

GENERAL NOTES

GOVERNING CODES ASSOCIATED WITH THIS PROJECT:

2021 CARMEL-BY-THE-SEA MUNICIPAL CODE, 2019 CALIFORNIA RESIDENTIAL CODE (CRC), CALIFORNIA BUILDING CODE (CBC), CALIFORNIA MECHANICAL CODE (CMC), CALIFORNIA PLUMBING CODE (CPC), CALIFORNIA ELECTRICAL CODE (CEC), CALIFORNIA FIRE CODE (CFC), CALIFORNIA ENERGY CODE (CENC) & CALIFORNIA GREEN BUILDING CODE (CALGREEN), AND ALL OTHER APPLICABLE LOCAL AND STATE LAWS AND REGULATIONS.

THESE DRAWINGS ARE PREPARED FOR USE BY A PROPERLY LICENSED, BONDED & CERTIFIED CONTRACTOR.

ALL WORK SHALL BE DONE IN ACCORDANCE WITH APPLICABLE CODE AND ORDINANCE REQUIREMENTS SET FORTH BY THE PREVAILING GOVERNING BODY.

ALL WRITTEN DIMENSIONS SHALL SUPERCEDE SCALED DIMENSIONS.

CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS, MATERIALS, AND CONDITIONS PRIOR TO STARTING CONSTRUCTION AND REPORT ANY DISCREPANCIES TO THE OWNER PRIOR TO ORDERING MATERIALS.

CONTRACTOR IS RESPONSIBLE FOR COMPLETE FINAL DISPOSAL OF ALL CONSTRUCTION DEBRIS IN A MANNER CONSISTENT WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL LAWS.

VERIFY LOCATION OF UTILITIES AND EXISTING CONDITIONS AT THE SITE PRIOR TO CONSTRUCTION.

CONTRACTOR TO OBTAIN 811 TICKET PRIOR TO PERMIT ISSUANCE AND SHALL MAINTAIN THE TICKET IN ACTIVE STATUS THROUGH OUT THE PROJECT. TICKET SHALL BE AVAILABLE FOR INSPECTOR ON SITE.

SETBACK & HEIGHT CERTIFICATIONS

A STATE LICENSED SURVEYOR SHALL SURVEY AND CERTIFY THE FOLLOWING IN WRITING:

- THE FOOTING LOCATIONS FOR CONFORMANCE WITH THE APPROVED PLANS PRIOR TO FOOTING/FOUNDATION INSPECTION

- THE ROOF HEIGHT FOR CONFORMANCE WITH THE APPROVED PLANS PRIOR TO ROOF SHEATHING INSPECTION

- WRITTEN CERTIFICATIONS PREPARED, SEALED & SIGNED BY THE SURVEYOR SHALL BE PROVIDED TO THE BUILDING INSPECTIONS AT THE TIME OF SPECIFIED INSPECTIONS.

ARCHAEOLOGY SURVEY:

PHASE I ARCHAEOLOGICAL INVESTIGATION TOOK PLACE JULY 13, 2022. AN ARCHAEOLOGICAL RECONNAISSANCE SURVEY WAS UNDERTAKEN AT THE PROPERTY AND THERE WAS NO EVIDENCE OF ANY PREHISTORIC OR HISTORIC ARCHAEOLOGICAL RESOURCES PRESENT. THERE WERE NO CONSTRAINTS WHEN CONDUCTING THIS INVESTIGATION.

THE FOLLOWING RECOMMENDATIONS SHALL BE OBSERVED DURING CONSTRUCTION:

- CONDUCTING ARCHAEOLOGICAL AND CULTURAL SENSITIVITY TRAINING

- PROVIDING NATIVE AMERICAN AND ARCHAEOLOGIST MONITORS DURING GROUND DISTURBING ACTIVITIES

- TEMPORARILY HALT OR DIVERT EXCAVATIONS SHOULD ARCHAEOLOGICAL RESOURCES BE FOUND DURING GROUND DISTURBING ACTIVITIES; AND CONTACTING THE MONTEREY COUNTY CORONER SHOULD HUMAN REMAINS BE ACCIDENTALLY DISCOVERED.

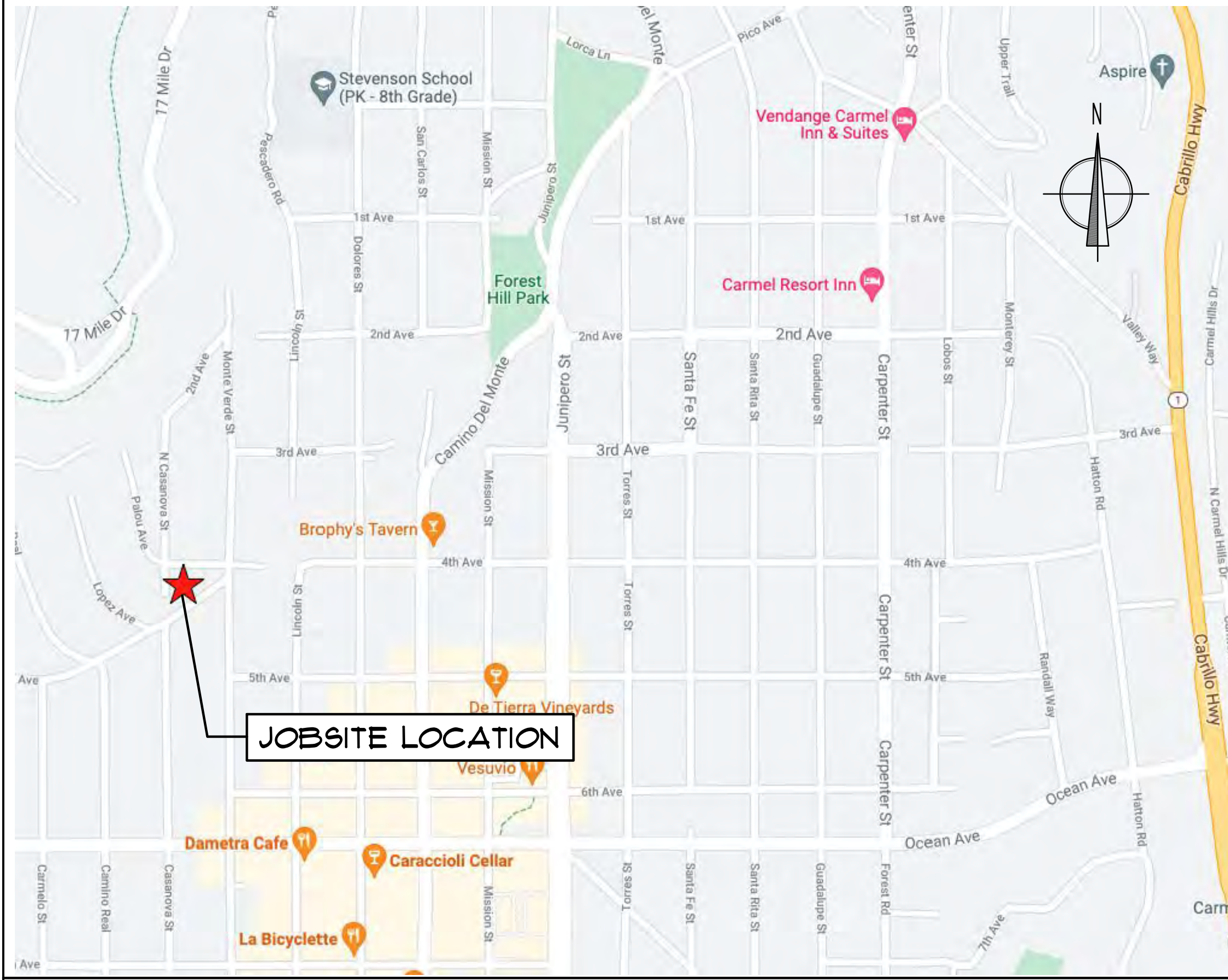
SYMBOL KEY



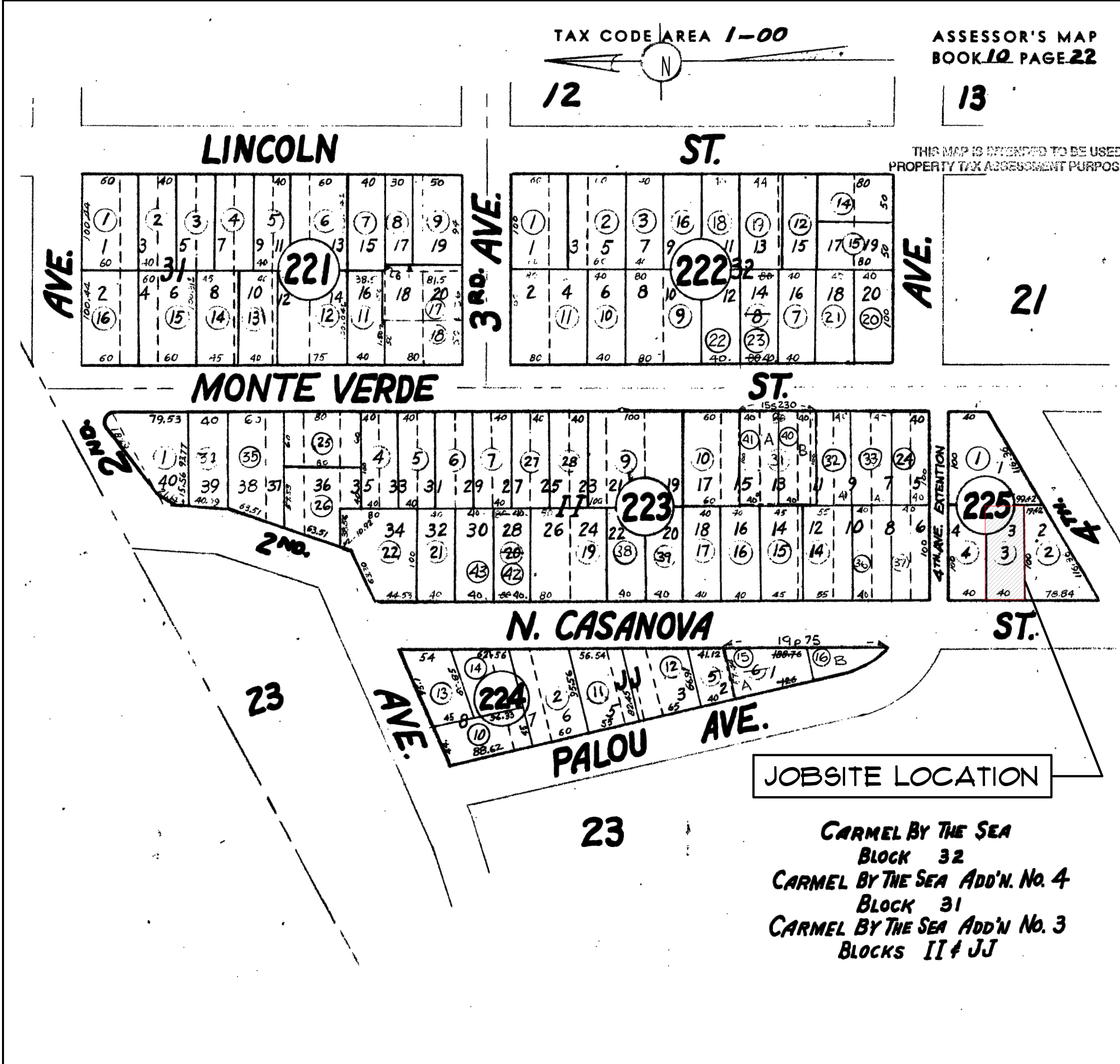
ABBREVIATIONS

A.B.	ANCHOR BOLT	F.O.C.	FACE OF CONCRETE	O.F.S.	OUTSIDE FACE OF STUD	U.N.O.	UNLESS NOTED OTHERWISE
A.C.	ASPHALTIC CONCRETE	F.O.S.	FACE OF STUD	OPP.	OPPOSITE		
A.C.	AIR CONDITIONING	FR. DR.	FRENCH DOOR	O.A.	OUTSIDE DIAMETER	VERT.	VERTICAL
ALUM.	ALUMINUM	FTG.	FOOT OR FEET				
APPROX.	APPROXIMATE		FOOTING				
ARCH.	ARCHITECTURAL						
ASPH.	ASPHALT	GA.	Gauge	PL.	PLATE	W/.	WITH
		GALV.	GALVANIZED	PLAS.	PLASTER	WAINS.	WAINSCOT
BD.	BOARD	G.I.	GALVANIZED IRON	PLY.	PLYWOOD	WC.	WATER CLOSET
BLDG.	BUILDING	GF.	GROUND FAULT INTERRUPTER	P&S	POLE & SHELF	WD.	WOOD
BKG.	BUCKING	GL.	GLASS	PT.	POINT	WDO.	WINDOW
BM.	BEAM	GND.	GROUND	PR.	PAIR	W/O.	WITH OUT
BOTT.	BOTTOM	GYP. BD.	GYPSUM BOARD	PS.	PAIR	WP.	WATERPROOF
						WVP.	WELED WIRE FABRIC
CAB.	CABINET	H.C.	HOLLOW CORE	R.A.	RETURN AIR		
CEM.	CEMENT	H.D.	HOLD DOWN	RAD.	RADIUS		
C.T.	CERAMIC TILE	HDR.	HEADER	RD.	ROUND		
C.I.	CAST IRON	HDWD.	HARDWOOD	REC.	RECESSED		
CLK.	CLEAR	HORIZ.	HORIZONTAL	REF.	REFRIGERATOR		
CLST.	CLOSET	H.R.	HOUR	RENF.	REINFORCED/ING		
COMP.	COMPOSITION	H.S.	HOSE BIBB	RES.	RESILIENT		
CONC.	CONCRETE	HT.	HEIGHT	R.M.	ROOM		
CLG.	CEILING	HVC.	HANDICAP	R.O.	ROUGH OPENING		
C.M.U.	CONCRETE MASONRY UNIT	HC.	HEATING VENTILATION & AIR CONDITIONING	R/W.	RIGHT OF WAY		
C.O.	CLEAN OUT	HW	HOT WATER	RWD.	REDWOOD		
COL.	COLUMN			R.W.L.	RAINWATER LEADER		
CONN.	CONNECTION	I.D.	INSIDE DIAMETER	SCHED.	SCHEDULE		
CONST.	CONSTRUCTION	INS.	INSULATION	S.C.	SOLID CORE		
CSMT.	CASEMENT	INT.	INTERIOR	SECT.	SECTION		
C.W.	COLD WATER	J.B.	JUNCTION BOX	S.F.	SQUARE FOOT/FEET		
		JST.	JOIST	SH	SINGLE HUNG		
DBL.	DOUBLE			SHT.	SHEET		
DET.	DETAIL	KIT.	KITCHEN	SHWR.	SHOWER		
DF.	DOUGLAS FIR	MECH.	MACHINE	SIM.	SIMILAR		
DIA. OR Ø	DIAMETER	KP	KICKER POST	SID.	SLIDER		
DM.	DIMENSION	KS	KING STUD	SID. GL. DR.	SLIDING GLASS DOOR		
DWN.	DOWNSPOUT			SPCS.	SPECIFICATIONS		
DRY.	DRYER	LAV	LAVATORIES	SQ.	SQUARE		
DW.	DRAIN	LIN.	LINEN	SQ.FT.	SQUARE FEET		
DWG.	DRAWING	LT.	LIGHT	STD.	STANDARD		
				STL.	STEEL		
EA.	EACH	MAT.	MATERIAL	STOR.	STORAGE		
ELEC.	ELECTRICAL	MAX.	MAXIMUM	STRUCT.	STRUCTURAL		
ELEV.	ELEVATION	M.B.	MACHINE BOLT	SS	STAINLESS STEEL		
ENCL.	ENCLOSURE	MECH.	MECHANICAL	SYM.	SYMMETRICAL		
EQ.	EQUAL	M.A.	MEDICINE CABINET				
EXH.	EXHAUST	MFR.	MANUFACTURER	TB	TOWEL BAR		
EXP.	EXPANSION	MIN.	MINIMUM	TEL.	TELEPHONE		
EXST. OR (E)	EXISTING	MISC.	MISCELLANEOUS	TEMP.	TEMPERED		
		MTD.	MOUNTED	THRS.	THRESHOLD		
FBGL.	FIBERGLASS	(N)	NEW	TAG.	TONGUE & GROOVE		
FD.	FLOOR DRAIN	N.I.C.	NOT IN CONTRACT	T.O.F.	TOP OF FOOTING		
FND.	FOUNDATION	NO. OR #	NUMBER	T.O.P.	TOP OF PLATE		
F.F.	FINISH FLOOR	N.T.S.	NOT TO SCALE	T.O.S.	TOP OF SLAB		
F.G.	FINISH GRADE			T.O.W.	TOP OF WALL		
FL.	FLUORESCENT	O/	OVER	TP.	TOILET PAPER		
		O.C.	ON CENTER	TYP.	TYPICAL		

VICINITY MAP



APN MAP



PROJECT CONTACTS

OWNER:

Ms. Li Lim
N. Casanova 2 SE of Palou
Carmel-by-the-Sea, CA 93923
408-390-0445
liyoongli@sbcglobal.net

SURVEYOR:

Christopher Stout
L & S Engineering and Surveying, Inc.
2460 Garden Road, Suite G
Monterey, CA 93940
831-655-2723
chris@landsengineers.com

RESIDENTIAL DESIGNER:

Angie Phares
Hastings Construction, Inc.
11 Thomas Owens Way, Ste. 201
Monterey, CA 93940
831-620-0920 x706
design@hastingsconstruction.com

ARCHAEOLOGIST:

Kaitlin Ruppert, RPA
EMC Planning Group
601 Abrego Street
Monterey, CA 93940
831-649-1799 x214
ruppert@emcplanning.com

DRAWING INDEX

T1 Title Sheet

CIVIL

1 Topographic Survey
T2 Tree Assessment Survey
T3 Tree Site Plan

ARCHITECTURAL

A1 Proposed Roof & Site Plans
A2 Existing Floor Plan
A3 Proposed Entry Level Floor Plan
A4 Proposed Upper Level Floor Plan
A5 Existing Exterior Elevations
A6 Proposed Exterior Elevations
A7 Exterior Finishes & Light Specifications
A8 Architectural Details
A9 Skylight Details & Specifications
A10 Door & Window Schedules
A11 3D Rendering
A12 Streetscape Elevations

SCOPE OF WORK

Demolition of an existing single story family residence and detached garage. Construction of a new two story, single family residence with attached garage and new paver driveway, removal of 1 tree. Landscaping to be natural. Fencing along perimeters to remain.

PROJECT DATA TABLE

LOT DATA:

Project Address: N. Casanova 2 SE Palou,
Carmel-By-The-Sea, CA
APN: 010-225-003-000
Zoning: R-1

BUILDING CODE DATA:

Occupancy: R-3/U
Construction Type: VB
Fire Sprinklers: Yes (Deferred Submittal)

Lot Area: 0.08004 ACRES (4,000 sq. ft.)

Existing Floor Area (Demo):
Living Floor Area: 848 SF
Garage Area: 205 SF
Base Floor Area: 1,053 SF
Building Footprint: 1,079 SF

Proposed Floor Area:

Entry Level Floor Area: 1,000 SF
Upper Level Floor Area: 497 SF
Garage Area: 270 SF
Base Floor Area: 1,767 SF
(Allowed: 1,800 SF)
Building Footprint: 1,350 SF

SITE COVERAGES

Existing Site Coverage Totals (Demo):
Permeable Coverage: 1,209 SF
Impervious Coverage: 96 SF

Proposed Site Coverage

Impervious:
Concrete Walkway: 53 SF
Covered Patios: 75 SF
Balcony: 32 SF
Total Impervious: 160 SF
Permeable:
9' Wide Driveway: 255 SF (160 SF Bonus + 95 SF Cov.)
Deck: 130 SF
Shower: 11 SF
Total Permeable: 396 SF

Total Site Coverage: 556 SF (Allowed: 396 SF; 556 SF w/4% Bonus)

TREE REMOVAL

One (1) Tree to be Removed:
• Tree #14 on the Tree Survey Report; species "Unknown"

SETBACKS

Allowed:
Front: 15'
Rear: 15'
Sides: 10' Composite
(25% lot width, min. 3')
Existing:
Front: 18'-2"
Rear: 7'-8"
North Sides: 13', 2'-9", 4'-4"
South Sides: 17'-2", 15'-4", 6'-11"

Proposed:

Front: 27'-0"
Rear: 17'-6"
North Sides: 5'-6", 6'-0", 6'-3"
South Sides: 9'-4", 3'-10", 9'-3"

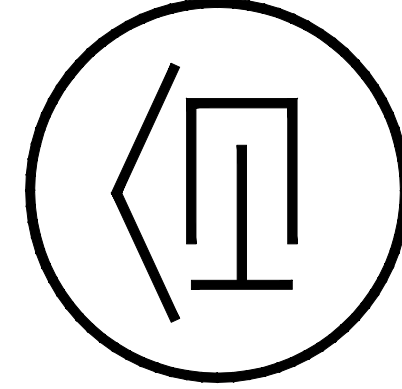
HEIGHT

Allowed:
1 Story Ridge: 18'
2 Story Ridge: 24'
1 Story Plate: 12'
2 Story Plate: 18'
Existing:
1 Story Ridge: 11'-10"
2 Story Ridge: N/A
1 Story Plate: 6'-6" +/-, 6'-9" +/-
2 Story Plate: N/A
Proposed:
1 Story Ridge: 15'-2"
2 Story Ridge: 20'-2"
1 Story Plate: 8'-1", 9'-1", 10'-1"
2 Story Plate: 7'-1"

Revision/Issue	Date
PSA 22-058 (LHM)	4/20/22
DS 22-051 (LHM)	10/24/22

HASTINGS CONSTRUCTION, INC.

11 THOMAS OWENS WAY, SUITE 201 | MONTEREY, CA 93940
(831) 620-0920 | DESIGN@HASTINGSCONSTRUCTION.COM
LIC#: 791539 CLASS: A/B



Drawing Title: TITLE SHEET	Job Title: LIM RESIDENCE	Project Address & APN: N. CASANOVA ST. 2 SE PALOU AVE., CARMEL-BY-THE-SEA, CA 93923 APN: 010-225-003-000 LOT 3
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Project: HC21001	Sheet
Date: 3/23/2023	
Drawn By: AAP	
Scale: N.T.S.	

T1

TREE ASSESSMENT SURVEY

Significant Tree Evaluation Worksheet

APN: 010-225-003-000
Street Location: Casanova 2 SE of Palou
Planner: Ivan Kori
City Forester: Sara Davis
Property Owner: Lim
Recommended Tree Density: 3 upper and 1 lower

Part One: Initial Screening:
Complete Part One to determine if further assessment is warranted. Trees must pass all criteria in Part One to be considered significant or moderately significant.

A. Does the tree pose an above-normal potential risk to life and property?

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
YES															
NO	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X

Any tree with structural impairment likely to cause failure should be marked as unsafe and removed. Use page five of this worksheet to document the safety risk. Trees that have limited and specific defects that can be remedied with selective pruning or other mitigation should be marked as safe and specific recommendations should be given to the owner for tree care. Such trees may still be assessed for significance.

B. Is the tree one of the following native species on the Carmel-by-the-Sea recommended tree list?

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
Species	MP	CR	CO	CO	CO	CO	CO	CO	CO	MP	CO	maple	?		
YES	X	X	X	X	X	X	X	X	X	X	X	X	X		
NO														X	X

MP-Monterey pine MC-Monterey cypress BP-Bishop pine CR-coast redwood CO-coast live oak
C1-Catalina ironwood CS-Catalina sycamore BL-big leaf maple OT-other
(Note: Other species on the recommended tree list may be determined to be Significant Trees only if they are exceptional examples of the species. Such trees also must exhibit excellent health, form, vigor, and substantial size to rate an overall score of at least 7 points in Part Two of the assessment.)

C. Does the tree meet the minimum size criteria for significance?

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
YES	40	8	8	8	8	8	8	8	8	36	18	6	20		
NO		X													

Monterey pine, Monterey cypress, Bishop pine, Coast redwood: 6" DBH
Coast live oak - single trunk tree: 6" DBH
Coast live oak - multi-trunk tree measured per industry standard: 6" DBH
California sycamore, Big leaf maple, Catalina ironwood, other: 10" DBH
dbh = diameter at breast height or 4.5 feet above the adjacent ground surface

Part Two: Assessment For Tree Significance

For each of the criteria below assign points as shown to assess the tree. If any criteria score is zero the assessment may stop as the tree cannot qualify as significant or moderately significant.

D. What is the health and condition of the tree?

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
score	2	2	2	2	2	2	2	2	2	2	2	2	2	2	1

0 points: The tree is heavily infested with pests or has advanced signs of disease that indicates the tree is declining and has very limited life expectancy.
1 point: The tree shows some pests or disease that impact its condition, but which does not immediately threaten the health of the tree. The tree may recover on its own, or with appropriate intervention.
2 points: The tree appears healthy and in good condition.
3 points: The tree shows excellent health, is free of pests and disease and is in very strong condition.

E. What is the overall form and structure of the tree?

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
score	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2

0 points: Prior pruning, disease or growth habit have left the tree deformed or unround to an extent that it cannot recover or will never be a visual asset to the neighborhood or will likely deteriorate into a structural hazard.
1 point: The tree has poor form or structure but (a) can recover with proper maintenance or (b) it provides visual interest in its current form, and does not have structural defects that are likely to develop into a safety hazard.
2 points: The tree has average form and structure for the species but does not exhibit all the qualities of excellent form and structure.
3 points: The tree exhibits excellent form and structure. For all species there will be a good distribution of foliage on multiple branches with no defects. For conifers, the tree will have a single straight leader with balanced branching and with good taper. Oaks will exhibit a well-developed canopy with no suppressed branches. Oaks may be single-trunked or multi-trunked and will have a balanced distribution of foliage on each.

F. What is the age and vigor of the tree?

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
score	1	2	2	2	2	2	2	2	2	2	2	2	2	2	2

0 points: The tree is over-mature or shows signs of poor or declining vigor such as die-back of major limbs or of the crown, small leaves/needles and/or minimal new growth.
1 point: The tree is mature but retains normal vigor and is likely to continue as a forest asset for a substantial period into the future.
2 points: The tree is young to middle age and shows normal vigor.
3 points: The tree is young to middle age and shows exceptional vigor.

G. Are environmental conditions favorable to the tree?

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
score	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1

0 points: The tree is crowded or has no room for growth to maturity. The tree has poor access to light, air, or has poor soil for the species.
1 point: The tree has average environmental conditions including room for growth to maturity, access to light, air and soils suitable for the species.
2 points: The tree has room for growth to maturity with no crowding from other significant trees or existing buildings nearby. The tree also has excellent access to light, air and excellent soils for root development.

Part Three: Final Assessment

Record the total points scored on D - G for each tree.

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
Total Score	6	7	7	7	7	7	7	7	7	6	7	7	6	7	6

A. Did all assessment categories in Part Two achieve a minimum score of 1-point?

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
YES	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X
NO		X													

B. Are there any other factors that would disqualify a tree from a determination of significance? (Explain any Yes' answer)

Yes

Conclusion: Does The Tree Qualify As Significant Or Moderately Significant?

If the tree meets the species, size and safety criteria identified in Part One and scores at least one point under each of the criteria in Part Two, it shall be classified as Significant if it achieves a score of 6 or more points or shall be classified as Moderately Significant if it achieves a score of 4 or 5 points. Tree species not listed in Part One-B that meet other screening criteria in Part One may be classified by the City Forester as Significant if they score at least 7 points, or as Moderately Significant if they score at least 4 points. All other trees are classified as non-significant.

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
SIGNIF	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X
MOD															
SIGNIF															
NOT															
SIGNIF	X														

Items to note: The pruning of neighbors' trees is not permitted without the property owners permission. Eutricate all ivy. Stop pruning the trees into squares. Remove high stumps in the public right of way.

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
Feet	20	0	6	6	6	6	6	6	6	6	18	9	3	10	

Required Tree Protection Zone

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
YES	60	0	18	18	18	18	18	18	18	18	54	27	9	30	

Requirements for tree preservation shall adhere to the following tree protection measures on construction site.

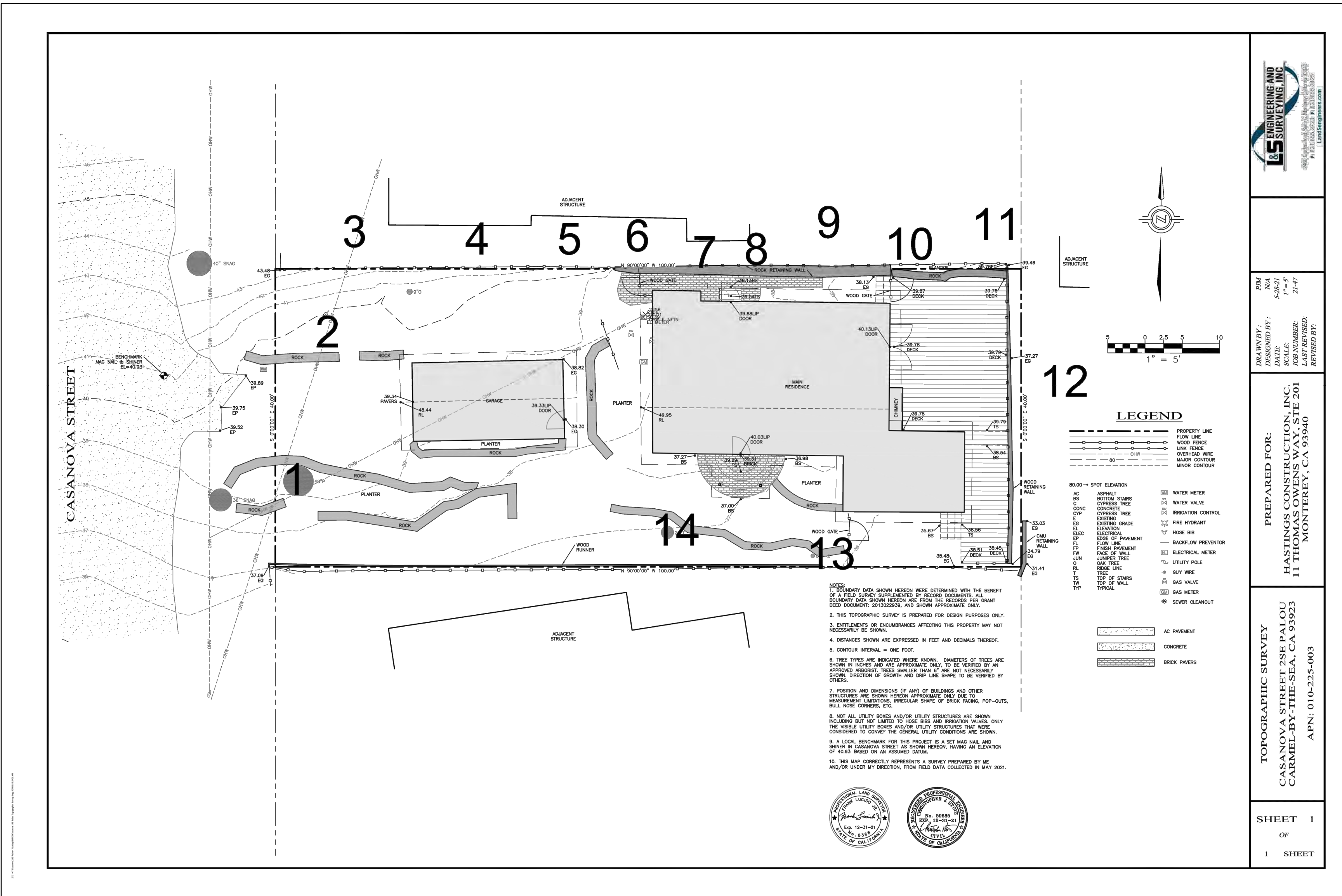
- Prior to grading, excavation, or construction, the developer shall clearly tag or mark all trees to be preserved.
- Excavation within 6 feet of a tree trunk is not permitted.
- No attachments or wires of any kind, other than those of a protective nature shall be attached to any tree.
- Per Municipal Code Chapter 17.48.110 no material may be stored within the dripline of a protected tree to include the drip lines of trees on neighboring parcels.

Tree Protection Zone - The Tree Protection Zone shall be equal to dripline or 18 inches radially from the tree for every one inch of trunk diameter at 4.5 feet above the soil line, whichever is greater. Minimum of 4 foot high transparent fencing is required unless otherwise approved by the City Forester. Tree protection shall not be resized, modified, removed, or altered in any manner without written approval. The fencing must be maintained upright and taught for the duration of the project. No more than 4 inches of wood mulch shall be installed within the Tree Protection Zone. When the Tree Protection Zone is 4 or within the drip line, no less than 6 inches of wood mulch shall be installed 18 inches radially from the tree for every one inch of trunk diameter at 4.5 feet above the soil line outside of fencing.

Structural Root Zone - Structural Root Zone shall be 6 feet from the trunk or 6 inches radially from the tree for every one inch of trunk diameter at 4.5' above the soil line, whichever is greater. Any excavation or changes to the grade shall be approved by the City Forester prior to work. Excavation within the Structural Root Zone shall be performed with pneumatic excavator, hydrovac at low pressure, or other method that does not sever roots.

If roots greater than 2 inches in diameter or larger are encountered within the approved Structural Root Zone the City Forester shall be contacted for approval to make any root cuts or alterations to structures to prevent roots from being damaged.

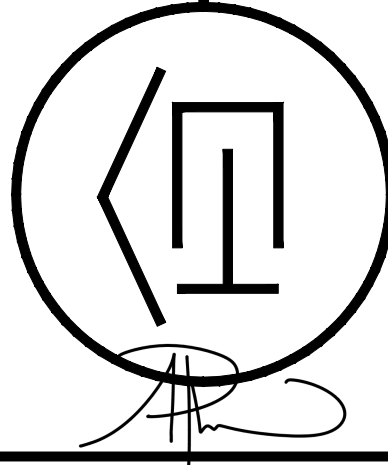
If roots larger than 2 inches in diameter are cut without prior City Forester approval or any significant tree is endangered as a result of construction activity, the building permit will be suspended and all work stopped until an investigation by the City Forester has been completed and mitigation measures have been put in place.



Revision/Issue	Date
PSA 22-058 (LIM)	4/20/22
DS 22-051 (LIM)	10/24/22
COMMENTS	

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11 THOMAS OWENS WAY, SUITE 201 | MONTEREY, CA 93940
(831) 620-0920 | DESIGN@HASTINGSCONSTRUCTION.COM
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Drawing Title:
TREE ASSESSMENT SURVEY

Job Title:

LIM RESIDENCE

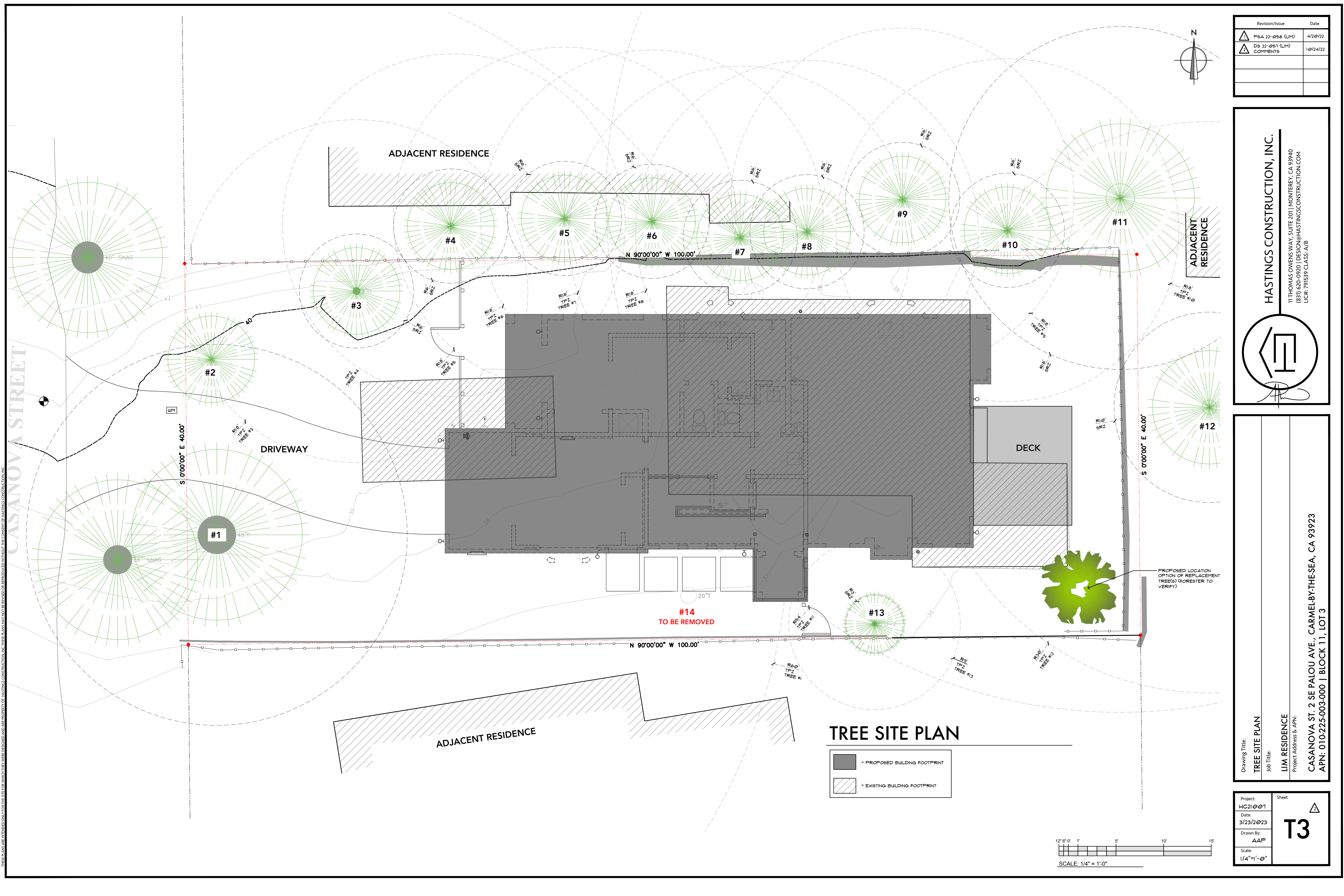
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CASANOVA ST. 2 SE PALOU AVE., CARMEL-BY-THE-SEA, CA 93923
APN: 010-225-003-000 | BLOCK 11, LOT 3

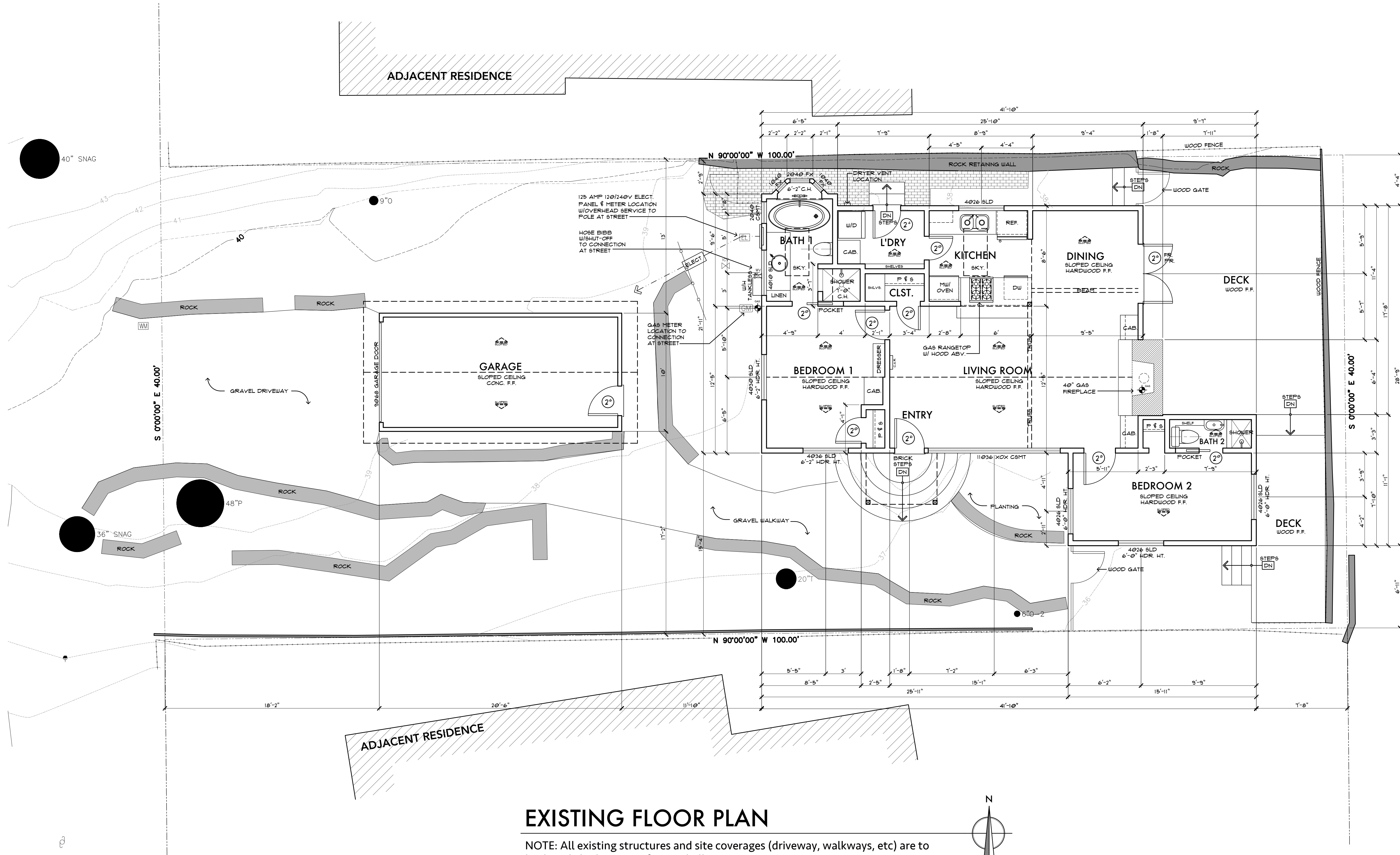
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HC21001
Date:
3/23/2023
Drawn By:
AAP
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N.T.S.

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T2

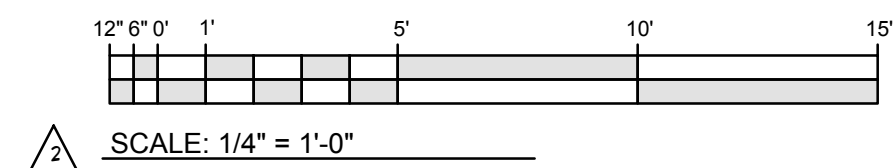
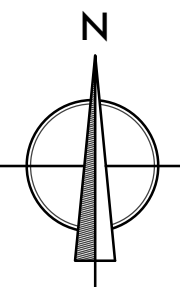


THESE PLANS ARE INTENDED ONLY FOR THE SITE FOR WHICH THEY WERE DESIGNED AND ARE PROPERTY OF HASTINGS CONSTRUCTION, INC. THESE PLANS MAY NOT BE REPRODUCED OR REPRODUCED WITHOUT THE CONSENT OF HASTINGS CONSTRUCTION, INC.



EXISTING FLOOR PLAN

NOTE: All existing structures and site coverages (driveway, walkways, etc) are to be demolished; existing fences shall remain.

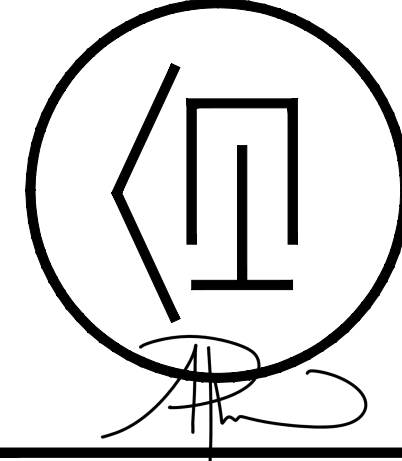


SCALE: 1/4" = 1'-0"

Revision/Issue	Date
D8 22-051 (LIM) COMMENTS	10/24/22

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EXISTING FLOOR PLAN

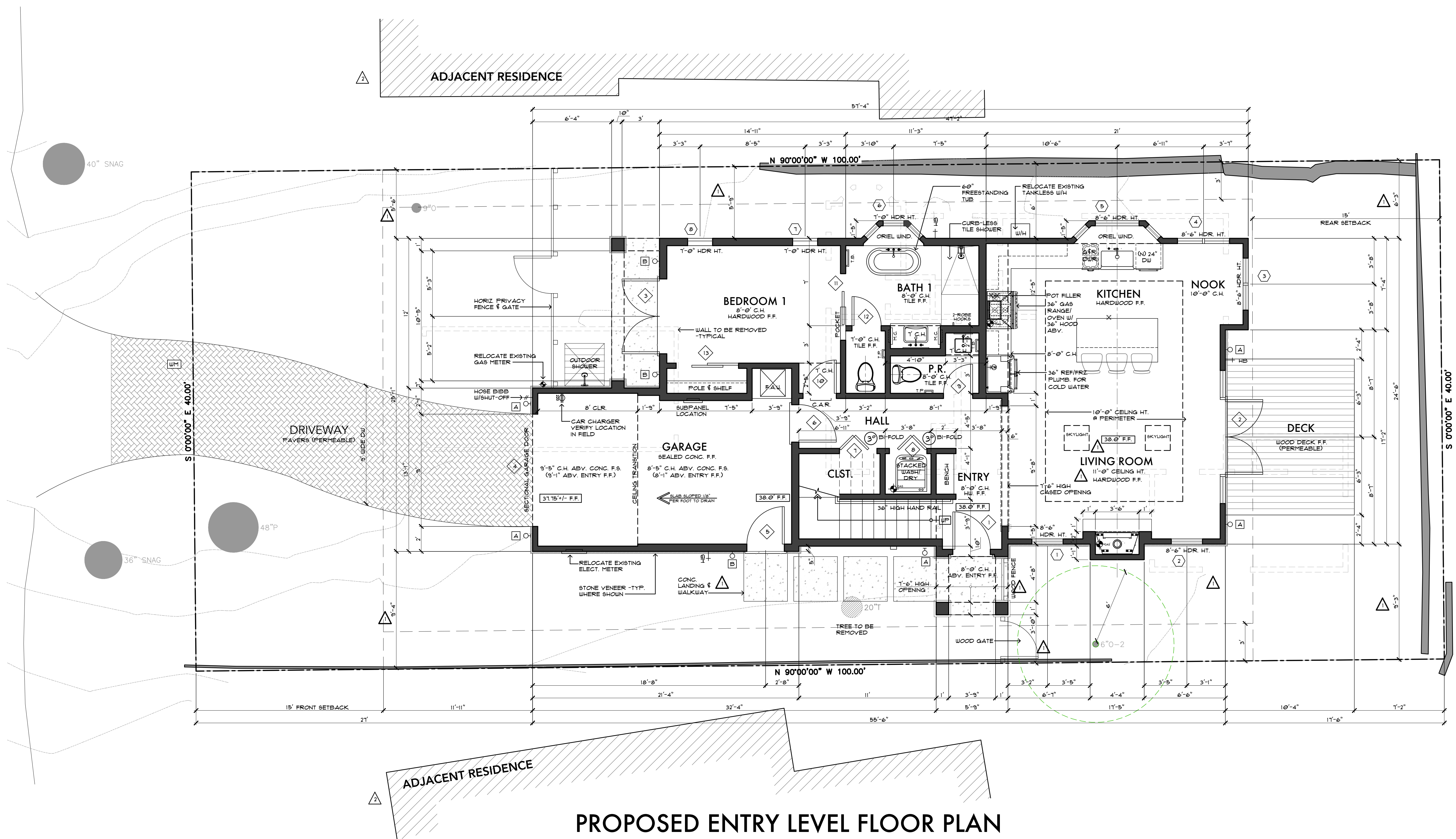
Job Title:
LIM RESIDENCE

Project Address & APN:
CASANOVA ST. 2 SE PALOU AVE., CARMEL-BY-THE-SEA, CA 93923
APN: 010-225-003-000 | BLOCK II, LOT 3

Project:
HC21001
Date:
3/23/2023
Drawn By:
AAP
Scale:
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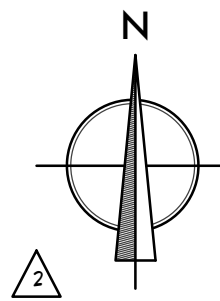
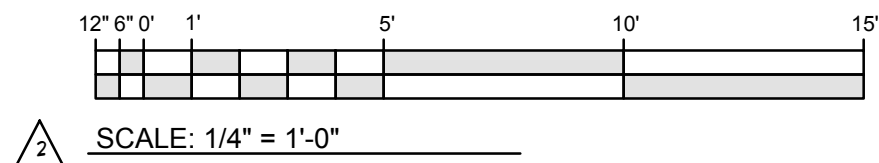
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PROPOSED ENTRY LEVEL FLOOR PLAN

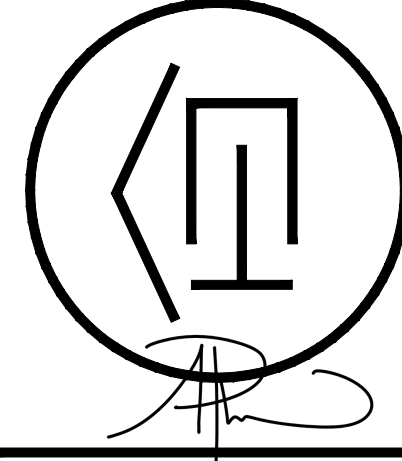
	= NEW WALL
	= EXISTING WALL TO REMAIN (N/A)
	= EXISTING WALL/ELEMENT TO BE REMOVED



Revision/Issue	Date
PSA 22-058 (LIM)	4/20/22
DS 22-051 (LIM)	10/24/22
COMMENTS	

HASTINGS CONSTRUCTION, INC.

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LIC#: 791539 CLASS: A/B



Drawing Title:
PROPOSED ENTRY LEVEL FLOOR PLAN

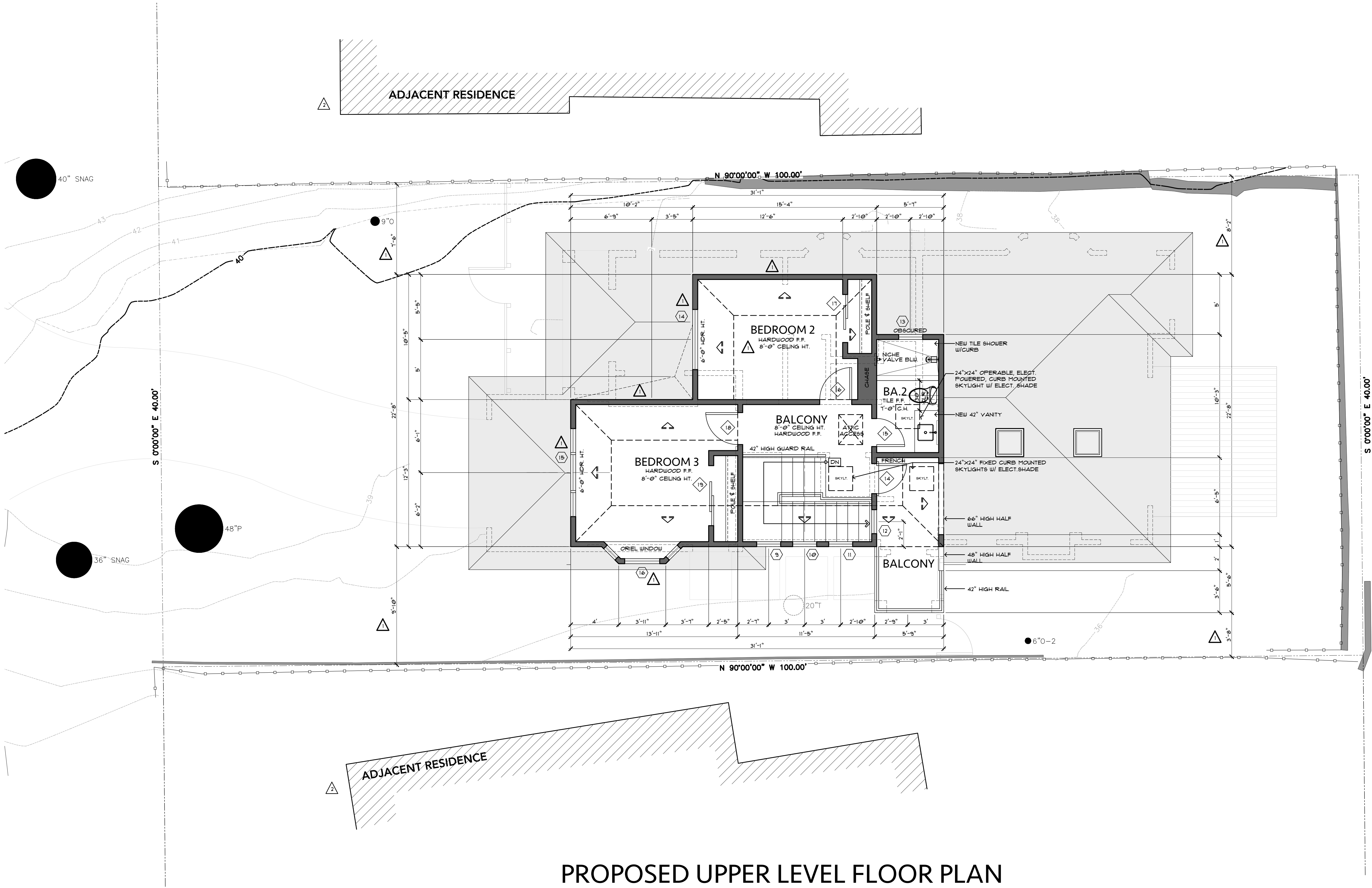
Job Title:
LIM RESIDENCE
Project Address & APN:
CASANOVA ST. 2 SE PALOU AVE., CARMEL-BY-THE-SEA, CA 93923
APN: 010-225-003-000 | BLOCK 11, LOT 3

Project:
HC21001
Date:
3/23/2023
Drawn By:
AAP
Scale:
1/4"=1'-0"

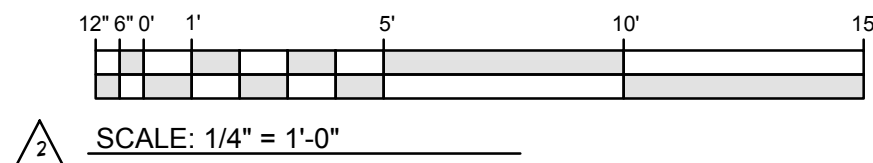
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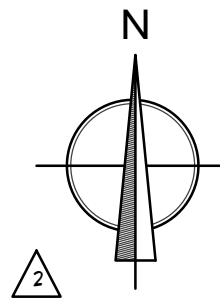
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PROPOSED UPPER LEVEL FLOOR PLAN



SCALE: 1/4" = 1'-0"



Revision/Issue	Date
PSA 22-0508 (LIM)	4/20/22
PS 22-0511 (LIM)	10/24/22
COMMENTS	

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Drawing Title:
PROPOSED UPPER LEVEL FLOOR PLAN

Job Title:
LIM RESIDENCE

Project Address & APN:
CASANOVA ST. 2 SE PALOU AVE., CARMEL-BY-THE-SEA, CA 93923
APN: 010-225-003-000 | BLOCK 11, LOT 3

Project:
HC21001

Date:
3/23/2023

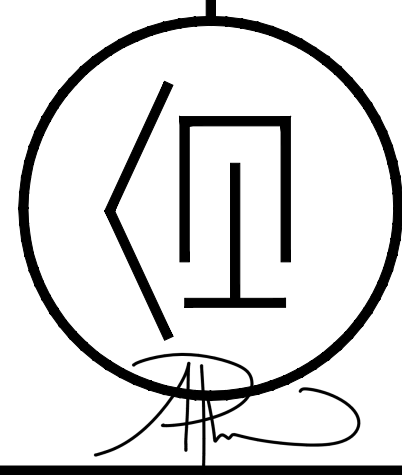
Drawn By:
AAP

Scale:
1/4"=1'-0"

Sheet
A4

Revision/Issue		Date
2	DS 22-051 (LIM) COMMENTS	10/24/20

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Drawing Title:

LIM RESIDENCE

CASANOVA ST. 2 SE PALOU AVE., CARMEL
APN: 010-225-003-000 | BLOCK 11, LOT 3

Project:
HC21007

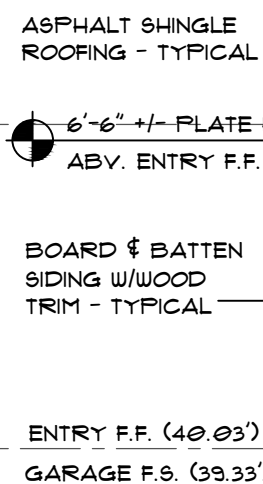
Date:
3/23/2023

Drawn By:
AAP

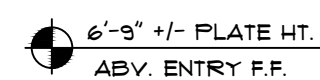
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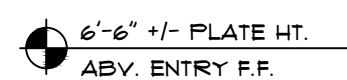
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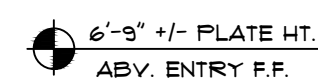
EXISTING RIGHT SIDE ELEVATION



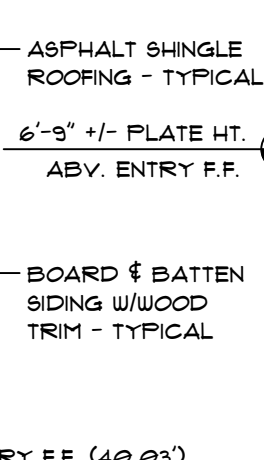
EXISTING FRONT ELEVATION



EXISTING REAR ELEVATION



EXISTING FRONT ELEVATION - FROM STREET



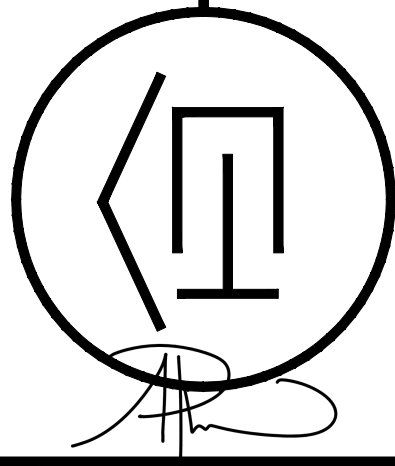
EXISTING LEFT SIDE ELEVATION

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Revision/Issue	Date
△ P&A 22-058 (LIM)	4/20/22
△ D&S 22-051 (LIM)	10/24/22
COMMENTS	

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LIC#: 791539 CLASS: A/B



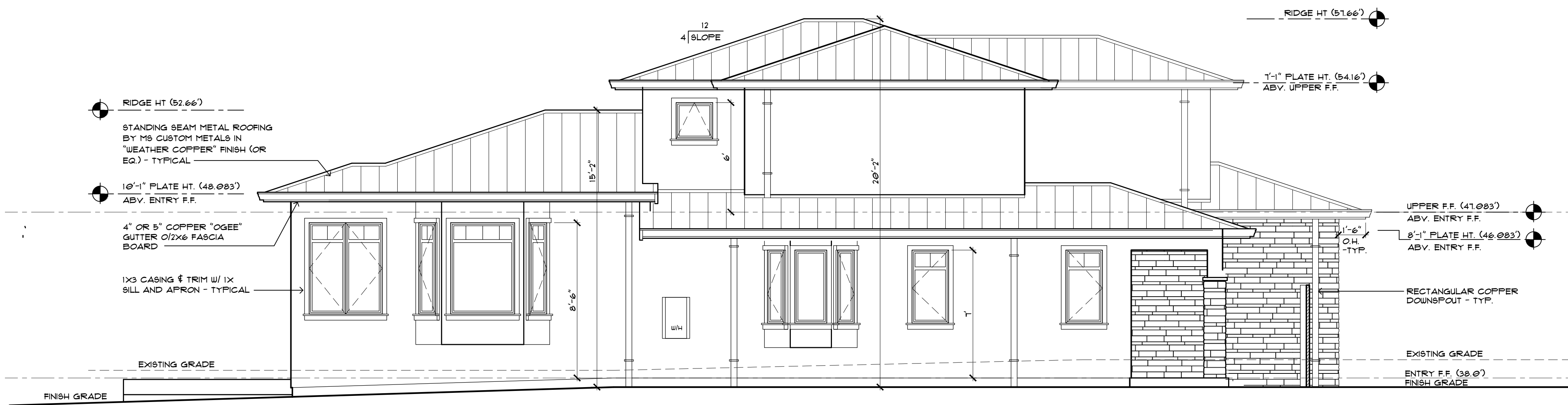
△ PROPOSED RIGHT (SOUTH) ELEVATION



△ PROPOSED REAR (EAST) ELEVATION



△ PROPOSED FRONT (WEST) ELEVATION



△ PROPOSED LEFT SIDE (NORTH) ELEVATION

Drawing Title:
PROPOSED EXTERIOR ELEVATIONS

Job Title:

LIM RESIDENCE

Project Address & APN:

CASANOVA ST. 2 SE PALOU AVE., CARMEL-BY-THE-SEA, CA 93923
APN: 010-225-003-000 | BLOCK 11, LOT 3

Project:
HC21001
Date:
3/23/2023
Drawn By:
AAP
Scale:
1/4"=1'-0"

Sheet

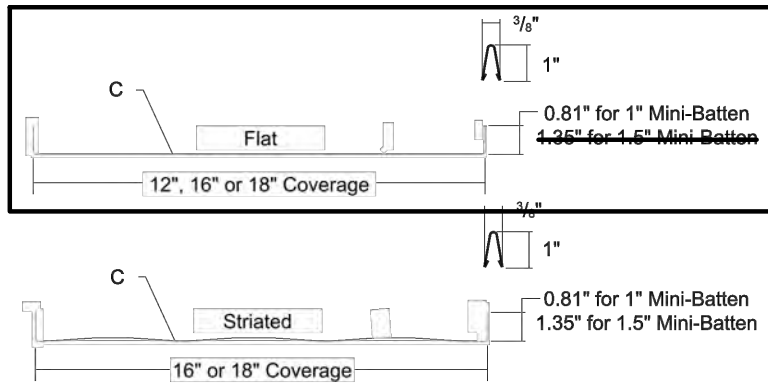
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Metal Roofing Specifications

MINI-BATTEN

Condensed
Technical
Reference



ARCHITECTURAL PANEL **CONCEALED FASTENED** **12", 16" OR 18" COVERAGE** **MINIMUM SLOPE 3:12** **SOLID SUBSTRATE**

PANEL OVERVIEW

- Finishes: PVDF, MS Colorfast45® and Acrylic-Coated Galvalume®
- Corrosion Protection: AZ55 per ASTM A 792 for unpainted Galvalume® AZ50 per ASTM A 653 for Galvalume® G90 per ASTM A 653 for Galvalume®
- Gauges: 26 ga and 24 ga standard, 22 ga optional
- 12", 16" or 18" panel coverage 1" or 1 1/2" rib height with narrow batten cap
- Panel Length: Minimum: 5'; Maximum: 45' recommended
- Architectural standing rib roof system
- Applies over solid substrate with minimum 30# felt underlayment
- Minimum roof slope: 3:12
- Flat and Striated pan available

TESTING AND APPROVALS

- UL 2218 Impact Resistance - Class 4
- UL 790 Fire Resistance Rating - Class A, per building code
- UL 263 Fire Resistance Rating - per assembly
- UL 580 Uplift Resistance - Class 90 Construction:
- 1" Mini-Batten: #397, #397A and #430
- 1 1/2" Mini-Batten: #352
- ASTM E 1592 Uplift Resistance
- ASTM E 283 Air Leakage - 0.005 cfm/ft² at 6.24 psf
- ASTM E 331 Water Penetration - none at 12 psf

metal sales
manufacturing corporation

MINI-BATTEN

Condensed
Technical
Reference

ATTACHMENT DETAILS

FASTENING INFORMATION

- Clips**
Clip spacing is based upon the design loads, the spanning capacity of the panels, the fasteners and the support members.
Clips are 0.027" thick, G90 galvanized.
Clips can accommodate thermal expansion and contraction.
- Fasteners**
Overdriven fasteners will cause panel distortions.
Fasteners should extend 1/2" or more past the inside face of the support material.
Clip Fasteners:
#10-12 Pancake Head Wood Screw
Concealed End Fastener:
#10-12 Pancake Head Wood Screw
Trim Fasteners:
1/4" x 14 x 7/8" XL Slitch Screw
1/8" x 3/16" Pop Rivet

PANEL CLIPS

BEND DOWN OVER PANEL

MINI-BATTEN (1 1/2" rib height) **MINI-BATTEN (1" rib height)**

3-2022 1318

PVDF Color Name (Color Code)		Solar Reference ASTM C 1549	Thermal Emittance ASTM C 1371	Solar Reflectance ASTM E 1880	Low Gloss	Metallic Finish	ENERGY STAR® Sleep Slope®	ENERGY STAR® Low Slope®	CRCR Sleep Slope®	CRCR Low Slope®	LEED Sleep Slope®	LEED Low Slope®
Weathered Copper (W50)		0.32	0.84	32	•	•	•	•	•	•	•	•

*LOW SLOPE: Surface with a slope of 2:12 or less • STEEP SLOPE: Surface with a slope greater than 2:12

metalsales.us.com



Light Fixture A Specifications

Modern Forms Vitrine 16" High Bronze LED Outdoor Wall Light

Product Details

This bronze outdoor wall light has a mouth-blown seeded glass shade that adds a beautiful rain-washed effect.

Additional Info:

Gorgeous glass and a rich oil-rubbed bronze finish make for a compelling combination in this outdoor LED wall light from Modern Forms. This light features absolutely beautiful seeded optic glass, mouth-blown for an incredible look flanking a front or back door. Perfect for indoor and outdoor settings in luxury homes and resorts. Supports smooth dimming with the addition of an electronic low voltage dimmer (not included).



Shop all Modern Forms

- 16" high x 6 1/2" wide. Extends 4 1/2" from the wall.
- Backplate is 14 3/4" high x 6 1/2" wide x 3/4" deep. Glass is 14" high x 5 1/4" wide x 3" deep.
- Includes one dimmable 10.5 watt high-powered replaceable LED module: 365 lumen light output, comparable to a 35 watt incandescent. 3000K color temperature. 90 CRI.
- Energy-efficient LED outdoor wall light from the Vitrine collection by Modern Forms.
- Bronze finish over aluminum construction. Clear hammered seeded mouth-blown optic glass.

- Smooth and continuous dimming with an electronic low voltage (ELV) dimmer.
- LED averages 80,000 hours at 3 hours per day.
- AC LED technology - no driver or transformer required.
- Easily fits on a pancake junction box.
- 277V, 240V, or custom CCT options available by special order.
- Perfect for indoor and outdoor settings in luxury homes and resorts.



Light Fixture B Specifications

Modern Forms Vitrine 12" High Bron Wall Light

- 12" high x 6 1/2" wide. Extends 4" from the wall. Backplate is 10 3/4" high x 6 1/2" wide x 3/4" deep.
- 5 watt high-powered replaceable LED module, comparable to a 25 watt incandescent. 205 lumens. 3000K. 90 CRI.

Aluminum Gutters & Downspouts

Description: Spectra Metals in "Musket Brown" 4" or 5" "K-Style" gutter profile with rectangular downspouts.

Casement & Bay Windows

Description: : Kolbe "Heritage" wood, dual pane Low E glass, and Oil Rubbed Bronze hardware, painted to match trim (or equal).

French Doors

Description: Kolbe "Heritage" wood doors with dual pane Low E glass, and Oil Rubbed Bronze hardware (or equal).

Entry Door by TM Cobb #4632

Description: Stained Fir finish with "Seedy Baroque" glass & Oil Rubbed Bronze hardware.

Eldorado Stone Veneer

Description: Clifstone "Whitebark" dry stack technique, topped with "Chiseled Edge" Accents wainscot sill cap (where shown) finish in "Buckskin"

Decks & Deck Railing

Description: 1x6 "Cumaru" Brazilian Teak wood decking

Balcony Tile Flooring

Description: Light cream colored Travertine floor tiles (Versailles pattern optional)

Garage Door

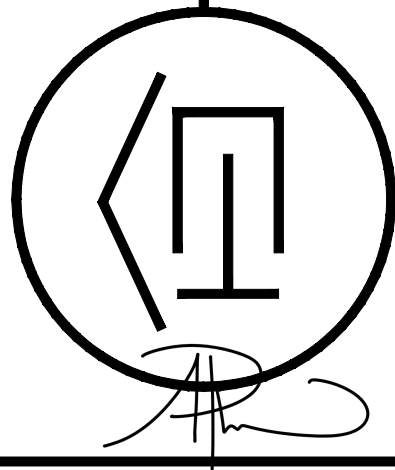
Description: Door Pros "Reserve Wood" Limited Edition carriage style door with Design #2 paired with Reserve Limited Edition REC14 window design, finished in Natural #078 or Teak #085, to match Entry door finish.

EXTERIOR FINISHES

Revision/Issue	Date
PSA 22-058 (LIM)	4/20/22
D8 22-051 (LIM) COMMENTS	10/24/22

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LIC#: 791539 CLASS: A/B



Drawing Title:
EXTERIOR FINISHES AND EXTERIOR LIGHTING SPECIFICATIONS

Job Title:

LIM RESIDENCE

Project Address & APN:

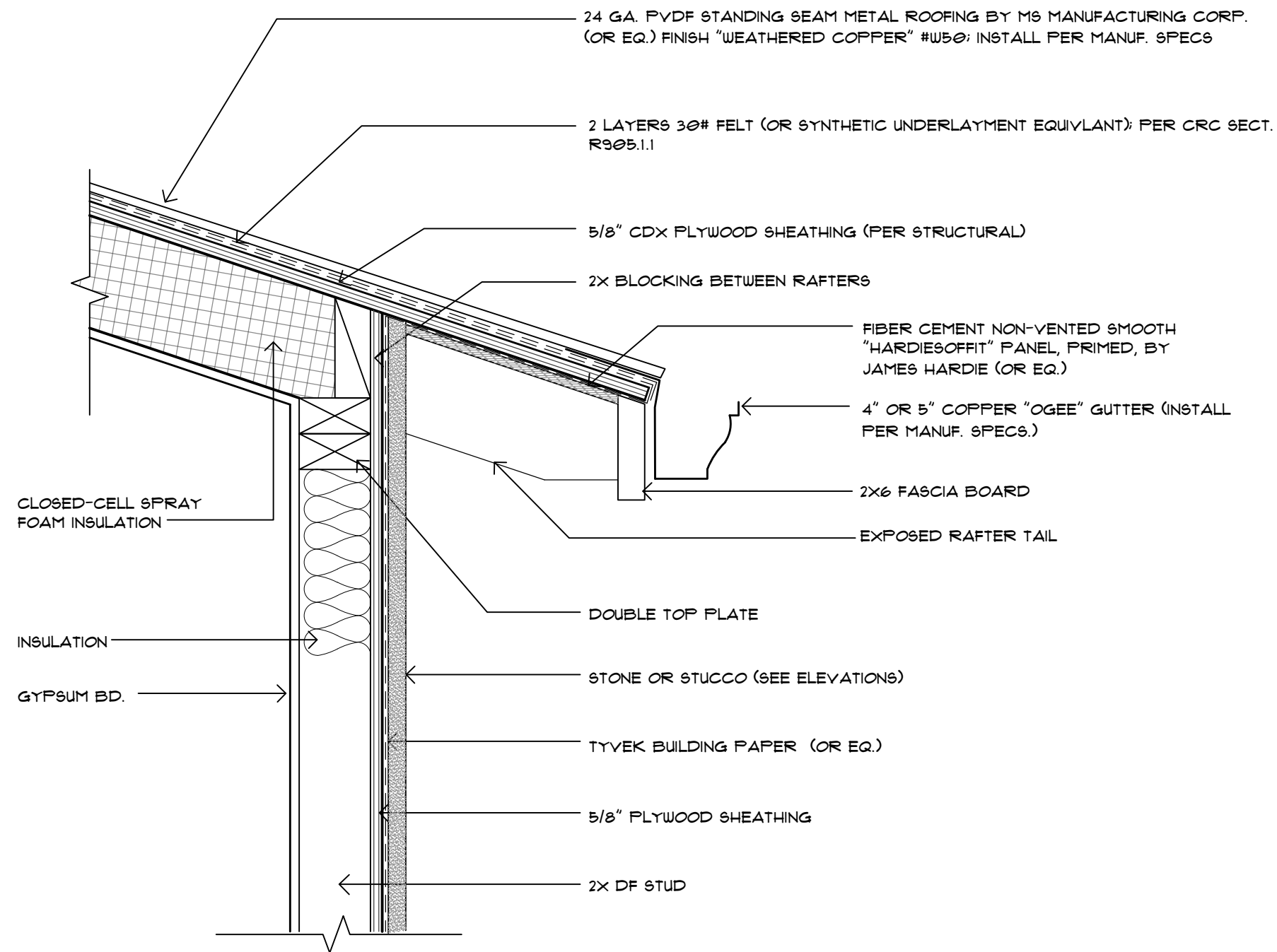
CASANOVA ST. 2 SE PALOU AVE., CARMEL-BY-THE-SEA, CA 93923
APN: 010-225-003-000 | BLOCK 11, LOT 3

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HC21001
Date:
3/23/2023
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AAP
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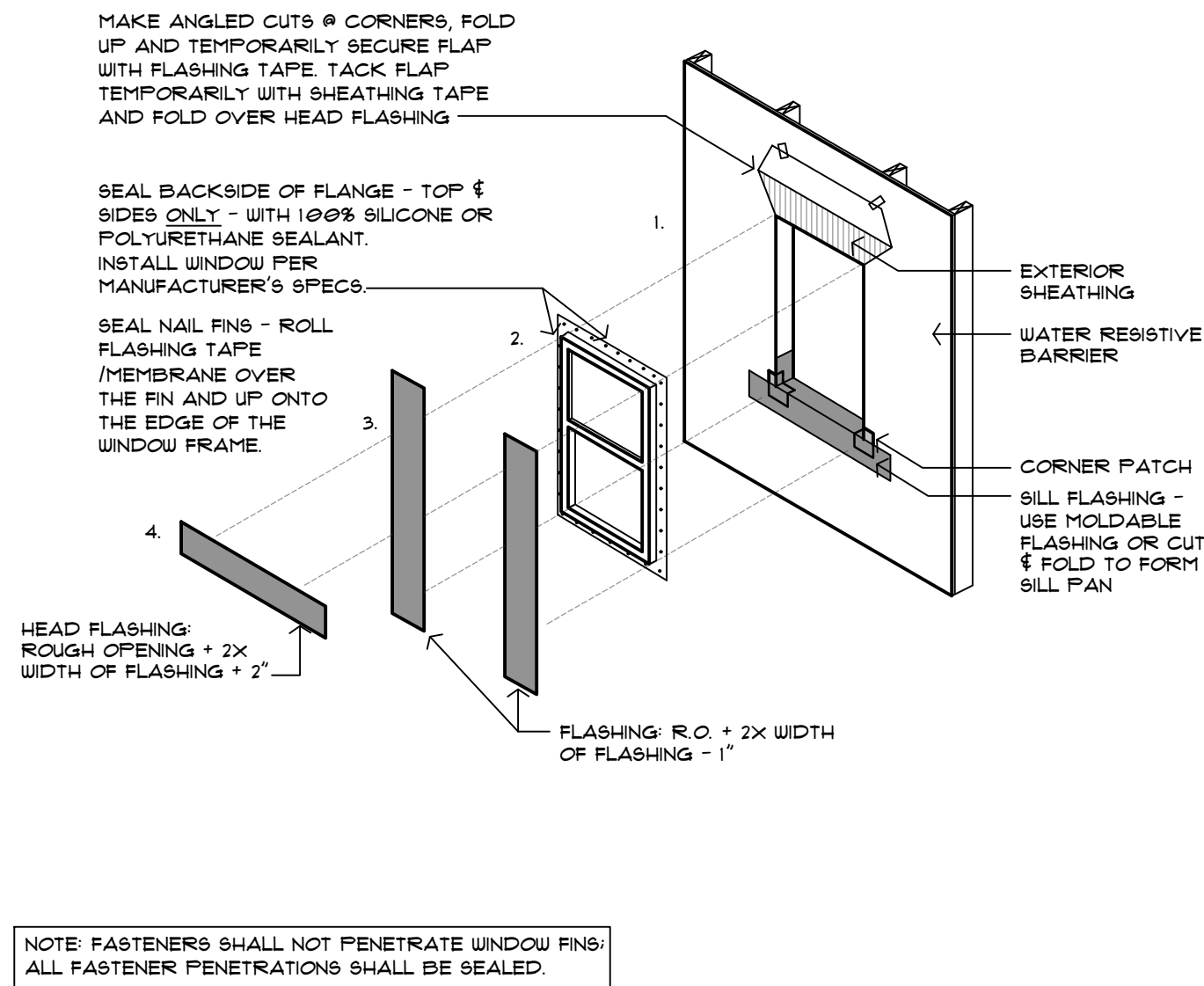
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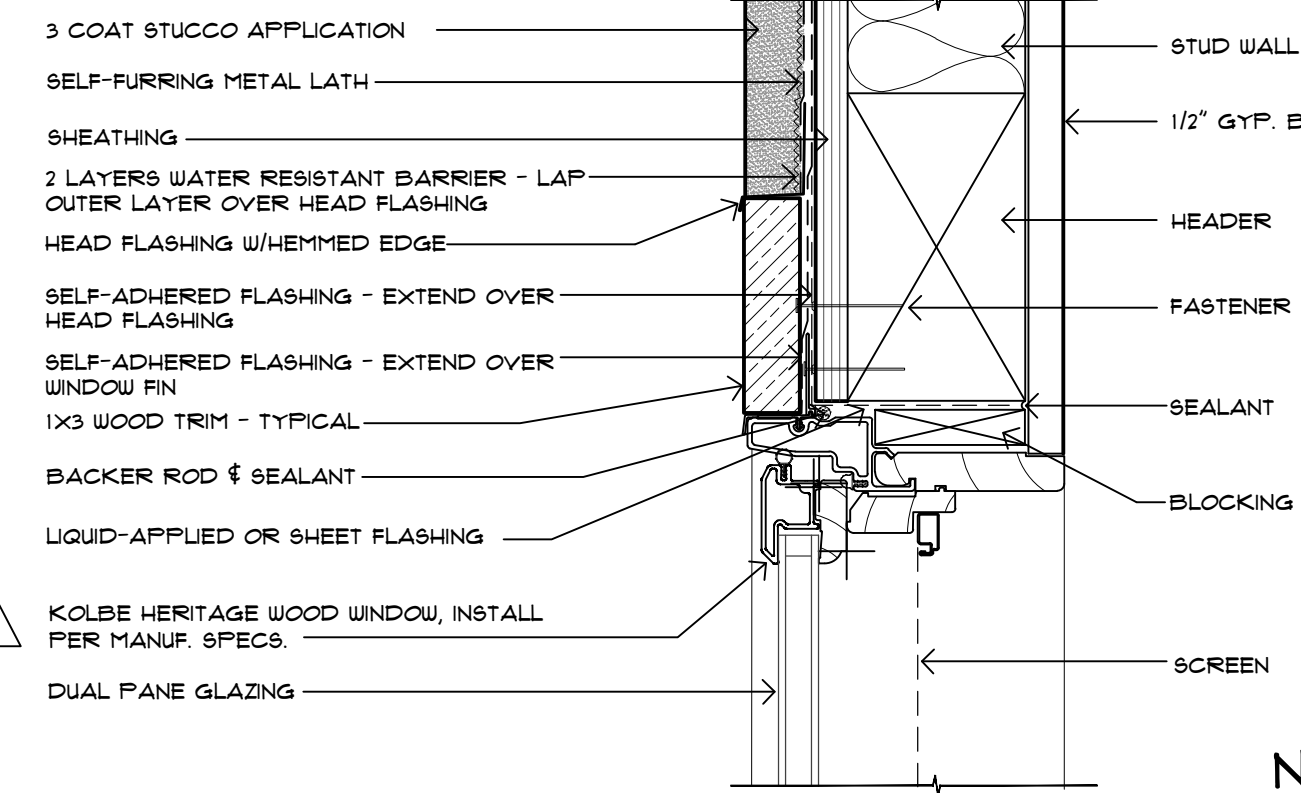
6 TYPICAL EAVE DETAIL

N.T.S.



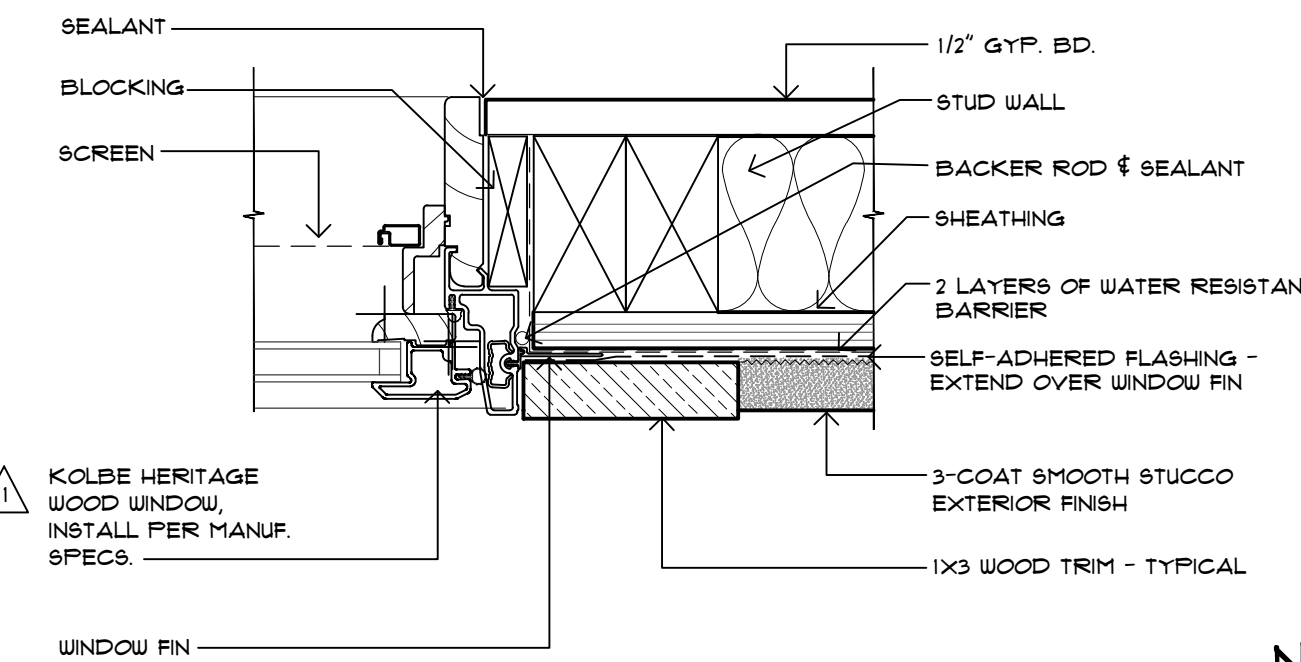
TYPICAL WINDOW FLASHING DETAIL

N.T.S.



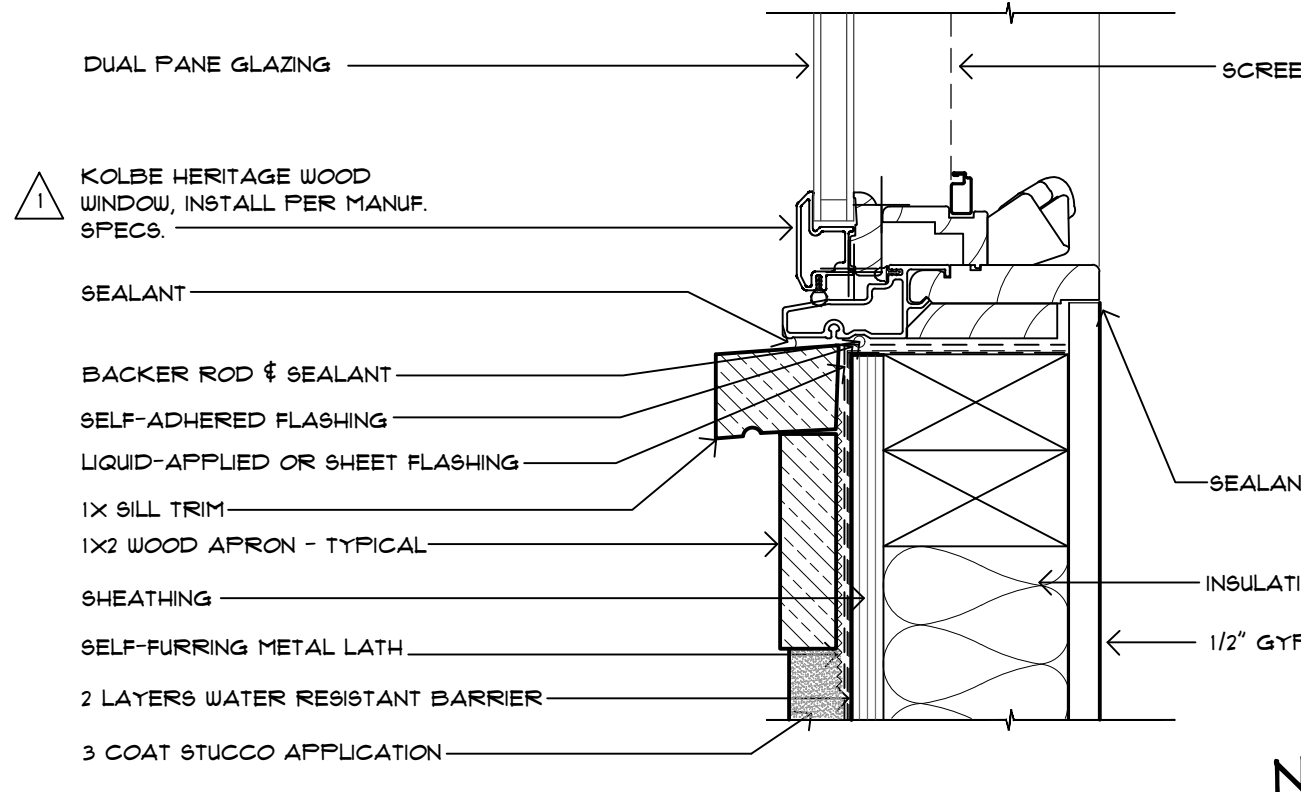
3 WINDOW HEAD DETAIL

N.T.S.



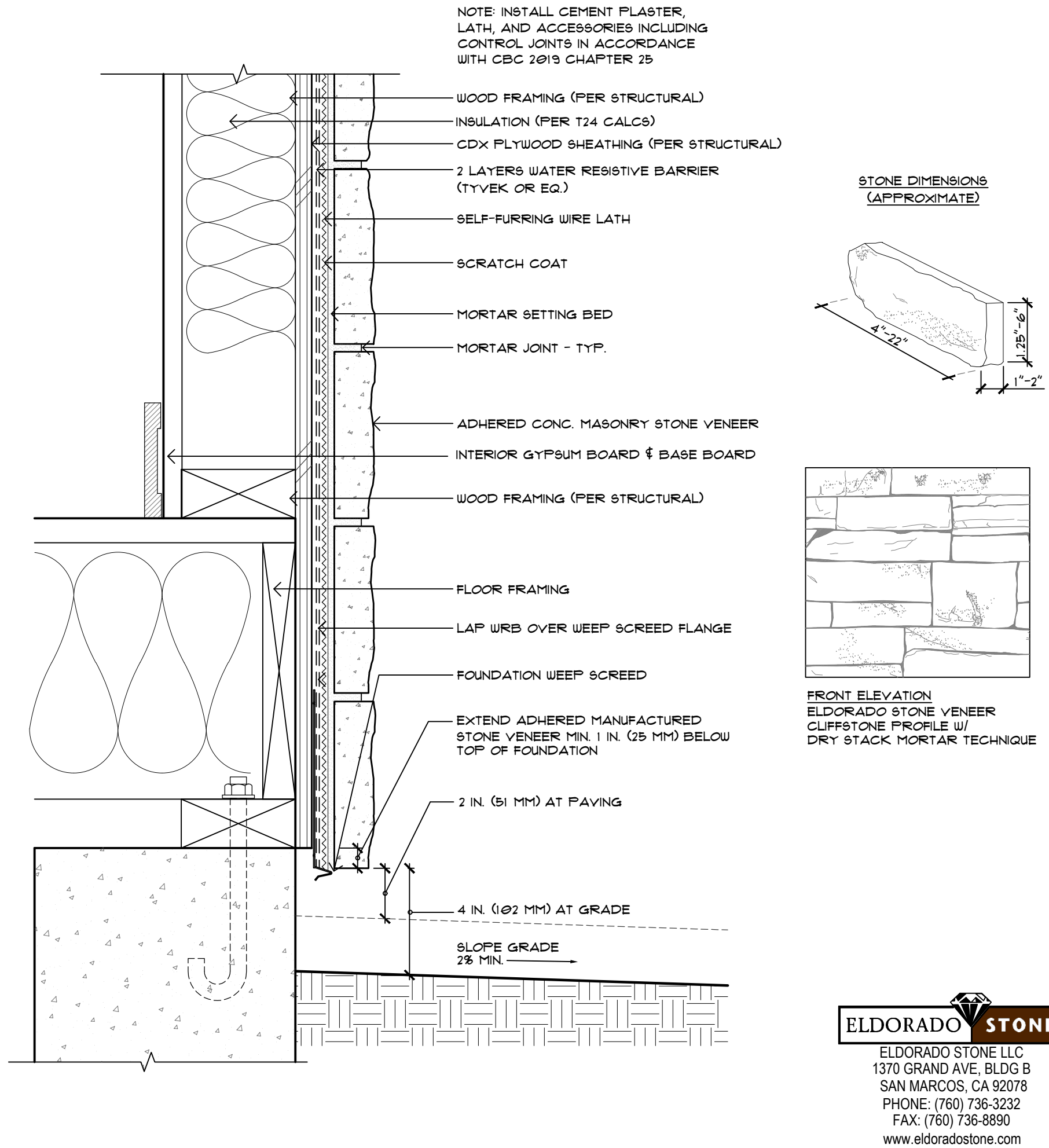
4 WINDOW JAMB DETAIL

N.T.S.



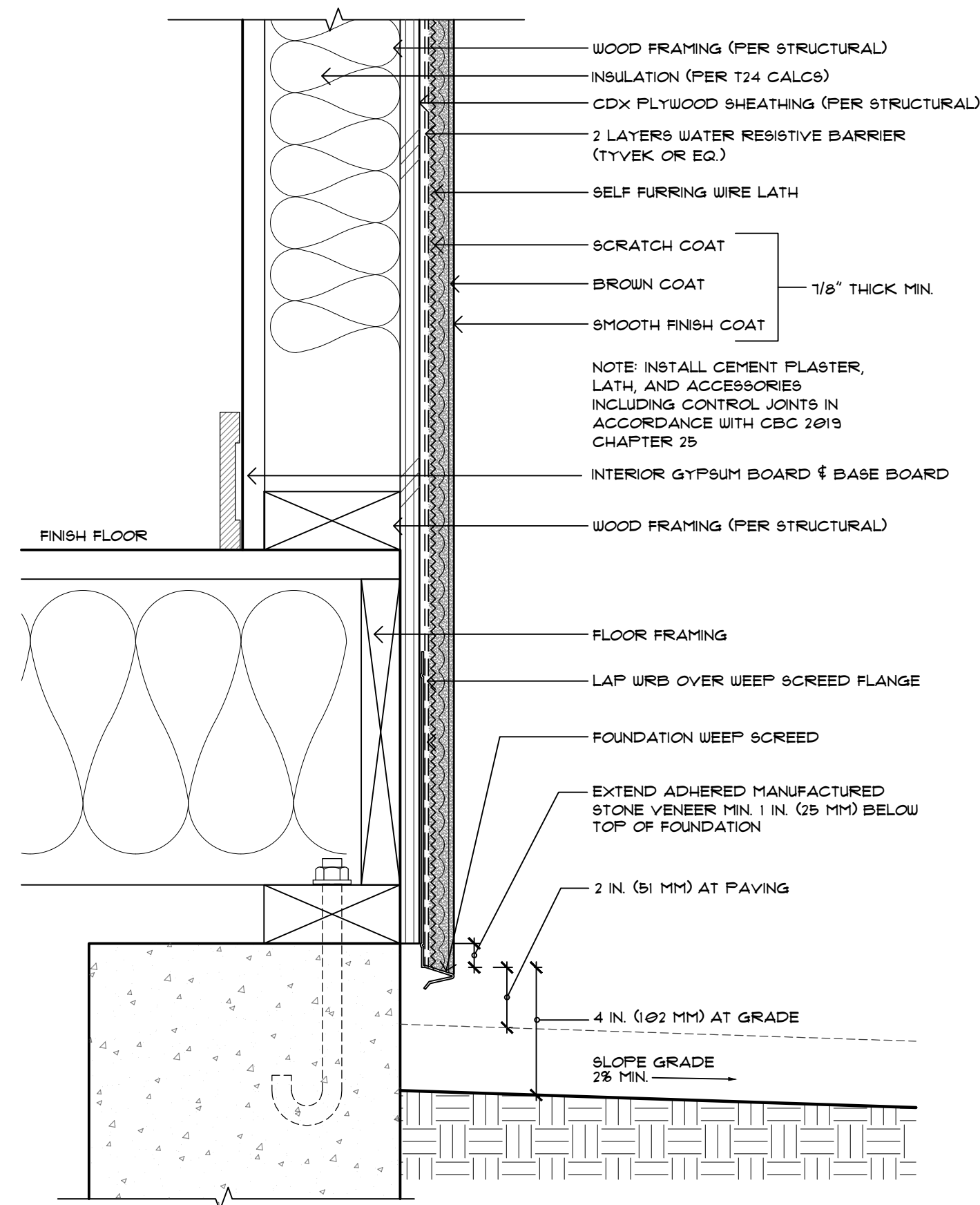
5 WINDOW SILL DETAIL

N.T.S.



1 ADHERED STONE VENEER APP. & WEEP SCREED DETAIL

N.T.S.



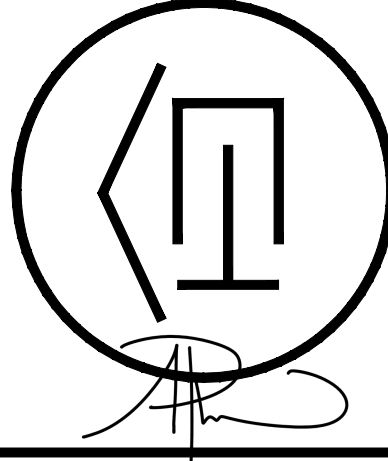
2 STUCCO APPLICATION & WEEP SCREED DETAIL

N.T.S.

Revision/Issue	Date
PSA 22-058 (LIM)	4/20/22

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Drawing Title:
ARCHITECTURAL DETAILS

Job Title:
LIM RESIDENCE

Project Address & APN:
CASANOVA ST. 2 SE PALOU AVE., CARMEL-BY-THE-SEA, CA 93923
APN: 010-225-003-000 | BLOCK 11, LOT 3

Project:
HC21001
Date:
3/23/2023
Drawn By:
AAP
Scale:
NOTED

Sheet

A8



SECTION A-A CATHEDRAL CEILING CONDITION

BASIS OF DESIGN:
VELUX FS
Fixed skylight

VELUX EDM
Sill Flashing

Underlayment

Metal panel

Insulation -
place carefully
around window

VELUX EDM Flashing
placed between underlayment

Tight joint between
finish groove and
finish material

Framing
as required per code(s)

Finish material

Underlayment

Vapor barrier
Note 3

VELUX EDM
Flashing

Sheathing

Ventilation

Insulation

Tight joint
between finish
groove and
finish material.

Underlayment
Note 1 & 2

Metal Panel

Finish material

Framing
as required per code(s)

Vapor barrier
Note 3

SECTION B-B CATHEDRAL CEILING CONDITION

This drawing is an instrument of service and is provided for informational use only.

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GENERAL NOTES

1. Wrap frame in ZOZ 216 adhesive underlayment included with VELUX flashing.
2. Underlayment to be folded up against all sides of frame.
3. Vapor barrier should be used to avoid moisture.

VELUX	VELUX 1418 Evans Pond Road Greenwood, SC 29649 1-800-88-VELUX www.VELUXUSA.com	Skylight Product Management	FS-Residential/Commercial Roof Section with EDM Flashing and Metal Panel Roofing
--------------	--	-----------------------------	--

Name	Date
Drawn by JDH	Sept 10
Checked by WQ	Sept 10
Drawing No.	

FS-01-0910



SECTION A-A FLAT CEILING / LIGHT SHAFT CONDITION

BASIS OF DESIGN:
VELUX FS
Fixed skylight

VELUX EDM
Sill Flashing

Underlayment

Metal panel

Insulation -
place carefully
around window

VELUX EDM Flashing
placed between underlayment

Tight joint between
finish groove and
finish material

Framing
as required per code(s)

Finish material

Underlayment

Vapor barrier
Note 3

VELUX EDM
Flashing

Sheathing

Ventilation

Insulation

Tight joint
between finish
groove and
finish material.

Underlayment
Note 1 & 2

Metal Panel

Finish material

Framing
as required per code(s)

Vapor barrier
Note 3

SECTION B-B FLAT CEILING / LIGHT SHAFT CONDITION

Blocking as required
per code(s).
Insulate carefully
around shaft

Insulation

Vapor barrier
Note 3

Finish material



A
FCM - Fixed Skylight

B
VCE - Electric "Fresh Air" Skylight

GENERAL NOTES

1. Wrap frame in ZOZ 216 adhesive underlayment included with VELUX flashing.
2. Underlayment to be folded up against all sides of frame.
3. Vapor barrier should be used to avoid moisture.
4. Exterior finish shall be non-reflective
5. Provide required electrical per manufacturers specs for mechanical operation and power operated shades
6. Interior finish to be white

VELUX	VELUX 1418 Evans Pond Road Greenwood, SC 29649 1-800-88-VELUX www.VELUXUSA.com	Skylight Product Management	FS-Residential/Commercial Roof Section with EDM Flashing and Metal Panel Roofing
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Name	Date
Drawn by JDH	Sept 10
Checked by WQ	Sept 10
Drawing No.	

FS-01-0910

Project: HC21001	Sheet
Date: 3/23/2023	
Drawn By: AAP	
Scale: 1/4"=1'-0"	

A9

Revision/Issue

Date

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SKYLIGHT DETAILS

LIM RESIDENCE

CASANOVA ST. 2 SE PALOU AVE., CARMEL-BY-THE-SEA, CA 93923
APN: 010-225-003-000 | BLOCK 11, LOT 3

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WINDOW SCHEDULE △						
WINDOW NUMBER	WINDOW SIZES (APPROX.)			TYPE	GLAZING NOTES	REMARKS
	WIDTH	HEIGHT	HDR. HEIGHT			
①	2'-6"	5'-6"	8'-6"	CASEMENT		
②	2'-6"	5'-6"	8'-6"	CASEMENT		
③	4'-0"	5'-0"	8'-6"	FRENCH CASEMENT	TEMPERED	
④	4'-0"	5'-0"	8'-6"	FRENCH CASEMENT	TEMPERED	
⑤	1'-4"	5'-0"	8'-6"	45 DEG. BAY WINDOW		(2) CASEMENT UNITS: 145Ø (1) PICTURE UNIT: 365Ø (SEE EXTERIOR ELEVATIONS)
⑥	5'-0"	4'-0"	1'-0"	45 DEG. BAY WINDOW	TEMPERED OBSCURED	(2) CASEMENT UNITS: 144Ø (1) PICTURE UNIT: 184Ø (SEE EXTERIOR ELEVATIONS)
⑦	2'-0"	4'-0"	1'-0"	CASEMENT		
⑧	2'-0"	4'-0"	1'-0"	CASEMENT		
⑨	2'-0"	4'-0"	6'-0"	PICTURE		
⑩	2'-0"	4'-0"	6'-0"	PICTURE		
⑪	2'-0"	4'-0"	6'-0"	PICTURE		
⑫	2'-0"	4'-0"	6'-0"	PICTURE		
⑬	2'-0"	2'-0"	6'-0"	AWNING	TEMPERED OBSCURED	
⑭	5'-0"	3'-0"	6'-0"	FRENCH CASEMENT		EGRESS
⑮	1'-0"	2'-8"	6'-0"	XOX CASEMENT		(2) CASEMENT UNITS: 202Ø (1) PICTURE UNIT: 302Ø (SEE EXTERIOR ELEVATIONS)
⑯	1'-0"	3'-6"	6'-0"	45 DEG. BAY WINDOW		(2) CASEMENT UNITS: 143Ø (1) CASEMENT UNIT: 303Ø - EGRESS (SEE EXTERIOR ELEVATIONS)

DOOR SCHEDULE △									
DOOR NUMBER	SIZE			FINISH		HARDWARE	GLAZING	REMARKS	
	WIDTH	HEIGHT	THICK	INTERIOR	EXTERIOR				
①	3'-0"	6'-8"	1-3/4"	WOOD FIR FINISH	WOOD FIR FINISH	THRESHOLD LOCKSET W/ DEADBOLT	"SEEDY BAROQUE"	ENTRY DOOR BY T.M. COBB #4632, FLAT PANEL, W/FIR FINISH AND "SEEDY BAROQUE" GLAZING: HARDWARE BY KWKISSET "AVALON" IN OIL-RUBBED BRONZE FINISH W/SMARTKEY (OR EQUAL) LH SWING	
②	3'-0"	8'-0"	1-3/4"	WOOD PRIMED	PAINTED TO MATCH TRIM	*BUILT-IN	TEMPERED	KOLBE HERITAGE OUTSWING FRENCH DOOR PAIR W/24" SIDELIGHTS AND 12" TRANSOM ABOVE, W/OIL-RUBBED BRONZE HARDWARE (OR EQUAL)	
③	3'-0"	6'-8"	1-3/4"	WOOD PRIMED	PAINTED TO MATCH TRIM	*BUILT-IN	TEMPERED	KOLBE HERITAGE OUTSWING FRENCH DOOR PAIR W/OIL-RUBBED BRONZE HARDWARE (OR EQUAL)	
④	9'-0"	8'-0"	*PER MANUF.	WOOD	WOOD	N/A	CLEAR D98 W/9M. DIV. LT.	SECTIONAL GARAGE DOOR BY CLOPLAY "RESERVE WOOD, LIMITED EDITION" COLLECTION, DESIGN #2 WITH REG.4 WINDOWS (OR EQUAL- FINISH TO MATCH ENTRY DOOR)	
⑤	3'-0"	6'-8"	1-3/4"	WOOD PRIMED	WOOD FIR FINISH	THRESHOLD KEYED KNOB	OBSCURED TEMPERED	GARAGE MAN-DOOR BY TYCO, FLAT PANEL, W/FIR FINISH AND OBSCURED GLAZING: HARDWARE BY KWKISSET "ALISO" KNOB IN OIL-RUBBED BRONZE FINISH (OR EQUAL - FINISH TO MATCH ENTRY DOOR). RH SWING	
⑥	3'-0"	6'-8"	TBD	TBD	TBD	THRESHOLD LOCKSET W/ DEADBOLT	N/A	INTERIOR GARAGE DOOR: RH SWING	
⑦	3'-0"	6'-8"	TBD	TBD	TBD	DUMMY	N/A	BI-FOLD	
⑧	3'-0"	6'-8"	TBD	TBD	TBD	DUMMY	N/A	BI-FOLD	
⑨	2'-4"	6'-8"	TBD	TBD	TBD	PRIVACY	N/A	RH SWING	
⑩	2'-8"	6'-8"	TBD	TBD	TBD	PRIVACY	N/A	RH SWING	
⑪	2'-8"	6'-8"	TBD	TBD	TBD	PULL-PRIVACY	OBSCURE TEMPERED	GLAZED POCKET DOOR	
⑫	2'-4"	6'-8"	TBD	TBD	TBD	PRIVACY	N/A	RLH SWING	
⑬	5'-0"	6'-8"	TBD	TBD	TBD	FLUSH PULL	N/A	BYPASS	
⑭	2'-6"	6'-8"	*PER MANUF.	WOOD PRIMED	PAINTED TO MATCH TRIM	*BUILT-IN	TEMPERED	KOLBE HERITAGE OUTSWING FRENCH DOOR W/OIL-RUBBED BRONZE HARDWARE (OR EQUAL) RLH SWING	
⑮	2'-4"	6'-8"	TBD	TBD	TBD	PRIVACY	N/A	RH SWING	
⑯	2'-8"	6'-8"	TBD	TBD	TBD	PRIVACY	N/A	RH SWING	
⑰	4'-0"	6'-8"	TBD	TBD	TBD	FLUSH PULL	N/A	BYPASS	
⑱	2'-8"	6'-8"	TBD	TBD	TBD	PRIVACY	N/A	RH SWING	
⑲	5'-0"	6'-8"	TBD	TBD	TBD	FLUSH PULL	N/A	BYPASS	

Entry Door
T.M. Cobb



4632 (LOW-E IG) 
Fir shown in Flat Panel



Fir

Stained to match entry door with Aliso Knob
Large venting double hung sash makes for one of the finest units on the market.
Available in both 1-3/8" and 1-3/4" thick and a variety of widths.



Kwikset Aliso Knob



T.M.COBB
DOORS • WINDOWS • MILLWORK



Seedy Baroque
Clear glass with a scattered look, baroque wash and asymmetrical curves.

Q **Kwikset**
Home / Products / Hardware / Avalon Handleset - Deadbolt Keyed One Side (Exterior Only) - featuring SmartKey

Avalon Handleset - Deadbolt Keyed One Side (Exterior Only) - featuring SmartKey

800A/H LIP T/P SMT



Garage Man-Door
TYCO FIR FLAT PANEL COMBO DOUGLAS FIR



Garage Door

RESERVE[®] WOOD collection

LIMITED EDITION SERIES



TRUE DIVIDED LITE

Design #2 with REC 14 Windows



1323 S. 11th Avenue | Wausau, WI 54401-5998
715.842.5666

www.kolbewindows.com

The Heritage Series

Kolbe's Heritage Series windows and doors are carefully crafted with a wood interior and exterior, making it possible to create architecturally intricate and historically accurate details. Choose from an extensive palette of exterior colors, interior wood species and finishes, divided lite profiles and patterns, and more.

The Heritage Series provides:

- Endless capabilities to replicate intricate architectural details
- Divided lite profiles & patterns, aesthetic & efficient glass choices
- Wood interior & exterior in familiar to exotic wood species
- K-kron II exterior coating provides a high performance finish
- A palette of 40+ exterior & 20 interior pre-finish choices

Crank-Out Casements

Kolbe's crank-out casements combine a simple cranking operation with many options for customization to create a uniquely crafted window with an unobstructed view of the outdoors. By opening and closing easily and effectively, they provide excellent ventilation. Crank handles fold down when not in use to prevent interference with blinds.



Crank-Out Casement Standard Features

- ▶ 1-3/4" thick sash
- ▶ Overall jamb width is 4-9/16"
- ▶ Constructed of pine, with pine interior stops and wood mull casings on milled units
- ▶ Energy efficient, insulating LoE-270 glass
- ▶ Glazed to the interior with beveled wood glazing beads
- ▶ 1-15/16" exterior brickmould applied
- ▶ Exterior wood parts are treated

- ▶ Exterior frame and sash are latex primed
- ▶ Interior screens with clay-colored aluminum frames and BetterVue[®] fiberglass mesh
- ▶ Clay-colored folding handles, operator covers and multi-point locks
- ▶ Corrosion-resistant dual-arm operators with concealed, adjustable hinges (single-arm operators with concealed, adjustable hinges on 2" cranks casements, single-arm operators with Euro hinges for added support on segment head and half-circle top units)

NOTE: All measurements are nominal.

Crank-Out Awnings

Crank-out awnings open out from the bottom with a crank handle that folds down when not in use. Choose motorized operators for an effortless way to open and close your window, especially if it's in a hard-to-reach place.



Crank-Out Awning Standard Features

- ▶ 1-3/4" thick sash
- ▶ Overall jamb width is 4-9/16" (total size with 2 x 1/2")
- ▶ Constructed of pine, with pine interior stops and wood mull casings on milled units
- ▶ Energy efficient, insulating LoE-270 glass
- ▶ Glazed to the interior with beveled wood glazing beads
- ▶ 1-15/16" exterior brickmould applied

- ▶ Exterior wood parts are treated
- ▶ Exterior frame and sash are latex primed
- ▶ Interior screens with Clay-colored aluminum frames and BetterVue[®] fiberglass mesh
- ▶ Clay-colored folding handles, operator covers and multi-point locks
- ▶ Folding corrosion resistant operators with concealed, adjustable hinges

NOTE: All measurements are nominal.



Rough Opening Recommendations:

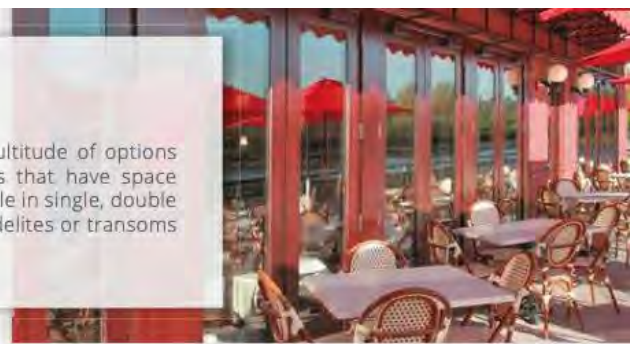
The Kolbe standard rough opening dimensions published in our product literature are provided as a guideline to maintain a minimum 1/4" space between the window or patio door and the building structure. There are certain situations where Kolbe recommends a gap larger than our published 1/4" standard.

- ▶ When installation clips are used, the gap should be increased to 1/2" on the sides, top and bottom of the unit.
- ▶ When mulls are installed in the opening, the gap all around should be increased to 1/2". For installation consistency, the same gap should be used on all units in the project.
- ▶ Kolbe recommends using wall pan drainage system, and increasing the gap to 1/2" on the top and bottom of the unit.

Because every installation is different, Kolbe strongly recommends consultation with the local supplier or an experienced contractor, architect or structural engineer prior to the installation of any Kolbe product. Installation of Kolbe products, including sizing of rough opening, method of attachment, fastener selection, and code compliance is the sole responsibility of the architect, building owner, contractor and/or consumer. Unless otherwise specified, all units are ordered by rough opening. Kolbe will size the units using our standard minimum 1/4" gap - regardless of the options or construction of the product ordered.

Outswing Doors

Outswing doors are available with the same multitude of options as inswing doors, but swing outward for areas that have space constraints. Outswing entrance doors are available in single, double and French units, and can be customized with sidelites or transoms to create a distinctive opening.



Outswing Door Standard Features

- ▶ 1-3/4" thick sash panel, prehung in the 1-1/16" frame with a 1/2" rabbeted-in stop
- ▶ Standard jamb width is 4-9/16"
- ▶ LVL locking stile, stile and top rails are a nominal 4-5/8" wide; bottom rail is a nominal 7-9/16" high on all doors
- ▶ Constructed of pine, with pine interior stops and wood mull casings on milled units
- ▶ Joints between stiles and rails are fastened with splined hardwood dowels
- ▶ Energy efficient, insulating LoE-270 glass
- ▶ Glazed to the interior with beveled wood glazing beads
- ▶ 1-15/16" exterior brickmould applied
- ▶ Exterior wood parts are treated
- ▶ Exterior frame and sash are latex primed
- ▶ Interior screens with Clay-colored aluminum frames and BetterVue[®] fiberglass mesh
- ▶ Clay-colored folding handles, operator covers and multi-point locks
- ▶ Folding corrosion resistant operators with concealed, adjustable hinges

NOTE: All measurements are nominal.

Performance Divided Lites

Kolbe's performance divided lite (PDL) glazing system gives the appearance of true divided lites without sacrificing energy efficiency. Concealed aluminum bars are adhered to the exterior and pine bars are adhered to the interior of the single lite of inswing glass.

Aesthetically pleasing spacer bars are installed within the insulating glass unit. Together, these bars create the illusion of true divided lites. PDL bars are available in 5/8", 7/8", 1-1/8", 1-3/8", 1-3/4", 2-1/4" or 4-1/2" bar widths. The exterior finish of the aluminum bars will match the exterior finish of the unit. Variations of the PDL option may include custom grille patterns, custom bar widths or no spacer bars. Some designs may have a composite material for the interior PDL bar.



1-1/8" Beveled Profile PDL Bars



Non-Adjustable Hinges - Oil-Rubbed[®]

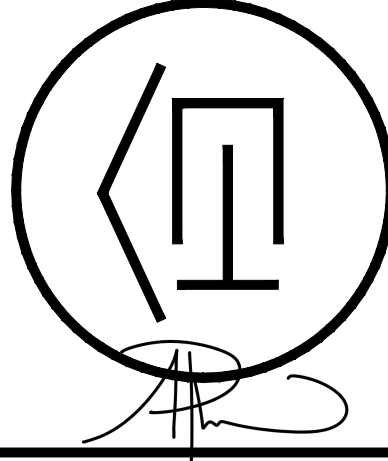


Dallas Handles - Rustic Umber

Revision/Issue	Date
△ P&A 22-088 (LHM)	4/20/22

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Drawing Title:
WINDOW & DOOR SCHEDULES
Job Title:

LIM RESIDENCE
Project Address & APN:

CASANOVA ST. 2 SE PALOU AVE., CARMEL-BY-THE-SEA, CA 93923
APN: 010-225-003-000 | BLOCK 11, LOT 3

Project:
HC21001
Date:
3/23/2023
Drawn By:
AAP
Scale:
1/4"=1'-0"

Sheet

A10



PROPOSED FRONT (WEST) ELEVATION
3D COLORIZED RENDERING

Revision/Issue	Date
DB 22-051 (LIM) COMMENTS	10/24/22

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Drawing Title:
PROPOSED FRONT ELEVATION - 3D RENDERING

Job Title:
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CASANOVA ST. 2 SE PALOU AVE., CARMEL-BY-THE-SEA, CA 93923
APN: 010-225-003-000 | BLOCK 11, LOT 3

Project: HC21001	Sheet A11
Date: 3/24/2023	
Drawn By: AAP	
Scale: N.T.S.	

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STREETSCAPE - PROPOSED

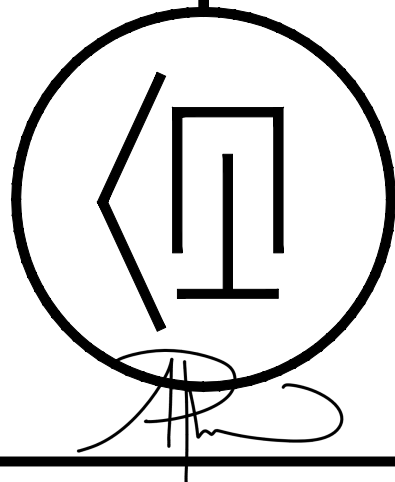


STREETSCAPE - EXISTING

Revision/Issue	Date
PSA 22-0508 (LIM)	4/20/22
DS 22-0511 (LIM)	10/24/22
COMMENTS	

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Drawing Title:
STREETSCAPE ELEVATIONS

Job Title:

LIM RESIDENCE

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APN: 010-225-003-000 | BLOCK 11, LOT 3

Project:	Sheet
HC21001	
Date:	
3/23/2023	
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AAP	
Scale:	
1/8"=1'-0"	

A12