

PROJECT TEAM

OWNER: LIONEL & TASHA LINGER
Casanova 3 S.E. of 4th,
Carmel-by-the-sea, CA. 93921

ARCHITECT: Lx Design Studio
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STRUCTURAL: T.B.D.

GENERAL CONTRACTOR: T.B.D.

SHEET ISSUE

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ARCHAEOLOGICAL & CULTURAL NOTE

ALL NEW CONSTRUCTION INVOLVING EXCAVATION SHALL IMMEDIATELY CEASE IF CULTURAL RESOURCES ARE DISCOVERED ON THE SITE. AND THE APPLICANT SHALL NOTIFY THE COMMUNITY PLANNING & BUILDING DEPARTMENT WITHIN 24 HOURS. WORK SHALL NOT BE PERMITTED TO RECOMMENCE UNTIL SUCH RESOURCES ARE PROPERLY EVALUATED FOR SIGNIFICANCE BY A QUALIFIED ARCHAEOLOGIST. IF THE RESOURCES ARE DETERMINED TO BE SIGNIFICANT, PRIOR TO RESUMPTION OF WORK, A MITIGATION AND MONITORING PLAN SHALL BE PREPARED BY A QUALIFIED ARCHAEOLOGIST AND REVIEWED AND APPROVED BY THE COMMUNITY PLANNING AND BUILDING DIRECTOR. IN ADDITION, IF HUMAN REMAINS ARE UNEARTHED DURING EXCAVATION, NO FURTHER DISTURBANCE SHALL OCCUR UNTIL THE COUNTY CORONER HAS MADE THE NECESSARY FINDINGS AS TO ORIGIN AND DISTRIBUTION PURSUANT TO CALIFORNIA PUBLIC RESOURCES CODE (PRC) SECTION 5097.98.

BUILDING AREA

GROSS BLDG AREA (EXISTING)	
(E) GARAGE	329 SF
(E) 1ST FLOOR	1282 SF
GRAND TOTAL	1611 SF

GROSS BLDG AREA (PROPOSED)	
EXISTING 1ST FLOOR	1037 SF
EXISTING GARAGE	329 SF
LEVEL 1 ADDITION	60 SF
PROPOSED 2ND FLOOR ADDITION	373 SF
GRAND TOTAL	1799 SF

ADU CONVERSION / ADDITION	
LEVEL 1 - ADU CONVERSION	245 SF
ADU ADDITION	41 SF
Grand total	286 SF

BUILDING CODE INFO

OCCUPANCY TYPE R3 - SINGLE FAMILY RESIDENCE

TYPE VB - CONSTRUCTION

THIS PROJECT SHALL COMPLY WITH THE FOLLOWING:

- 2022 CALIFORNIA RESIDENTIAL CODE (CRC),
- 2022 CALIFORNIA MECHANICAL CODE (CMC)
- 2022 CALIFORNIA PLUMBING CODE (CPC)
- 2022 CALIFORNIA ELECTRICAL CODE (CEC)
- 2022 CALIFORNIA ENERGY CODE (CEC)
- 2022 CALIFORNIA FIRE CODE (CFC)
- 2022 CALIFORNIA GREEN BUILDING STANDARDS

GRADING ESTIMATES

GRADING CUT	0 CU.YDS.
GRADING FILL	0 CU.YDS.
GRADING NET CUT OR FILL	0 CU.YDS.

SITE COVERAGE

SITE COVERAGE (EXISTING)			
Name	Area	Hardscape Type	Comments
(E) GRAVEL (TO BE REMOVED)	125 SF	(E) GRAVEL	PERVIOUS
(E) PAVERS WITH GRAVEL (TO BE REMOVED)	425 SF	(E) GRAVEL WITH PAVERS	PERVIOUS
(E) HARDSCAPE	440 SF	(E) HARDSCAPE	IMPERVIOUS
(E) HARDSCAPE TO BE REMOVED	265 SF	(E) HARDSCAPE TO BE REMOVED	IMPERVIOUS
(E) RETAINING WALLS	50 SF	(E) RETAINING WALLS	IMPERVIOUS
(E) DRIVEWAY SANDSET PAVERS	252 SF	(E) SAND SET PAVERS	PERVIOUS
(E) DRIVEWAY SANDSET PAVERS TO BE REMOVED	24 SF	(E) SAND SET PAVERS TO BE REMOVED	PERVIOUS
(E) WOOD DECK & STAIRS (TO BE REMOVED)	23 SF	(E) WOOD DECKING	PERVIOUS
Grand total	1604 SF		

SITE COVERAGE (PROPOSED)			
Name	Area	Hardscape type	Comments
(E) DRIVEWAY SANDSET PAVERS	237 SF	(E) SAND SET PAVERS	PERVIOUS
(E) HARDSCAPE	442 SF	(E) HARDSCAPE	IMPERVIOUS
(E) RETAINING WALLS	50 SF	(E) RETAINING WALLS	IMPERVIOUS
Grand total: 3	728 SF		

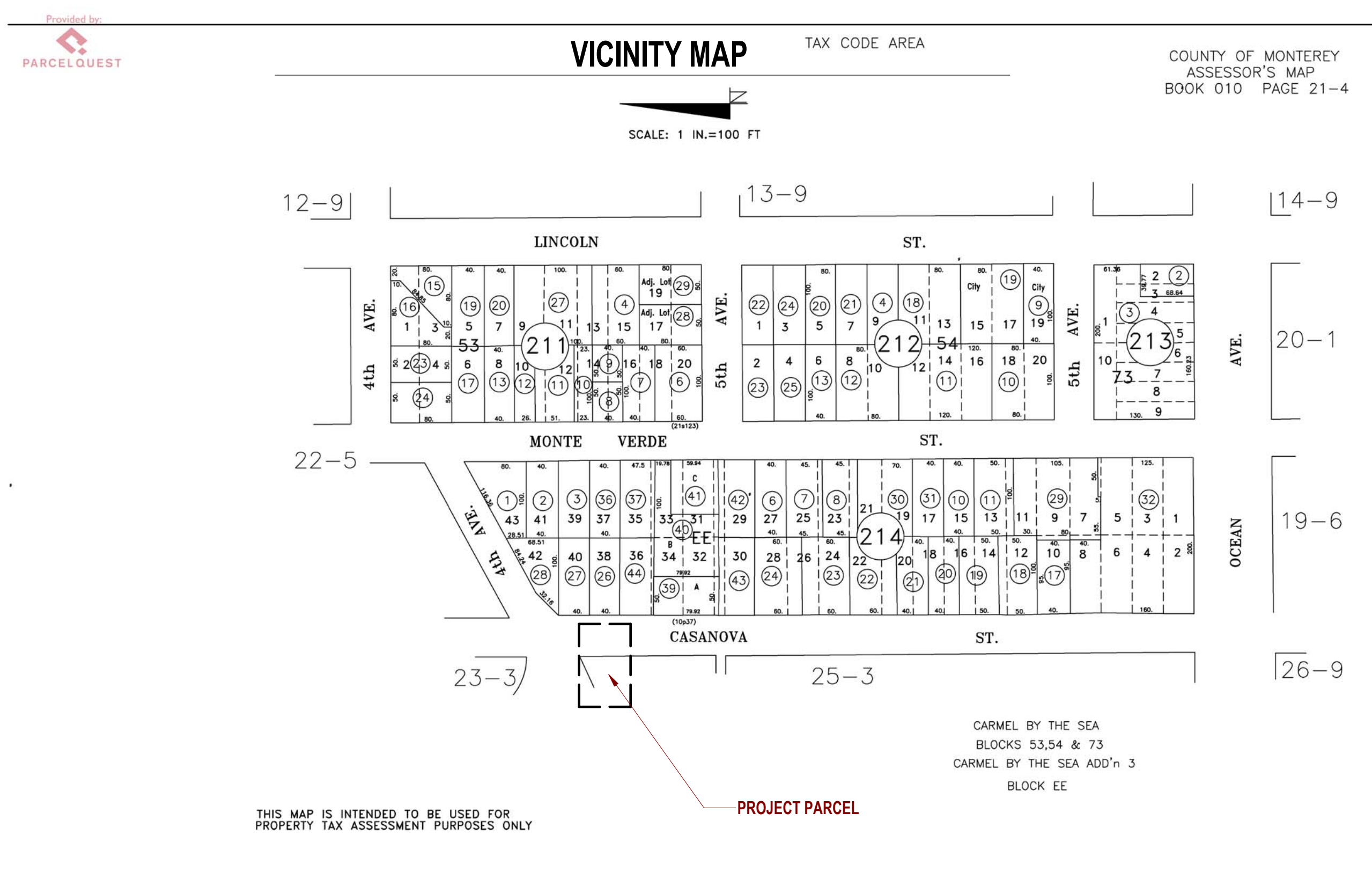
NOTE:
SITE COVERAGE REDUCED @ 2 S.F. PER EVERY 1 S.F. OF PROPOSED BLDG. ADDITION

MISCELLANEOUS

WATER SOURCE CAL AM

SEWER SYSTEM PUBLIC SEWER

TREES TO BE REMOVED NONE



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LINGER RESIDENCE
Casanova 3 S.E. of 4th,
Carmel-by-the-sea, CA. 93921

PLANNING SUBMITTAL

Scale:
Job: 2305

Sheet
COVER SHEET-
GENERAL INFO

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SCOPE OF WORK

- THE PROJECT CONSISTS OF:
- CONVERSION OF 245 S.F. OF EXISTING 1ST FLOOR INTO ATTACHED A.D.U.
 - ADU ADDITION OF 41 S.F.
 - 60 S.F. 1ST FLOOR ADDITION
 - 166 S.F. DECK EXPANSION OVER THE EXISTING GARAGE.
 - 373 S.F. 2ND FLOOR ADDITION WITH A 148 S.F. DECK OVER THE 1ST FLOOR.

ZONING INFORMATION

PROPERTY ADDRESS CASANOVA 3 S.E. OF 4TH,
CARMEL-BY-THE-SEA, CA. 93921

APN: 010-214-026-000

ZONING R-1

LOT SIZE 4000 SF

MAX BUILDING HEIGHT 24'

SETBACKS:
FRONT: 15'
COMPOSITE SIDE SETBACK REQ'D 10'
3' SETBACK PROVIDED ALONG NORTH SIDE PROPERTY LINE

3' SETBACK PROVIDED ALONG SOUTH PROPERTY LINE

REAR : 15' >15'H 3' <15'H



SHEET ISSUE

REVISION #

OWNER:
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LINGER RESIDENCE

PLANNING SUBMITTAL

Scale: As indicated
Job: 2305

Sheet
GENERAL NOTES

G1.10

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Casanova 3 S.E. of 4th,
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GENERAL NOTES

GENERAL

- CONTRACTOR SHALL OBTAIN A 8-1-1 DIG ALERT TICKET PRIOR TO CONSTRUCTION AND BE RESPONSIBLE FOR LOCATING ALL EXISTING UNDERGROUND UTILITIES AS REQ'D FOR NEW WORK.

CONFLICTS

- IN THE EVENT OF AN INCONSISTENCY BETWEEN THE DRAWINGS AND SPECIFICATIONS OR BETWEEN DRAWINGS WHETHER DURING THE BIDDING PROCESS OR CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE TO SEEK CLARIFICATION/RESOLUTION WITH THE DESIGN INTENT FROM THE ARCHITECT. FOR BIDDING PURPOSES, WHEN INFORMATION IN THE DRAWINGS AND/OR SPECIFICATIONS IS INCONSISTENT, THE CONTRACTOR SHALL BASE ITS BID ON THE MORE STRINGENT REQUIREMENT, THE HIGHER QUALITY OR GREATER QUANTITY OF WORK.
- REVIEW THE ARCHITECTURAL DRAWINGS PRIOR TO THE INSTALLATION OF SYSTEMS SHOWN ON CONSULTING ENGINEERS' DOCUMENTS. DISCREPANCIES BETWEEN THE ARCHITECTURAL AND ENGINEERING DOCUMENTS SHALL BE BROUGHT TO ARCHITECT'S ATTENTION FOR DIRECTION.
- CONTRACTOR SHALL BE RESPONSIBLE TO CORRECT ALL WORK INSTALLED NOT IN CONFORMANCE WITH THE CONSTRUCTION DOCUMENTS AT NO ADDITIONAL EXPENSE TO THE OWNER.
- THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT UPON FINDING ANY CONFLICTS IN THE DRAWINGS AND SPECIFICATIONS. FOR BIDDING PURPOSES, THE CONTRACTOR SHALL INCLUDE THE HIGHER COST APPROACH WHEN INFORMATION IN THE DRAWINGS OR SPECIFICATIONS IS IN CONFLICT.
- CONSTRUCTION DOCUMENTS SHALL NOT BE SCALED. DRAWING SCALES AS INDICATED ARE FOR REFERENCE ONLY AND ARE NOT INTENDED TO ACCURATELY DEPICT ACTUAL OR DESIGNED CONDITIONS. ONLY WRITTEN DIMENSIONS SHALL GOVERN. THE ARCHITECT SHALL BE NOTIFIED IN WRITING OF ANY DIMENSIONS THAT ARE IN QUESTION OR THAT ARE REQUIRED TO PROPERLY LAYOUT THE WORK. DO NOT PROCEED WITH WORK IN THE AREA OF A DISCREPANCY OR CONFLICT UNTIL ARCHITECT GIVES DIRECTION. IF THE CONTRACTOR PROCEEDS WITHOUT DIRECTION FROM ARCHITECT, IT SHALL BE AT CONTRACTOR'S RISK AND CONTRACTOR SHALL BE RESPONSIBLE FOR ALL REQUIRED CORRECTIVE ACTION WITH NO ADDITIONAL COST TO THE OWNER.
- ALL WORK SHALL CONFORM TO THE CURRENT BUILDING CODES AND LOCAL MUNICIPAL CODES AS ADOPTED BY THE LOCAL JURISDICTION.

COORDINATION

- ARCHITECTURAL, MECHANICAL, AND ELECTRICAL DRAWINGS SHOW WHERE DUCTWORK IS TO BE INSTALLED AT A SPECIFIC ELEVATION IN A CONTROLLED PATTERN. THE CONTRACTOR MUST RELY ON ALL OF THESE DISCIPLINES TO COMPLETE THE WORK AND SHOULD NOTIFY THE ARCHITECT OF ANY DISCREPANCIES. THE CONTRACTOR SHALL COORDINATE LAYOUT, CLEARANCES, AND LOCATION OF HEAD HEIGHTS WITH THE STRUCTURE, MECHANICAL DUCTWORK, ELECTRICAL LIGHTING, DRAINAGE PIPING, AND THE ARCHITECTURAL REFLECTED CEILING PLANS.
- THE CONTRACTOR SHALL VERIFY AND COORDINATE THE EXACT DIMENSIONS, SIZES AND POSITIONS OF ALL OPENINGS IN ANY FLOOR, ROOF, OR WALL CONSTRUCTION NECESSARY FOR THE INSTALLATION OF THE WORK, INCLUDING CONFIRMING THE LOCATION OF ALL SUCH OPENINGS PRIOR TO BEGINNING THE WORK.
- THE ARCHITECTURAL AND STRUCTURAL DRAWINGS DESCRIBE VARIOUS FLOOR SLAB SLOPE REQUIREMENTS, RECESSES AND EDGE CONDITIONS. USE BOTH SETS OF DRAWINGS WHEN INSTALLING THE FLOOR SLAB.
- PROVIDE FOR THE PROPER SEQUENCE OF CONSTRUCTION, LOCATION AND SIZE OF OPENINGS COORDINATE ALL CONSTRUCTION AS INDICATED BY THE CONTRACT DOCUMENTS, INCLUDING SHOP DRAWINGS REVIEWED BY ARCHITECT.
- FLOOR DRAINS IN TOILET ROOMS SHALL BE LOCATED UNDER TOILET PARTITION PRIVACY PANELS TO AVOID CONFLICT WITH SUPPORT PLATESTERS.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE THE WORK WITH ANY E, E, THE CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE THE WORK WITH ANY EQUIPMENT, FURNISHINGS AND SYSTEMS PROVIDED BY THE OWNER.
- ALL ATTACHMENTS TO AND PENETRATIONS THROUGH CONCRETE NOTED ON THE DRAWINGS TO BE WATERPROOFED SHALL BE MADE PRIOR TO THE APPLICATION OF THE WATERPROOFING MATERIAL.
- ALL OPERATING MECHANISMS IN PIPING AND DUCTWORK SHALL BE INSTALLED AT LOCATIONS THAT PROVIDE SAFE, DIRECT AND EASY ACCESS FOR MAINTENANCE. ACCESS DOORS SHALL BE PROVIDED AT ALL WALLS AND CEILINGS WHERE ACCESS TO SUCH MECHANISMS IS NOT OTHERWISE READILY AVAILABLE.
- THE CONTRACTOR SHALL VERIFY FIELD CONDITIONS AND COORDINATE AND COMPLY WITH ALL REQUIREMENTS INDICATED ON THE PROJECT DOCUMENTS PRIOR TO PROCEEDING WITH THE WORK AND SHALL PROVIDE ALL WORK NECESSARY TO INSTALL COMPLETE AND FULLY OPERATIONAL SYSTEMS AND COMPONENTS.
- THE CONTRACTOR SHALL WORK WITHIN THE BOUNDARIES INDICATED IN THE PROJECT DOCUMENTS AND COMPLY WITH ALL APPLICABLE BUILDING CODE, REGULATIONS AND ORDINANCE REQUIREMENTS. OCCUPANTS ADJACENT TO THE PROJECT AREA BOUNDARIES SHALL CONTINUE UNINTERRUPTED OCCUPANCY DURING CONSTRUCTION OF THE PROJECT.
- PERFORM THE WORK AT THE PROJECT SITE WITHIN NORMAL BUSINESS HOURS, UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL NOT INTERRUPT EXISTING UTILITIES SERVING EXISTING FACILITIES, EXCEPT WHEN AUTHORIZED IN WRITING BY THE OWNER AND/OR ALL AUTHORITIES HAVING JURISDICTION, AND SHALL PROVIDE TEMPORARY SERVICES DURING CONSTRUCTION ACCEPTABLE TO THE OWNER AND AUTHORITIES HAVING JURISDICTION.

EQUIPMENT

- DRAWINGS ARE PREPARED USING DIMENSIONS AND PRODUCT CONFIGURATIONS OR DETAILS OF SPECIFIC MANUFACTURERS, TYPICALLY THE FIRST MANUFACTURER LISTED UNDER "ACCEPTABLE MANUFACTURERS" IN THE SPECIFICATIONS. THE SIZES, LOCATIONS FOR MOUNTING AND ATTACHMENTS AND LOCATIONS OF UTILITY CONNECTIONS FOR EACH ITEM OF EQUIPMENT SHOWN ON THE DRAWINGS ARE FOR ILLUSTRATION PURPOSES ONLY.
- SINCE DIMENSIONS AND DETAILS FOR SPECIFIC PRODUCTS MAY CHANGE BEFORE THEY ARE ACTUALLY INCORPORATED INTO THE WORK AND THE SIZES, LOCATIONS FOR MOUNTING AND ATTACHMENTS AND LOCATIONS OF UTILITY CONNECTIONS CAN VARY FROM ONE MANUFACTURER TO ANOTHER AND ARE DEPENDENT ON THE EXACT MANUFACTURER'S MODEL FURNISHED, THE CONTRACTOR SHALL VERIFY INSTALLATION REQUIREMENTS, FOR ALL PRODUCTS TO BE INCORPORATED IN THE WORK (INCLUDING PARTITION THICKNESSES FOR RECESSED OR SEMI-RECESSED PRODUCTS), AND IS RESPONSIBLE FOR ACCORDING AND COORDINATING CHANGES TO OTHER MATERIALS, PRODUCTS OR ASSEMBLIES THAT ARE NECESSARY BECAUSE OF THESE DIFFERENCES.
- THE SIZES, LOCATION FOR MOUNTINGS AND ATTACHMENTS AND LOCATIONS OF UTILITY CONNECTIONS FOR EACH ITEM OF EQUIPMENT SHOWN IN THE DRAWINGS ARE FOR ILLUSTRATION ONLY. ALL CAN VARY FROM ONE MANUFACTURER TO ANOTHER AND ARE DEPENDENT ON EXACT MANUFACTURER'S MODEL FURNISHED. THE CONTRACTOR SHALL PROVIDE AND COORDINATE EXACT DIMENSIONS RELATING TO THE SIZE OF EACH ITEM OF EQUIPMENT, THE LOCATIONS OF ALL MOUNTINGS AND ATTACHMENTS, AND FOR ALL UTILITY CONNECTIONS FOR EACH ITEM OF EQUIPMENT. IF THE SELECTED PRODUCT RESULTS IN STRUCTURAL CHANGES, THE CONTRACTOR WILL BE RESPONSIBLE FOR ENGINEERING THE CHANGE AND FOR ALL RELATED COSTS.

FIELD CONDITIONS

- PRIOR TO START OF WORK, THE CONTRACTOR SHALL VISIT THE SITE AND BECOME FAMILIAR WITH SITE CONDITIONS AS THEY MAY AFFECT CARRYING OUT THE WORK AS DESCRIBED IN THESE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL INVESTIGATE, VERIFY, AND BE RESPONSIBLE FOR ALL CONDITIONS OF THE PROJECT ON WHICH THE WORK IS PERFORMED AND FOR THE SAFETY OF ALL PERSONS AND/OR PROPERTY DURING THE PERFORMANCE OF THE CONTRACT. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY ACTUAL FIELD CONDITIONS THAT ARE NOT CONSISTENT WITH THE WORK INDICATED IN THE CONTRACT DOCUMENTS OR THAT REQUIRE MODIFICATION BEFORE PROCEEDING WITH THE WORK. IF WORK CANNOT BE PERFORMED AS SHOWN, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY. WORK PERFORMED AFTER SUCH DISCOVERY, UNLESS AUTHORIZED BY THE ARCHITECT, SHALL BE DONE AT THE CONTRACTOR'S RISK.
- PRIOR TO BEGINNING ANY WORK, THE CONTRACTOR SHALL THOROUGHLY INSPECT EXISTING CONDITIONS TO DETERMINE THE CONDITION OF THE WORK ALREADY IN PLACE. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING OR REPLACING ANY EXISTING CONDITION OR EQUIPMENT THAT IS INTENDED TO REMAIN IN PLACE IF DAMAGED DURING CONSTRUCTION.
- THE CONTRACTOR SHALL VERIFY THAT ALL EMBEDDED ITEMS AND MATERIALS ARE IN PLACE AND SECURELY ANCHORED PRIOR TO POURING CONCRETE.
- THE CONTRACTOR SHALL VERIFY DIMENSIONS AND LOCATIONS OF ALL OPENINGS, BASES AND SPECIAL PROVISIONS REQUIRED FOR EQUIPMENT, PLUMBING FIXTURES, DUCTS, PIPING, CONDUIT, FINISH HARDWARE, ETC.
- THE CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS PRIOR TO CASEWORK FABRICATION.
- CUTTING, BORING OR DRILLING THROUGH NEW OR EXISTING STRUCTURAL ELEMENTS SHALL BE ALLOWED ONLY WHEN SO DETAILED IN THE DRAWINGS OR WHEN REVIEWED AND ACCEPTED BY THE PROJECT'S STRUCTURAL ENGINEER OR RECORD.

DEFINITIONS

- THE CONTRACTOR IS THE PERSON OR ENTITY IDENTIFIED AS SUCH IN THE OWNER/CONTRACTOR AGREEMENT AND MEANS THE GENERAL CONTRACTOR OR AT RISK SUB-CONTRACTOR MANAGER, HIS AUTHORIZED REPRESENTATIVE, AND/OR HIS COLLECTIVE SUB-CONTRACTORS. THE CONTRACTOR IS REFERRED THROUGHOUT THE CONTRACT DOCUMENTS AS IF SINGULAR IN NUMBER AND MASCULINE IN GENDER.
- THE TERM "ALIGN" REFERS TO LOCATING DIFFERENT COMPONENTS OF CONSTRUCTION TO PROVIDE A FLUSH, STRAIGHT, TRUE, AND PLUMB RELATION TO ADJACENT MATERIALS.
- THE TERM "AS REQUIRED" REFERS TO COMPONENTS THAT MAY BE REQUIRED TO COMPLETE THE NOTED SYSTEM INDICATED IN THE PROJECT DOCUMENTS.
- THE TERM "HOLD" SHALL BE APPLY TO DIMENSIONS CONSIDERED AS ABSOLUTE AND USED FOR LAYOUT AND CONTROL, UNLESS OTHERWISE DIRECTED BY ARCHITECT.
- WHERE WORK OR EQUIPMENT IS INDICATED AS "N.I.C." (NOT IN CONTRACT), SUCH WORK AND/OR EQUIPMENT SHALL BE PROVIDED BY OTHERS. CONTRACTOR SHALL COORDINATE AND COOPERATE TO ACCOMMODATE SUCH INSTALLATION.
- THE TERM "TYPICAL" REFERS TO COMPARABLE CONDITIONS TO WHICH THE DETAIL, ELEVATION, NOTE, OR REQUIREMENT SHALL APPLY WHETHER GRAPHICALLY REPRESENTED OR NOT. WHEN A DETAIL OR NOTE IS IDENTIFIED AS TYPICAL ("TYP"), CONTRACTOR SHALL APPLY THIS DETAIL OR NOTE TO EVERY LIKE CONDITION, WHETHER MIRRORRED OR SHOWN IN OPPOSITE HAND, AND WHETHER OR NOT THE REFERENCE IS REPEATED IN OTHER INSTANCES.
- THE TERM "VERIFY" REFERS TO A CONDITION WHICH MUST BE CONFIRMED PRIOR TO PROCEEDING WITH THE ORDERING OF MATERIAL OR THE FABRICATION AND INSTALLATION OF A COMPONENT.
- ABBREVIATIONS THROUGHOUT THE DOCUMENTS COMPLY WITH DOCUMENT ABBREVIATION LIST OR ARE THOSE IN COMMON USE. ARCHITECT WILL DEFINE THE INTENT OF ANY IN QUESTION.
- THE TERM "P.T." REFERS TO PRESSURE TREATED LUMBER.

ELECTRICAL NOTES

- PROVIDE ARC-FAULT CIRCUIT-INTERRUPTER PROTECTION. ALL 120-VOLT 15 AND 20 AMPERE OR BRANCH CIRCUITS SUPPLYING OUTLETS INSTALLED IN DWELLING UNIT FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, KITCHENS, PARLORS, LIBRARIES, DEN'S, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, LAUNDRY ROOMS, BATHROOMS, AND GARAGES SHALL BE PROTECTED BY LISTED ARC-FAULT CIRCUIT INTERRUPTER PROVIDED WITH PERMANENT PROVISIONS FOR COOKING SHALL HAVE AFCI [210-12 (B)]
- GFCI PROTECTION SHALL BE PROVIDED FOR ALL COUNTERTOP RECEPTACLES, RECEPTACLES WITHIN 6 FEET OF A SINK (INCLUDING BELOW COUNTER AND BEHIND AN APPLIANCE), AND FOR RECEPTACLES SUPPLYING DISHWASHERS. THE RESET BUTTON FOR GFCI RECEPTACLES SHALL BE INSTALLED IN AN ACCESSIBLE LOCATION (I.E. NOT BEHIND AN APPLIANCE).
- ALL OUTLETS AND DEVICES (I.E. RECEPTACLES, LIGHTING, HOODS, ETC.) SHALL BE TAMPER-RESISTANT (TR).
- RECEPTACLES SHALL BE PROVIDED AT ALL COUNTERTOP AREAS WITH A MINIMUM DIMENSION OF 12 INCHES.
- COUNTERTOP RECEPTACLES SHALL BE LOCATED SO THAT NO POINT ALONG THE WALL IS MORE THAN 24 INCHES FROM A RECEPTACLE.
- COUNTERTOP RECEPTACLES SHALL BE LOCATED NO MORE THAN 20 INCHES ABOVE THE COUNTERTOP.
- ISLANDS/PENINSULAS SHALL HAVE AT LEAST ONE RECEPTACLE MOUNTED NOT MORE THAN 12 INCHES BELOW THE COUNTERTOP AND WHERE THE COUNTERTOP DOES NOT EXTEND MORE THAN 6 INCHES BEYOND ITS BASE.
- DWELLING UNIT RECEPTACLE OUTLETS, IN EVERY KITCHEN, FAMILY ROOM, DINING ROOM, LIVING ROOM, PARLOR, LIBRARY, DEN, SUNROOM, BEDROOM, RECREATION ROOM OR SIMILAR ROOM OR AREA OF DWELLING UNITS, RECEPTACLE OUTLETS SHALL BE INSTALLED. RECEPTACLES SHALL BE INSTALLED SUCH THAT NO POINT MEASURED HORIZONTALLY ALONG THE FLOOR LINE IN ANY WALL SPACE IS MORE THAN 6' FROM A RECEPTACLE OUTLET. ANY SPACE 2' OR MORE IN WIDTH INCLUDING SPACE MEASURED AROUND CORNERS AND UNBROKEN ALONG THE FLOOR LINE BY DOORWAYS, FIREPLACES AND SIMILAR OPENINGS. FLOOR RECEPTACLE SHALL NOT BE COUNTED AS A PART OF THE REQUIRED RECEPTACLES UNLESS WITHIN 18" OF WALL. [210-52 (A)]
- GROUND-FAULT CIRCUIT-INTERRUPTER PROTECTION REQUIRED AT: BATHROOMS; GARAGES AND ACCESSORY BUILDINGS; OUTDOORS; CRAWL SPACES; UNFINISHED BASEMENTS, KITCHENS, AND LAUNDRY.
- AT LEAST ONE RECEPTACLE OUTLET SHALL BE INSTALLED IN BATHROOM WITHIN 3'-0" FROM BASIN. AT LEAST ONE 20-AMPERE BRANCH CIRCUIT SHALL BE PROVIDED TO SUPPLY BATHROOM RECEPTACLE OUTLET(S). BATHROOM OUTLETS SHALL HAVE GFCI PROTECTION.
- BOTH NEW AND MODIFIED BRANCH WIRING CIRCUITS SHALL HAVE ARC-FAULT CIRCUIT PROTECTION FOR 120-VOLT, SINGLE PHASE, 15 AND 20- AMPERE BRANCH CIRCUITS SUPPLYING OUTLETS IN DWELLINGS. [CEC 210.12(A)]
- NO PART OF A HANGING FIXTURE IS ALLOWED CLOSER THAN 8 FEET ABOVE THE TUB RIM OR 3 FEET HORIZONTALLY FROM THE TUB RIM, UNLESS LIGHT FIXTURE(S) IN SHOWER ENCLOSURE AREA IS LISTED FOR DAMP AREAS OR LISTED FOR WET LOCATIONS. [CEC 410.10(D)]
- ALL INSTALLED LUMINAIRES SHALL BE HIGH EFFICACY, EITHER LISTED BY SOURCE TYPE OR BY BEING JANS-2016 CERTIFIED AND LABELED. [CEC 150.0(K)(1)]
- A MINIMUM OF ONE LUMINAIRE SHALL BE INSTALLED IN EACH BATHROOM CONTROLLED BY A VACANCY SENSOR.
- LUMINAIRES RECESSED INTO CEILINGS MUST MEET ALL OF THE REQUIREMENTS FOR INSULATION CONTACT (IC) LABELING, AIR LEAKAGE, SEALING, MAINTENANCE, AND SOCKET AND LIGHT SOURCE AS DESCRIBED IN S 150.0(K)(1C). ONLY JANS-2016-CERTIFIED AND MARKED LIGHT SOURCE, RATED FOR ELEVATED TEMPERATURE, MUST BE INSTALLED BY FINAL INSPECTION. [CEC 150(K)(1C)]
- ALL EXHAUST FANS SHALL BE SWITCHED SEPARATELY FROM LIGHTING SYSTEMS. [CEC 150(K)(2)]
- FOR OCCUPANCIES WITH A HORIZONTAL RATED SEPARATION (FLOOR/CEILING ASSEMBLY), THE RECESSED FIXTURES MUST BE PROTECTED TO THE RATING OF THE SEPARATION (1 HOUR) OR BE LISTED TO THE REQUIRED PROTECTION. THIS GENERALLY APPLIED TO RESIDENTIAL CONDOMINIUM CONSTRUCTION WHERE UNITS ARE ABOVE OR BELOW OTHER UNITS.

MECHANICAL NOTES

- EACH BATHROOM CONTAINING A BATH TUB, SHOWER OR TUB/SHOWER COMBINATION SHALL BE MECHANICALLY VENTILATED AT A RATE OF 50 CFM. VENTILATION SHALL EXHAUST TO THE OUTSIDE OF THE BUILDING ENVELOPE.
- BATHROOM EXHAUST FANS SHALL BE PROTECTED BY BACKDRAFT PREVENTION DEVICES.
- BATHROOM EXHAUST FANS SHALL BE PROVIDED WITH HUMIDITY CONTROLS.
- EXHAUST SYSTEMS SHALL TERMINATE A MINIMUM OF 3' FROM PROPERTY LINES, DOORS, OPERABLE WINDOWS AND SKYLIGHTS, ATTIC VENTS AND SIMILAR BUILDING OPENINGS.
- THE KITCHEN EXHAUST SYSTEM SHALL BE DUCTED WITH A SMOOTH METAL INTERIOR DUCT, VENTED TO THE OUTDOORS, HAVE A MINIMUM EXHAUST RATE OF 100 CFM AND BE PROVIDED WITH A BACK-DRAFT DAMPER.

PLUMBING NOTES

- SHOWERS AND TUB SHOWER COMBINATIONS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE-BALANCE, THERMOSTATIC, OR COMBINATION PRESSURE-BALANCE AND THERMOSTATIC TYPES THAT PROVIDE SCALD AND THERMAL SHOCK PROTECTION. [CPC 408.3]
- CONTROL VALVES AND SHOWERHEADS SHALL BE LOCATED ON THE SIDEWALL OF SHOWER COMPARTMENTS, OR OTHERWISE ARRANGED SO THAT THE SHOWERHEAD DOES NOT DISCHARGE DIRECTLY AT THE ENTRANCE TO THE COMPARTMENT SO THAT THE BATHER CAN ADJUST THE VALVES PRIOR TO STEPPING INTO THE SHOWER SPRAY. [CPC 408.9]
- SHOWER STALLS AND BATHTUBS WITH SHOWER HEADS INSTALLED, SHALL HAVE WALLS FINISHED WITH A NONABSORBENT SURFACE FOR A MINIMUM OF 6 FEET ABOVE THE FLOOR. (CBC 1210 AND CRC R307.2)
- MAX. PLUMBING FIXTURE FLOW RATES SHALL BE:
A. SHOWER HEADS 1.8 GMP @ 80 PSI
B. LAVATORY FAUCETS MAX. 1.2 GMP @ 60 PSI
MIN., 0.8 GMP @ 20 PSI
C. KITCHEN FAUCETS 1.8 GPM @ 80 PSI
D. WATER CLOSET 1.28 GAL/ FLUSH

FIRE DEPARTMENT NOTES:

FIRE007 - DRIVEWAYS (ONLY APPLIES TO MONTEREY COUNTY)
DRIVEWAYS SHALL NOT BE LESS THAN 12 FEET WIDE UNOBSTRUCTED WITH AN UNOBSTRUCTED VERTICAL CLEARANCE OF NOT LESS THAN 15 FEET. THE GRADE FOR ALL DRIVEWAYS SHALL NOT EXCEED 15 PERCENT. WHERE THE GRADE EXCEEDS 8 PERCENT, A MINIMUM STRUCTURAL ROADWAY SURFACE OF 0.17 FEET OF ASPHALTIC CONCRETE OR 0.34 FEET OF AGGREGONE BASE SHALL BE REQUIRED. THE DRIVEWAY SURFACE SHALL BE CAPABLE OF SUPPORTING THE IMPOSED LOAD OF FIRE APPARATUS (25 TONS), AND BE ACCESSIBLE BY CONVENTIONAL DRIVE VEHICLES, INCLUDING SEDANS. FOR DRIVEWAYS WITH TURNS 90 DEGREES AND LESS, THE MINIMUM HORIZONTAL INSIDE RADIUS OF CURVATURE SHALL BE 25 FEET. FOR DRIVEWAYS WITH TURNS GREATER THAN 90 DEGREES, THE MINIMUM HORIZONTAL INSIDE RADIUS OF CURVATURE SHALL BE 28 FEET. FOR ALL DRIVEWAY TURNS, AN ADDITIONAL SURFACE OF 4 FEET SHALL BE ADDED. ALL DRIVEWAYS EXCEEDING 150 FEET IN LENGTH, BUT LESS THAN 800 FEET IN LENGTH, SHALL PROVIDE A TURNOUT NEAR THE MIDPOINT OF THE DRIVEWAY. WHERE THE DRIVEWAY EXCEEDS 800 FEET, TURNOUTS SHALL BE PROVIDED AT NO GREATER THAN 400-FOOT INTERVALS. TURNOUTS SHALL BE A MINIMUM OF 12 FEET WIDE AND 30 FEET LONG WITH A MINIMUM OF 25-FOOT TAPER AT BOTH ENDS. TURNAROUNDS SHALL BE REQUIRED ON DRIVEWAYS IN EXCESS OF 150 FEET OF SURFACE LENGTH AND SHALL LONG WITH A MINIMUM 25-FOOT TAPER AT BOTH ENDS. TURNAROUNDS SHALL BE REQUIRED ON DRIVEWAYS IN EXCESS OF 150 FEET OF SURFACE LENGTH AND SHALL BE LOCATED WITHIN 50 FEET OF THE PRIMARY BUILDING. THE MINIMUM TURNING RADIUS FOR A TURNAROUND SHALL BE 40 FEET FROM THE CENTER LINE OF THE DRIVEWAY. IF A HAMMERHEAD 'T' IS USED, THE TOP OF THE 'T' SHALL BE A MINIMUM OF 60 FEET IN LENGTH.

FIRE008 - GATES (ONLY APPLIES TO MONTEREY COUNTY)
ALL GATES PROVIDING ACCESS FROM A ROAD TO A DRIVEWAY SHALL BE LOCATED AT LEAST 30 FEET FROM THE ROADWAY AND SHALL OPEN TO ALLOW A VEHICLE TO STOP WITHOUT OBSTRUCTING TRAFFIC ON THE ROAD. GATE ENTRANCES SHALL BE AT LEAST THE WIDTH OF THE TRAFFIC LANE, BUT IN NO CASE LESS THAN 12 FEET WIDE. WHERE A ONE-WAY ROAD WITH A SINGLE TRAFFIC LANE PROVIDES ACCESS TO A GATED ENTRANCE, A 40-FOOT TURNING RADIUS SHALL BE USED. WHERE GATES ARE TO BE LOCKED, THE INSTALLATION OF A KEY BOX OR OTHER ACCEPTABLE MEANS FOR IMMEDIATE ACCESS BY EMERGENCY EQUIPMENT MAY BE REQUIRED.

FIRE011 - ADDRESSES FOR BUILDINGS (ONLY APPLIES TO MONTEREY COUNTY)
ALL BUILDINGS SHALL BE ISSUED AN ADDRESS IN ACCORDANCE WITH MONTEREY COUNTY ORDINANCE NO. 1241. EACH OCCUPANCY, EXCEPT ACCESSORY BUILDINGS, SHALL HAVE ITS OWN PERMANENTLY POSTED ADDRESS. WHEN MULTIPLE OCCUPANCIES EXIST WITHIN A SINGLE BUILDING, EACH INDIVIDUAL OCCUPANCY SHALL BE SEPARATELY IDENTIFIED BY ITS OWN ADDRESS. LETTERS, NUMBERS AND SYMBOLS FOR ADDRESSES SHALL BE A MINIMUM OF 4-INCH HEIGHT, 1/2-INCH STROKE, CONTRASTING WITH THE BACKGROUND COLOR OF THE SIGN, AND SHALL BE ARABIC. THE SIGN AND NUMBERS SHALL BE REFLECTIVE AND MADE OF A NONCOMBUSTIBLE MATERIAL. ADDRESS SIGNS SHALL BE PLACED AT EACH DRIVEWAY ENTRANCE AND AT EACH DRIVEWAY SPLIT. ADDRESS SIGNS SHALL BE VISIBLE AND LEGIBLE FROM BOTH DIRECTIONS OF TRAVEL ALONG THE ROAD. IN ALL CASES, THE ADDRESS SHALL BE POSTED AT THE BEGINNING OF CONSTRUCTION AND SHALL BE MAINTAINED THEREAFTER. ADDRESS SIGNS ALONG ONE-WAY ROADS SHALL BE VISIBLE FROM BOTH DIRECTIONS OF TRAVEL. WHERE MULTIPLE ADDRESSES ARE REQUIRED AT A SINGLE DRIVEWAY, THEY SHALL BE MOUNTED ON A SINGLE SIGN. WHERE A ROADWAY PROVIDES ACCESS SOLELY TO A SINGLE COMMERCIAL OCCUPANCY, THE ADDRESS SIGN SHALL BE PLACED AT THE NEAREST ROAD INTERSECTION PROVIDING ACCESS TO THAT SITE. PERMANENT ADDRESS NUMBERS SHALL BE POSTED PRIOR TO REQUESTING FINAL CLEARANCE.

FIRE019 - DEFENSIBLE SPACE REQUIREMENTS - (STANDARD)
REMOVE COMBUSTIBLE VEGETATION FROM WITHIN A MINIMUM OF 30 FEET OF STRUCTURES. LIMB TREES 6 FEET UP FROM GROUND, REMOVE LIMBS WITHIN 10 FEET OF CHIMNEYS. ADDITIONAL AND/OR ALTERNATE FIRE PROTECTION OR FIREBREAKS APPROVED BY THE FIRE AUTHORITY MAY BE REQUIRED TO PROVIDE REASONABLE FIRE SAFETY. ENVIRONMENTALLY SENSITIVE AREAS MAY REQUIRE ALTERNATIVE FIRE PROTECTION, TO BE DETERMINED BY REVIEWING AUTHORITY AND THE DIRECTOR OF PLANNING AND BUILDING INSPECTION.

FIRE020 - DEFENSIBLE SPACE REQUIREMENTS - (HAZARDOUS CONDITIONS)
REMOVE COMBUSTIBLE VEGETATION FROM WITHIN A MINIMUM OF 100 FEET OF STRUCTURES. LIMB TREES 6 FEET UP FROM GROUND, REMOVE LIMBS WITHIN 10 FEET OF CHIMNEYS. ADDITIONAL FIRE PROTECTION OR FIREBREAKS APPROVED BY THE REVIEWING AUTHORITY MAY BE REQUIRED TO PROVIDE REASONABLE FIRE SAFETY. ENVIRONMENTALLY SENSITIVE AREAS MAY REQUIRE ALTERNATIVE FIRE PROTECTION, TO BE DETERMINED BY REVIEWING AUTHORITY AND THE DIRECTOR OF PLANNING AND BUILDING INSPECTION.

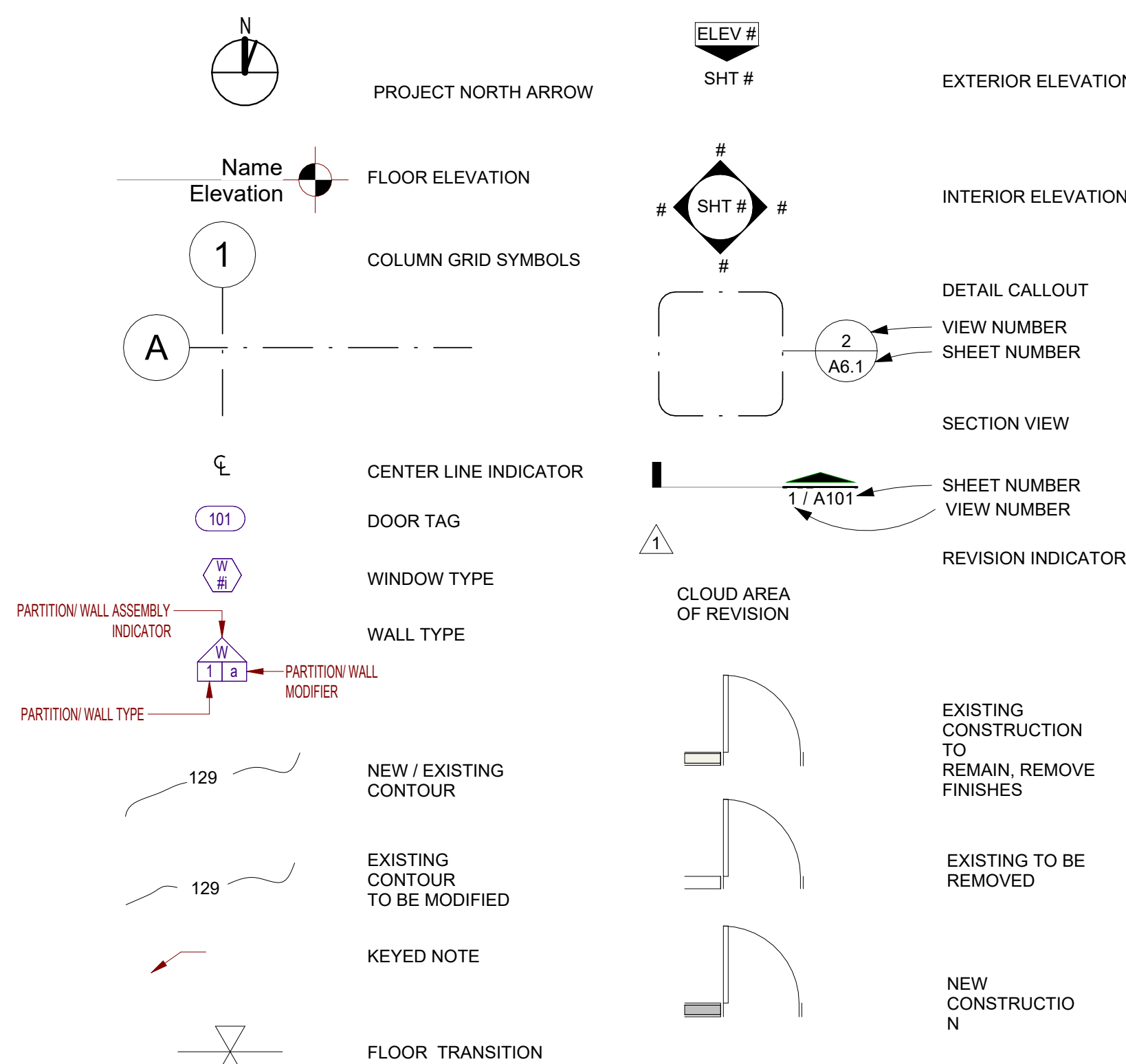
FIRE025 - SMOKE ALARMS - (SINGLE FAMILY DWELLING)-
WHERE A HOUSEHOLD FIRE WARNING SYSTEM OR COMBINATION FIRE/BURGLAR ALARM SYSTEM IS INSTALLED IN LIEU OF SINGLE-STATION SMOKE ALARMS REQUIRED BY THE UNIFORM BUILDING CODE THE ALARM PANEL SHALL BE REQUIRED TO BE PLACARDED AS PERMANENT BUILDING EQUIPMENT.

FIRE027 - ROOF CONSTRUCTION - (VERY HIGH HAZARD SEVERITY ZONE)
ALL NEW STRUCTURES, AND ALL EXISTING STRUCTURES RECEIVING NEW ROOFING OVER 50 PERCENT OR MORE OF THE EXISTING ROOF SURFACE WITHIN A ONE-YEAR PERIOD, SHALL REQUIRE A MINIMUM OF ICBO CLASS A ROOF CONSTRUCTION.

ABBREVIATIONS

∠ ANGLE	E EAST	IB IMPERIAL BOARD	R RADIUS / RISER
@ AT	(E) EXISTING	ID INSIDE DIAMETER	R.A RETURN AIR
* DIAMETER	EA EACH	IN INCHES	R.D. ROOF DRAIN
2CP 2 COAT PLASTER	E.J EXPANSION JOINT	INSL INSULATION	REF REFRIGERATOR
3CP 3 COAT PLASTER	EL ELEVATION	INV INVERT	REF INVERT
AB AGGREGATE BASE	ELEC ELECTRICAL	JAN JANITOR	RES RESIN
AB.T ANCHOR BOLT	ELEV ELEVATOR	JT JOINT	REV REVISION(ED)
AC AIR CONDITIONER	EMER EMERGENCY	L ANGLE	RM ROOM
ACD ACCESS DOOR	E.M.R ELEVATOR MACHINE RM.	LB ROUND	R.O. ROOF OPENING
ACT ACUSTIC TILE	ENCL ENCLOSURE, ENCLOSED	LG LONG LENGTH	S SOUTH
AD AREA DRAIN	ENGR ENGINEER	LAM LAMINATION	S.F.P SOUND ATTENUATION FIRE BLANKET
AD.A AMERICANS WITH DISABILITIES ACT	ENTR ENTRANCE	LAV LAVATORY	SC SEALED CONCRETE SOLID CORE
ADJ ADJUSTABLE	EQ EQUAL	LAU LAUNDRY	SCH SCHEDULE
A.F.F ABOVE FINISH FLOOR	E.Q.P EQUIPMENT	LLH LONG LEGS HORZ.	SKM SKIM COAT PLASTER
AL ALUMINUM	EST ESTIMATE	LLV LONG LEGS VERT.	SEC SECTION
ANOD ANODIZED	EX EXISTING	LT(G) LIGHTING	S.F SQUARE FEET
A.P ACCESS PANEL	EXH EXHAUST	LVR LOUVER	SHT SHEET
ARCH ARCHITECTURAL	EXP EXPANSION	MACH MACHINE	SIG SIG.
AVG AVERAGE	EXT EXTERIOR	MAX MAXIMUM	SIM SIMILAR
		MECH MECHANICAL	SP Structure Insulated Panel
		MEMB MEMBRANE	S.J SCORDED JOINT
		MEZ MEZZANINE	SPR SPRINKLER
		FF FINISH FLOOR OR FINISHED FACE	SPKR SPEAKER
		F.G FINISH GRADE	SPR SPRINKLER
		BQ BLDG BLOCKING	SQ SQUARE
		BLK BLOCKING	S.S STAINLESS STEEL
		BM BEAM	SSC SEE MANUFACTURERS INSTRUCTIONS
		B.M BECKING MARK	SDM SEE ENGINEERING DRAWINGS
		B.M BOTTOM OF	SDS SEE STRUCTURAL DRAWINGS
		BR BRASS	ST STONE TILE / STONE
		BRK BRICK	STL STEEL
		B.S BOTH SIDES	STC SOUND TRANSMISSION COEFFICIENT
		B.S.M BASEMENT	STD STANDARD
		B.U.R BUILT-UP ROOF	STOR STORAGE
			STRUC STRUCTURAL
			SUS SUSPENDED
			SW STANDED WOOD
			T TREAD
			TC TILE BACKER BOARD
			T.C TERRA COTTA
			TEL TELEPHONE
			TEMP TEMPORARY
			TERR TERRACE
			TGB TONGUE AND GROOVE
			THK THICK
			THRU THROUGH
			TMPO TEMPERED
			(T) TEMPERED
			T.P TOP OF PLATE
			T.O.S TOP OF SLAB
			T.O.W TOP OF WALL
			T.S.S TOP OF STRUCTURAL STEEL
			TY TYPICAL
			TZ TERRAZZO
			UNF UNFINISHED
			UNO UNLESS NOTED OTHERWISE
			UPD UPHOLSTERED
			VENT VENTILATION
			VERT VERTICAL
			VEST VESTIBULE
			VF VERIFY IN FIELD
			V.P VENEER PLASTER
			V.P VENEER PLASTER
			W WIDE WIDTH
			W/O/W WITH OR WITHOUT
			WA WALNUT
			W.C WATER CLOSET
			WD WOOD
			WIN WINDOW
			WP WALL PAPER
			W.P WATERPROOFING
			WT WEIGHT
			W.R.B WATER RESISTIVE BARRIER
			YD YARD

ARCHITECTURAL SYMBOLS





CONSTRUCTION BEST MANAGEMENT PRACTICES (BMPs)

Construction Projects Are Required to Implement the Stormwater Best Management Practices (BMP) on this Page, as they Apply to Your Project, All Year Long.



MATERIALS & WASTE MANAGEMENT

Non-Hazardous Materials

- Items and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days.
- Use (but don't overuse) reclaimed water for dust control.

Hazardous Materials

- Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- Arrange for appropriate disposal of all hazardous wastes.

Waste Management

- Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
- Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction site.
- Clean or replace portable toilets, and inspect them frequently for leaks and spills.
- Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gypsum board, pipe, etc.)
- Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.

Construction Entrances and Perimeter

- Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.



EQUIPMENT MANAGEMENT & SPILL CONTROL

Maintenance and Parking

- Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
- Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, steam cleaning equipment, etc.

Spill Prevention and Control

- Keep spill cleanup materials (rags, absorbents, etc.) available at the construction site at all times.
- Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
- Clean up spills or leaks immediately and dispose of cleanup materials properly.
- Do not hose down surfaces where fluids have spilled.
- Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
- Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
- Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: 1) Dial 911 or your local emergency response number, 2) Call the Governor's Office of Emergency Services Warning Center, (800) 852-7550 (24 hours).



EARTHWORK & CONTAMINATED SOILS

Erosion Control

- Schedule grading and excavation work for dry weather only.
- Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- Seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.

Sediment Control

- Protect storm drain inlets, gutters, ditches, and drainage courses with appropriate BMPs, such as gravel bags, fiber rolls, berms, etc.
- Prevent sediment from migrating offsite by installing and maintaining sediment controls, such as fiber rolls, silt fences, or sediment basins.
- Keep excavated soil on the site where it will not collect into the street.
- Transfer excavated materials to dump trucks on the site, not in being used.
- Contaminated Soils
- If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
 - Unusual soil conditions, discoloration, or odor.
 - Abandoned underground tanks.
 - Buried barrels, debris, or trash.



CONCRETE, GROUT & MORTAR APPLICATION

- Avoid paving and seal coating in wet weather, or when rain is forecast before fresh pavement will have time to cure.
- Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- Do not use water to wash down fresh asphalt concrete pavement.
- Store concrete, grout and mortar under cover on pallets and away from drainage areas. These materials must never reach a storm drain.
- Wash out concrete equipment/trucks of waste or in a contained area, so there is no discharge into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- Collect the wash water from washing exposed aggregate concrete and remove it for appropriate disposal offsite.



PAINTING & PAINT REMOVAL

Painting cleanup

- Never clean brushes or rinse paint containers into a street, gutter, storm drain, or surface waters.
- For water-based paints, paint out brushes to the extent possible. Rinse to the sanitary sewer once you have gained permission from the local wastewater treatment authority. Never pour paint down a drain.
- For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents.
- Chemical paint stripping residue and chips and dust from marine paints or paints containing lead or tributyltin must be disposed of as hazardous waste.
- Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.

Paint Removal

- Effectively manage all run-off, all runoff within the site, and all runoff that discharges from the site. Divert run-off water from offsite areas from all disturbed areas or otherwise ensure compliance.
- When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- In areas of known contamination, testing is required prior to reuse or discharge of groundwater. Consult with the Engineer to determine whether testing is required and how to interpret results. Contaminated groundwater must be treated or buried off-site for proper disposal.



DEWATERING

LANDSCAPE MATERIALS

- Contain stockpiled landscaping materials by storing them under tarps when they are not actively being used.
- Stack erodible landscape material on pallets. Cover or store these materials when they are not actively being used or applied.
- Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

STORM DRAIN POLLUTERS MAY BE LIABLE FOR FINES OF UP TO \$10,000 PER DAY!



LAS MEJORES PRÁCTICAS DE CONSTRUCCIÓN

Los proyectos de construcción deben implementar las Mejores Prácticas de Construcción dadas en esta página, ya que son pertinentes a su proyecto todo el año.



MANEJO DE MATERIALES Y RESIDUOS

Materiales no peligrosos

- Haga un borde alrededor y cubra con lona impermeables las pilas de arena, tierra u otros materiales de construcción cuando haya pronóstico de lluvia o si no van a ser usados activamente en los próximos 14 días.
- Use (pero no abuse) agua reclamada para controlar el polvo.

Materiales peligrosos

- Pégale etiquetas con nombre a todos los materiales y residuos peligrosos (como pesticidas, pintura, diluyentes, solventes, gasolina, aceite y anticongelante) de acuerdo con las regulaciones de la ciudad, del condado, del estado y federales.
- Ponga los materiales y residuos peligrosos en contenedores que no pierdan, pongalos luego en contenedores secundarios apropiados y cámbalos después de cada día de trabajo, o durante la temporada lluviosa, o cuando se haya pronosticado lluvia.
- Al aplicar los materiales peligrosos, siga las instrucciones del fabricante y tenga cuidado de no usar más de lo necesario. No aplique productos químicos en el exterior cuando se haya pronosticado lluvia en las próximas 24 horas.
- Acérquese de desaharse apropiadamente de todos los residuos peligrosos.

Manejo de residuos

- Cubra bien con lona impermeables los contenedores con residuos peligrosos al terminar cada día de trabajo, y durante la temporada de lluvias.



MANEJO DEL EQUIPO Y CONTROL DE DERRAMES

Mantenimiento y estacionamiento

- Designe un área especial, usando técnicas apropiadas de control de polución, para estacionar los vehículos y el equipo, y para almacenamiento.
- Realice las tareas mayores de mantenimiento, los trabajos de reparación y el lavado de vehículos y equipos fuera del sitio de construcción.
- Si es necesario poner gasolina a un vehículo o hacer reparaciones en el sitio, trabaje en un área bordada, alejada de los desagües pluviales y sobre una bandeja de goteo de tamaño suficiente para contener los líquidos peligrosos que se derraman.
- Si es necesario lavar los vehículos o equipos en el sitio de construcción, límpielos solo con agua, en un área contenida que no permita que el agua de enjuague llegue a calles, calles, desagües de aguas pluviales o superficies acústicas (lagos, arroyos, etc.)
- Barra inmediatamente los materiales sucios que se hayan desperdiciado. No trate de desaharse de ellos usando agua, ni de enterrarlos.
- Mantenga la tierra que se haya excavado en el sitio de construcción en un lugar donde no pueda ser acarreada a la calle.
- Transferida a los camiones, en un sitio mismo de construcción y no en la calle, los materiales excavados, para transportarlos.
- Soales contaminados.
- Si se observan cualquiera de las siguientes condiciones, notifique la tierra para descubrir contaminación y comuníquese con la Junta Regional de Control de Calidad del Agua:
 - Condiciones inusuales en la tierra, desdormimiento u olor.
 - Tanques enterrados abandonados.
 - Pozos de agua abandonados.
 - Barriles, basuras o residuos enterrados.



TRABAJO EN LA TIERRA Y PAVIMENTO CONTAMINADOS

Control de erosión

- Planee trabajos de nivelación y excavación solo cuando no vaya a llover.
- Establezca todas las áreas demarcadas, instale y mantenga control de erosión preventivo (como tela de control de erosión o matriz de tejido pegado) hasta que se haya establecido la vegetación.
- Plante semillas o plantas para control de erosión en superficies en declive o donde no se planea la construcción inmediata.

Control de sedimentación

- Proteja las rejillas de los desagües de aguas pluviales, las cunetas, canales y cursos de drenaje, usando apropiadas técnicas de control de polución, como bolsas con grava, rollos de fibras, berms, etc.
- Prevenza que los sedimentos migren fuera del sitio instalando y manteniendo controles de sedimentos, como rollos de fibra, cerca de sedimentos o estropajos de sedimentos.
- Mantenga la tierra que se haya excavado en el sitio de construcción en un lugar donde no pueda ser acarreada a la calle.
- Transferida a los camiones, en un sitio mismo de construcción y no en la calle, los materiales excavados, para transportarlos.
- Soales contaminados.
- Si se observan cualquiera de las siguientes condiciones, notifique la tierra para descubrir contaminación y comuníquese con la Junta Regional de Control de Calidad del Agua:
 - Condiciones inusuales en la tierra, desdormimiento u olor.
 - Tanques enterrados abandonados.
 - Pozos de agua abandonados.
 - Barriles, basuras o residuos enterrados.

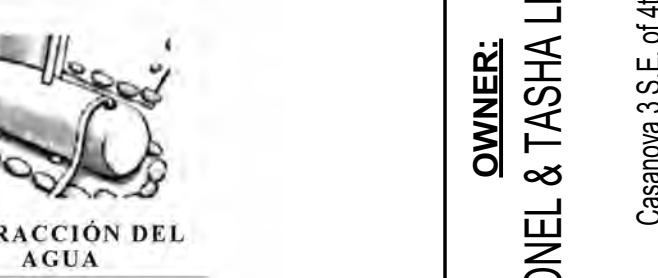


APLICACIÓN DE CONCRETO, LECHADA DE CEMENTO Y MORTERO

- Evite pavimentar o recubrir pavimentos con tiempo de lluvia, o cuando se haya pronosticado lluvia antes que el nuevo pavimento haya tenido tiempo de secarse.
- Cubra las rejillas de los desagües de aguas pluviales y las bocas de sumideros antes de aplicar la capa de soldado, capa ligera, capa de lechada (slurry seal), capa final finalida, etc.
- Junta y recicle o desaharse apropiadamente del exceso de grava y arena abrasiva. NO las barra ni las empuje con agua a los desagües de aguas pluviales.
- No use agua para lavar pavimento de concreto y asfalto fresco.

Cortando con sierra y removiendo asfalto/concreto

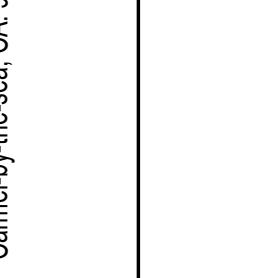
- Cubra completamente o erija una barrera alrededor de las rejillas de desagües de aguas pluviales cuando corte con sierra. Use tela de filtro, filtros en las bocas de admisión, o bolsas de grava para evitar que la lechada entre en el sistema de desagües pluviales.
- Levante con pala, absorba o aspire la lechada producida por la sierra y desaharse de todos los residuos tan pronto como haya finalizado un sitio, o al terminar cada día de trabajo (lo que sea antes).
- Si la lechada producida por la sierra entra en un sumidero, limpie inmediatamente.



REMOVRIENDO PINTURA

Limpieza después de pintar

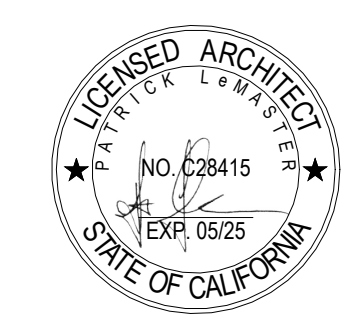
- Nunca lave los pinceles ni enjuague los tarros de pintura en la calle, en las cunetas, desagües pluviales o superficies de aguas (arroyos, lagos, etc.).
- Usando pintura a base de agua, al terminar, pinte lo más que pueda con la última pintura en el pincel. Enjuague los pinceles en un desagüe a las cloacas una vez que haya obtenido el permiso de las autoridades locales del sistema de tratamiento de aguas negras. Nunca eche pintura en un desagüe.
- Usando pintura a base de aceite, pinte lo más que pueda con la última pintura en el pincel y limpie el pincel con diluyente o solvente en un contenedor apropiado. Filtre y vuelva a usar los diluyentes y solventes. Desaharse del residuo y del diluyente/solvente como desechos peligrosos.
- Removiendo pintura
- Los residuos de productos químicos para remover pintura y los frascos y polvo de pinturas marinas o de pinturas que contienen plomo o tributyltin, deben ser desahados como residuos peligrosos.
- Los trozos de pintura y el polvo de productos no peligrosos y removidos en seco o con ráfagas de arena pueden ser barridos o juntados en tela de plástico y echados a la basura.



EXTRACCIÓN DEL AGUA

- Controle efectivamente toda el agua que corre, o dentro del sitio y la que corre hacia afuera originada en el sitio. Desvíe toda el agua que venga hacia el sitio para que no llegue a las áreas disturbadas o de alguna manera asegúrese de cumplir con los ordenanzas.
- Al extraer el agua, notifique y obtenga el permiso de la municipalidad local antes de descargar agua en la cuneta de una calle o en un desagüe de aguas pluviales. Puede que se requiera filtración, o desvío a través de un depósito, tanque o estanque de sedimentación.
- En las áreas que se saben contaminadas, se requiere análisis antes de volver a usar o descargar el agua subterránea. Consulte con el ingeniero para determinar si es necesario el análisis y cómo interpretar los resultados. El agua subterránea contaminada debe ser tratada o acarreada fuera del sitio para su eliminación apropiada.

¡QUIENES CONTAMINEN LOS DESAGÜES DE AGUAS PLUVIALES PUEDEN RECIBIR MULTAS DE HASTA \$10,000 POR DÍA!



SHEET ISSUE

REVISION #

OWNER: LIONEL & TASHA LINGER

LINGER RESIDENCE

PLANNING SUBMITTAL

Scale: Job: 2305

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Design Studio ARCHITECTURE + PLANNING

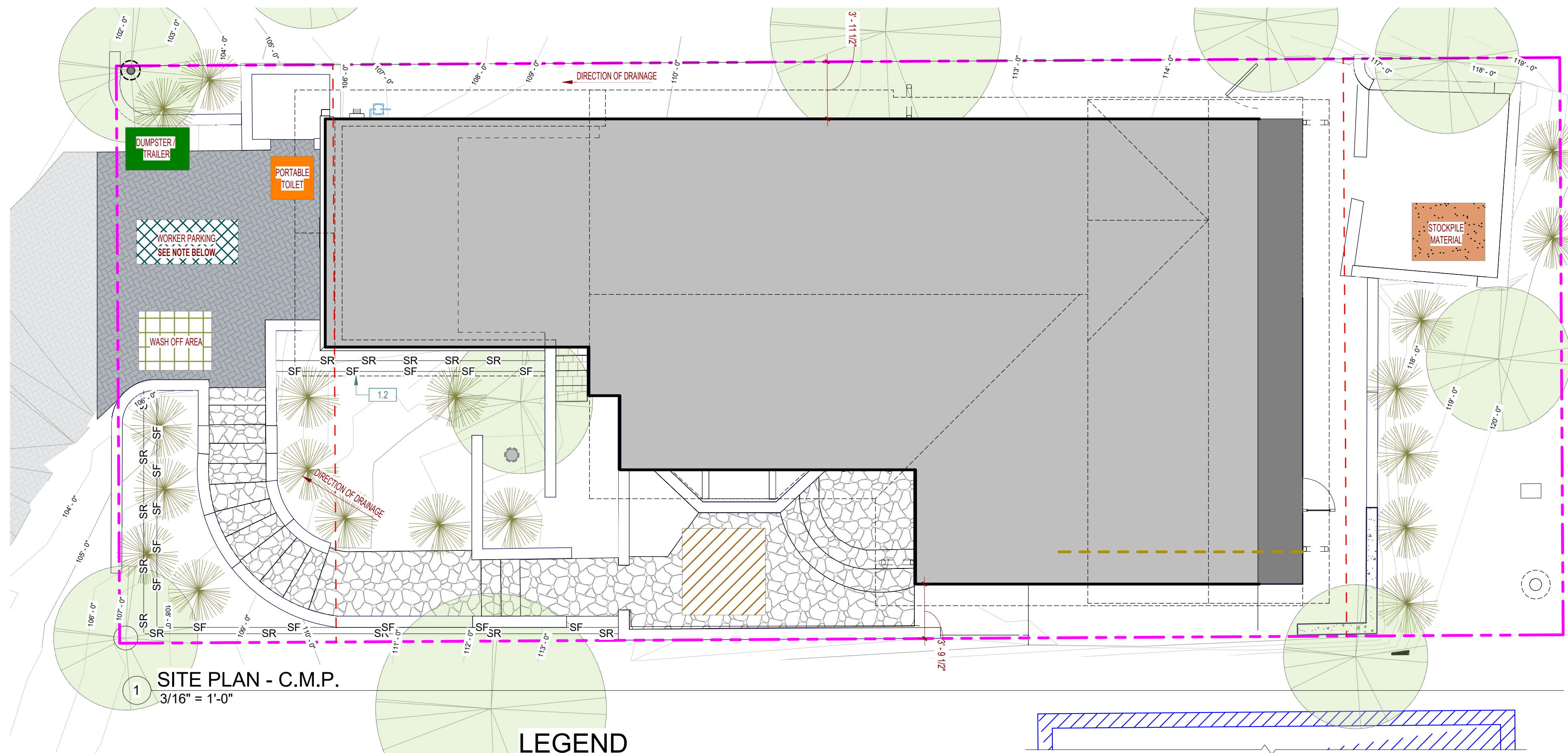
3771 Rio Road, Suite 101A Carmel CA 93923 (PH) 206.427.3539 lodesignstudio.com

Cesarona 3 S.E. of 4th, Carmel-by-the-sea, CA 93921

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*Adapted with permission from the San Mateo Countywide Water Pollution Prevention Program

*Adaptado del permiso del Programa de Prevención de Polución del Agua del Condado de San Mateo



1 SITE PLAN - C.M.P.
3/16" = 1'-0"

LEGEND

- STOCKPILE MATERIAL
- DUMPSTER / TRAILER
- PORTABLE SANITATION FACILITY
- CONSTRUCTION MATERIAL STORAGE
- WASHOFF AREA
- DIRECTION OF DRAINAGE
- WORKER PARKING
NOTE: ADDITIONAL WORKER PARKING (1 SPACE PROVIDED) SHALL BE LOCATED OFFSITE AND CONTRACTOR TO COORDINATE CARPOOLING.
- SILT FENCE BARRIER
- SEDIMENT RETENTION FIBER ROLL

EROSION CONTROL NOTES

1. ALL SURFACES EXPOSED OR EXPECTED TO BE EXPOSED DURING GRADING ACTIVITIES SHALL BE PREPARED AND MAINTAINED THROUGH THE LENGTH OF THE ENTIRE PROJECT TO PROTECT AGAINST EROSION.
2. ACTUAL GRADING SHALL BEGIN WITHIN 30 DAYS OF VEGETATION REMOVAL OR THE AREA SHALL BE PLANTED TO CONTROL EROSION. VEGETATION REMOVAL BETWEEN OCTOBER 15TH AND APRIL 15TH SHALL NOT PRECEDE SUBSEQUENT GRADING OR CONSTRUCTION ACTIVITIES BY MORE THAN 15 DAYS.
 - A. DISTURBED SURFACES NOT INVOLVED IN THE IMMEDIATE OPERATIONS MUST BE PROTECTED BY APPLYING STRAW MULCH AT 2000 LBS. PER ACRE AND ANCHORED BY TRACK-WALKING TO PREVENT MOVEMENT DURING WATER FLOW.
 - B. RUNOFF FROM THE SITE SHALL BE DETAINED OR FILTERED BY BERMS, VEGETATED FILTER STRIPS AND/OR CATCH BASINS TO PREVENT THE ESCAPE OF SEDIMENT FROM THE SITE. THESE DRAINAGE CONTROLS MUST BE MAINTAINED BY THE CONTRACTOR AS NECESSARY TO ACHIEVE THEIR PURPOSE THROUGHOUT THE LIFE OF THE PROJECT. SEE THIS SHEET FOR EROSION CONTROL PLAN AND EROSION CONTROL DETAILS.
 - C. EROSION CONTROL MEASURES SHALL BE IN PLACE AT THE END OF EACH DAY'S WORK.
 - D. THE BUILDING INSPECTOR SHALL STOP OPERATIONS DURING PERIODS OF INCLEMENT WEATHER IF HE DETERMINES THAT EROSION PROBLEMS ARE NOT BEING CONTROLLED ADEQUATELY.
 - E. CUT AND FILL SLOPES SHALL BE PLANTED WITH AN SEED MIX APPROVED BY THE LANDSCAPE ARCHITECT. AMOUNT OF SEED AND FERTILIZER SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT AND THE SANTA LUCIA PRESERVE.
4. AT ALL TIMES DURING CONSTRUCTION AND UNTIL FINAL COMPLETION, THE CONTRACTOR, WHEN HE OR HIS SUBCONTRACTORS ARE OPERATING EQUIPMENT ON THE SITE, SHALL PREVENT THE FORMATION OF AN AIRBORNE DUST NUISANCE BY WATERING AND/OR TREATING THE SITE OF THE WORK IN SUCH A MANNER THAT WILL CONFINE DUST PARTICLES TO THE IMMEDIATE SURFACE OF THE WORK. THE CONTRACTOR WILL BE RESPONSIBLE FOR ANY DAMAGE DONE BY DUST FROM HIS OR HER SUBCONTRACTOR.
5. THIS PLAN IS INTENDED TO BE USED FOR INTERIM EROSION AND SEDIMENT CONTROL ONLY AND IS NOT TO BE USED FOR FINAL ELEVATIONS OR PERMANENT IMPROVEMENTS.
6. CONTRACTOR SHALL BE RESPONSIBLE FOR MONITORING EROSION AND SEDIMENT CONTROL PRIOR, DURING, AND AFTER STORM EVENTS.
7. REASONABLE CARE SHALL BE TAKEN WHEN HAULING ANY EARTH, SAND, GRAVEL, STONE, DEBRIS, PAPER OR ANY OTHER SUBSTANCE OVER ANY PUBLIC STREET, ALLEY OR OTHER PUBLIC PLACE. SHOULD ANY BLOW, SPILL, OR TRACK OVER AND UPON SAID PUBLIC OR ADJACENT PRIVATE PROPERTY, AN IMMEDIATE REMEDY SHALL OCCUR.
8. SANITARY FACILITIES SHALL BE MAINTAINED ON THE SITE.
9. DURING THE RAINY SEASON, ALL PAVED AREAS SHALL BE KEPT CLEAR OF EARTH MATERIAL AND DEBRIS. THE SITE SHALL BE MAINTAINED SO AS TO MINIMIZE SEDIMENT LADEN RUNOFF TO ANY STORM DRAINAGE SYSTEMS, INCLUDING EXISTING DRAINAGE SWALES AND WATER COURSES.
10. CONSTRUCTION OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER THAT POLLUTION ABATEMENT SHALL BE COMPLIED WITH.
11. CONTRACTORS SHALL PROVIDE DUST CONTROL AS REQUIRED BY THE APPROPRIATE FEDERAL, STATE, AND LOCAL AGENCY REQUIREMENTS.
12. WITH THE APPROVAL OF THE ENGINEER, EROSION AND SEDIMENT CONTROLS MAYBE REMOVED AFTER AREAS ABOVE THEM HAVE BEEN STABILIZED.

EROSION CONTROL MAINTENANCE NOTES

1. MAINTENANCE IS TO BE PERFORMED AS FOLLOWS:
 - A. REPAIR DAMAGES CAUSED BY SOIL EROSION OR CONSTRUCTION AT THE END OF EACH WORKING DAY.
 - B. SWALES SHALL BE INSPECTED PERIODICALLY AND MAINTAINED AS NEEDED.
 - C. SEDIMENT TRAPS, BERMS, AND SWALES ARE TO BE INSPECTED AFTER EACH STORM AND REPAIRS MADE AS NEEDED.
 - D. SEDIMENT SHALL BE REMOVED AND SEDIMENT TRAPS RESTORED TO ORIGINAL DIMENSIONS WHEN SEDIMENT HAS ACCUMULATED TO A DEPTH OF ONE FOOT.
 - E. SEDIMENT REMOVED FROM TRAP SHALL BE DEPOSITED IN A SUITABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE.
 - F. RILLS AND GULLIES MUST BE REPAIRED.
2. STRAW BALE INLET PROTECTION SHALL BE CLEANED OUT WHENEVER SEDIMENT DEPTH IS ONE HALF THE HEIGHT OF ONE FOOT.

EROSION AND SEDIMENT CONTROL MEASURES

1. THE FACILITIES SHOWN ON THIS PLAN ARE DESIGNED TO CONTROL EROSION AND SEDIMENT PRIOR TO OCTOBER 1 OF ANY YEAR. GRADING OPERATIONS DURING THE RAINY SEASON, WHICH LEAVE DENuded SLOPES SHALL BE PROTECTED WITH EROSION CONTROL MEASURES IMMEDIATELY FOLLOWING GRADING ON THE SLOPES.
2. THIS PLAN SHOWS ONLY THE FIRST WINTER FOLLOWING GRADING WITH ASSUMED SITE CONDITIONS AS SHOWN ON THE EROSION CONTROL PLAN, PRIOR TO SEPTEMBER 15, THE COMPLETION OF SITE IMPROVEMENT SHALL BE EVALUATED AND REVISIONS MADE TO THIS PLAN AS NECESSARY WITH THE APPROVAL OF THE ENGINEER.
3. CONSTRUCTION ENTRANCES SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF GRADING. ALL CONSTRUCTION TRAFFIC ENTERING ONTO THE PAVED ROADS MUST CROSS THE STABILIZED CONSTRUCTION ENTRANCESWAYS.
4. CONTRACTOR SHALL MAINTAIN STABILIZED ENTRANCE AT EACH VEHICLE ACCESS POINT TO EXISTING PAVED STREETS. ANY MUD OR DEBRIS TRACKED ONTO PUBLIC STREETS SHALL BE REMOVED DAILY AND AS REQUIRED BY THE COUNTY.
5. APPLY STRAW WITH TACKIFIER TO ALL DISTURBED AREAS, AFTER SEEDING. ANCHOR STRAW IN SLOPES BY TRACK ROLLING, AS SHOWN ON THIS SHEET.

6. IF HYDROSEEDING IS NOT USED OR IS NOT EFFECTIVE BY OCTOBER 10, THEN OTHER IMMEDIATE METHODS SHALL BE IMPLEMENTED, SUCH AS EROSION CONTROL BLANKETS, OR A THREE-STEP APPLICATION OF 1) SEED, MULCH, FERTILIZER; 2) BLOWN STRAW; 3) TACKIFIER AND MULCH.
7. INLET PROTECTION SHALL BE INSTALLED AT OPEN INLETS TO PREVENT SEDIMENT FROM ENTERING THE STORM DRAIN SYSTEM. INLETS USED IN CONJUNCTION WITH EROSION CONTROL ARE TO BE BLOCKED TO PREVENT ENTRY OF SEDIMENT.
8. THIS EROSION AND SEDIMENT CONTROL PLAN MAY NOT COVER ALL THE SITUATIONS THAT MAY ARISE DURING CONSTRUCTION DUE TO UNANTICIPATED FIELD CONDITIONS, VARIATIONS AND ADDITIONS MAY BE MADE TO THIS PLAN IN THE FIELD. NOTIFY THE COUNTY REPRESENTATIVE OF ANY FIELD CHANGES.

EMPLOYEE TRAINING

1. STORM WATER POLLUTION PREVENTION TRAINING SHALL BE PROVIDED AT THE BEGINNING OF CONSTRUCTION AND REGULARLY DURING CONSTRUCTION FOR ALL EMPLOYEES WORKING ON THE JOB SITE. TRAINING SHALL BE PROVIDED BY THE CONTRACTOR'S WATER POLLUTION CONTROL MANAGER. TOPICS SHALL INCLUDE, BUT ARE NOT LIMITED TO:
 - SPILL PREVENTION AND RESPONSE;
 - LOCATIONS AND FUNCTIONS OF SEDIMENT/EROSION CONTROL DEVICES;
 - GOOD HOUSEKEEPING;
 - FINES AND PENALTIES;
 - MATERIAL MANAGEMENT PRACTICES.

OBSERVATION AND MAINTENANCE

1. VISUALLY OBSERVE AND MAINTAIN BMPs AS FOLLOWS:
 - A. INSPECT BMPs:
 - WEEKLY, AND
 - WITHIN 48 HOURS PRIOR TO EACH STORM EVENT, AND
 - WITHIN 48 HOURS AFTER EACH STORM EVENT.
 - B. REPAIR DAMAGED BMPs WITHIN 48 HOURS OF OBSERVATION.
 - C. SEDIMENT SHALL BE REMOVED FROM SEDIMENT CONTROL BMPs BEFORE SEDIMENT HAS ACCUMULATED TO A DEPTH OF ONE THIRD THE HEIGHT OF THE SEDIMENT BARRIER OR SUMP, IF NOT OTHERWISE SPECIFIED IN THE SPECIAL PROVISIONS OR BY THE BMP SUPPLIER OR MANUFACTURER.
 - D. TRASH AND DEBRIS SHALL BE REMOVED FROM BMPs DURING SCHEDULED INSPECTIONS.
 - E. REMOVED SEDIMENT SHALL BE PLACED AT AN APPROVED LOCATION AND IN SUCH A MANNER THAT IT WILL NOT ERODE, OR SHALL BE DISPOSED OF OFF-SITE.
 - F. REPAIR RILLS AND GULLIES BY RE-GRADING AND THEN TRACKWALKING PERPENDICULAR TO THE SLOPE. PROVIDE TEMPORARY SOIL COVER IF NECESSARY.

NON-STORM WATER DISCHARGES

1. NON-STORM WATER DISCHARGES INCLUDE A WIDE VARIETY OF SOURCES, INCLUDING IMPROPER DUMPING, SPILLS, OR LEAKAGE FROM STORAGE TANKS OR TRANSFER AREAS. NON-STORM WATER DISCHARGES MAY CONTRIBUTE SIGNIFICANT POLLUTANT LOADS TO RECEIVING WATERS, AND AS SUCH ARE PROHIBITED.
2. MEASURES TO CONTROL SPILLS, LEAKAGE, AND DUMPING, AND TO PREVENT ILLICIT CONNECTIONS DURING CONSTRUCTION, MUST BE TAKEN.
3. HOWEVER, CERTAIN NON-STORM WATER DISCHARGES MAY BE AUTHORIZED FOR THE COMPLETION OF CONSTRUCTION. AUTHORIZED NON-STORM WATER DISCHARGES MUST INCLUDE THOSE FROM DECHLORINATED POTABLE WATER SOURCES SUCH AS:
 - FIRE HYDRANT FLUSHING,
 - IRRIGATION OF VEGETATIVE EROSION CONTROL MEASURES,
 - PIPE FLUSHING AND TESTING,
 - WATER TO CONTROL DUST,
 - UNCONTAMINATED GROUND WATER FROM DEWATERING,
 - OTHER DISCHARGES NOT SUBJECT TO A SEPARATE GENERAL NPDES PERMIT ADOPTED BY A REGIONAL WATER BOARD.
4. THE DISCHARGE OF NON-STORM WATER IS AUTHORIZED UNDER THE FOLLOWING CONDITIONS:
 - THE DISCHARGE DOES NOT CAUSE OR CONTRIBUTE TO A VIOLATION OF ANY WATER QUALITY STANDARD
 - THE DISCHARGE DOES NOT VIOLATE ANY OTHER PROVISION OF THE GENERAL PERMIT.
 - THE DISCHARGE IS NOT PROHIBITED BY THE APPLICABLE BASIN PLAN
 - THE DISCHARGER HAS INCLUDED AND IMPLEMENTED SPECIFIC BMPs REQUIRED BY THE GENERAL PERMIT TO PREVENT OR REDUCE THE CONTACT OF THE NONSTORM WATER DISCHARGE WITH CONSTRUCTION MATERIALS OR EQUIPMENT
 - THE DISCHARGE DOES NOT CONTAIN TOXIC CONSTITUENTS IN TOXIC AMOUNTS OR (OTHER) SIGNIFICANT QUANTITIES OF POLLUTANTS
 - THE DISCHARGE IS MONITORED AND MEETS THE APPLICABLE NALS AND NELS
 - THE DISCHARGER REPORTS THE SAMPLING INFORMATION IN THE ANNUAL REPORT
5. IF ANY OF THE ABOVE CONDITIONS ARE NOT SATISFIED, THE DISCHARGE IS NOT AUTHORIZED.

CONSTRUCTION NOTES:

1. ALL WORK SHALL TAKE PLACE DURING DAYLIGHT HOURS, MONDAY - FRIDAY, 8AM TO 5PM.
2. HAUL TRUCKS SHALL MAINTAIN 2 FEET FREEBOARD AND BE COVERED.
3. COVER INACTIVE STORAGE PILES.
4. THE SIGNED PERMITS AND THE APPROVED CONSTRUCTION PLANS SHALL BE MAINTAINED IN A CONSPICUOUS LOCATION AT THE CONSTRUCTION JOB SITE AT ALL TIMES AND COPIES ARE TO BE AVAILABLE FOR AGENCY REVIEW UPON REQUEST. ALL PERSONS INVOLVED WITH THE CONSTRUCTION SHALL BE BRIEFED ON THE CONTENT AND MEANING OF THE PERMITS AND THE APPROVED CONSTRUCTION PLANS, AND THE PUBLIC REVIEW REQUIREMENTS APPLICABLE TO THEM, PRIOR TO COMMENCEMENT OF CONSTRUCTION.
5. EQUIPMENT WASHING, REFUELING AND SERVICING SHALL TAKE PLACE ONLY ON SITE. APPROPRIATE BEST MANAGEMENT PRACTICES SHALL BE USED TO ENSURE THAT NO SPILLS OF PETROLEUM PRODUCTS OR OTHER CHEMICALS TAKE PLACE DURING THESE ACTIVITIES. SEE THE EROSION CONTROL PLAN FOR FURTHER SPECIFICATIONS.
6. THE CONSTRUCTION SITE SHALL MAINTAIN GOOD CONSTRUCTION SITE HOUSEKEEPING CONTROLS AND PROCEDURES (E.G.: CLEAN-UP ALL LEAKS, DRIPS, AND OTHER SPILLS IMMEDIATELY; KEEP MATERIALS COVERED AND OUT OF RAIN, INCLUDING COVERING EXPOSED PILES OF SOILS AND WASTES, DISPOSE OF ALL WASTES PROPERLY, PLACE TRASH RECEPTACLES ON SITE FOR THAT PURPOSE, AND COVER OPEN TRASH RECEPTACLES DURING WET WEATHER.)
7. ALL EROSION AND SEDIMENT CONTROLS SHALL BE IN PLACE PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, AS WELL AS AT THE END OF EACH WORKDAY. AT A MINIMUM, SILT FENCES, OR EQUIVALENT APPARATUS, SHALL BE INSTALLED AT THE PERIMETER OF THE CONSTRUCTION SITE TO PREVENT CONSTRUCTION RELATED RUNOFF AND / OR SEDIMENT FROM LEAVING THE SITE.
8. STOP WORK WITHIN 50 METERS (165 FT.) OF UNCOVERED RESOURCE AND CONTACT MONTEREY COUNTY RMA - PLANNING AND A QUALIFIED ARCHAEOLOGIST IMMEDIATELY IF CULTURAL, ARCHAEOLOGICAL, HISTORICAL, OR PALEONTOLOGICAL RESOURCES ARE UNCOVERED.
9. ALL NEW CONSTRUCTION INVOLVING EXCAVATION SHALL IMMEDIATELY CEASE IF CULTURAL RESOURCES ARE DISCOVERED ON THE SITE, AND THE APPLICANT SHALL NOTIFY THE COMMUNITY PLANNING & BUILDING DEPARTMENT WITHIN 24 HOURS. WORK SHALL NOT BE PERMITTED TO RECOMMENCE UNTIL SUCH RESOURCES ARE PROPERLY EVALUATED FOR SIGNIFICANCE BY A QUALIFIED ARCHAEOLOGIST. IF THE RESOURCES ARE DETERMINED TO BE SIGNIFICANT, PRIOR TO RESUMPTION OF WORK, A MITIGATION AND MONITORING PLAN SHALL BE PREPARED BY A QUALIFIED ARCHAEOLOGIST AND REVIEWED AND APPROVED BY THE COMMUNITY PLANNING AND BUILDING DIRECTOR. IN ADDITION, IF HUMAN REMAINS ARE UNEARTHED DURING EXCAVATION, NO FURTHER DISTURBANCE SHALL OCCUR UNTIL THE COUNTY CORONER HAS MADE THE NECESSARY FINDINGS AS TO ORIGIN AN DISTRIBUTION PURSUANT TO CALIFORNIA PUBLIC RESOURCES CODE (PRC) SECTION 5097.98.

CONSTRUCTION COORDINATOR:

1. CONTRACTOR SHALL PROVIDE A CONSTRUCTION COORDINATOR THAT CAN BE CONTACTED DURING CONSTRUCTION. SHOULD QUESTIONS ARISE DURING CONSTRUCTION (IN CASE OF BOTH REGULAR INQUIRIES AND IN EMERGENCIES), THEIR CONTACT INFORMATION (INCLUDING THEIR ADDRESS AND 24-HOUR PHONE NUMBERS) SHALL BE CONSPICUOUSLY POSTED AT THE JOB SITE IN A MANNER THAT THE CONTACT INFORMATION IS READILY VISIBLE FROM PUBLIC VIEWING AREAS. THE POSTING SHALL INDICATE THAT THE CONSTRUCTION COORDINATOR SHOULD BE CONTACTED TO ANSWER ANY QUESTIONS THAT ARISE DURING CONSTRUCTION (IN CASE OF BOTH REGULAR INQUIRES AND IN EMERGENCIES). THE CONSTRUCTION COORDINATOR SHALL RECORD THE NAME, PHONE NUMBER AND NATURE OF THE COMPLAINTS AND TAKE REMEDIAL ACTION, IF NECESSARY, WITHIN 24-HOURS OF RECEIPT OF THE COMPLAINT OR INQUIRY.

CONSTRUCTION ACTIVITY DESCRIPTION:

1. DURATION: MAY 2024 - DECEMBER 2024
2. MONDAY THRU FRIDAY, 8AM - 5PM
3. 10 WORKERS
5 REGULAR PICKUP TRUCKS
4. 85% RECYCLE RATE FOR LUMBER
5. TRASH AND UN-RECYCLED DEBRIS ARE COLLECTED ON SITE IN A PORTABLE TRAILER AND REMOVED BY TOWING BEHIND REGULAR PICKUP TRUCK, ONCE A MONTH TO THE MARINA LANDFILL.
6. GRADING: NONE - FOOTING EXCAVATION ONLY

REVISION #

OWNER:
LIONEL & TASHA LINGER

Casanova 3 S.E. of 4th,
Carmel-by-the-sea, CA, 93921

LINGER RESIDENCE

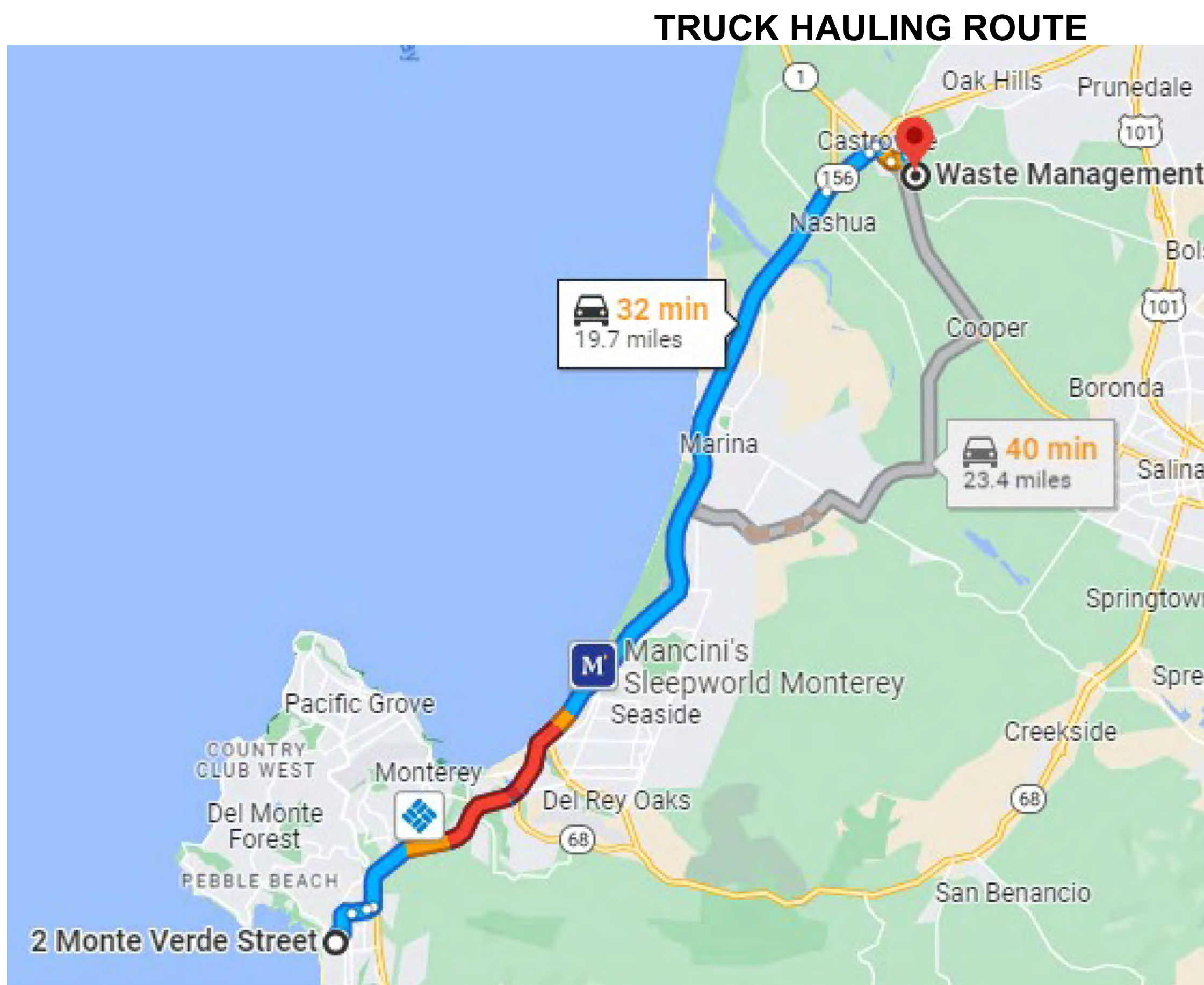
Casanova 3 S.E. of 4th,
Carmel-by-the-sea, CA, 93921

PLANNING SUBMITTAL

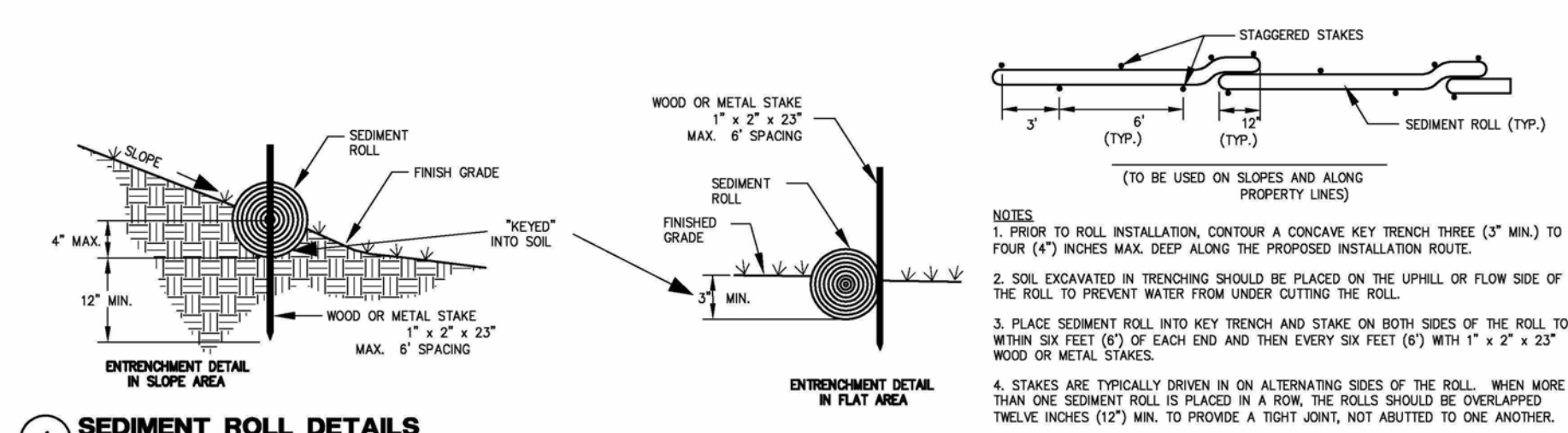
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Sheet
**CONSTRUCTION
MGMNT - STORM
WATER MGMNT**

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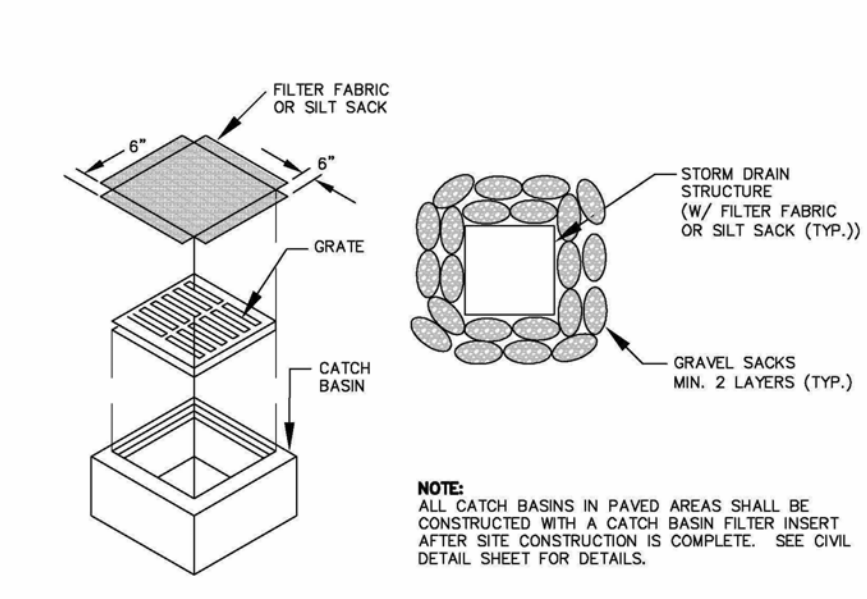


- 2 Monte Verde St
Carmel-By-The-Sea, CA 93921
- Take Dolores St and Serra Ave to CA-1 N
- Head north on Casanova St toward 4th Ave 6 min (1.2 mi)
 - Turn right onto 4th Ave 75 ft
 - Turn left onto Monte Verde St 308 ft
 - Turn right onto 3rd Ave 499 ft
 - Turn left at the 2nd cross street onto Dolores St 495 ft
 - Slight left onto Serra Ave 0.5 mi
 - Turn left onto Carpenter St 0.3 mi
- Follow CA-1 N to CA-183 S/Merritt St in Castroville. Take the CA-183 exit from CA-156 E
- Use the left 2 lanes to turn left onto CA-1 N 17 min (17.3 mi)
 - Use the left 2 lanes to turn left onto Blackie Rd 16.1 mi
 - Keep right to continue on CA-156 E 1.0 mi
 - Take the CA-183 exit toward Castroville/Salinas 0.2 mi
- Drive to Commercial Pkwy
- Turn right onto CA-183 S/Merritt St 3 min (1.2 mi)
 - Use the left 2 lanes to turn left onto Blackie Rd 0.4 mi
 - Turn right onto Commercial Pkwy 0.3 mi
 - Destination will be on the right 0.5 mi
- Waste Management
11240 Commercial Pkwy, Castroville, CA 95012



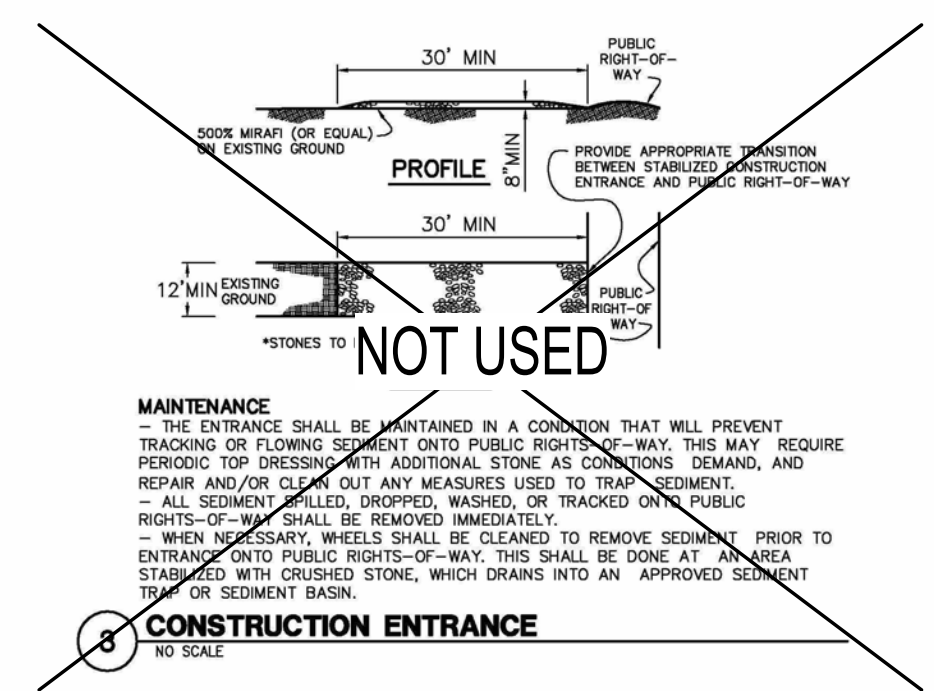
1 SEDIMENT ROLL DETAILS

NO SCALE



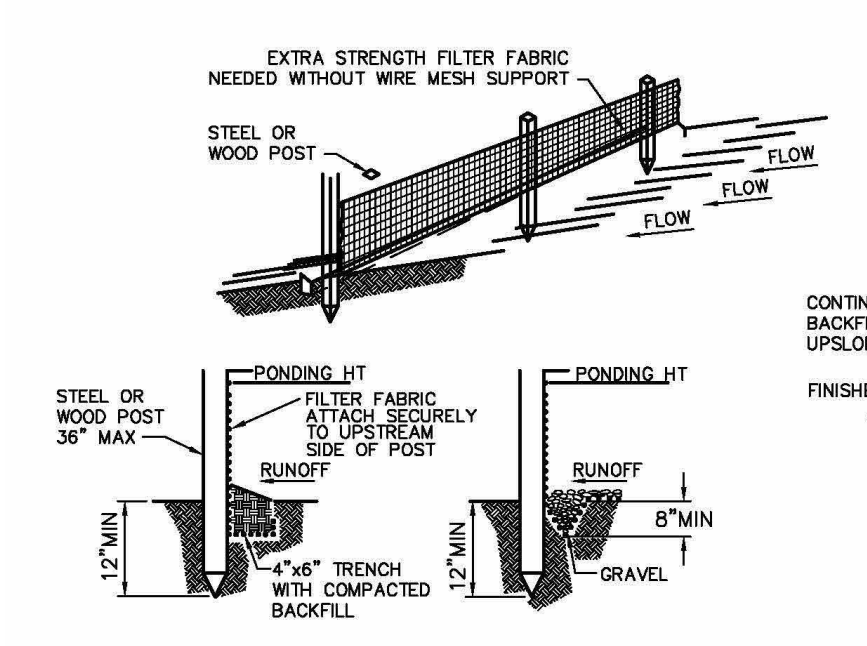
2 FABRIC INLET PROTECTION

NO SCALE



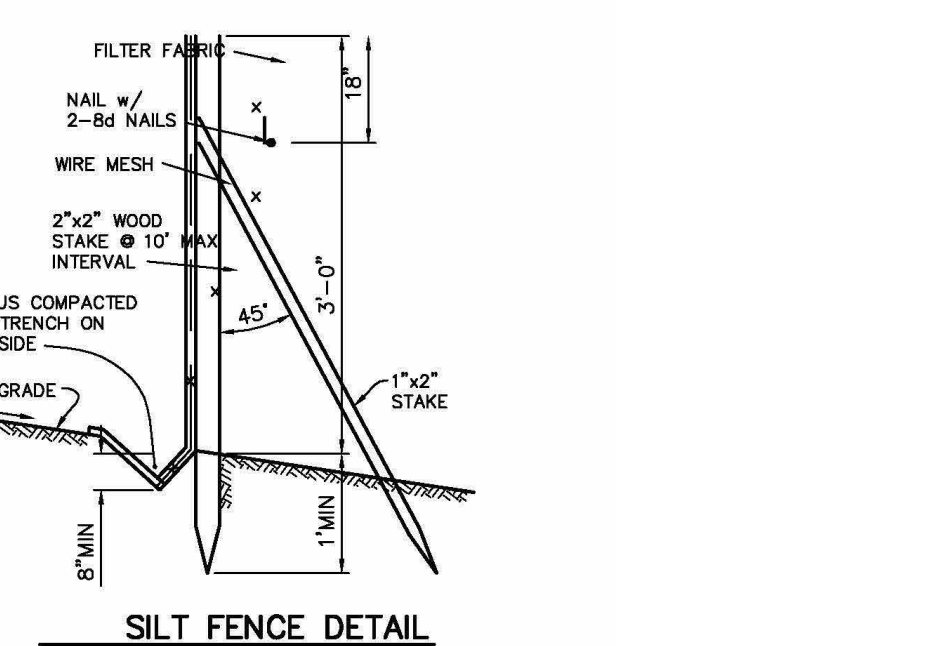
3 CONSTRUCTION ENTRANCE

NO SCALE



4 SILT FENCE DETAIL

NO SCALE



5 CONCRETE WASHOUT AREA

NO SCALE

CONSTRUCTION SITE BEST MANAGEMENT PRACTICES

THE FOLLOWING BMPs MUST BE PROPERLY USED AT ALL CONSTRUCTION SITES TO PROTECT STORM DRAINS AND MINIMIZE POLLU-

The Monterey Regional Stormwater Management Program (MRSWMP) prohibits pollutant discharges at work sites from flowing into storm drains and polluting neighborhood creeks, rivers, and the ocean. To comply with the law and keep your project on schedule, make sure proper BMPs are in place and functioning. Sites must be checked and maintained daily. The following BMPs are recommended; they are not all-inclusive. Refer to references indicated on the front of this brochure for additional BMPs.

CONCRETE TRUCKS / PUMBERS / FINISHERS
BMPs such as tarps and gravel bags should be implemented to prevent materials and residue from entering into the storm drain system.

WASHOUT AREA
The disposal of "wet" construction materials should be handled in the washout area. This includes paint, stucco, and concrete. Use a berm with an impervious liner to contain wet materials and prevent runoff in nearby areas. The washout area must be checked and maintained daily to ensure compliance. All dried materials must be disposed of at the landfill.

PAINT AND STUCCO
All paint and stucco material stored on the site must be contained and covered. It is illegal to dump unused paint or stucco in the sewer or storm drain system. Do not wash out brushes in the street or dump any residues in the storm drain. Paint brushes and spray guns must be washed/cleaned out into a hazardous materials drum or back into the original container and disposed of properly.

PERIMETER CONTROLS
Gravel bags, silt fences and straw wattles (weighted down) are acceptable perimeter controls, and must be used to surround the entire site. Avoid turning over perimeter controls with vehicles or heavy equipment as they can damage the materials. Keep extra absorbent materials and/or wet-dry vacuum on site to quickly pick up unintended spills.

BUILDING MATERIALS/STAGING AREAS
Construction material must be stored on site at all times. Building materials should always be covered when not in use to prevent runoff caused by wind or rain. Flooding must also be prevented by monitoring the site before, during, and after rain events to ensure that BMPs are functioning and that there are no safety issues.

TRAFFIC CONTROL PERMITS
Prior to staging any materials or equipment in the right-of-way (such as dumpsters or trucks), please contact the applicable local jurisdiction to learn of any temporary encroachment permit or traffic control requirements necessary for right-of-way staging and loading areas, applicable stormwater BMPs and safety plan review requirements. Provide a stabilized vehicle path with controlled access to prevent tracking of dirt offsite. Properly size site entrance BMPs for anticipated vehicles.

DUMPSTERS
Always cover dumpsters with a rollback tarp. Areas around dumpsters should be swept daily. Perimeter controls around dumpster areas should be provided if pollutants are leaking or discharging from the dumpster.

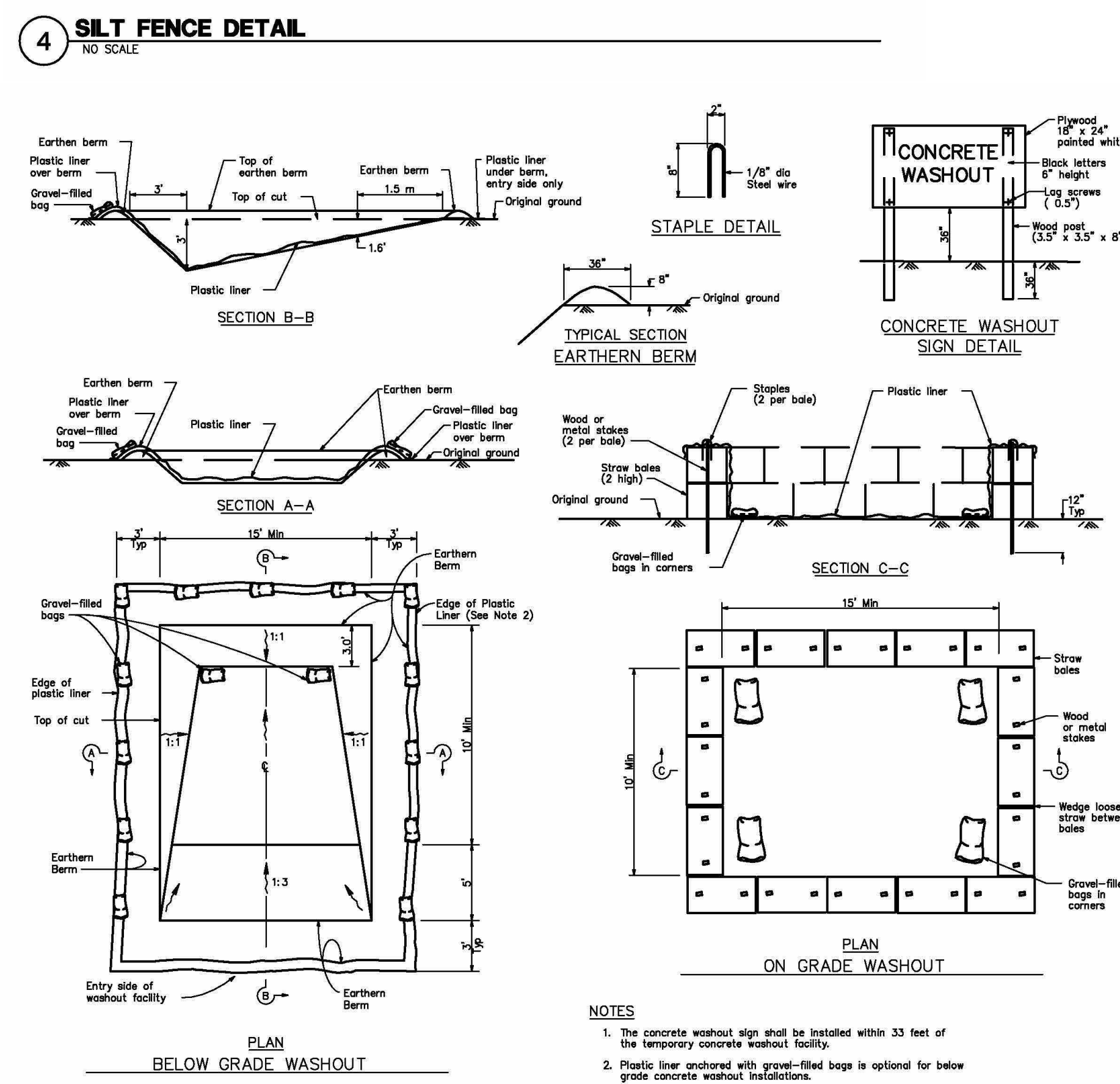
DIRT AND GRADING
Mounds of dirt or gravel should be stored on site and sprayed daily with water to prevent excessive dust. During the rainy season (October 15th-April 15th) these materials should be covered. For those areas that are active and exposed, a wet weather triggered action plan including additional BMPs should be in place to protect the site during a rain event. Sites must have adequate tracking control to prevent the transport of dirt/gravel from the site.

EARTHMOVING EQUIPMENT
All earthmoving equipment should be stored on site. Maintenance of any equipment should be conducted on site, and mud tracks and dirt trails left by equipment leading to and from the site should be cleaned up immediately.

STORM DRAINS
Storm drains must be protected at all times with perimeter controls, such as gravel bags. Sand bags are typically not used for inlet protection because they do not permit flow-through. Replace ruptured or damaged gravel bags and remove the debris from the right-of-way immediately.

Protecting water resources improves and preserves quality of life for our children and future generations.
Questions? Contact the local Public Works Dept. in the jurisdiction your project resides or the MRSWMP Program Manager.

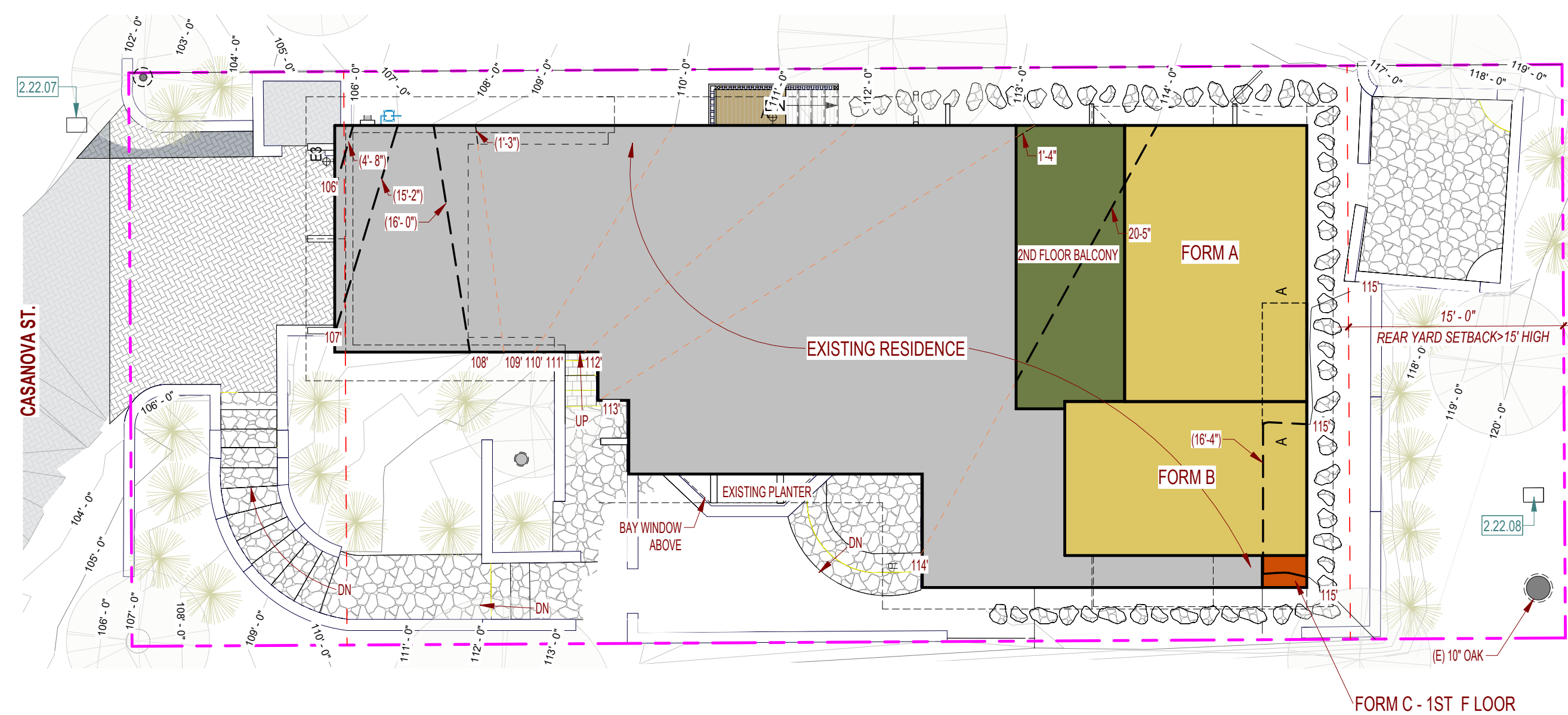
Photo courtesy of the City of San Diego



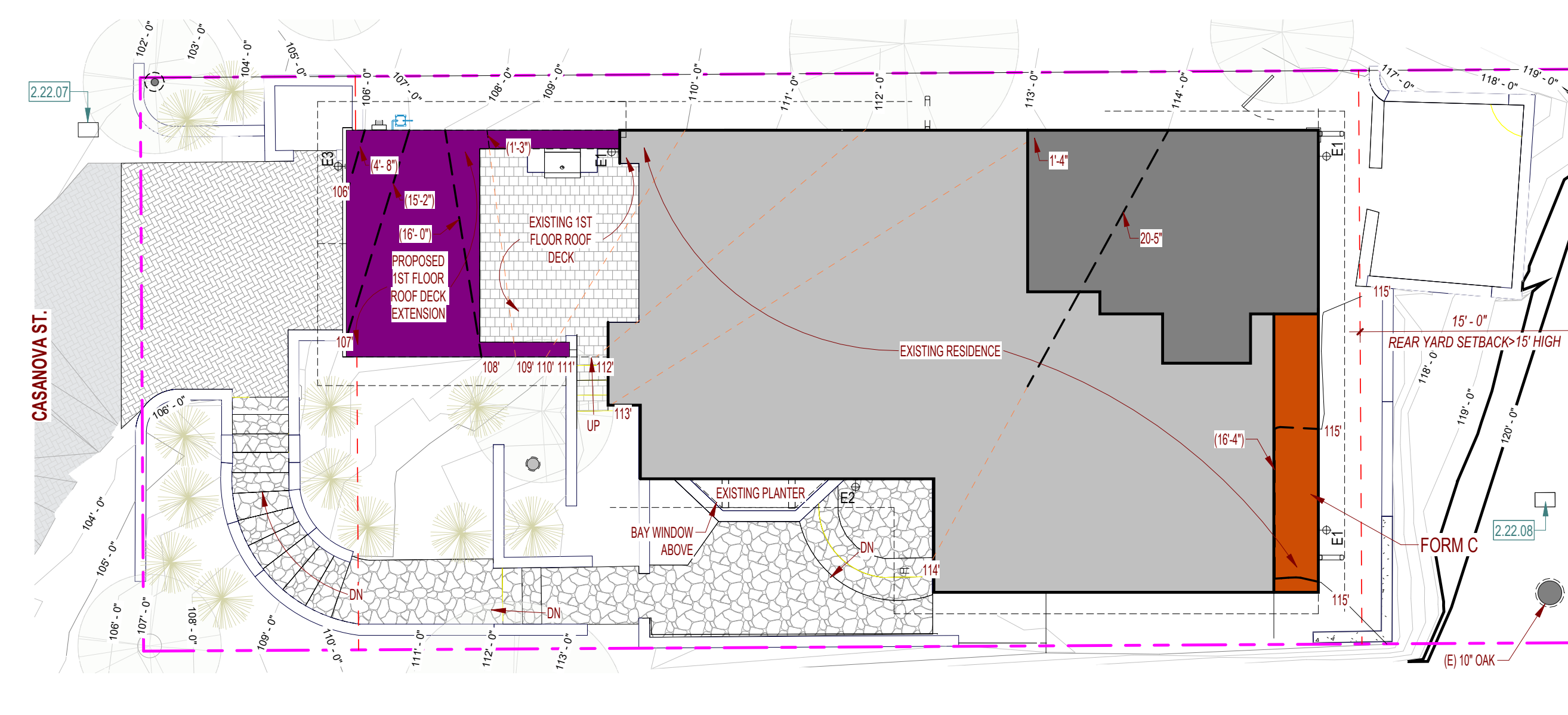
5 CONCRETE WASHOUT AREA

NO SCALE

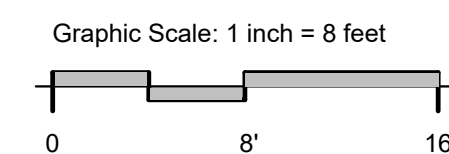
NOTES
1. The concrete washout sign shall be installed within 33 feet of the temporary concrete washout facility.
2. Plastic liner anchored with gravel-filled bags is optional for below grade concrete washout installations.



1 SITE CALCULATIONS - 2ND FLOOR
1/8" = 1'-0"



4 SITE CALCULATIONS - 1ST FLOOR
1/8" = 1'-0"



EXTERIOR VOLUME CALCULATIONS

AVERAGE GRADE 2ND FLOOR ADDITION (FORM A + B)

0 = 113' @ 1'-4" = (1.33')			
1 = 114' @ 20'-5" = (20.42')	X	1	=20.42'
2 = 115' @ 16'-4" = (16.33')	X	2	=32.66'
TOTAL			38'-1" (38.08')

53.08' + 38.08' = 1.39
113' + 1.39 = 114.39' (AVERAGE NATURAL GRADE)
115.42' F.F. - 114.39' (A.N.G.) = 1.03' (ADD TO CALCULATIONS)

AVERAGE GRADE 1ST FLOOR ADDITION (FORM C)

0 = 113' @ 1'-4" = (1.33')			
1 = 114' @ 20'-5" = (20.42')	X	1	=20.42'
2 = 115' @ 16'-4" = (16.33')	X	2	=32.66'
TOTAL			38'-1" (38.08')

53.08' + 38.08' = 1.39
113' + 1.39 = 114.39' (AVERAGE NATURAL GRADE)
115.42' F.F. - 114.39' (A.N.G.) = 1.03' (ADD TO CALCULATIONS)

GARAGE BALCONY ADDITION @ LEVEL 1'

BALCONY SQUARE FOOTAGE:	(166 S.F.)
BALCONY VOLUME HEIGHT:	(3.5 FEET)
GARAGE BALCONY VOLUME:	(581.32 C.F.)

2ND FLOOR BALCONY ADDITION @ LEVEL 2

BALCONY SQUARE FOOTAGE:	(148.0 S.F.)
BALCONY VOLUME HEIGHT:	(3.5 FT.)
GARAGE BALCONY VOLUME:	(518.00 C.F.)

(FORM A) - ADD 1.03' TO VERTICAL CALCULATION

$$L \times W \times x H$$

$$(19.25) \times (12.75) \times (9.20) = 2258.03 \text{ C.F.}$$

$$V = \left(\frac{(1/2) \times B \times H}{(0.5)(6.35)(2.17)} \right) \times L$$

$$[(0.5)(6.35)(2.17)] \times 19.25 = 155.36 \text{ C.F.}$$

$$(155.36 \text{ C.F.}) \times 2 = 310.72 \text{ C.F.}$$

$$2258.03 + 310.72 = 2568.75 \text{ C.F.}$$

(FORM B) - ADD 1.03' TO VERTICAL CALCULATION

$$L \times W \times x H$$

$$(10.75) \times (16.92) \times (9.20) = 1673.39 \text{ C.F.}$$

$$V = \left(\frac{(1/2) \times B \times H}{(0.5)(8.42)(2.08)} \right) \times L$$

$$[(0.5)(8.42)(2.08)] \times 10.75 = 94.14 \text{ C.F.}$$

$$(94.14 \text{ C.F.}) \times 2 = 188.27 \text{ C.F.}$$

$$1673.39 + 188.27 = 1861.66 \text{ C.F.}$$

(FORM C) - ADD 1.03' TO VERTICAL CALCULATION

$$L \times W \times x H$$

$$(19.83) \times (3.08) \times (11.03) = 673.67 \text{ C.F.}$$

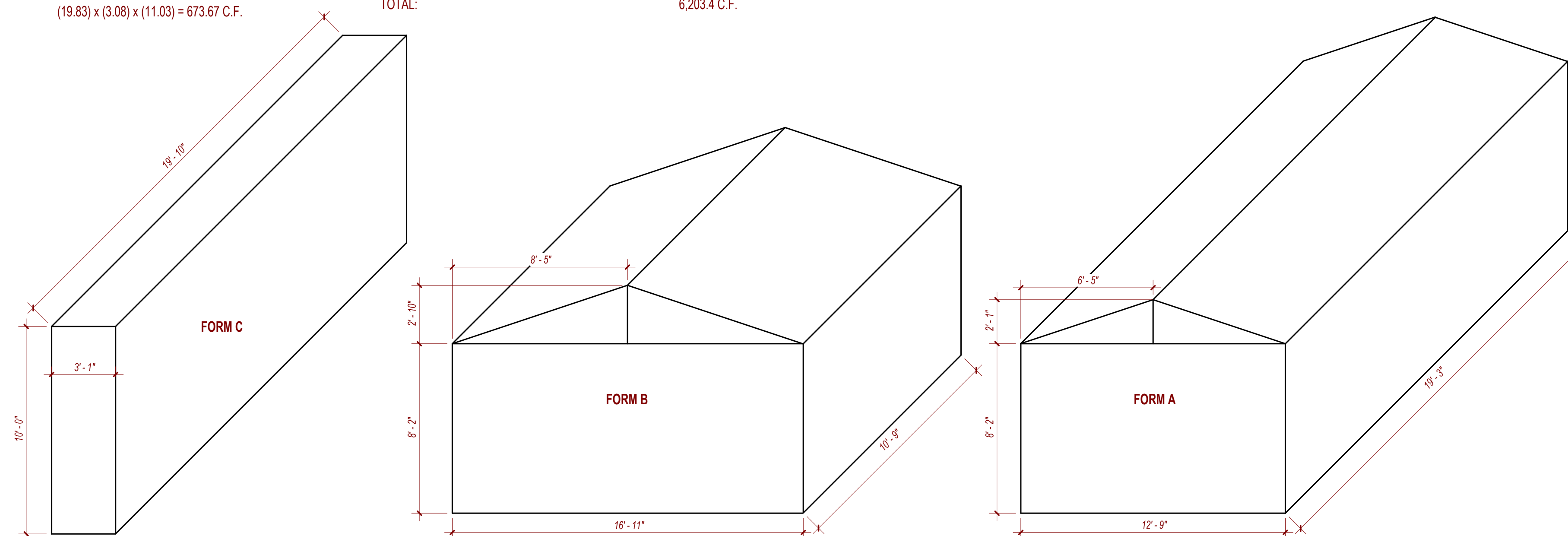
ADDITION ALLOWABLE VOLUME:

TWO STORY FLOOR AREA (GREATER THAN 3:12 SLOPE):

FORM A:	245.44 SQ. FT.	x 11 =	2700 CU. FT.
FORM B:	181.78 SQ. FT.	x 11 =	2000 CU. FT.
FORM C:	61.07 SQ. FT.	x 11 =	672 CU. FT.
1ST FLOOR BALCONY:	166.00 SQ. FT.	x 10 =	1,660 CU. FT.
2ND FLOOR BALCONY:	148.00 SQ. FT.	x 10 =	1,480 CU. FT.
MAX VOLUME TOTAL:			8,512 CU. FT.

ADDITION TOTAL VOLUME:

FORM A:	2568.75 C.F.
FORM B:	1861.66 C.F.
FORM C:	673.67 C.F.
1ST FLOOR BALCONY:	581.32 C.F.
2ND FLOOR BALCONY:	518.00 C.F.
TOTAL:	6,203.4 C.F.



LEGEND

- EXISTING BUILDING TO REMAIN
- PROPOSED ADU
- PROPOSED 1ST FLOOR DECK EXTENSION
- PROPOSED 2ND FLOOR BALCONY ADDITION
- PROPOSED 2ND FLOOR ADDITION
- PROPOSED 1ST FLOOR ADDITION

SHEET ISSUE

REVISION #

OWNER:
LIONEL & TASHA LINGER

Casanova 3 S.E. of 4th,
Carmel-by-the-sea, CA 93921

LINGER RESIDENCE

Casanova 3 S.E. of 4th,
Carmel-by-the-sea, CA 93921

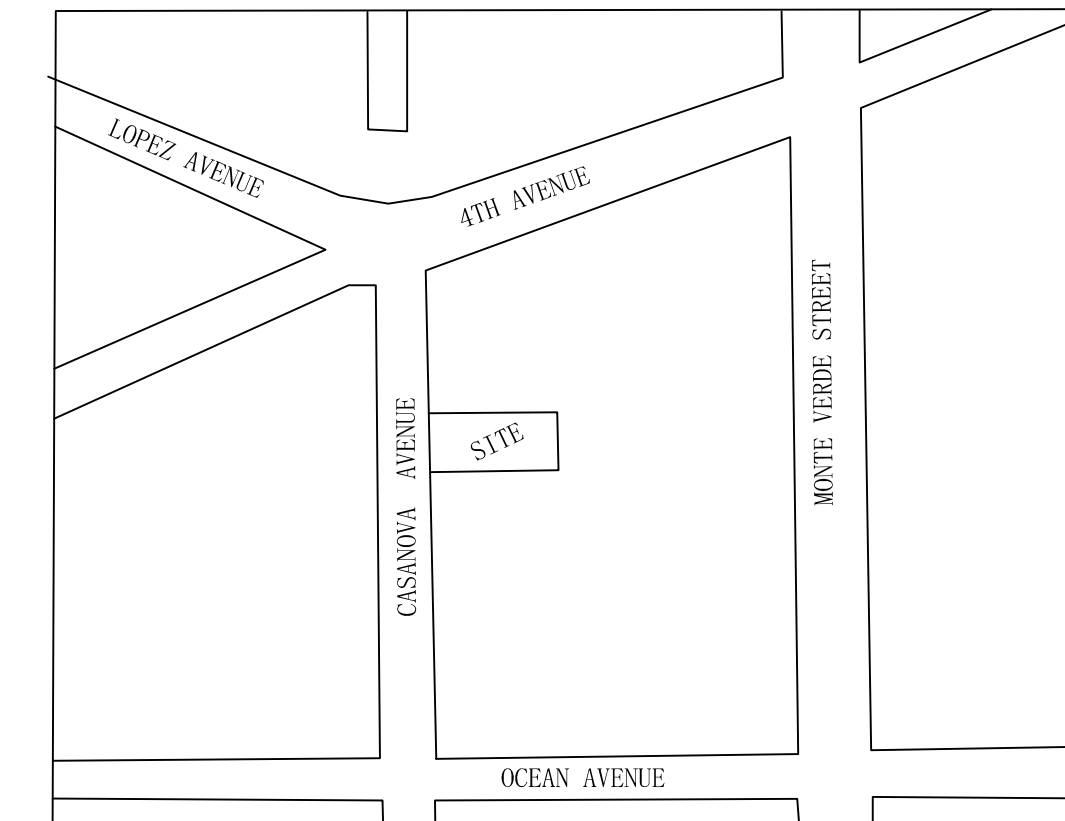
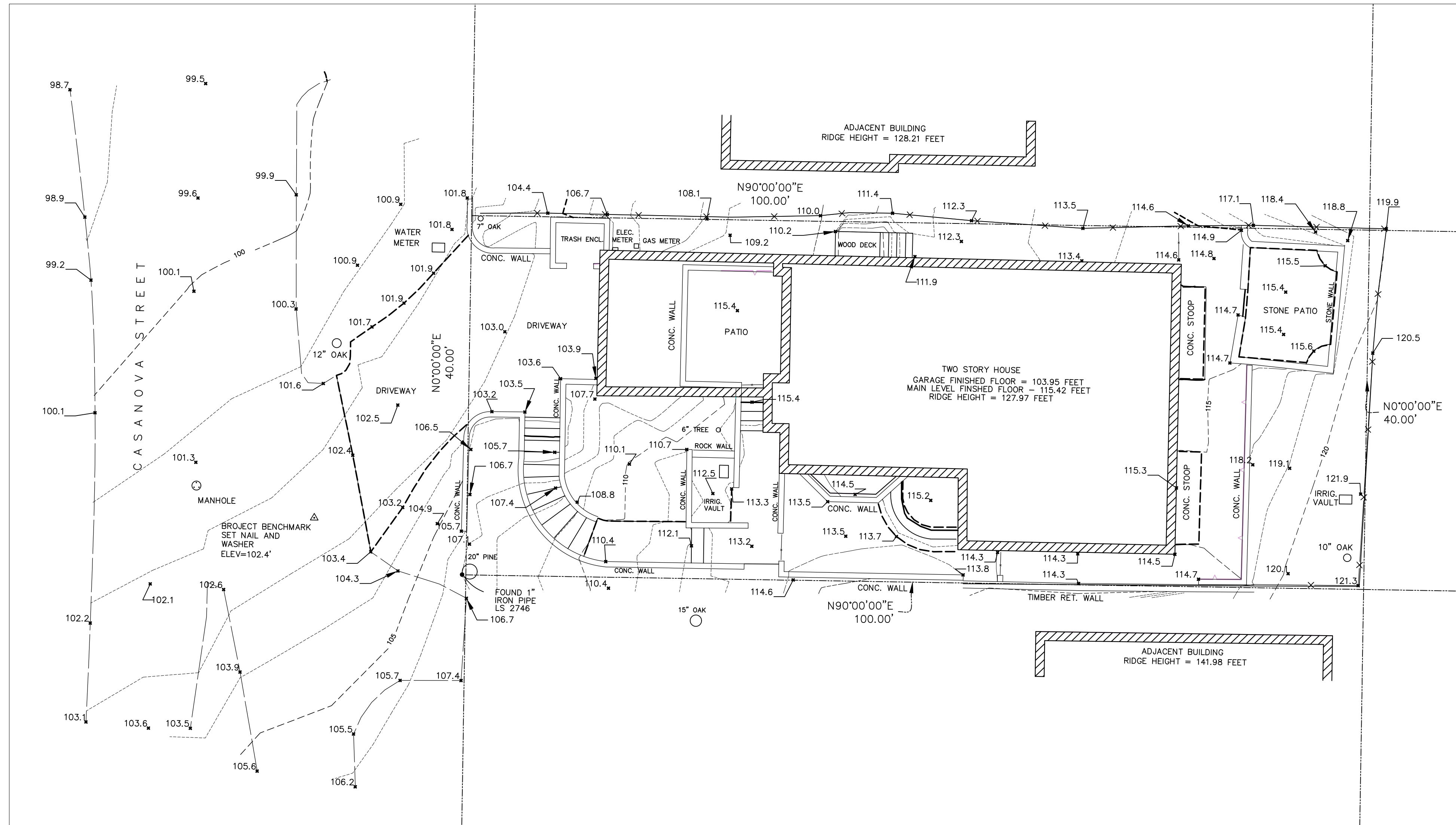
PLANNING SUBMITTAL

Scale: As indicated
Job: 2305

Sheet
VOLUME
CALCULATIONS

G7.10

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VICINITY MAP
N. T. S.

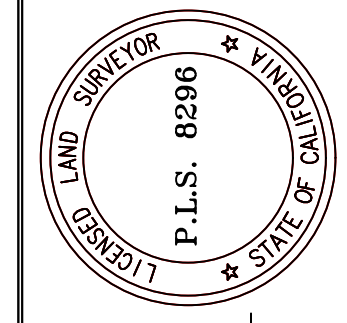
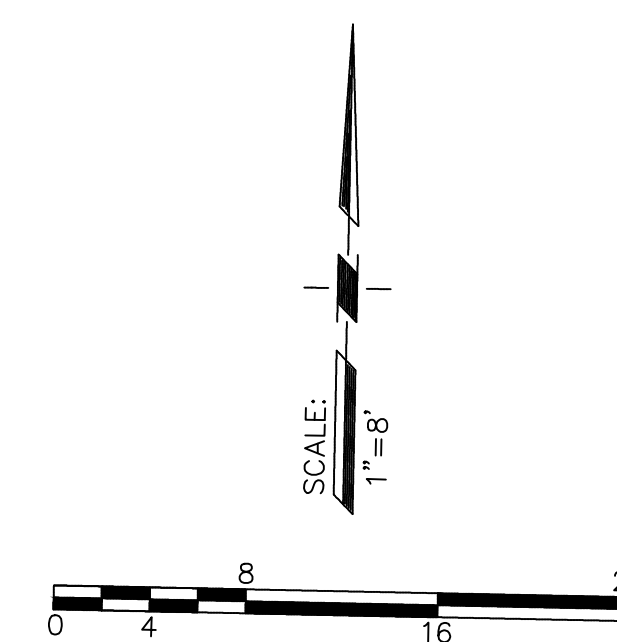


LEGEND:

- BOUNDARY LINES
- - - 100 MAJOR CONTOUR LINE (5' INTERVAL)
- - - MINOR CONTOUR LINE (1' INTERVAL)
- ASPHALT ROAD OR DRIVEWAY
- FENCE LINES
- ▬ WALLS
- × 201.9 SPOT ELEVATION
- TREE IN INCHES, TYPE SHOWN IF KNOWN
PR DENOTES # OF PRONGS, LARGEST SIZE PRONG SHOWN
- ▨ STRUCTURES
- FOUND PROPERTY CORNERS
- CONC CONCRETE

GENERAL NOTES

- 1) ELEVATIONS ARE BASED ON ARBITRARY ELEVATION OF 200.00' ON SET NAIL GRAVEL DRIVEWAY. CONTOUR INTERVAL 1'.
- 2) TREE TYPES ARE INDICATED WHEN KNOWN. TREES ARE LABELED IN INCHES. CENTER OF SYMBOL IS APPROXIMATE CENTER OF TREE. TREES SMALLER THAN 4" ARE NOT SHOWN.
- 3) NOT ALL UNDERGROUND UTILITIES WERE LOCATED. ONLY VISIBLE FACILITIES ABOVE AND FLUSH WITH THE SURFACE ARE SHOWN. SUB-SURFACE UTILITY LINES DRAWN MAY NOT BE COMPLETE AND SHOULD BE VERIFIED BY FIELD RECONNAISSANCE. UNDERGROUND UTILITY LOCATIONS CAN BE OBTAINED FROM THE APPROPRIATE UTILITY COMPANIES, PUBLIC AGENCIES, OWNER'S AS-BUILT DRAWINGS, ETC., AND SHOULD BE THOROUGHLY COMPILED AND DEEMED COMPLETE WITHIN THE PROJECT AREA PRIOR TO ANY SITE DEVELOPMENT DESIGN AND/OR CONSTRUCTION.
- 4) THIS MAP PORTRAYS THE SITE AT THE TIME OF THE SURVEY (03/25/2023) AND DOES NOT SHOW SOILS OR GEOLOGY INFORMATION, UNDERGROUND CONDITIONS, EASEMENTS, ZONING OR REGULATORY INFORMATION OR ANY OTHER ITEMS NOT SPECIFICALLY REQUESTED BY THE PROPERTY OWNER AND/OR THEIR REPRESENTATIVES.



APPROVED BY:
Neal Dickey
NEAL DICKEY P.L.S. No. 8296

NEAL DICKEY
LAND SURVEYING
LAND SURVEYING - ELEVATION CERTIFICATES
AERIAL PHOTOGRAPHY - ALTA - SUBDIVISIONS
9670 POLLOCK LANE, SALINAS, CA 93907
nealdsurvey@gmail.com 831-320-1864

TOPOGRAPHIC MAP
CASANOVA 3SE OF 4TH, OF CARMEL-BY-THE-SEA, CA
LOT 38, CARMEL-BY-THE-SEA ADDITION #3
FOR
LITINGERS

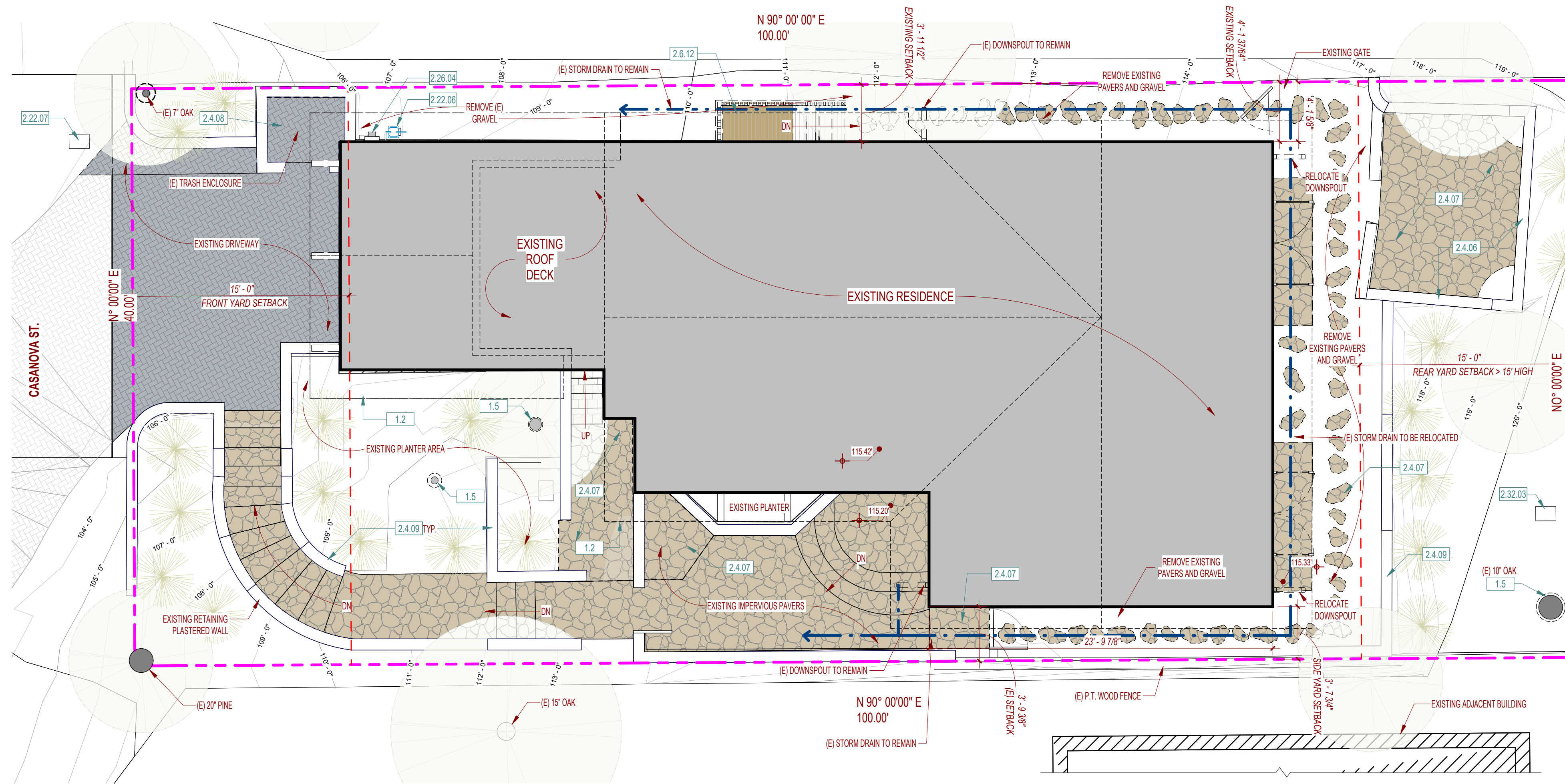
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DATE: MAY 22, 2023
PREPARED: NCD

No.	DATE	BY	REVISION

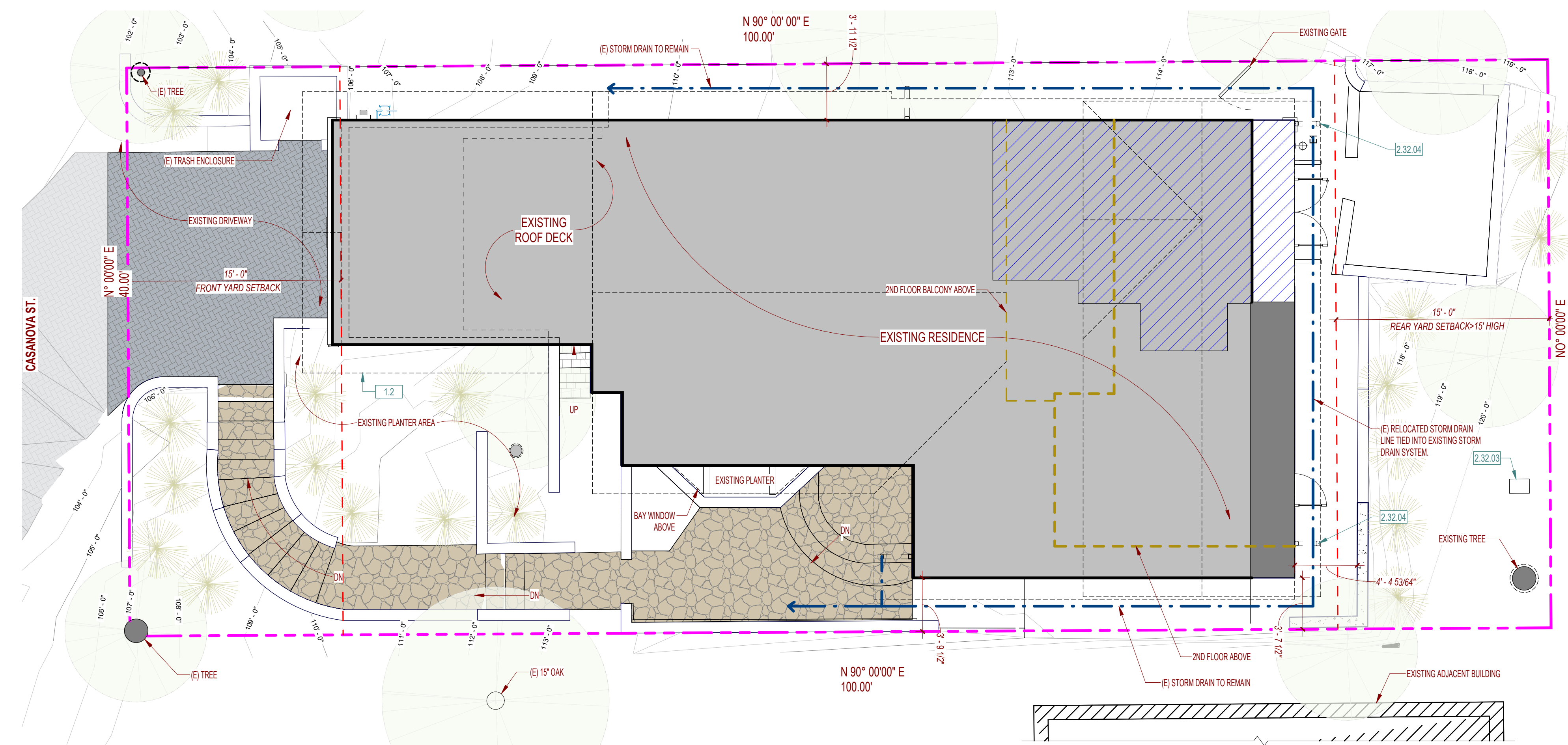
SHEET **1**
OF 1 SHEETS

TREE PROTECTION NOTES

- PRIOR TO GRADING, EXCAVATION, OR CONSTRUCTION, THE DEVELOPER SHALL CLEARLY TAG OR MARK ALL TREES TO BE PRESERVED.
- EXCAVATION WITHIN 6 FEET OF A TREE TRUNK IS NOT PERMITTED.
- NO ATTACHMENTS OR WIRES OF ANY KIND, OTHER THAN THOSE OF A PROTECTIVE NATURE SHALL BE ATTACHED TO ANY TREE.
- PER MUNICIPAL CODE CHAPTER 17.48.110 NO MATERIAL MAY BE STORED WITHIN THE DRIPLINE OF A PROTECTED TREE TO INCLUDE THE DRIP LINES OF TREES ON NEIGHBORING PARCELS.
- TREE PROTECTION ZONE - THE TREE PROTECTION ZONE SHALL BE EQUAL TO DRIPLINE OR 18 INCHES RADIAL FROM THE TREE FOR EVERY ONE INCH OF TRUNK DIAMETER AT 4.5 FEET ABOVE THE SOIL LINE, WHICHEVER IS GREATER. MINIMUM OF 4 FOOT HIGH TRANSPARENT FENCING IS REQUIRED UNLESS OTHERWISE APPROVED BY THE CITY FORESTER. TREE PROTECTION SHALL NOT BE RESIZED, MODIFIED, REMOVED, OR ALTERED IN ANY MANNER WITHOUT WRITTEN APPROVAL. THE FENCING MUST BE MAINTAINED UPRIGHT AND TAUGHT FOR THE DURATION OF THE PROJECT. NO MORE THAN 4 INCHES OF WOOD MULCH SHALL BE INSTALLED WITHIN THE TREE PROTECTION ZONE. WHEN THE TREE PROTECTION ZONE IS AT OR WITHIN THE DRIPLINE, NO LESS THAN 6 INCHES OF WOOD MULCH SHALL BE INSTALLED 18 INCHES RADIAL FROM THE TREE FOR EVERY ONE INCH OF TRUNK DIAMETER AT 4.5 FEET ABOVE THE SOIL LINE OUTSIDE OF FENCING.
- THE STRUCTURAL ROOT ZONE - STRUCTURAL ROOT ZONE SHALL BE 6 FEET FROM THE TRUNK OR 6 INCHES RADIAL FROM THE TREE FOR EVERY ONE INCH OF TRUNK DIAMETER AT 4.5 FEET ABOVE THE SOIL LINE, WHICHEVER IS GREATER. ANY EXCAVATION OR CHANGES TO THE GRADE SHALL BE APPROVED BY THE CITY FORESTER PRIOR TO WORK. EXCAVATION WITHIN THE STRUCTURAL ROOT ZONE SHALL BE PERFORMED WITH PNEUMATIC EXCAVATOR, HYDROVAC AT LOW PRESSURE, OR OTHER METHOD THAT DOES NOT SEVER ROOTS.
- IF ROOTS GREATER THAN 2 INCHES IN DIAMETER OR LARGER ARE ENCOUNTERED WITHIN THE APPROVED STRUCTURAL ROOT ZONE THE CITY FORESTER SHALL BE CONTACTED FOR APPROVAL TO MAKE ANY ROOT CUTS OR ALTERATIONS TO STRUCTURES TO PREVENT ROOTS FROM BEING DAMAGED.
- IF ROOTS LARGER THAN 2 INCHES IN DIAMETER ARE CUT WITHOUT PRIOR CITY FORESTER APPROVAL OR ANY SIGNIFICANT TREE IS ENDANGERED AS A RESULT OF CONSTRUCTION ACTIVITY, THE BUILDING PERMIT WILL BE SUSPENDED AND ALL WORK STOPPED UNTIL AN INVESTIGATION BY THE CITY FORESTER HAS BEEN COMPLETED AND MITIGATION MEASURES HAVE BEEN PUT IN PLACE.



1 EXISTING SITE PLAN / STORM WATER MGMNT PLAN
3/16" = 1'-0"



2 PROPOSED SITE PLAN / STORM WATER MGMNT PLAN
3/16" = 1'-0"

GENERAL NOTES

SITE COVERAGE (EXISTING)			
Name	Area	Hardscape Type	Comments
(E) GRAVEL (TO BE REMOVED)	125 SF	(E) GRAVEL	PERVIOUS
(E) PAVERS WITH GRAVEL (TO BE REMOVED)	425 SF	(E) GRAVEL WITH PAVERS	PERVIOUS
(E) HARDSCAPE	440 SF	(E) HARDSCAPE	IMPERVIOUS
(E) HARDSCAPE TO BE REMOVED	265 SF	(E) HARDSCAPE TO BE REMOVED	IMPERVIOUS
(E) RETAINING WALLS	50 SF	(E) RETAINING WALLS	IMPERVIOUS
(E) DRIVEWAY SANDESET PAVERS	252 SF	(E) SAND SET PAVERS	PERVIOUS
(E) DRIVEWAY SANDESET PAVERS TO BE REMOVED	24 SF	(E) SAND SET PAVERS TO BE REMOVED	PERVIOUS
(E) WOOD DECK & STAIRS (TO BE REMOVED)	23 SF	(E) WOOD DECKING	PERVIOUS
Grand total	1604 SF		

SITE COVERAGE (PROPOSED)			
Name	Area	Hardscape Type	Comments
(E) DRIVEWAY SANDESET PAVERS	237 SF	(E) SAND SET PAVERS	PERVIOUS
(E) HARDSCAPE	442 SF	(E) HARDSCAPE	IMPERVIOUS
(E) RETAINING WALLS	50 SF	(E) RETAINING WALLS	IMPERVIOUS
Grand total	728 SF		

SHEET KEYNOTES

KEYNOTE #	DESCRIPTION
1.2	ROOF ABOVE
1.5	PROVIDE TREE PROTECTION AROUND EXISTING TREES
2.4.06	EXISTING STONE RETAINING WALL TO REMAIN
2.4.07	REMOVE (E) STONE PAVERS
2.4.08	REMOVE (E) BRICK PAVERS
2.4.09	(E) CMU WALL TO REMAIN
2.6.12	REMOVE (E) WOOD DECK
2.22.06	(E) GAS METER
2.22.07	(E) WATER METER
2.26.04	(E) ELECTRICAL METER TO REMAIN
2.32.03	(E) IRRIGATION VAULT
2.32.04	(E) DOWNSPOUT RELOCATED

LEGEND

	EXISTING BUILDING TO REMAIN
	PORTION OF (E) BUILDING TO BE CONVERTED TO ADU
	ADU ADDITION
	PROPOSED 1ST FLOOR ADDITION
	PROPOSED 2ND FLOOR ADDITION ABOVE
	EXISTING IMPERVIOUS PAVERS
	EXISTING SANDESET PERVIOUS PAVERS



SHEET ISSUE

OWNER: **LIONEL & TASHA LINGER**
 Casanova 3 S.E. of 4th,
 Carmel-by-the-sea, CA 93921

LINGER RESIDENCE
 Casanova 3 S.E. of 4th,
 Carmel-by-the-sea, CA 93921

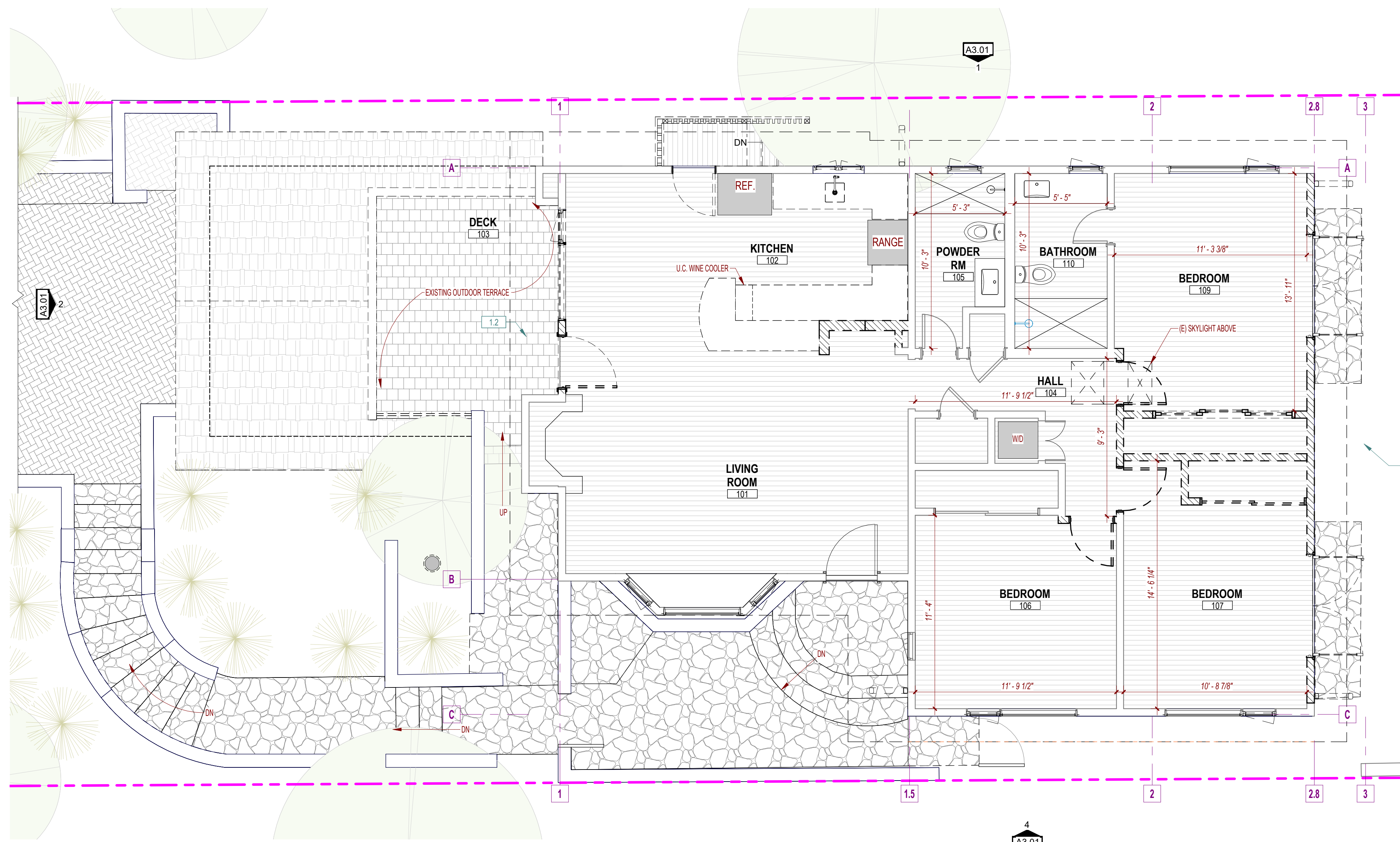
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 Job: 2305

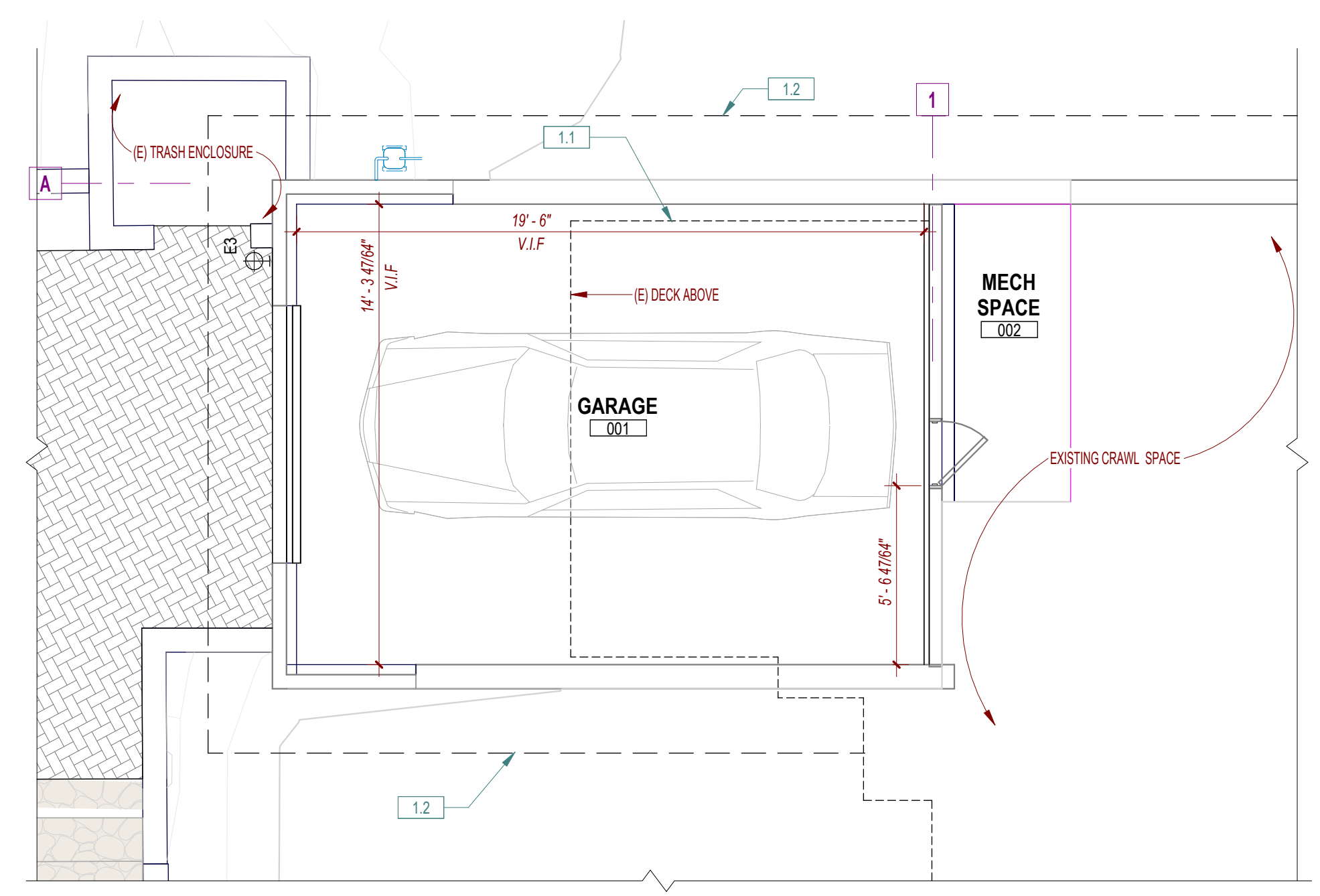
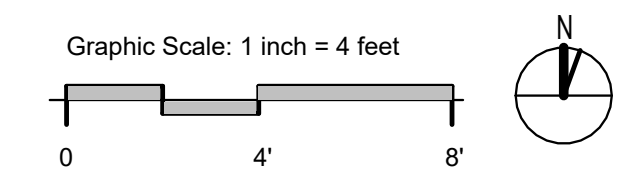
Sheet
**EXISTING/
 PROPOSED SITE
 PLAN**

A1.00

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1 LEVEL 1 - EXISTING/ DEMO PLAN
1/4" = 1'-0"



2 EXISTING GARAGE PLAN
1/4" = 1'-0"

GENERAL NOTES

1. MATERIAL SALVAGE: COORDINATE WITH OWNER PRIOR TO DEMOLITION. REMOVE, PROTECT AND STORE MATERIAL SCHEDULED FOR REUSE AND SALVAGE.
2. SEE STRUCTURAL DRAWINGS FOR DEMOLITION SPECIFIC TO ANY NEW STRUCTURAL WORK.
3. THE ARCHITECT HAS NO KNOWLEDGE OF AND SHALL NOT BE LIABLE FOR ANY ASBESTOS OR OTHER HAZARDOUS MATERIALS ON THE JOB SITE. IF ASBESTOS OR OTHER HAZARDOUS MATERIALS ARE DISCOVERED DURING CONSTRUCTION, THE CONTRACTOR SHALL ISOLATE THE AFFECTED AREA AND CONTACT THE ARCHITECT FOR FURTHER INSTRUCTIONS BEFORE PROCEEDING.
4. REPAIR ALL DEMOLITION PERFORMED, IN EXCESS OF THAT REQUIRED, AT NO ADDITIONAL COST TO THE OWNER.
5. REMOVE FROM SITE AND LEGALLY DISPOSE OF DAILY ALL REFUSE, DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM DEMOLITION OPERATIONS. BURNING OF DEBRIS ON SITE SHALL NOT BE PERMITTED.
6. REMOVE TOOLS AND EQUIPMENT FROM SITE UPON COMPLETION OF WORK. LEAVE CONTRACT AREAS AND SITE CLEAN, ORDERLY AND IN A CONDITION ACCEPTABLE FOR NEW OR OTHER CONSTRUCTION.
7. THE CONTRACTOR IS RESPONSIBLE FOR ALL TEMPORARY BRACING /SHORING.

Lx
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SHEET KEYNOTES

KEYNOTE #	DESCRIPTION
1.1	FLOOR ABOVE
1.2	ROOF ABOVE

REVISION #	DESCRIPTION

LEGEND

- EXISTING WALL TO REMAIN
- EXISTING DOOR TO REMAIN
- EXISTING WALL TO BE DEMOLISHED
- EXISTING DOOR TO BE DEMOLISHED

OWNER:
LIONEL & TASHA LINGER
Casanova 3 S.E. of 4th,
Carmel-by-the-sea, CA 93921

LINGER RESIDENCE
Casanova 3 S.E. of 4th,
Carmel-by-the-sea, CA 93921














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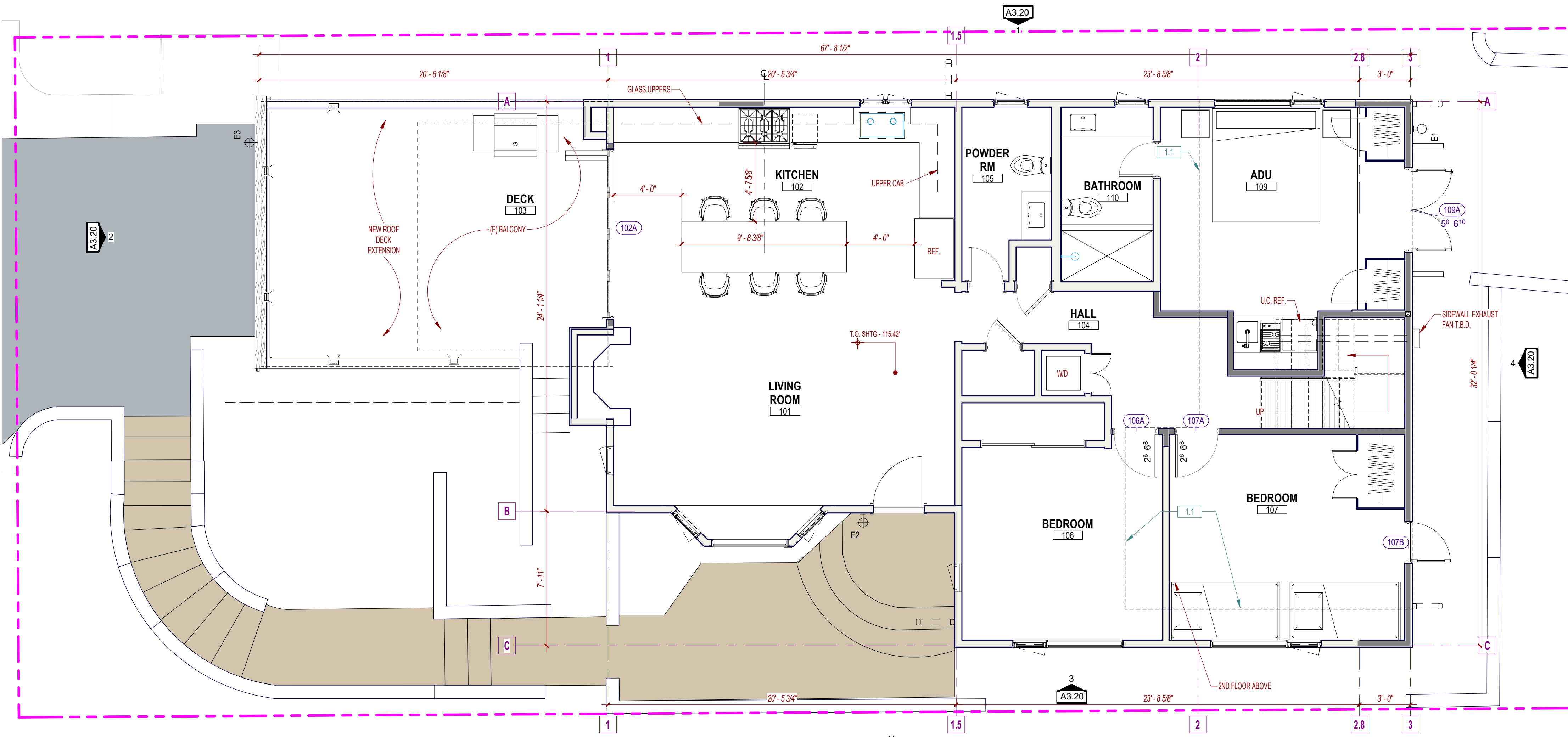
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Job: 2305

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EXISTING/ DEMOLITION PLAN
A2.01

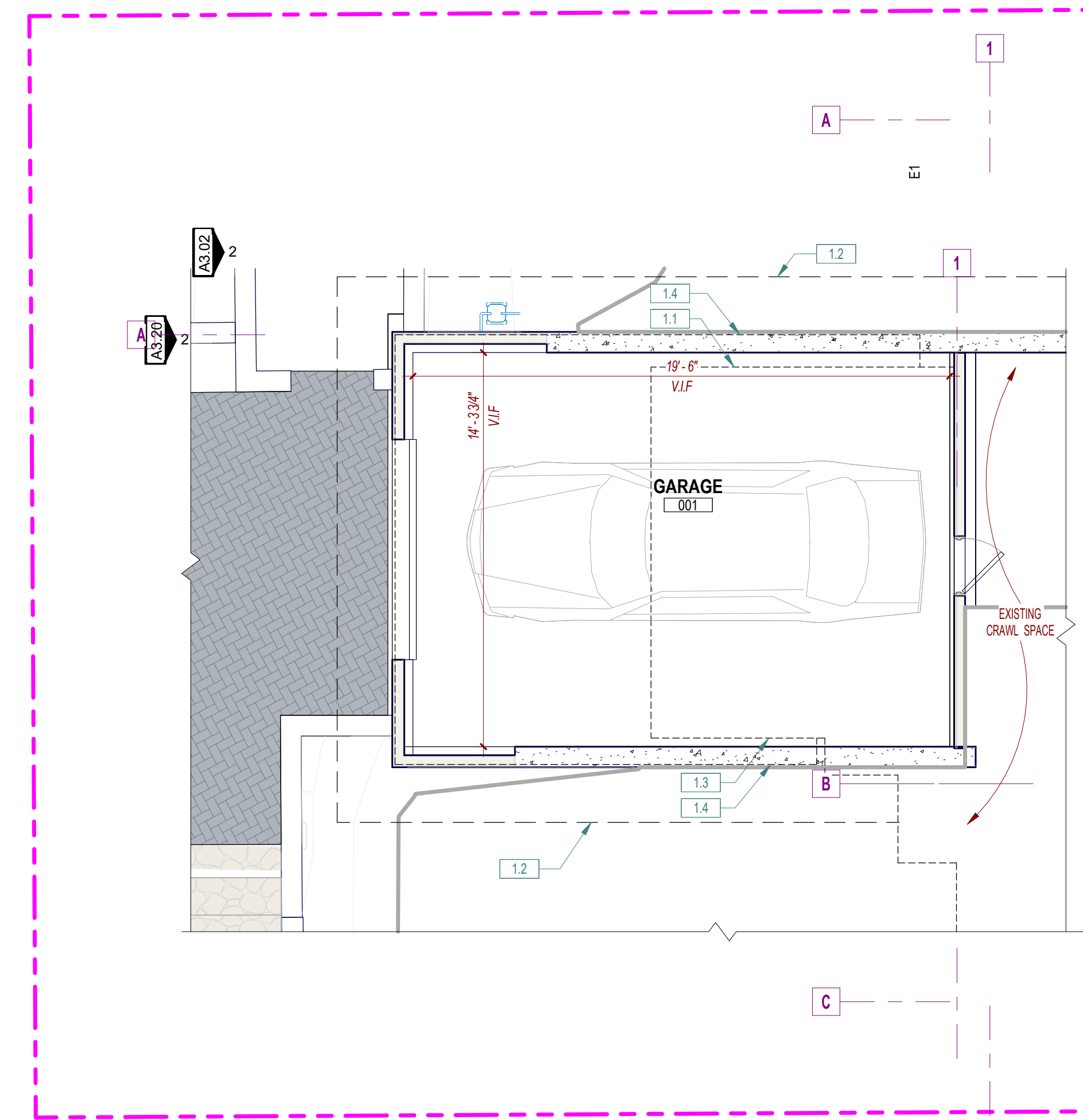
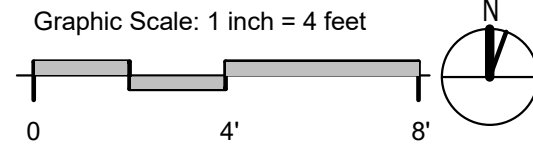
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Electrical Symbols - Power

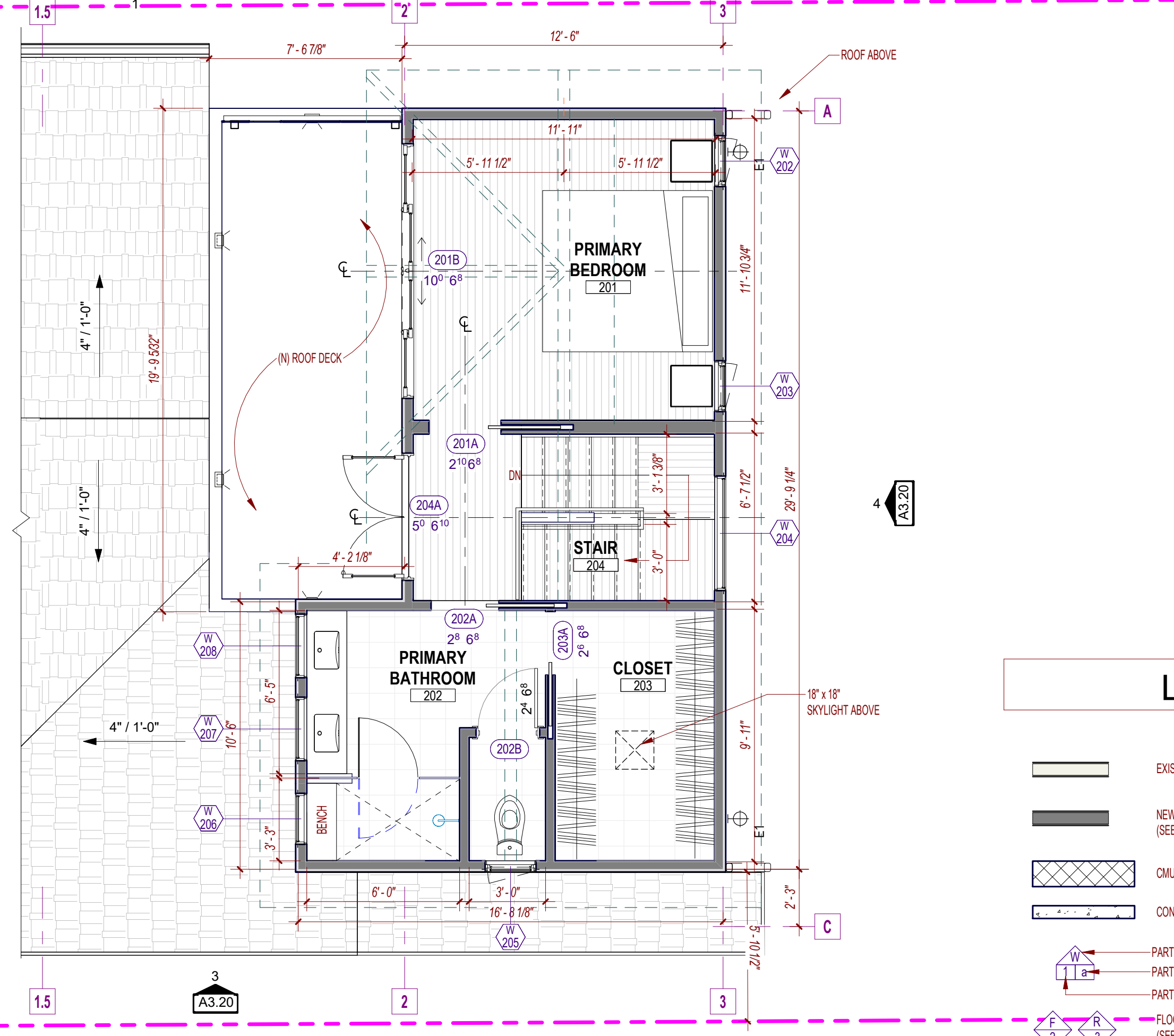
-  DUAL CATRE / TELEPHONE JACK
-  CABLE TV JACK
-  FLOOR OUTLET / TAMPER RESISTANT
-  DEDICATED OUTLET - VERIFY W/ EQUIP. MFG. TAMPER RESISTANT
-  DEDICATED 220V - 30A CIRCUIT FOR DRYER
-  SMOKE DETECTOR
-  CARBON MONOXIDE DETECTOR
-  TAMPER RESISTANT DUPLEX OUTLET
-  GROUND FAULT CIRCUIT INTERRUPT OUTLET / TAMPER RESISTANT
-  GROUND FAULT CIRCUIT INTERRUPT OUTLET / TAMPER RESISTANT
-  WATER PROOF EXTERIOR OUTLET / GFCI TAMPER RESISTANT
-  SWITCHED OUTLET / TAMPER RESISTANT
-  POWER STRIP - APT SERIES BY TASK LIGHTING (WHITE) WITH TAMPER-RESISTANT RECEPTACLES AT 18" O.C. - CONNECT TO GFCI CIRCUIT.



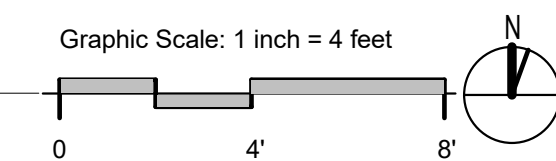
1 LEVEL 1 - PROPOSED
1/4" = 1'-0"



3 GARAGE LEVEL - PROPOSED
1/4" = 1'-0"



2 LEVEL 2 - PROPOSED
1/4" = 1'-0"













GENERAL NOTES

1. ALL DIMENSIONS ARE FROM GRD LINES, FACE OF MASONRY AND FACE OF STUD UON. MASONRY DIMENSIONS ARE NOMINAL.
2. SEE SHEET G1.1 FOR PLUMBING, ELECTRICAL AND MECHANICAL NOTES.
3. DOOR OPENINGS WITHIN STUD PARTITIONS SHALL BE LOCATED WITH THE HINGE SIDE 4" FROM THE FINISH FACE OF ADJACENT PARTITION, UON.
4. PARTITION TYPES CONTINUE AT OPENINGS AND AROUND CORNERS UON.
5. CONSTRUCTION DOCUMENTS SHALL NOT BE SCALED. DRAWING SCALES AS INDICATED ARE FOR REFERENCE ONLY AND ARE NOT INTENDED TO ACCURATELY DENOT ACTUAL OR DESIGNATED CONDITIONS. ONLY WRITTEN DIMENSIONS SHALL GOVERN. THE ARCHITECT SHALL BE NOTIFIED IN WRITING OF ANY DIMENSIONS THAT ARE IN QUESTION OR THAT ARE REQUIRED TO PROPERLY LAYOUT THE WORK. DO NOT PROCEED WITH WORK IN THE AREA OF A DISCREPANCY OR CONFLICT UNTIL ARCHITECT GIVES DIRECTION. IF THE CONTRACTOR PROCEEDS WITHOUT DIRECTION FROM ARCHITECT, IT SHALL BE AT CONTRACTORS RISK AND CONTRACTOR SHALL BE RESPONSIBLE FOR ALL REQUIRED CORRECTIVE ACTION WITH NO ADDITIONAL COST TO THE OWNER.
6. ALIGNMENT OF PARTITIONS AND FINISHES, AS SCHEDULED, SHALL BE STRAIGHT, TRUE AND PLUMB, U.O.N.
7. UNMARKED PARTITIONS SHALL MATCH ADJACENT TYPES.
8. FOR LIGHTING AND LIGHTING CONTROL, SEE REFLECTED CEILING PLAN.
9. SMOKE ALARMS SHALL BE INSTALLED IN EACH SLEEPING ROOM, AND OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS, AND ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS AND HABITABLE ATTICS AS REQUIRED BY SECTION R314.3 OF THE 2016 CALIFORNIA RESIDENTIAL CODE (CRC) AND SECTION 907.2.11.2 OF THE 2013 CALIFORNIA BUILDING CODE (CBC) AND THE CALIFORNIA HEALTH AND SAFETY CODE SECTION 13113.7.
10. CARBON MONOXIDE ALARMS SHALL BE INSTALLED OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS, AND ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS AS REQUIRED BY SECTION R315.2 OF THE 2016 CALIFORNIA RESIDENTIAL CODE (CRC) AND SECTION 420.6 OF THE 2016 CALIFORNIA BUILDING CODE (CBC). * MULTI-PURPOSE ALARMS (COMBINATION CARBON MONOXIDE AND SMOKE ALARMS) MAY BE USED.

SHEET KEYNOTES

KEYNOTE #	DESCRIPTION
1.1	FLOOR ABOVE
1.2	ROOF ABOVE
1.3	EXISTING DECK ABOVE
1.4	PROPOSED DECK ABOVE

LEGEND

-  EXISTING STUD WALL TO REMAIN (RENOVATION PROJECTS ONLY)
-  NEW WALL - SEE WALL / PARTITION TYPES (SEE SHEET A0.1 SERIES SHEETS)
-  CMU WALL
-  CONCRETE WALL
-  PARTITION WALL ASSEMBLY INDICATOR - (SEE A0.10 SERIES SHEETS)
-  PARTITION WALL MODIFIER
-  PARTITION WALL TYPE
-  FLOOR/ ROOF ASSEMBLY TAG (SEE SHEET A0.1 SERIES SHEETS)
-  DOOR TAG (SEE A6 SERIES SHEETS)
-  WINDOW TAG (SEE A6 SERIES SHEETS)



SHEET ISSUE

REVISION #

OWNER:
LIONEL & TASHA LINGER
Casanova 3 S.E. of 4th,
Carmel-by-the-sea, CA, 93921

LINGER RESIDENCE
Casanova 3 S.E. of 4th,
Carmel-by-the-sea, CA, 93921

PLANNING SUBMITTAL

Scale: As indicated
Job: 2305

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PROPOSED 1ST & 2ND FLOOR PLAN

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GENERAL NOTES



Design Studio

ARCHITECTURE + PLANNING

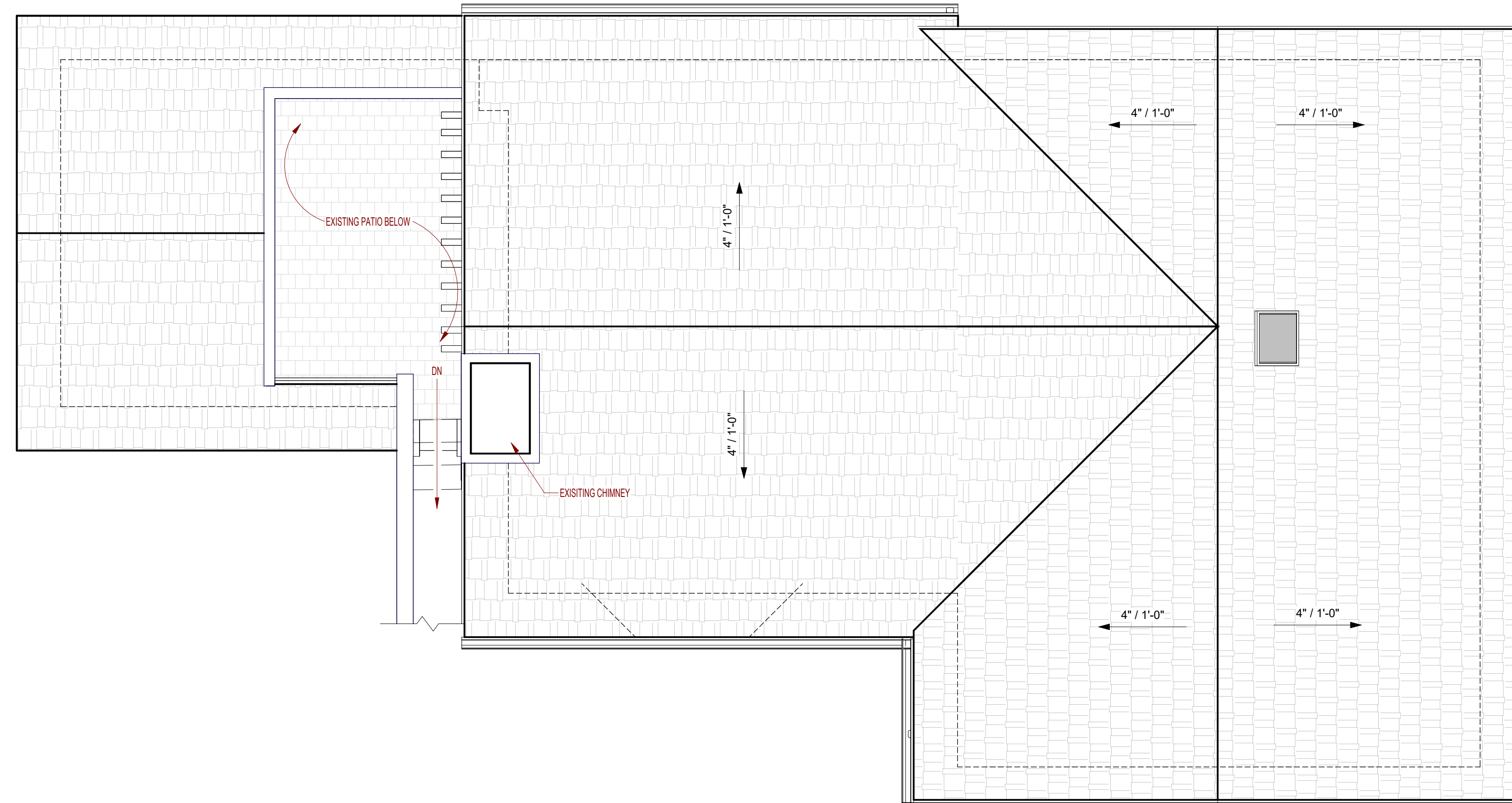
3771 Rio Road - Suite 101A
Carmel CA 93923
(PH) 206.427.3539
lxdesignstudio.com



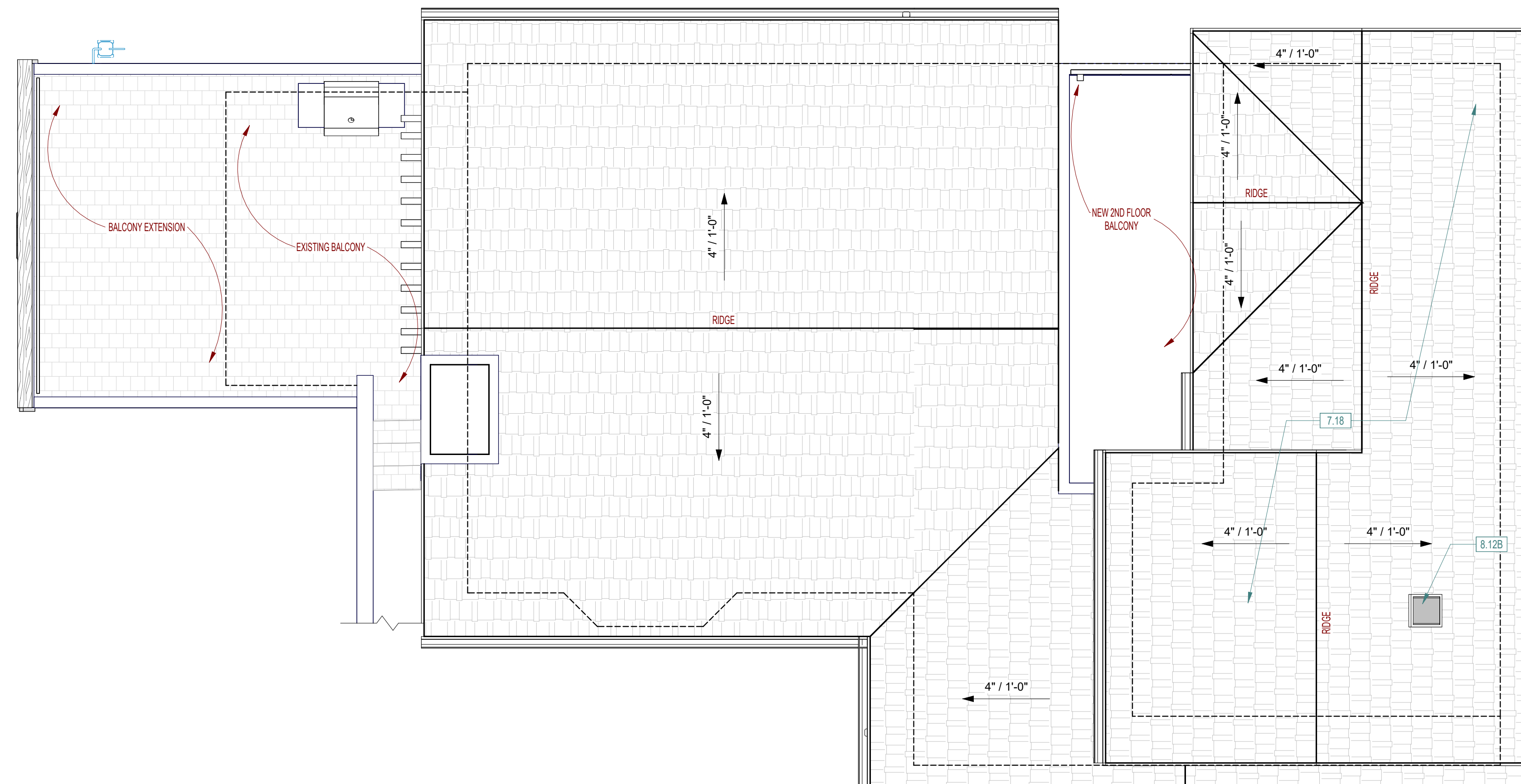
SHEET ISSUE

SHEET KEYNOTES

KEYNOTE #	DESCRIPTION
7.18	NEW CLASS A CEDAR ROOF SHINGLES
8.128	SKYLIGHT (OPERABLE) WITH AUTOMATIC INTERIOR SHADE BY VELLUX SKYLIGHTS



2 EXISTING ROOF PLAN
1/4" = 1'-0"



1 PROPOSED ROOF PLAN
1/4" = 1'-0"

LEGEND

REVISION #

OWNER:
LIONEL & TASHA LINGER

Casanova 3 S.E. of 4th,
Carmel-by-the-sea, CA 93921

LINGER RESIDENCE

Casanova 3 S.E. of 4th,
Carmel-by-the-sea, CA 93921

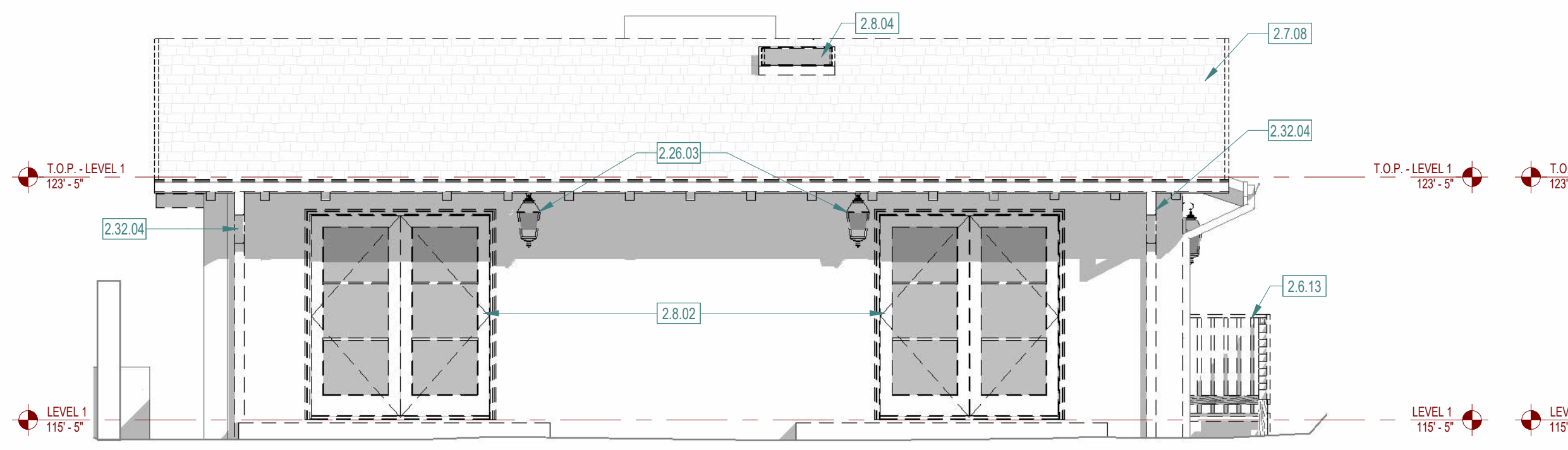
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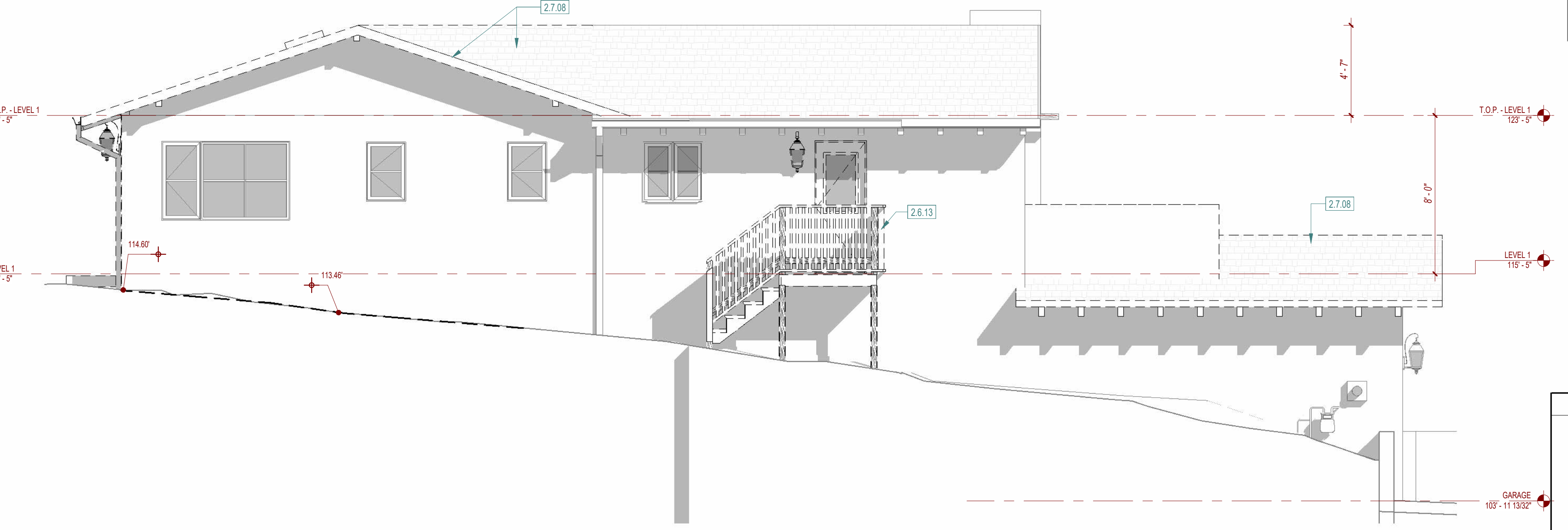
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EXISTING & PROPOSED
ROOF PLAN

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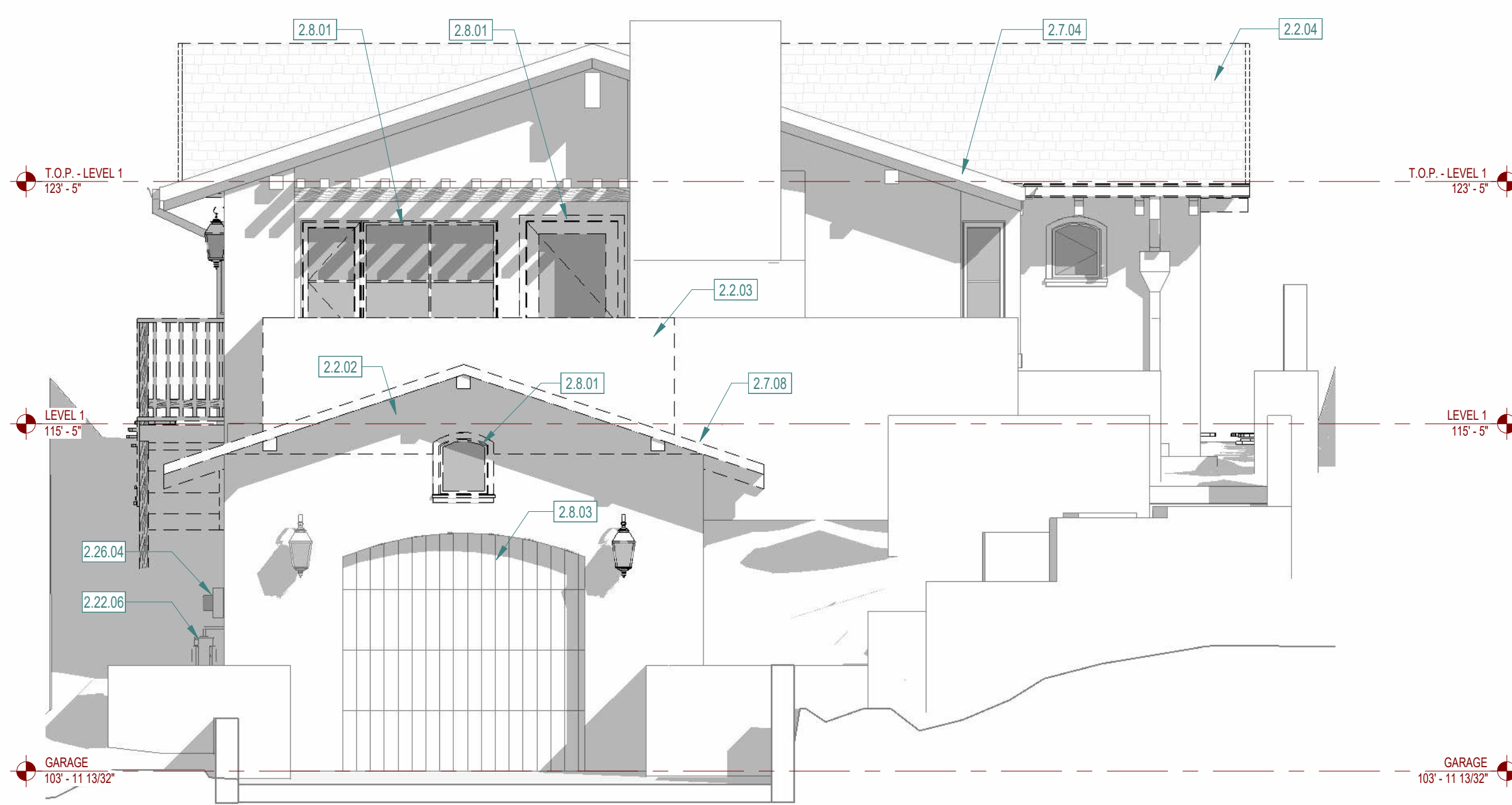
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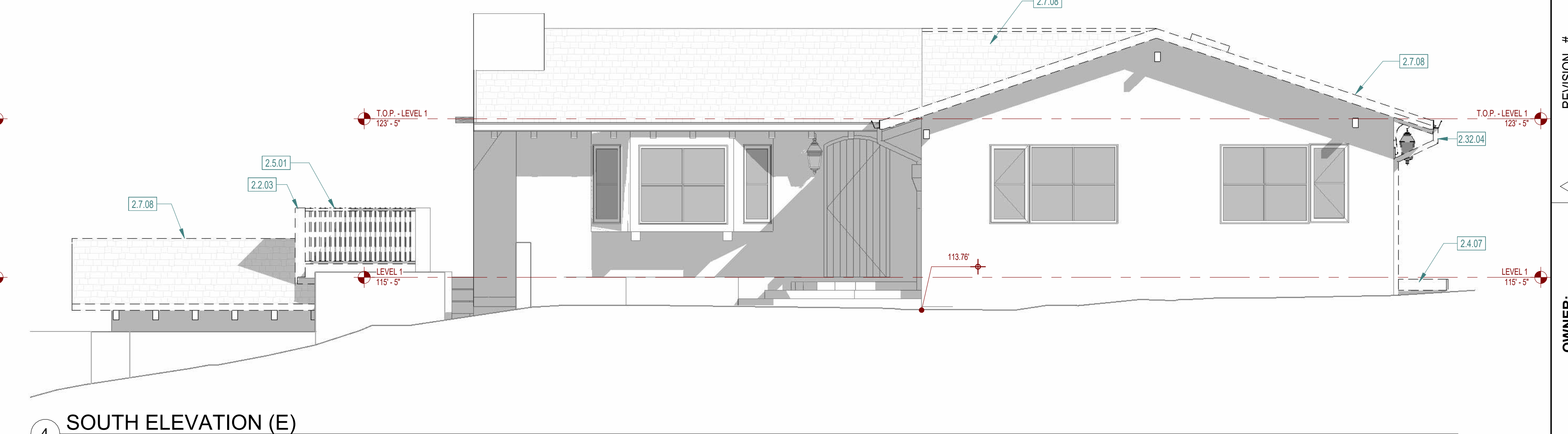
3 EAST ELEVATION (E)
1/4" = 1'-0"



1 NORTH ELEVATION (E)
1/4" = 1'-0"



2 WEST ELEVATION (E)
1/4" = 1'-0"



4 SOUTH ELEVATION (E)
1/4" = 1'-0"

SHEET KEYNOTES

KEYNOTE #	DESCRIPTION
2.2.02	REMOVE PORTION OF EXISTING WALL
2.2.03	REMOVE (E) WALL
2.2.04	REMOVE (E) ROOF STRUCTURE
2.4.07	REMOVE (E) STONE PAVERS
2.5.01	REMOVE (E) GUARDRAIL
2.6.13	REMOVE (E) WOOD STAIRS
2.7.04	(E) ROOF TO REMAIN
2.7.08	REMOVE PORTION OF (E) ROOF
2.8.01	REMOVE (E) WINDOW OR DOOR AND ASSOCIATED FRAME
2.8.02	REMOVE DOOR AND FRAME AND RE-INSTALL IN NEW LOCATION
2.8.03	(E) DOOR / WINDOW TO REMAIN
2.8.04	REMOVE (E) SKYLIGHT
2.22.06	(E) GAS METER
2.26.03	REMOVE (E) LIGHT FIXTURES AND FANS
2.26.04	(E) ELECTRICAL METER TO REMAIN
2.32.04	(E) DOWNSPOUT RELOCATED

SHEET ISSUE

REVISION #

OWNER:
LIONEL & TASHA LINGER

Cesarona 3 S.E. of 4th,
Carmel-by-the-sea, CA 93921

LINGER RESIDENCE

Cesarona 3 S.E. of 4th,
Carmel-by-the-sea, CA 93921

PLANNING SUBMITTAL

Scale: 1/4" = 1'-0"
Job: 2305

Sheet
EXISTING
EXTERIOR
ELEVATIONS

A3.01

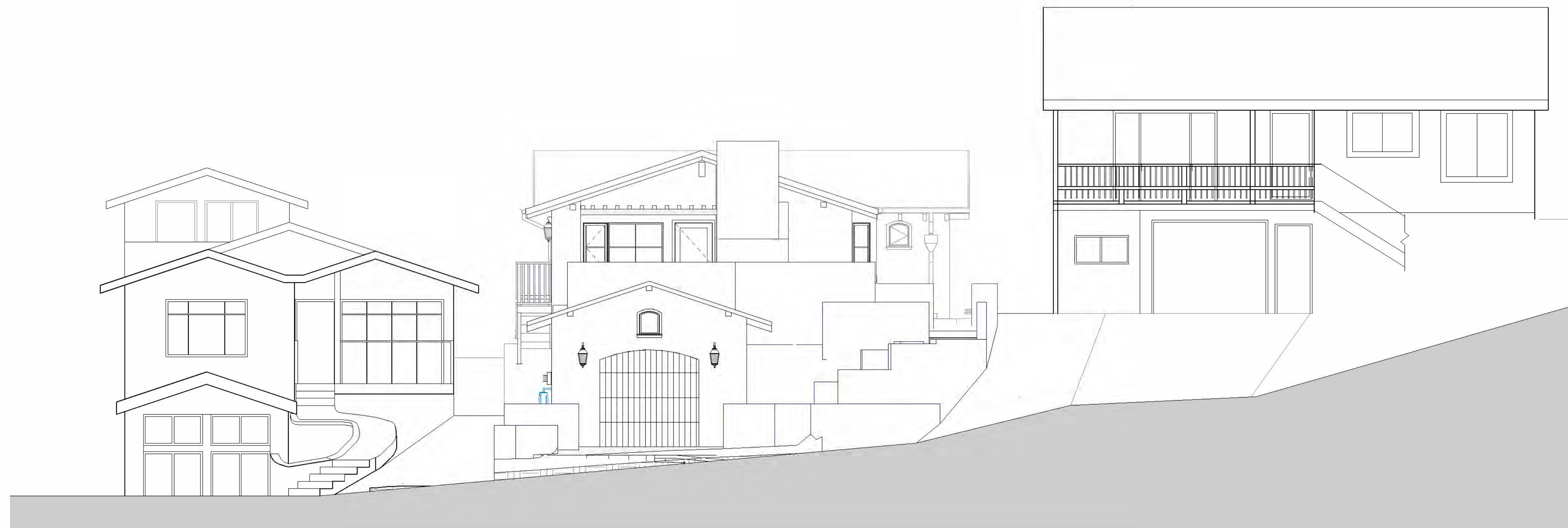
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1 EXISTING STREET ELEVATION
3/16" = 1'-0"



2 PROPOSED STREET ELEVATION
3/16" = 1'-0"

SHEET ISSUE

REVISION #

OWNER:
LIONEL & TASHA LINGER

Casanova 3 S.E. of 4th,
Carmel-by-the-sea, CA 93921

LINGER RESIDENCE

Casanova 3 S.E. of 4th,
Carmel-by-the-sea, CA 93921

PLANNING SUBMITTAL

Scale: 3/16" = 1'-0"

Job: 2305

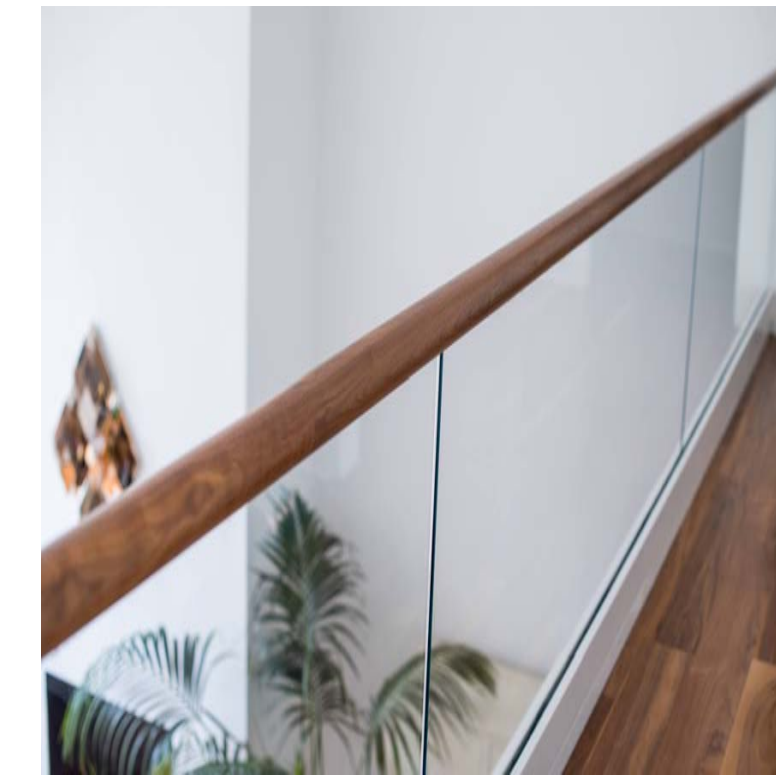
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STREET
ELEVATIONS

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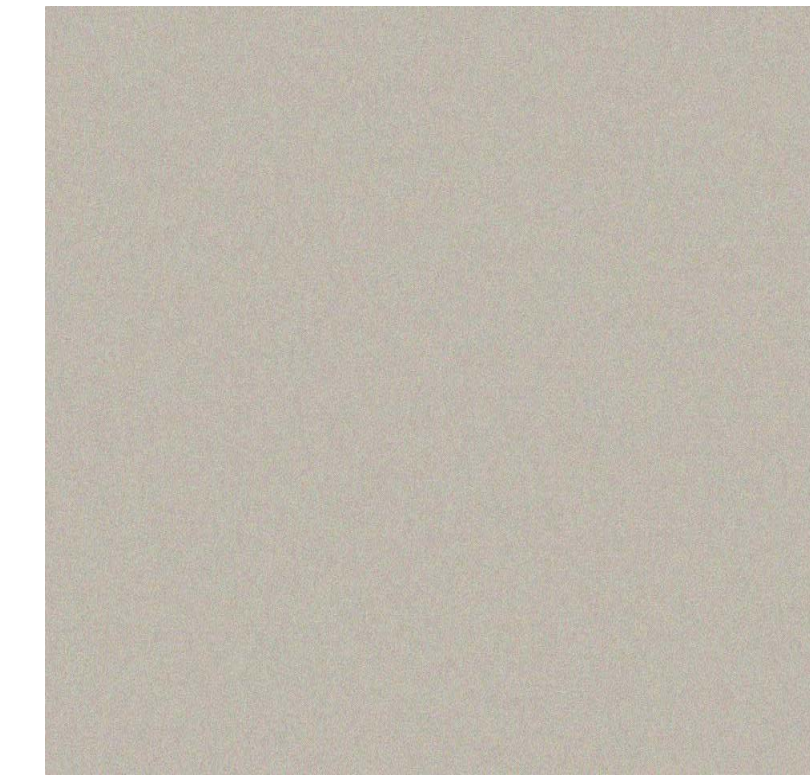
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1 VIEW LOOKING EAST
12" = 1'-0"



5.16 GLASS GUARDRAIL WITH WOOD CAP



9.9 EXTERIOR PLASTER - COLOR TO MATCH EXISTING



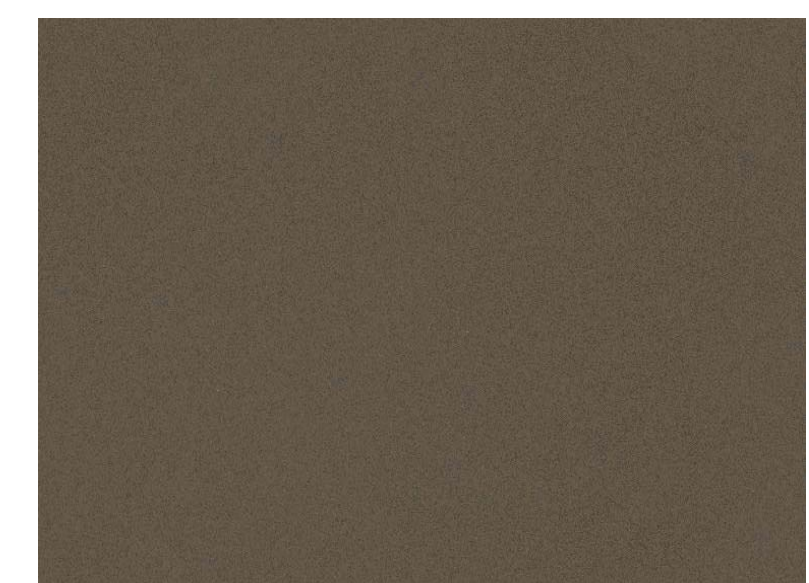
6.37 - STAINED WOOD - TO MATCH EXISTING



7.18 - FIRE TREATED CEDAR SHINGLES TO MATCH EXISTING



8.25 - WOOD WINDOWS AND DOORS - PAINTED TO MATCH EXISTING



9.18 - PAINTED PVC FASCIA BOARD COLOR DARK BRONZE TO MATCH EXISTING



2 VIEW LOOKING SOUTH EAST
12" = 1'-0"



SHEET ISSUE

REVISION #

OWNER:
LIONEL & TASHA LINGER

Casanova 3 S.E. of 4th,
Carmel-by-the-sea, CA, 93921

LINGER RESIDENCE

Casanova 3 S.E. of 4th,
Carmel-by-the-sea, CA, 93921

PLANNING SUBMITTAL

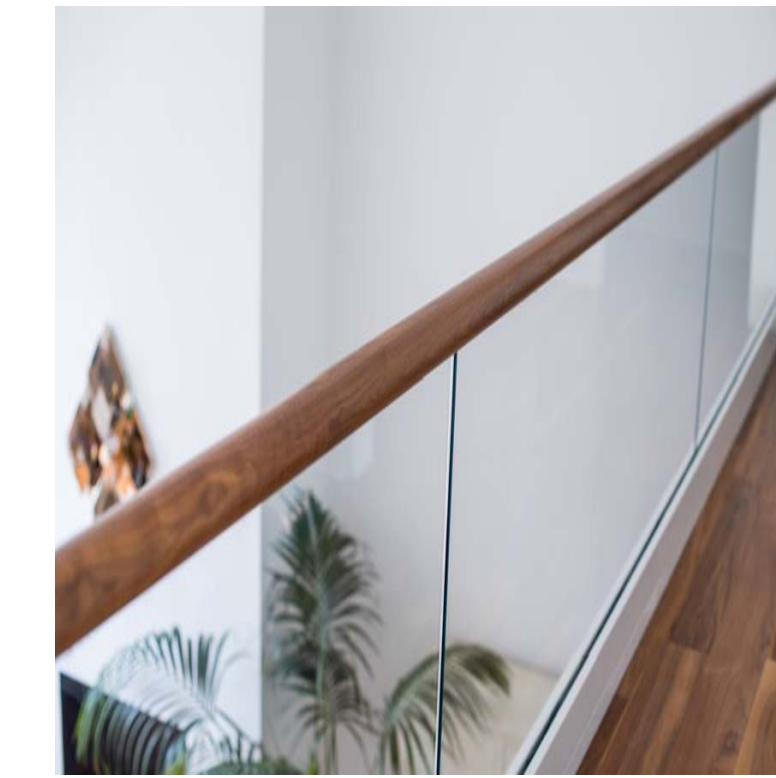
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Job: 2305

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MATERIAL
PALLETTE

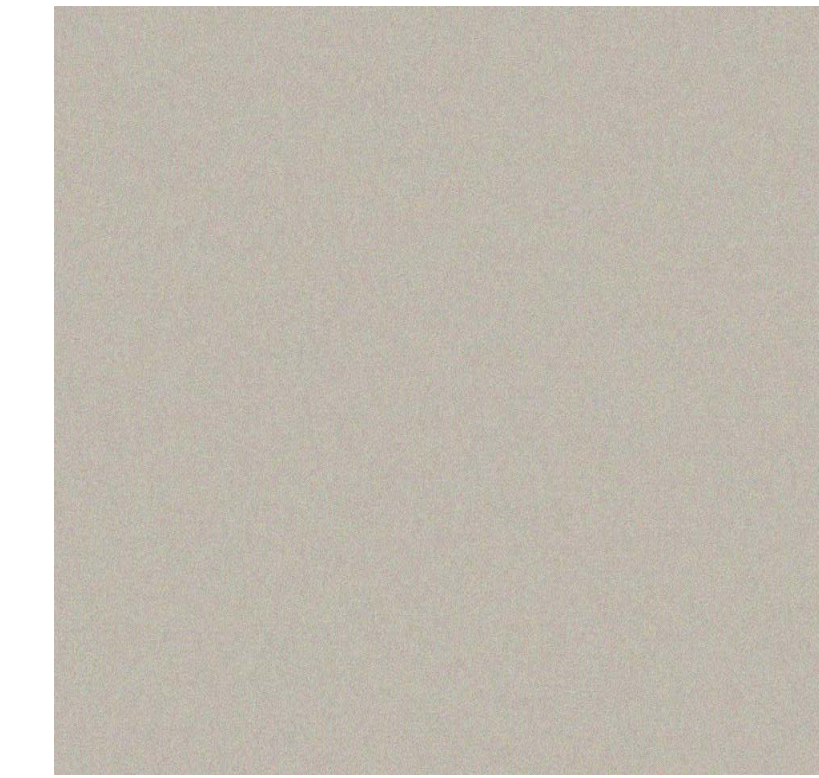
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1/29/2024 3:15:20 PM



1 VIEW LOOKING NORTH EAST
12" = 1'-0"



5.16 GLASS GUARDRAIL WITH WOOD CAP



9.9 EXTERIOR PLASTER - COLOR TO MATCH EXISTING



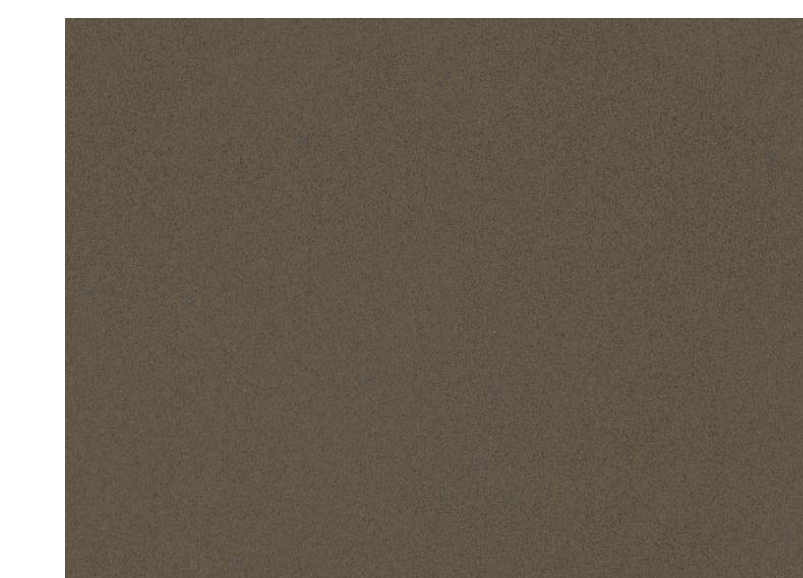
6.37 - STAINED WOOD - TO MATCH EXISTING



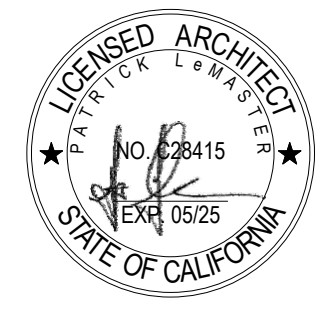
7.18 - FIRE TREATED CEDAR SHINGLES TO MATCH EXISTING



8.25 - WOOD WINDOWS AND DOORS - PAINTED TO MATCH EXISTING



9.18 - PAINTED PVC FASCIA BOARD COLOR DARK BRONZE TO MATCH EXISTING



SHEET ISSUE

REVISION #

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Carmel-by-the-sea, CA, 93921

LINGER RESIDENCE

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Carmel-by-the-sea, CA, 93921

PLANNING SUBMITTAL

Scale: 12" = 1'-0"
Job: 2305

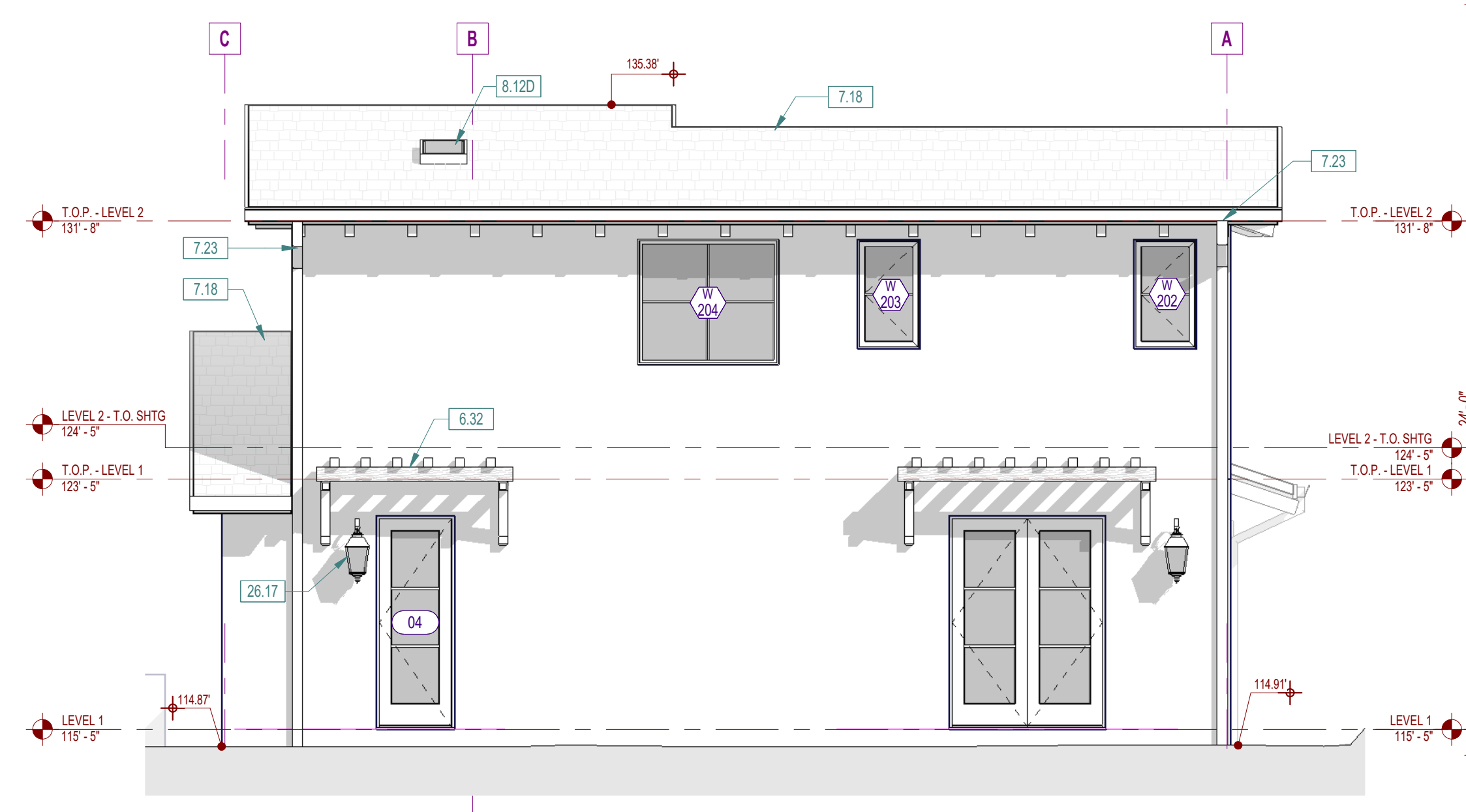
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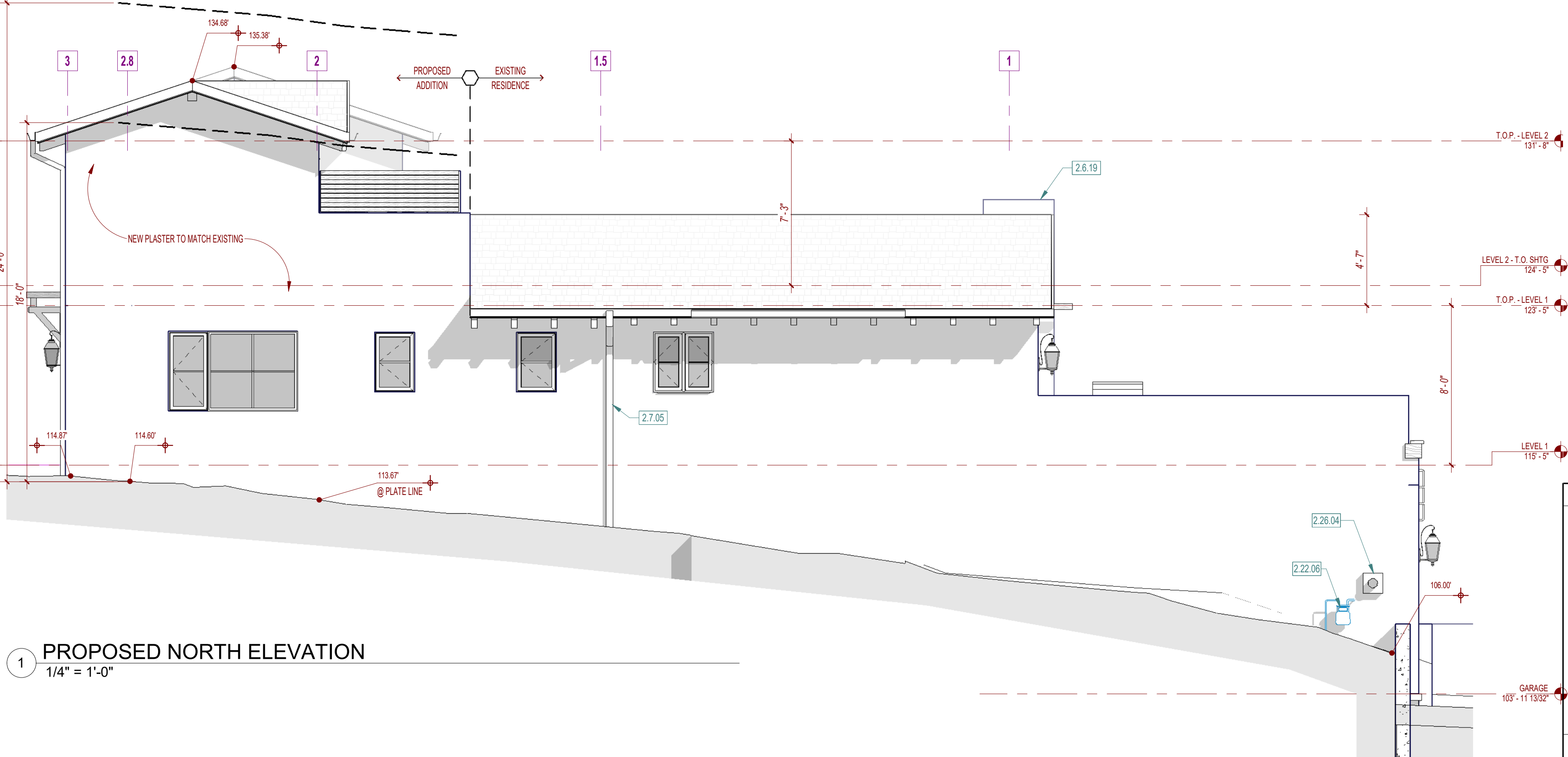
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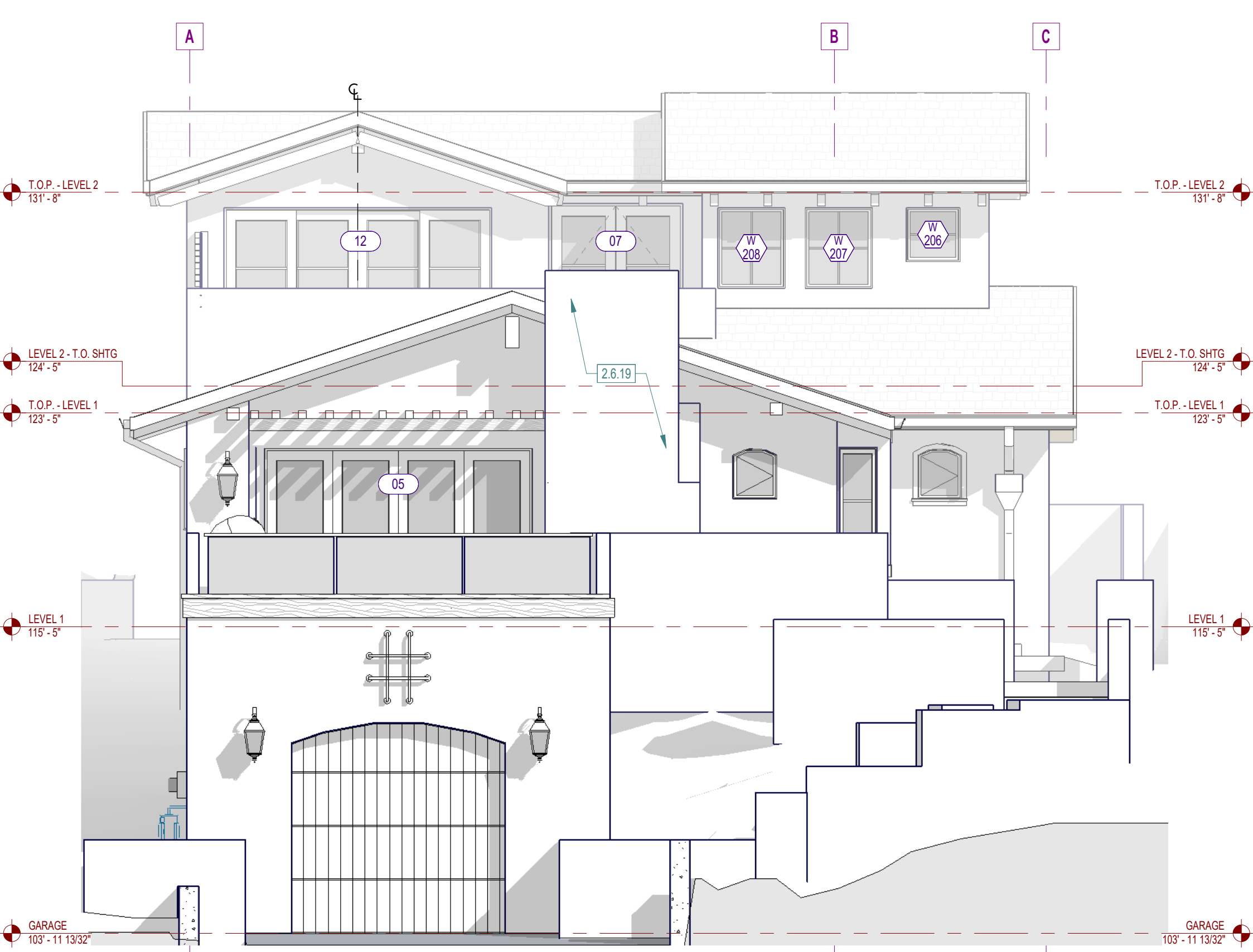
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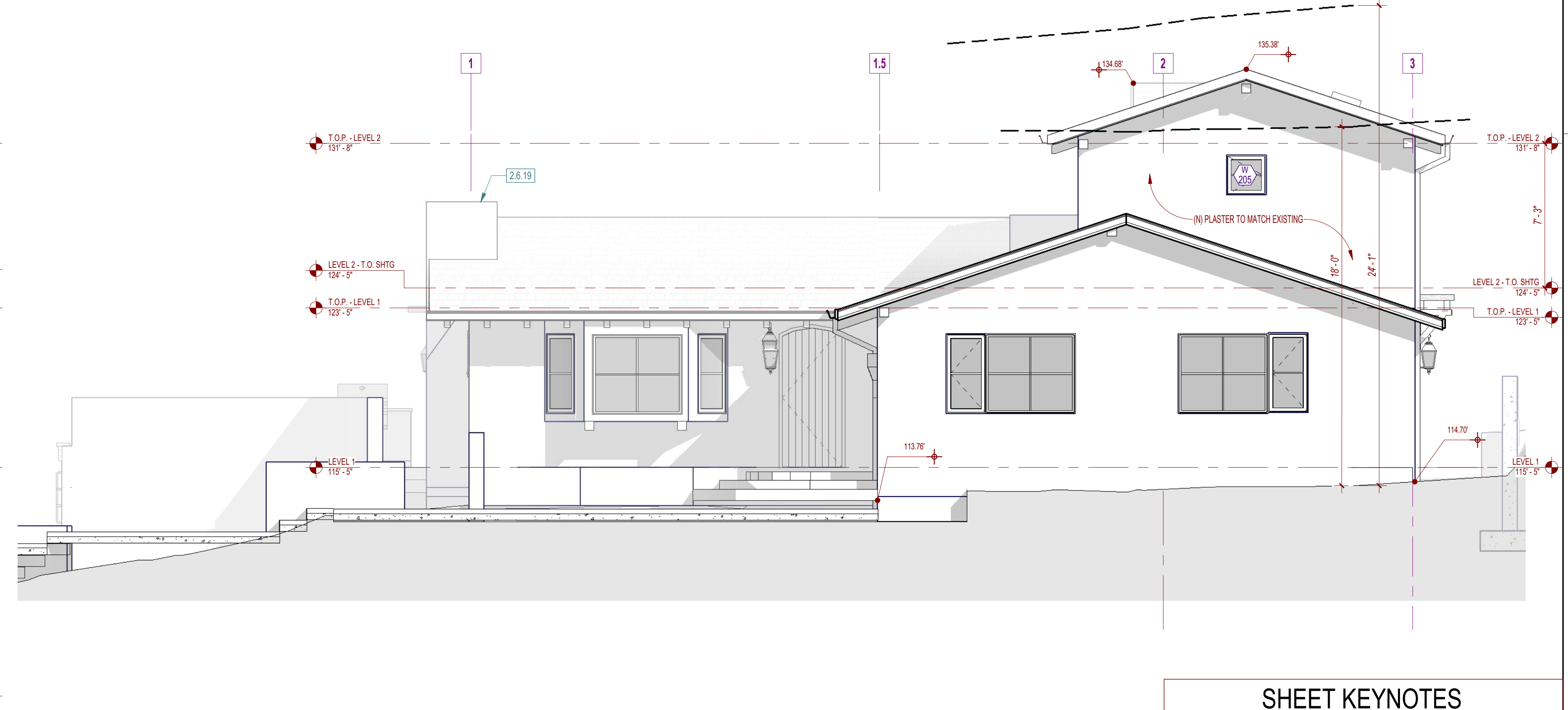
4 PROPOSED EAST ELEVATION - OPTION A
1/4" = 1'-0"



1 PROPOSED NORTH ELEVATION
1/4" = 1'-0"



2 PROPOSED WEST ELEVATION - OPTION A
1/4" = 1'-0"



3 PROPOSED SOUTH ELEVATION - OPTION A
1/4" = 1'-0"

SHEET KEYNOTES

KEYNOTE #	DESCRIPTION
2.6.19	(E) CHIMNEY TO REMAIN
2.7.05	(E) ROOF DOWNSPOUT TO REMAIN
2.22.06	(E) GAS METER
2.26.04	(E) ELECTRICAL METER TO REMAIN
6.32	
7.18	NEW CLASS A CEDAR ROOF SHINGLES
7.23	NEW DARK BRONZE ALUMINUM GLITTER AND DOWNSPOUTS
8.12D	FLAT SKYLIGHT (FIXED) WITH NON-REFLECTIVE GLASS
26.17	NEW EXTERIOR LIGHT FIXTURE - CONNECT TO EXISTING EXTERIOR LIGHTING CONTROLS

REVISION #

OWNER:
LIONEL & TASHA LINGER

LINGER RESIDENCE

PLANNING SUBMITTAL

Scale: 1/4" = 1'-0"
Job: 2305

Sheet
PROPOSED EXTERIOR ELEVATIONS

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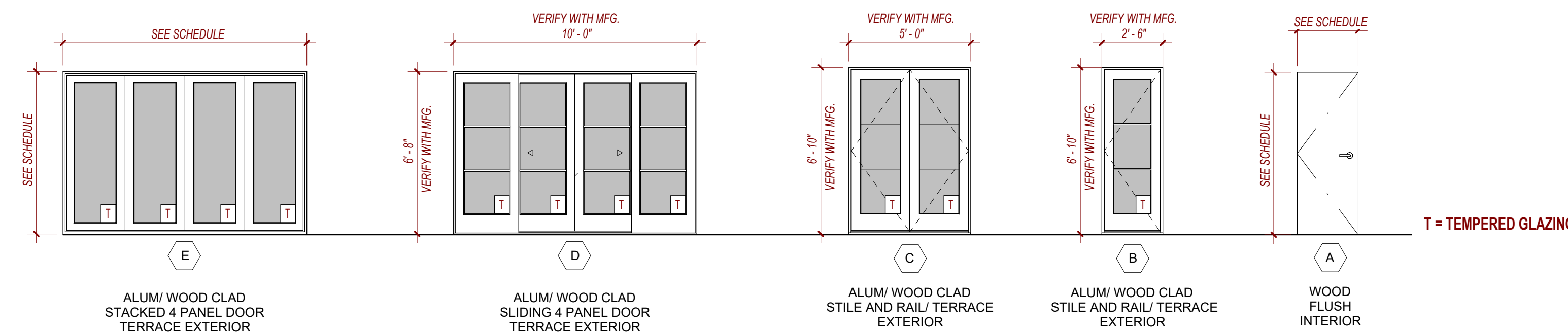
WINDOW NOTES:

- WINDOWS ARE BY: MARVIN WINDOWS
GLAZING: HEAT SMART DOUBLE 366 - DUAL GLAZED
MTL: WOOD / PAINTED TO MATCH EXISTING
- CONTRACTOR TO VERIFY ROUGH OPENING DIMENSIONS WITH ON SITE FIELD CONDITIONS PRIOR TO ORDERING WINDOWS.
- ALL DIMENSIONS ARE GIVEN FOR OVERALL FRAME SIZE
- ALL HEAD HEIGHTS TO ALIGN WHERE POSSIBLE
- GLAZING SHALL BE TEMPERED IN AN INDIVIDUAL FIXED OR OPERABLE PANEL THAT MEETS ALL OF THE FOLLOWING CONDITIONS:
(A) THE EXPOSED AREA OF AN INDIVIDUAL PANE IS LARGER THAN 9 SQUARE FEET; AND
(B) THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 18 INCHES ABOVE THE FLOOR; AND
(C) THE TOP EDGE OF THE GLAZING IS MORE THAN 36 INCHES ABOVE THE FLOOR; AND
(D) ONE OR MORE WALKING SURFACES ARE WITHIN 36 INCHES, MEASURED HORIZONTALLY AND IN A STRAIGHT LINE OF THE GLAZING
- GLAZING SHALL BE TEMPERED IN AN INDIVIDUAL FIXED OR OPERABLE PANEL ADJACENT TO A DOOR WHERE THE NEAREST VERTICAL EDGE IS WITHIN A 24-INCH ARC OF THE DOOR IN A CLOSED POSITION AND WHOSE BOTTOM EDGE IS LESS THAN 60 INCHES ABOVE THE FLOOR OR WALKING SURFACE.
- CONTRACTOR SHALL PROVIDE SHOP DRAWINGS TO ARCHITECT FOR APPROVAL PRIOR TO ORDERING DOORS AND WINDOWS.
- ALL WINDOWS TO BE DUAL GLAZED - THERMAL SPACER- DARK BRONZE OR BLACK COLOR.

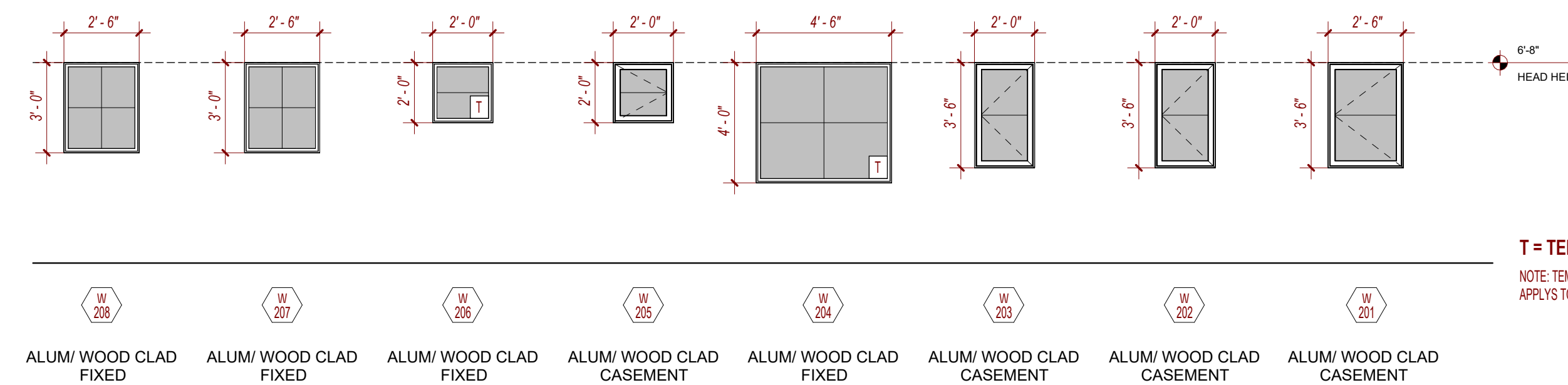
DOOR SCHEDULE 1													
DOOR NO.	ORIENTATION		DOOR			Fire Rating	DOOR TYPE	DOOR MTL	DOOR FINISH	FRAME MTL.	FRAME FINISH	HRDW GROUP	COMMENTS
	FROM ROOM NAME	TO ROOM NAME	WIDTH	HEIGHT	THICK								
102A	DECK	KITCHEN	10' - 0"	6' - 8"	0' - 1 3/4"		E	ALUM/ WD	PAINTED	WD CLAD	PAINTED		
106A	HALL	BEDROOM	2' - 6"	6' - 8"	0' - 1 3/8"	-	A	WD	PAINTED	WD	PAINTED		
107A	HALL	BEDROOM	2' - 6"	6' - 8"	0' - 1 3/8"	-	A	WD	PAINTED	WD	PAINTED		
107B	BEDROOM	EXTERIOR	2' - 6"	6' - 10"	0' - 1 3/4"		B	ALUM/ WD	PAINTED	WD CLAD	PAINTED		
109A	ADU	EXTERIOR	5' - 0"	6' - 10"	0' - 1 3/4"		C	ALUM/ WD	PAINTED	WD CLAD	PAINTED		
201A	STAIR	PRIMARY BEDROOM	2' - 10"	6' - 8"	0' - 1 3/8"		A	WD	PAINTED	WD	PAINTED		
201B	PRIMARY BEDROOM	EXTERIOR	10' - 0"	6' - 8"	0' - 1 3/4"		D	ALUM/ WD	PAINTED	WD CLAD	PAINTED		
202A	STAIR	PRIMARY BATHROOM	2' - 8"	6' - 8"	0' - 1 3/8"		A	WD	PAINTED	WD	PAINTED		
202B	PRIMARY BATHROOM	PRIMARY BATHROOM	2' - 4"	6' - 8"	0' - 1 3/8"	-	A	WD	PAINTED	WD	PAINTED		
203A	PRIMARY BATHROOM	CLOSET	2' - 6"	6' - 8"	0' - 1 3/8"		A	WD	PAINTED	WD	PAINTED		
204A	STAIR	EXTERIOR	5' - 0"	6' - 10"	0' - 1 3/4"		C	ALUM/ WD	PAINTED	WD CLAD	PAINTED		

DOOR NOTES:

- CONTRACTOR TO VERIFY ROUGH OPENING DIMENSIONS WITH ON SITE FIELD CONDITIONS PRIOR TO ORDERING DOORS.
- ALL GLASS IN DOORS TO BE SAFETY TEMPERED GLAZING TO MEET LOCAL AND STATE BUILDING CODES.
- SEE DOOR TYPES FOR ELEVATIONS
- GENERAL ABBREVIATIONS:
WD = WOOD, STN = STAIN, PNT = PAINT, ALUM = ALUMINIUM, GLS = TEMPERED GLASS, FG = FIBERGLASS



DOOR TYPES
1/4" = 1'-0"



WINDOW TYPES
1/4" = 1'-0"

SHEET ISSUE

REVISION #

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LINGER RESIDENCE

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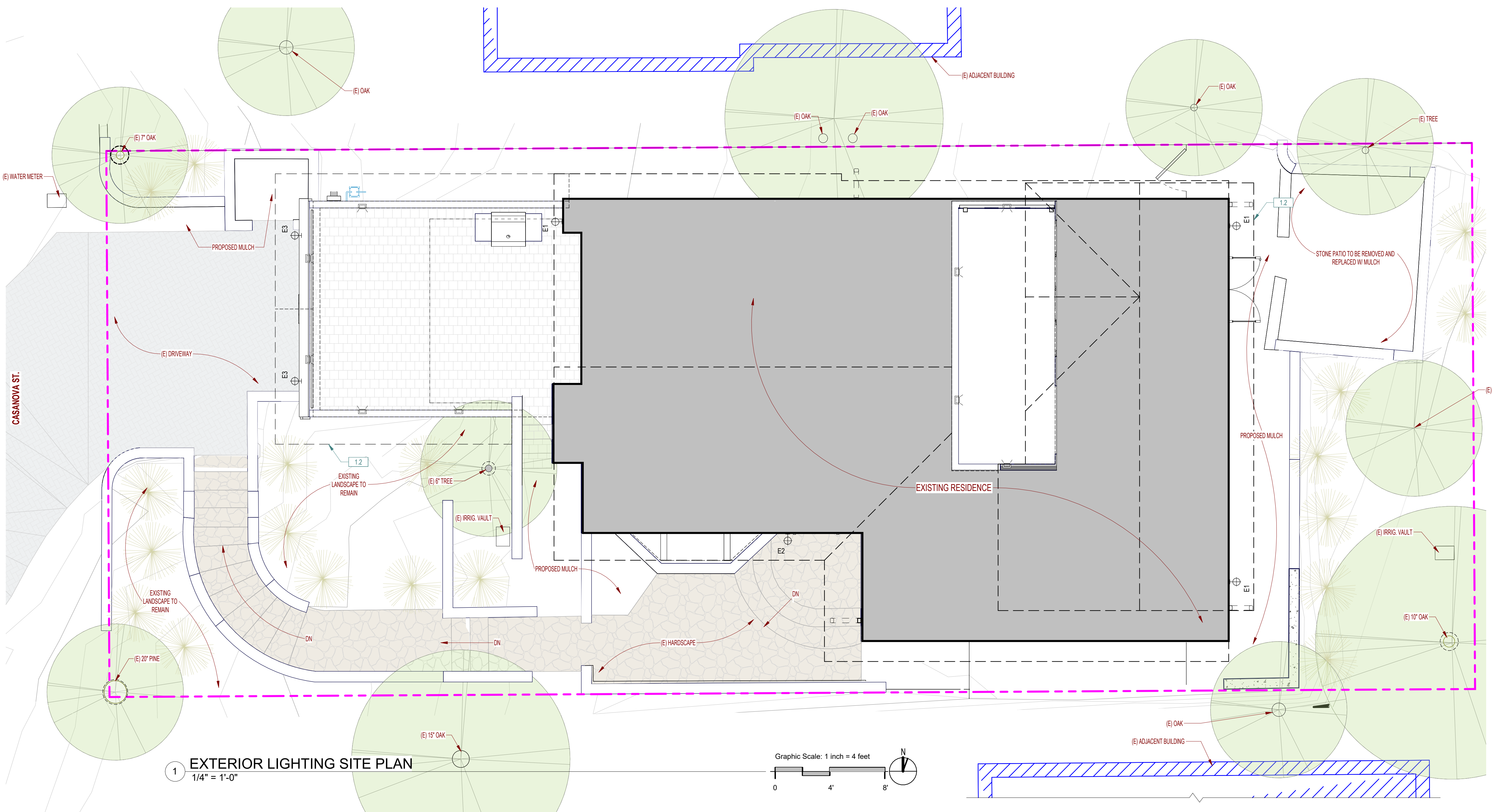
PLANNING SUBMITTAL

Scale: 1/4" = 1'-0"
Job: 2305

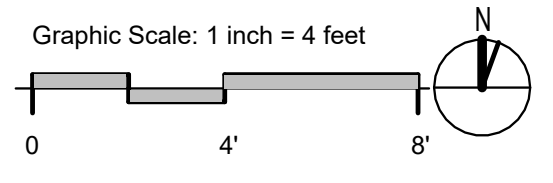
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DOOR AND WINDOW SCHEDULE

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1 EXTERIOR LIGHTING SITE PLAN
1/4" = 1'-0"



GENERAL NOTES

- MUNICIPAL CODE RESTRICTIONS PER CITY OF CARMEL-BY-THE-SEA**
1. WALL-MOUNTED LIGHTING SHALL BE NO HIGHER THAN 10 FEET ABOVE THE GROUND AND SHALL NOT EXCEED 25 WATTS PER FIXTURE (APPROXIMATELY 375 LUMENS).
 2. LANDSCAPE LIGHTING SHALL NOT EXCEED 18 INCHES ABOVE THE GROUND NOR MORE THAN 15 WATTS PER FIXTURE (APPROXIMATELY 225 LUMENS). LANDSCAPE LIGHTS SHALL BE SPACED AT LEAST 10 FEET APART. NO LIGHTING MAY BE USED TO ACCENT TREES, WALLS, FENCES, ETC.
 3. NO LIGHTING PERMITTED UPON CITY PROPERTY OR DIRECTED TOWARDS CITY PROPERTY, INCLUDING THE RIGHT OF WAY.

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SHEET ISSUE

SHEET KEYNOTES

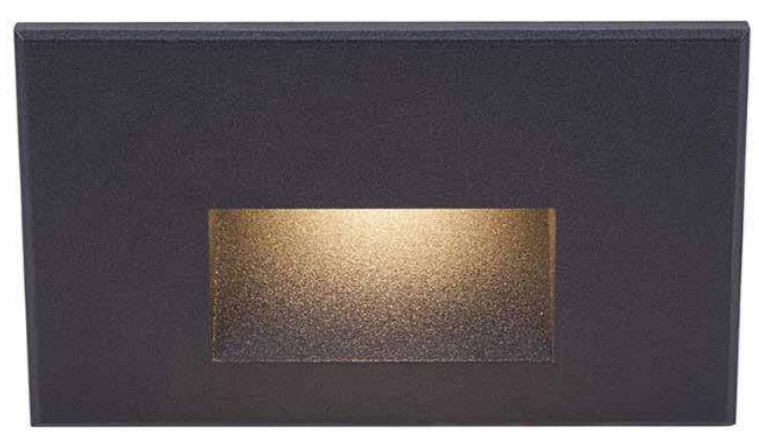
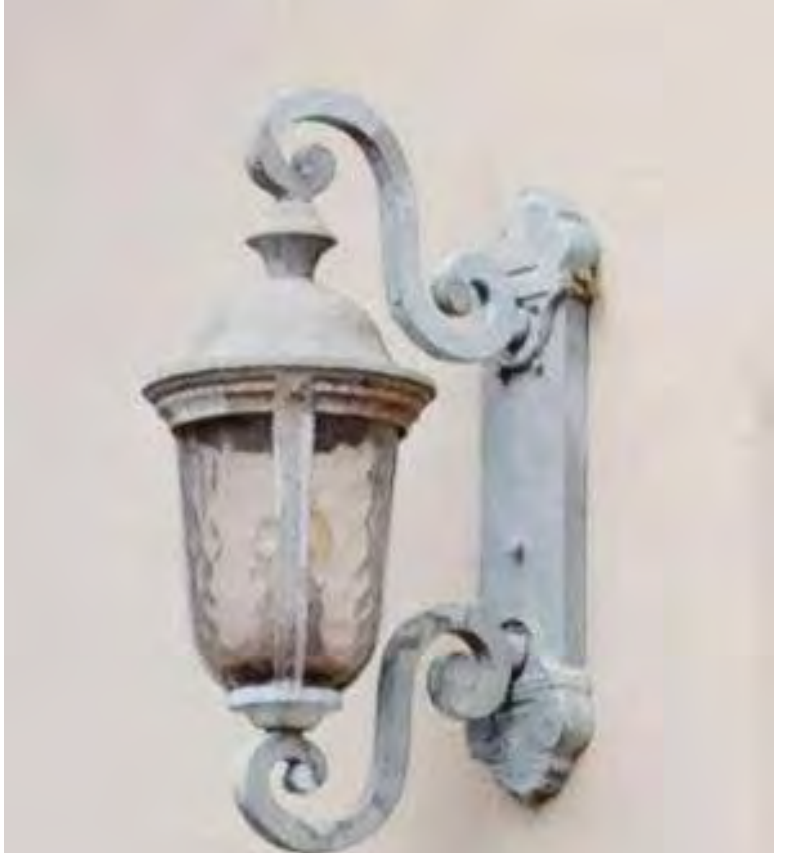
KEYNOTE #	DESCRIPTION
1.2	ROOF ABOVE

LEGEND

- EXTERIOR WALL SCONCE
- RECESSED DECK LIGHTING
- (E) PLANTING TO REMAIN
- (E) TREE TO REMAIN

EXISTING EXTERIOR LIGHTING

PROPOSED EXTERIOR LIGHTING



L.E.D. RECESSED DECK LIGHTING
STEP LIGHT BY WAC LIGHTING -4011-30BZ
TRANSFORMER REQ'D
BRONZE FINISH - 2 WATTS - 50 LUMENS

E1
EXISTING WALL SCONCETO BE RELOCATED

E2
EXISTING SCONCE AT PRIMARY ENTRANCE

E3
EXISTING EXTERIOR SCONCE AT GARAGE

REVISION #	DESCRIPTION

OWNER:
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Carmel-by-the-sea, CA 93921

LINGER RESIDENCE
Casanova 3 S.E. of 4th,
Carmel-by-the-sea, CA 93921

PLANNING SUBMITTAL

Scale: 1/4" = 1'-0"
Job: 2305

Sheet
LANDSCAPE / EXTERIOR LIGHTING PLAN

L1.00
1/26/2024 6:19:31 PM