

**PROJECT ADDRESS:**

LOT NUMBERED 6 IN BLOCK NUMBERED 41  
OF MAP OF " CARMEL CITY"  
LOCATION: GUADALUPE STREET 3 SE OF THIRD STREET, IN THE CITY  
OF CARMEL, COUNTY OF MONTEREY, CA  
A.P.N. 010-023-014

**PROJECT OWNERS:**

KAJA & DAVID FORTUNE  
AS TRUSTEES OF THE FORTUNE FAMILY TRUST  
P.O. BOX 682  
CARMEL, CA 93921

**ARCHITECT:**

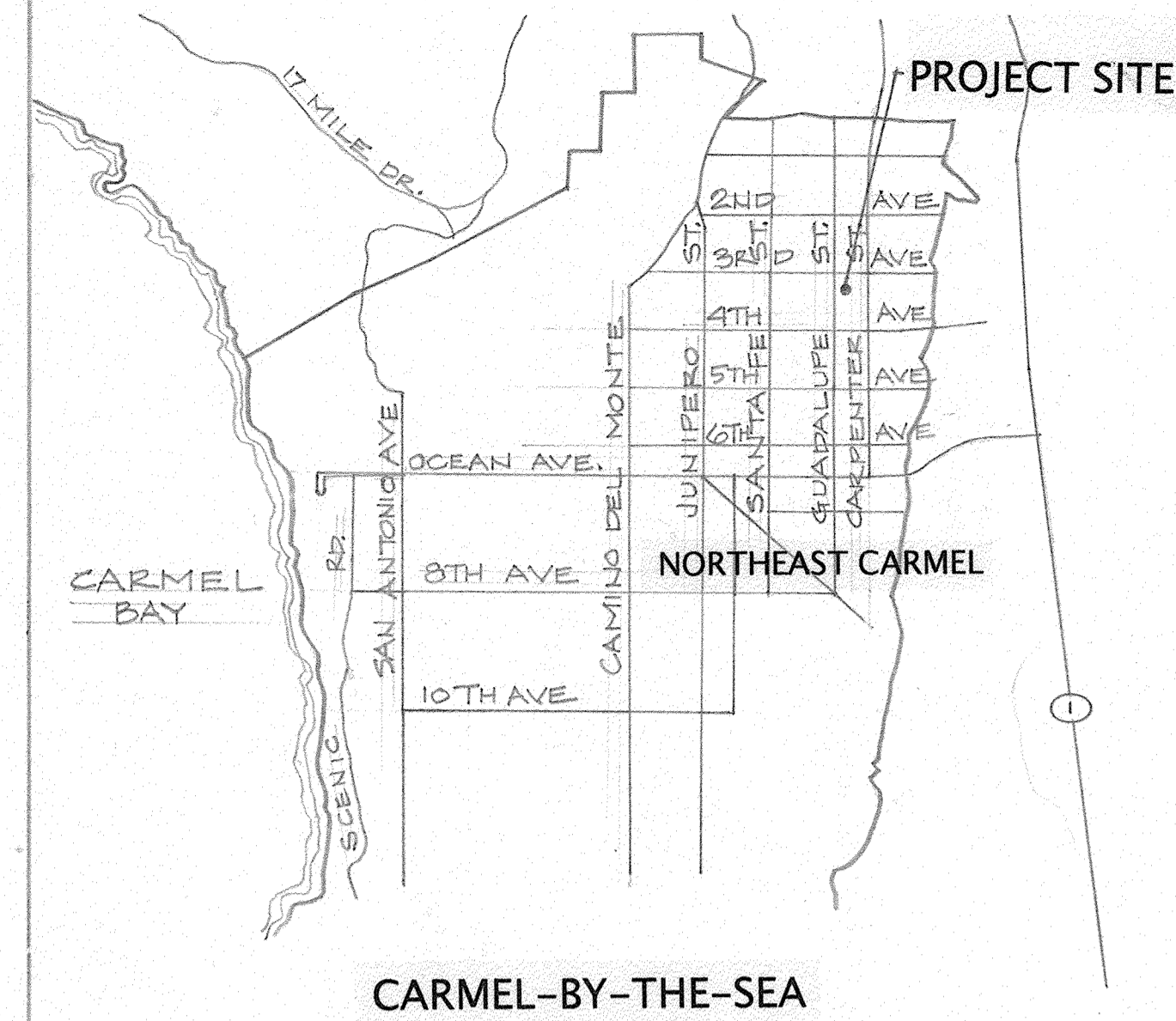
TERRI L. N. FISHER LICENSE #C14039  
285 MIRACLE LN.  
SANTA CRUZ, CA 95060  
(831) 566-0196  
tfarch@aol.com

**PROJECT SCOPE:**

REMODEL AND ADDITION TO AN EXISTING RESIDENCE LOCATED ON  
LOT 6 AS DESCRIBED.  
EXISTING RESIDENCE TO BE REMODELED AND NEW EXTERIOR PORCH  
AND BAY WINDOW TO BE ADDED ON STREET ELEVATION.  
NEW BEDROOM WING TO BE ADDED TO REAR OF EXISTING  
RESIDENCE.  
EXISTING GARAGE TO BE REMODELED TO BECOME A BEDROOM.  
NEW GARAGE TO BE ADDED.

NO GRADING TO OCCUR AT EXTERIOR OF STRUCTURE EXCEPT TO  
DIRECT STORM WATER FLOW ON PROPERTY.  
ONLY UNDER FLOOR EXCAVATION WILL OCCUR IN ORDER TO  
CREATE REQUIRED CLEARANCES.

**VICINITY MAP**



**SHEET INDEX:**

- T TITLE SHEET
- T2 TOPOGRAPHIC SURVEY
- A1 EXISTING & PROPOSED SITE PLANS
- A2 PRELIMINARY DRAINAGE PLAN
- A3 EXISTING FLOOR PLANS/DEMOLITION PLAN
- A4 PROPOSED FLOOR PLAN
- A5 EXISTING & PROPOSED ELEVATIONS: FRONT & REAR
- A6 EXISTING & PROPOSED ELEVATIONS: SIDES
- A7 EXISTING & PROPOSED ROOF PLANS

**PROJECT DATA:**

LOT AREA: 4000 SQ. FT.

**FLOOR AREA:**

EXISTING RESIDENCE:	794	SQ.FT.
EXISTING GARAGE:	173	SQ.FT.
TOTAL:	967	SQ.FT.
PROPOSED RESIDENCE:	1,542.82	SQ.FT.
PROPOSED GARAGE:	244	SQ.FT.
TOTAL:	1,786.82	SQ.FT.

**SITE COVERAGE:**

<b>EXISTING IMPERVIOUS:</b>			
TOTAL:	NONE		
<b>EXISTING PERVIOUS:</b>			
SPACED DECK'G @ DECKS:	500	SQ.FT.	
SPACED DECK'G WALKS:	80	SQ.FT.	
PERVIOUS PAVEMENT DRIVE:	ZZZ	SQ.FT.	
TOTAL:	1,357	SQ.FT.	
<b>PROPOSED IMPERVIOUS:</b>			
ENTRY DECK:	66	SQ.FT.	
LANDINGS:	26	SQ.FT.	
TOTAL:	92	SQ.FT.	
<b>PROPOSED PERVIOUS:</b>			
NEW WALKWAY:	54	SQ.FT.	
(E) DRIVEWAY:	495.5	SQ.FT.	
TOTAL:	549.5	SQ.FT.	
<b>COVERAGE: 22% 393.1</b>			
BONUS:	26%	464.57	(if 50% permeable, therefore allowed)

**SETBACKS:**

EXISTING FRONT:	21'-4"	RES. ACTUAL
	15 FT.	ALLOWED
EXISTING REAR:	42'-4"	RES. GARAGE
	3'	3/15 FT. ALLOWED
EXISTING SIDE:	7'-0" E	RES.
	10'-6" W	RES.
	3'-0" W	GARAGE
	3/7 FT.	ALLOWED
COMPOSITE:	10'-0"	(25% OF LOT)

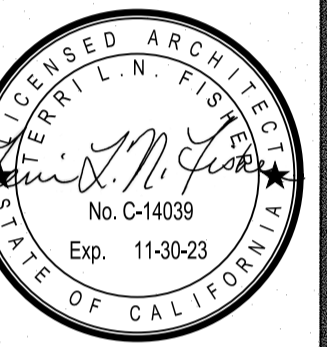
**HEIGHT:**

EXISTING TO REMAIN:	19'-9"	RIDGE HEIGHT
	11'-21/2"	PLATE HEIGHT
PROPOSED:	17'-8"	RIDGE @ ADDITION
	9'-4"	PLATE HT. @ ADDITION
	14'-0"	RIDGE @ 3' SETBACK
	9'-4"	PLATE HT. @ 3' SETBACK

**TREE REMOVAL:**

1 TREE THAT HAS BEEN PERMITTED TO BE REMOVED  
HAS BEEN REMOVED

**TERRI L.N. FISHER**  
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285 MIRACLE LN.



PROJECT OWNERS:  
**KAJA & DAVID FORTUNE**  
P.O. BOX 682  
CARMEL, CA 93921

**FORTUNE/LEDBETTER**  
FAMILY HOME

DRAWN BY: F  
DATE: AUG. 25, 2023  
SCALE: =NA  
SHEET

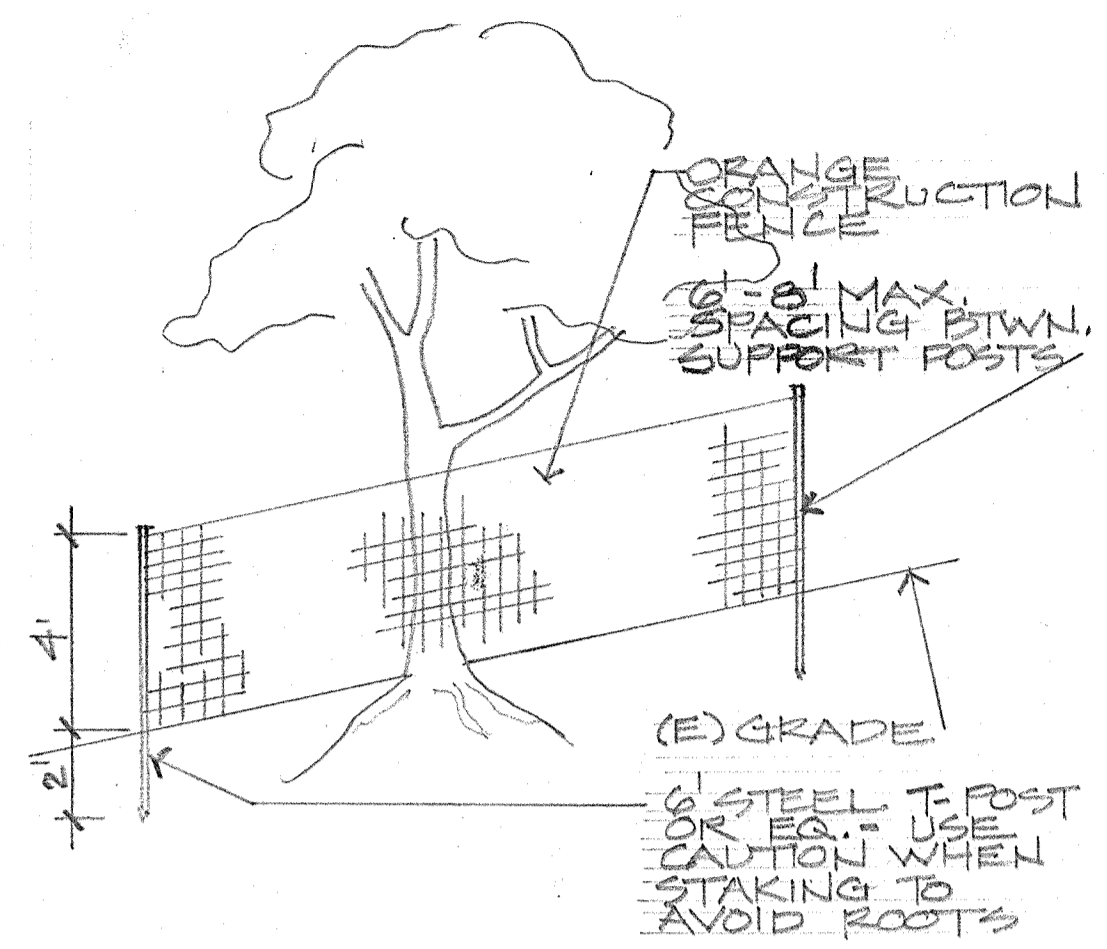
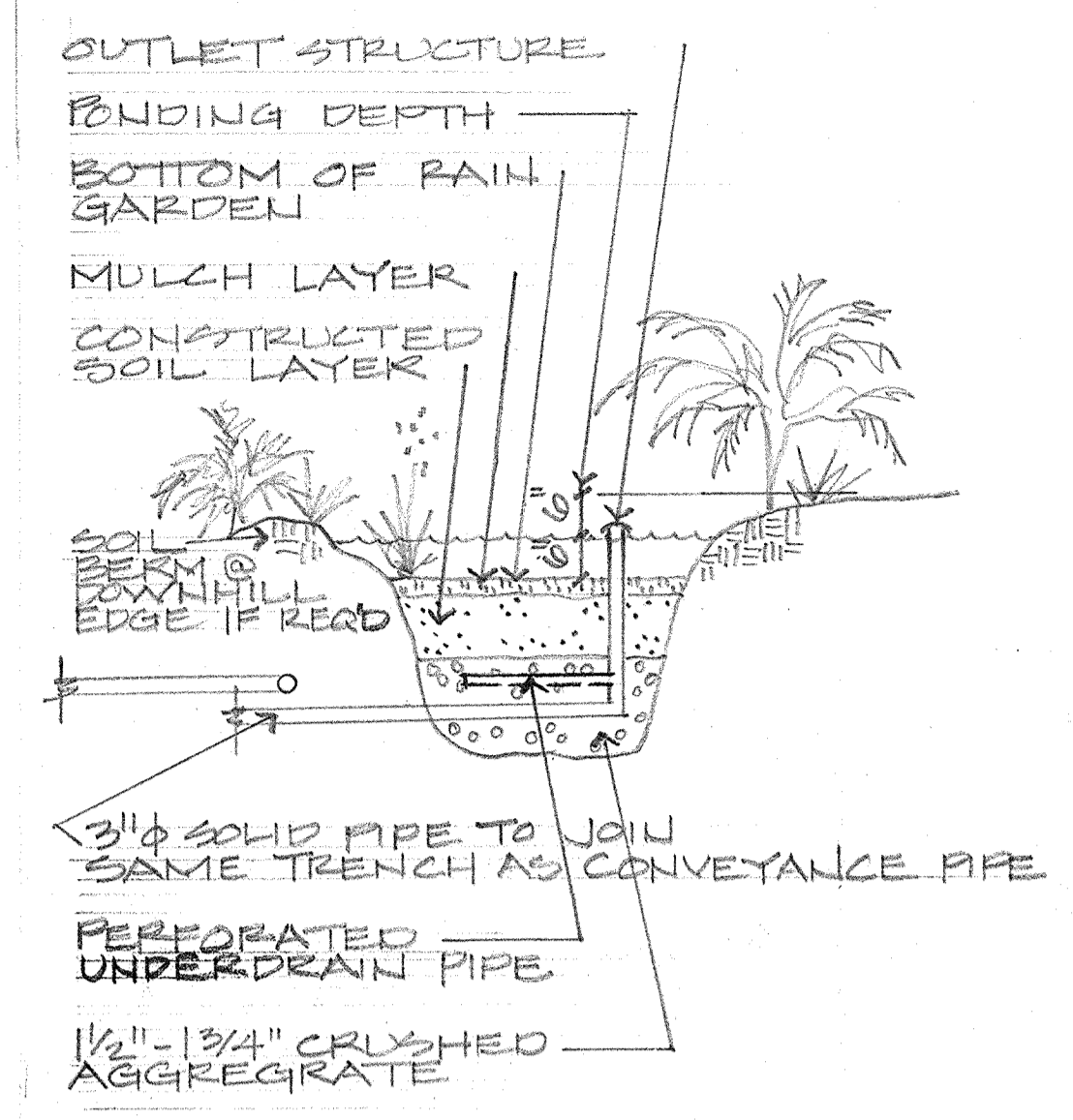
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**PROTECTION OF TREES DURING CONSTRUCTION**

1. PRIOR TO COMMENCEMENT OF CONSTRUCTION, DEMOLITION OR TREE REMOVAL, ALL TREES ON SITE TO BE INVENTORIED BY OWNER OR CONTRACTOR RE: SIZE, SPECIES & LOCATION ON SITE. INVENTORY SHALL BE SUBMITTED ON A TOPOGRAPHICAL MAP TO BUILDING OFFICIAL. THIS CONDITION MAY BE WAIVED BY BUILDING OFFICIAL FOR TREE REMOVAL & MILK DEMOLITION.
2. DAMAGE TO ANY TREE DURING CONSTRUCTION OR DEMOLITION SHALL BE IMMEDIATELY REPORTED BY PERSON CAUSING THE DAMAGE. THE CONTRACTOR OR OWNER TO THE DIRECTOR OF FOREST, PARKS & BEACH, THE CONTRACTOR &/OR OWNER SHALL TREAT THE TREE FOR DAMAGE PER SPECIFICATIONS FROM DIRECTOR OF FOREST, PARKS & BEACH.
3. OIL, GASOLINE, CHEMICALS & OTHER CONSTRUCTION MATERIALS SHALL NOT BE STORED WITHIN THE DRIPLINE OF ANY TREE.
4. DRAINS SHALL BE INSTALLED PER CITY SPECIFICATIONS IN ORDER TO AVOID HARM TO TREES DUE TO EXCESS WATERING.
5. WIRES, SIGNS & OTHER SIMILAR ITEMS SHALL NOT BE ATTACHED TO TREES.
6. CUTTING & FILLING SHALL NOT BE DONE.
7. NO PAINT THINNER, PAINT, PLASTER OR OTHER LIQUID OR SOLID EXCESS OR WASTE CONSTRUCTION MATERIAL OR WASTEWATER SHALL BE DUMPED ON GROUND OR IN A GRATE BTWN. DRIPLINE & BASE OF TREE OR UPHILL FROM ANY TREE WHERE SUBSTANCE MAY REACH ROOTS THRU LEACHING.
8. OWNER/CONTRACTOR SHALL ERECT PROTECTIVE BARRICADE AROUND ALL TREES ON SITE PER DETAIL (2).
9. WHEREVER CUTS IN GROUND NEAR TREE ROOTS ARE MADE MEASURES SHALL BE TAKEN TO PREVENT EXPOSED SOIL FROM DRYING & CAUSING DAMAGE TO TREE ROOTS.
10. TRIMMING CUTS TO CONFORM TO ARBORCULTURAL STANDARDS & BE MADE ALONG BRANCH BARK RIDGE.
11. EARTH SURFACES WITH DRIPLINE OF ANY TREE SHALL NOT BE COMPACTED. ALL EQUIPMENT MATERIAL & SOIL STORAGE TO BE BEYOND DRIPLINE.
12. PRIOR TO START OF CONSTRUCTION/DEMOLITION, OWNER/CONTRACTOR TO SPRAY (OR HAVE CERTIFIED APPLICATOR) SPRAY LOWER SIX FEET OF ALL PINE TREE TRUNKS W/ A PESTICIDE APPROVED BY THE CA. DEPT. OF FOOD & AGRICULTURE FOR THE TREATMENT OF BARK BEETLES.
13. OWNER IS RESPONSIBLE FOR CARE OF TREES THAT ARE TO REMAIN ON SITE. TREATMENT OF BARK BEETLES AS PER DIRECTOR OF FOREST, PARKS & BEACH IS REQUIRED. CITY STAFF MAY PERFORM BARK BEETLE TREATMENT IF REQUESTED IN WRITING BY OWNER. OWNER WILL BE CHARGED AN AMOUNT EQ. TO COST OF TIME, EQUIPMENT & MATERIALS UTILIZED BY CITY FOR THE TREATMENT.
14. FAILURE TO PROTECT OR MAINTAIN TREES ON CONSTRUCTION/DEMOLITION SITES IS A VIOLATION OF MUNICIPAL CODE & GROUNDS FOR SUSPENSION OF BUILDING PERMIT.

**PROTECTION OF TREES TO BE PLANTED**

1. TREES REQUIRED TO BE KEPT & THOSE REQUIRED TO BE PLANTED AS A CONDITION OF TREE REMOVAL PERMIT APPROVAL SHALL BE MAINTAINED ACCORDING TO ACCEPTED ARBORCULTURAL PRACTICES FOR A MIN. OF FIVE YEAR FROM THE COMPLETION OF CONSTRUCTION OR THE DATE THAT THE TREE IS PLANTED.
2. AT NO TIME SHALL REQUIRED PLANTED TREES BE MOVED W/OUT THE ISSUANCE OF A VALID PERMIT.
3. NOTHING SHALL BE DEEMED TO REPLACE OR REVOKE ANY REQUIREMENTS FOR SAFEGUARDING OF TREES STATED IN THE CITY OF CARMEL MUNICIPAL CODE OR ORDINANCES.



(1) RAIN GARDEN DETAIL NO SCALE  
 (2) TREE PROTECTION FENCE (TO BE INSTALLED PRIOR TO DEMOLITION)

**LANDSCAPE KEY**

○ (E) INDICATES EXISTING TREES TO REMAIN

**TREES**

- (N) 15 GAL. QUERCUS AGRIFOLIA (COAST LIVE OAK) REPLACEMENT TREE

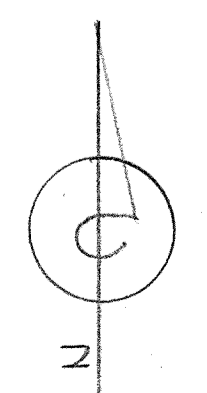
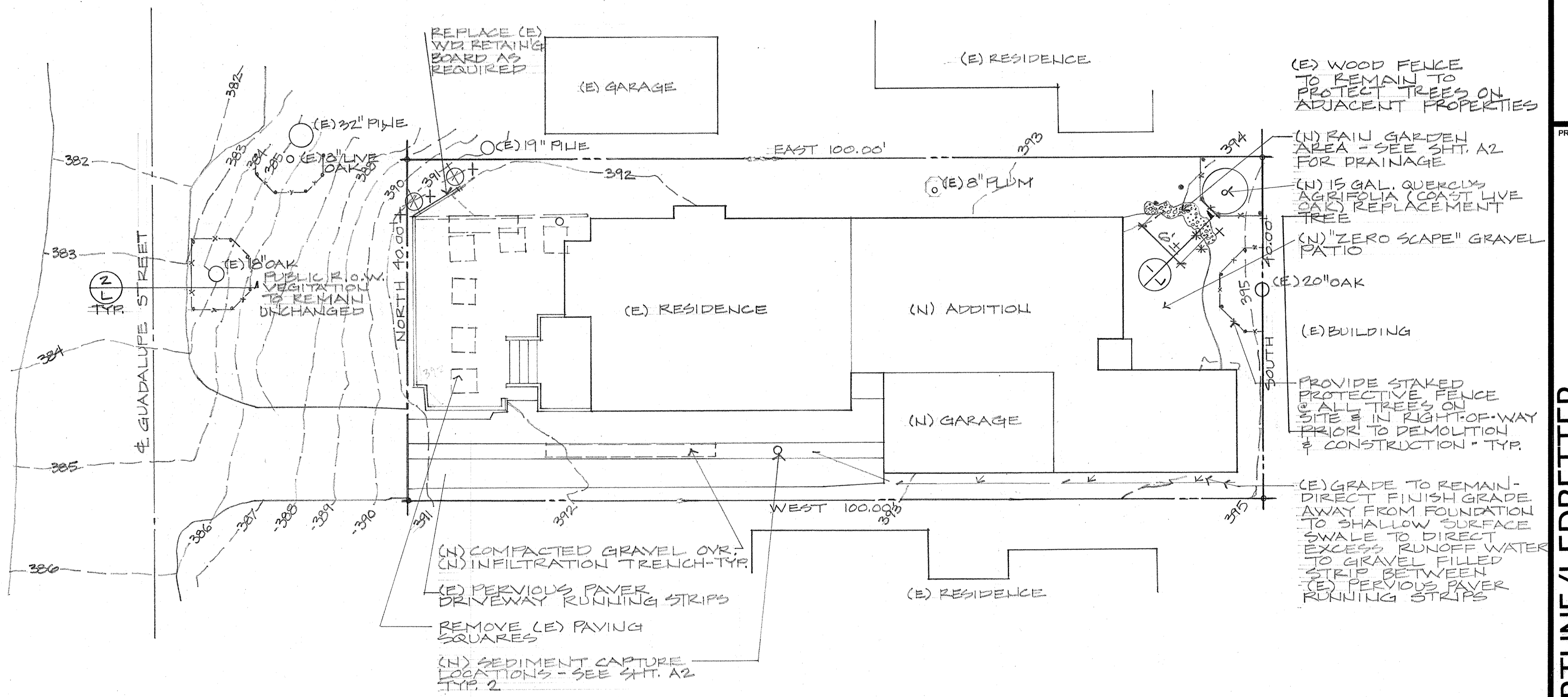
**SHRUBS**

- ⊗ (N) 10 GAL. CEANOTHUS SP. (WILD WILAC)

● INDICATES EXISTING FERNS TO REMAIN

**GRASSES**

- \* (N) 5 GAL. STIPA FULCHRA (PURPLE NEEDLEGRASS) OR EQ.
- X (N) 5 GAL. PENNISETUM SETACEUM (MOUNTAIN GRASS) OR EQ.
- + (N) 5 GAL. HELICTOTRICHON SEMPERVIRENS (BLUE OAT GRASS) OR EQ.



LANDSCAPE PLAN

1/8" = 1'-0"

**TERRI L.N. FISHER**  
 ARCHITECT  
 LICENSE NO. C14039  
 SANTA CRUZ, CA 95060

PROJECT  
 OWNERS: KAJA & DAVID FORTUNE  
 P.O. BOX 682  
 CARMEL, CA 93921

**FORTUNE/LEDBETTER**  
 FAMILY HOME

DRAWN BY  
 F  
 DATE  
 JAN. 5, 2024  
 SCALE  
 NOTED  
 SHEET

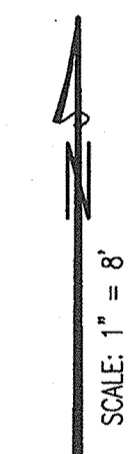
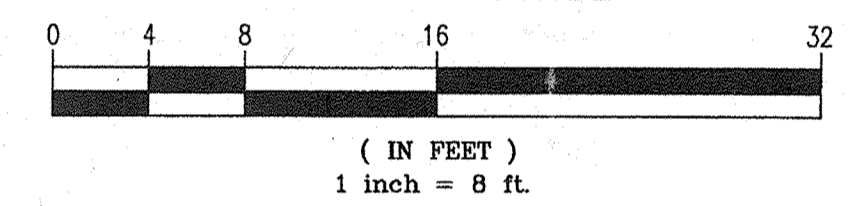
**NOTES:**

- BOUNDARY LOCATIONS SHOWN HEREON WERE DETERMINED WITH THE BENEFIT OF A FIELD SURVEY SUPPLEMENTED BY RECORD DATA. ALL BOUNDARY DATA SHOWN ARE FROM THE RECORDS.
- DISTANCES SHOWN ARE IN FEET AND DECIMALS THEREOF.
- CONTOUR INTERVAL = 1 FOOT.
- THIS PROPERTY MAY BE AFFECTED BY EASEMENTS THAT ARE NOT SHOWN ON THIS MAP.
- ELEVATIONS SHOWN ARE BASED ON NAVD-88 DATUM. A GPS SURVEY WAS CONDUCTED TO ESTABLISH THE SITE BENCHMARK USING REFERENCE STATION "CAMT" ON THE SMARTNET NORTH AMERICA NETWORK. THE PROJECT BENCHMARK IS A MAG NAIL WITH WASHER IN THE PAVEMENT, AS SHOWN ON THIS MAP. ELEVATION = 392.23'.
- TREE TYPES ARE INDICATED WHEN KNOWN. DIAMETERS OF TREES ARE SHOWN IN INCHES.
- DENOTES A FOUND 3/4" IRON PIPE TAGGED "LS 5207". UNLESS OTHERWISE NOTED.
- ANY SUBSEQUENT USE OF THIS SURVEYING DATA MUST INCLUDE THIS NOTE:  
THE BOUNDARY AND SURVEYING DATA SHOWN WAS FURNISHED BY MONTEREY BAY ENGINEERS, INC., AND THAT FIRM IS NOT RESPONSIBLE FOR ANY REVISIONS. THE ORIGINAL WORK WAS SIGNED AND SEALED BY A PROFESSIONAL LAND SURVEYOR.

**LEGEND:**

---	FENCE LINE
EM	ELECTRIC METER
EP	EDGE OF PAVEMENT
FFTH	FINISHED FLOOR AT THRESHOLD
GM	GAS METER
HB	HOSE BIB
K	OAK
P	PAVERS
SSCO	SANITARY SEWER CLEAN OUT
T	TREE, SPECIES NOT SPECIFIED
WM	WATER METER
WH	WATER HEATER SHED
WV	WATER VALVE

**GRAPHIC SCALE**



10/26/2022

**TOPOGRAPHIC SURVEY**

OF  
**LOT 6, BLOCK 41**  
**CARMEL CITY**  
**VOLUME 1, CITIES & TOWNS, PAGE 52**

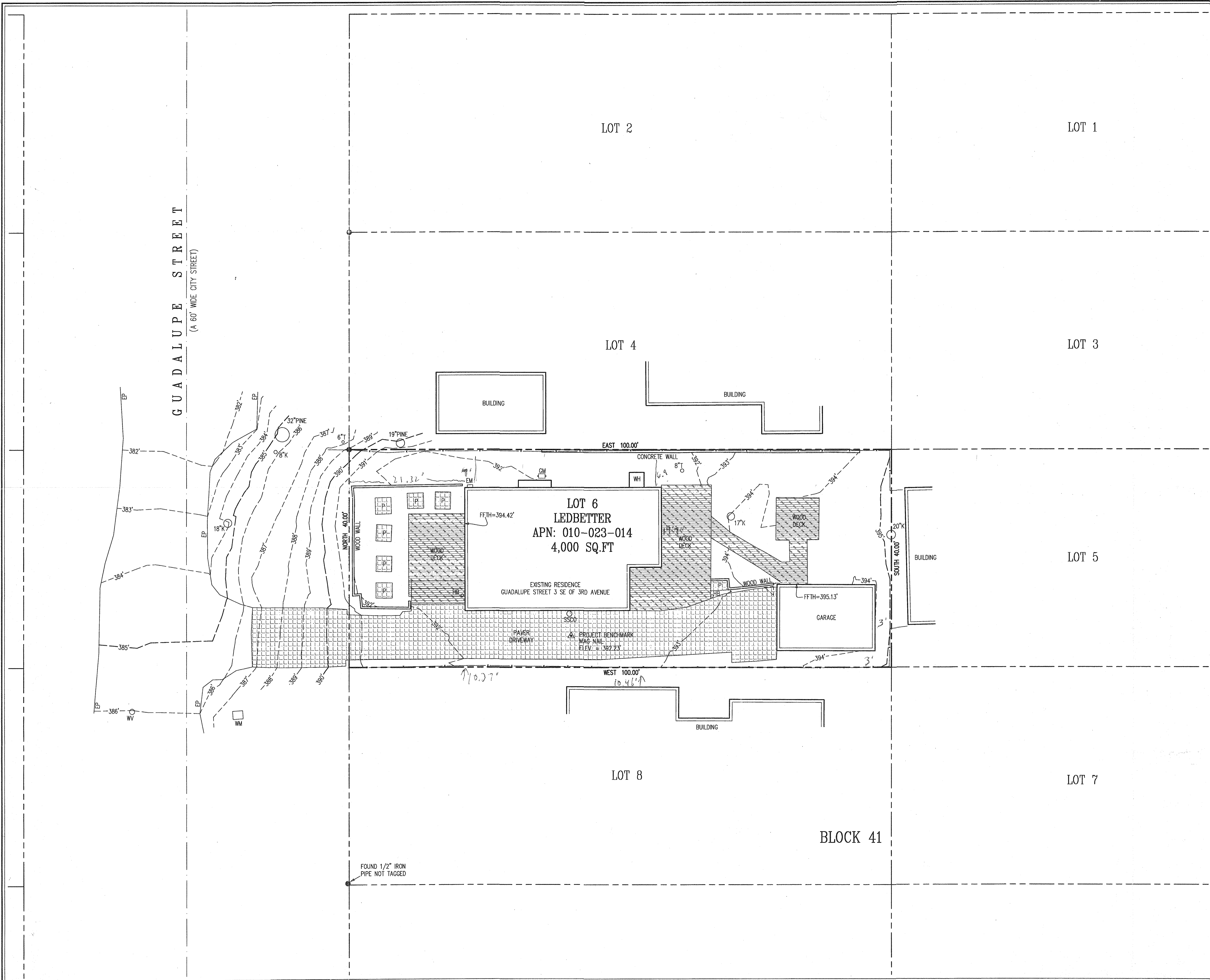
CITY OF CARMEL-BY-THE-SEA    COUNTY OF MONTEREY    STATE OF CALIFORNIA

PREPARED FOR  
**DAVE FORTUNE**

BY  
**MONTEREY BAY ENGINEERS, INC.**  
 CIVIL ENGINEERING • SUBDIVISIONS • LAND SURVEYING • CONSTRUCTION STAKING  
 607 Charles Ave Suite B    Seaside, California 93955  
 Phone: (831) 899-7899

SCALE: 1" = 8'    JOB No. 22-103    OCTOBER 2022

FIELD: MAL & AL    DRAWN BY: AL

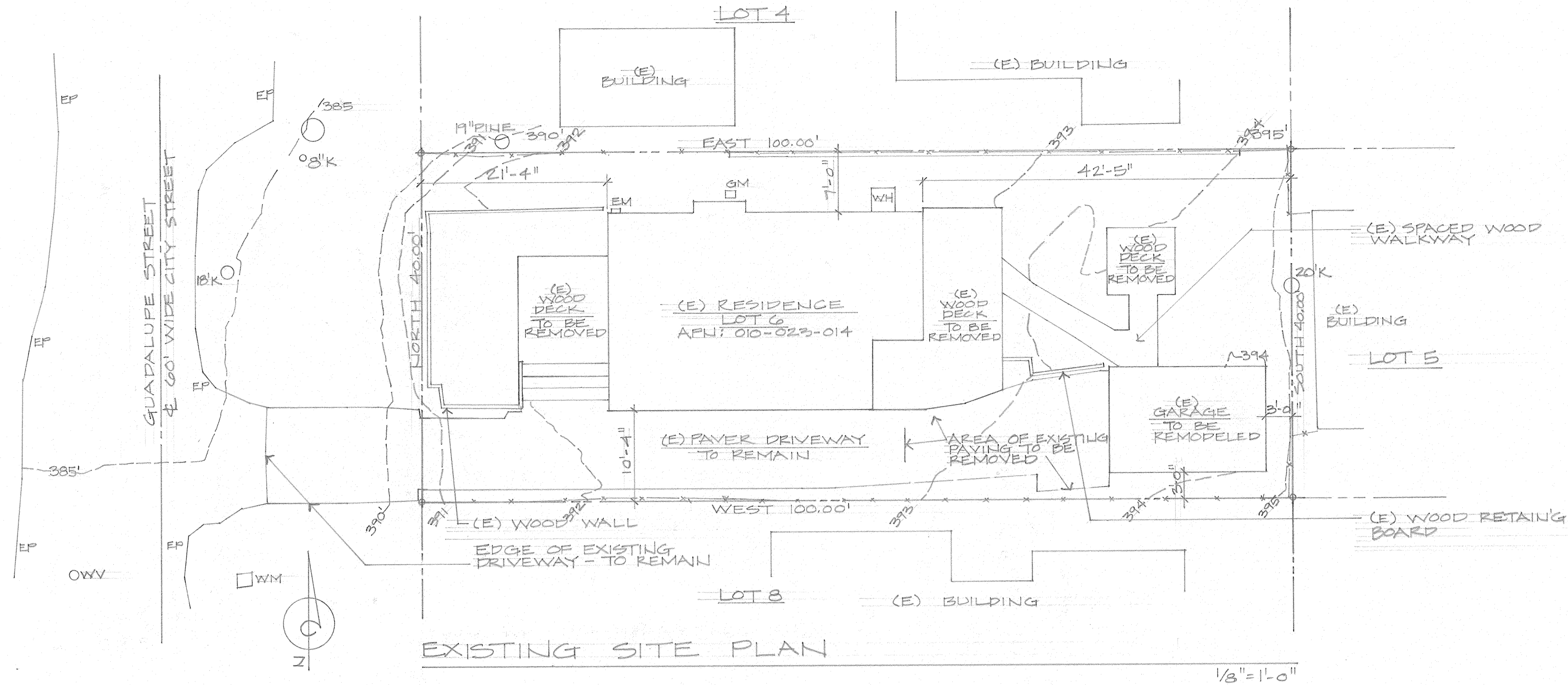


**GUADALUPE STREET**  
 (A 60' WIDE CITY STREET)

**LOT 6**  
**LEDBETTER**  
**APN: 010-023-014**  
**4,000 SQ.FT**

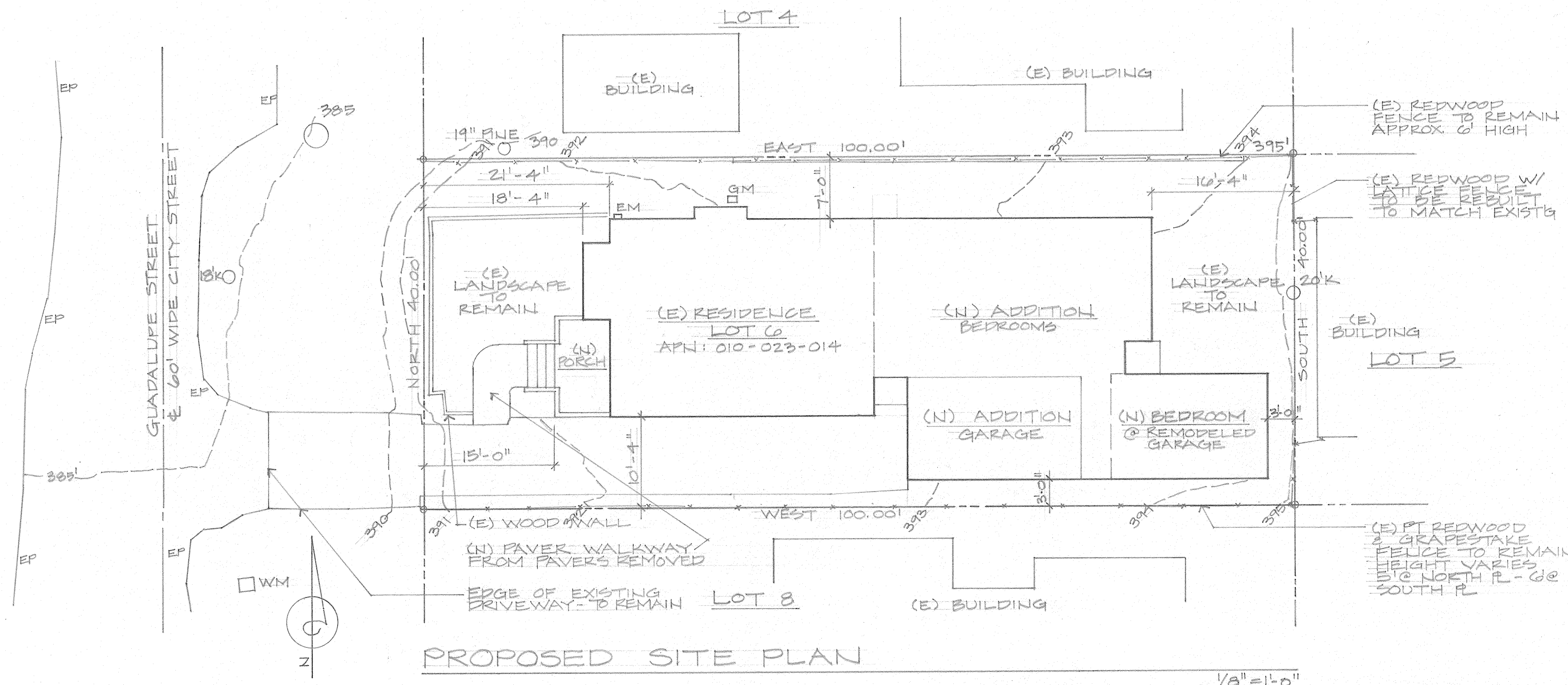
EXISTING RESIDENCE  
 GUADALUPE STREET 3 SE OF 3RD AVENUE

**BLOCK 41**



EXISTING SITE PLAN

1/8" = 1'-0"



PROPOSED SITE PLAN

1/8" = 1'-0"

**TERRI L.N. FISHER**  
 ARCHITECT  
 LICENSE NO. C-14039  
 SANTA CRUZ, CA 95060



PROJECT  
**KAJA & DAVID FORTUNE**  
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 CARMEL, CA 93921

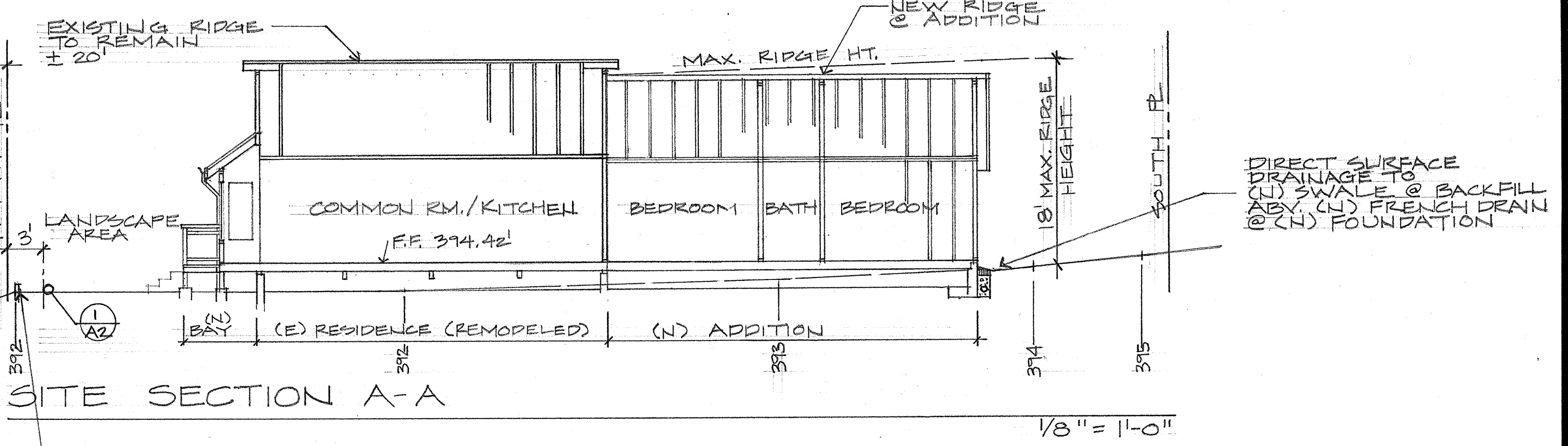
OWNERS:  
**FORTUNE/LEDBETTER**  
**FAMILY HOME**

DRAWN BY  
 T  
 DATE  
 AUG. 25, 2023  
 SCALE  
 1/8" = 1'-0"

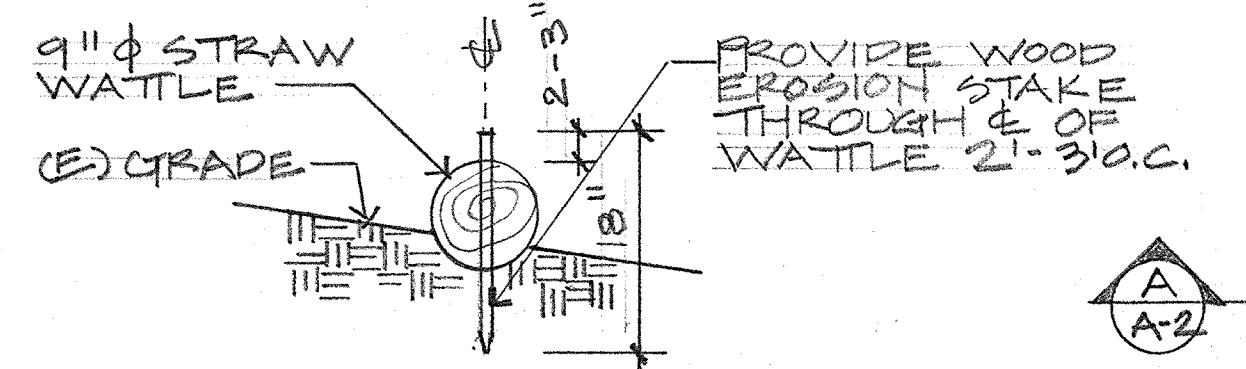
SHEET  
**A1**

**DRAINAGE REQUIREMENTS**

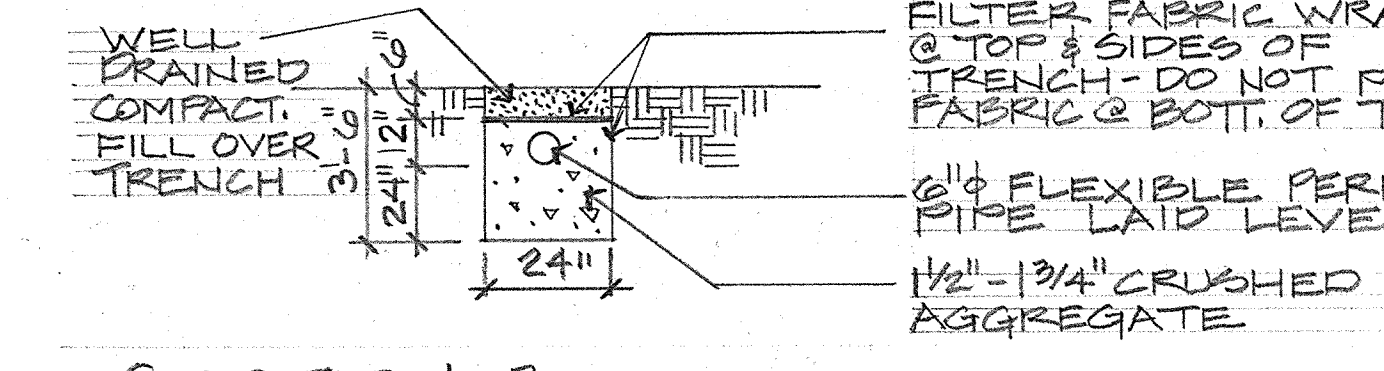
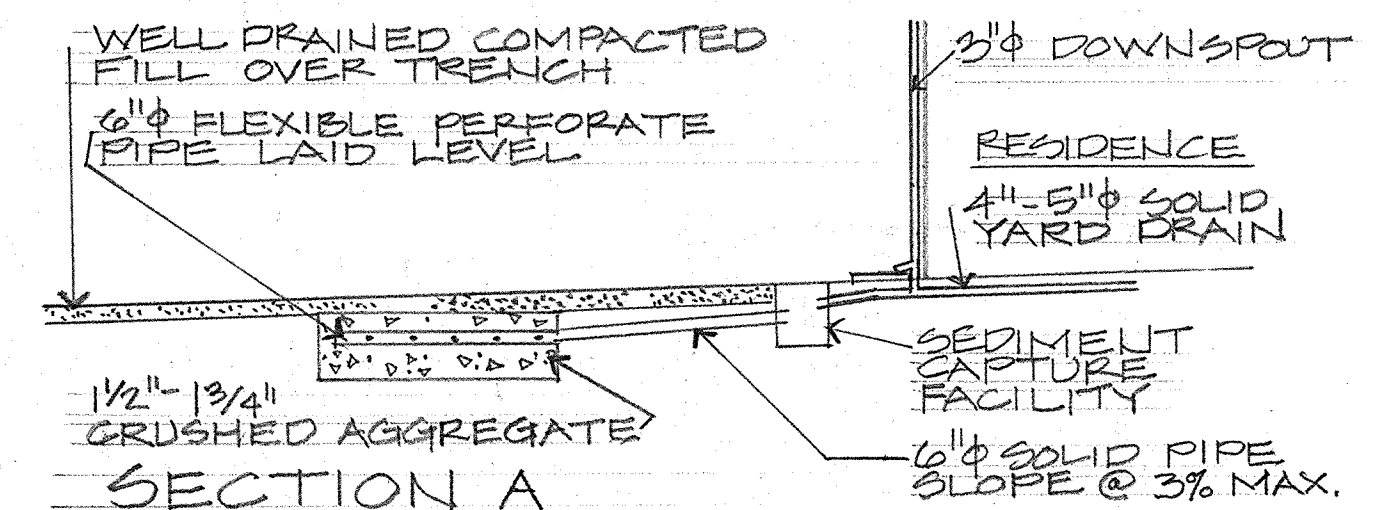
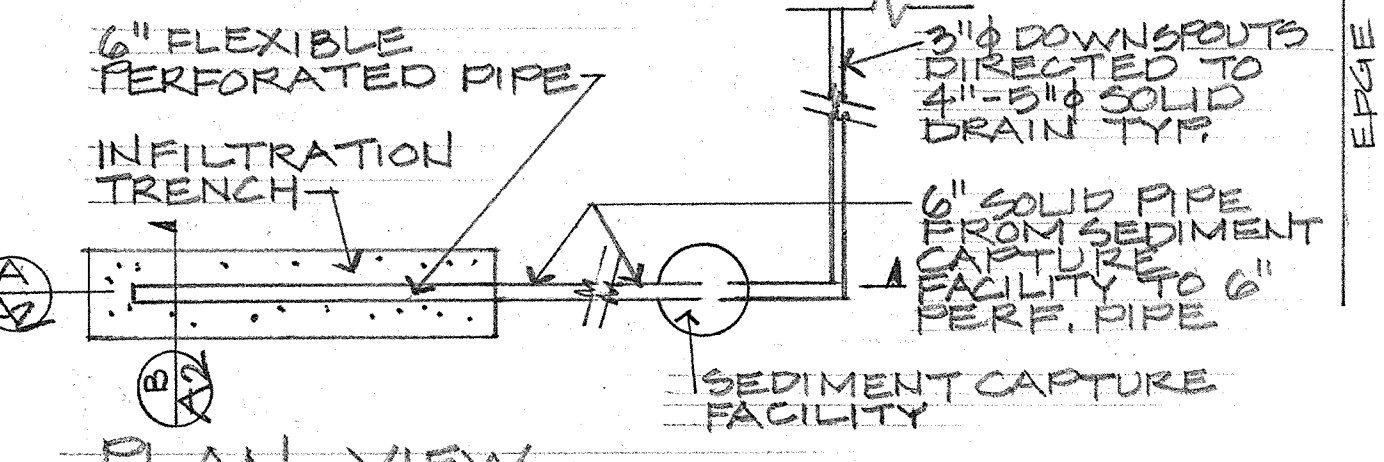
- PER SOG 17-07 PRIVATE STORMWATER DRAINAGE SYSTEMS
- DRAINAGE FROM DOWNSPOUTS & PAVED AREAS TO BE DIRECTED TO LANDSCAPE AREAS & COLLECTED IN FRENCH DRAINS &/OR SUBGRADE PIPE COLLECTORS & CONVEYED TO INFILTRATION TRENCHES & RAIN GARDEN
  - LANDSCAPE & PERVIOUS DRIVEWAY AREA AT LEAST 50% OF CONTRIBUTING IMPERVIOUS SURFACE
  - RUNOFF TO BE DIRECTED AWAY FROM BUILDING FOUNDATIONS
  - RUNOFF TO BE DISPERSED THROUGHOUT SITE & DIRECTED TO INFILTRATION TRENCHES & RAIN GARDEN BMPs
  - SWALES & PILING SYSTEMS TO DIRECT RUNOFF TO INFILTRATION BMPs
  - RAIN GARDEN TO BE DESIGNED PER BAY AREA STORMWATER MANAGEMENT ASSOC. (BASMAA) RAIN GARDENS STORMWATER CONTROL FOR SMALL PROJECTS
  - INFILTRATION TRENCHES MUST HAVE SEDIMENT CAPTURE TRAP AHEAD OF TRENCH
  - INFILTRATION TRENCHES SHALL BE MIN. 24" WIDE X 4' LONG X 3' DEEP IN ACCORDANCE W/ TYP. INFILTRATION TRENCH DESIGN BELOW
  - TRENCH AGGREGATE TO HAVE A MIN. VOID VOLUME OF 30%
  - LONGITUDINAL SLOPE OF TRENCH NOT TO EXCEED 3%
  - INFILTRATION FEATURES TO BE 6' FROM PROPERTY LINES & TOP OF SLOPE & 3' FROM PUBLIC R.O.W.
  - OVERFLOW TO BE DIRECTED AWAY FROM NEIGHBORING PROPERTIES



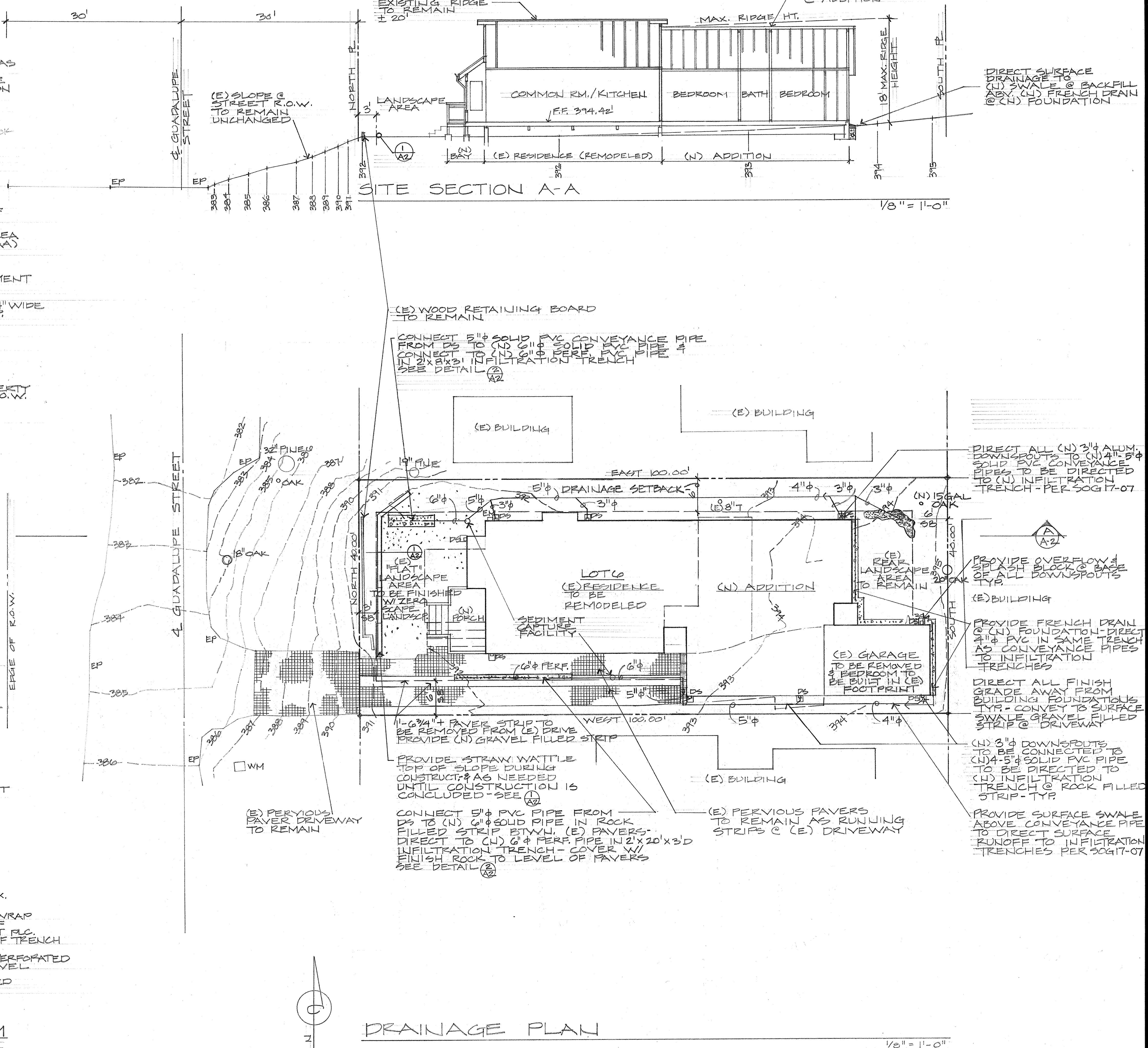
**SITE SECTION A-A**  
 1/8" = 1'-0"



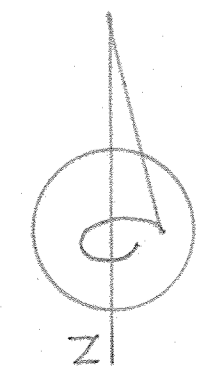
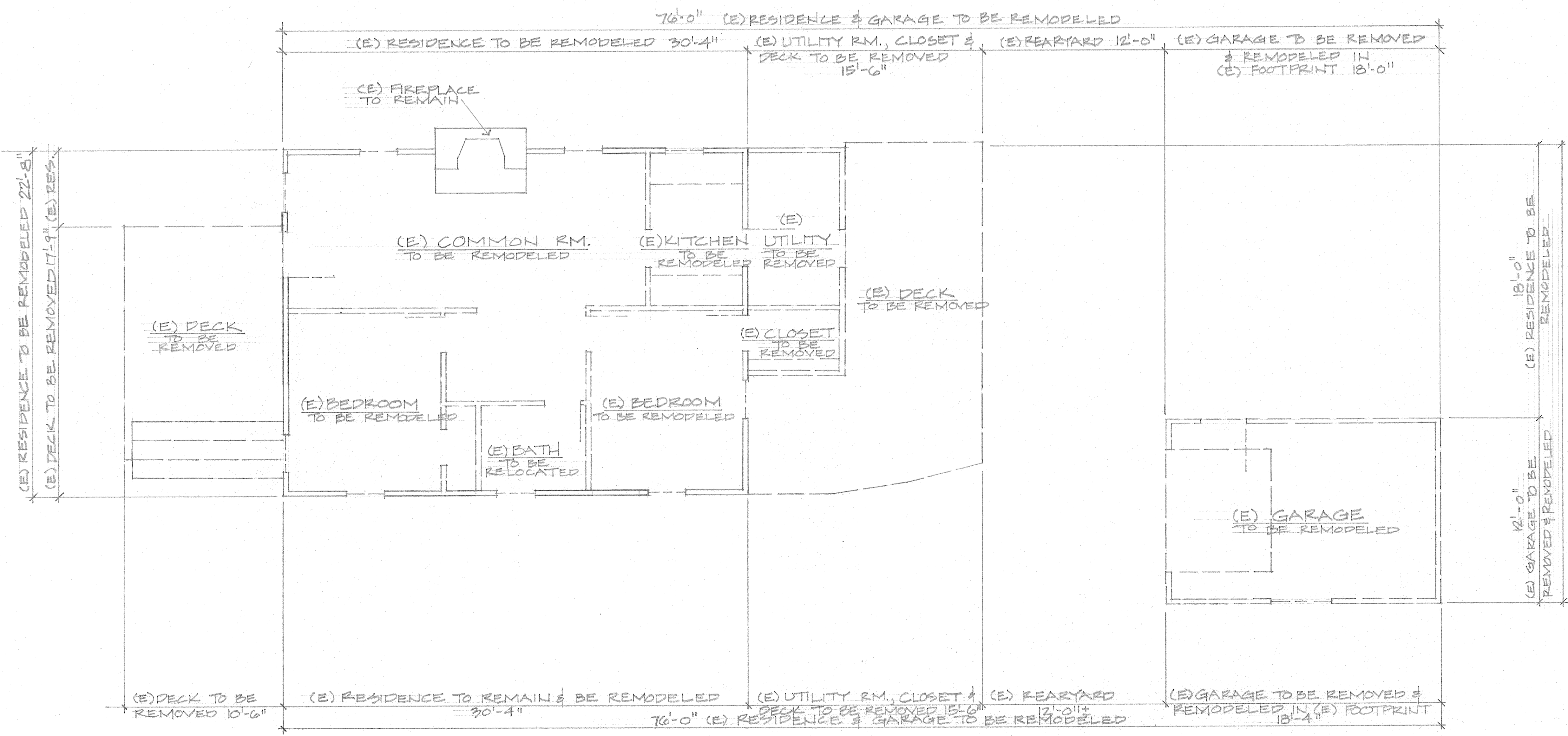
**STRAW WATTLE INSTALLATION DETAIL**  
 3/4" = 1'-0"



**SECTION B**  
**PERSCRIPTIVE INFILTRATION SYSTEM**  
 NO SCALE



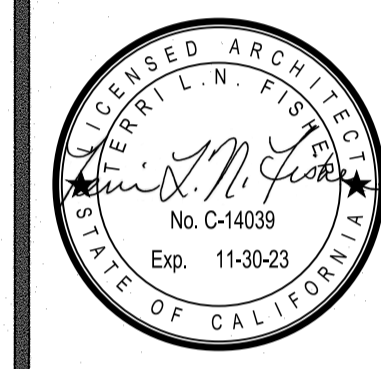
**DRAINAGE PLAN**  
 1/8" = 1'-0"



EXISTING FLOOR PLAN / DEMOLITION PLAN

1/4" = 1'-0"

**TERRI L.N. FISHER**  
 ARCHITECT  
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 SANTA CRUZ, CA 95060



PROJECT  
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 CARMEL, CA 93921

OWNERS:  
**FORTUNE/LEDBETTER**  
 FAMILY HOME

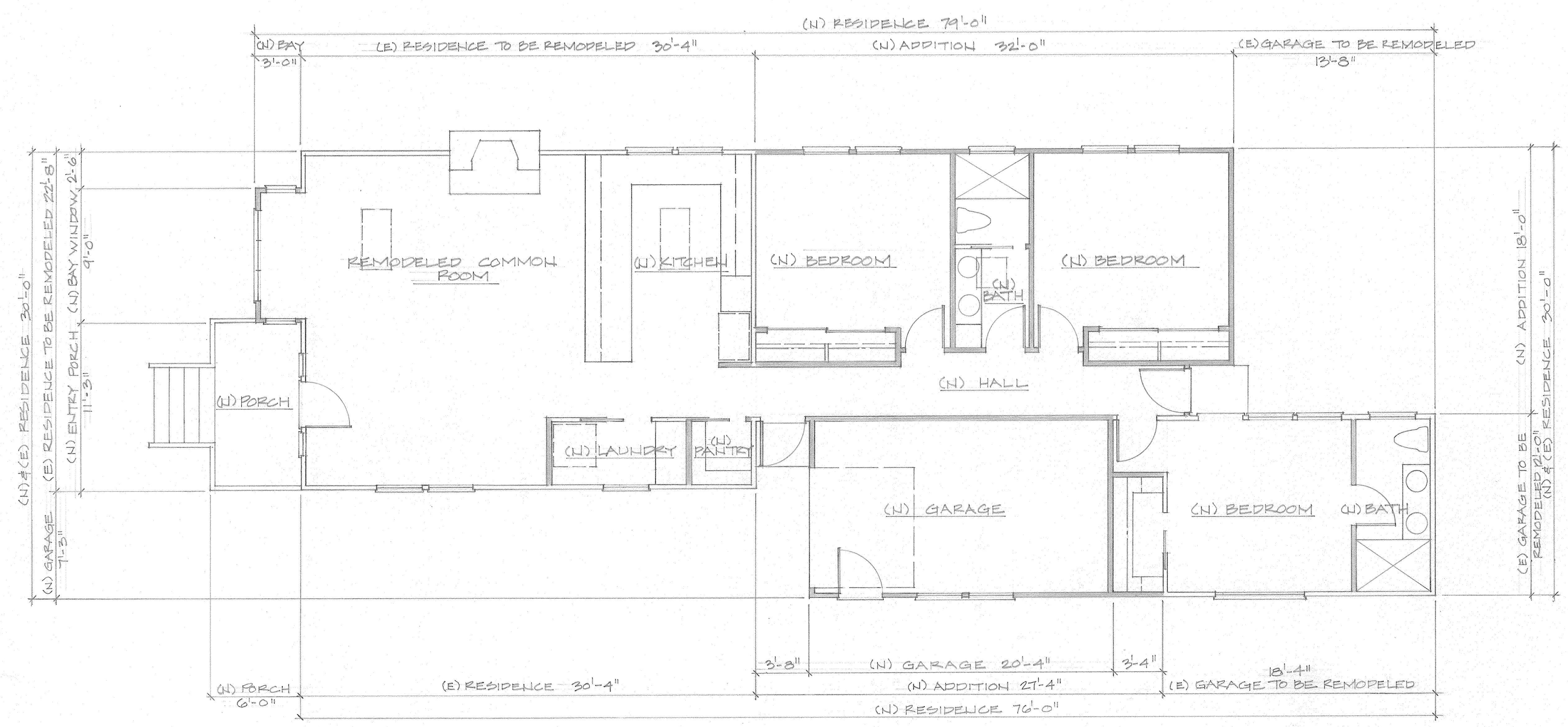
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DATE  
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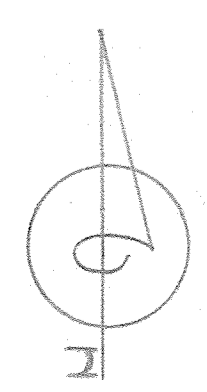
SCALE  
 1/4" = 1'-0"

SHEET

**A3**

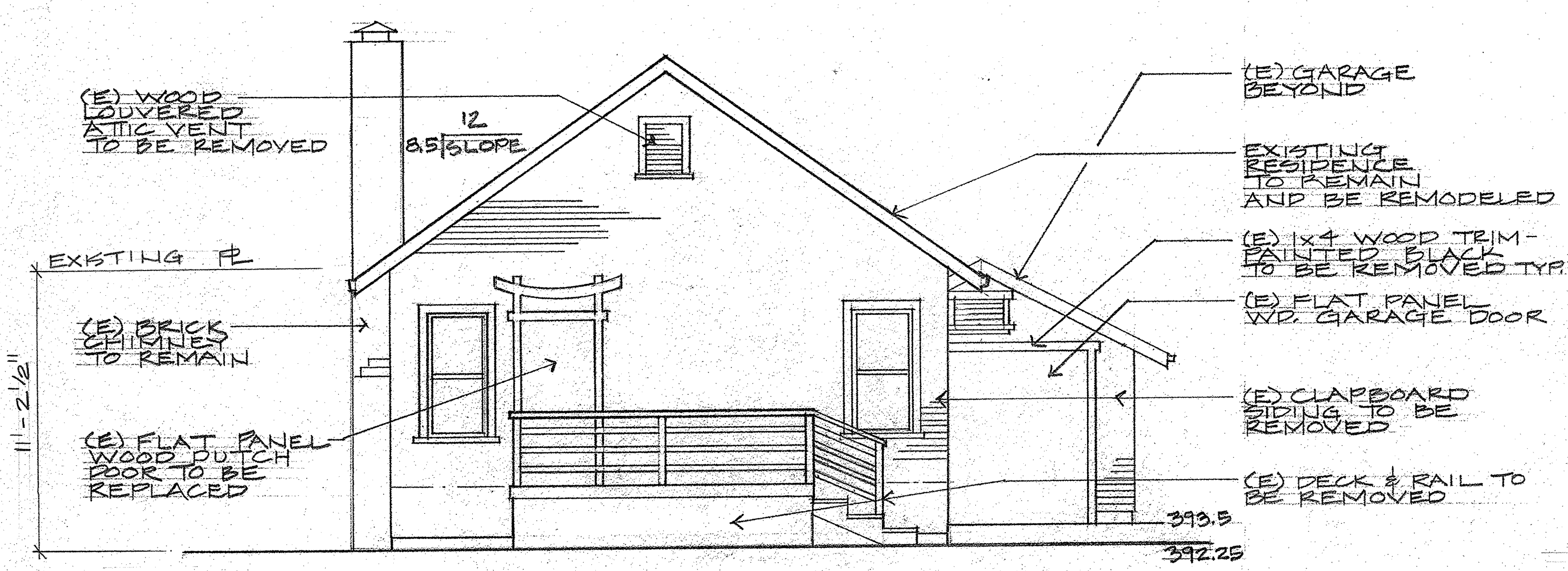


**WALL KEY**  
 ——— EXISTING WALLS TO REMAIN  
 ——— NEW 2x4 STUD WALLS



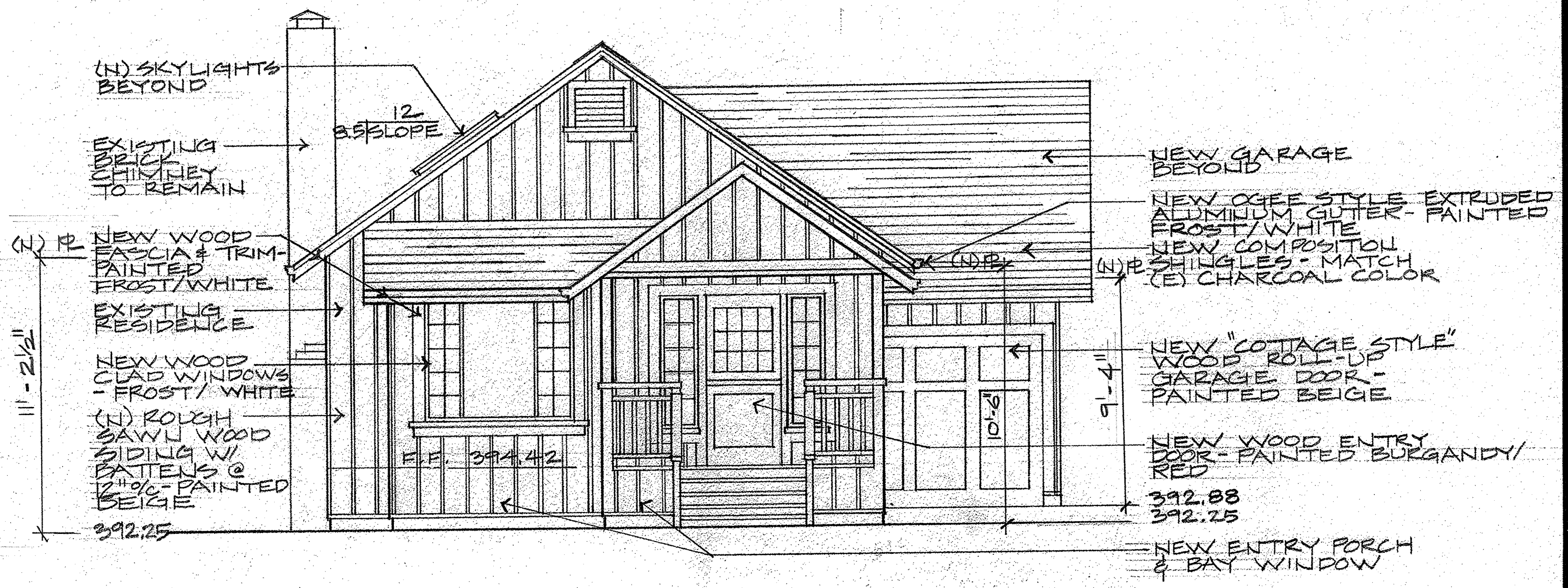
**PROPOSED FLOOR PLAN**

1/4" = 1'-0"



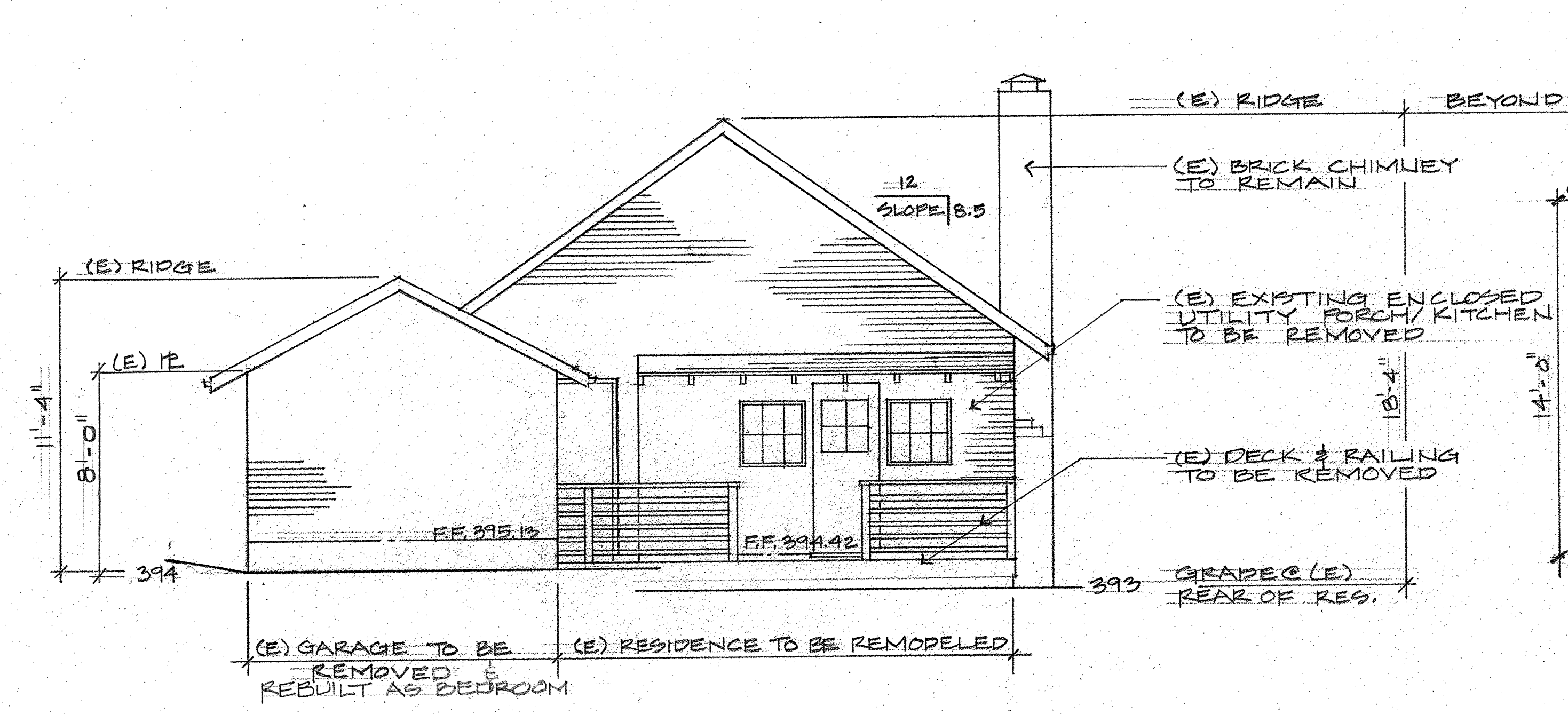
EXISTING WEST (FRONT) ELEVATION

1/4" = 1'-0"



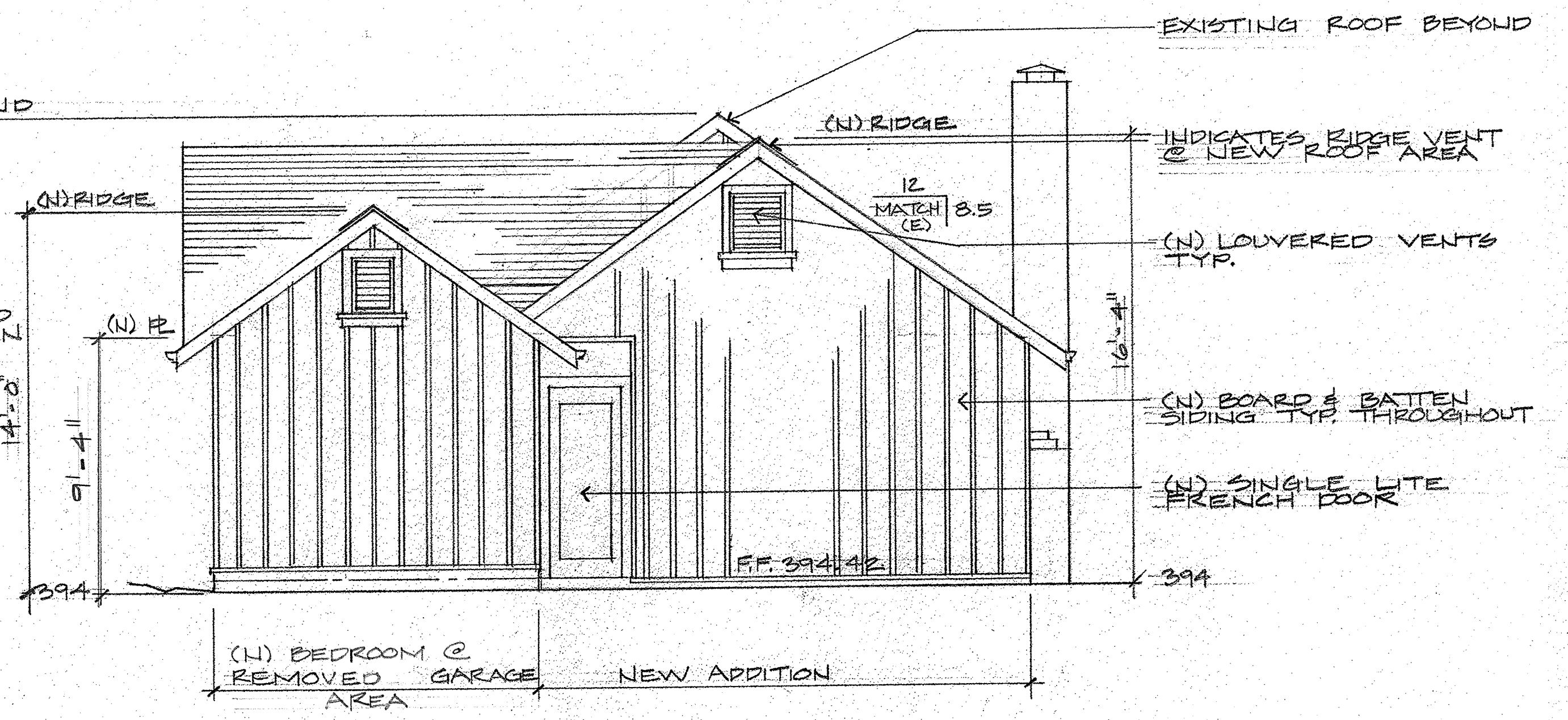
PROPOSED WEST (FRONT) ELEVATION

1/4" = 1'-0"



EXISTING EAST (REAR) ELEVATION

1/4" = 1'-0"

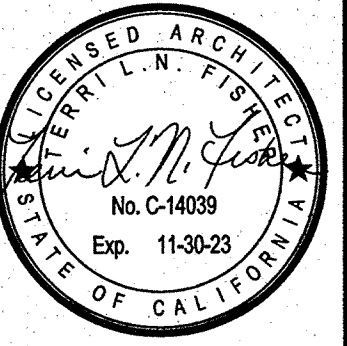


EAST (REAR) ELEVATION

1/4" = 1'-0"

TERRI L.N. FISHER

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200 WINDMILL LN.



PROJECT

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FORTUNE/LEDBETTER  
FAMILY HOME

OWNERS:

DRAWN BY

TF

DATE

AUG. 25, 2023

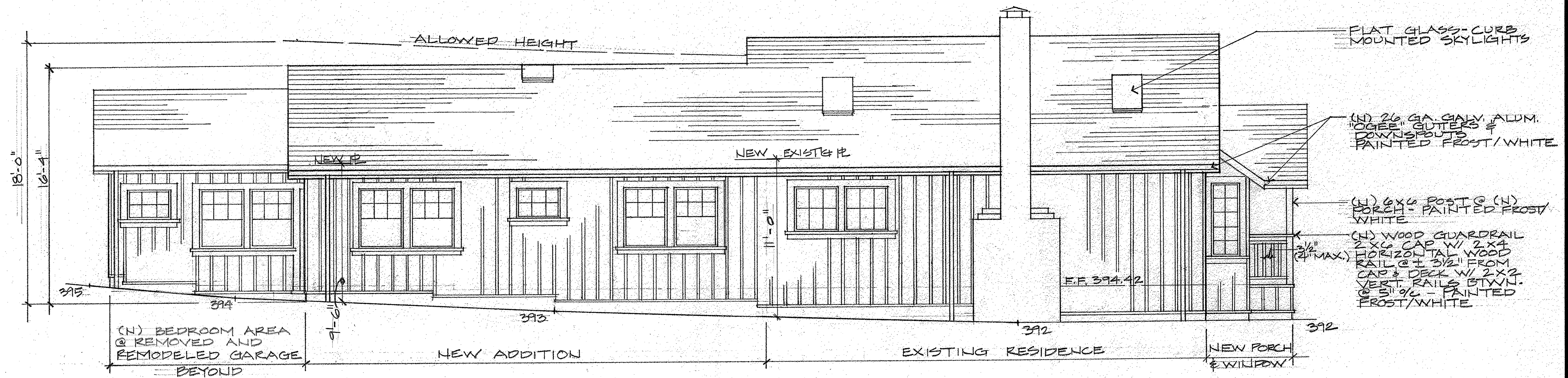
SCALE

1/4" = 1'-0"

SHEET

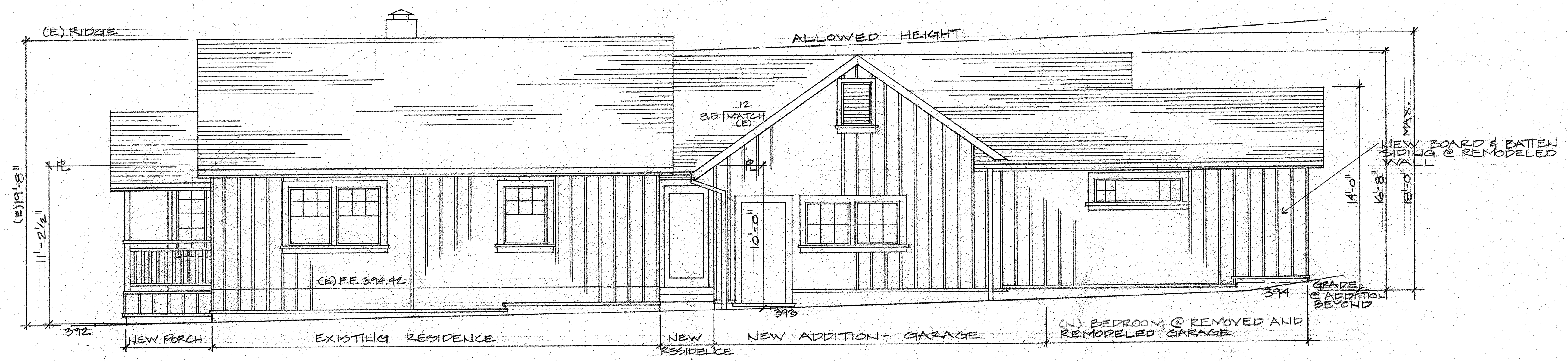
A5





NORTH ELEVATION

1/4" = 1'-0"



SOUTH ELEVATION

1/4" = 1'-0"

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 FAMILY HOME

OWNERS:

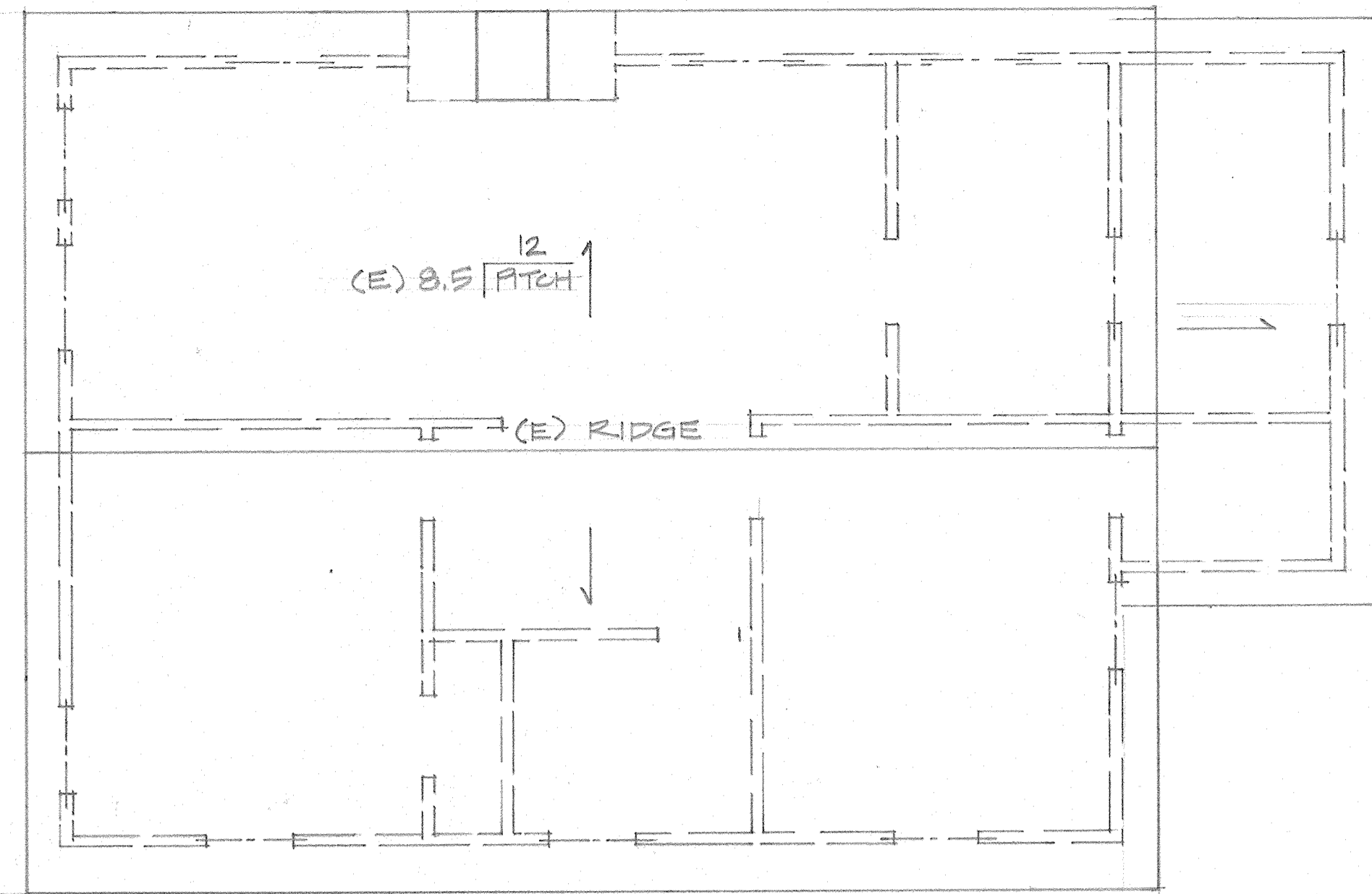
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DATE: AUG 25, 2023

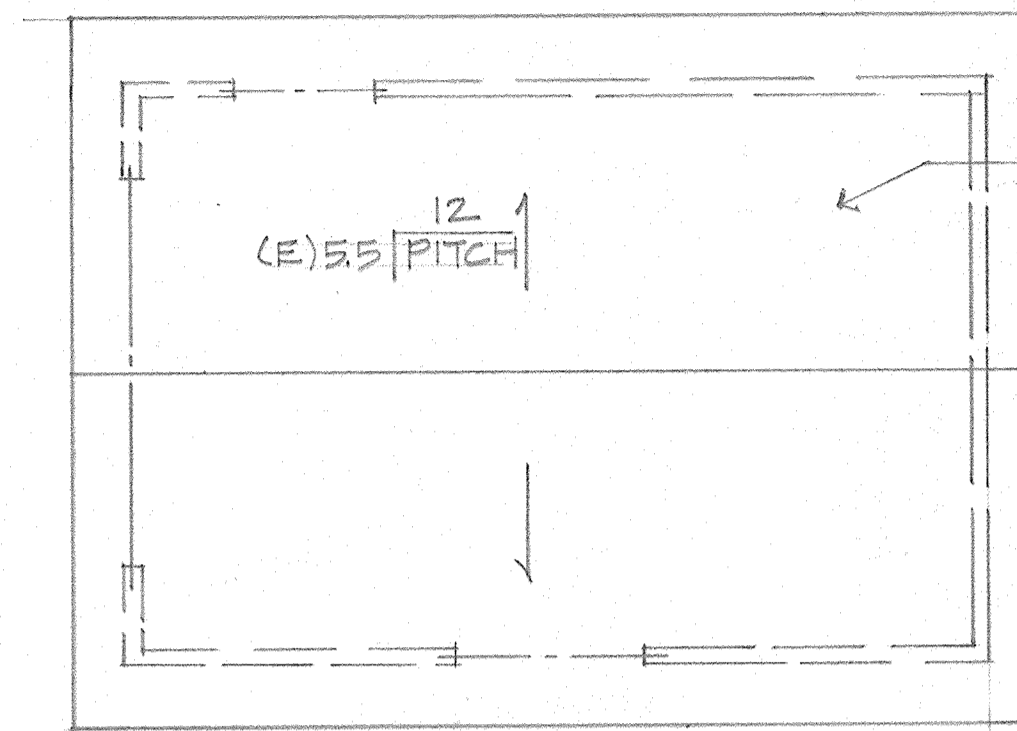
SCALE: 1/4" = 1'-0"

SHEET

A6

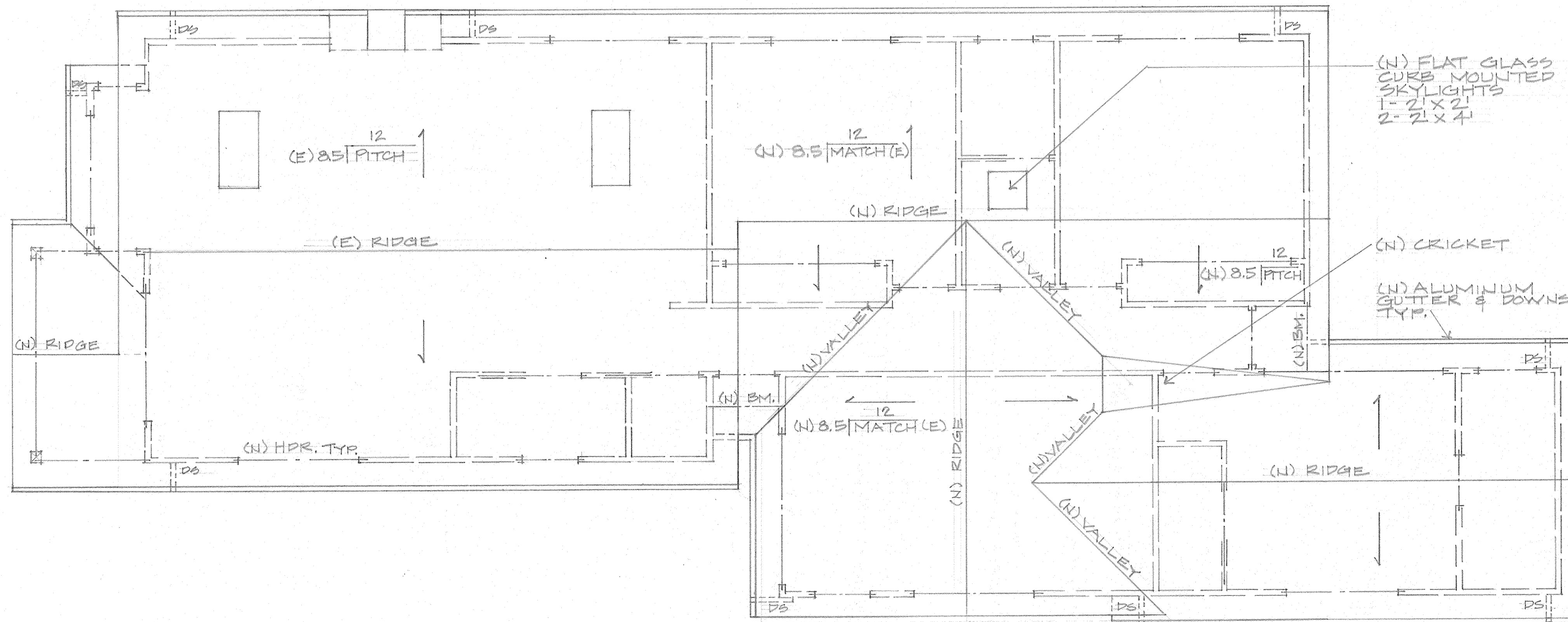
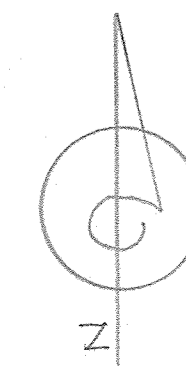


EXISTING ROOF PLAN (RESIDENCE)



(GARAGE)

1/4" = 1'-0"



PROPOSED ROOF PLAN

1/4" = 1'-0"

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FAMILY HOME

DRAWN BY  
F

DATE  
AUG. 25, 2023

SCALE  
1/4" = 1'-0"

SHEET

**A7**

## **EXTERIOR DOORS**

DS 23-273 (Fortune) Guadalupe Street 3 southeast of 3<sup>rd</sup> Avenue

Front door (Dutch door painted Queen of Hearts)



Side and rear door (aluminum clad white to match trim)



## WINDOWS

DS 23-273 (Fortune) Guadalupe Street 3 southeast of 3<sup>rd</sup> Avenue

Windows (aluminum clad white to match trim)



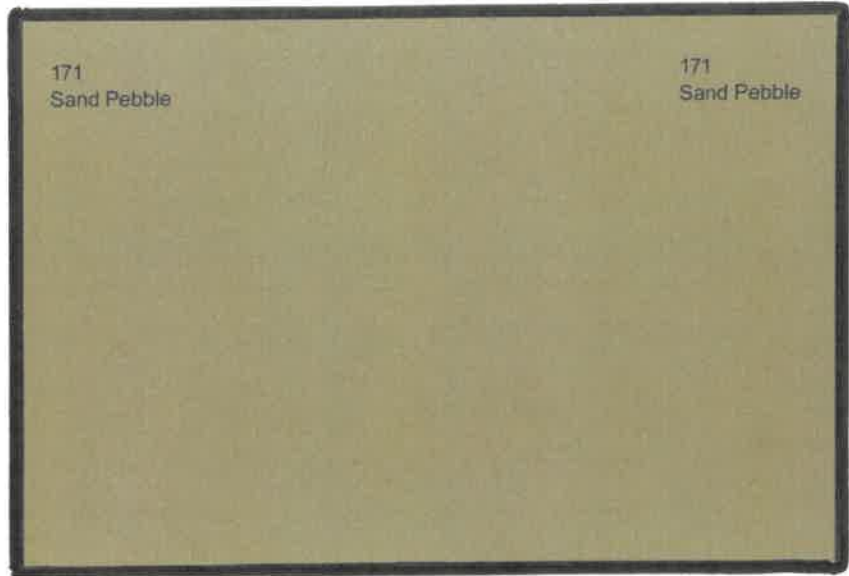
Cross sections of the window



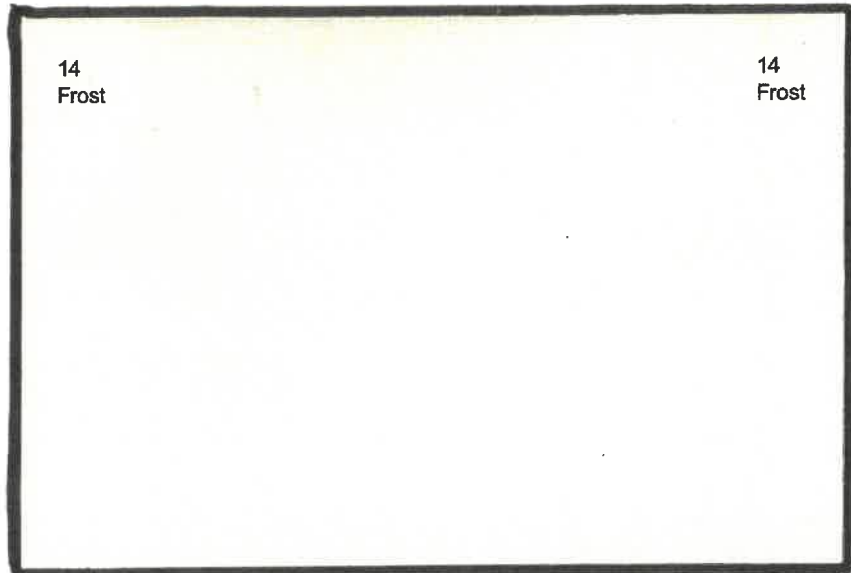
**EXTERIOR PAINT COLORS**

DS 23-273 (Fortune) Guadalupe Street 3 southeast of 3<sup>rd</sup> Avenue

Exterior  
Body



Exterior  
Trim



Front  
Door



# ACCENT LIGHTING

DS 23-273 (Fortune) Guadalupe Street 3 southeast of 3<sup>rd</sup> Avenue


## 25-Watt Equivalent Low Voltage Black Integrated LED Outdoor Surface Mount Deck Light

**1001 488 968**


### LED DECK/STEP LIGHT

**BLACK FINISH — METAL CONSTRUCTION**

**5 YEAR WARRANTY**



Includes Easy-clip Connector and 12" Wire




BRIGHTNESS SCALE





**Assembled Dimensions**  
3.7 in W x 3 in H x 2 in D


*Dimensiones del producto ensamblado*  
9.3 cm AN x 7.6 cm AL x 5 cm PR

3.7 in W  
9.3 cm AN



3 in H  
7.6 cm AL

LIGHTING PERFORMANCE: RENDIMIENTO DE ILUMINACIÓN:	
<b>2</b>	<b>Watts (Power Consumed)</b> Watts (Energía consumida)
<b>105</b>	<b>Lumens (Light Output)</b> Lúmenes (Intensidad de luz)
<p>Amber:  2600K</p>	<p>Warm White:  3000K 3200K</p>
<p>Bright White:  5500K</p>	<p>Daylight:  6500K</p>




Intertek

**SCAN ME**

with The Home Depot App  
for more product information.

ESCANÉAME con The Home Depot App  
para obtener más información  
acerca del producto.

**MODEL / MODELO: IYR2601L-2**



6 940500 316758

## EXTERIOR LIGHTING

DS 23-273 (Fortune) Guadalupe Street 3 southeast of 3<sup>rd</sup> Avenue

### Details **Antique Black Outdoor Wall Mount Sconce with Edison LED Light Bulb**

Compatible Bulb Type	LED	Damp/Wet Rating	Damp Rated
Durability	Weather Resistant	Exterior Lighting Product Type	Outdoor Sconce
Fixture Color/Finish	Antique Black	Fixture Material	Aluminum
Included	No additional accessories	Indoor/Outdoor	Outdoor
Light Bulb Base Code	E26	Light Bulb Type included	LED
Light Direction	Down	Max. Bulb Wattage (W)	60
Number of Lights	1 Light	Outdoor Lighting Features	Dimmable
Package Quantity	1	Power Source	Hardwired
Product Size	Medium	Product Weight (lb.)	2.419 lb
Recommended Light Bulb Shape Code	E26	Returnable	90-Day
Sconce Type	Barr	Shade Material	Metal
Shape	Circle	Style	Industrial
Voltage Type	Line Voltage		



# SKYLIGHTS

DS 23-273 (Fortune) Guadalupe Street 3 southeast of 3<sup>rd</sup> Avenue

## Electric "Fresh Air" Skylights

Deck-Mounted - VSE

~~Curb-Mounted - VCE~~

Model VSE



C08

Rough opening (W-in. x H-in.)

21 x 54 7/16



Electric "Fresh Air" Deck-Mounted No Leak Skylight - VSE



Electric "Fresh Air" Curb-Mounted No Leak Skylight - VCE



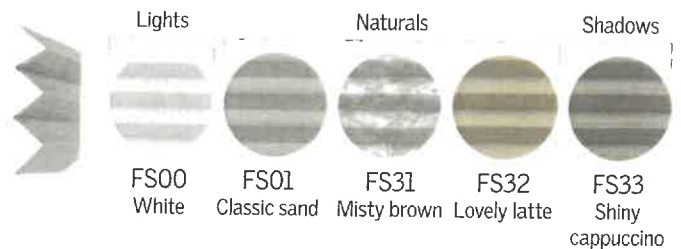
KLI 110 Remote

### In-stock light filtering - single-pleated blinds

✓ Light dimming  
Softens incoming light.

✓ Sleek design  
Neat pleats.

Factory-Installed Blinds





# ROOFING MATERIAL

DS 23-273 (Fortune) Guadalupe Street 3 southeast of 3<sup>rd</sup> Avenue

## Charcoal Algae Resistant 3-Tab Roofing Shingles

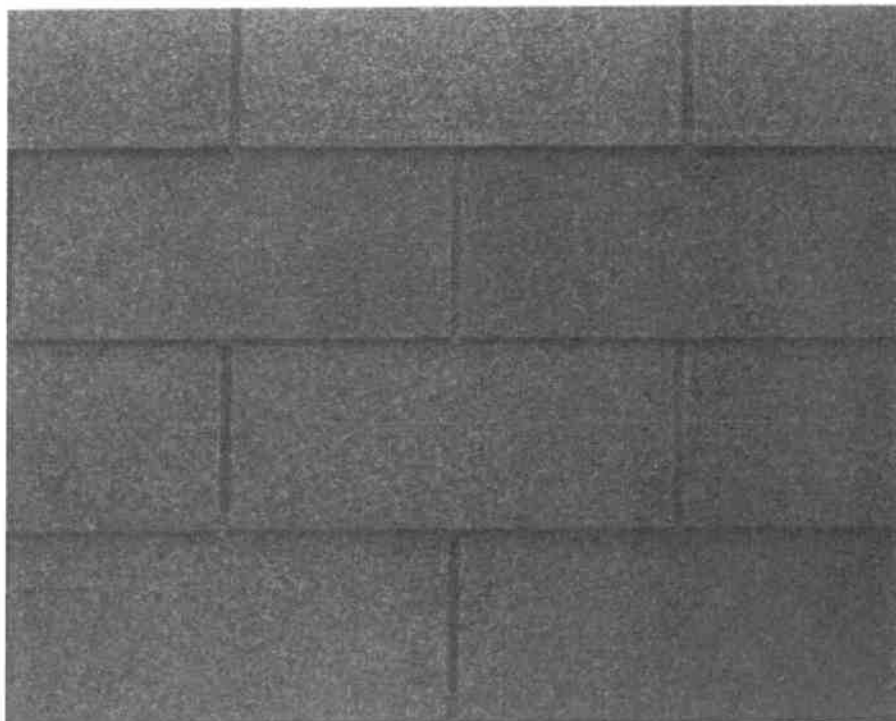
### Specifications

#### Dimensions

Coverage Area (sq. ft.)	33.33 sq ft	Product Length (in.)	36 in
Product Thickness (in.)	2.4 in	Product Width (in.)	12 in

#### Details

Color Family	Black	Color/Finish	Charcoal
Features	Energy Star Rated, High Wind Resistant	Fire Rating (UL 790)	Class A
Material	Asphalt	Number of bundles per 100 sq. ft. (Square)	3
Number of pieces per bundle	26	Requirements	Attic Ventilation, Underlayment
Roofing Product Type	3-Tab Shingle	Shingle Exposure (in.)	5
Shingle Type	3-Tab Shingle	Warranty	25 Year Limited Warranty
Weight Per Bundle (lb.)	62		



## **DRIVEWAY**

DS 23-273 (Fortune) Guadalupe Street 3 southeast of 3<sup>rd</sup> Avenue

Existing driveway



Paver 6 inch x 6 inch x 2 inches





Pavers 6 inch x 9 inch x 2 inches





## **FENCE**

DS 23-273 (Fortune) Guadalupe Street 3 southeast of 3<sup>rd</sup> Avenue

Continue the existing fence along the east side of the property (back)





