

### KEY NOTES

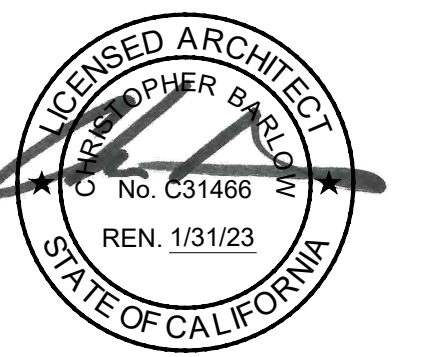
THE KEY NOTES THAT FOLLOW APPLY TO THE DRAWING(S) ON THIS SHEET ONLY. REFER TO FOLLOWING SHEETS FOR NOTES THAT ARE APPLICABLE TO THOSE DRAWINGS.

- 1 EXISTING COLUMN TO REMAIN (TYP)
- 2 EXISTING LINE OF SECOND FLOOR ABOVE
- 3 EXISTING SOFFIT ABOVE
- 4 EXISTING BEAM ABOVE
- 5 MECHANICAL EQUIPMENT
- 6 MECHANICAL EQUIPMENT



2340 GARDEN ROAD, SUITE 100  
 MONTEREY, CALIFORNIA 93940  
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SAN CARLOS BUILDING  
 ROOF IMPROVEMENTS  
 SW SAN CARLOS and 8th STREETS  
 KRISTIN MINNICH  
 P.O. BOX 222795  
 CARMEL, CA 93921  
 A.P.N.: 010-145-021

JOB NO.: 23086  
 PRINT DATE: 1.31.2024  
 DRAWN BY: RC  
 CHECKED BY: CB  
 SET ISSUED: 2.14.2024 Planning Commission

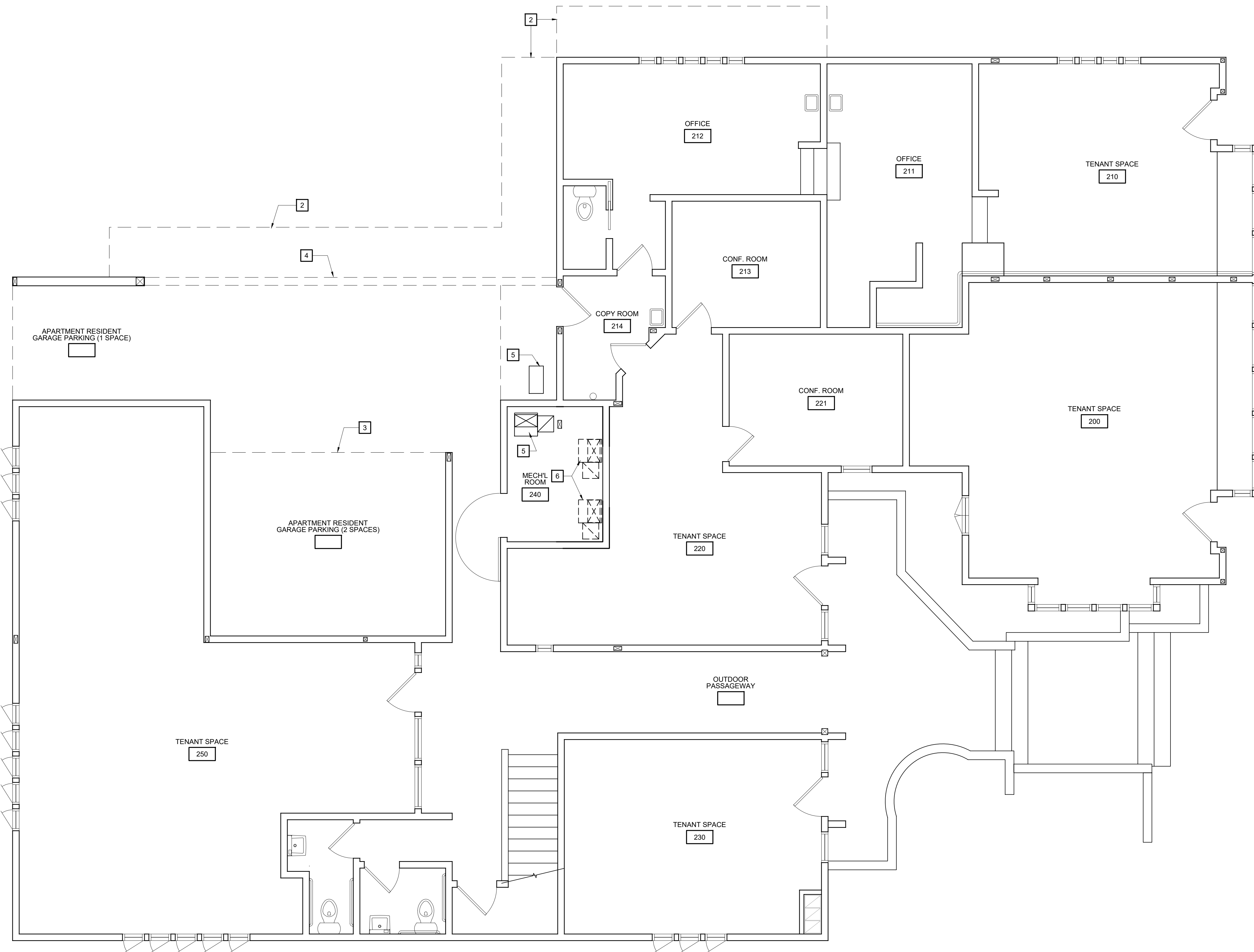
SHEET NAME:  
 EXISTING  
 FIRST  
 FLOOR PLAN

SHEET NO.:

# A101

FILE NAME: 23086-A101

PLAN NORTH  
**PHASE ONE  
 EXISTING  
 FIRST FLOOR PLAN**  
 SCALE: 1/4"=1'-0"



**KEY NOTES**

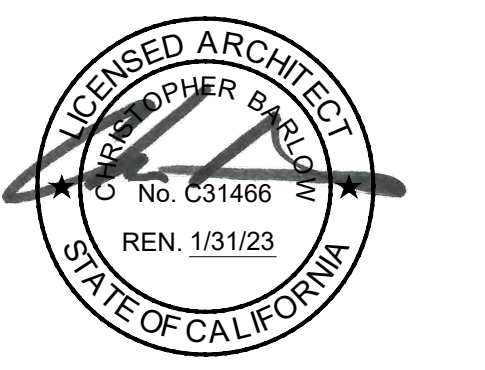
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**WR&D**  
**WALD RUHNKE & DOST**  
**ARCHITECTS LLP**

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**SAN CARLOS BUILDING**  
**ROOF IMPROVEMENTS**

SW SAN CARLOS and 8th STREETS  
 KRISTIN MINNICH  
 P.O. BOX 222795  
 CARMEL, CA 93921

JOB NO.:  
**23086**

PRINT DATE:  
 1.31.2024

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 2.14.2024 Planning Commission

SHEET NAME:  
**EXISTING**  
**FIRST**  
**FLOOR PLAN**

SHEET NO.:  
**A102**

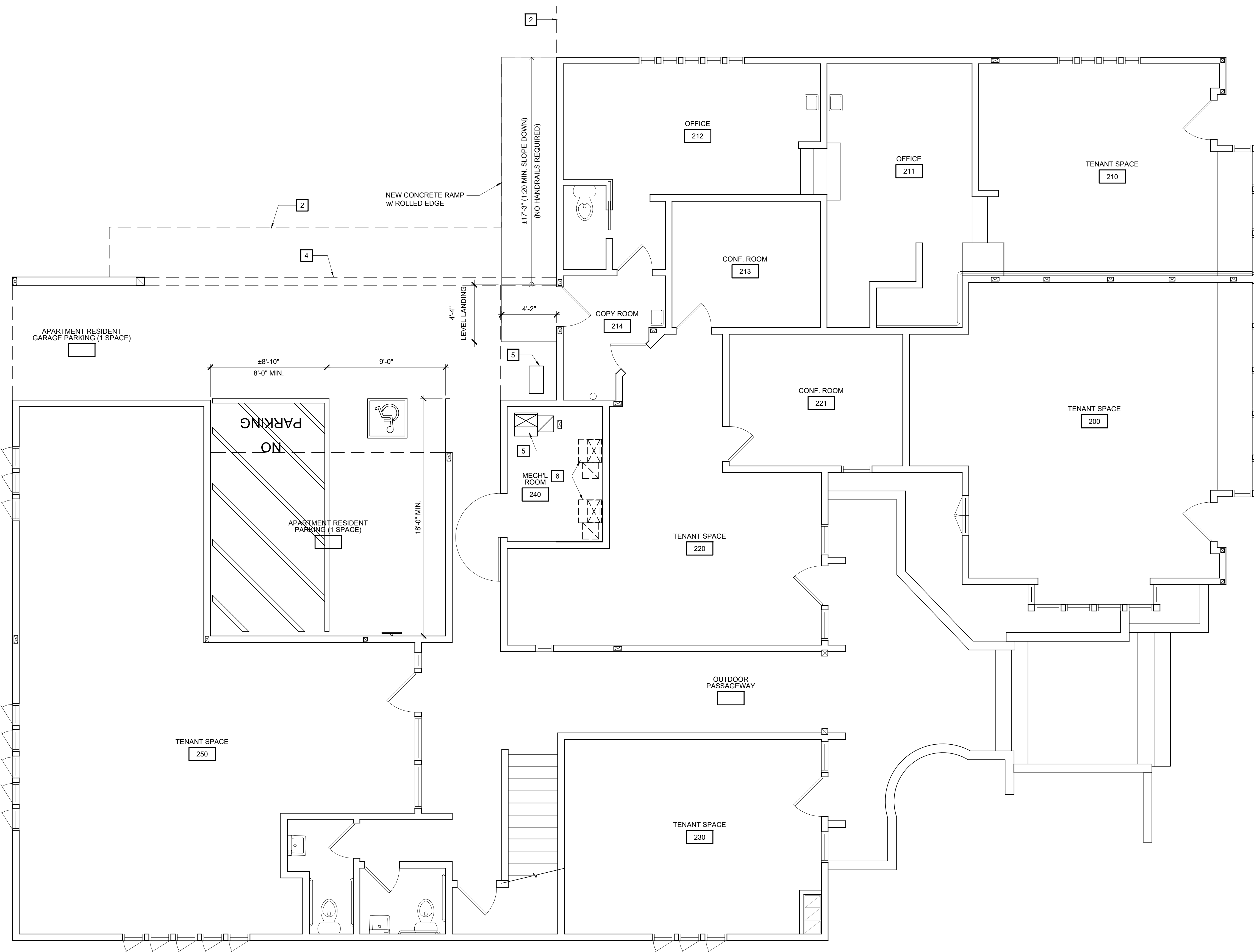
FILE NAME:  
 23086-A102

A.P.N.: 010-145-021

PLAN NORTH

**PHASE TWO**  
**EXISTING**  
**FIRST FLOOR PLAN**  
 SCALE: 1/4"=1'-0"  
**(NO CHANGE)**

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**KEY NOTES**

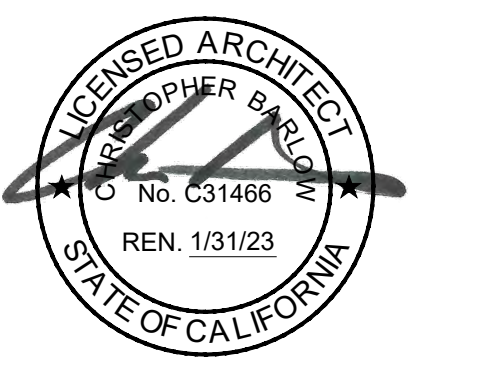
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 SW SAN CARLOS and 8th STREETS  
 KRISTIN MINNICH  
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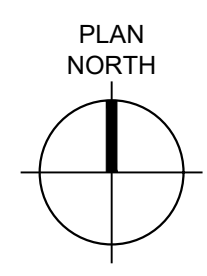
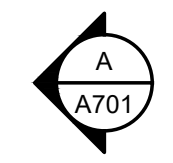
JOB NO.: 23086  
 PRINT DATE: 1.31.2024  
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 DRAWN BY: RC  
 CHECKED BY: CB  
 SET ISSUED: 2.14.2024 Planning Commission

SHEET NAME: PROPOSED FIRST FLOOR PLAN

SHEET NO.:

**A103**

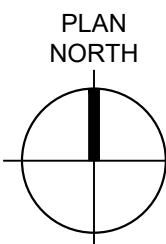
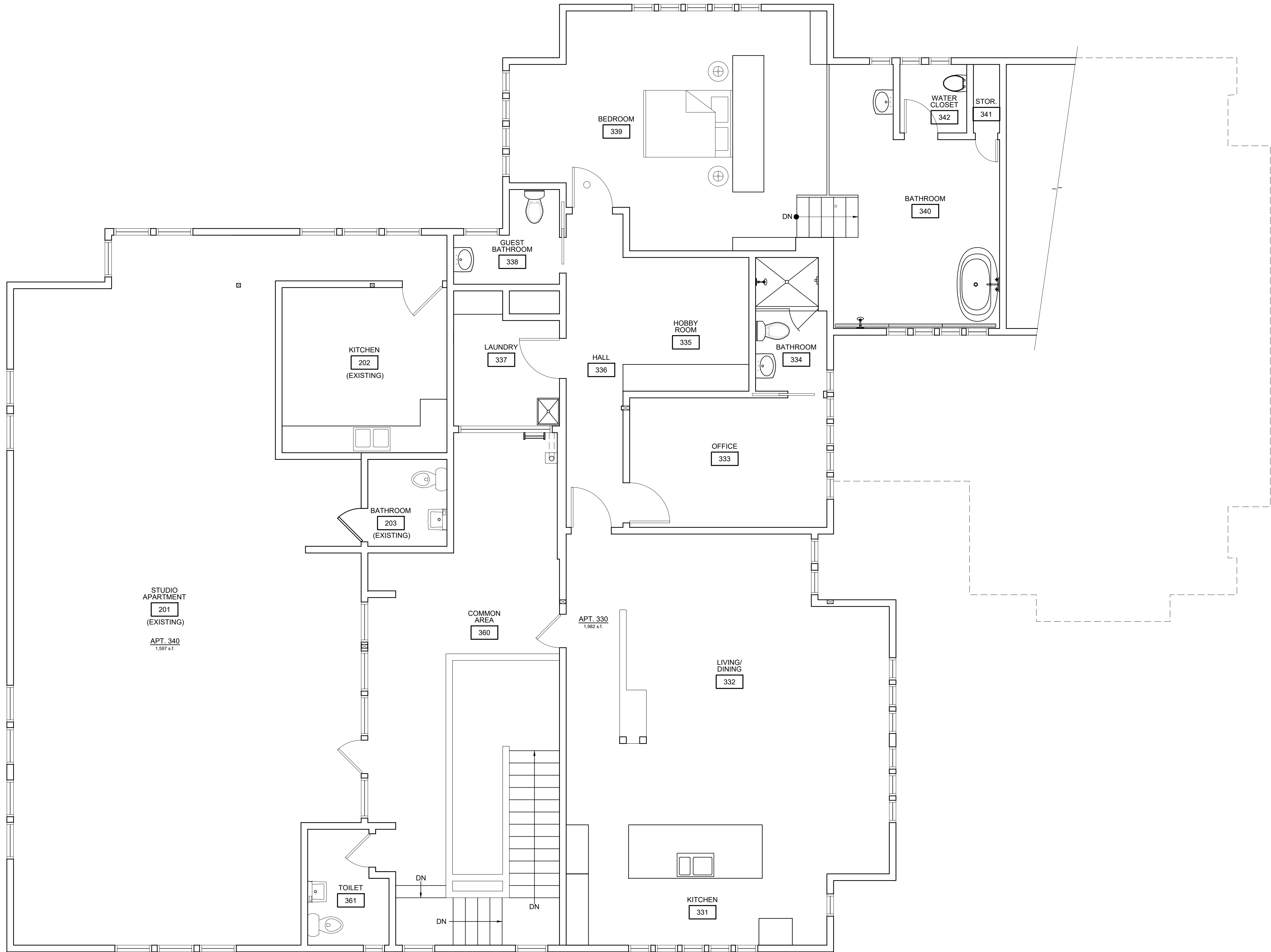
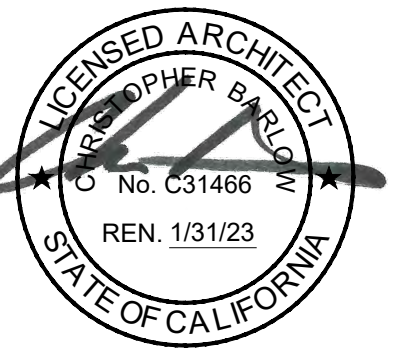
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**PHASE THREE PROPOSED A.D.A. IMPROVEMENTS at FIRST FLOOR PLAN**  
 SCALE: 1/4"=1'-0"

J:\23\_Jobs\23086\_San Carlos\_Pro Bldg\_Roof Deck\Drawings\23086-A103.dwg, 1/31/2024 9:43:47 AM, RyanC

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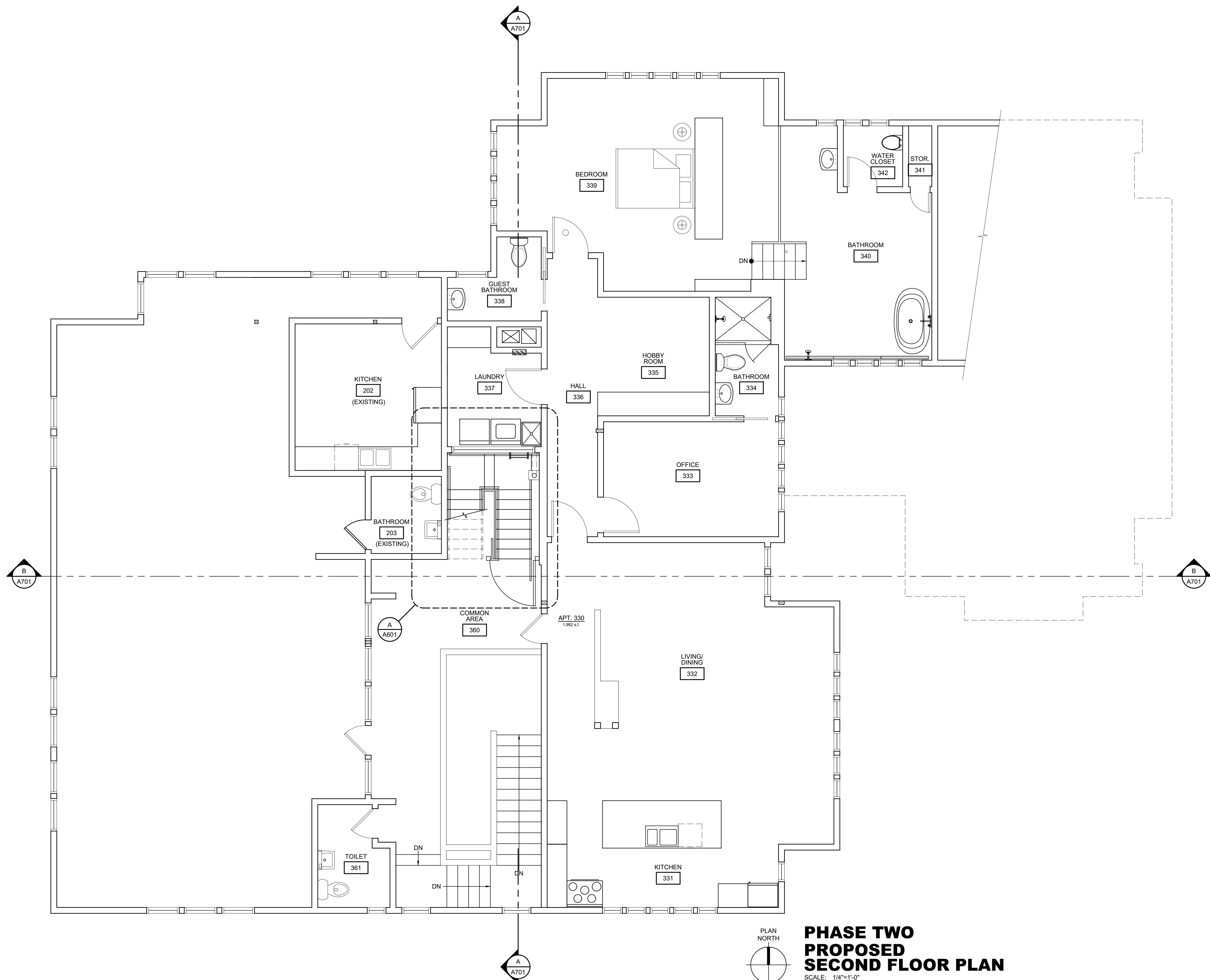
**PHASE ONE**  
**EXISTING**  
**SECOND FLOOR PLAN**  
 SCALE: 1/4"=1'-0"

**SAN CARLOS BUILDING**  
**ROOF IMPROVEMENTS**  
 SW SAN CARLOS and 8th STREETS  
 KRISTIN MINNICH  
 P.O. BOX 222795  
 CARMEL, CA 93921  
 A.P.N.: 010-145-021

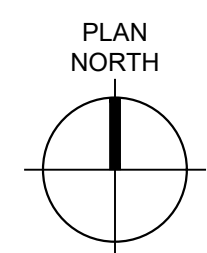
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**23086**  
 PRINT DATE:  
 PLOT DATE: 1.31.2024  
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SHEET NAME:  
**EXISTING**  
**SECOND**  
**FLOOR PLAN**  
 SHEET NO.:

**A201**



**PHASE TWO  
PROPOSED  
SECOND FLOOR PLAN  
(STAIRS TO ROOF DECK)**



SCALE: 1/4"=1'-0"

**KEY NOTES**

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- 1 EXISTING COLUMN TO REMAIN
- 2 EXISTING LINE OF ROOF OPENING ABOVE
- 3 NEW SHOWER STALL
- 4 OPEN TO FIRST FLOOR BELOW
- 5 (NOT USED)
- 6 (NOT USED)
- 7 (NOT USED)
- 8 (NOT USED)



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**SAN CARLOS BUILDING  
ROOF IMPROVEMENTS**

SW SAN CARLOS and 8th STREETS  
KRISTIN MINNICH  
P.O. BOX 222795  
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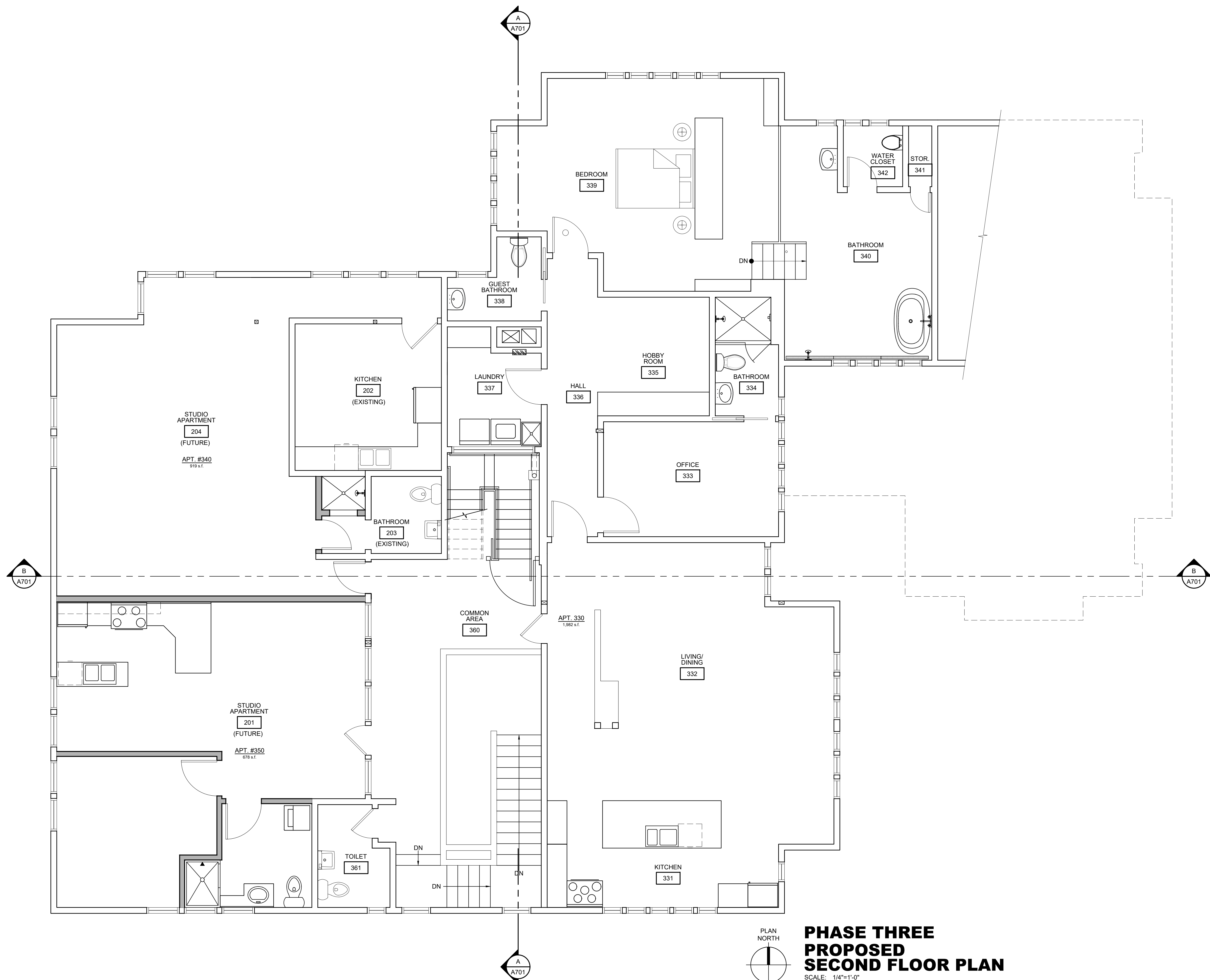
SHEET NAME:  
**PROPOSED  
SECOND  
FLOOR PLAN**

SHEET NO.:

**A202**

FILE NAME: 22137-A202

A.P.N.: 010-145-021



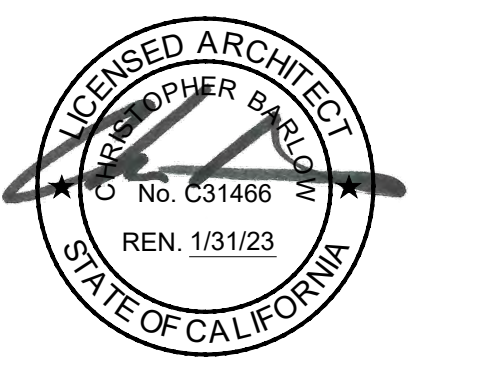
**PHASE THREE  
PROPOSED  
SECOND FLOOR PLAN**  
SCALE: 1/4"=1'-0"  
**(BUILDOUT of REMAINING 2nd FLR APTS)**

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- 3 NEW SHOWER STALL
- 4 OPEN TO FIRST FLOOR BELOW
- 5 (NOT USED)
- 6 (NOT USED)
- 7 (NOT USED)
- 8 (NOT USED)

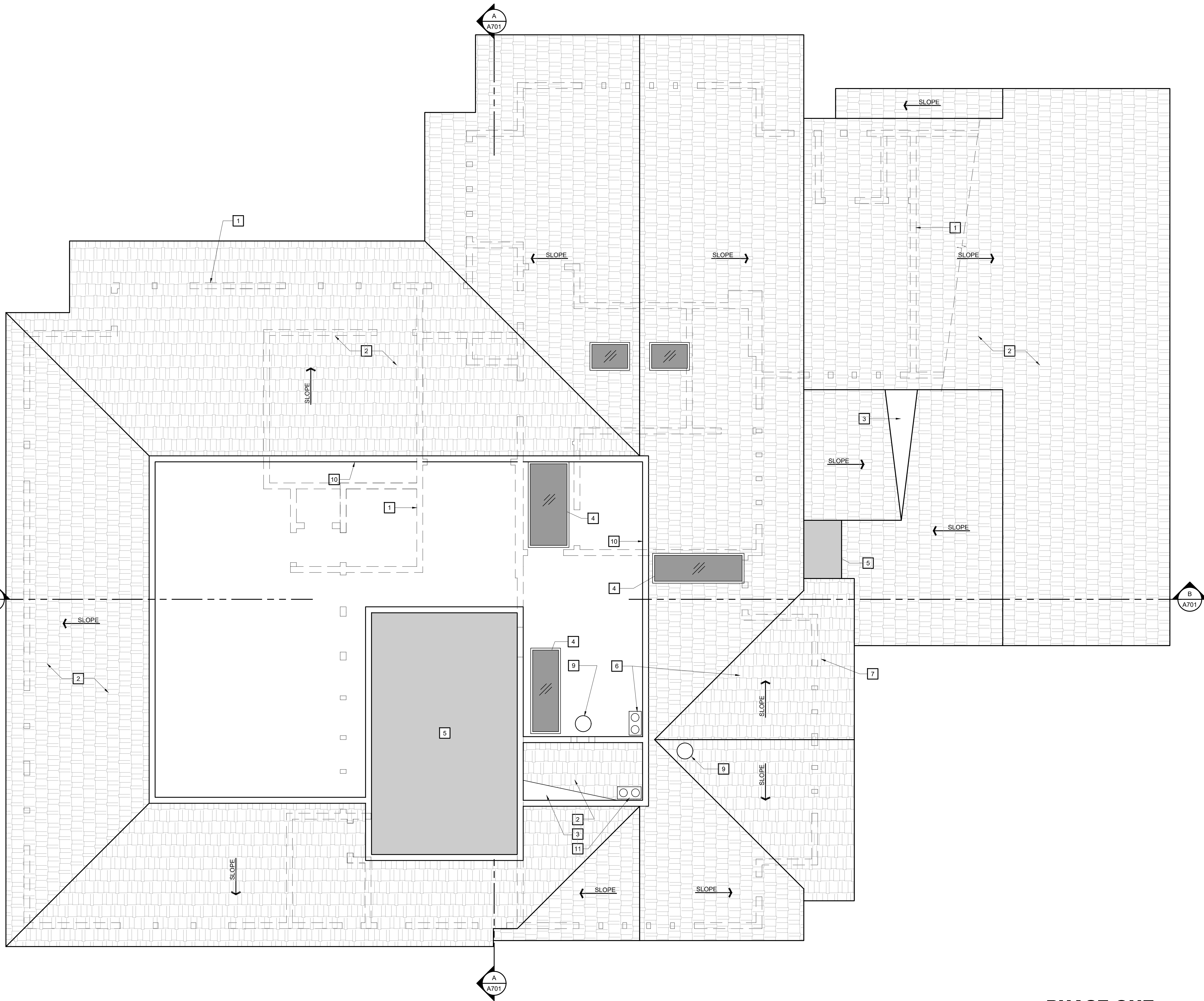
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**SAN CARLOS BUILDING  
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SW SAN CARLOS and 8th STREETS  
KRISTIN MINNICH  
P.O. BOX 222795  
CARMEL, CA 93921  
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SHEET NAME: PROPOSED SECOND FLOOR PLAN  
SHEET NO.:

**A203**  
FILE NAME: 22137-A203



### KEY NOTES

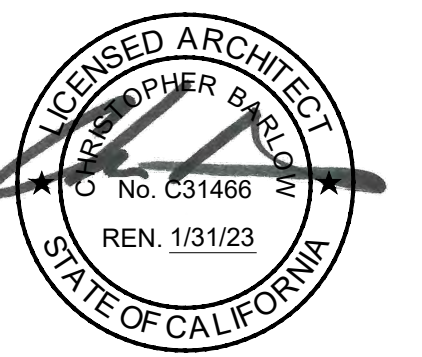
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- 1 DASHED LINE INDICATES WALLS BELOW (TYP)
- 2 EXISTING CONCRETE TILE ROOFING AT 4:12 SLOPE (TYP)
- 3 EXISTING SHEET METAL CRICKET
- 4 EXISTING SKYLIGHT
- 5 OPEN TO FLOOR / GROUND BELOW
- 6 (NOT USED)
- 7 (NOT USED)
- 8 (NOT USED)
- 9 EXISTING CHIMNEY FLUE w/ APPROVED SPARK ARRESTOR AND STORM CAP
- 10 EXISTING PARAPET WALL
- 11 EXISTING ROOF DRAIN



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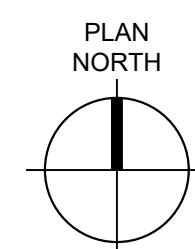
**SAN CARLOS BUILDING ROOF IMPROVEMENTS**  
 SW SAN CARLOS and 8th STREETS  
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SHEET NAME: EXISTING ROOF PLAN  
 SHEET NO.:

**A231**

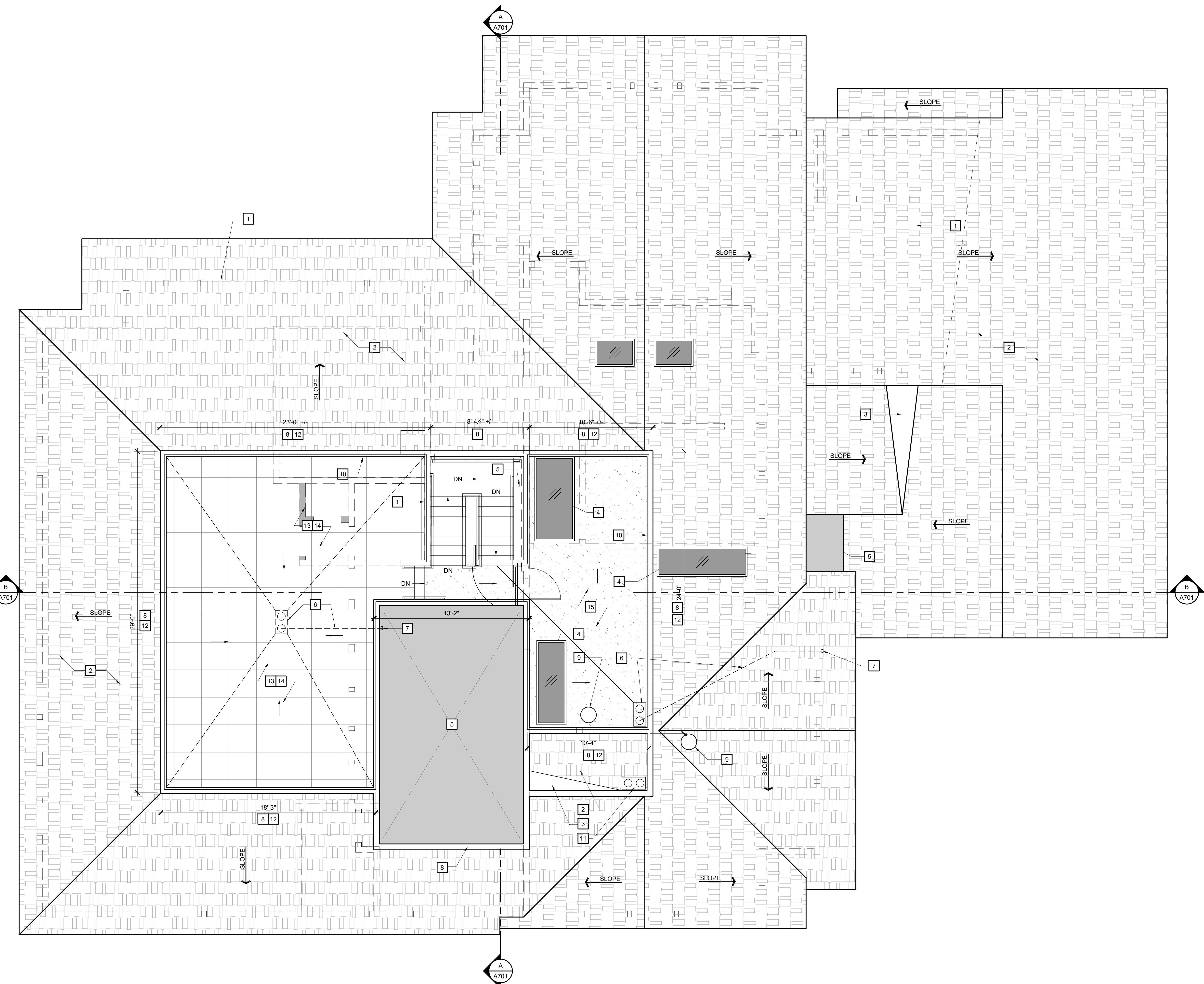
FILE NAME: 22137-A231



**PHASE ONE EXISTING ROOF PLAN**  
 SCALE: 1/4"=1'-0"

**(NO CHANGE)**





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- 3 EXISTING SHEET METAL CRICKET
- 4 EXISTING SKYLIGHT
- 5 OPEN TO FLOOR / GROUND BELOW
- 6 NEW ROOF DRAIN WITH OVERFLOW SCUPPER & DRAIN TO DAYLIGHT
- 7 OVERFLOW SCUPPER THROUGH WALL
- 8 NEW PARAPET WALL CAP FLASHING, MIN 24 GA. G.I. METAL, TYPICAL
- 9 EXISTING CHIMNEY FLUE w/ APPROVED SPARK ARRESTOR AND STORM CAP
- 10 EXISTING PARAPET WALL
- 11 EXISTING ROOF DRAIN
- 12 NEW RAILING WITH CABLE RAILING
- 13 TAPERED FOAM INSULATION WITH WATER PROOF COVER SLOPED TO DRAIN 1/4" PER FOOT MIN.
- 14 NEW LIGHTWEIGHT CONCRETE PAVERS ON ADJUSTABLE PAVERS (TYP.)
- 15 NEW WATER PROOF ROOF DECK, SLOPE 1/4" PER FOOT TO DRAIN
- 16 NEW STAIR BELOW - SEE FLOOR PLAN

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CARMEL, CA 93921

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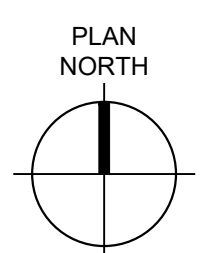
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SHEET NAME:  
**PROPOSED  
ROOF PLAN**

SHEET NO.:

**A232**

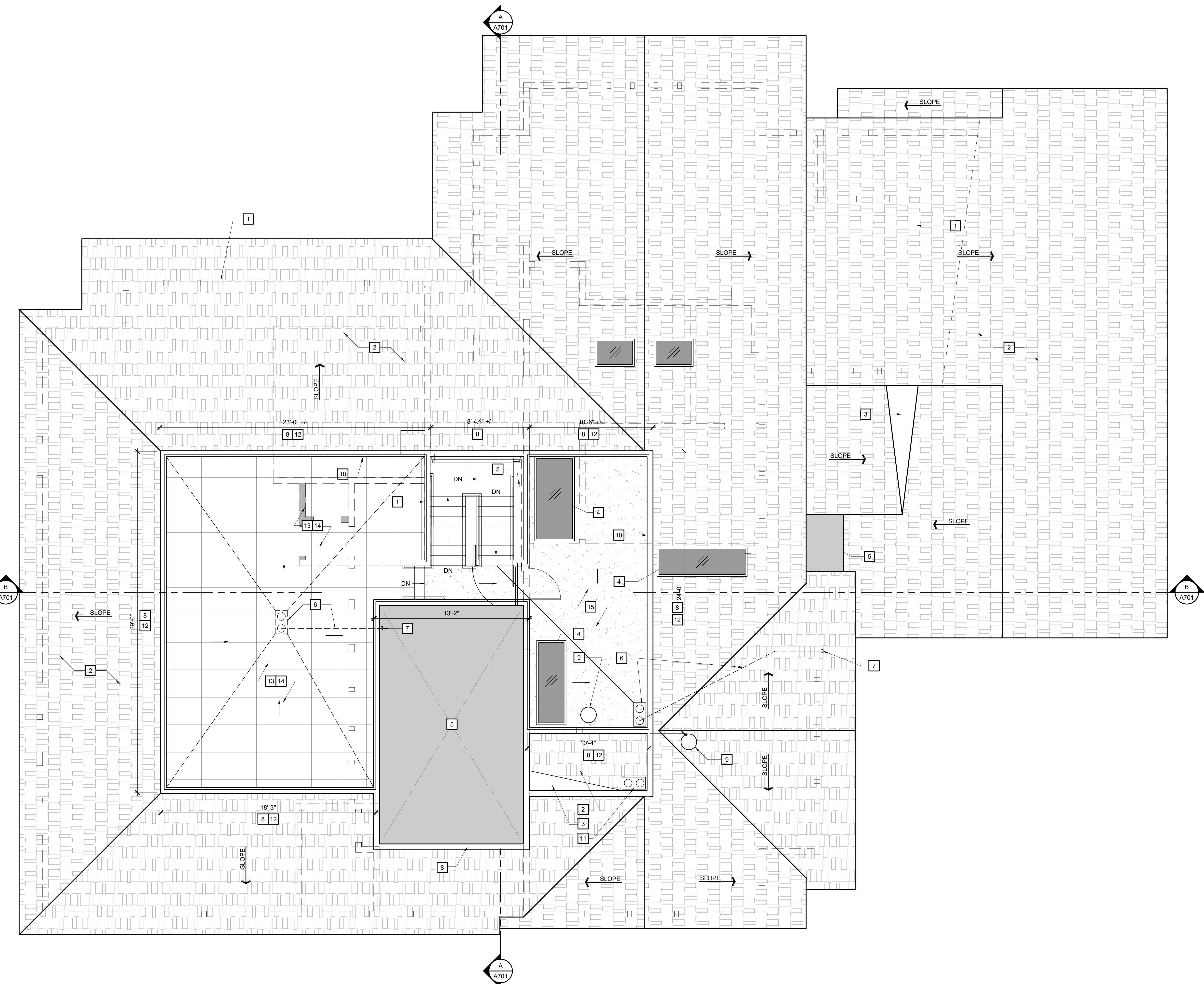
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**PHASE TWO  
PROPOSED ROOF PLAN  
w/ ADDED ROOF DECK**

SCALE: 1/4"=1'-0"

A.P.N.: 010-145-021



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- 16 NEW STAIR BELOW - SEE FLOOR PLAN

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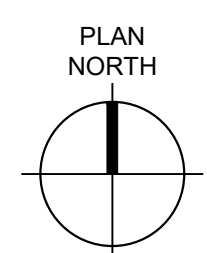
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ROOF IMPROVEMENTS**  
SW SAN CARLOS and 8th STREETS  
KRISTIN MINNICH  
P.O. BOX 222795  
CARMEL, CA 93921

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SHEET NAME:  
**ROOF PLAN**  
SHEET NO.:

**A233**

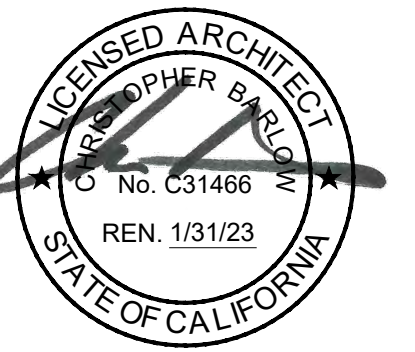
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### PHASE THREE ROOF PLAN (COMPLETED ROOF DECK)

SCALE: 1/4"=1'-0"

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SW SAN CARLOS and 8th STREETS  
 KRISTIN MINNICH  
 P.O. BOX 222795  
 CARMEL, CA 93921

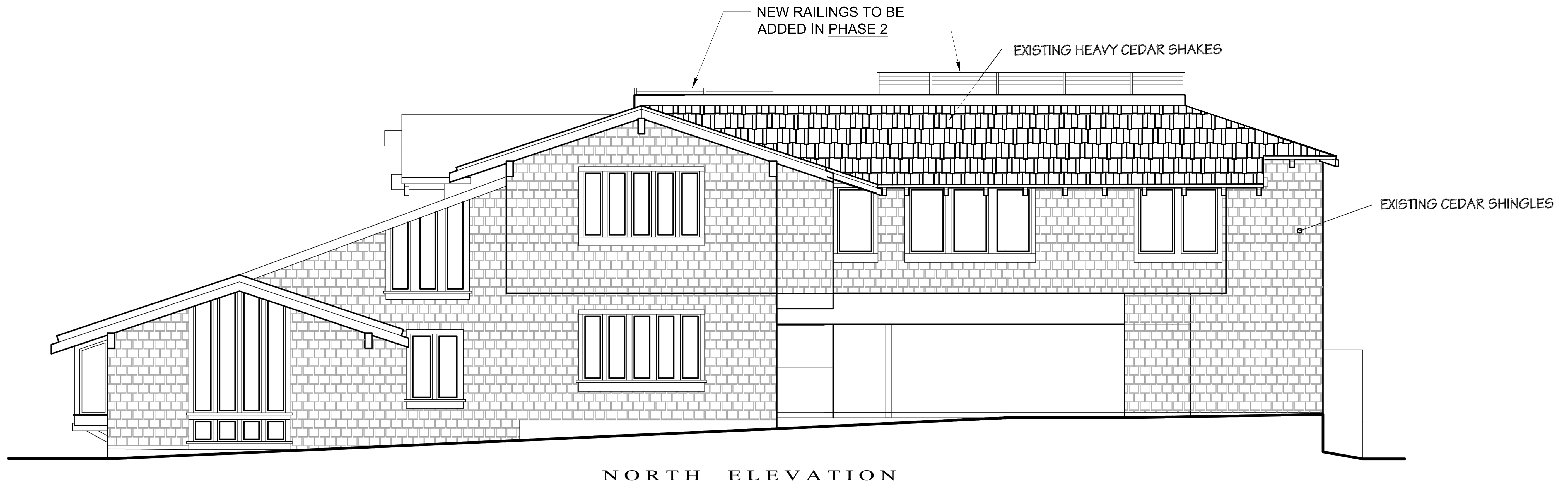
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 CHECKED BY:  
 SET ISSUED: 2.14.2024 Planning Commission

SHEET NAME:  
**EXISTING  
 EXTERIOR  
 ELEVATIONS**

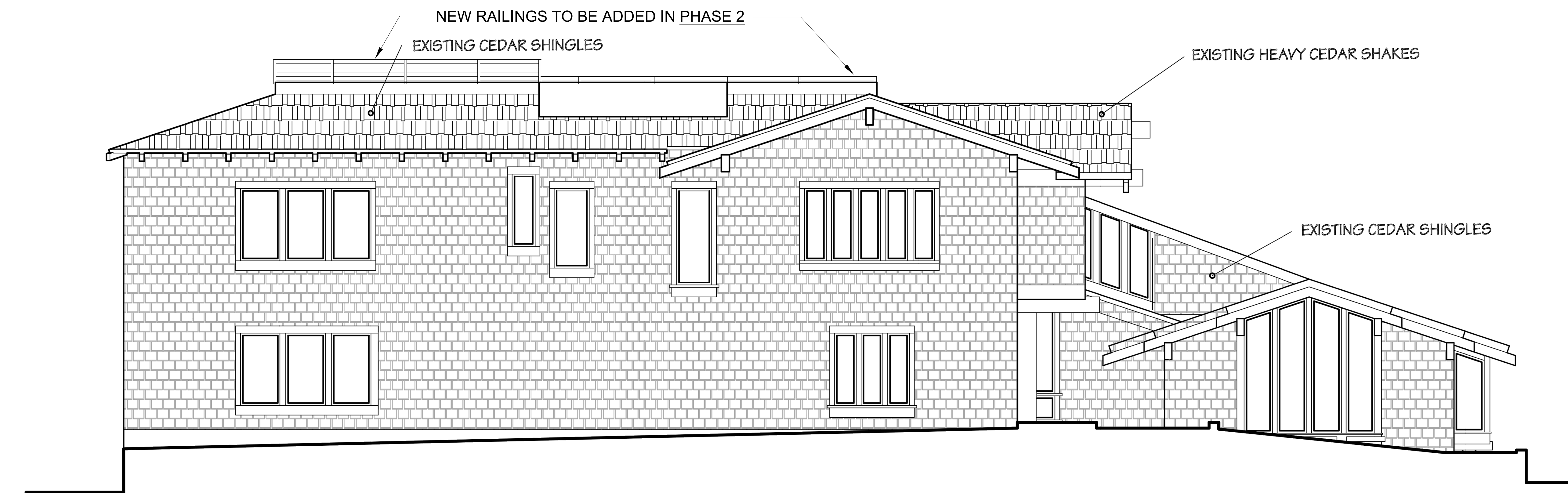
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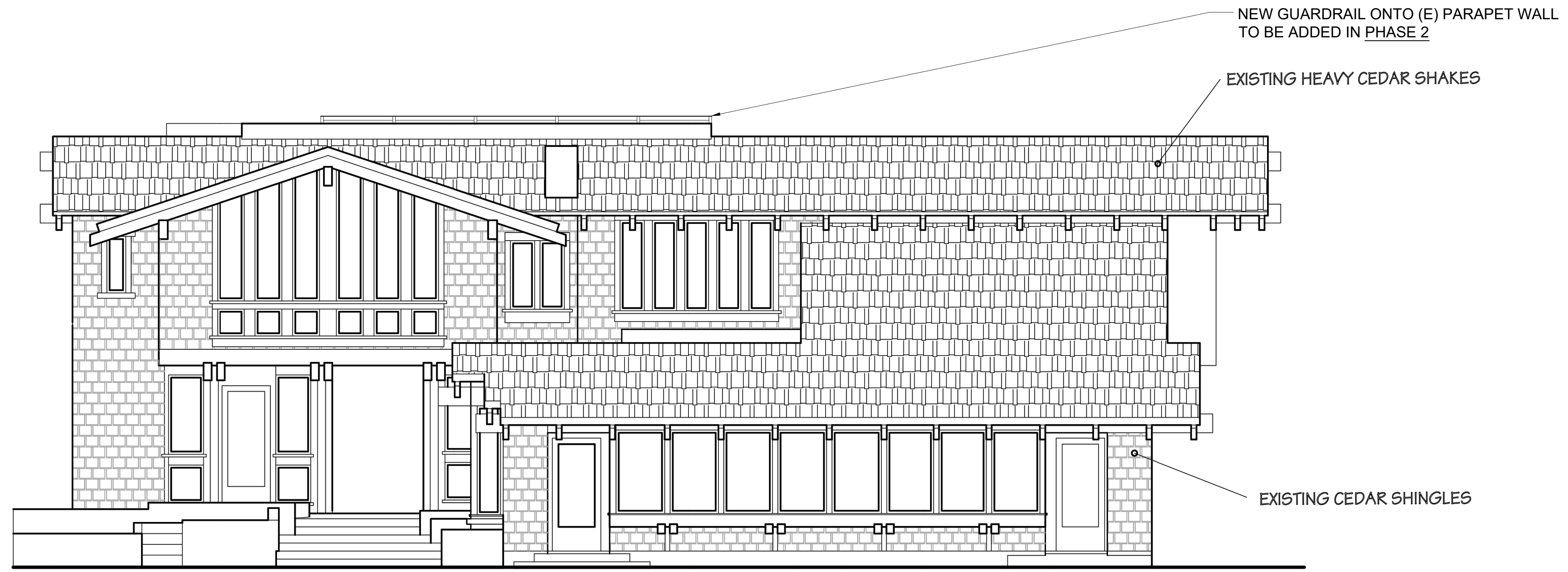
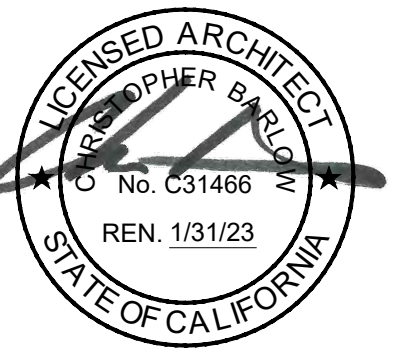
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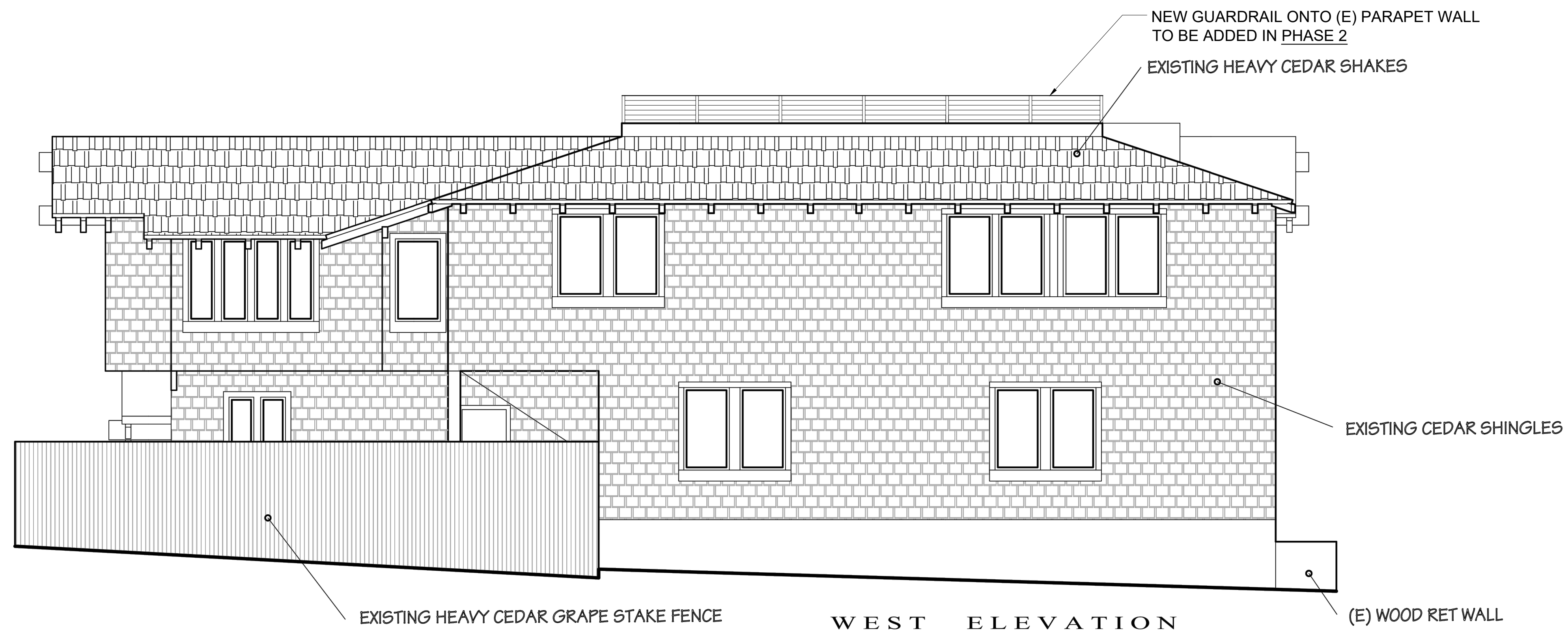
**NORTH ELEVATION**



**SOUTH ELEVATION**



EAST ELEVATION (STREET SCAPE)



WEST ELEVATION

A.P.N.: 010-145-021

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 ROOF IMPROVEMENTS**

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 P.O. BOX 222795  
 CARMEL, CA 93921

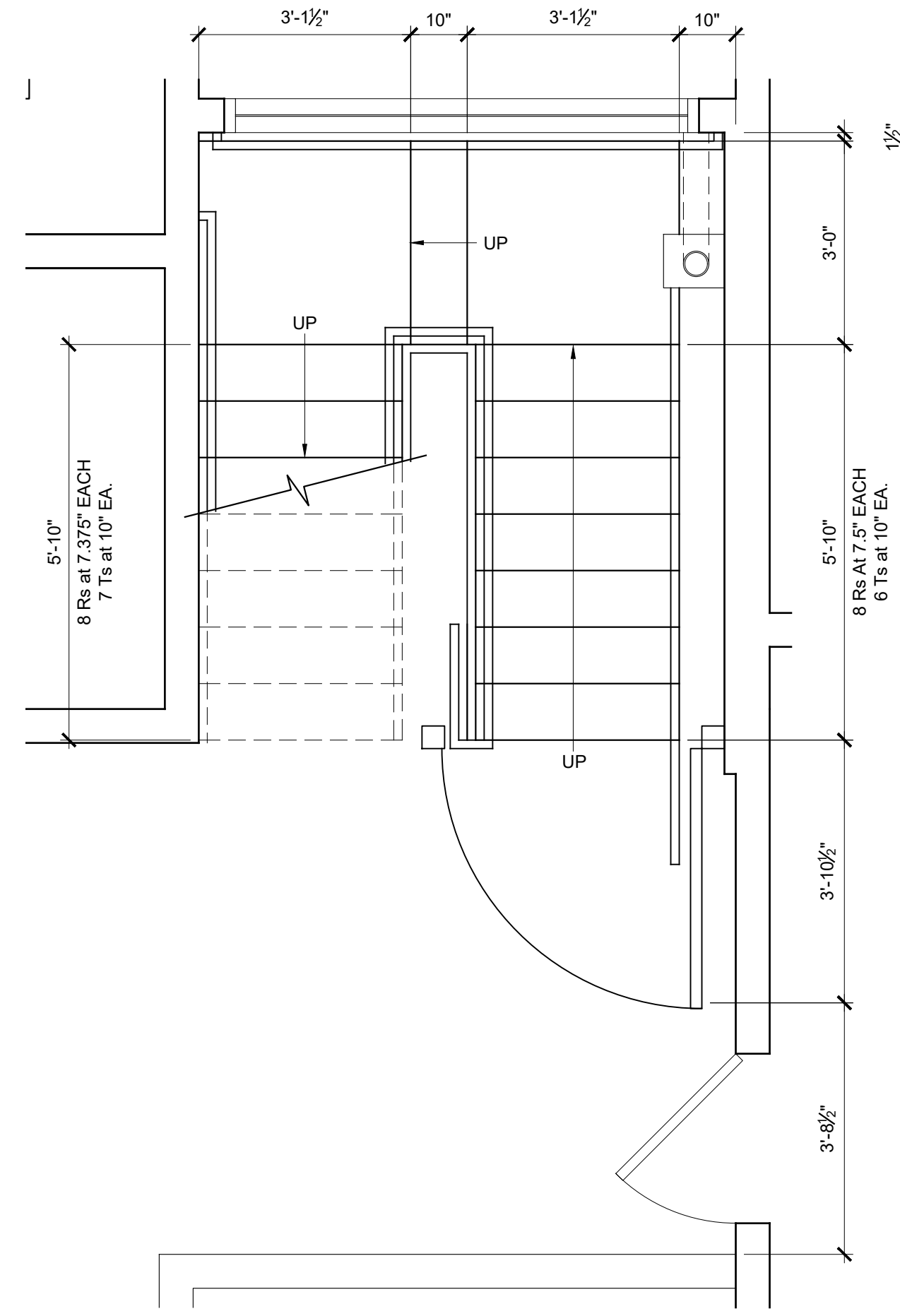
JOB NO.: 23086  
 PRINT DATE: 1.31.2024  
 PLOT DATE: 1.31.2024  
 DRAWN BY:  
 CHECKED BY:  
 SET ISSUED: 2.14.2024 Planning Commission

SHEET NAME:  
**EXISTING  
 EXTERIOR  
 ELEVATIONS**

SHEET NO.:

**A402**

J:\23\_Jobs\23086\_San Carlos\_Pro Bldg\_Roof Deck\Drawings\23086-A601.dwg - 1/31/2024 9:44:36 AM, RyanC

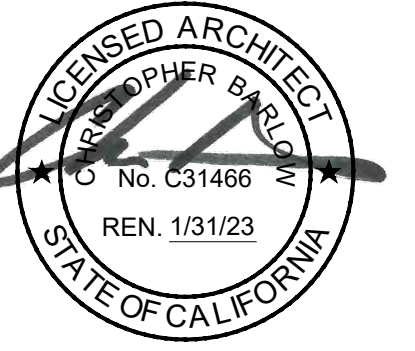


**A** PHASE TWO  
STAIR PLAN  
UPPER LEVEL  
SCALE: 1/2" = 1'-0"



2340 GARDEN ROAD, SUITE 100  
MONTEREY, CALIFORNIA 93940  
PHONE: 831.649.4642  
FAX: 831.649.3530  
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**SAN CARLOS BUILDING  
ROOF IMPROVEMENTS**

SW SAN CARLOS and 8th STREETS  
KRISTIN MINNICH  
P.O. BOX 222795  
CARMEL, CA 93921

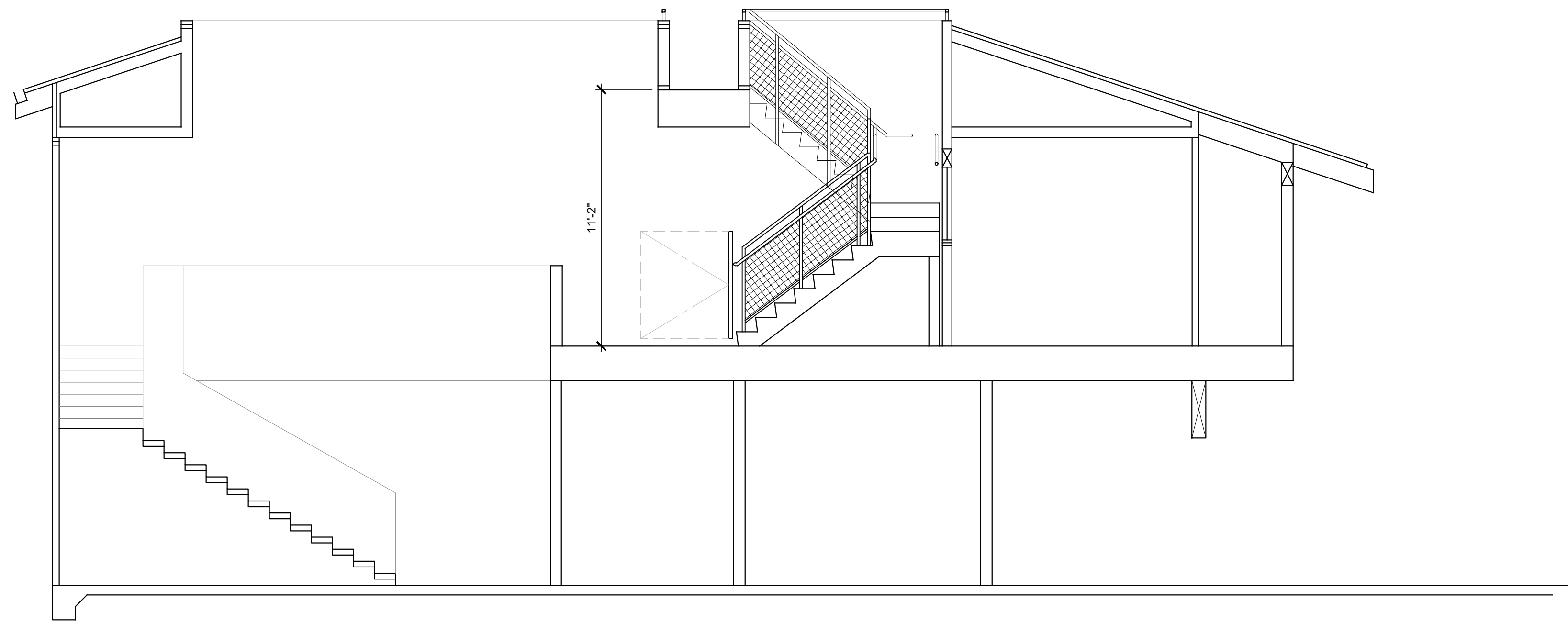
A.P.N.: 010-145-021

JOB NO.:  
**23086**  
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PLOT DATE: 1.31.2024  
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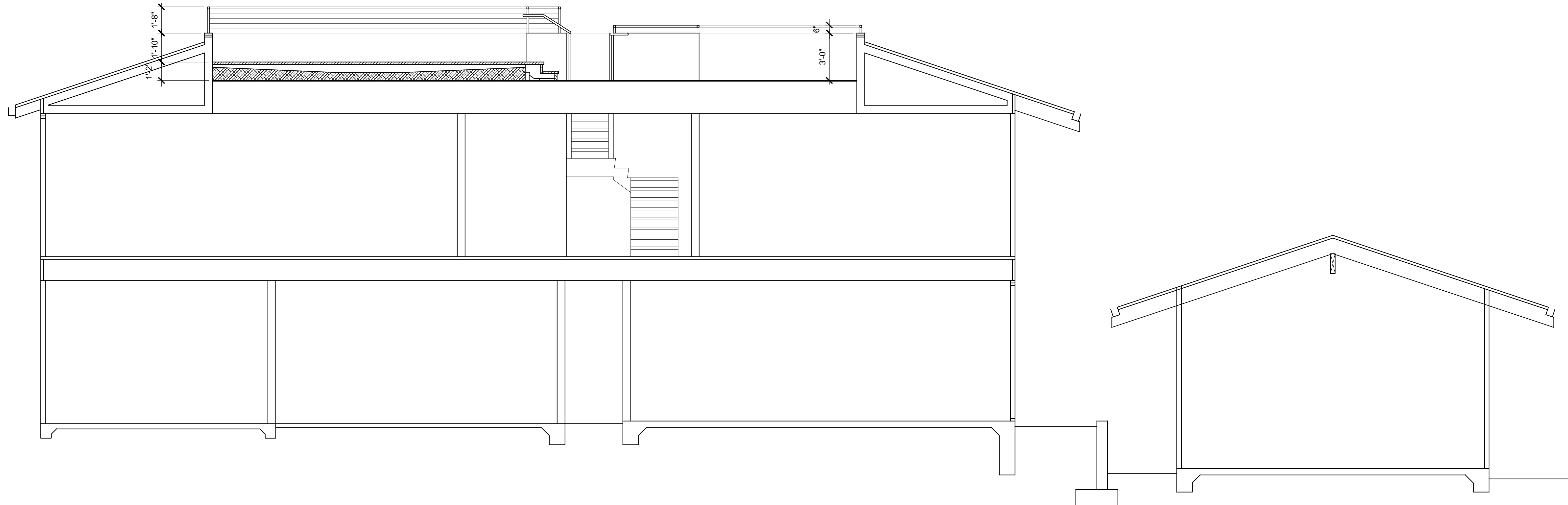
SHEET NAME:  
**ENLARGED  
STAIR PLAN**  
SHEET NO.:

**A601**

FILE NAME: 23086-A601



**A** BUILDING SECTION of  
ADDED PHASE 2 STAIRS  
SCALE: 1/4" = 1'-0"



**B** BUILDING SECTION of  
ADDED PHASE 2 ROOF DECK  
SCALE: 1/4" = 1'-0"

**KEY NOTES**

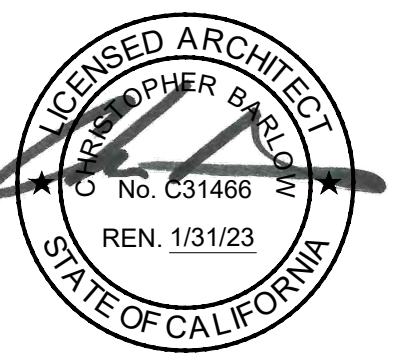
THE KEY NOTES THAT FOLLOW APPLY TO THE DRAWING(S) ON THIS SHEET ONLY. REFER TO FOLLOWING SHEETS FOR NOTES THAT ARE APPLICABLE TO THOSE DRAWINGS.

- 1 EXISTING SLAB ON GRADE (TYP)
- 2 EXISTING FLOOR / CEILING SYSTEM (TYP)
- 3 EXISTING ROOF BEAM
- 4 EXISTING ROOF RAFTERS (TYP)
- 5 EXISTING WALL TO BE DEMOLISHED
- 6 EXISTING STAIR TO BE DEMOLISHED
- 7 EXISTING STAIR TO REMAIN
- 8 EXISTING BEAM BEYOND
- 9 EXISTING WALL BEYOND
- 10 (NOT USED)
- 11 EXISTING ROOF TRUSSES / ROOF FRAMING at 24" O.C.
- 12 (NOT USED)
- 13 (NOT USED)
- 14 (NOT USED)
- 15 (NOT USED)
- 16 EXISTING PARAPET WALL



2340 GARDEN ROAD, SUITE 100  
MONTEREY, CALIFORNIA 93940  
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**SAN CARLOS BUILDING  
ROOF IMPROVEMENTS**

SW SAN CARLOS and 8th STREETS  
KRISTIN MINNICH  
P.O. BOX 222795  
CARMEL, CA 93921

JOB NO.:  
**23086**

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1.31.2024

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1.31.2024

DRAWN BY: RC

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2.14.2024 Planning Commission

SHEET NAME:

**BUILDING  
SECTIONS**

SHEET NO.:

**A701**

FILE NAME: 23086-A701

A.P.N.: 010-145-021

A.P.N.: