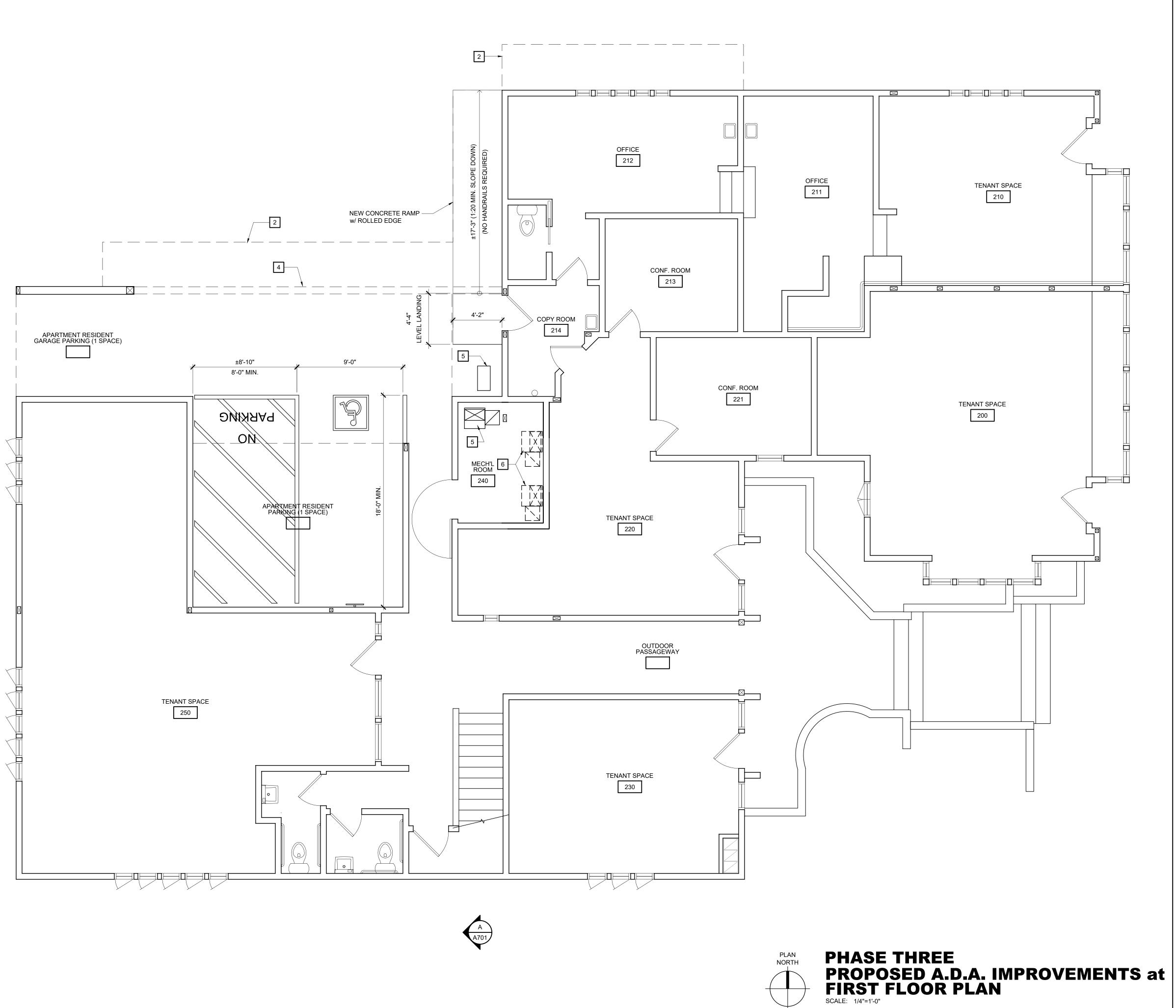
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FIRST FLOOR PLAN

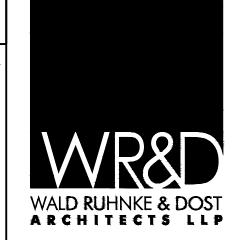
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FILE NAME:



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- 1 EXISTING COLUMN TO REMAIN (TYP)
- 2 EXISTING LINE OF SECOND FLOOR ABOVE
- EXISTING LINE OF GEOGRAPTEOO
- 3 EXISTING SOFFIT ABOVE
- 4 EXISTING BEAM ABOVE
- 5 MECHANICAL EQUIPMENT
- 6 MECHANICAL EQUIPMENT



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CARLOS BUILDING

NE IMPROVEMENTS

JOB NO.:

23086
PRINT DATE:

PLOT DATE: 1.31.2

DRAWN BY:

CHECKED BY:

SET ISSUED:

2.14.2024 Planning Commission

SHEET NAME:

PROPOSED FIRST

FLOOR PLAN

SHEET NO.:

A103

FILE NAME: 23086-A



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010-145-021

OVEMENTS STREETS

> SW SAN CARLOS and 8th KRISTIN MINNICH P.O. BOX 222795

JOB NO.: **23086**

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PLOT DATE: 1.31
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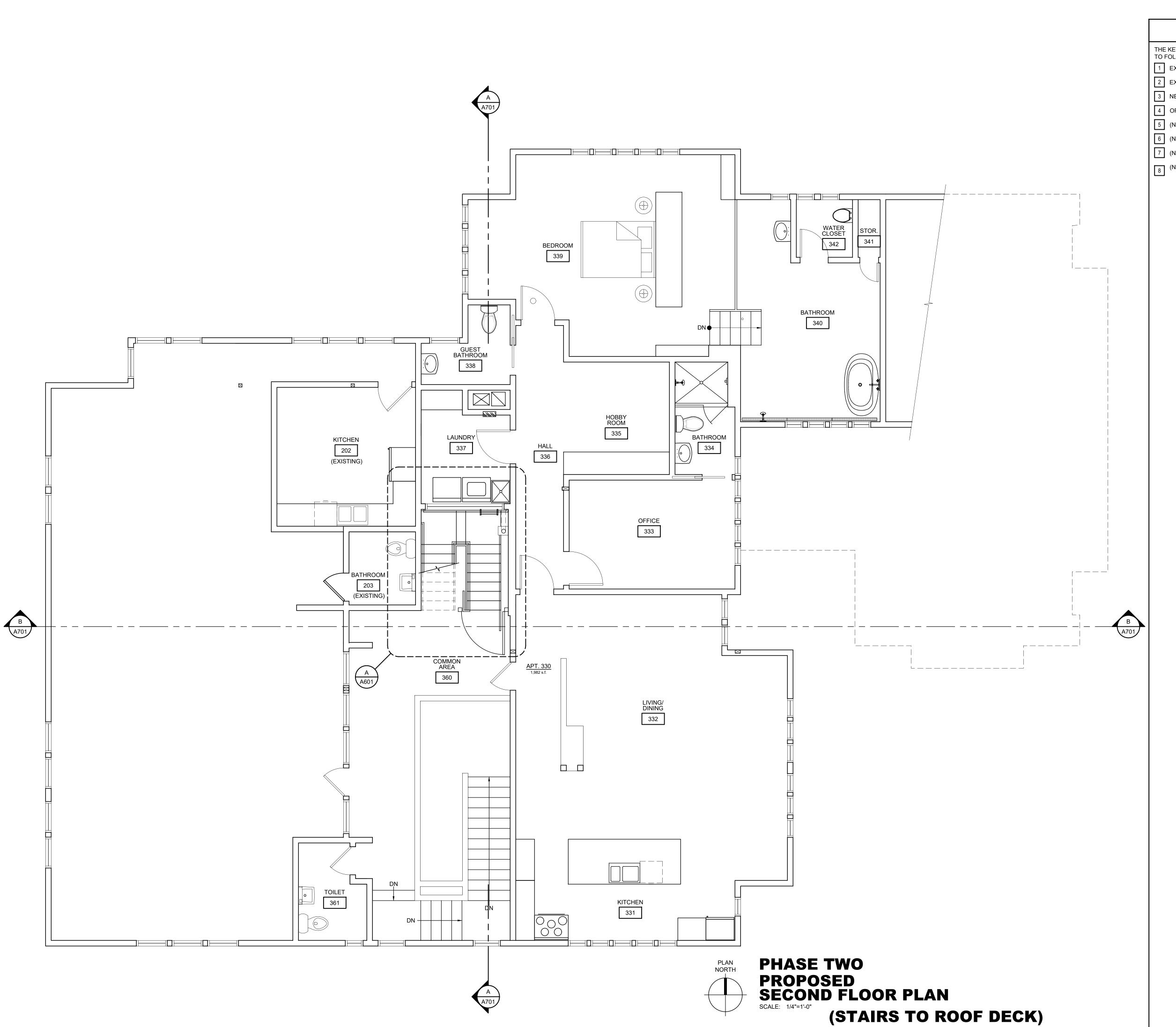
EXISTING SECOND FLOOR PLAN

SHEET NO.:

A20

FILE NAME: 22137-A201

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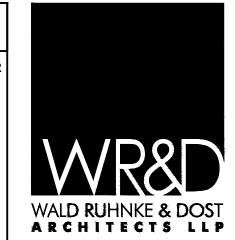


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- 1 EXISTING COLUMN TO REMAIN
- 2 EXISTING LINE OF ROOF OPENING ABOVE
- 3 NEW SHOWER STALL

4 OPEN TO FIRST FLOOR BELOW

- 5 (NOT USED)
- 6 (NOT USED)
- 7 (NOT USED)
- 8 (NOT USED)



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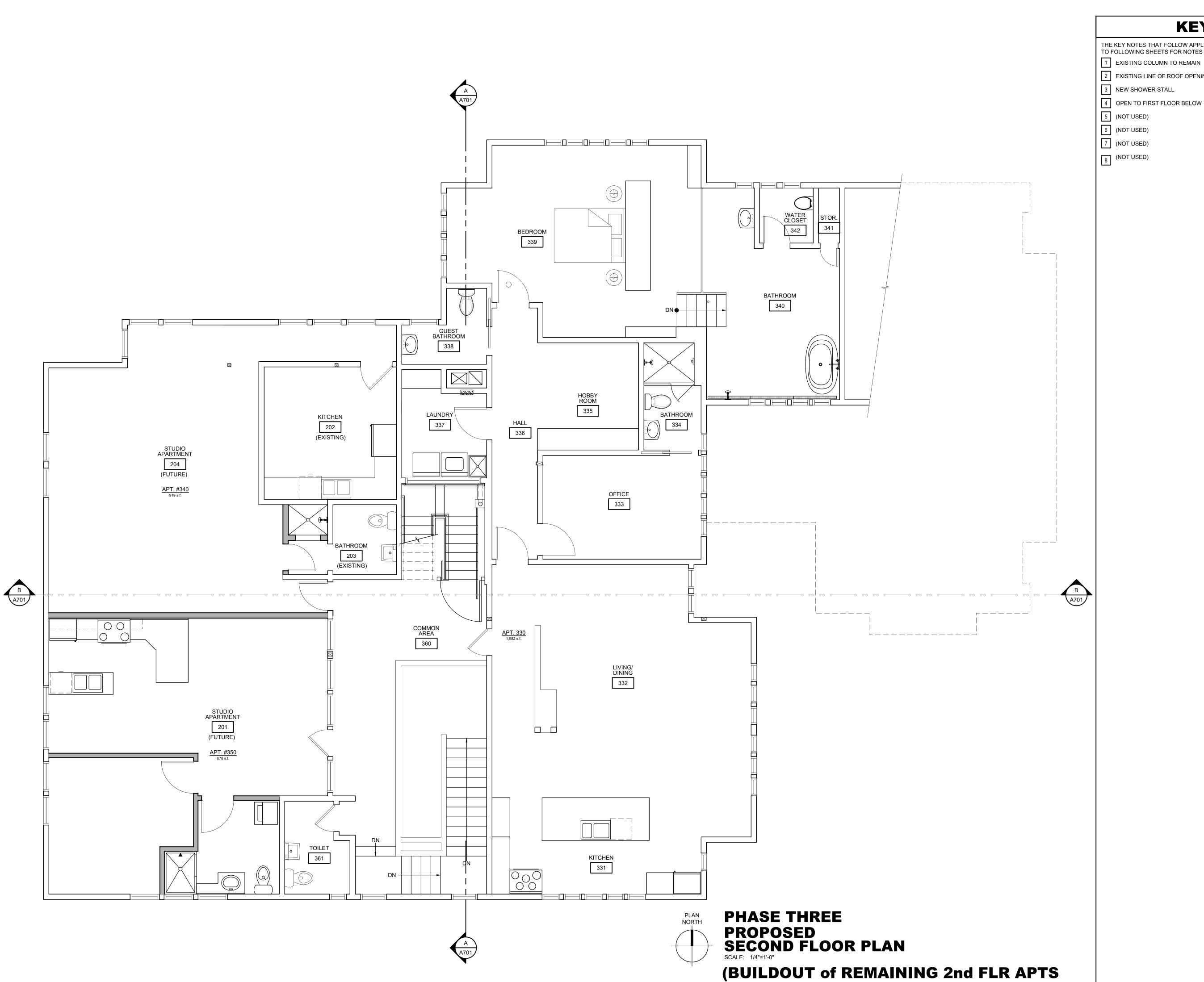
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DRAWN BY: CHECKED BY:

2.14.2024 Planning Commission

SHEET NAME:

PROPOSED SECOND FLOOR PLAN



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1 EXISTING COLUMN TO REMAIN

2 EXISTING LINE OF ROOF OPENING ABOVE

3 NEW SHOWER STALL

5 (NOT USED)

6 (NOT USED)

8 (NOT USED)

WALD RUHNKE & DOST ARCHITECTS LLP

2340 GARDEN ROAD, SUITE 100 MONTEREY, CALIFORNIA 93940 PHONE: 831.649.4642

FAX: 831.649.3530

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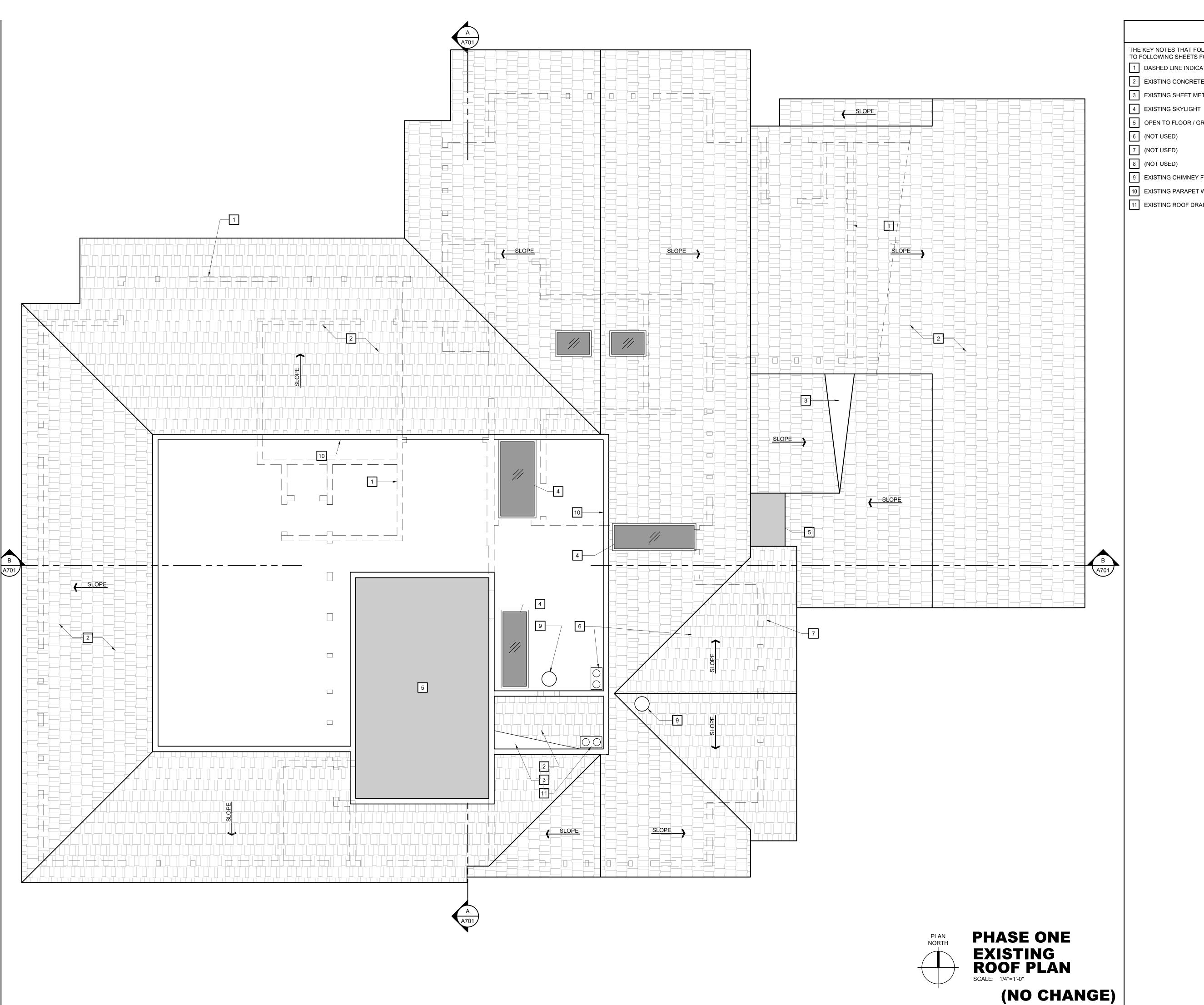
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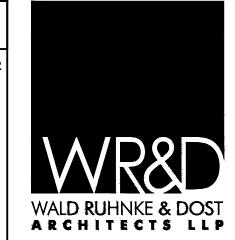
SHEET NAME:

PROPOSED SECOND FLOOR PLAN



THE KEY NOTES THAT FOLLOW APPLY TO THE DRAWING(S) ON THIS SHEET ONLY. REFER TO FOLLOWING SHEETS FOR NOTES THAT ARE APPLICABLE TO THOSE DRAWINGS.

- 1 DASHED LINE INDICATES WALLS BELOW (TYP)
- 2 EXISTING CONCRETE TILE ROOFING at 4:12 SLOPE (TYP)
- 3 EXISTING SHEET METAL CRICKET
- 5 OPEN TO FLOOR / GROUND BELOW
- 9 EXISTING CHIMNEY FLUE w/ APPROVED SPARK ARRESTOR AND STORM CAP
- 10 EXISTING PARAPET WALL
- 11 EXISTING ROOF DRAIN



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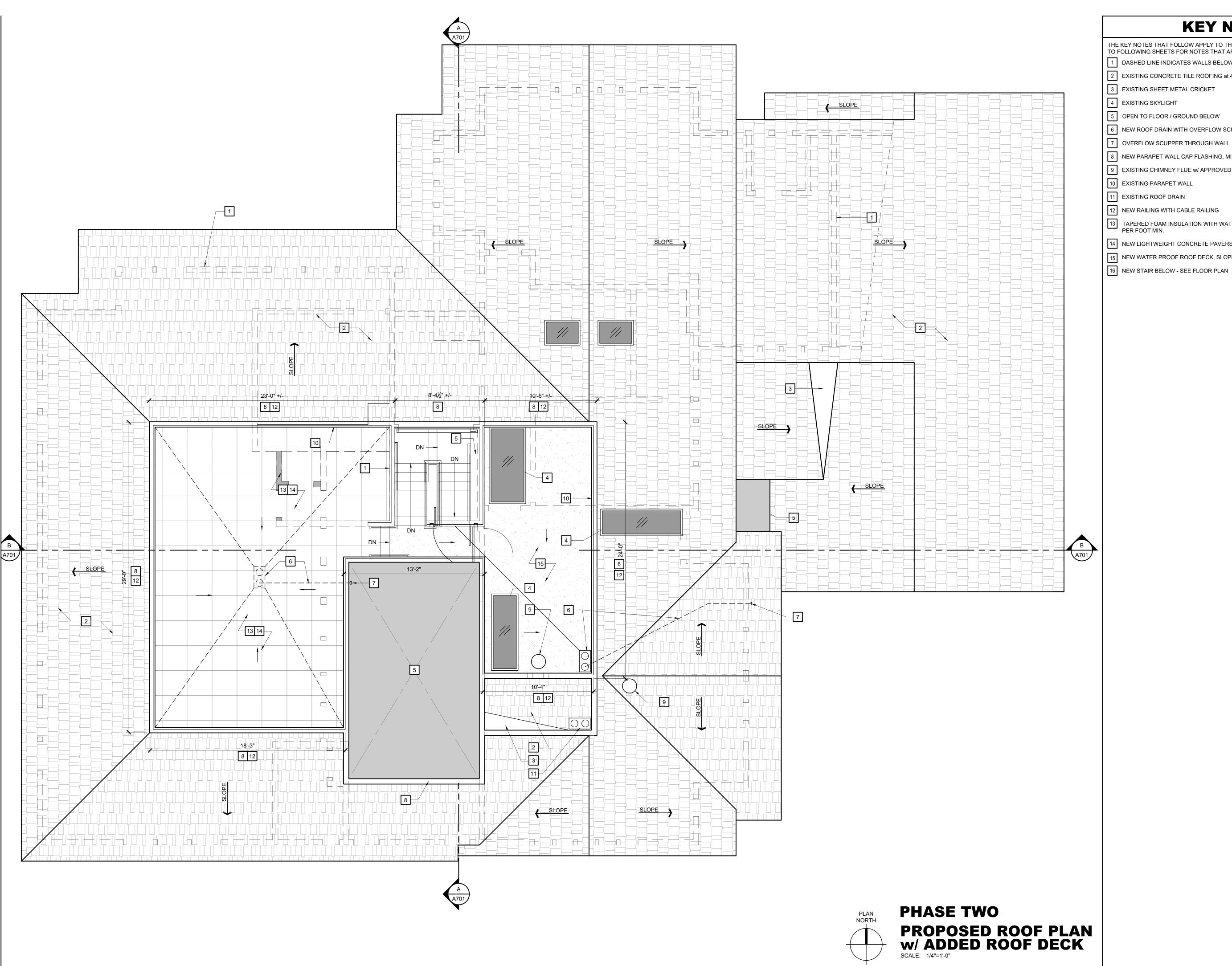
2.14.2024 Planning Commission

SHEET NAME:

EXISTING ROOF PLAN

SHEET NO.:

FILE NAME:



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1 DASHED LINE INDICATES WALLS BELOW (TYP)

2 EXISTING CONCRETE TILE ROOFING at 4:12 SLOPE (TYP)

3 EXISTING SHEET METAL CRICKET

4 EXISTING SKYLIGHT

5 OPEN TO FLOOR / GROUND BELOW

6 NEW ROOF DRAIN WITH OVERFLOW SCUPPER & DRAIN TO DAYLIGHT

7 OVERFLOW SCUPPER THROUGH WALL

8 NEW PARAPET WALL CAP FLASHING, MIN 24 GA. G.I. METAL, TYPICAL

9 EXISTING CHIMNEY FLUE w/ APPROVED SPARK ARRESTOR AND STORM CAP

10 EXISTING PARAPET WALL

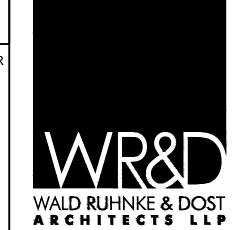
11 EXISTING ROOF DRAIN

12 NEW RAILING WITH CABLE RAILING

TAPERED FOAM INSULATION WITH WATER PROOF COVER SLOPED TO DRAIN 1/4" PER FOOT MIN.

14 NEW LIGHTWEIGHT CONCRETE PAVERS ON ADJUSTABLE PAVERS (TYP.)

15 NEW WATER PROOF ROOF DECK, SLOPE 1/4" PER FOOT TO DRAIN



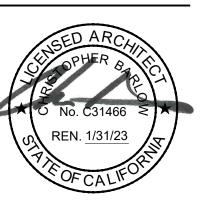
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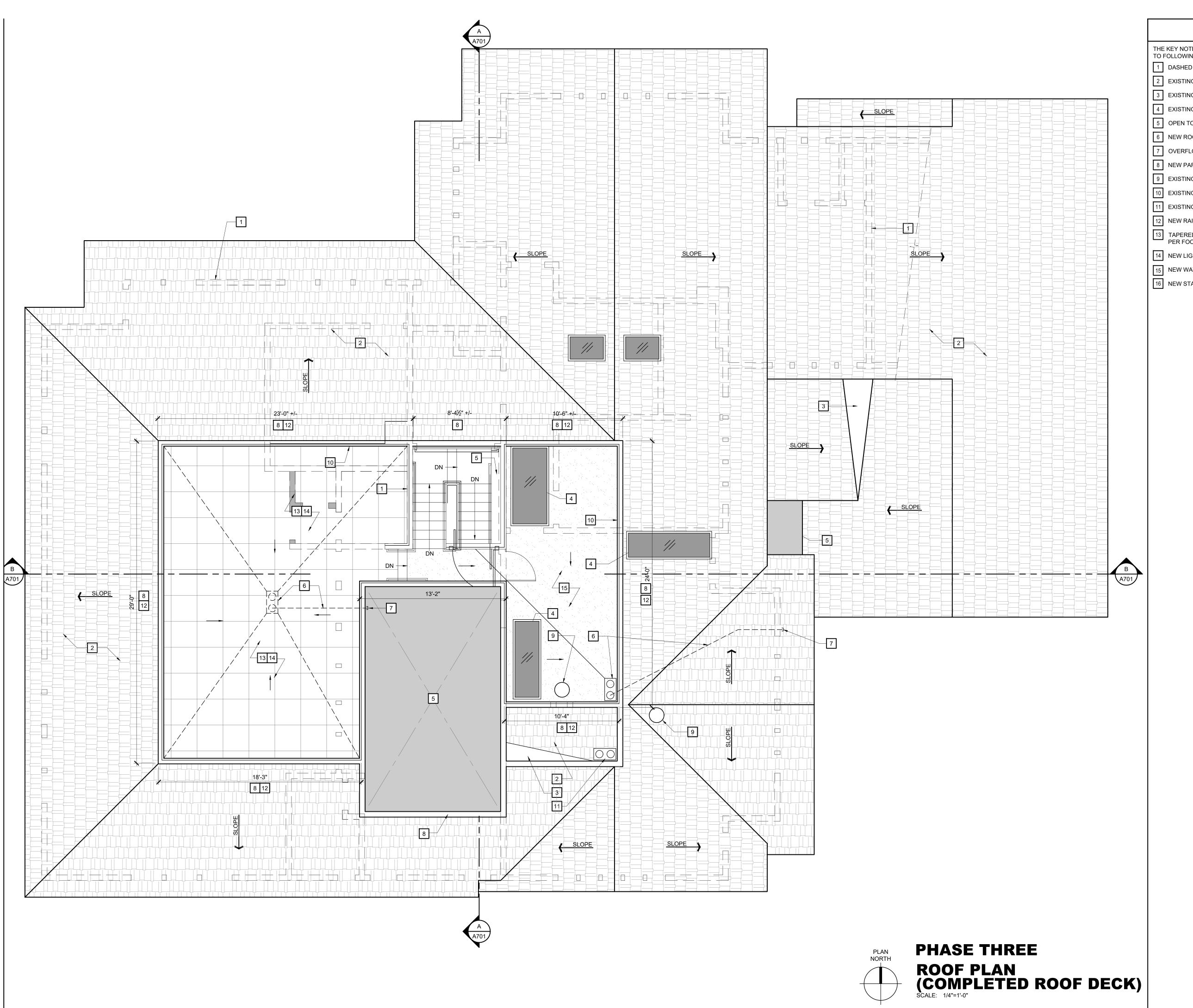
2.14.2024 Planning Commission

SHEET NAME:

PROPOSED **ROOF PLAN**

SHEET NO.:

FILE NAME:



THE KEY NOTES THAT FOLLOW APPLY TO THE DRAWING(S) ON THIS SHEET ONLY. REFER TO FOLLOWING SHEETS FOR NOTES THAT ARE APPLICABLE TO THOSE DRAWINGS.

1 DASHED LINE INDICATES WALLS BELOW (TYP)

2 EXISTING CONCRETE TILE ROOFING at 4:12 SLOPE (TYP)

3 EXISTING SHEET METAL CRICKET

4 EXISTING SKYLIGHT

5 OPEN TO FLOOR / GROUND BELOW

6 NEW ROOF DRAIN WITH OVERFLOW SCUPPER & DRAIN TO DAYLIGHT

7 OVERFLOW SCUPPER THROUGH WALL

8 NEW PARAPET WALL CAP FLASHING, MIN 24 GA. G.I. METAL, TYPICAL

9 EXISTING CHIMNEY FLUE w/ APPROVED SPARK ARRESTOR AND STORM CAP

10 EXISTING PARAPET WALL

11 EXISTING ROOF DRAIN

12 NEW RAILING WITH CABLE RAILING

TAPERED FOAM INSULATION WITH WATER PROOF COVER SLOPED TO DRAIN 1/4"

14 NEW LIGHTWEIGHT CONCRETE PAVERS ON ADJUSTABLE PAVERS (TYP.)

15 NEW WATER PROOF ROOF DECK, SLOPE 1/4" PER FOOT TO DRAIN

16 NEW STAIR BELOW - SEE FLOOR PLAN



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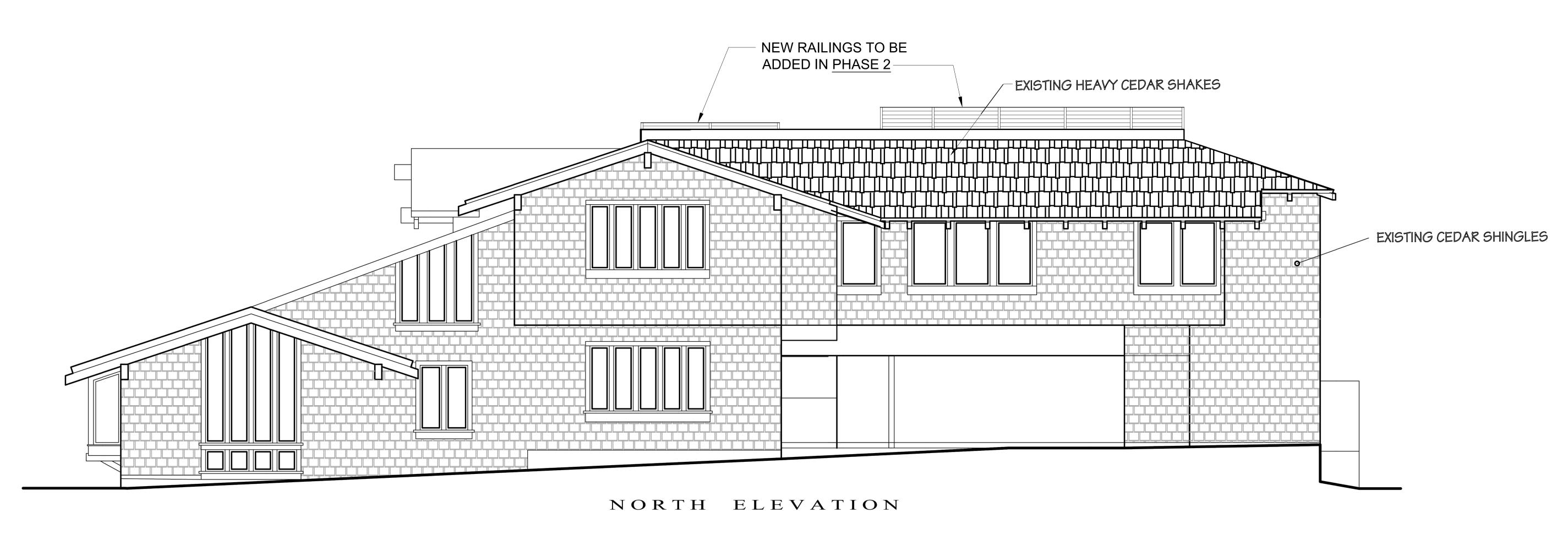
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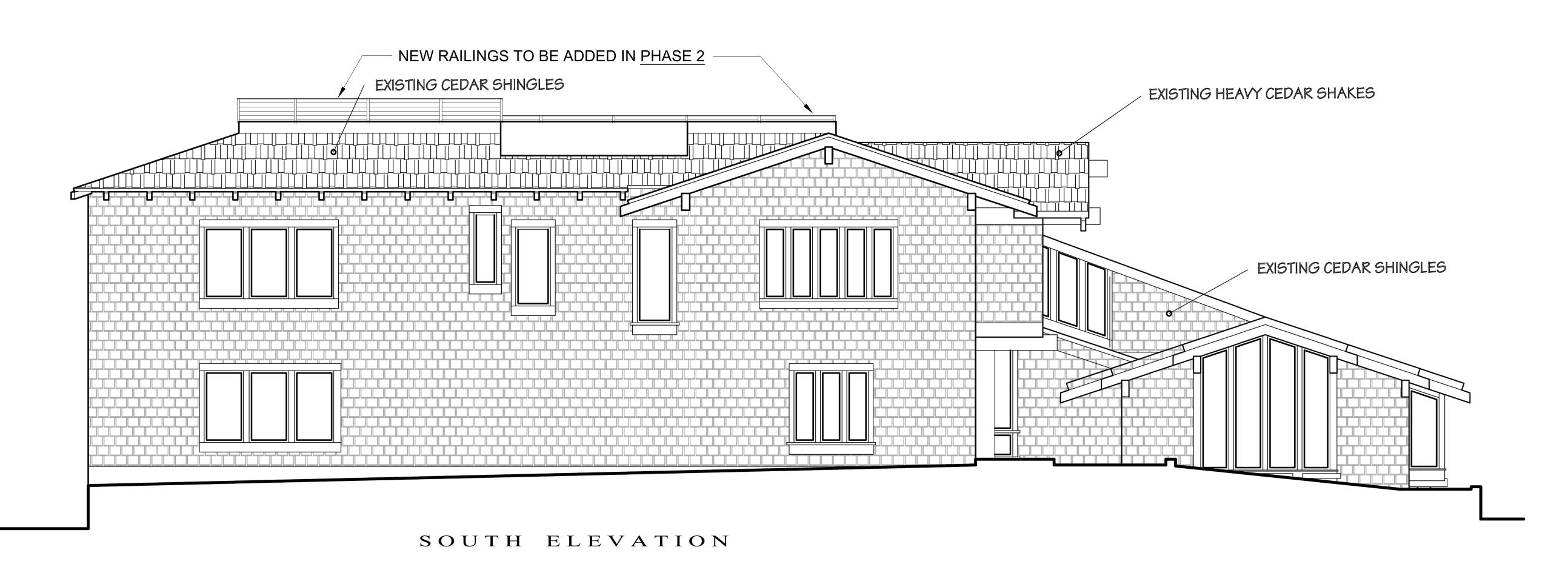
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SHEET NAME:

ROOF PLAN







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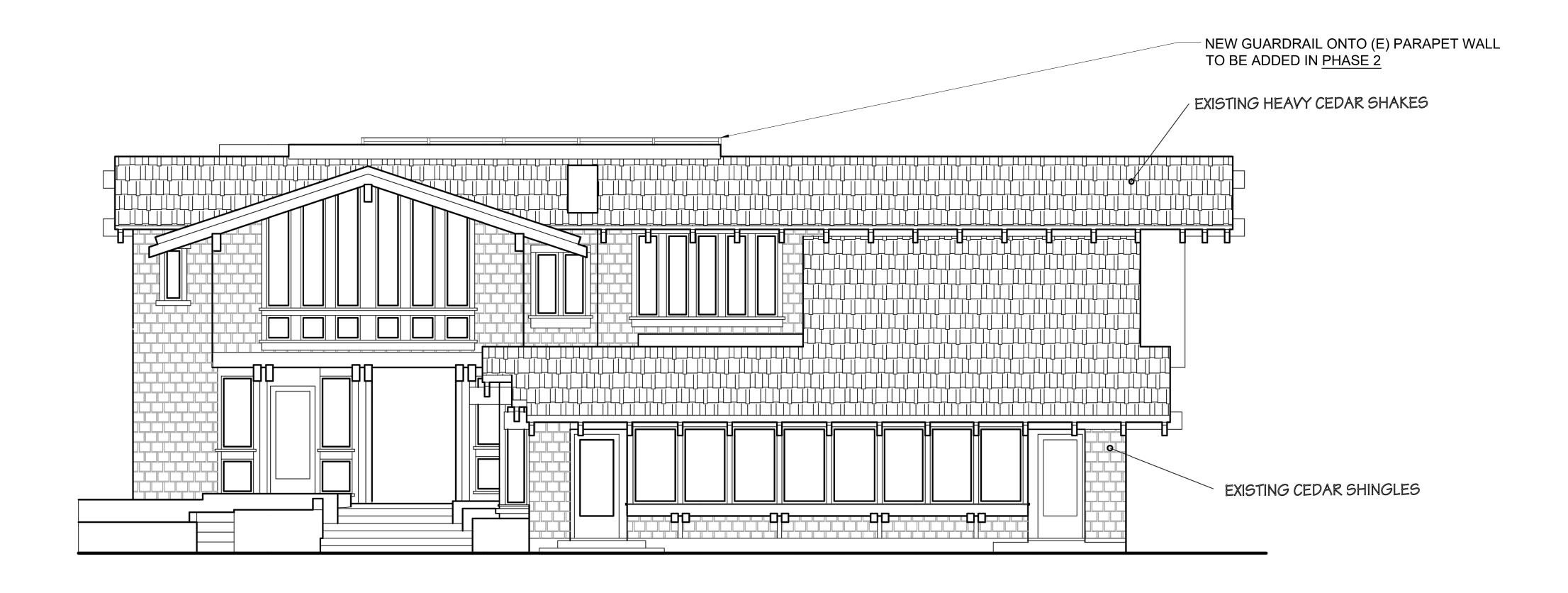
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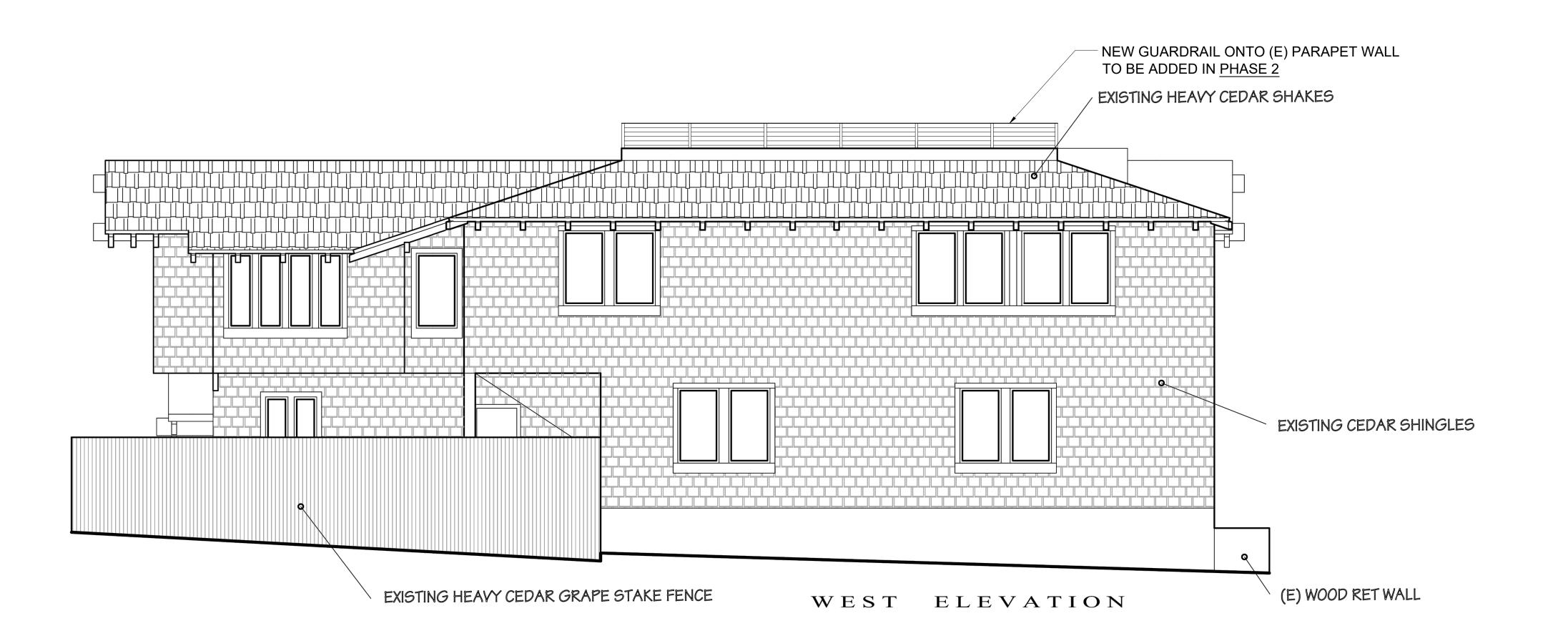
2.14.2024 Planning Commission

SET ISSUED:

SHEET NAME: **EXISTING EXTERIOR ELEVATIONS**



EAST ELEVATION (STREET SCAPE)





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10-145-021

.: Д.

SAN CARLOS BUILDING ROOF IMPROVEMENTS

SW SAN CARLOS and 8th STREET KRISTIN MINNICH

JOB NO.: 23086

PRINT DATE:
PLOT DATE:

DRAWN BY: CHECKED BY:

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SHEET NAME:

EXISTING

EXTERIOR

ELEVATIONS

SHEET NO.:

A402

FILE NAME: 2

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3'-1½"





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10-145-021

Α. Ν. Σ.

SAN CARLOS BUILDING ROOF IMPROVEMENTS

SW SAN CARLOS al KRISTIN MINNICH P.O. BOX 222795

23086

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PLOT DATE: 1.31.
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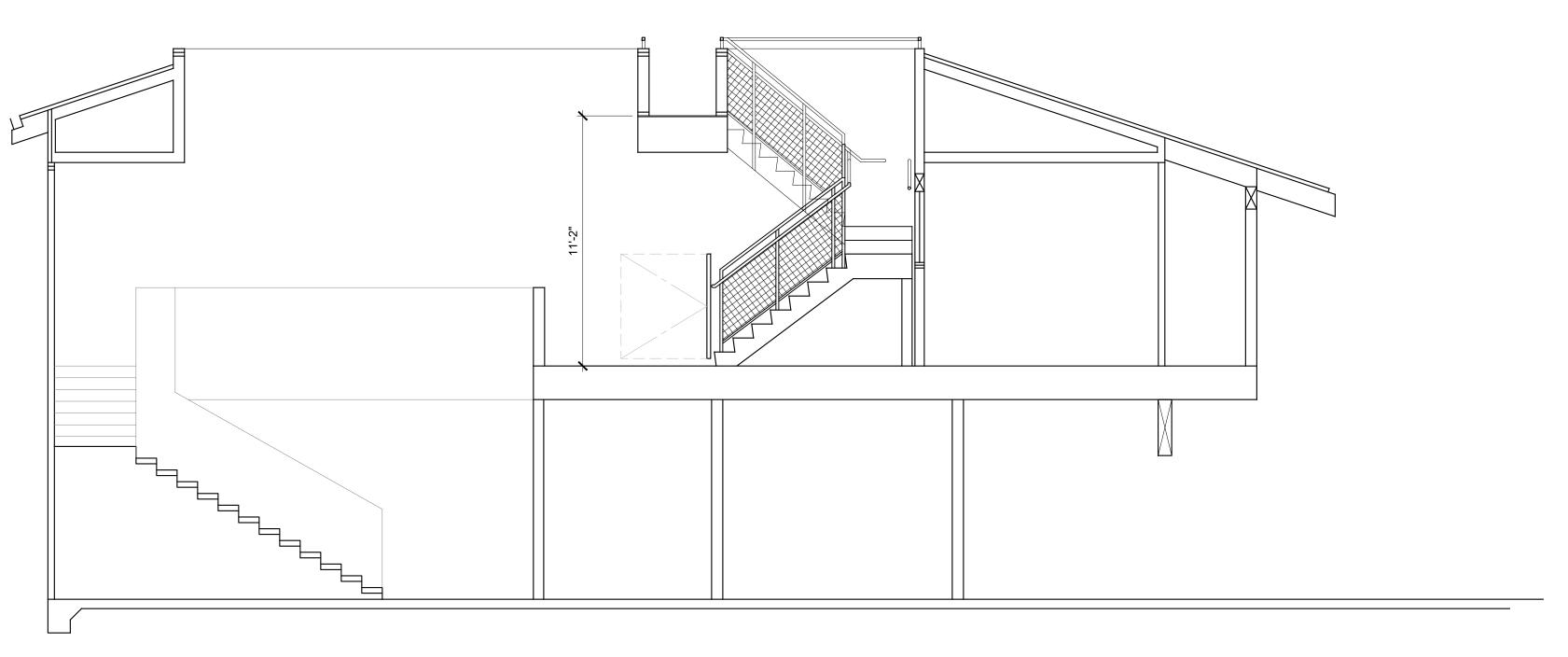
ENLARGED STAIR PLAN

SHEET NO.:

A601

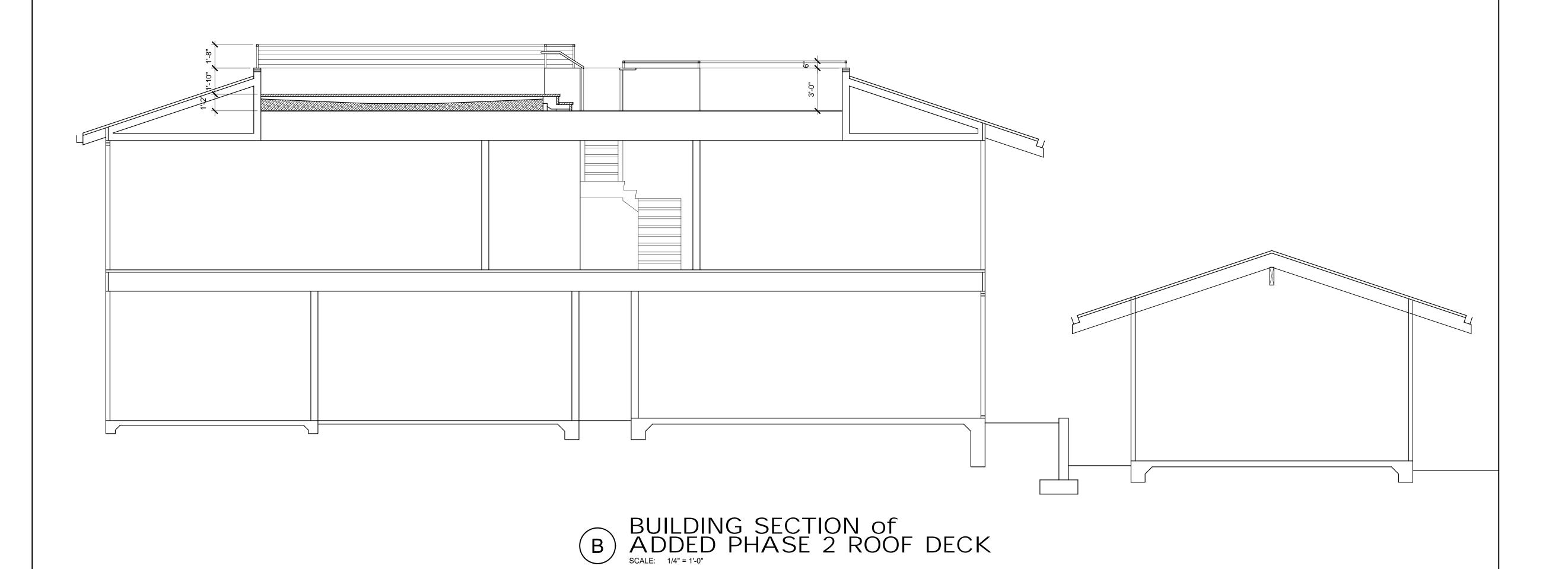
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J:\23 Jobs\23086 San Carlos Pro Bldg Roof Deck\Drawings\23086-A601.dwg, 1/31/2024 9:44:36 A



BUILDING SECTION of ADDED PHASE 2 STAIRS

SCALE: 1/4" = 1'-0"



KEY NOTES

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1 EXISTING SLAB ON GRADE (TYP)

2 EXISTING FLOOR / CEILING SYSTEM (TYP)

3 EXISTING ROOF BEAM

4 EXISTING ROOF RAFTERS (TYP) 5 EXISTING WALL TO BE DEMOLISHED

6 EXISTING STAIR TO BE DEMOLISHED

7 EXISTING STAIR TO REMAIN

8 EXISTING BEAM BEYOND

9 EXISTING WALL BEYOND

10 (NOT USED)

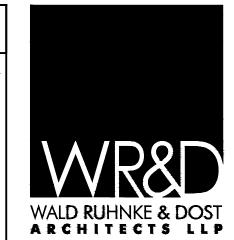
11 EXISTING ROOF TRUSSES / ROOF FRAMING at 24" O.C.

12 (NOT USED)

13 (NOT USED) 14 (NOT USED)

15 (NOT USED)

16 EXISTING PARAPET WALL



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BUILDING SECTIONS